

V1-SDP-23-07

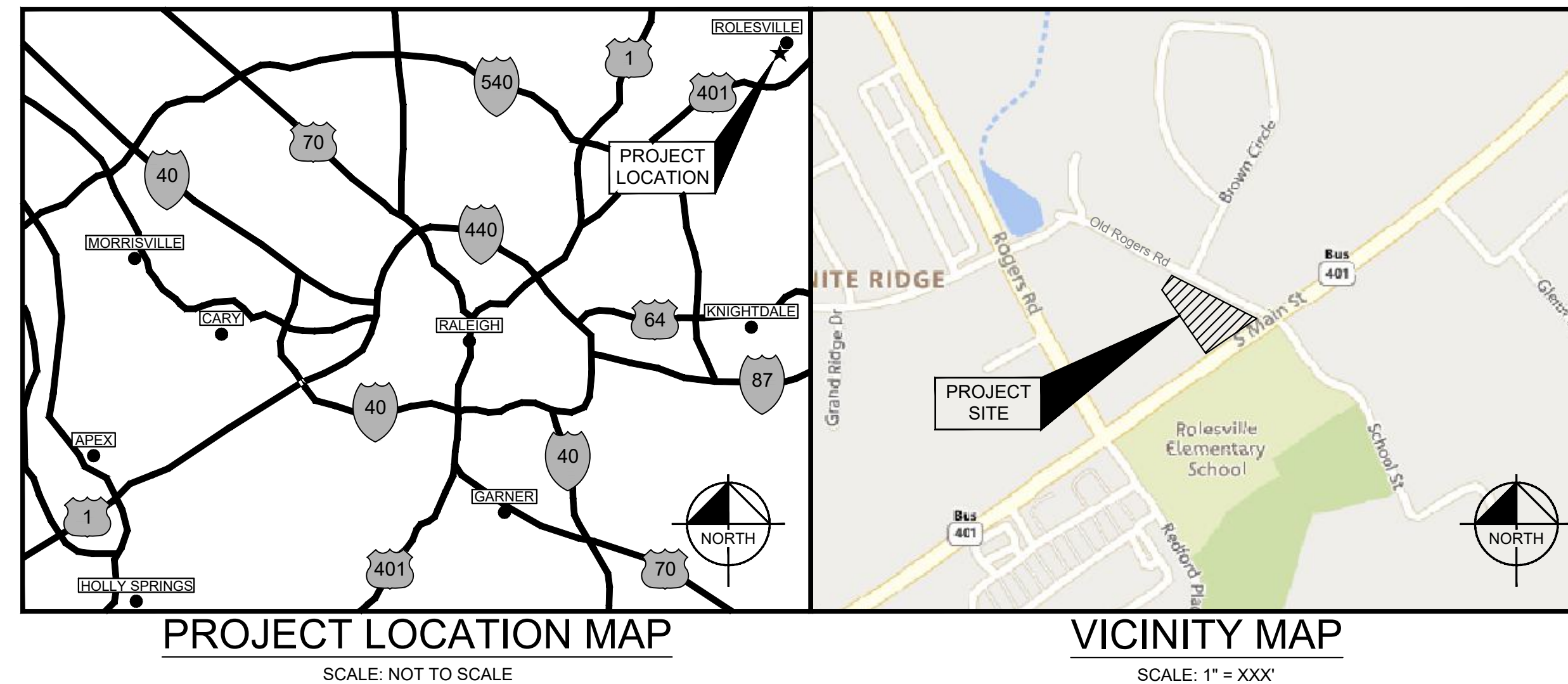
# THE LEARNING CENTER ROLESVILLE

302 SOUTH MAIN STREET  
ROLESVILLE, NC 27571

A DEVELOPMENT BY:  
ROLESVILLE, LLC.

PROJECT NO.: SDPXX-XX

SITE DATA TABLE	
PIN:	1759808293
TOTAL SITE AREA:	1.25 AC
EXISTING ZONING:	GENERAL COMMERCIAL (GC)
BUFFERS:	10' LANDSCAPE
PROPERTY SETBACKS:	FRONT: 20' SIDE: 15' REAR: 35'
WATERSHED:	SANFORD CREEK
RIVER BASIN:	NEUSE
CURRENT USE:	VACANT
PROPOSED USE:	COMMERCIAL
CURRENT IMPERVIOUS:	8,680 SF
PROPOSED IMPERVIOUS:	34,457 SF
PARKING:	MIN. REQUIRED: (2.5 SPACES/1,000 SF) $\frac{\times 10,000 \text{ SF}}{= 25 \text{ SPACES}}$  MAX. ALLOWED: (5 SPACES/1,000 SF) $\frac{\times 10,000 \text{ SF}}{= 50 \text{ SPACES}}$  PROVIDED: 33 SPACES
ACCESSIBLE PARKING:	REQUIRED: 2 SPACES PROVIDED: 2 SPACES
BICYCLE PARKING:	MIN. REQUIRED: (1 SPACE/5,000 SF) $\frac{\times 10,000 \text{ SF}}{= 2 \text{ SPACES}}$  PROVIDED: 2 SPACES
TREE COVERAGE DATA:	SEE SHEET L1.0
BUILDING HEIGHT:	22'
BUILDING SQUARE FOOTAGE:	10,000 SF



## PROJECT OWNERS & CONSULTANTS

<p><b>OWNER/DEVELOPER</b> ROLESVILLE, LLC 11018 RUSHMORE DRIVE, SUITE 160 CHARLOTTE, NORTH CAROLINA 28277 CONTACT: MARLAINE KLINTWORTH PHONE: (919) 868-4472 EMAIL: mvkcommercial@gmail.com</p>	<p><b>LANDSCAPE ARCHITECT</b> KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE ST., SUITE 600 RALEIGH, NORTH CAROLINA 27601 CONTACT: ADAM FULLERTON, M.L.A. ASLA PHONE: (919) 553-2937 EMAIL: adam.fullerton@kimley-horn.com</p>
<p><b>CIVIL ENGINEER</b> KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE ST., SUITE 600 RALEIGH, NORTH CAROLINA 27601 CONTACT: CHRIS BOSTIC, P.E. PHONE: (919) 553-2927 EMAIL: chris.bostic@kimley-horn.com</p>	<p><b>SURVEYOR</b> CMP PROFESSIONAL LAND SURVEYORS, PC 333 S. WHITE ST WAKE FOREST, NORTH CAROLINA 27587 CONTACT: MICHAEL A. MOSS, PLS PHONE: (919) 556-3148 EMAIL: mike@cmppls.com</p>

**SURVEY NOTE:**  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A TOPOGRAPHIC SURVEY OBTAINED ON 02/23/2023 BY CMP PROFESSIONAL LAND SURVEYORS, 333 S. WHITE STREET, WAKE FOREST, NC 27588. PHONE: (919) 556-3148. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C4.1	MECHANICAL PLAN
C4.2	SEPTIC TANK DETAILS
C5.0	EROSION CONTROL PLAN - PHASE 1
C5.1	EROSION CONTROL PLAN - PHASE 2
C5.2	EROSION CONTROL DETAILS
C5.3	EROSION CONTROL DETAILS
C8.0	SITE DETAILS
C8.1	SITE DETAILS
C9.0	STORM DETAILS
C9.1	STORM DETAILS
C10.0	SANITARY SEWER DETAILS
C11.0	WATER DETAILS
C11.1	WATER DETAILS
LT1.0	SITE LIGHTING PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS

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WWW.KIMLEY-HORN.COM PHONE: 919.677.2000 FAX: 919.677.2050  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

**NOT FOR CONSTRUCTION**  
PRELIMINARY SHEET  
KHA PROJECT 013031004  
DATE 09/29/2023  
SCALE AS SHOWN  
DESIGNED BY JAA  
DRAWN BY JAA  
CHECKED BY COE

**COVER SHEET**

**THE LEARNING CENTER ROLESVILLE**  
PREPARED FOR  
**ROLESVILLE, LLC.**  
TOWN OF ROLESVILLE  
NORTH CAROLINA

SHEET NUMBER  
**C0.0**



Plotted By: Alexander, Jamal Sheet Set: THE LEARNING CENTER ROLESVILLE Layout: C0.0 COVER SHEET October 02, 2023 02:40:41pm K:\SAL\_LDEV\013031004\_Rolesville\_Leaning\_Center\PT10\_CAD\_Files\PlanSheets\C0.0 COVER SHEET.dwg This document, together with the concepts and designs presented herein, is an instrument of service, as intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

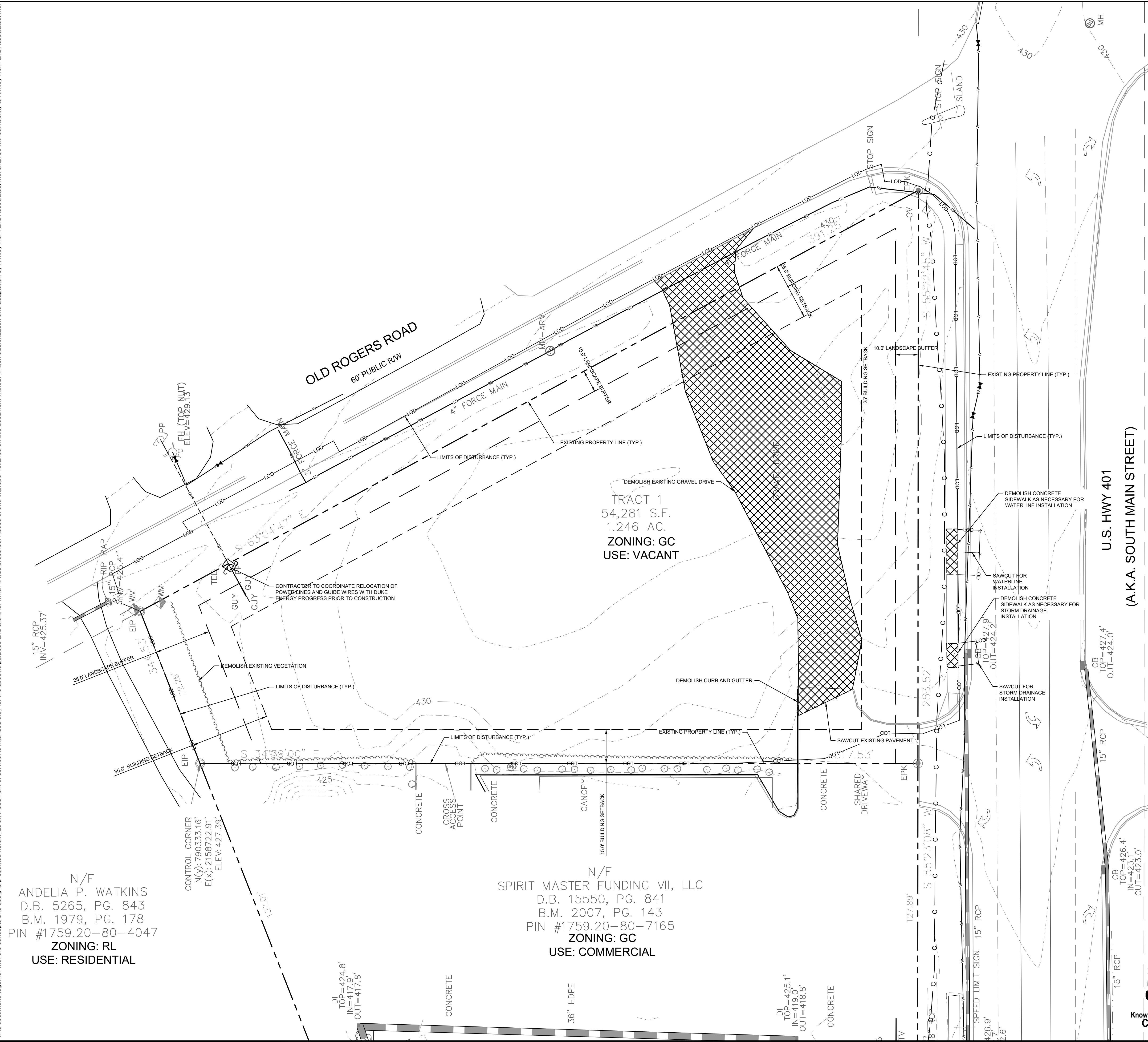


Plotted By: Alexander, Jamal Sheet Set: THE LEARNING CENTER ROLESVILLE - Layout: C-003 EXISTING CONDITIONS & DEMOLITION PLAN - October 02, 2023 02:40:53pm K:\RAL\_LDEV\013031004\_Rolesville - Learning\_Center\10\_CAD Files\Plans\Sheet\03-EXISTING CONDITIONS & DEMOLITION PLAN.dwg  
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N/F  
 ANDELIA P. WATKINS  
 D.B. 5265, PG. 843  
 B.M. 1979, PG. 178  
 PIN #1759.20-80-4047  
 ZONING: RL  
 USE: RESIDENTIAL

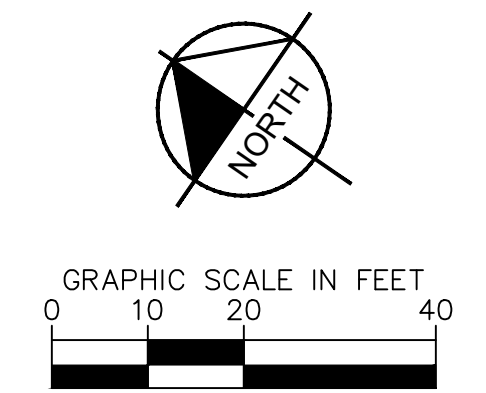
CONTROL CORNER  
 N(Y): 790333.16'  
 E(X): 2158722.91'  
 ELEV: 427.30'

N/F  
 SPIRIT MASTER FUNDING VII, LLC  
 D.B. 15550, PG. 841  
 B.M. 2007, PG. 143  
 PIN #1759.20-80-7165  
 ZONING: GC  
 USE: COMMERCIAL



**DEMOLITION LEGEND**

- PROPERTY LINE
- - - - - LIMITS OF DISTURBANCE
- ||||| DEMOLISH SITE ITEM
- DEMOLISH UNDERGROUND UTILITY
- ABANDON UTILITY IN PLACE
- SAWCUT
- X DEMOLISH SITE ITEM/TREE TO BE REMOVED
- [Hatched Box] BUILDINGS TO BE REMOVED
- [Cross-hatched Box] SIDEWALK/PAVEMENT/GRAVEL TO BE REMOVED



**SURVEY NOTE:**  
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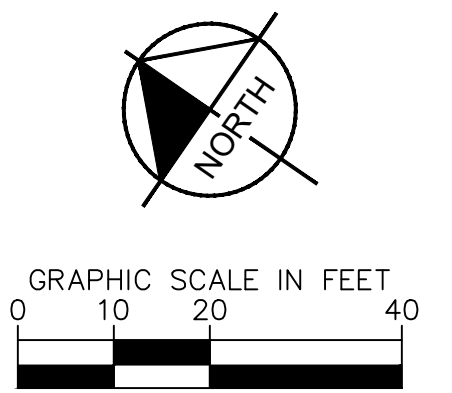
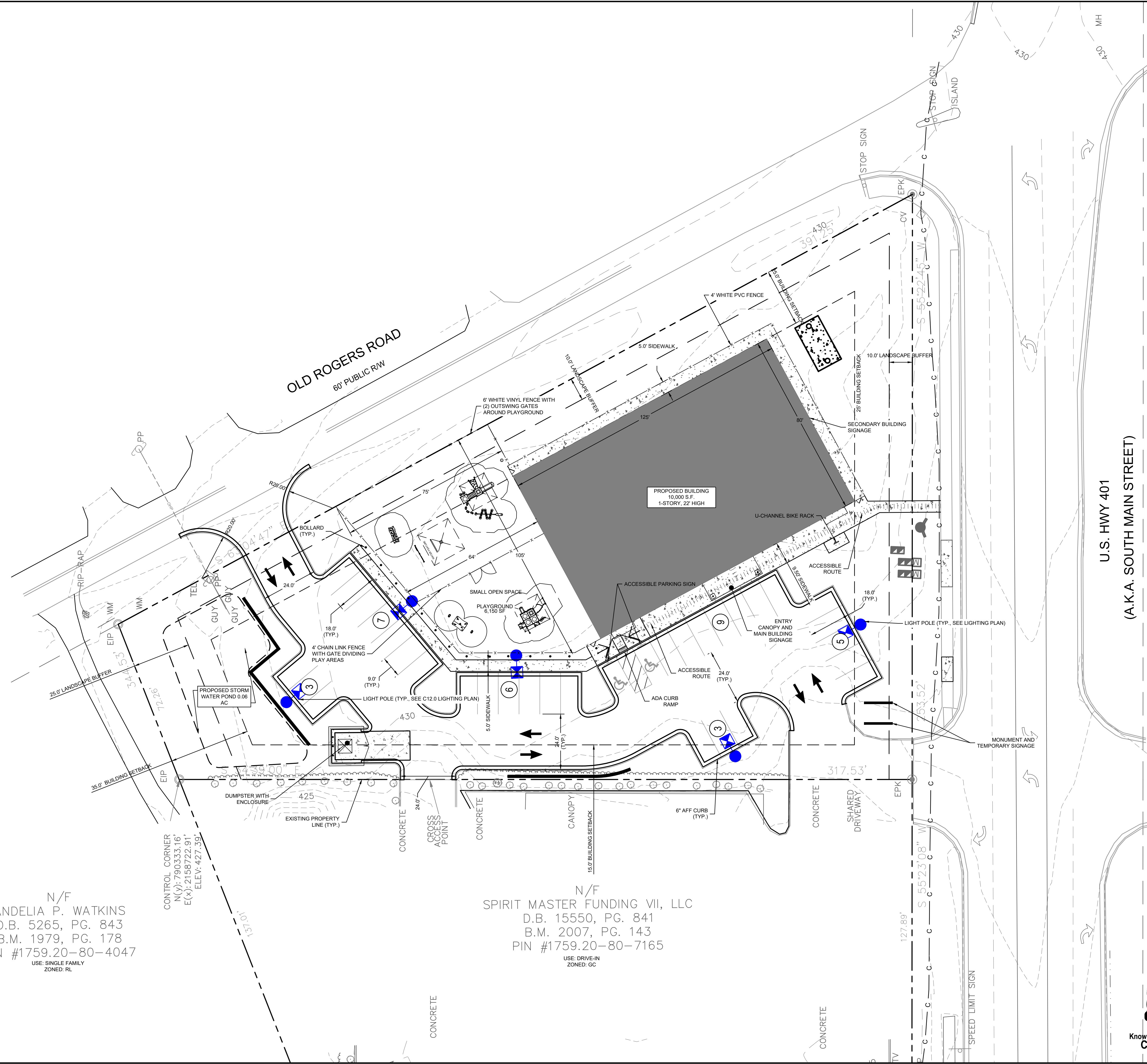
<p><b>THE LEARNING CENTER ROLESVILLE</b>                  PREPARED FOR  <b>ROLESVILLE, LLC.</b>                  TOWN OF ROLESVILLE NORTH CAROLINA</p>		<p><b>EXISTING CONDITIONS &amp; DEMOLITION PLAN</b></p>								
		<p>KHA PROJECT                  013031004</p>	<p>DATE                  09/29/2023</p>	<p>SCALE                  AS SHOWN</p>	<p>DESIGNED BY                  JAA</p>	<p>DRAWN BY                  JAA</p>	<p>CHECKED BY                  COB</p>			
<p><b>Kimley»Horn</b>                  © 2023 KIMLEY-HORN AND ASSOCIATES, INC.                  #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919.677.2000 FAX: 919.677.2050                  421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601</p>		<p>NO NORTH CAROLINA PRELIMINARY NOT FOR CONSTRUCTION SHEET 03 OF 03</p>		<p>REVISIONS</p> <table border="1"> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	DATE	BY			
No.	DATE	BY								
<p>SHEET NUMBER  <b>C1.0</b></p>		<p>DATE</p>								

Plotted By: Alexander, Jamal Sheet Set: THE LEARNING CENTER ROLESVILLE Layout: C2.0 SITE PLAN October 02, 2023 02:41:05pm K:\RAL\_L\DEVELO\13031004\_Rolesville\_Layout\_Center\10\_CAD Files\Plan\Sheet\C2.0 SITE PLAN.dwg  
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N/F  
 ANDELIA P. WATKINS  
 D.B. 5265, PG. 843  
 B.M. 1979, PG. 178  
 PIN #1759.20-80-4047  
 USE: SINGLE FAMILY  
 ZONED: RL

CONTROL CORNER  
 N(Y): 790333.16'  
 E(X): 2158722.91'  
 ELEV: 427.30'

N/F  
 SPIRIT MASTER FUNDING VII, LLC  
 D.B. 15550, PG. 841  
 B.M. 2007, PG. 143  
 PIN #1759.20-80-7165  
 USE: DRIVE-IN  
 ZONED: GC



SITE LEGEND	
	PROPERTY LINE
	EASEMENT LINE
	FENCE
	STANDARD CURB AND GUTTER
	SPILL CURB AND GUTTER
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE RAMP
	DEPRESSED CURB RAMP
	ACCESSIBLE ROUTE
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	STANDARD DUTY CONCRETE
	HEAVY DUTY CONCRETE
	CONCRETE SIDEWALK

PARKING:	MIN. REQUIRED: (2.5 SPACES/1,000 SF) X 10,000 SF = 25 SPACES
	MAX. ALLOWED: (5 SPACES/1,000 SF) X 10,000 SF = 50 SPACES
ACCESSIBLE PARKING:	PROVIDED: 33 SPACES REQUIRED: 7 SPACES
BICYCLE PARKING:	MIN. REQUIRED: (1 SPACE/5,000 SF) X 10,000 SF = 2 SPACES
	PROVIDED: 2 SPACES

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		7	
KHA PROJECT: 013031004 DATE: 09/29/2023 SCALE: AS SHOWN DESIGNED BY: JAA DRAWN BY: JAA CHECKED BY: COE		REVISIONS	DATE
THE LEARNING CENTER ROLESVILLE PREPARED FOR: ROLESVILLE, LLC. TOWN OF ROLESVILLE, NORTH CAROLINA			
SHEET NUMBER: C2.0			



Plotted By: Alexander, Jamal Sheet Set: THE LEARNING CENTER ROLESVILLE, Layout: C4.0 UTILITY PLAN, October 02, 2023, 02:41:39pm. K:\RAL\_LDE\0130031004\_Rolesville\_Leaning\_Center\T10\_CAD Files\Plan\Sheet\C4.0 UTILITY PLAN.dwg  
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### STANDARD UTILITY NOTES

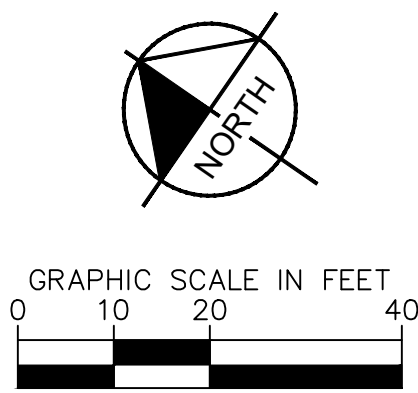
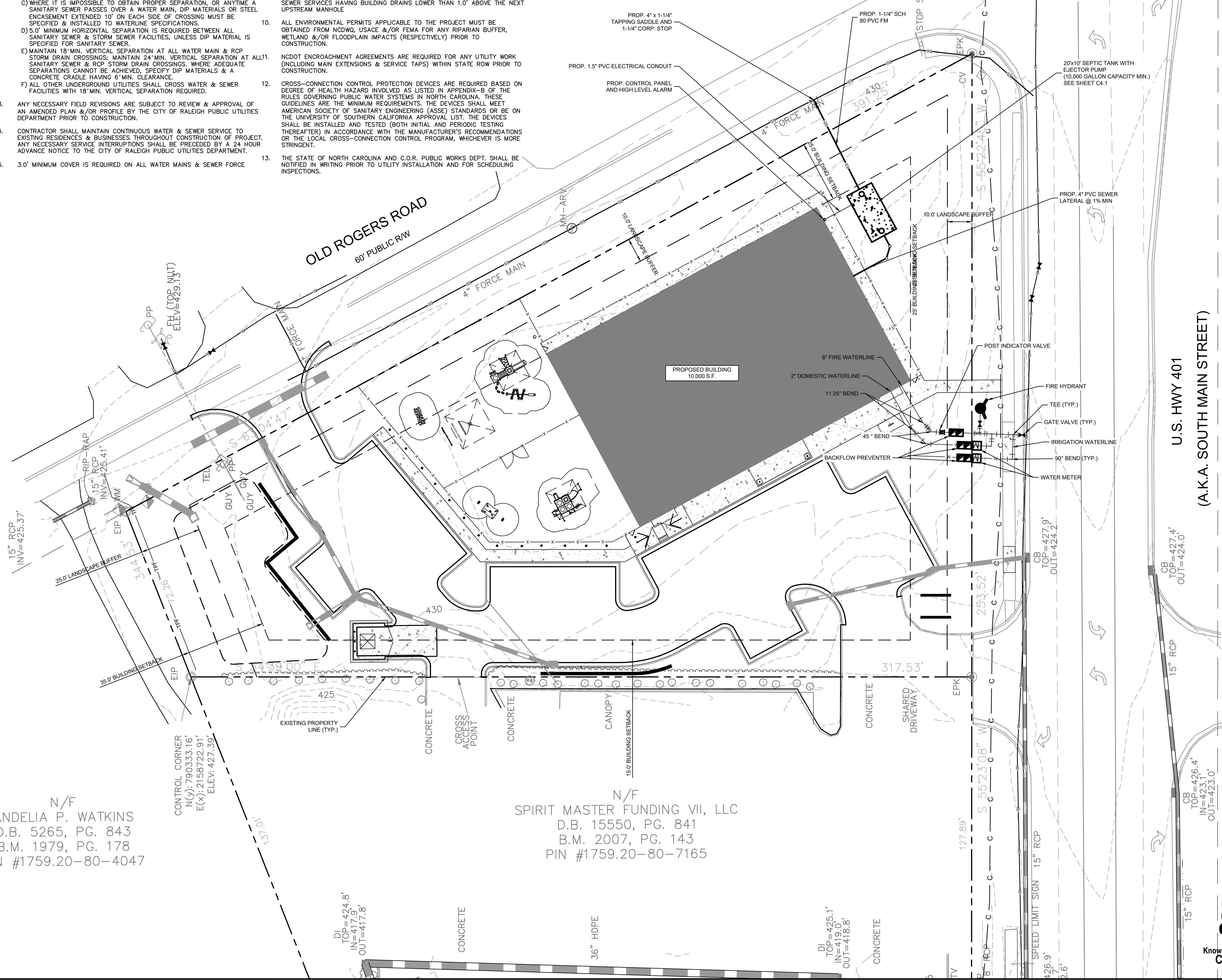
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS & SPECIFICATIONS
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE.
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT.
- INSTALL 2" WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 2.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NC DOT ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE ROW PRIOR TO CONSTRUCTION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX - 9 OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT.
- THE STATE OF NORTH CAROLINA AND C.O.R. PUBLIC WORKS DEPT. SHALL BE NOTIFIED IN WRITING PRIOR TO UTILITY INSTALLATION AND FOR SCHEDULING INSPECTIONS.

UTILITY LEGEND	
---	PROPERTY LINE
W	WATER LINE
FW	FIRE LINE
SS	SANITARY SEWER LINE
E	ELECTRIC
FO	FIBER OPTIC
G	GAS
P	POWER
T	TELECOMMUNICATION
C	CABLE
LP	LIGHT POLE
WM	WATER METER
GV	GATE VALVE
PC	POINT OF CONNECTION
BP	BACKFLOW PREVENTOR
PT	PIPE TEE/BENDS
FR	FIRE HYDRANT (FH)
FDC	FIRE DEPARTMENT CONNECTION (FDC)
SSCO	SANITARY SEWER CLEANOUT (SSCO)
SSMH	SANITARY SEWER MANHOLE (SSMH)
SGT	SANITARY SEWER GREASE TRAP

### STANDARD UTILITY NOTES (CONT.)

- TRAFFIC CONTROLS FOR ANY UTILITY WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH STANDARDS OF THE NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- IN THE EVENT AN ITEM IS NOT COVERED BY THESE PLANS, THEN THE STANDARDS AND SPECIFICATIONS CONTAINED IN THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK COVERING SUCH ITEMS SHALL APPLY.
- IF CITY OF RALEIGH WATER AND SANITARY SEWER PERMITS ARE REQUIRED, CONTRACTOR IS RESPONSIBLE FOR ALL PERMIT FEES.
- LOCATIONS AND SIZES OF EXISTING WATER AND SEWER LINES SHOWN ON THESE PLANS WITHIN THE PROPERTY LIMITS OF THE SITE ARE ASSUMED BASED ON SURVEY OF SURFACE FEATURES (MANHOLES, VALVES, VAULTS, METERS, ETC.) PREPARED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, N.C. 27609. IT IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF THE EXISTING UTILITIES PRIOR TO COMMENCING WORK. ANY DEVIATIONS FROM WHAT IS INDICATED ON THESE PLANS SHALL BE REPORTED TO THE DEVELOPER AND ENGINEER, IN WRITING, IMMEDIATELY.
- CONTRACTOR SHALL PROVIDE A MEANS TO KEEP ALL NEW PIPING ISOLATED FROM EXISTING PIPING UNTIL ALL NEW PIPING HAS BEEN TESTED, AND ACCEPTED FOR SERVICE.
- EXISTING UTILITIES SHALL BE PROTECTED DURING ALL CONSTRUCTION.
- THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE UTILITIES. ALL PUBLIC PIPE, STRUCTURES, AND FITTINGS SHALL BE INSPECTED BY THE CITY INSPECTOR PRIOR TO BEING COVERED. THE INSPECTOR MUST ALSO BE PRESENT DURING DISINFECTION AND PRESSURE TESTING OF ALL MAINS. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES.
- UTILITY WORK SHALL BE INSPECTED AND ACCEPTED BY CITY OF RALEIGH PRIOR TO PLACING INTO SERVICE.
- THERE SHALL BE A MINIMUM 3' CLEAR DISTANCE AROUND ALL FIRE HYDRANTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "AS-BUILT" PLANS, PER CITY OF RALEIGH REQUIREMENTS, TO THE ENGINEER SHOWING THE LOCATION OF WATER AND SEWER SERVICES AND ANY DEVIATIONS FROM PLANS MADE DURING CONSTRUCTION. THE ENGINEER WILL PROVIDE THESE RECORD PLANS TO THE CITY OF RALEIGH.

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**Kimley»Horn**  
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 #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919.677.2000 FAX: 919.677.2050  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

NORTH CAROLINA  
 PRELIMINARY  
 NOT FOR CONSTRUCTION  
 SHEET NO. C4.0

KHA PROJECT	013031004
DATE	09/29/2023
SCALE	AS SHOWN
DESIGNED BY	JAA
DRAWN BY	JAA
CHECKED BY	COB

**THE LEARNING CENTER ROLESVILLE**  
 PREPARED FOR  
**ROLESVILLE, LLC.**  
 TOWN OF ROLESVILLE  
 NORTH CAROLINA



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 SPIRIT MASTER FUNDING VII, LLC  
 D.B. 15550, PG. 841  
 B.M. 2007, PG. 143  
 PIN #1759.20-80-7165









**SELF MONITORING AND INSPECTION NOTIFICATION**

THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS BECAME EFFECTIVE OCTOBER 1, 2010. TO SIMPLIFY DOCUMENTATION OF SELF-INSPECTION REPORTS AND NPDES SELF-MONITORING REPORTS, A COMBINED FORM IS NOW AVAILABLE. THE NEW FORM WAS DEVELOPED TO SATISFY THE REQUIREMENTS OF THE SEDIMENTATION POLLUTION CONTROL ACT AND THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES, NCG 010000, BEGINNING AUGUST 1, 2013. THE DIVISION OF ENERGY, MINERAL, AND LAND RESOURCES IS RESPONSIBLE FOR ADMINISTERING BOTH THE SPCA AND THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. NCG 010000. THE COMBINED FORM SHOULD MAKE IT EASIER TO COMPLY WITH SELF-INSPECTION REQUIREMENTS. THE COMBINED SELF-MONITORING FORM IS AVAILABLE AS A PDF AND WORD DOCUMENT FROM THE LAND QUALITY WEB SITE, [HTTP://PORTAL.NC DENR.ORG/WEB/LR/EROSION](http://portal.ncdenr.org/web/lor/erosion) IF YOU HAVE QUESTIONS, PLEASE CONTACT THE LAND QUALITY SECTION AT NCDEQ REGIONAL OFFICE.

**MAINTENANCE NOTES:**

DURING THE DEVELOPMENT OF A SITE, THE DEVELOPER SHALL INSTALL AND MAINTAIN ALL TEMPORARY AND PERMANENT STORMWATER CONTROL MEASURES AS REQUIRED BY THE APPROVED PLAN OR ANY PROVISION OF THIS ARTICLE. THE ACT OR ANY ORDER ADOPTED PURSUANT TO THIS ARTICLE OR THE ACT, AFTER SITE DEVELOPMENT, THE DEVELOPER SHALL INSTALL AND/OR MAINTAIN ALL NECESSARY PERMANENT STORMWATER CONTROL MEASURES SPECIFIED IN THE APPROVED PLAN, EXCEPT THOSE MEASURES INSTALLED WITHIN A ROAD OR STREET RIGHT-OF-WAY OR EASEMENT ACCEPTED FOR MAINTENANCE BY A GOVERNMENTAL AGENCY. CONVEYANCE OF THE PROPERTY SHALL NOT TERMINATE THE ORIGINAL DEVELOPER'S OBLIGATIONS UNDER THIS ARTICLE UNTIL SUCH TIME AS A REPLACEMENT PERMIT IS APPROVED BY THE COUNTY ENGINEER, OR DESIGNEE. THE ORIGINAL DEVELOPER SHALL INCLUDE IN THE DEED CONVEYING THE PROPERTY NOTICE OF THE EXISTENCE OF THE STORMWATER CONTROL MEASURES AND THE PURCHASER'S OBLIGATIONS TO MAINTAIN AND INSPECT THEM AND TO OBTAIN A PERMIT AND OTHERWISE COMPLY WITH THE TERMS OF THIS ARTICLE. REFER TO THE EROSION CONTROL DETAILS SHEET FOR ADDITIONAL MAINTENANCE NOTES. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

- CONSTRUCTION ENTRANCE:**  
INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURFACE. TOP DRESS WITH NEW GRAVEL AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDED AREAS FOR EROSION AND SEDIMENTATION AFTER RUNOFF-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.
- SILT FENCE:**  
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- SILT FENCE GRAVEL OUTLET:**  
INSPECT SEDIMENT FENCE GRAVEL OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. ANY RIP RAP DISPLACED MUST BE REPLACED IMMEDIATELY.
- BLOCK AND GRAVEL INLET PROTECTION:**  
INSPECT THE BARRIER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

**NPDES GROUND COVER REQUIREMENTS**

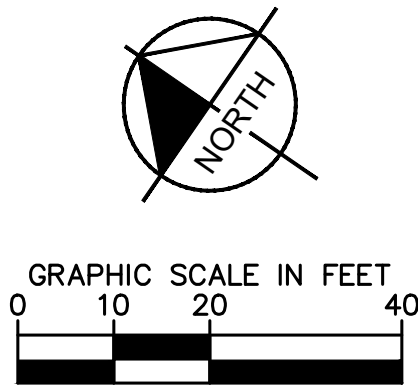
SITE AREA DESCRIPTION	STABILIZATION	TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES, SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE EXCEPT FOR PERIMETERS AND HQW ZONES.

SILT FENCES SHOWN ON PLANS ARE FOR REPRESENTATIVE PURPOSES. CONSTRUCT DIRECTLY ALONG THE CLEARING LIMITS WHERE APPLICABLE.

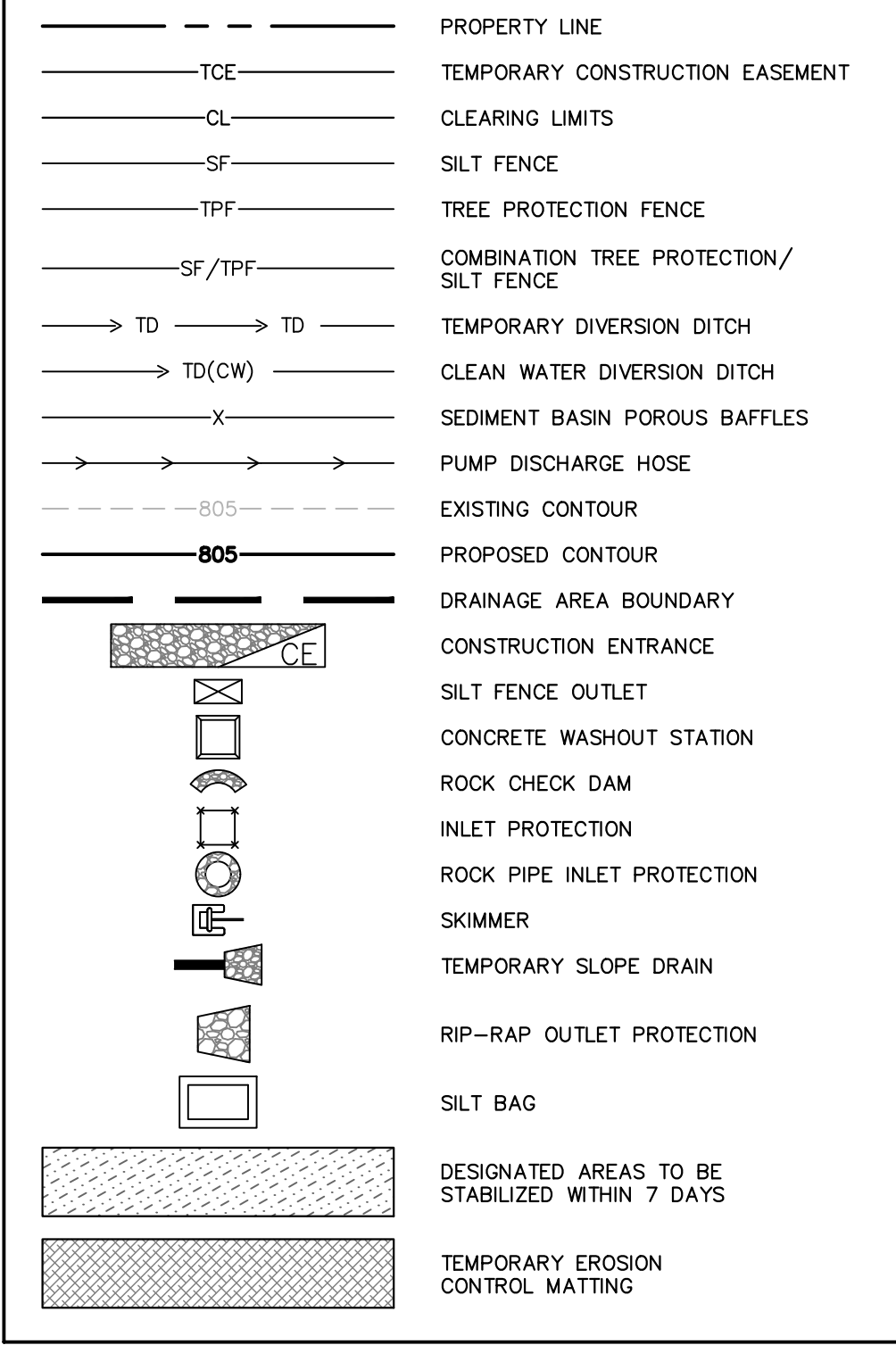
SILT FENCE OUTLETS ARE TO BE PROVIDED ALONG ALL LOW POINTS OF SILT FENCE AND AREAS WHERE RUNOFF MAY CONCENTRATE CAUSING DAMAGE TO SILT FENCE. CONTRACTOR TO INSTALL OUTLETS AS NECESSARY TO ENSURE SILT FENCE IS FULLY FUNCTIONAL THROUGHOUT THE DURATION OF CONSTRUCTION.

REFER TO GENERAL NOTES SHEET C0.1 FOR EROSION CONTROL, SEEDBED PREPARATION, AND SEEDING SCHEDULE NOTES FOR BOTH PHASES.

DISTURBED AREA: 1.53 AC



**EROSION CONTROL LEGEND**



**PHASE 2 CONSTRUCTION SEQUENCE:**

- THE FOLLOWING PHASE 2 CONSTRUCTION SEQUENCE IS FURNISHED AS A GENERAL GUIDE FOR PREPARATION OF A SEQUENCE OF CONSTRUCTION EVENTS.
- MAINTAIN CONSTRUCTION ENTRANCE AND SILT FENCE.
- CALL FOR ON-SITE INSPECTION BY INSPECTOR ONCE ALL PHASE 2 EROSION CONTROL MEASURES ARE INSTALLED. OBTAIN CERTIFICATE OF COMPLIANCE FROM WAKE COUNTY.
- CONTRACTOR IS TO CUT AND/OR FILL AREAS TO BRING THE SITE TO THE PROPOSED GRADES SHOWN ON THE GRADING AND DRAINAGE PLANS. GRADING ACTIVITY SHALL BE LIMITED TO WITHIN THE CLEARING LIMITS. MAINTAIN ALL EROSION CONTROL MEASURES AS NECESSARY.
- PROVIDE GROUND COVER ON SLOPES GREATER THAN 3:1 WITHIN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PROVIDE GROUND COVER TO ALL OTHER AREAS WITHIN 14 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY.
- INSTALL STORM DRAINAGE AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS, SEDIMENT TRAPS, OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDE AREAS PER GROUND STABILIZATION TIME FRAMES.
- INSPECT AND REPAIR EROSION CONTROL MEASURES AFTER EVERY RAINFALL EVENT OF 1/2" OR GREATER OR EVERY SEVEN (7) CALENDAR DAYS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NC DENR EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPARTMENT OF AGRICULTURE, AND CITY OF GREENVILLE EROSION CONTROL ORDINANCE.
- REFER TO SHEET C0.1 - GENERAL NOTES FOR GENERAL EROSION CONTROL NOTES AND MAINTENANCE.
- ALL EROSION CONTROL MEASURES TO REMAIN IN PLACE UNTIL +/- 80% STABILIZATION IS ACHIEVED.
- ONCE CONSTRUCTION IS COMPLETE AND ENTIRE SITE IS STABILIZED, CALL FOR FINAL INSPECTION BY WAKE COUNTY ENVIRONMENTAL CONSULTANT. IF APPROVED, REMOVE REMAINING EROSION CONTROL MEASURES. ALL REMAINING PERMANENT EROSION CONTROL DEVICES SHOULD NOW BE INSTALLED.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL INSPECTION BY WAKE COUNTY ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.

**SURVEY NOTE:**  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A TOPOGRAPHIC SURVEY OBTAINED ON 02/23/2023 BY CMP PROFESSIONAL LAND SURVEYORS, 333 S. WHITE STREET, WAKE FOREST, NC 27888. PHONE: (919) 556-3148. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

Plotted By: Alexander, Jamal Sheet: THE LEARNING CENTER ROLESVILLE, Layout: C5.1 EROSION CONTROL PLAN - PHASE 2, October 02, 2023, 02:42:31pm, K:\RAL...LDE\013031004...Rolesville...Learning...Center\P10\_CAD\Files\PlanSheets\C502 EROSION CONTROL PLAN.dwg  
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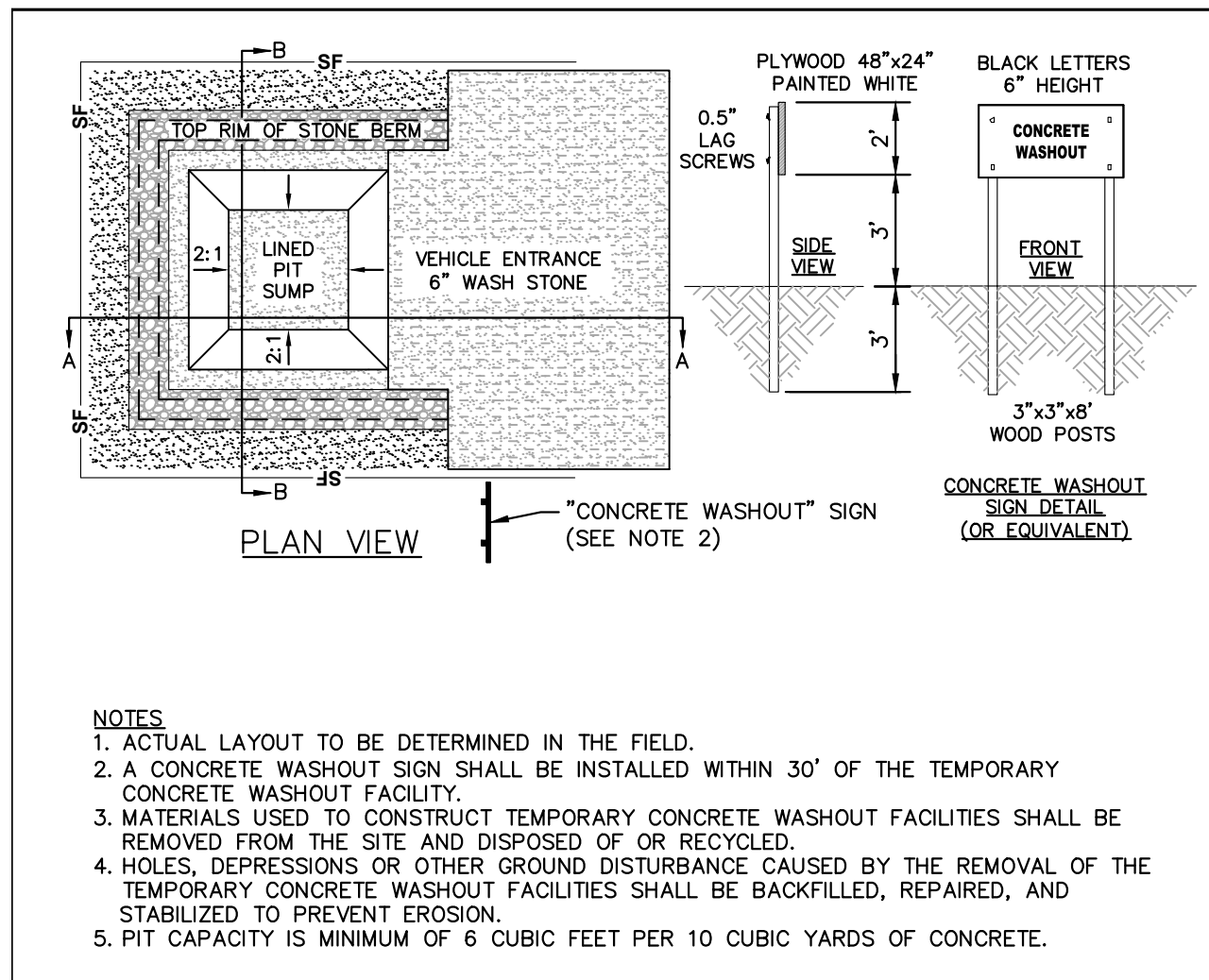
N/F  
ANDELIA P. WATKINS  
D.B. 5265, PG. 843  
B.M. 1979, PG. 178  
PIN #1759.20-80-4047

N/F  
SPIRIT MASTER FUNDING VII, LLC  
D.B. 15550, PG. 841  
B.M. 2007, PG. 143  
PIN #1759.20-80-7165

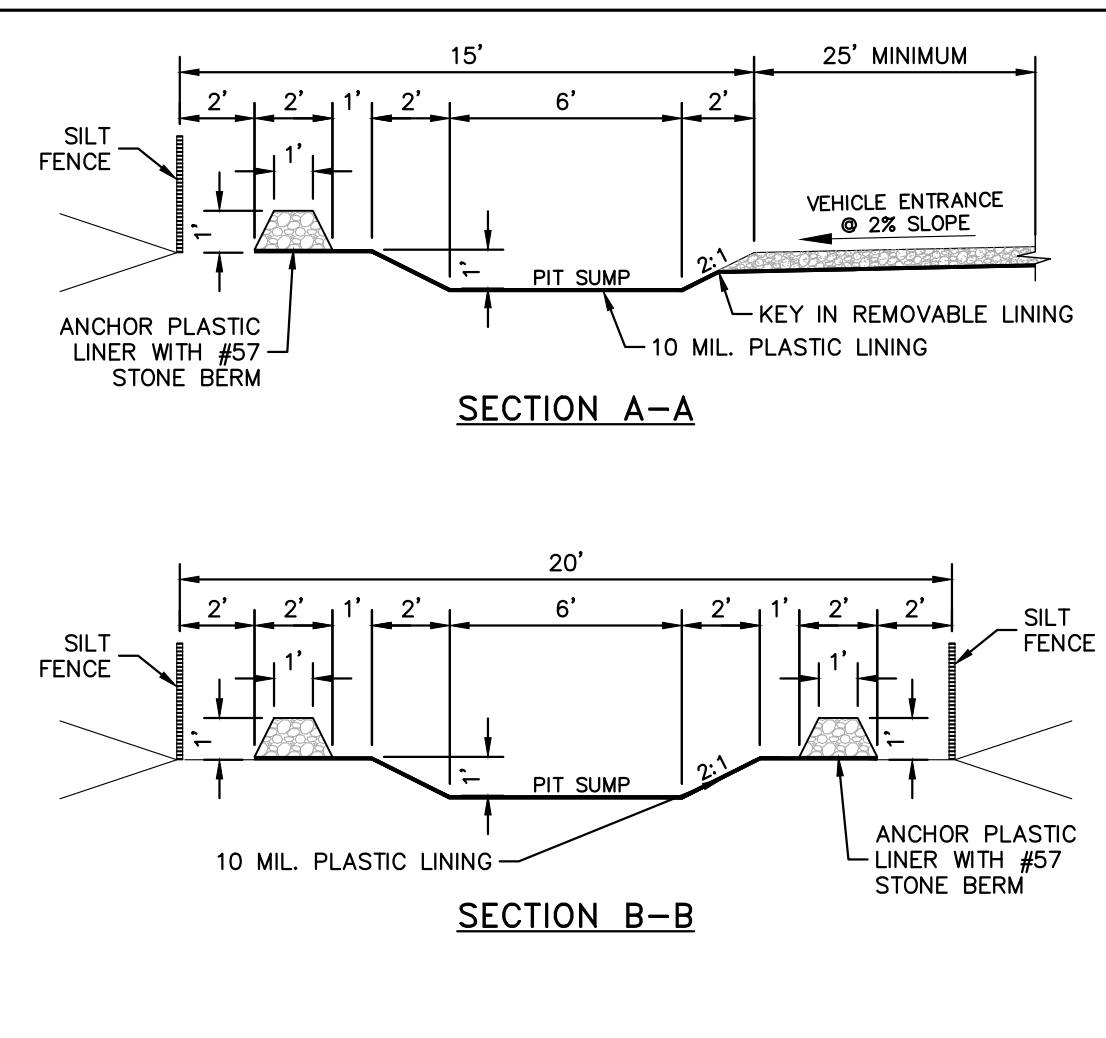


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KHA PROJECT 013031004	DATE 09/29/2023
SCALE AS SHOWN	DESIGNED BY JAA
DRAWN BY JAA	CHECKED BY COB
<b>THE LEARNING CENTER ROLESVILLE</b> PREPARED FOR <b>ROLESVILLE, LLC.</b> TOWN OF ROLESVILLE NORTH CAROLINA	
<b>EROSION CONTROL PLAN - PHASE 2</b>	
SHEET NUMBER <b>C5.1</b>	

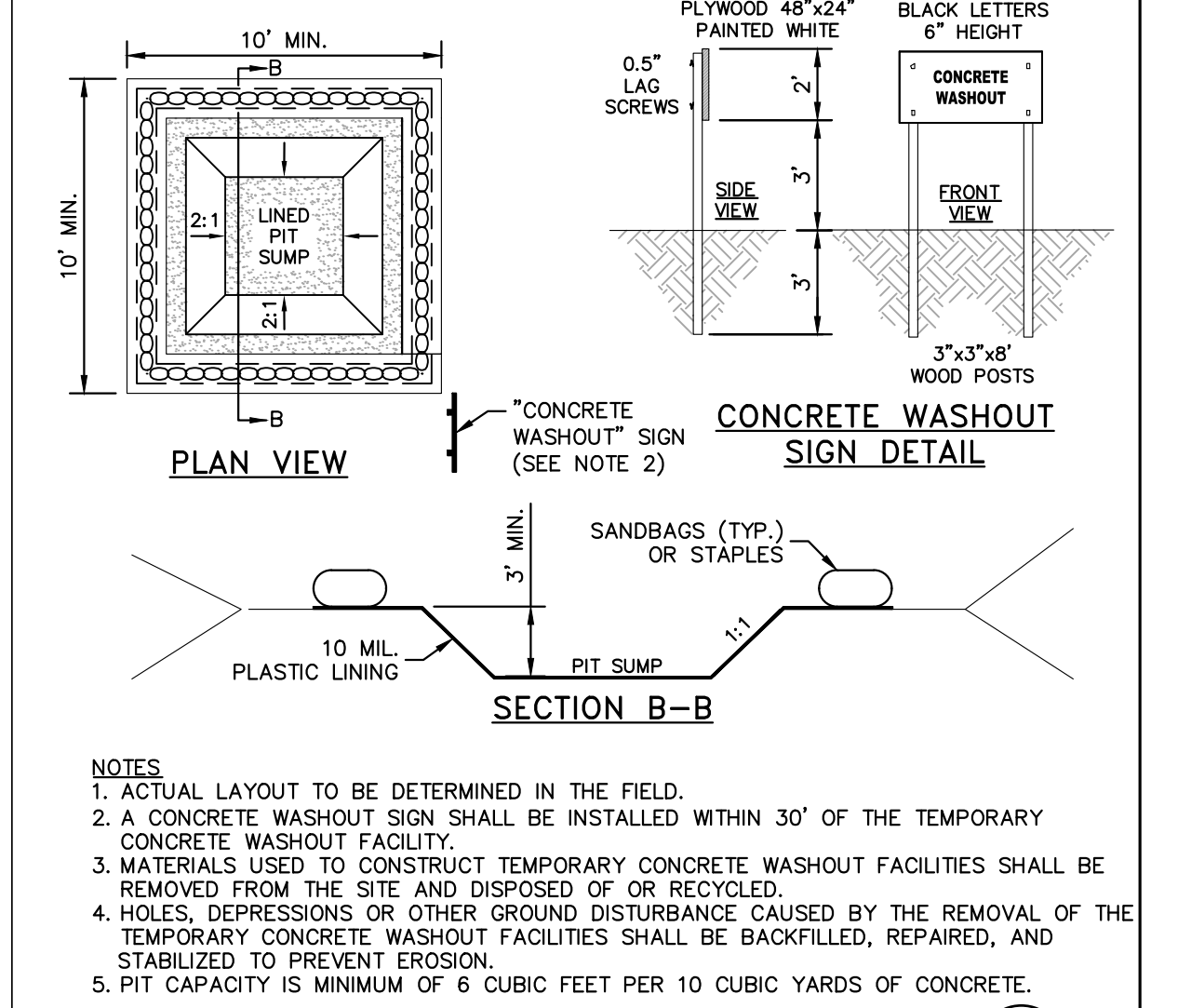
Plotted By: Alexander, Jamal Sheet Set: THE LEARNING CENTER ROLESVILLE EROSION CONTROL DETAILS, October 02, 2023, 02:42:49pm. K:\RAL\_LDEV\013031004\_Rolesville\_Leaning\_Center\10\_CAD Files\PlanSheets\C5.2 EROSION CONTROL DETAILS.dwg  
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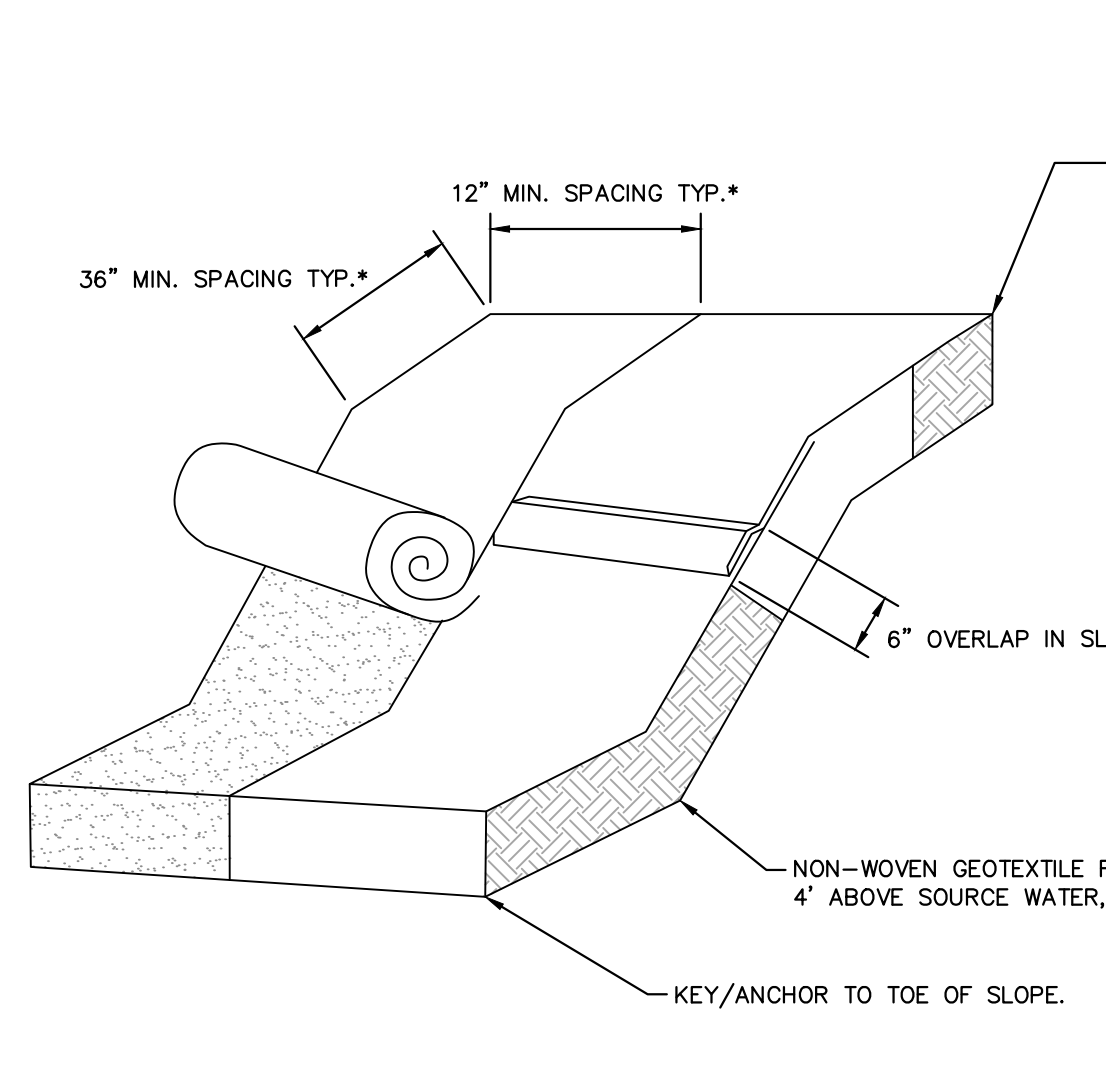
**CONCRETE WASHOUT STATION**  
N.T.S. KHA DETAIL NO: 01.102.R01 XX



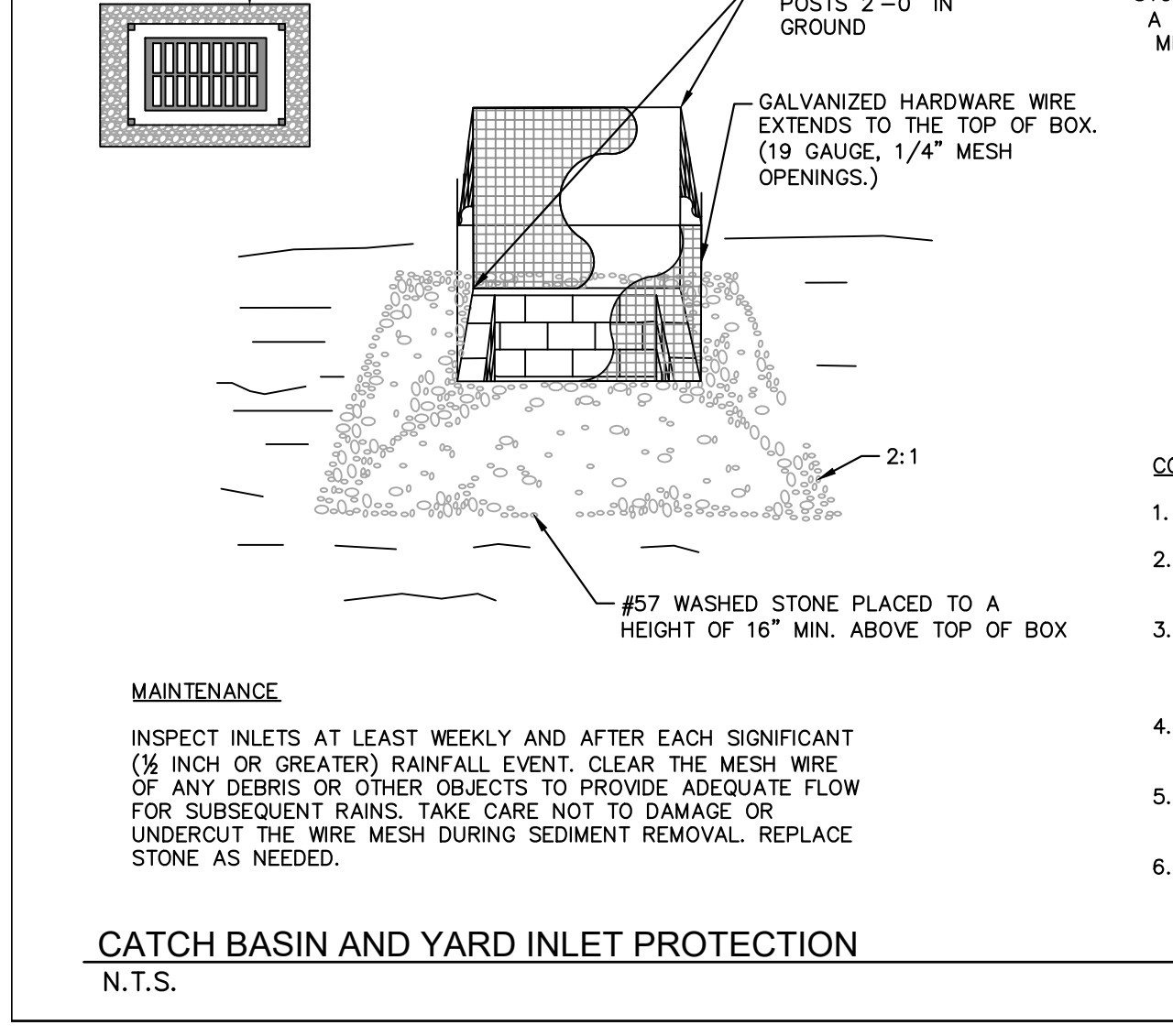
**TEMPORARY SEEDING SCHEDULE AND SEEDBED PREPARATION**  
N.T.S. KHA DETAIL NO: 01.104.R01 XX



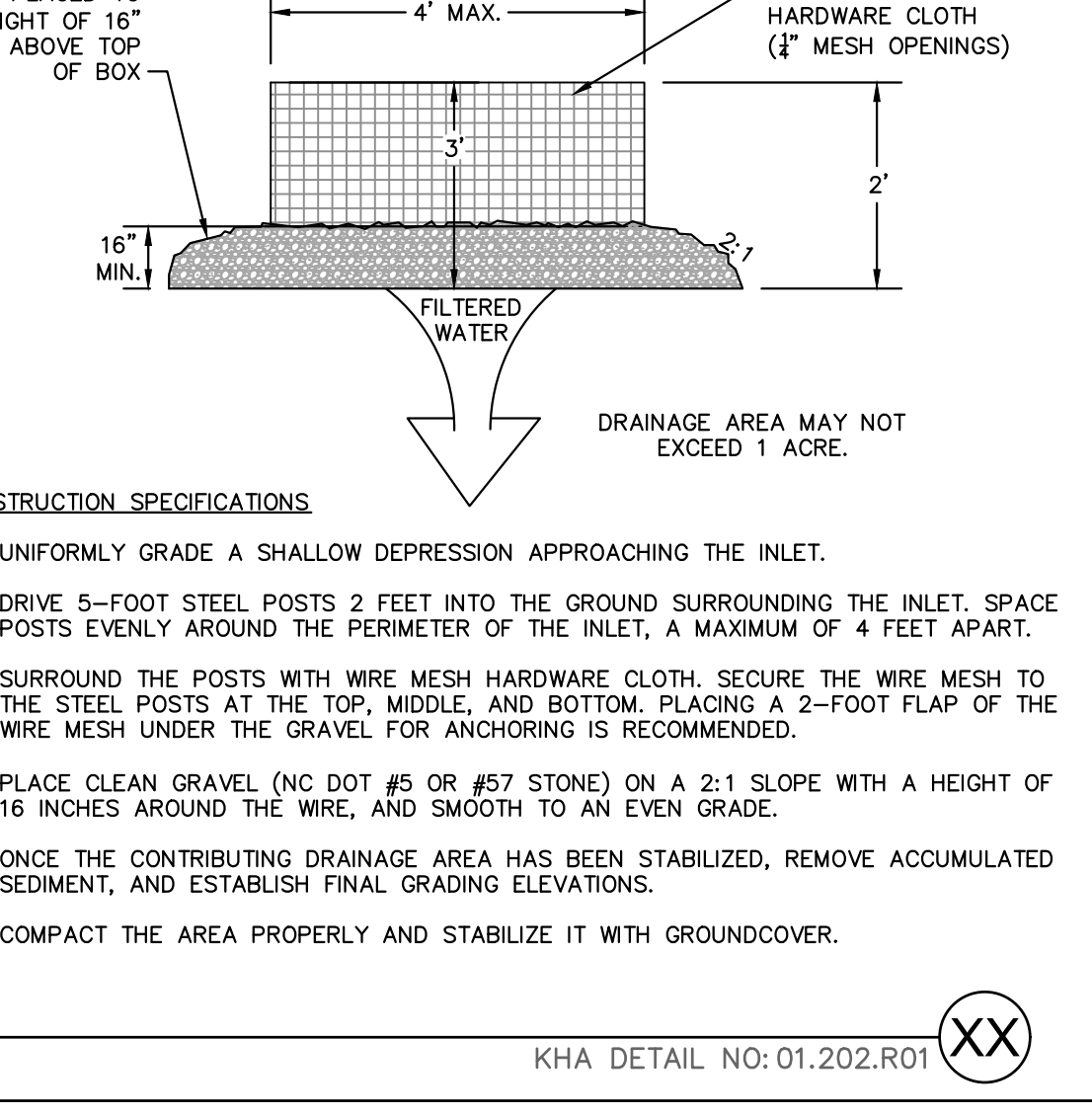
**CONCRETE WASHOUT STATION**  
N.T.S. KHA DETAIL NO: 01.102.R01 05



**TEMPORARY MATTING**  
N.T.S. KHA DETAIL NO: 01.105.R01 XX



**CATCH BASIN AND YARD INLET PROTECTION**  
N.T.S. KHA DETAIL NO: 01.202.R01 XX



**CATCH BASIN SILT PROTECTION INSERT**  
N.T.S. KHA DETAIL NO: 01.203.R01 XX

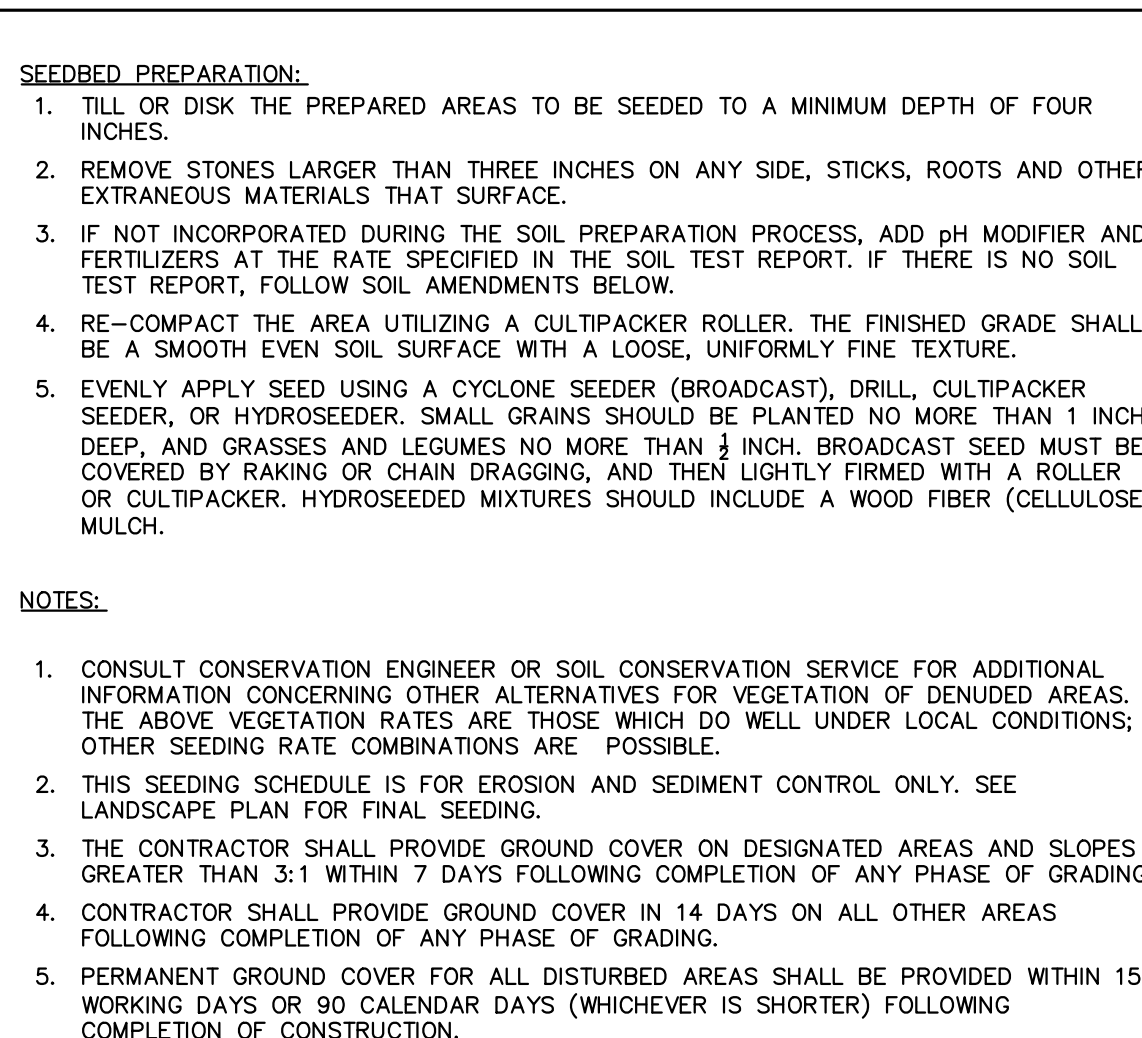
**SEEDBED PREPARATION:**

- TILL OR DISK THE PREPARED AREAS TO BE SEED TO A MINIMUM DEPTH OF FOUR INCHES.
- REMOVE STONES LARGER THAN THREE INCHES ON ANY SIDE, STICKS, ROOTS AND OTHER EXTRANEEOUS MATERIALS THAT SURFACE.
- IF NOT INCORPORATED DURING THE SOIL PREPARATION PROCESS, ADD PH MODIFIER AND FERTILIZERS AT THE RATE SPECIFIED IN THE SOIL TEST REPORT. IF THERE IS NO SOIL TEST REPORT, FOLLOW SOIL AMENDMENTS BELOW.
- RE-COMPACT THE AREA UTILIZING A CULTIPACKER ROLLER. THE FINISHED GRADE SHALL BE A SMOOTH EVEN SOIL SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- EVENLY APPLY SEED USING A CYCLONE SEEDER (BROADCAST), DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. SMALL GRAINS SHOULD BE PLANTED NO MORE THAN 1 INCH DEEP, AND GRASSES AND LEGUMES NO MORE THAN 1/2 INCH. BROADCAST SEED MUST BE COVERED BY RAKING OR CHAIN DRAGGING, AND THEN LIGHTLY FIRMED WITH A ROLLER OR CULTIPACKER. HYDROSEEDING MIXTURES SHOULD INCLUDE A WOOD FIBER (CELLULOSE) MULCH.

**NOTES:**

- CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDED AREAS. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.
- THIS SEEDING SCHEDULE IS FOR EROSION AND SEDIMENT CONTROL ONLY. SEE LANDSCAPE PLAN FOR FINAL SEEDING.
- THE CONTRACTOR SHALL PROVIDE GROUND COVER ON DESIGNATED AREAS AND SLOPES GREATER THAN 3:1 WITHIN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING.
- CONTRACTOR SHALL PROVIDE GROUND COVER IN 14 DAYS ON ALL OTHER AREAS FOLLOWING COMPLETION OF ANY PHASE OF GRADING.
- PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION.

**TEMPORARY SEEDING SCHEDULE AND SEEDBED PREPARATION**  
N.T.S. KHA DETAIL NO: 01.104.R01 XX



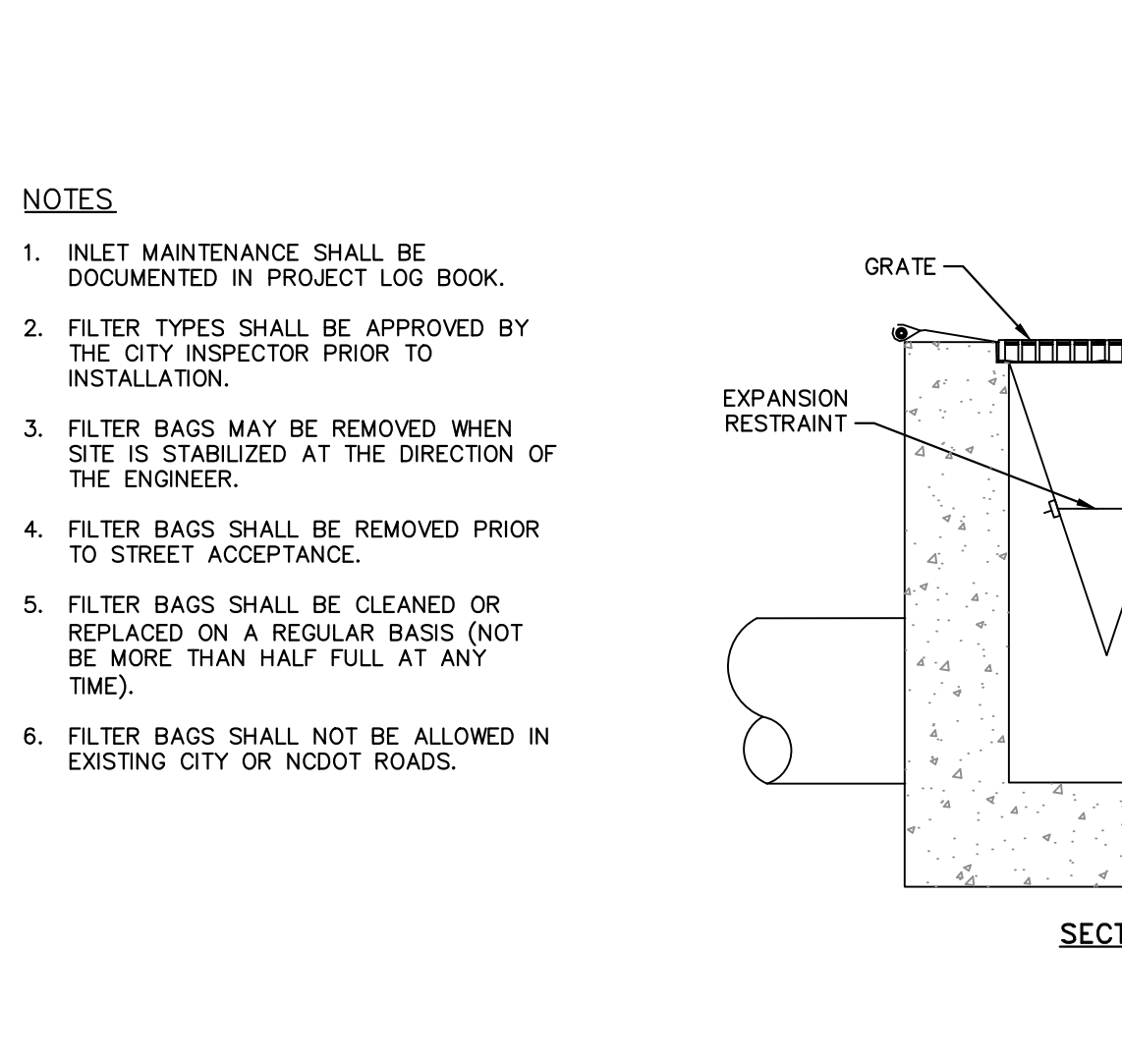
**CATCH BASIN INLET PROTECTION**  
N.T.S. KHA DETAIL NO: 01.201.R01 XX

**CAPACITY CHART**

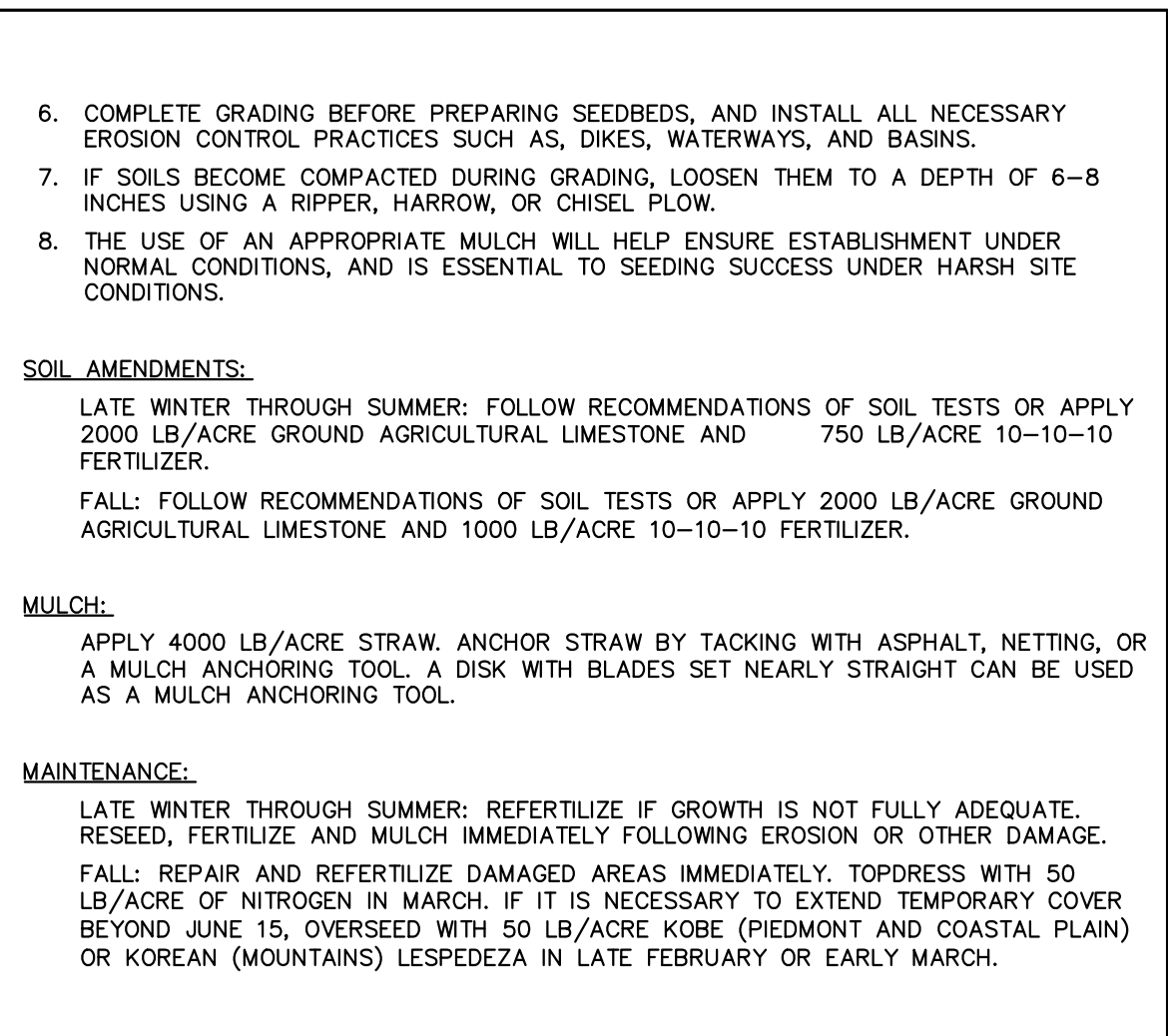
MODEL NO.	INLET SIZE	LINER DEPTH	STORAGE CAPACITY*	CLEAN FLOW RATE**
FF-2424HC	24" x 24"	12"	1.67 CU. FT.	470 GPM
"	24" x 24"	24"	4.18 CU. FT.	914 GPM
"	24" x 24"	36"	6.69 CU. FT.	1,357 GPM
FF-2436HC	24" x 36"	12"	2.55 CU. FT.	641 GPM
"	24" x 36"	24"	6.38 CU. FT.	1,201 GPM
"	24" x 36"	36"	10.20 CU. FT.	1,761 GPM
FF-3636HC-00	36" x 36"	12"	3.36 CU. FT.	772 GPM
"	36" x 36"	24"	8.39 CU. FT.	1,402 GPM
"	36" x 36"	36"	13.43 CU. FT.	2,032 GPM

\* STORAGE CAPACITY REFLECTS MAXIMUM SOLIDS COLLECTION PRIOR TO IMPEDING BYPASS.  
\*\* FLOW RATES ARE "CALCULATED CLEAN FLOW RATES" BASED ON LINER MATERIAL FLOW RATE OF 70 GPM/SQ. FT. (RECOMMEND APPLYING FACTOR OF .25 TO .50 TO FLOW RATES TO ALLOW FOR SEDIMENT AND DEBRIS)

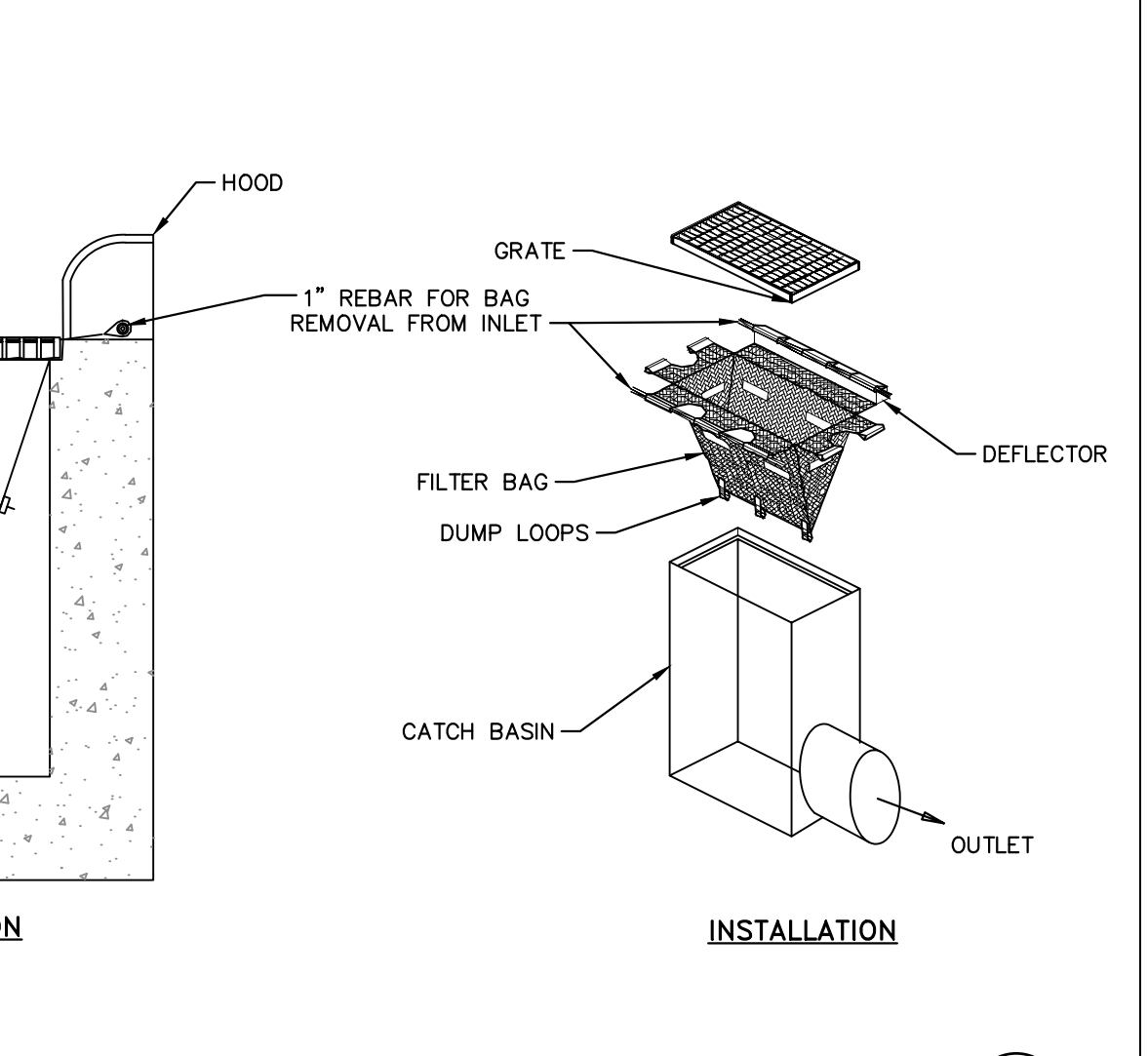
**CATCH BASIN SILT PROTECTION INSERT**  
N.T.S. KHA DETAIL NO: 01.203.R01 XX



**CATCH BASIN INLET PROTECTION**  
N.T.S. KHA DETAIL NO: 01.201.R01 XX



**MULCH**  
N.T.S. KHA DETAIL NO: 01.201.R01 XX



**CATCH BASIN INLET PROTECTION**  
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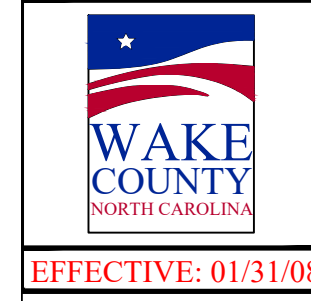
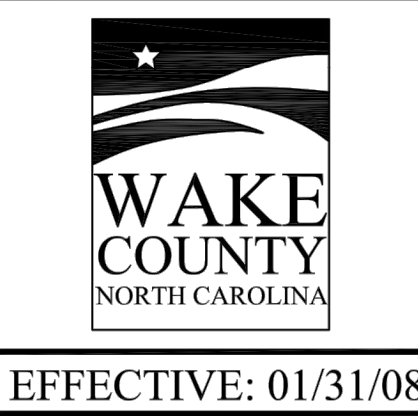
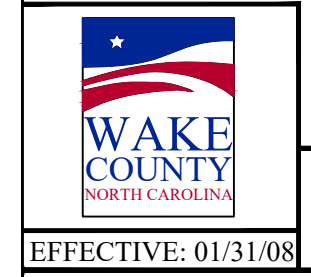
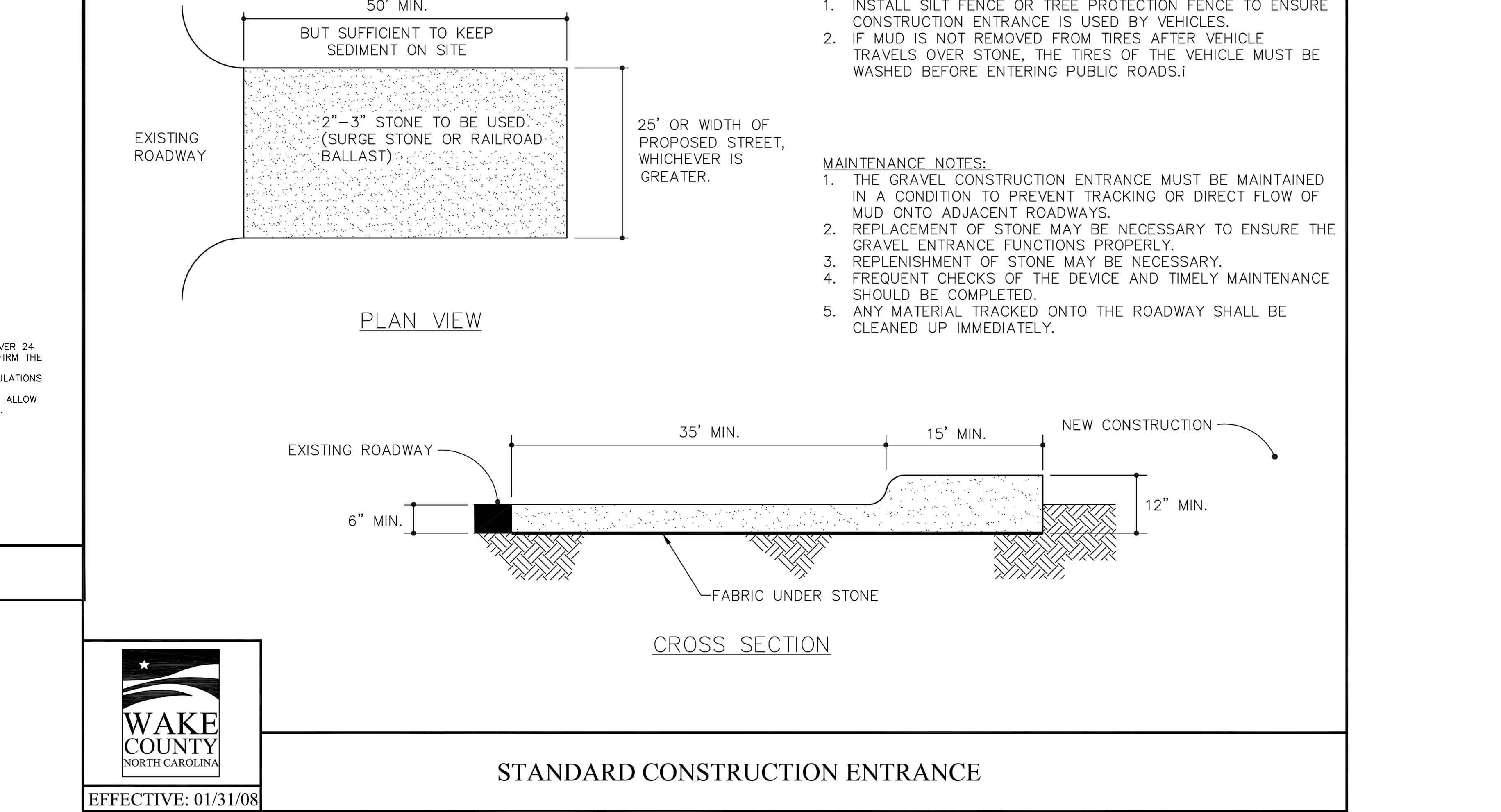
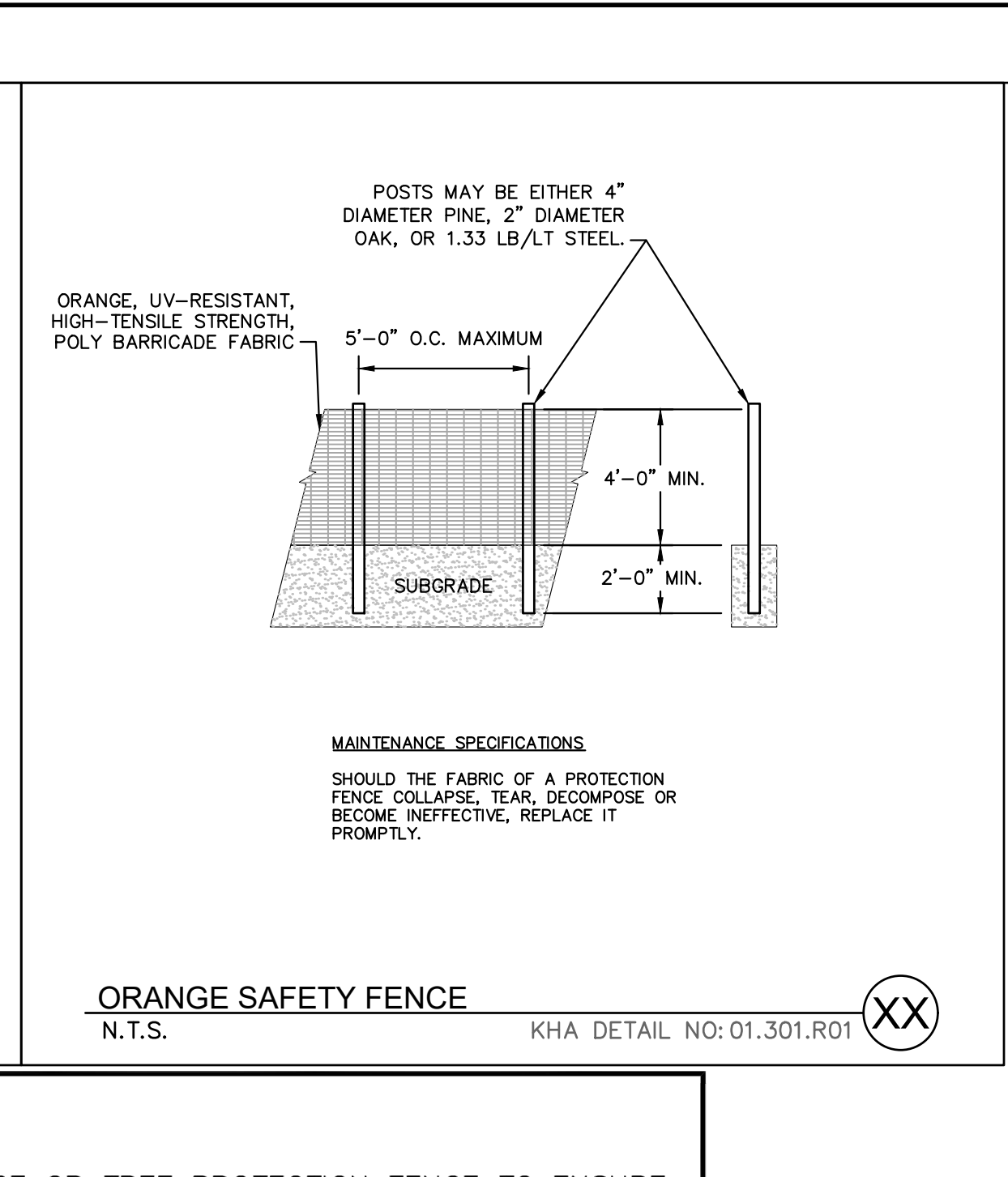
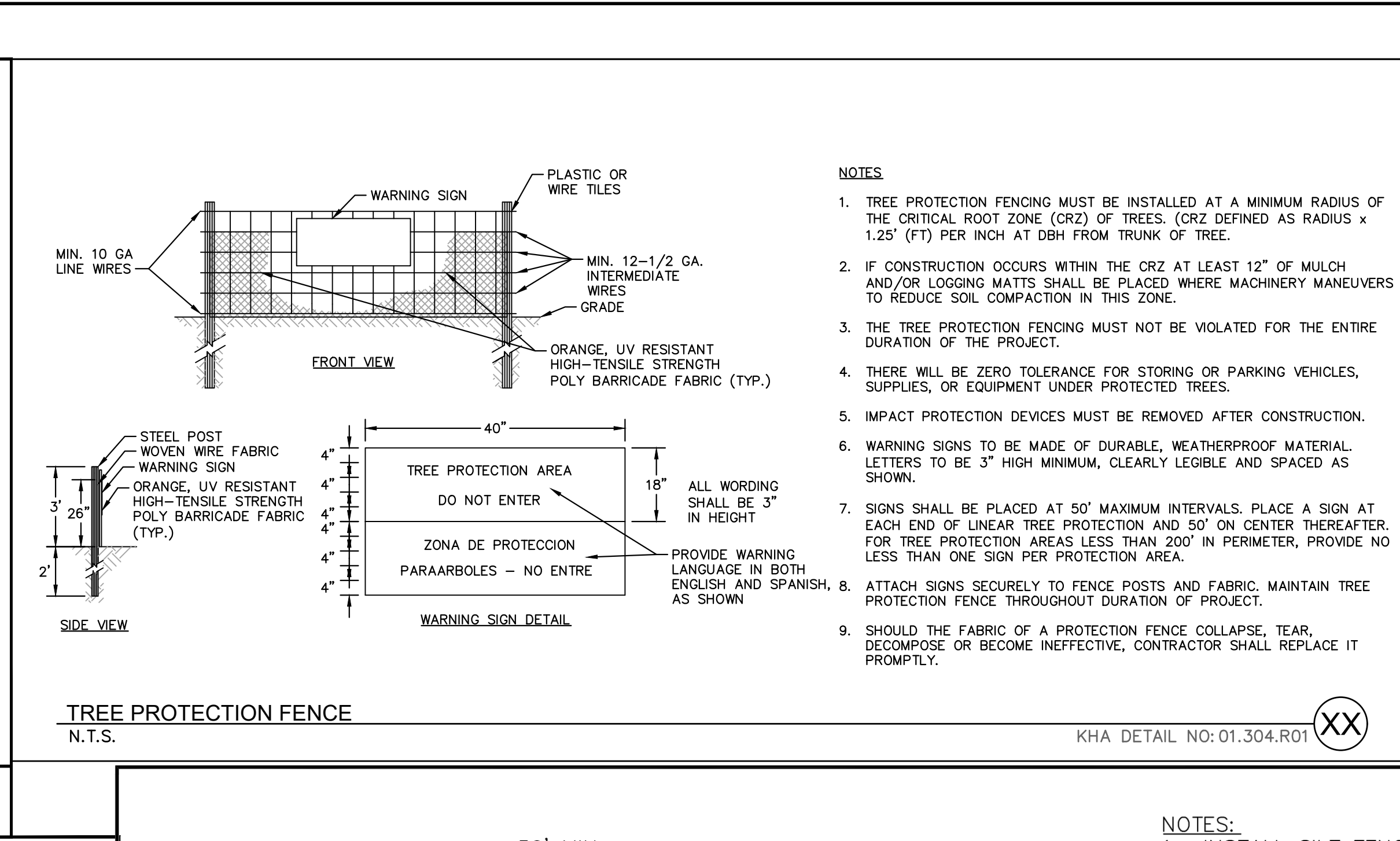
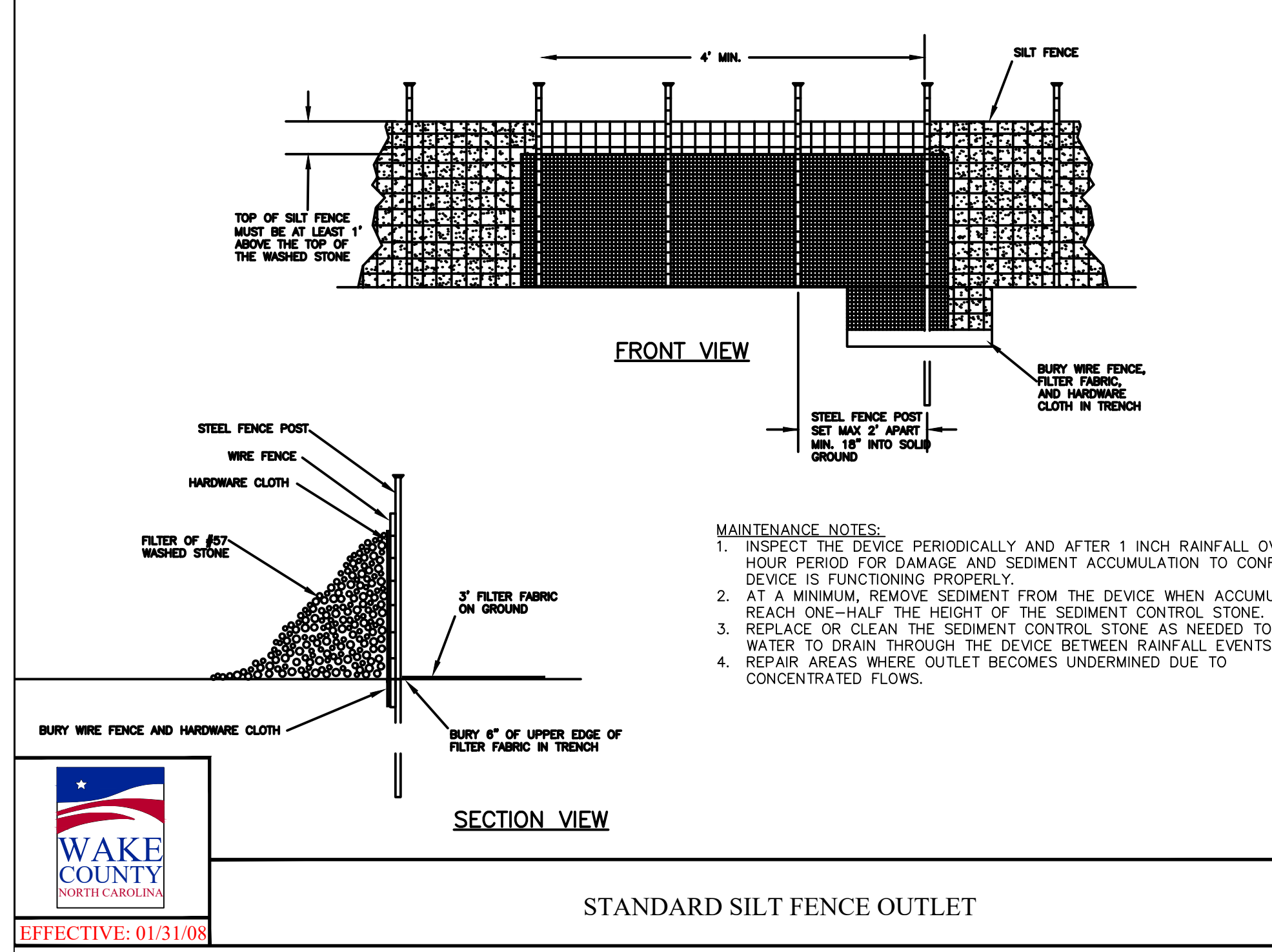
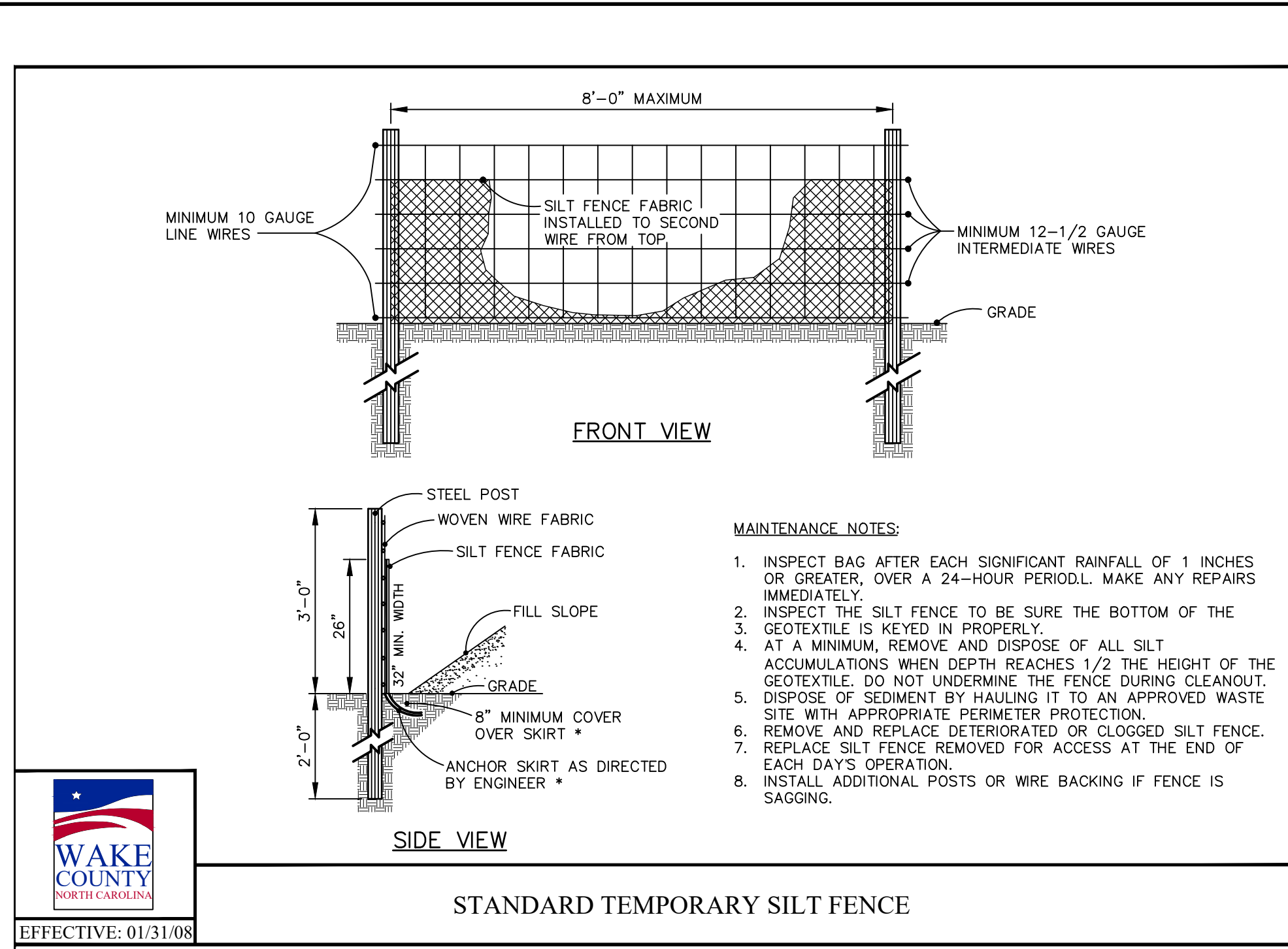
THE LEARNING CENTER ROLESVILLE EROSION CONTROL DETAILS

PREPARED FOR ROLESVILLE, LLC. NORTH CAROLINA

THE LEARNING CENTER ROLESVILLE EROSION CONTROL DETAILS

PREPARED FOR ROLESVILLE, LLC. NORTH CAROLINA

Plotted By: Alexander, Jamal Sheet Set: THE LEARNING CENTER ROLESVILLE, EROSION CONTROL DETAILS, October 02, 2023 02:42:51pm K:\RAI\_L\DEVELOP\13031004\_Rolesville\_Learning\_Center\PTD\_CAD\Files\PlanSheets\C5.3 EROSION CONTROL DETAILS.dwg  
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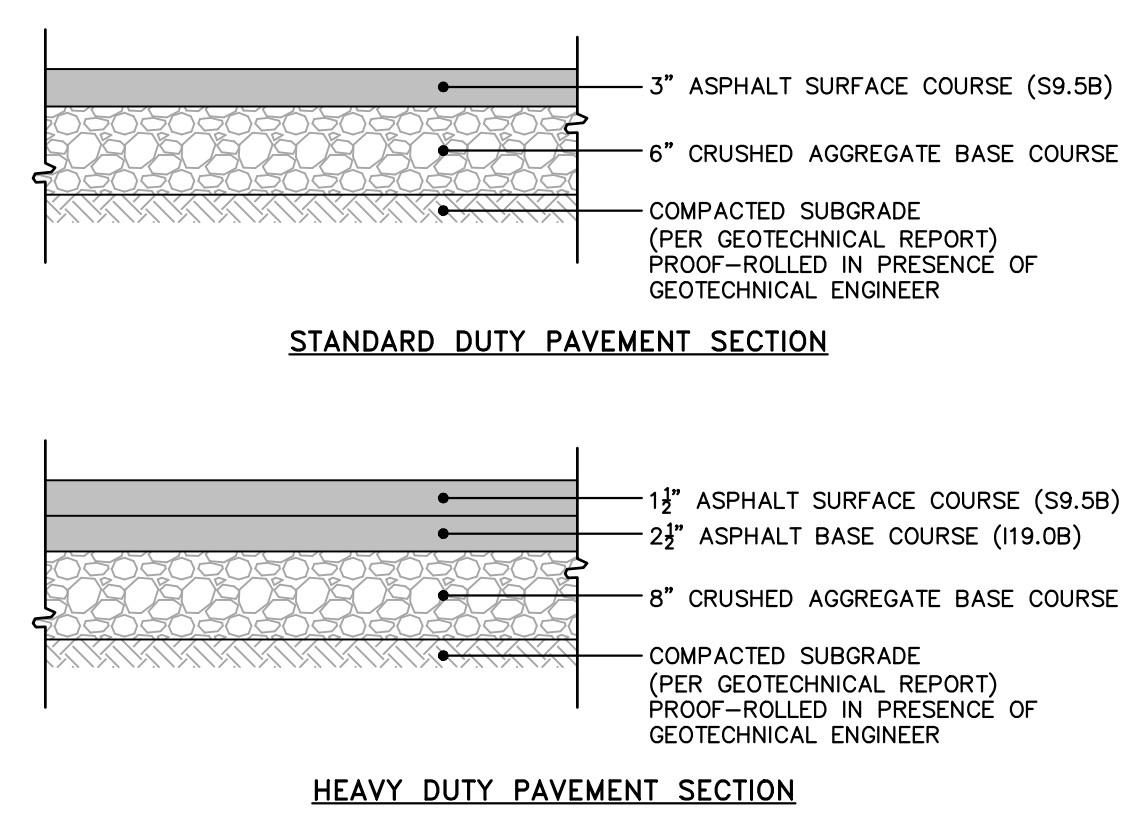
DATE: 09/29/2023  
 SCALE: AS SHOWN  
 DESIGNED BY: JAA  
 DRAWN BY: JAA  
 CHECKED BY: COB

**EROSION CONTROL DETAILS**

**THE LEARNING CENTER ROLESVILLE**  
 PREPARED FOR  
**ROLESVILLE, LLC.**  
 TOWN OF ROLESVILLE  
 NORTH CAROLINA

SHEET NUMBER  
**C5.3**

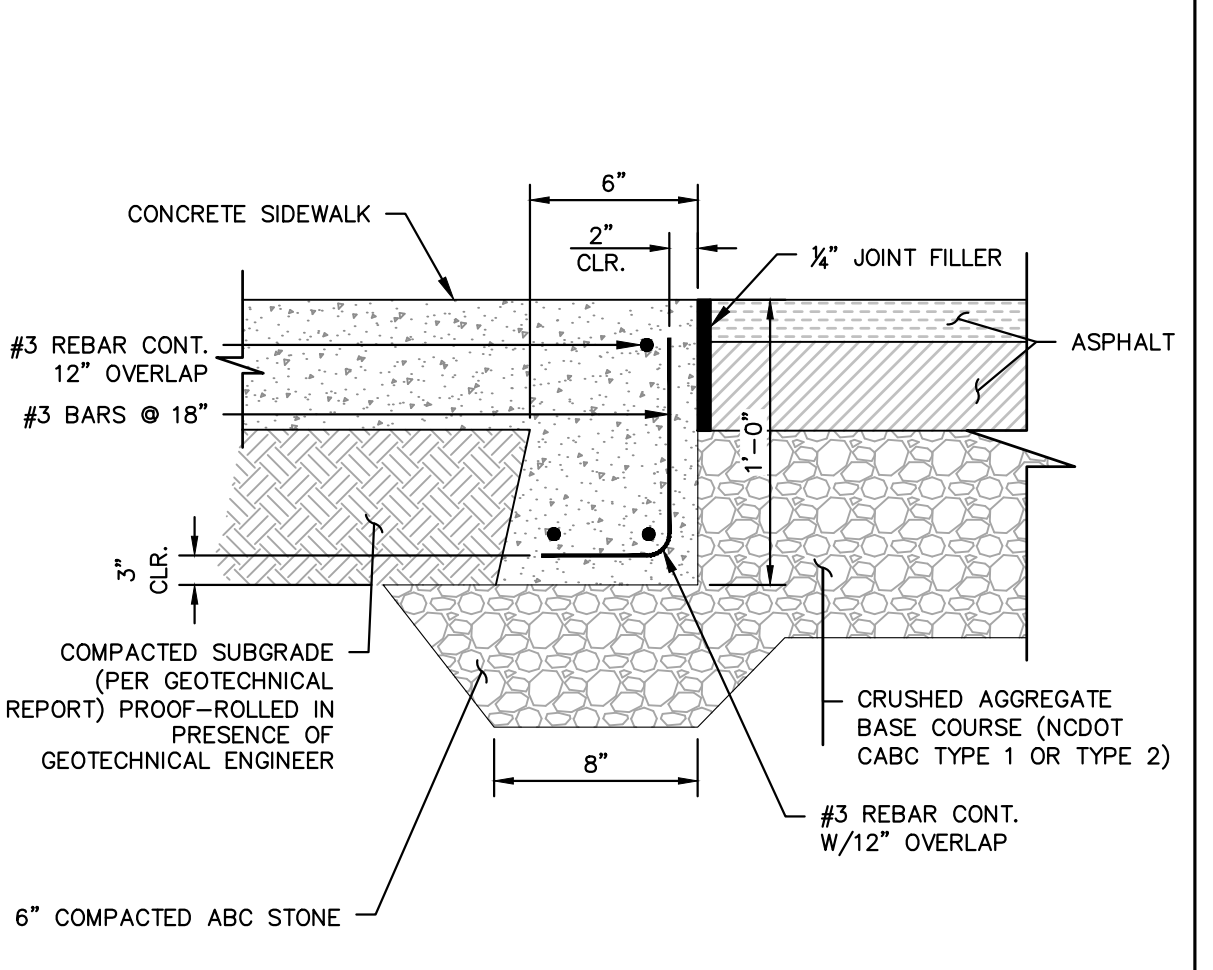
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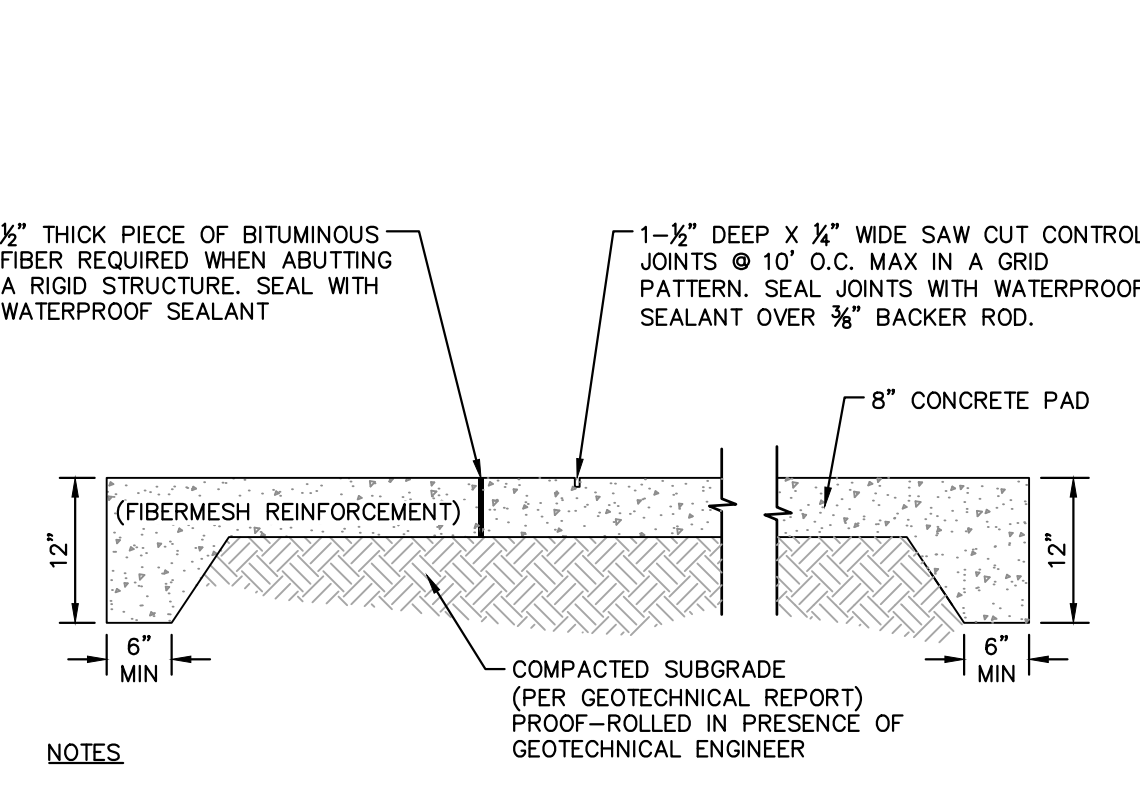
**NOTES**

- ALL PAVEMENT MATERIALS SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATIONS.
- PAVEMENT SECTION MUST MEET THE CRITERIA GIVEN IN THE SITE SOIL REPORT.

**ASPHALT PAVEMENT SECTIONS**  
N.T.S. KHA DETAIL NO: 02.101.R02 XX



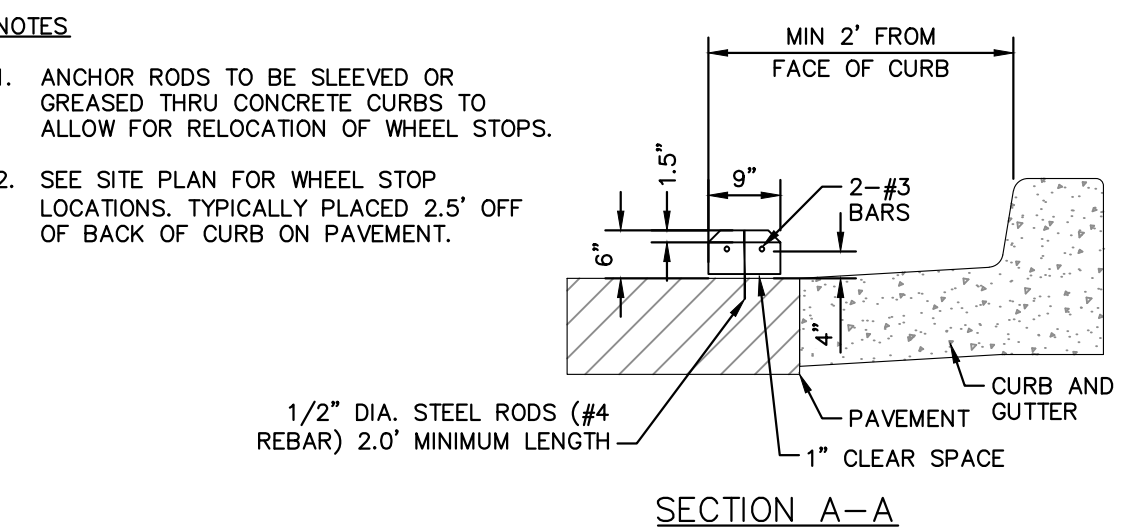
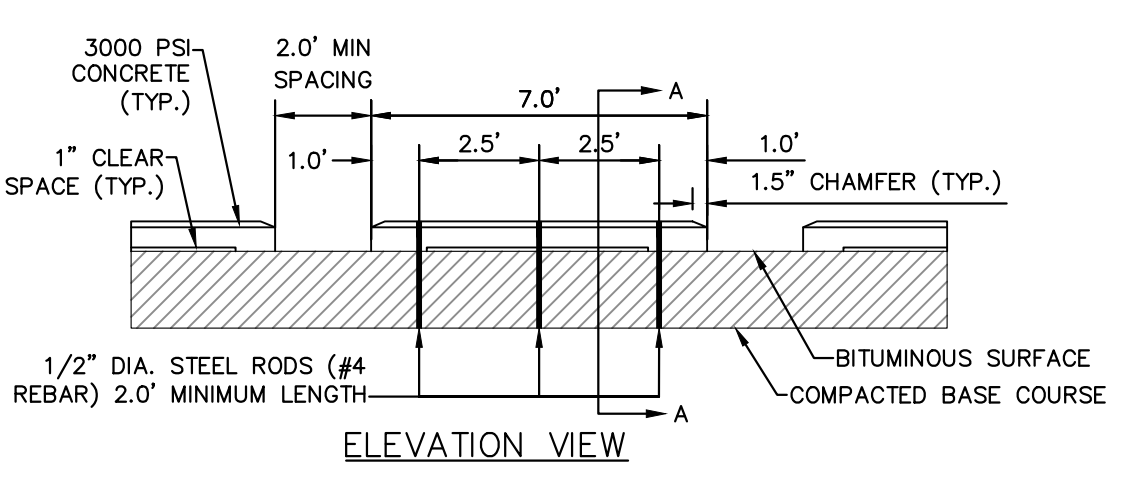
**FLUSH CONCRETE SIDEWALK**  
N.T.S. KHA DETAIL NO: 02.104.R02 XX



**NOTES**

- EXPANSION JOINTS AT BUILDINGS OR IMMOVABLE OBJECTS.
- CONTROL JOINTS 12' O.C.
- EXPANSION JOINTS 30' O.C. (MAX)
- CONTROL JOINT SPACING MAY VARY.
- BROOM FINISH

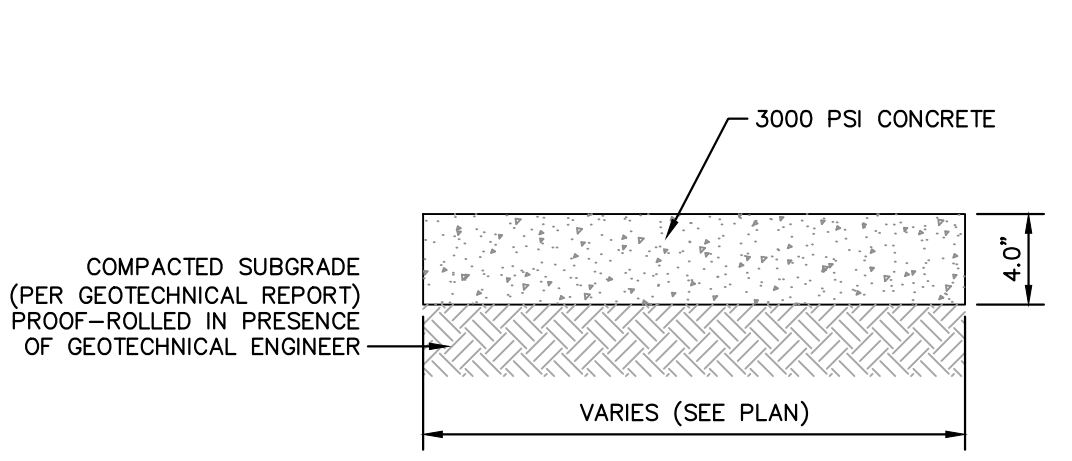
**CONCRETE APRON AND DUMPSTER PAD**  
N.T.S. KHA DETAIL NO: 02.107.R01 XX



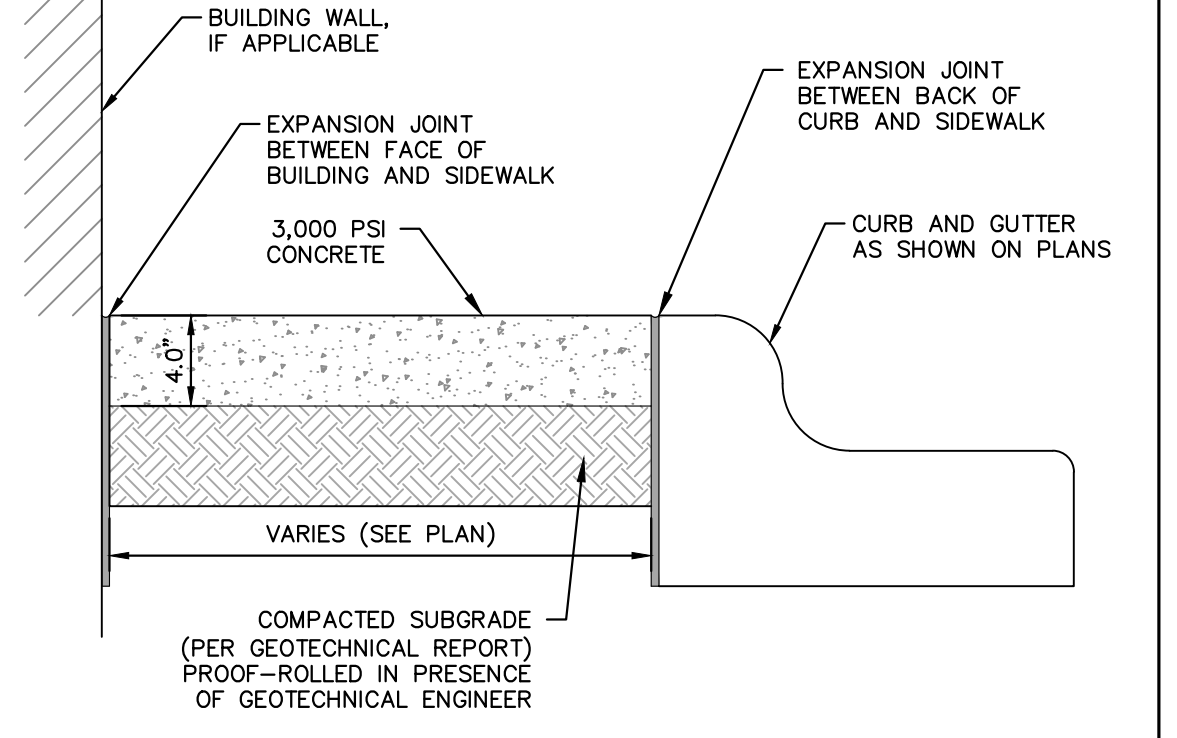
**NOTES**

- ANCHOR RODS TO BE SLEEVED OR GREASED THRU CONCRETE CURBS TO ALLOW FOR RELOCATION OF WHEEL STOPS.
- SEE SITE PLAN FOR WHEEL STOP LOCATIONS. TYPICALLY PLACED 2.5' OFF OF BACK OF CURB ON PAVEMENT.

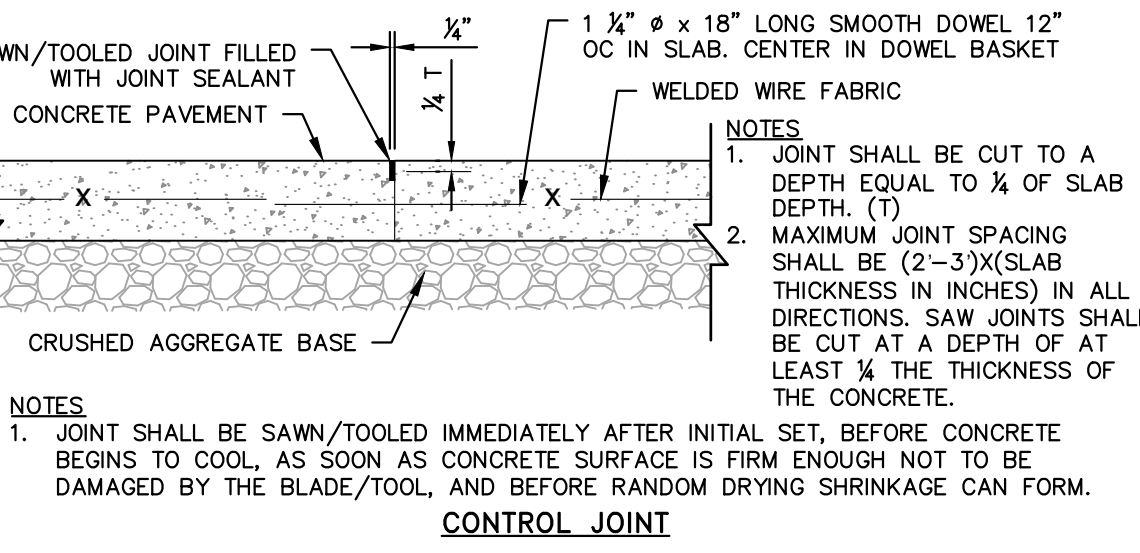
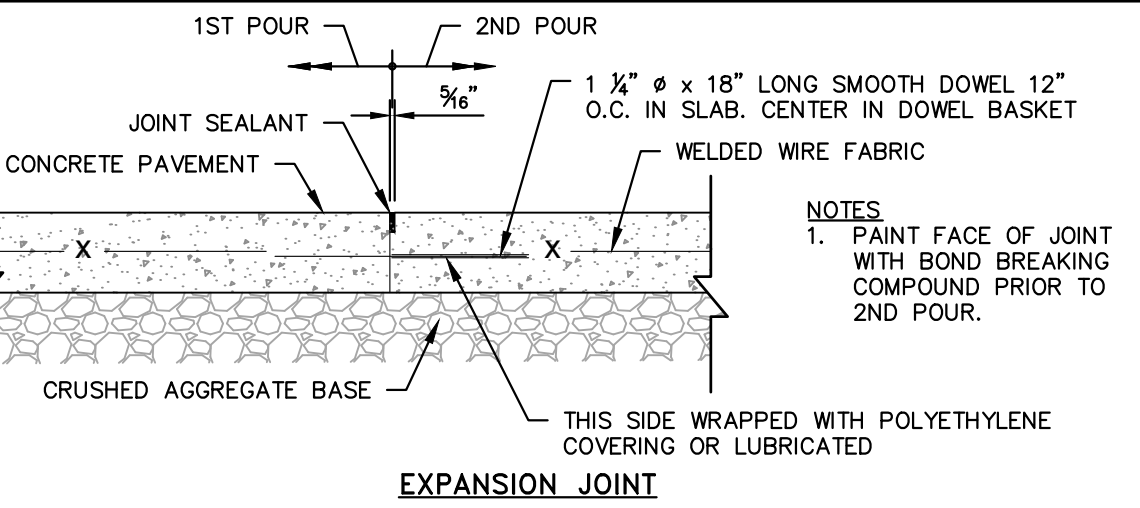
**WHEEL STOP**  
N.T.S. KHA DETAIL NO: 02.111.R02 XX



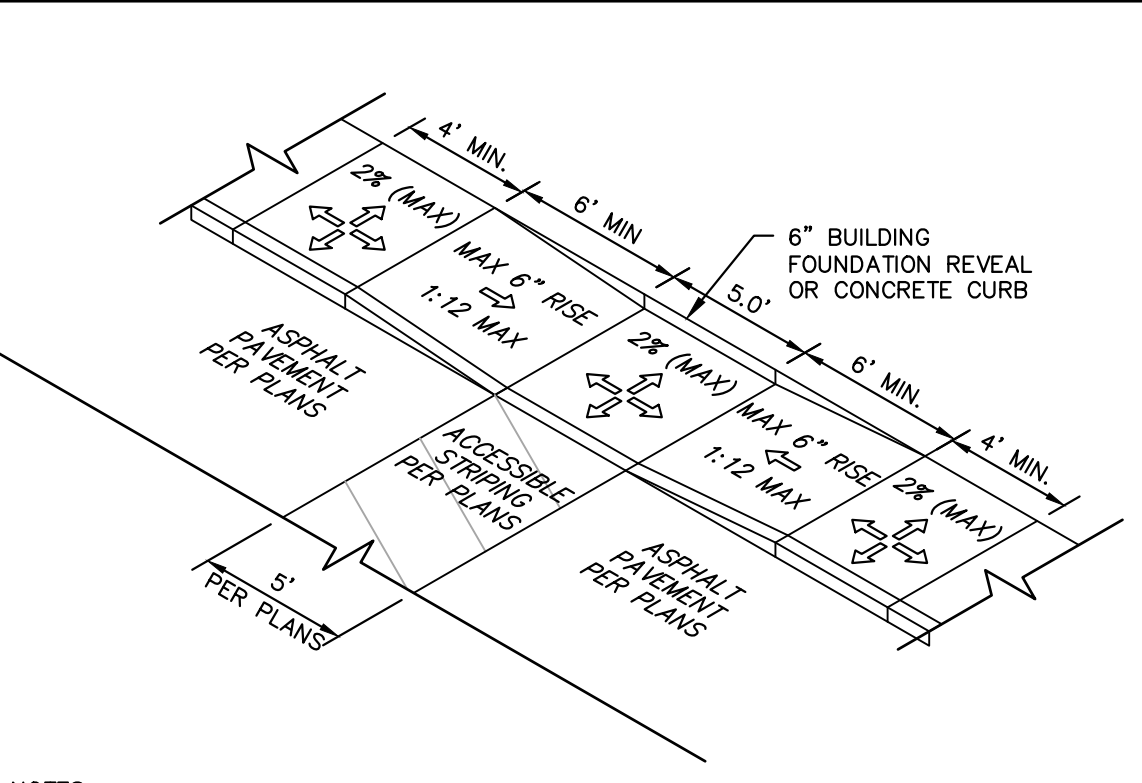
**SIDEWALK SECTION**  
N.T.S. KHA DETAIL NO: 02.102.R01 XX



**SIDEWALK ADJACENT TO PARKING AREAS**  
N.T.S. KHA DETAIL NO: 02.105.R02 XX



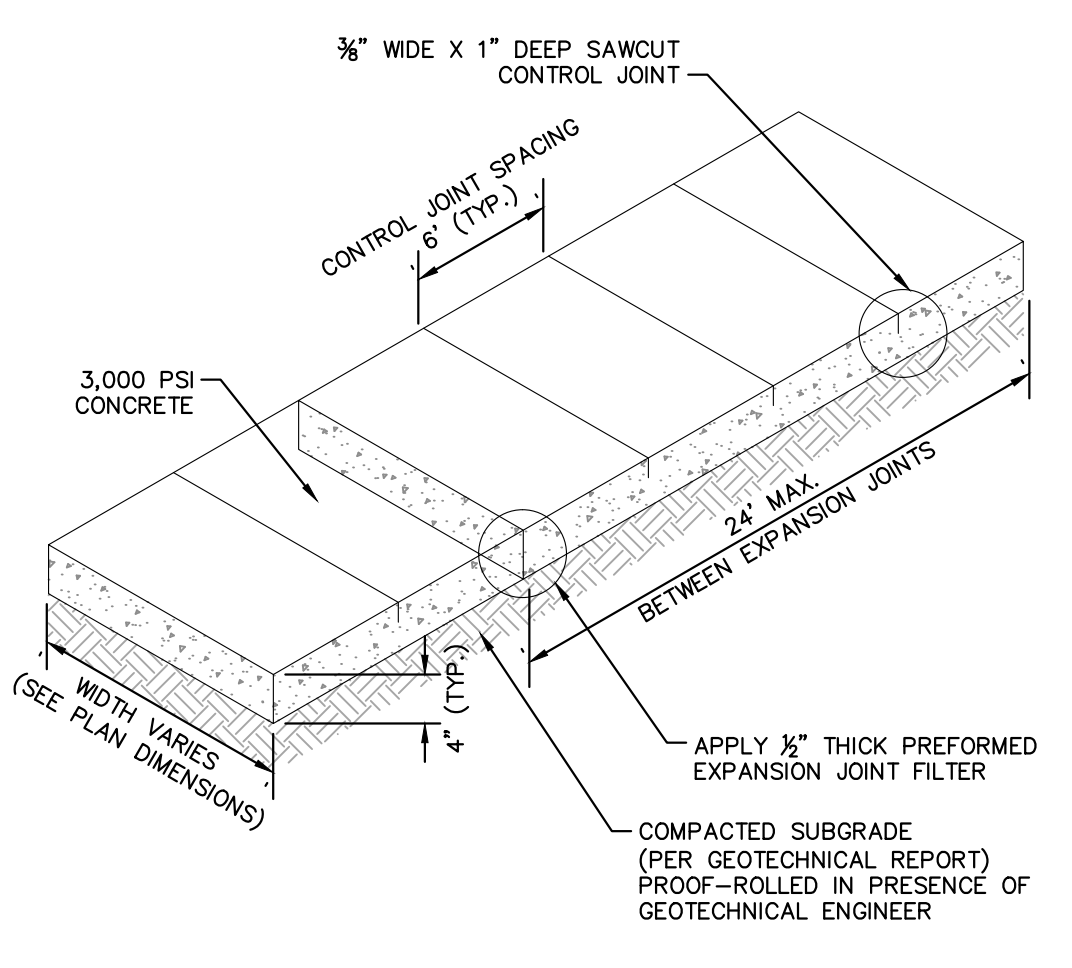
**HEAVY DUTY CONTROL AND EXPANSION JOINTS**  
N.T.S. KHA DETAIL NO: 02.108.R02 XX



**NOTES**

- ALL ACCESSIBLE COMPONENTS CONSTRUCTED AS PART OF THESE PLANS SHALL COMPLY WITH THE LOCAL, STATE, AND FEDERAL REGULATIONS WHICHEVER ARE MORE STRINGENT.
- CURB RAMPS SHALL BE CONCRETE WITH STRENGTH OF 3,000 PSI.
- INSTALL 1/4" EXPANSION JOINT FILLER MATERIAL BETWEEN A NEW CURB RAMP AND THE EXISTING SIDEWALKS.
- WATER PONDING WITHIN THE CURB RAMP LIMITS IS NOT ALLOWED.
- NO GRADE BREAK IS ALLOWED ALONG THE RAMP SURFACE.
- CROSS SLOPE OF THE CURB RAMP SURFACE SHALL BE LESS THAN 2%.

**DEPRESSED CURB RAMP**  
N.T.S. KHA DETAIL NO: 02.109.R02 XX



**SIDEWALK**  
N.T.S. KHA DETAIL NO: 02.103.R02 02

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DATE

REVISIONS

No.

**NOT FOR CONSTRUCTION**

PRELIMINARY

NO. 02.103.R02

KHA PROJECT 013031004	DATE 09/29/2023	SCALE AS SHOWN	DESIGNED BY JAA
			DRAWN BY JAA
			CHECKED BY COE

**SITE DETAILS**

**THE LEARNING CENTER ROLESVILLE**

PREPARED FOR  
**ROLESVILLE, LLC.**

TOWN OF ROLESVILLE  
NORTH CAROLINA

SHEET NUMBER  
**C8.0**



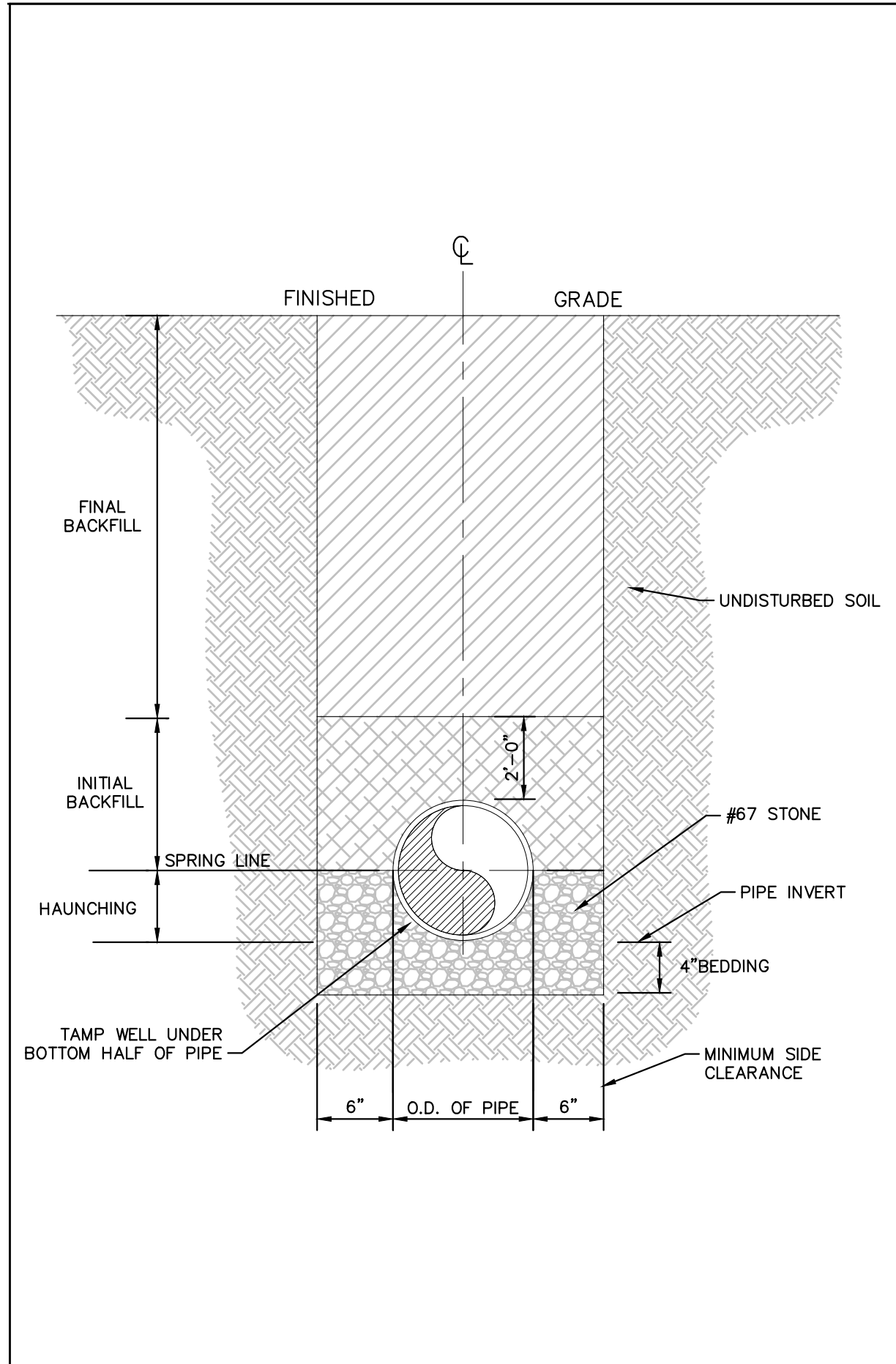






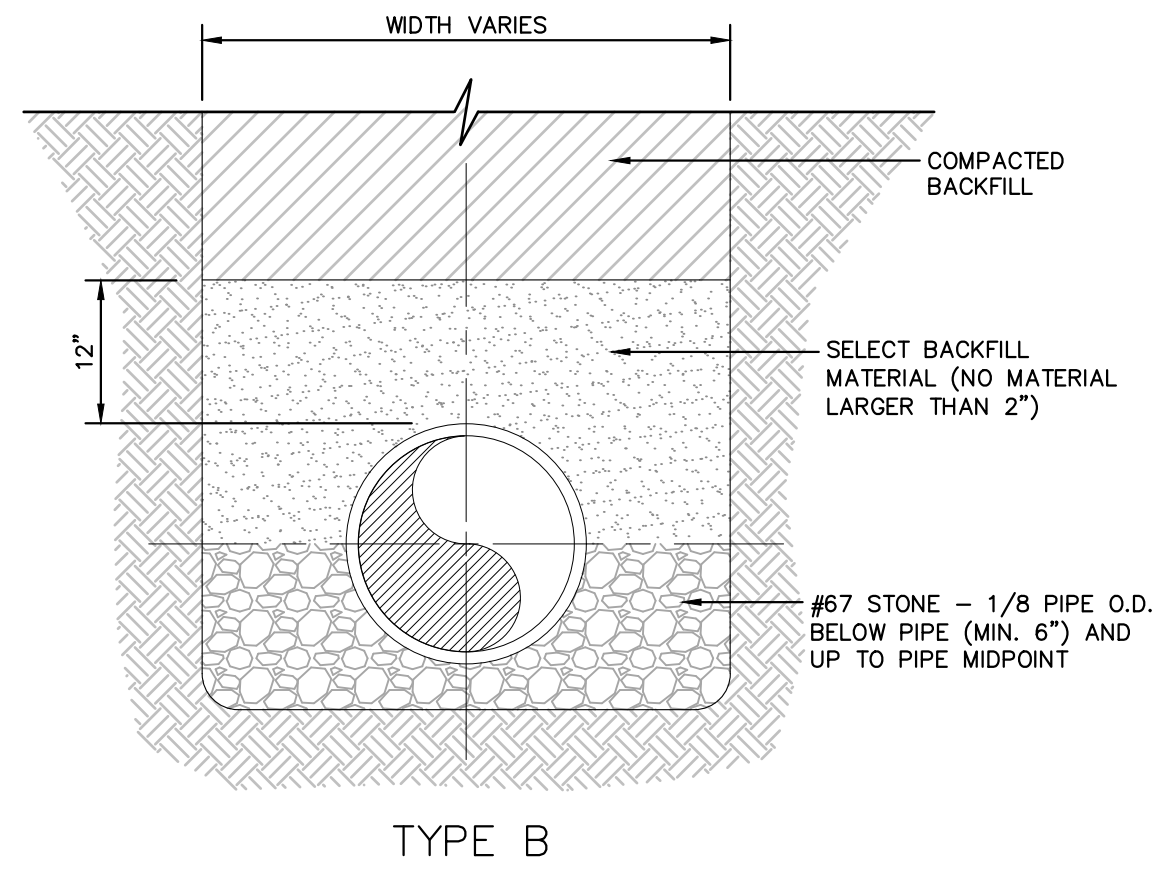


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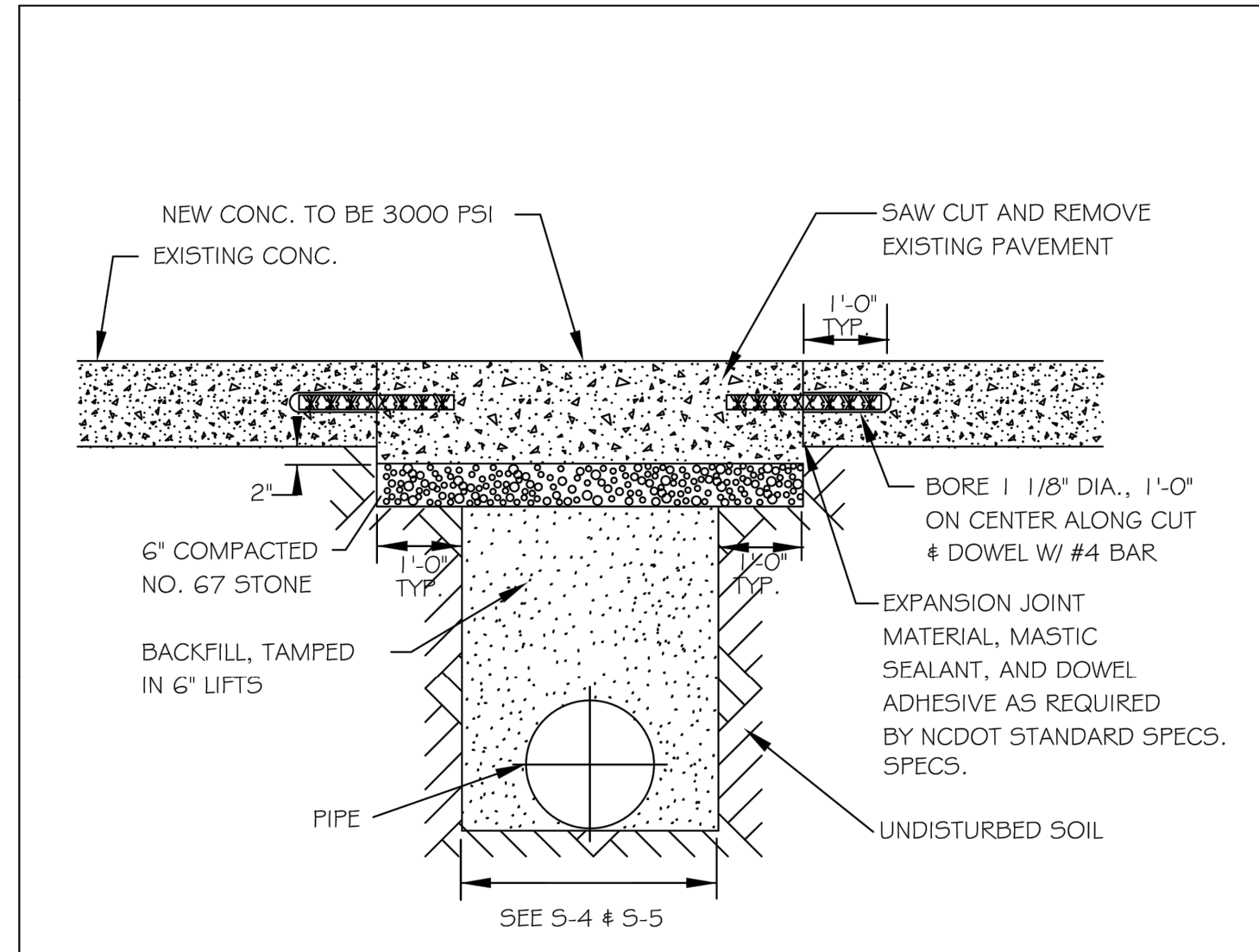


- NOTES:**
- FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
  - NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
  - ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
  - BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

**BEDDING AND TRENCH**  
N.T.S. KHA DETAIL NO: 04.101.R01 XX

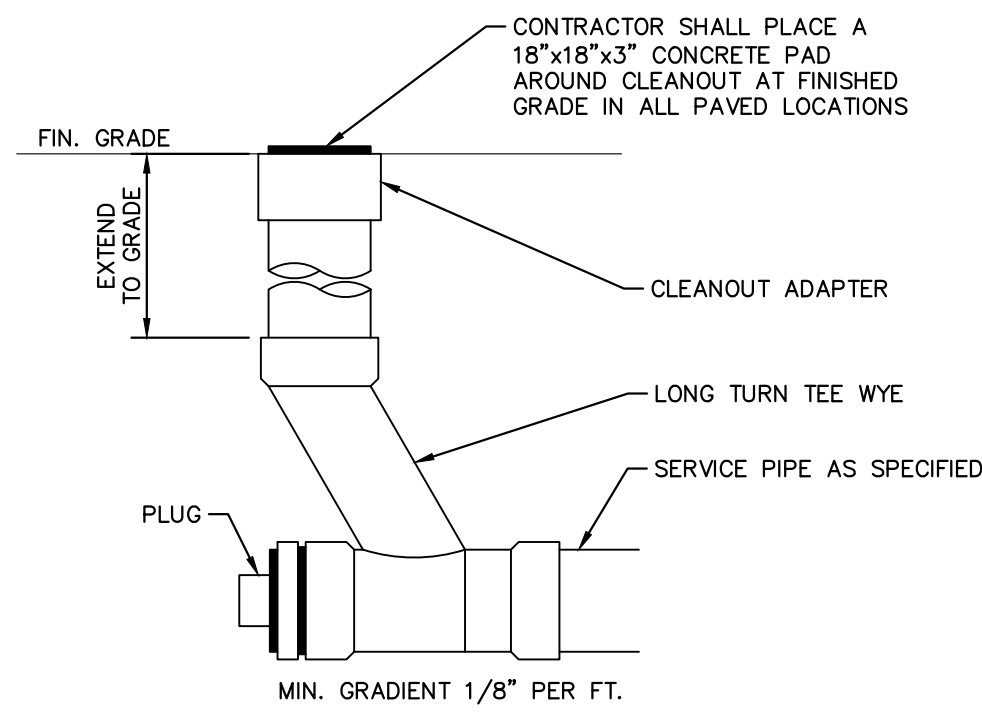


**BACKFILL SECTION**  
N.T.S. KHA DETAIL NO: 04.102.R01 XX

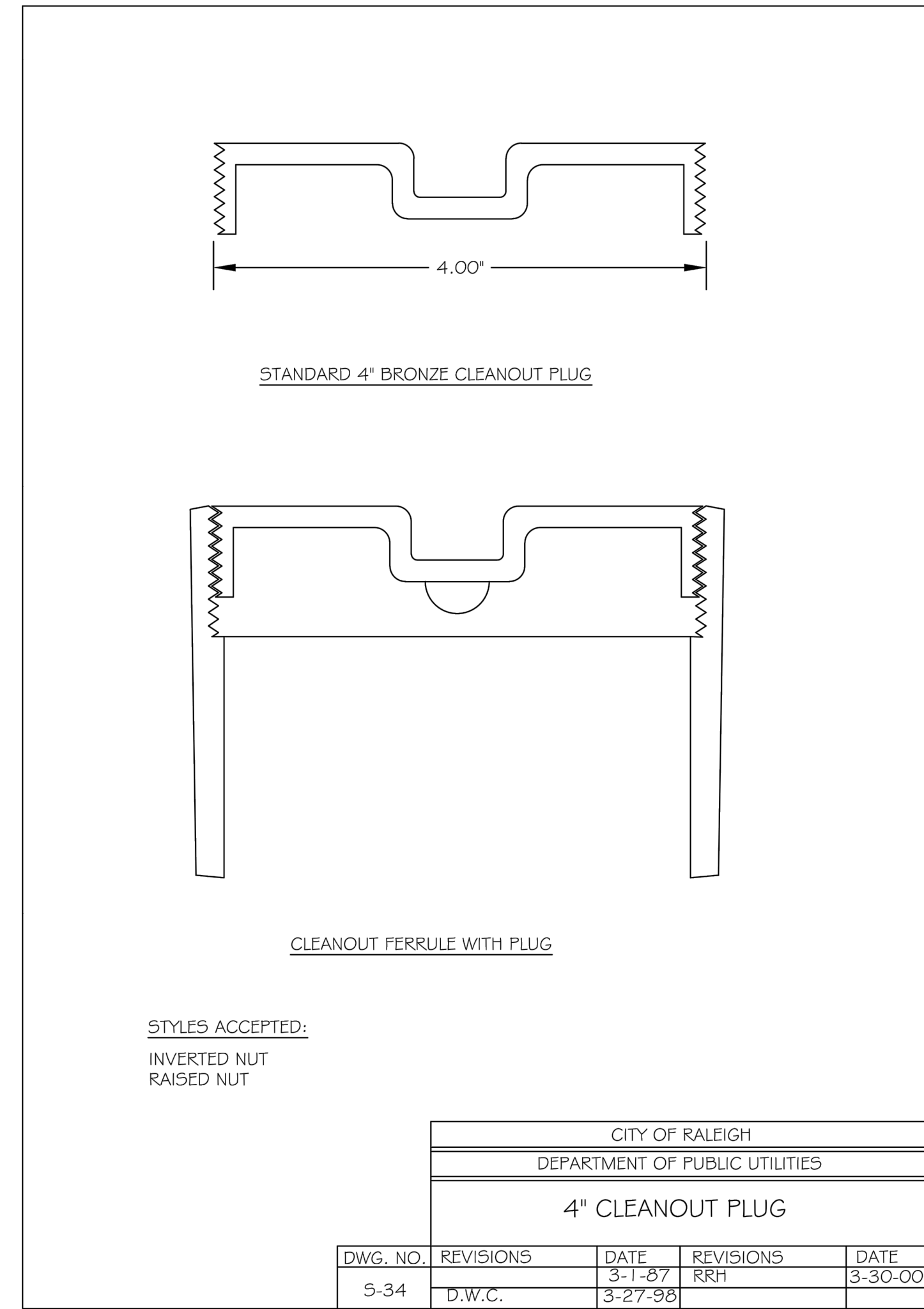


- NOTES:**
- See City of Raleigh standards for trenches and pipe bedding (5-4 & 5-5) for additional details.
  - Pavement cuts over 5'-0" in width shall be reinforced to N.C.D.O.T. standards.
  - Pavement cuts shall be made with an appropriate saw cut machine.
  - Pavement cuts within NCDOT ROW shall conform to the approved on site encroachment permit.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD CONCRETE PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-2	D.W.C.	6-23-99	A.B.B.	4-19-04
	RRH	3-30-00	J.P.S	0-8-10



**CLEANOUT**  
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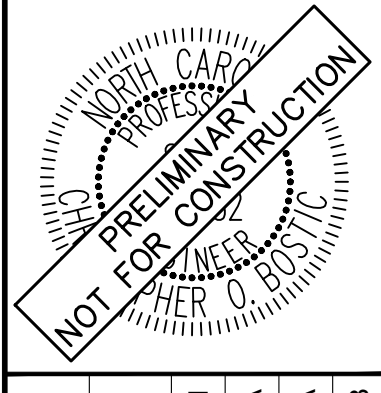


CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
4\"/>				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
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		3-27-98		

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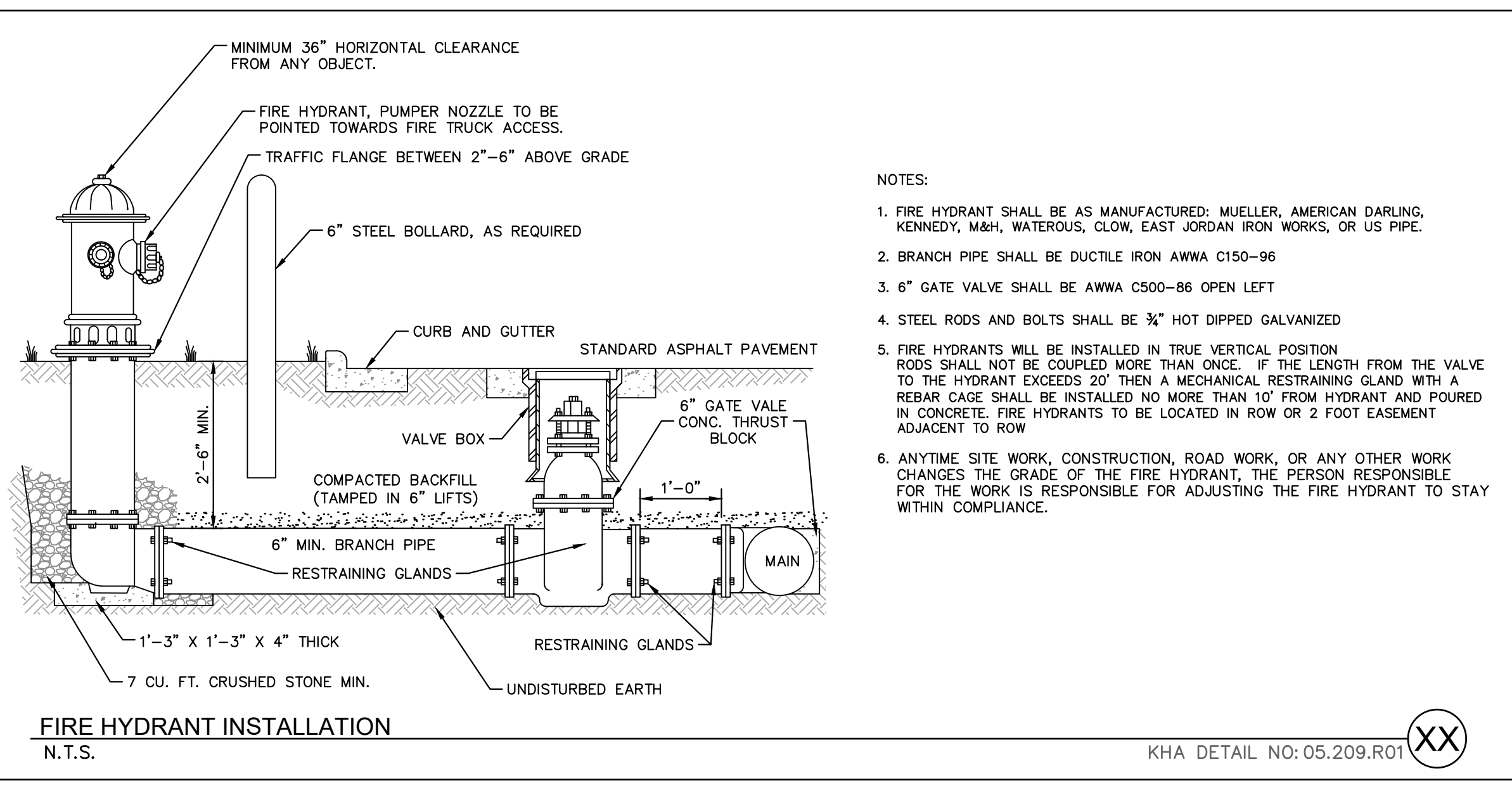
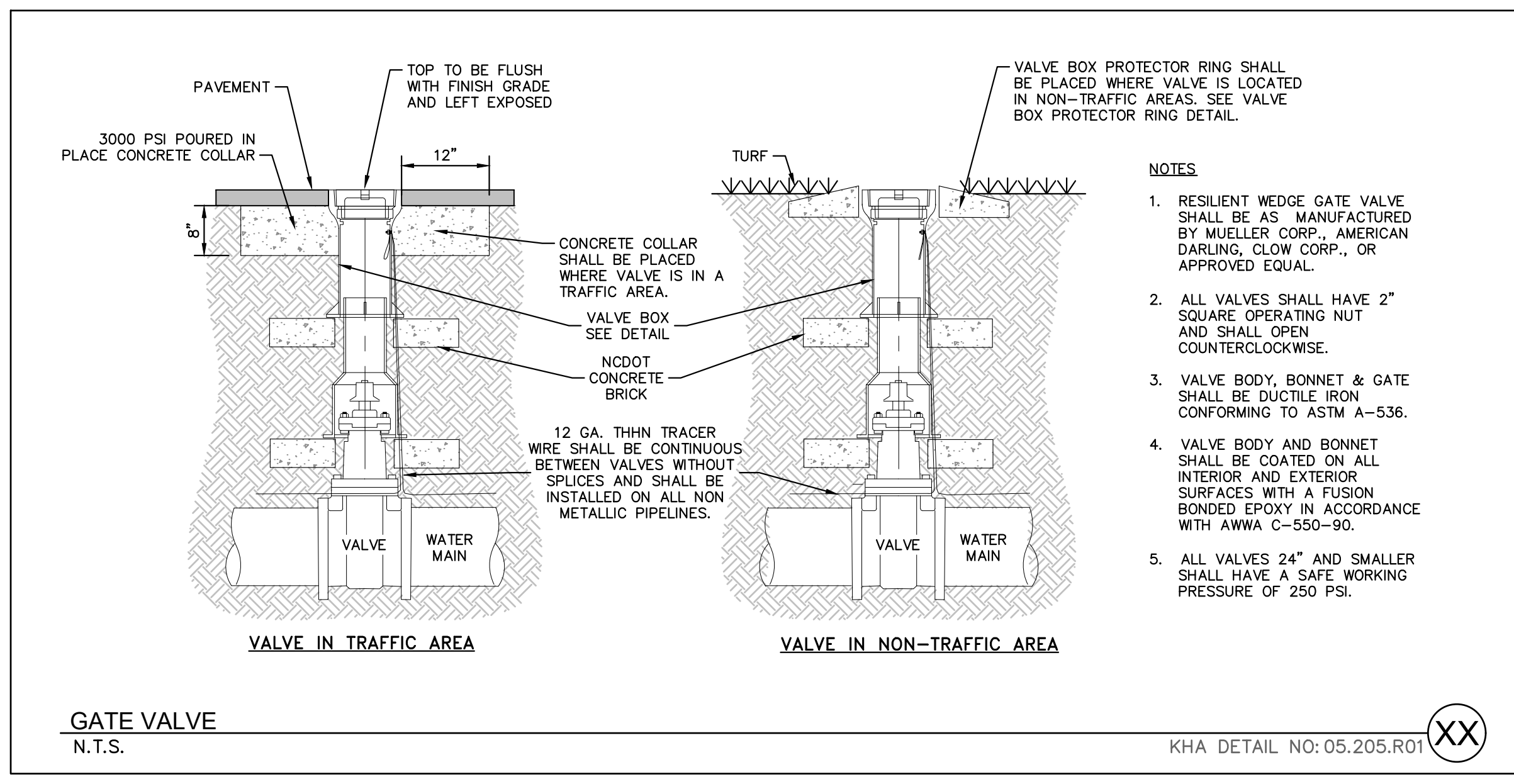
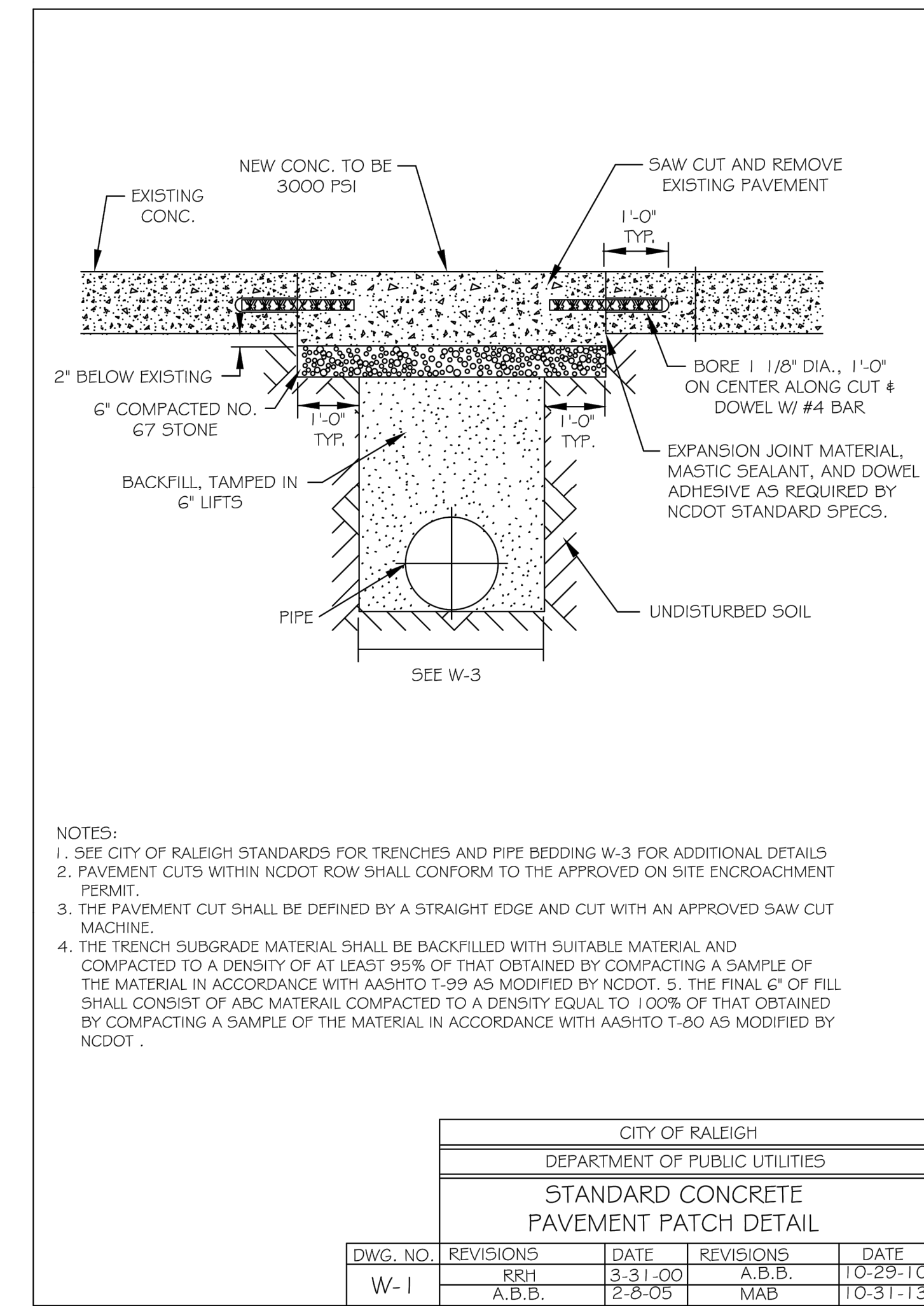
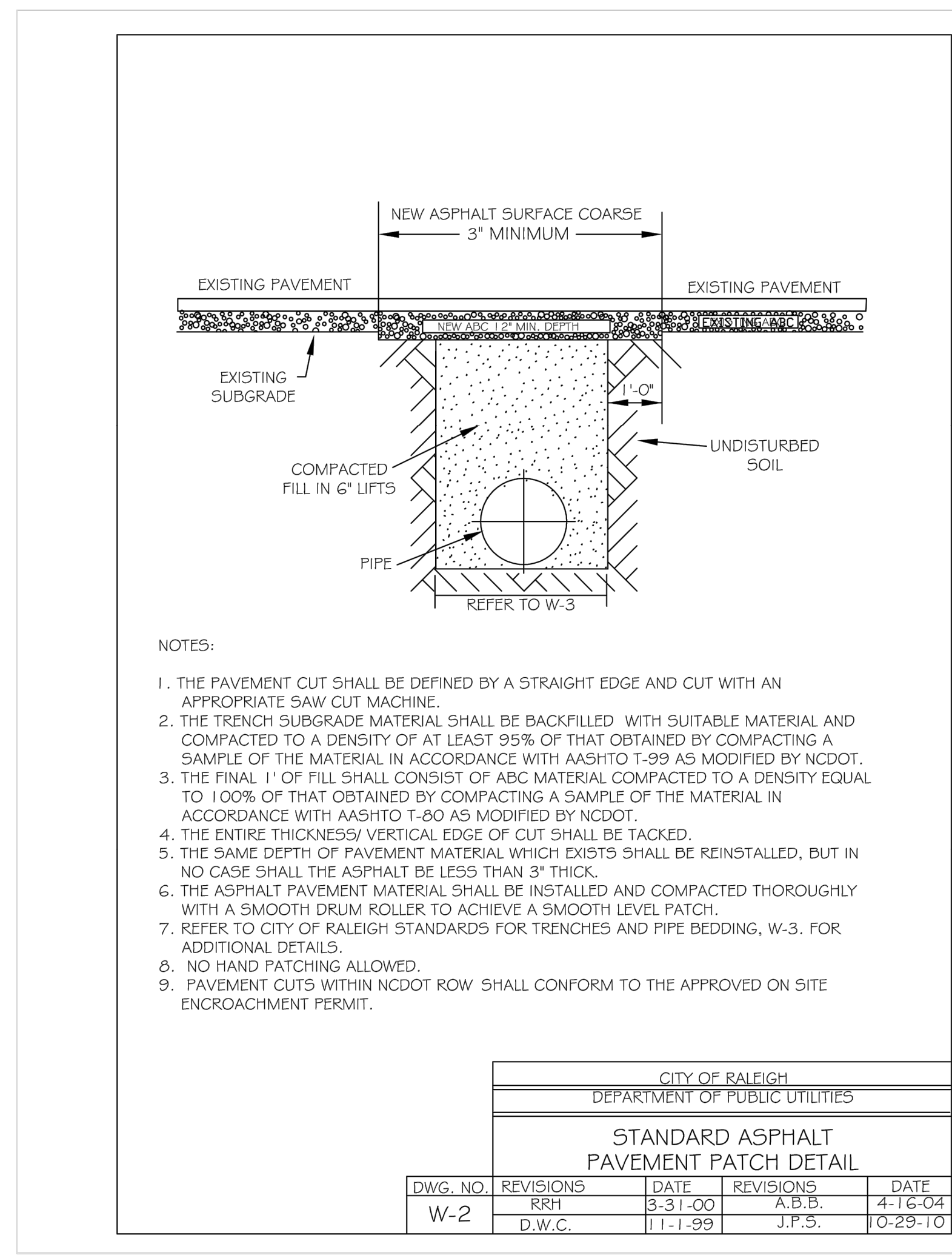
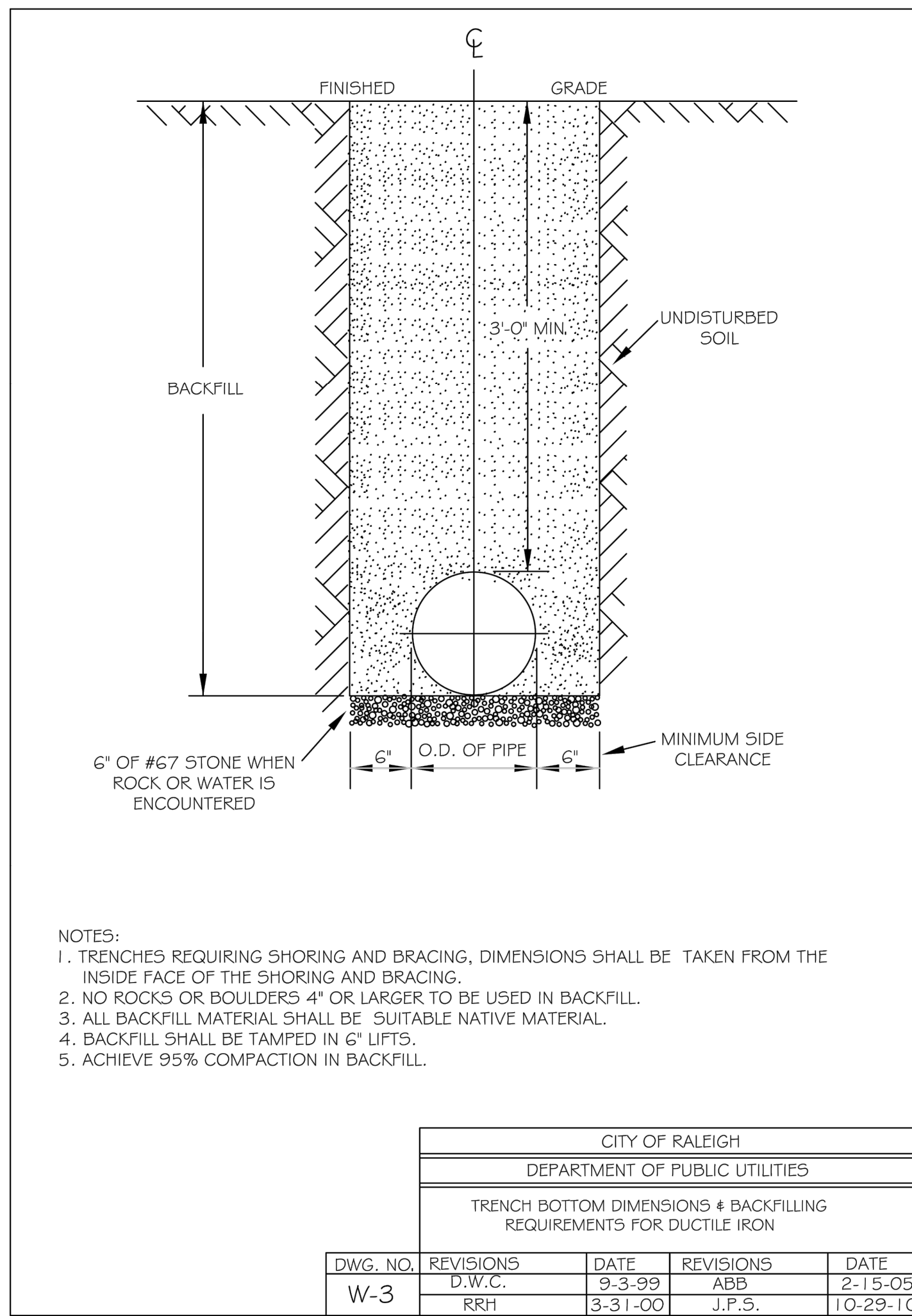
KHA PROJECT	013031004	DATE	09/29/2023	SCALE	AS SHOWN	DESIGNED BY	JAA	DRAWN BY	JAA	CHECKED BY	COB
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**SANITARY SEWER DETAILS**

**THE LEARNING CENTER ROLESVILLE**  
PREPARED FOR  
**ROLESVILLE, LLC.**  
TOWN OF ROLESVILLE NORTH CAROLINA



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**THE LEARNING CENTER ROLESVILLE**  
 PREPARED FOR  
**ROLESVILLE, LLC.**  
 TOWN OF ROLESVILLE  
 NORTH CAROLINA

**WATER DETAILS**

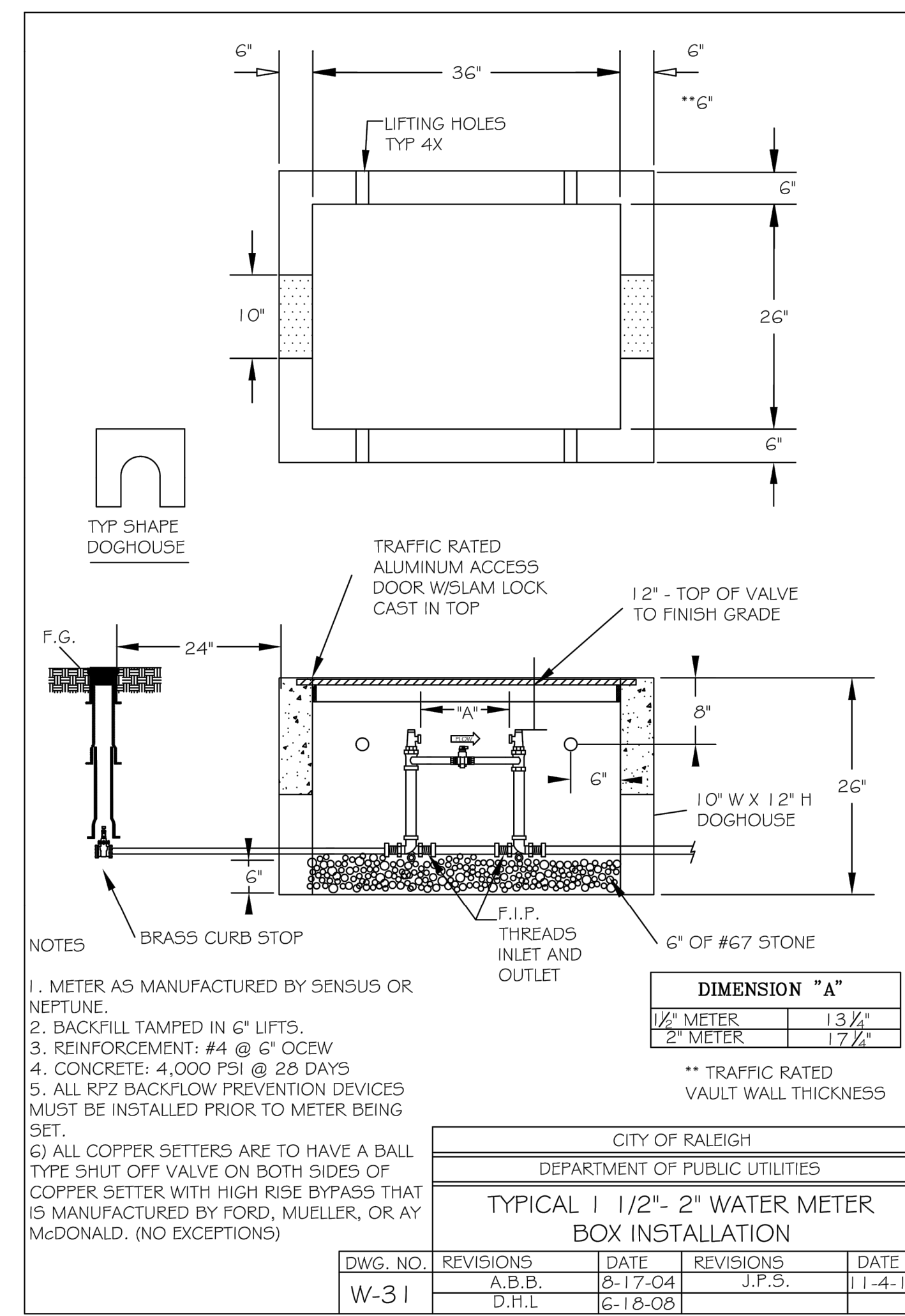
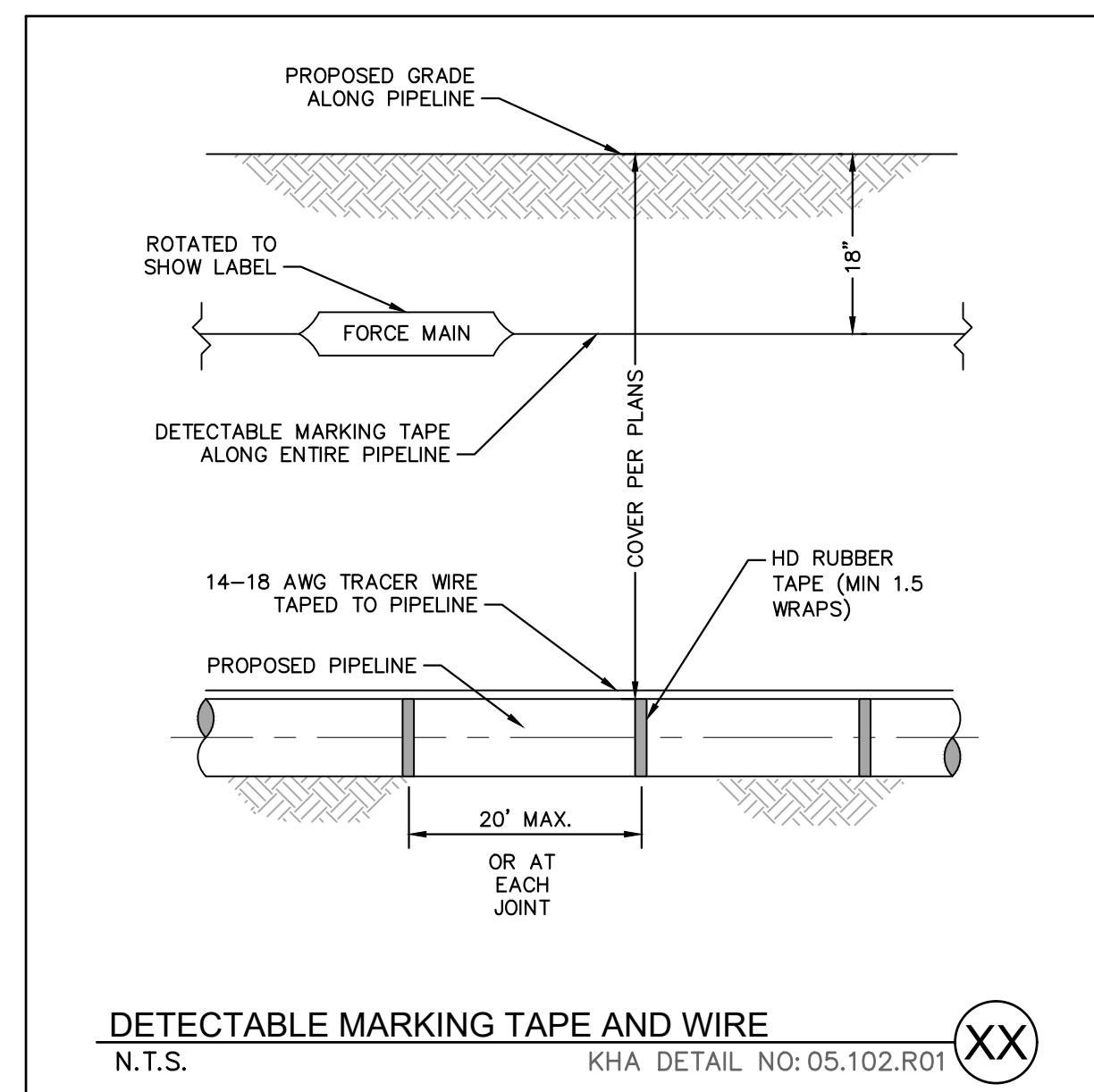
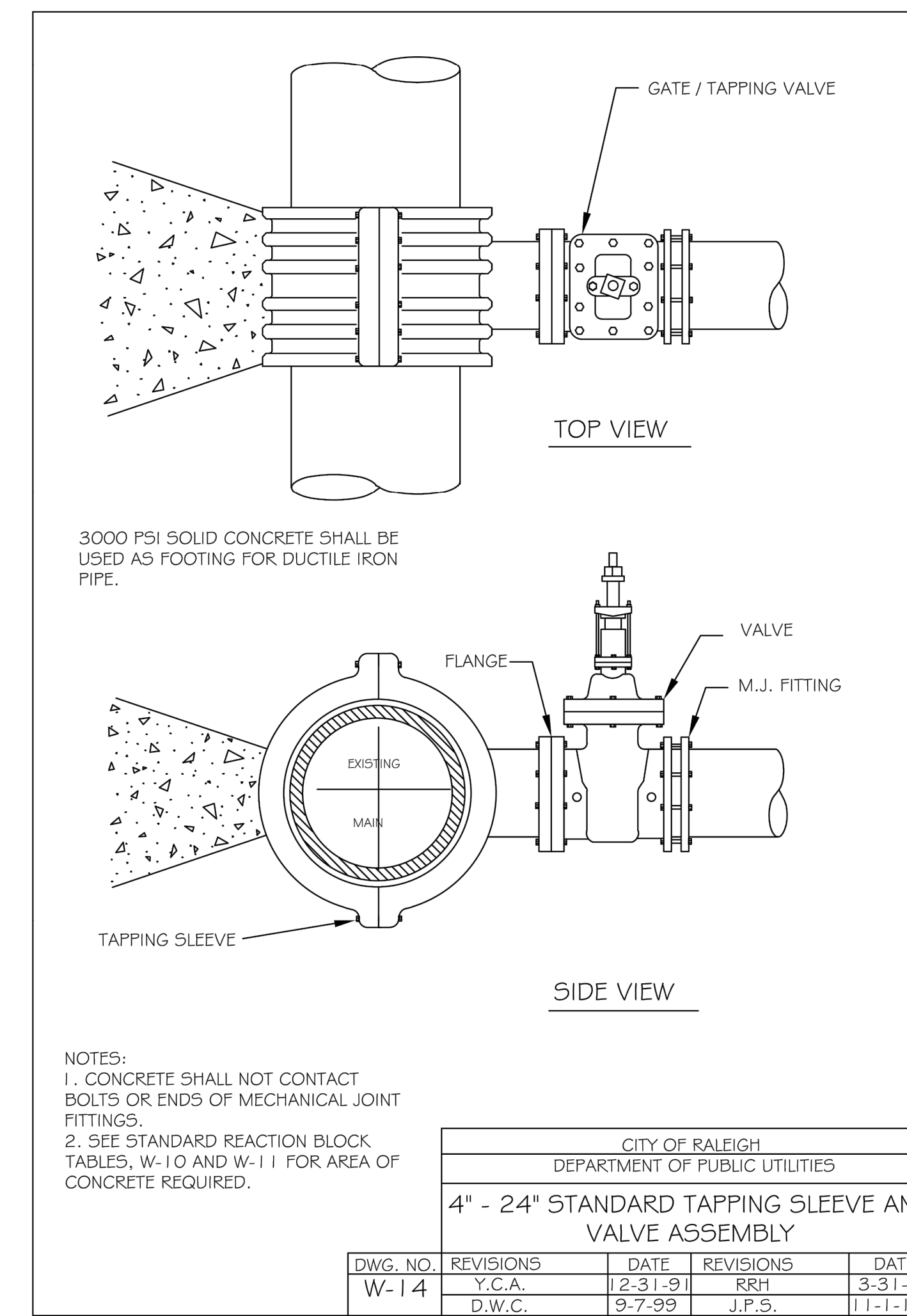
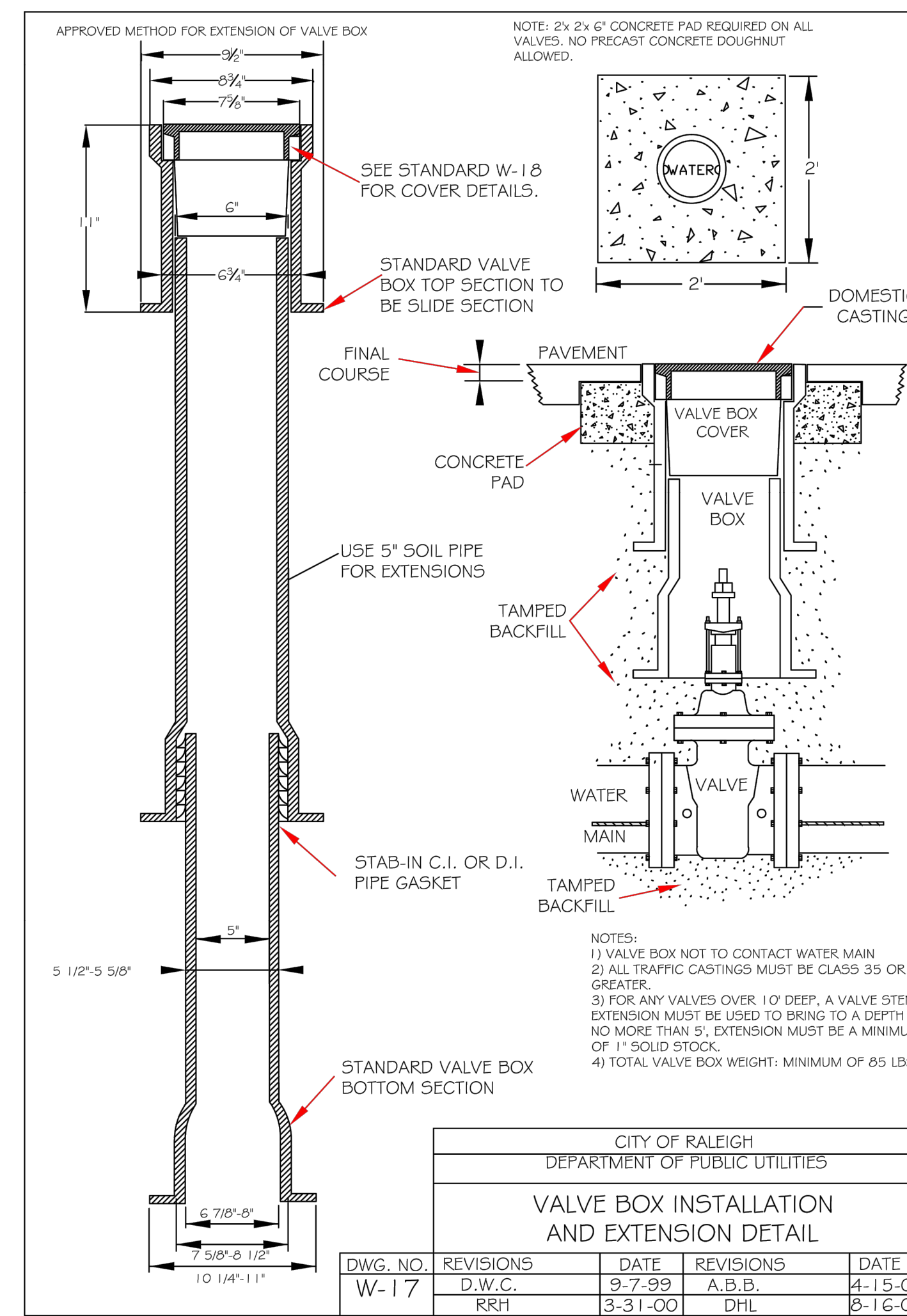
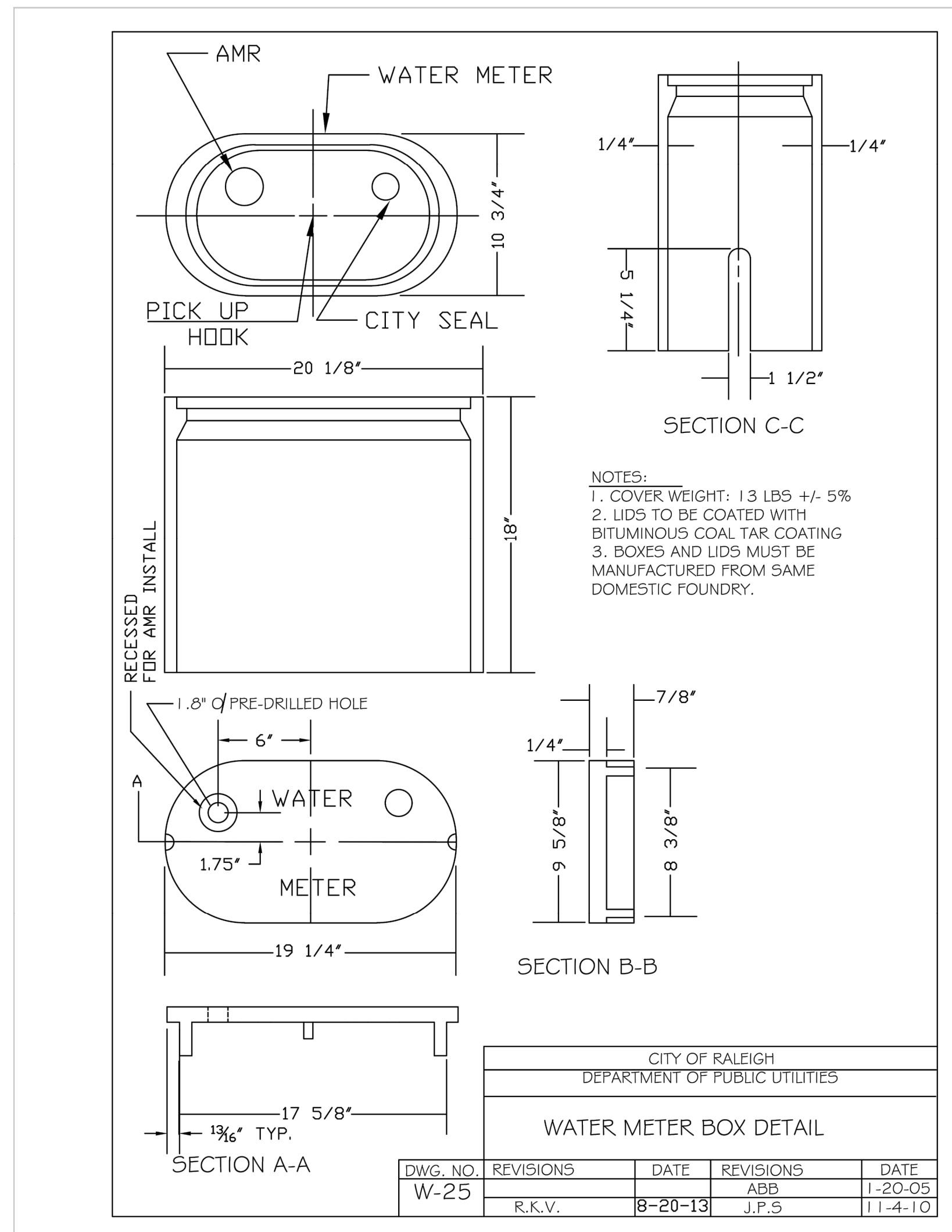
SHEET NUMBER  
**C11.0**

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REVISIONSDATE

BYDATE

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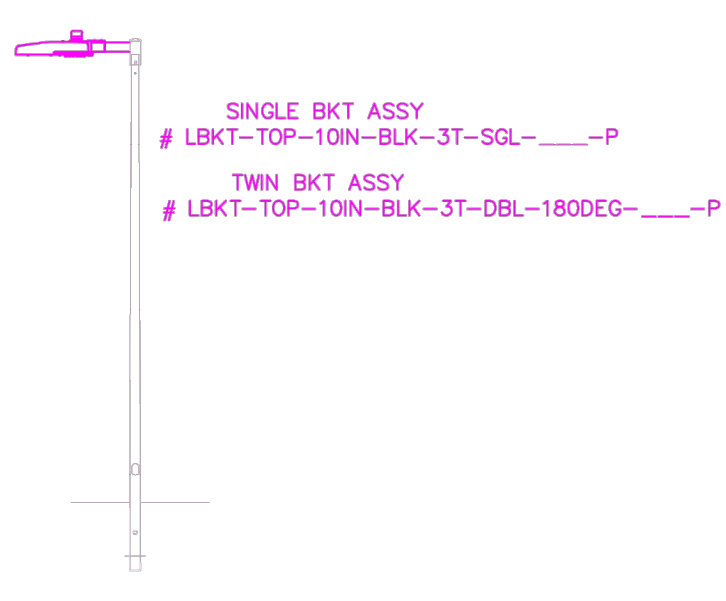
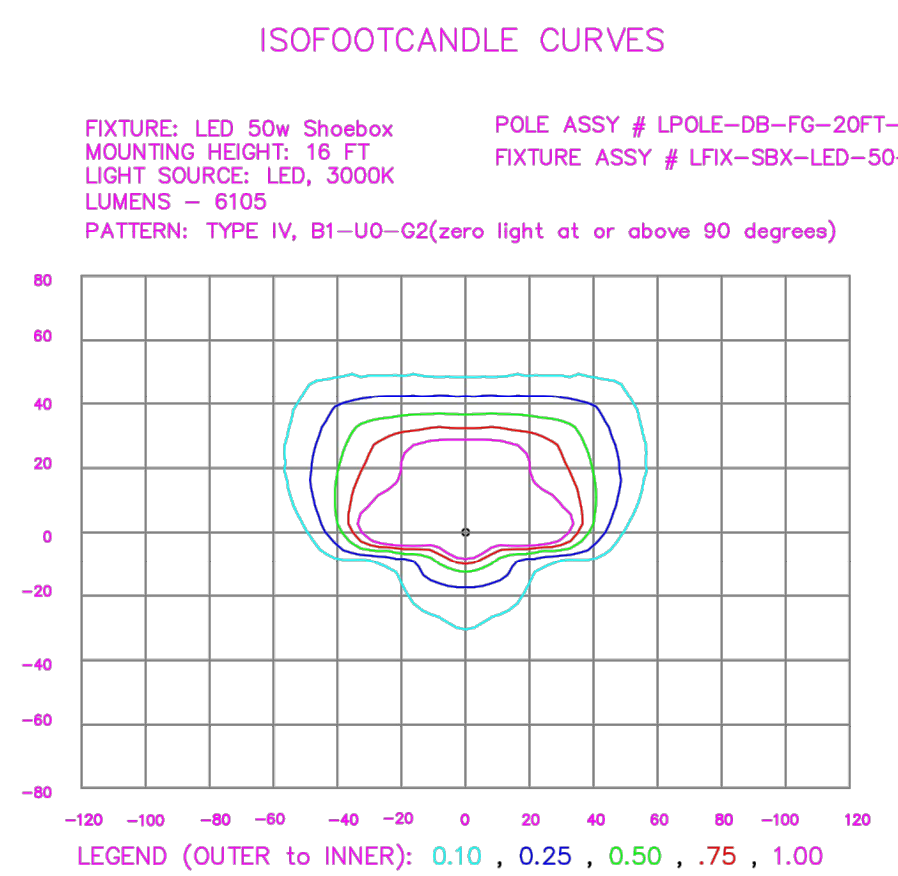
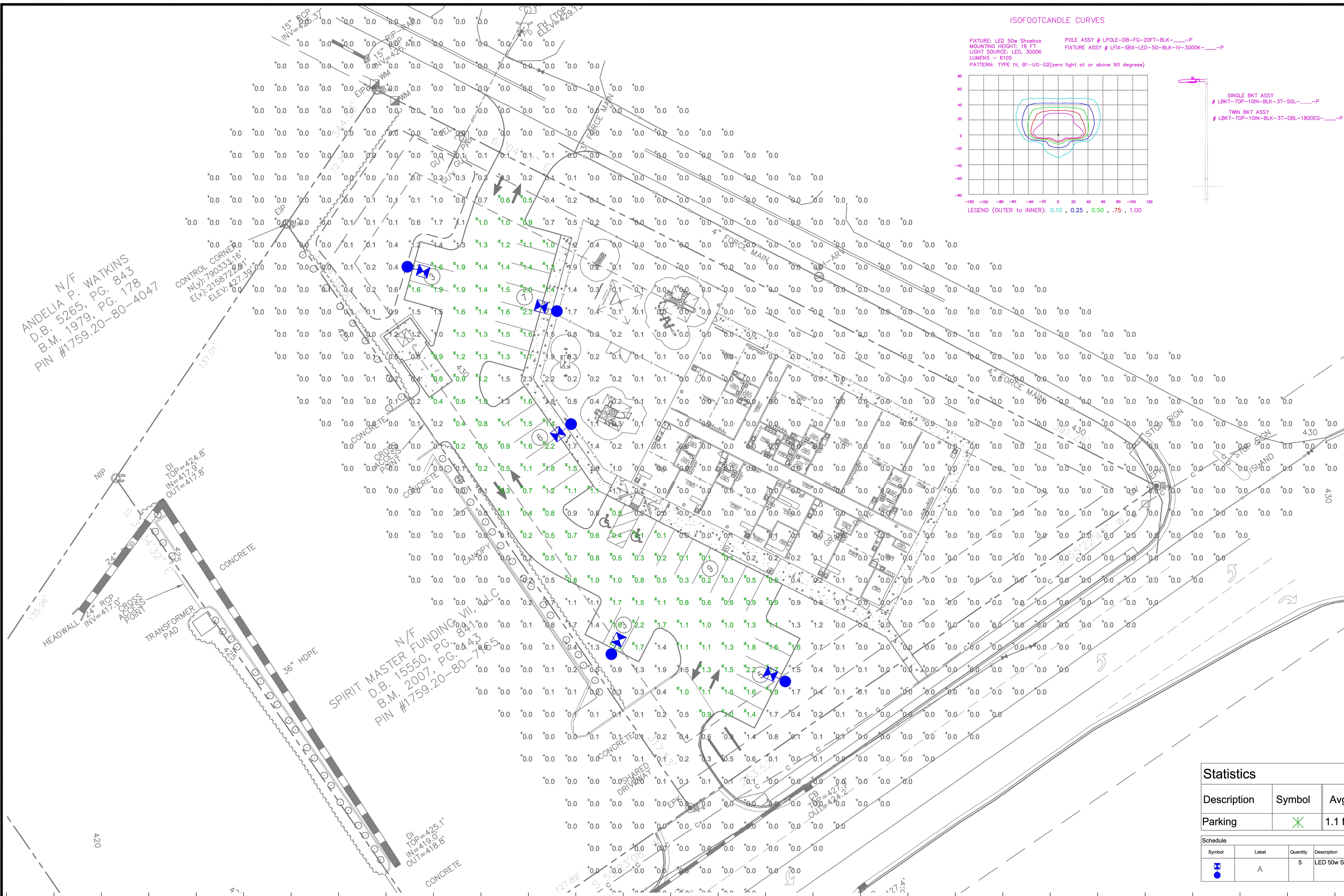
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KHA PROJECT 013031004  
 DATE 09/29/2023  
 SCALE AS SHOWN  
 DESIGNED BY JAA  
 DRAWN BY JAA  
 CHECKED BY COE

THE LEARNING CENTER ROLESVILLE  
 PREPARED FOR ROLESVILLE, LLC.  
 TOWN OF ROLESVILLE NORTH CAROLINA

WATER DETAILS

SHEET NUMBER C11.1



**Outdoor Lighting**

**PEDESTRIAN SHOEBOX LED**  
(Meets Dark Sky Criteria)

**LED** (Light-emitting diode) 50 watts  
**Mounting height** 12' - 17'  
**Color** Black  
**Pole** Aluminum, Flangeless, Concrete, Decorative Aluminum  
**Applications** Neighborhoods, Parks, Shopping centers

**Light source:** LED (Aria)  
**Wattage:** 50 watts  
**Lumens:** 5,100 lumen  
**Light pattern:** IESNA Type IV  
**IESNA cutoff classification:** Full cutoff  
**BUG rating:** Type IV - B1 UGG5  
**Color temperature:** 3,000K / 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Aluminum	12', 15', 17'	Black
Flangeless	12'	Black
Flush Concrete	12'	Black
Decorative Aluminum	12', 16'	Black

**FEATURES:** Turnkey operation, Little or no installation cost, Design services by lighting professionals included, Maintenance, electricity & warranty included, One low monthly cost on your electric bill.

**BENEFITS:** Provides hassle-free installation and service, Frees up capital for other projects, Meets industry standards and lighting ordinances, Eliminates high and unexpected repair bills, Convenience and savings for you.

**DUKE ENERGY** PROFESSIONALS

ANDELIA N/F  
D.B. 5265, PG. 843  
B.M. 1979, PG. 178  
PIN #1759.20-80-4047

CONTROL CORNER  
N(4) 7903.53.16'  
E(X) 21587.22.80'  
ELEV. 427.39'

SPIRIT MASTER FUNDING VII, LLC  
D.B. 15550, PG. 841  
B.M. 2007, PG. 443  
PIN #1759.20-80-74635

LT1.0

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	✕	1.1 fc	2.4 fc	0.1 fc	24.0:1	11.0:1

Schedule						
Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
⊕	A	5	LED 50w Shoebox - Type IV - 3000K	16	382	0.85

NO.	DATE	REVISION	BY



**LIGHTING DESIGN TOLERANCE**  
 The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



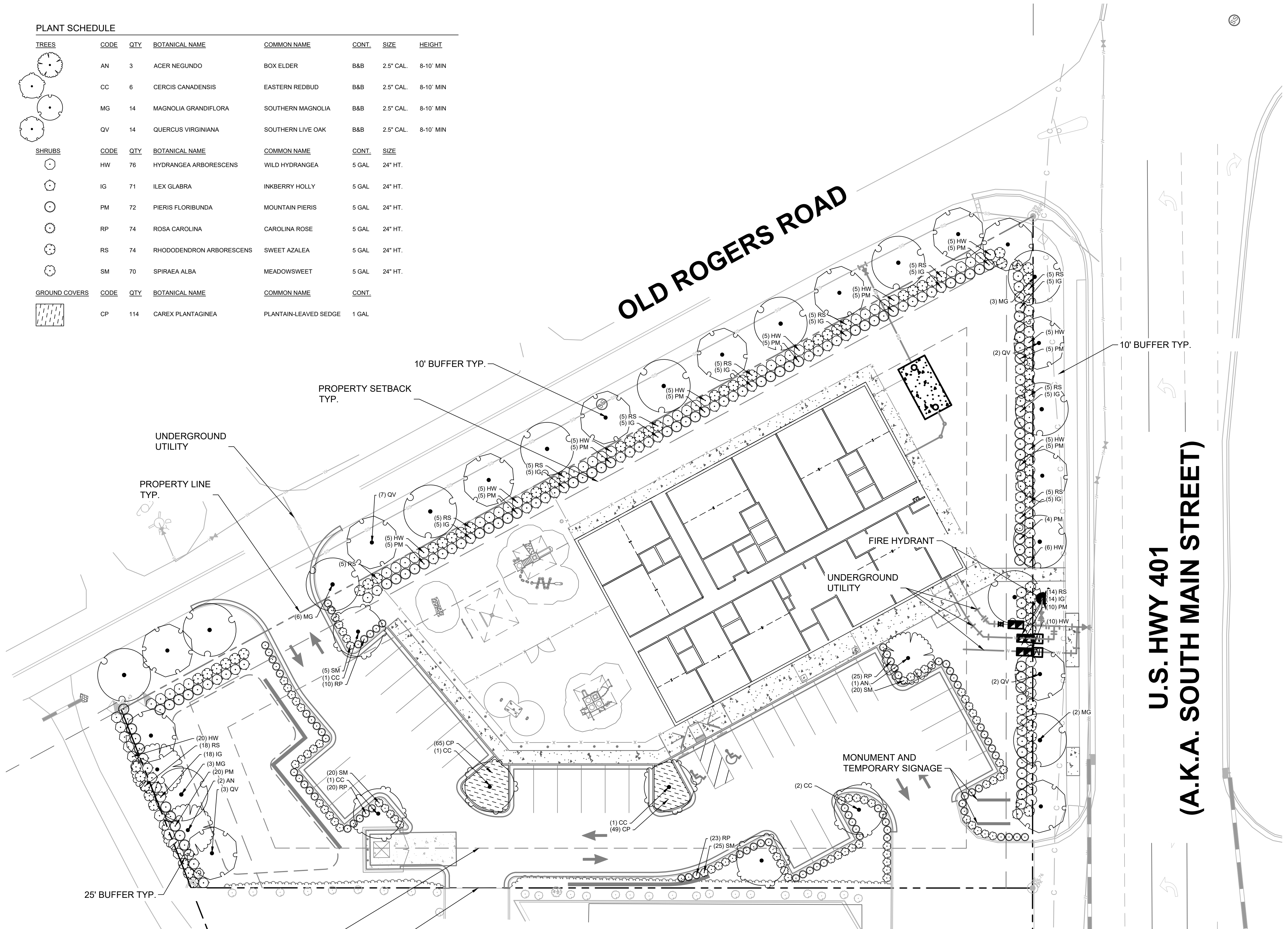
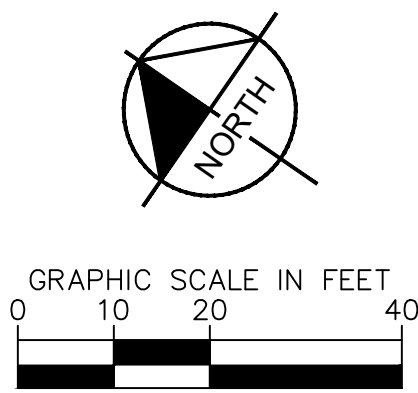
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ROLESVILLE LEARNING CENTER Rolesville, NC	
SITE LIGHTING ARRANGEMENT	
Designed by	DUKE ENERGY PROGRESS LIGHTING SOLUTIONS
Reviewed by	N. Johnson Scale 1" = 20'
Date	09/25/2023 Size Drawing size "D"
Description	LED Pedestrian Shoebox
Drawing No.	23-0400A Sht. 1 OF 1

Plotted By: Alexander, Jamal Sheet Set: THE LEARNING CENTER ROLESVILLE, Layout: L10 LANDSCAPE PLAN, October 02, 2023 02:44:11pm K:\REAL\_LDEV\1031004\_Rolesville\_Layout\_L10 LANDSCAPE PLAN.dwg  
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**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	HEIGHT
	AN	3	ACER NEGUNDO	BOX ELDER	B&B	2.5" CAL.	8-10' MIN
	CC	6	CERCIS CANADENSIS	EASTERN REDBUD	B&B	2.5" CAL.	8-10' MIN
	MG	14	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	B&B	2.5" CAL.	8-10' MIN
	QV	14	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	B&B	2.5" CAL.	8-10' MIN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	HEIGHT
	HW	76	HYDRANGEA ARBORESCENS	WILD HYDRANGEA	5 GAL	24" HT.	
	IG	71	ILEX GLABRA	INKBERRY HOLLY	5 GAL	24" HT.	
	PM	72	PIERIS FLORIBUNDA	MOUNTAIN PIERIS	5 GAL	24" HT.	
	RP	74	ROSA CAROLINA	CAROLINA ROSE	5 GAL	24" HT.	
	RS	74	RHODODENDRON ARBORESCENS	SWEET AZALEA	5 GAL	24" HT.	
	SM	70	SPIRAEA ALBA	MEADOWSWEET	5 GAL	24" HT.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	HEIGHT
	CP	114	CAREX PLANTAGINEA	PLANTAIN-LEAVED SEDGE	1 GAL		



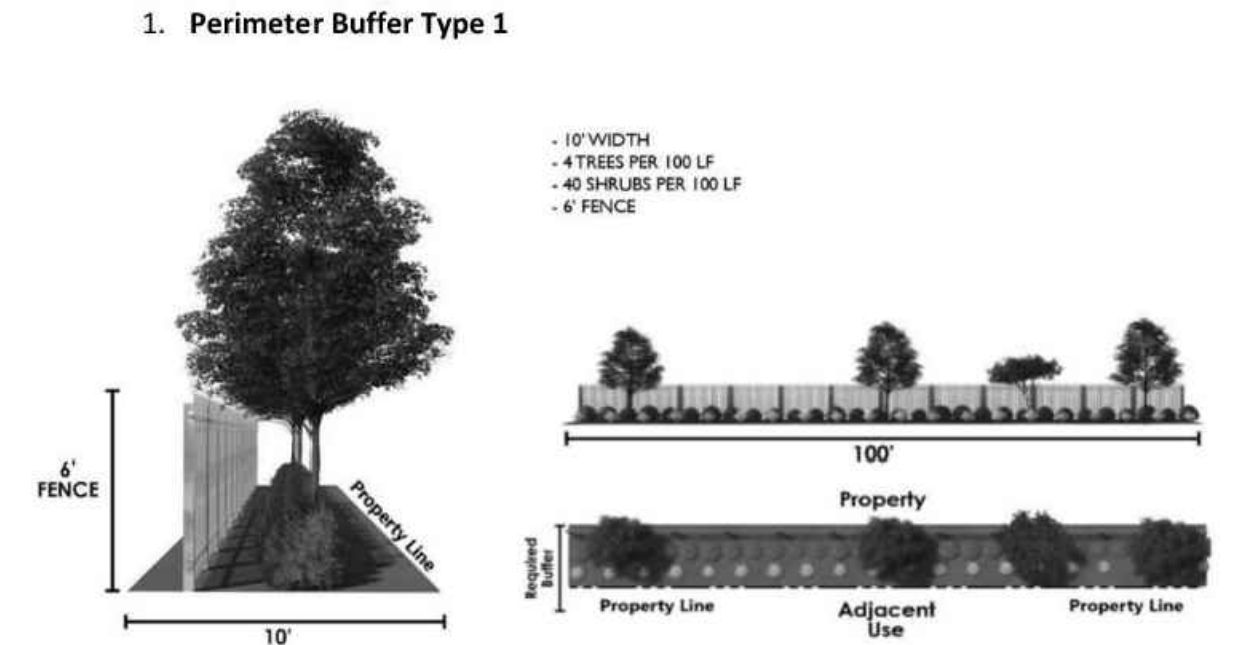
LANDSCAPE REQUIREMENTS & CALCULATIONS						
Town of Rolesville, NC						
AREA TO BE LANDSCAPED	CODE REQUIREMENT	LOCATION	MEASUREMENT	QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
TYPE 1 BUFFER (10' WIDE)	4 CANOPY TREE PER 100 LF	NORTH - OLD ROGERS ROAD	*332 LF	(332 / 100) X 4 = 14 CANOPY TREES	14 CANOPY TREES	SECTION 6.2.2
		EAST - US HWY 401	*256 LF	(256 / 100) X 4 = 10 CANOPY TREES	10 CANOPY TREES	SECTION 6.2.2
TYPE 3 BUFFER (25' WIDE)	4 CANOPY TREES PER 100 LF 2 UNDERSTORY TREES PER 100 LF	WEST	*92 LF	(92 / 100) X 4 = 4 UNDERSTORY TREES	4 CANOPY TREES	SECTION 6.2.2
		WEST	*92 LF	(92 / 100) X 2 = 2 UNDERSTORY TREES	2 UNDERSTORY TREES	SECTION 6.2.2
PARKING LOT	1 LARGE OR 1 MEDIUM CANOPY TREE PER PARKING ISLAND	PARKING LOT		(2 X 1) = 2 CANOPY TREES	7 CANOPY TREES	SECTION 6.2.4

\*NOTE: PER CODE SECTION 6.2.4, PARKING PERIMETER PLANTINGS SHALL CONSIST OF A SINGLE CONTINUOUS ROW OF SHRUBS PLANTED NO GREATER THAN THREE (3) FEET ON-CENTER AND WITHIN FIVE (5) FEET OF THE PARKING LOT EDGE. SHRUBS USED FOR PARKING PERIMETER PLANTING SHALL BE OF A MINIMUM HEIGHT OF THIRTY (30) INCHES ABOVE GRADE WITHIN THREE YEARS OF PLANTING. SHRUBS MAY NOT EXCEED A HEIGHT OF FOUR (4) FEET AND SHALL BE PRUNED AND MAINTAINED.

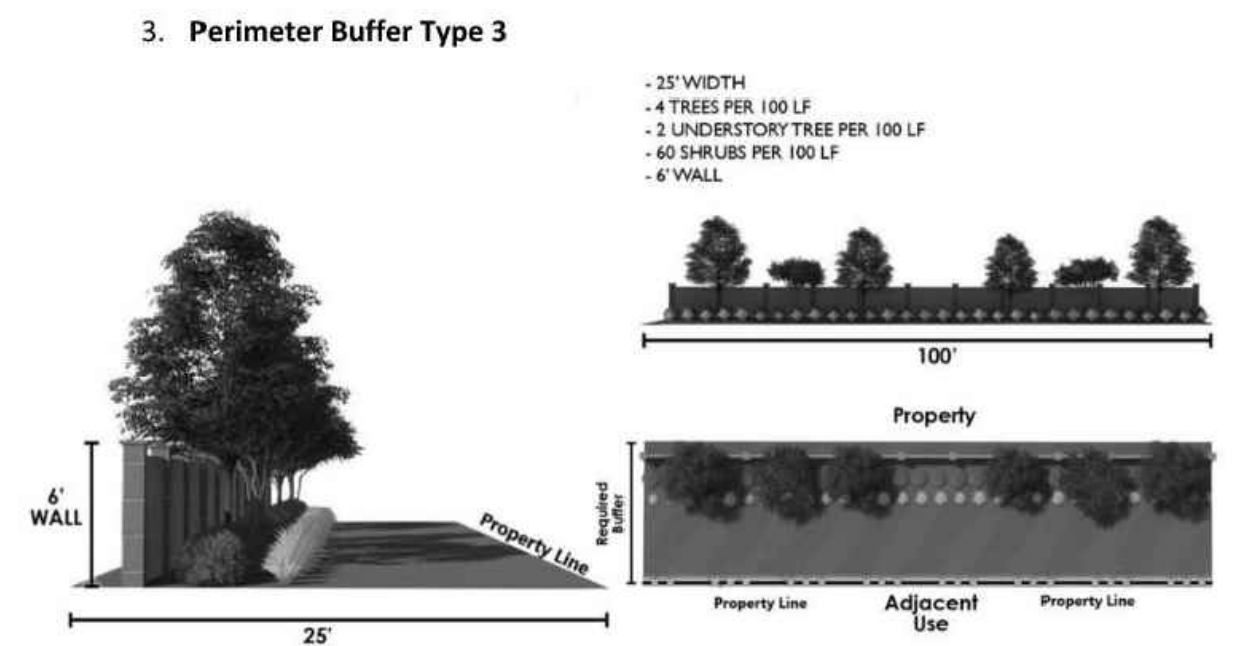
\*NOTE: ALL LINEAR FOOT MEASUREMENTS EXCLUDE DRIVEWAY WIDTHS AS APPLICABLE

**ROLESVILLE LAND DEVELOPMENT ORDINANCE**

F. Perimeter Buffer Types. The following images show an example of buffer types defined in Table 6.2.2.1.



**ROLESVILLE LAND DEVELOPMENT ORDINANCE**



**SURVEY NOTE:**  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A TOPOGRAPHIC SURVEY OBTAINED ON 02/23/2023 BY CIMP PROFESSIONAL LAND SURVEYORS, 333 S. WHITE STREET, WAKE FOREST, NC 27588. PHONE: (919) 556-3148. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

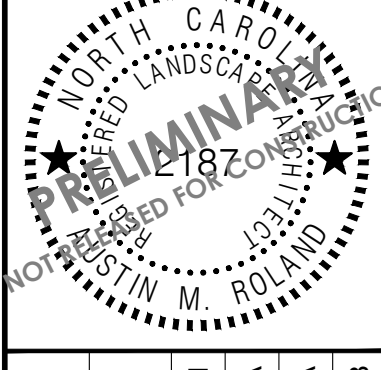


Know what's below.  
Call before you dig.

NO.	REVISIONS	DATE	BY
1			
2			
3			
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**Kimley»Horn**

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 #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919.677.2000 FAX: 919.677.2050  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601



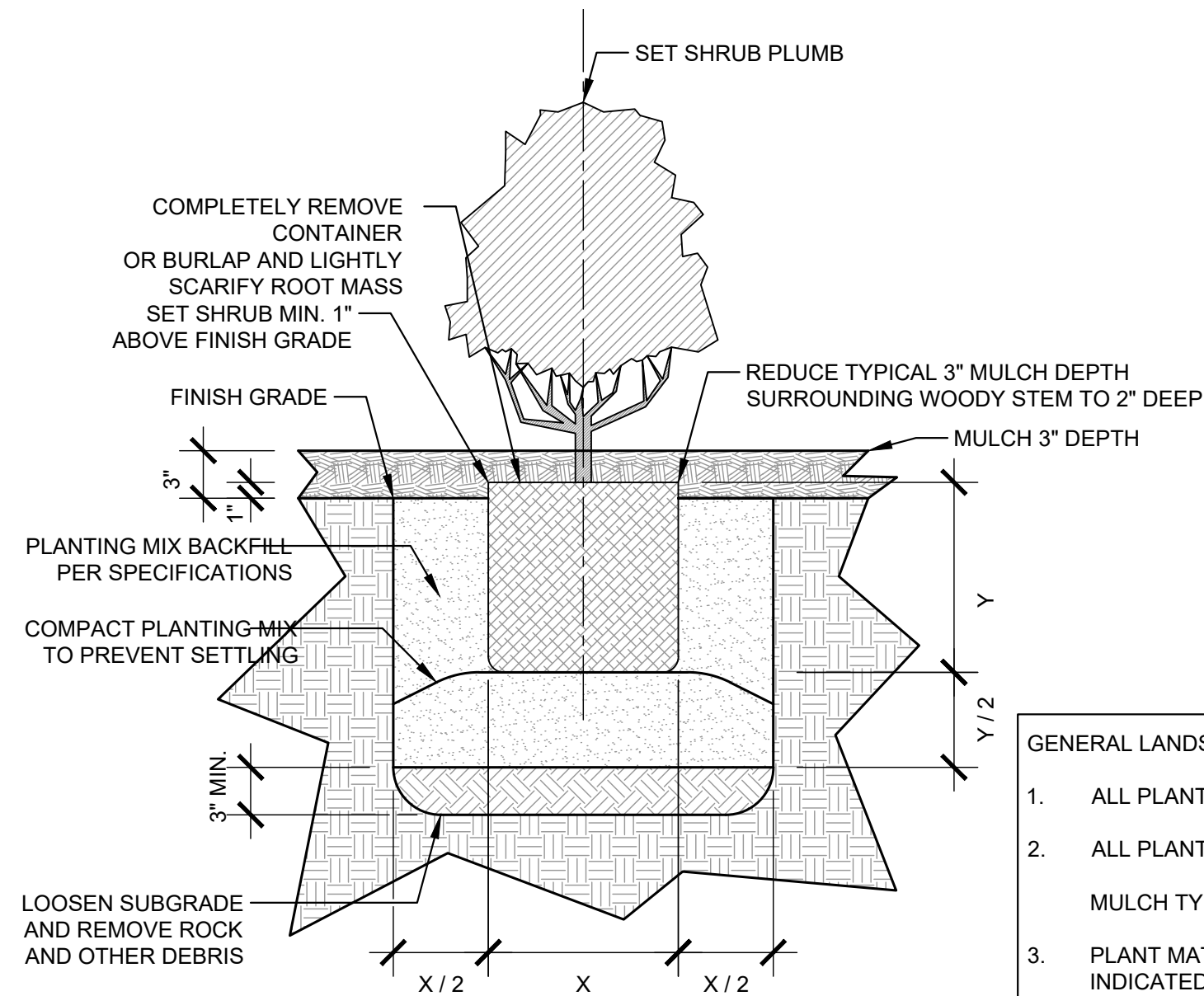
KHA PROJECT	013031004
DATE	09/29/2023
SCALE	AS SHOWN
DESIGNED BY	JAA
DRAWN BY	JAA
CHECKED BY	COE

**LANDSCAPE PLAN**

**THE LEARNING CENTER ROLESVILLE**  
 PREPARED FOR  
**ROLESVILLE, LLC.**  
 TOWN OF ROLESVILLE NORTH CAROLINA

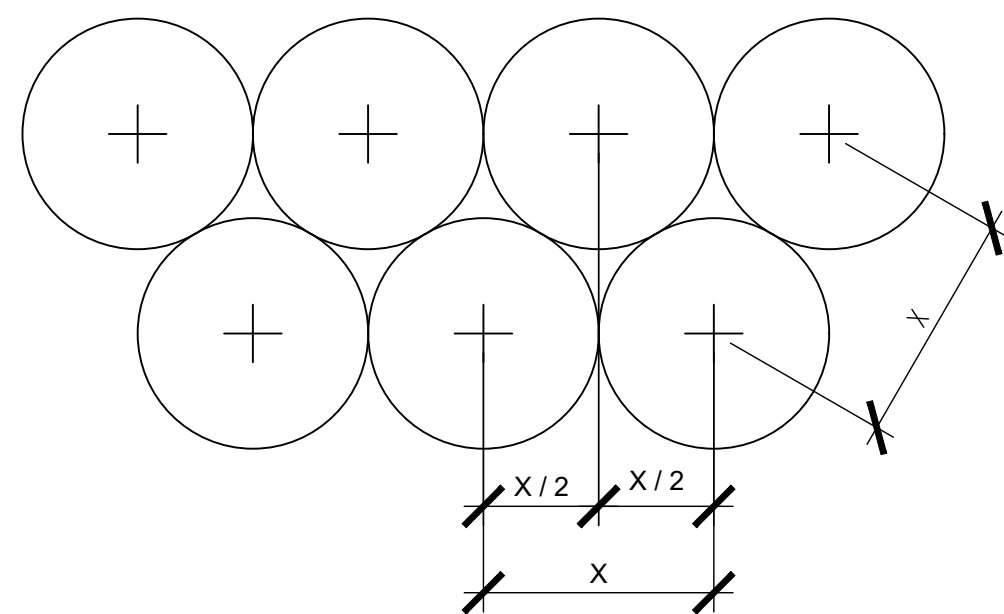
SHEET NUMBER  
**L1.0**

Plotted By: Alexander, Jamal Sheet Set: THE LEARNING CENTER ROLESVILLE Layout: L2.LANDSCAPE DETAILS October 02, 2023 02:44:22pm K:\RAL\_LDEV\013031004\_Rolesville Learning\_Center\PI.D CAD Files\Sheet\2.0.LANDSCAPE DETAILS.dwg  
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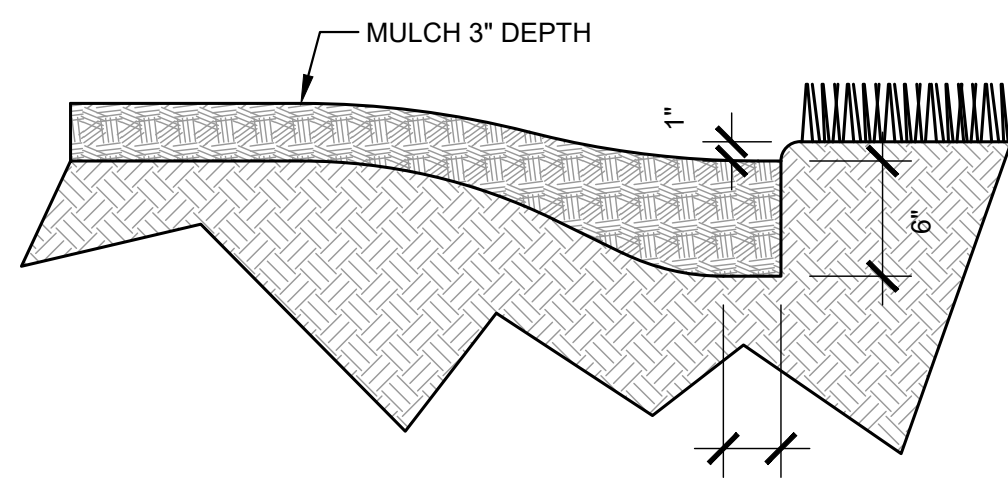
**1**  
 LS-2  
**TYPICAL SHRUB PLANTING**  
 SECTION  
 SCALE: 1"=1'-0"

- GENERAL LANDSCAPE NOTES:**
- ALL PLANT MATERIAL PRICING SHALL INCLUDE MULCH, BED PREPARATION, AND STAKING.
  - ALL PLANTING BEDS SHALL RECEIVE 3" (THREE INCHES) OF MULCH.  
MULCH TYPE FOR PROJECT: DOUBLE SHREDDED HARDWOOD
  - PLANT MATERIAL SPACING SHOWN ON LANDSCAPE PLANS SHALL OVERRIDE TYPICAL PLANT SPACING INDICATED ON PLANT SCHEDULE. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFYING ALL PLANT SPACING AND MAKING MINOR FIELD ADJUSTMENTS DUE TO UTILITY CONFLICTS.



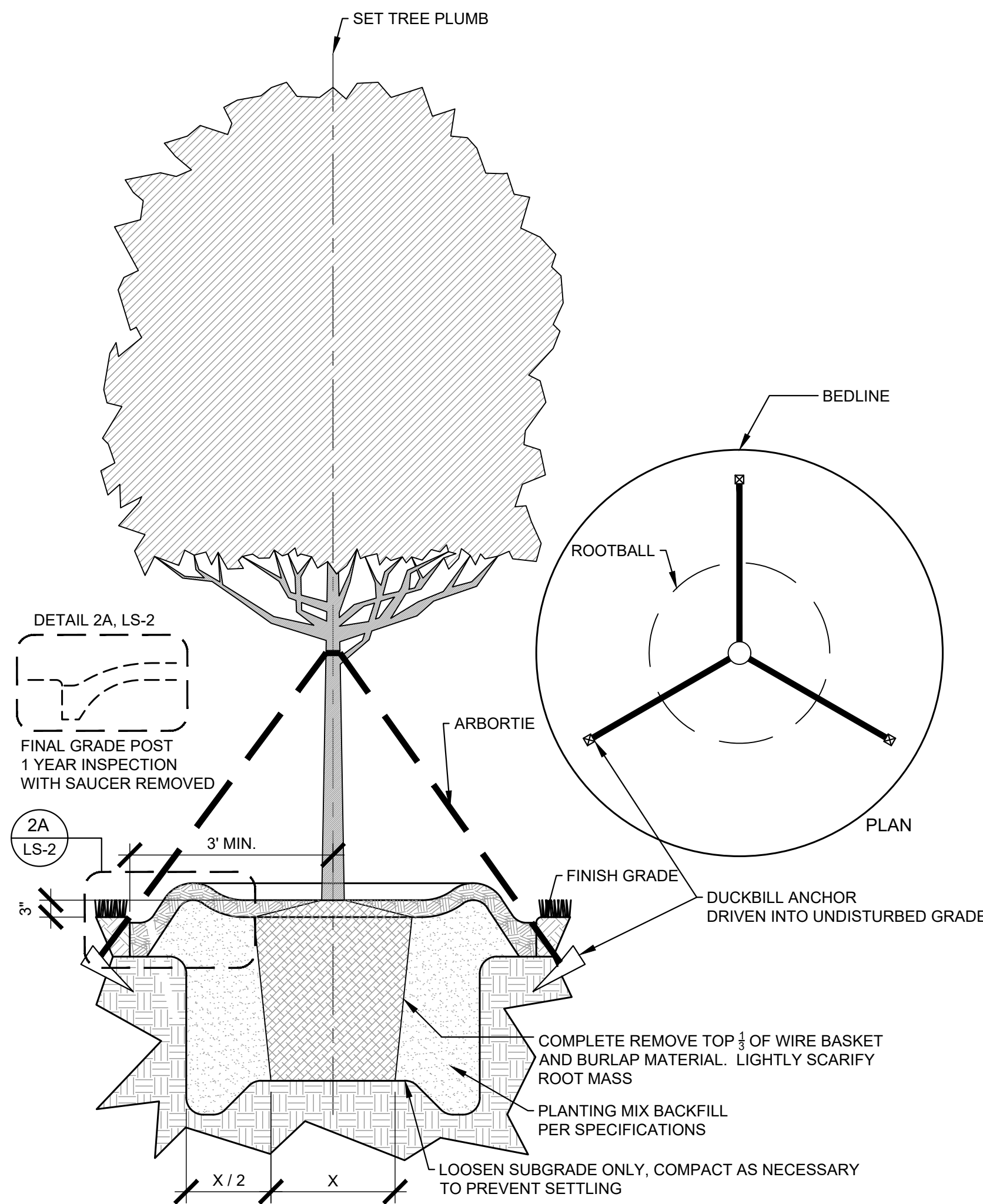
- PLANT SPACING NOTES:**
- SEE PLANTING PLAN FOR SHRUB AND GROUND COVER AREAS.
  - PLANT MATERIAL SHALL BE INSTALLED IN STRAIGHT AND PARALLEL ROWS UNLESS OTHERWISE SHOWN ON DRAWINGS.
  - SEE PLANTING PLAN AND / OR PLANT SCHEDULE FOR ACTUAL PLANT SPACING.

**2**  
 LS-2  
**TYPICAL STAGGERED ROW PLANT SPACING**  
 PLAN  
 SCALE: 1/2"=1'-0"



- PLANTING BED TRENCH EDGING NOTE:**
- TRENCH EDGE SHALL BE LOCATED BETWEEN PLANTING BED AND ALL TURF OR NATIVE GRASS AREAS.
  - TRENCH EDGE SHALL BE CONSTRUCTED ALONG ALL HARDSCAPE AREAS FOR SIMILAR CONDITION.
  - MAINTAIN POSITIVE DRAINAGE IN ALL PLANTING BEDS.

**3**  
 LS-2  
**PLANTING BED TRENCH EDGING**  
 SECTION  
 SCALE: 1"=1'-0"



- TREE PLANTING NOTES:**
- 4"-6" DIAMETER RIVER ROCK (INSIDE THE BUILDING PAD) OR 3" MINIMUM OF HARDWOOD BARK MULCH OR AS SPECIFIED (IN OUTLYING PLANT BEDS) (MULCH TYPE FOR PROJECT: SHREDDED CYPRESS MULCH)
  - TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE
  - ROOTBALLS GREATER THEN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLLING. ROOTBALLS SMALLER THEN 24" IN DIAMETER MAY SIT ON COMPACTED EARTH.

**4**  
 LS-2  
**TYPICAL TREE PLANTING & GUYING**  
 PLAN & SECTION  
 SCALE: 1/2"=1'-0"

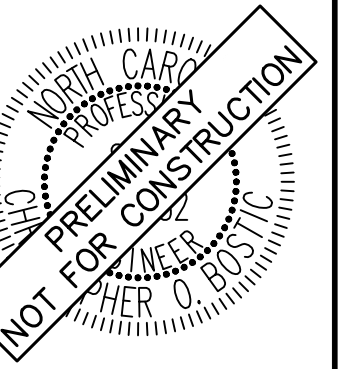
**GENERAL LANDSCAPE NOTES:**

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- ALL SHADE TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8' (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. ANY DISCREPANCIES BETWEEN QUANTITIES ON PLAN AND PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF WAKE COUNTY INSPECTOR AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO PLANTING.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL SUBSTANTIAL COMPLETION.
- CONTRACTOR SHALL INSTALL AND MAINTAIN TWO (2) GATORBAGS PER LARGE CANOPY TREE
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWO (2) YEAR BEGINNING ON THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- LANDSCAPE ARCHITECT SHALL APPROVE ALL BED LAYOUT STAKING PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL TREES PRIOR TO INSTALLATION.
- AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT SCHEDULE SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH DOUBLE SHREDDED HARDWOOD OR CURRENT CITY STANDARD TO A DEPTH OF THREE (3) INCHES.
- LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
- SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL OR UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL PLANTING MIX STANDARDS FOR TREES. SEE DETAILS THIS SHEET.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND ZONING ORDINANCE COMPLIANCE. FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING. GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND TO RAKE ENTIRE SITE.
- THE CONTRACTOR SHALL INSTALL BLACK FABRIC MESH UNDER PLANTING BED MULCH TO PREVENT WEED GROWTH.
- EACH LARGE CANOPY TREE AT THE TIME OF PLANTING SHALL BE A MINIMUM OF TWO (2) INCHES IN CALIPER AND EIGHT (8) - TEN (10) FEET IN HEIGHT. WHEN MATURE, A LARGE CANOPY TREE SHOULD BE AT LEAST FORTY (40) FEET HIGH AND HAVE A MINIMUM CROWN WIDTH OF THIRTY (30) FEET. LARGE CANOPY TREES MAY BE SUBSTITUTED WITH TWO (2) UNDERSTORY TREES. HOWEVER, NO MORE THAN FIFTY (50) PERCENT OF THE REQUIRED LARGE CANOPY TREES MAY BE SUBSTITUTED. EACH UNDERSTORY TREE AT THE TIME OF PLANTING SHALL BE A MINIMUM OF ONE (1) INCH IN CALIPER AND EIGHT (8) FEET IN HEIGHT. WHEN MATURE, AN UNDERSTORY TREE SHOULD BE BETWEEN FIFTEEN (15) AND FORTY (40) FEET HEIGHT. EVERY TWO (2) UNDERSTORY TREES MAY BE SUBSTITUTED WITH ONE (1) LARGE CANOPY TREE. HOWEVER, NO MORE THAN FIFTY (50) PERCENT OF THE REQUIRED UNDERSTORY TREES MAY BE SUBSTITUTED. EACH SHRUB AT THE TIME OF PLANTING SHALL BE 3 GALLON SIZE OR LARGER. SUBSTITUTIONS SHOULD BE CONFIRMED WITH THE PLANNING DIVISION.

**NOTE:**  
 Each large canopy tree at the time of planting shall be a minimum of two (2) inches in caliper and eight (8) - ten (10) feet in height. When mature, a large canopy tree should be at least forty (40) feet high and have a minimum crown width of thirty (30) feet. Large canopy trees may be substituted with two (2) understory trees. However, no more than fifty (50) percent of the required large canopy trees may be substituted. Each understory tree at the time of planting shall be a minimum of one (1) inch in caliper and eight (8) feet in height. When mature, an understory tree should be between fifteen (15) and forty (40) feet height. Every two (2) understory trees may be substituted with one (1) large canopy tree. However, no more than fifty (50) percent of the required understory trees may be substituted. Each shrub at the time of planting shall be 3 gallon size or larger. Substitutions should be confirmed with the Planning Division.

No.	REVISIONS	DATE	BY
1			
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KHA PROJECT	013031004
DATE	09/29/2023
SCALE	AS SHOWN
DESIGNED BY	JAA
DRAWN BY	JAA
CHECKED BY	COB

**LANDSCAPE DETAILS**

THE LEARNING  
 CENTER ROLESVILLE  
 PREPARED FOR  
 ROLESVILLE, LLC.  
 TOWN OF ROLESVILLE  
 NORTH CAROLINA

SHEET NUMBER  
**L2.0**



1. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, AND JOB SITE SAFETY.  
 2. GC MUST PROVIDE & INSTALL ALL PRODUCTS PER PLANS. ONLY SUBSTITUTED PRODUCTS NEED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. UNAPPROVED SUBSTITUTIONS WILL BE REPLACED AT THE EXPENSE OF THE GC.  
 3. VERBAL REPRESENTATION HAS NO VALUE AND ALL REQUESTS TO CHANGE ANY PRODUCTS OR SPECIFICATIONS PER PLANS MUST BE SUBMITTED IN WRITING TO THE ARCHITECT & TLE FOR APPROVAL.



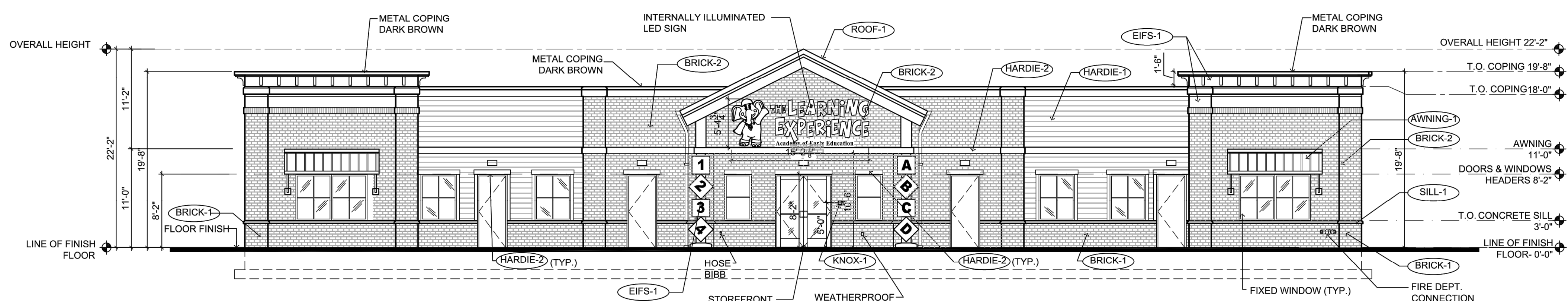
**Jarmel Kizel**  
 ARCHITECTS AND ENGINEERS INC.  
 42 OKNER PARKWAY  
 LIVINGSTON, NEW JERSEY 07039  
 TEL: 973-994-9669  
 FAX: 973-994-4069  
 www.jarmelkizel.com

Architecture  
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 Interior Design  
 Implementation Services

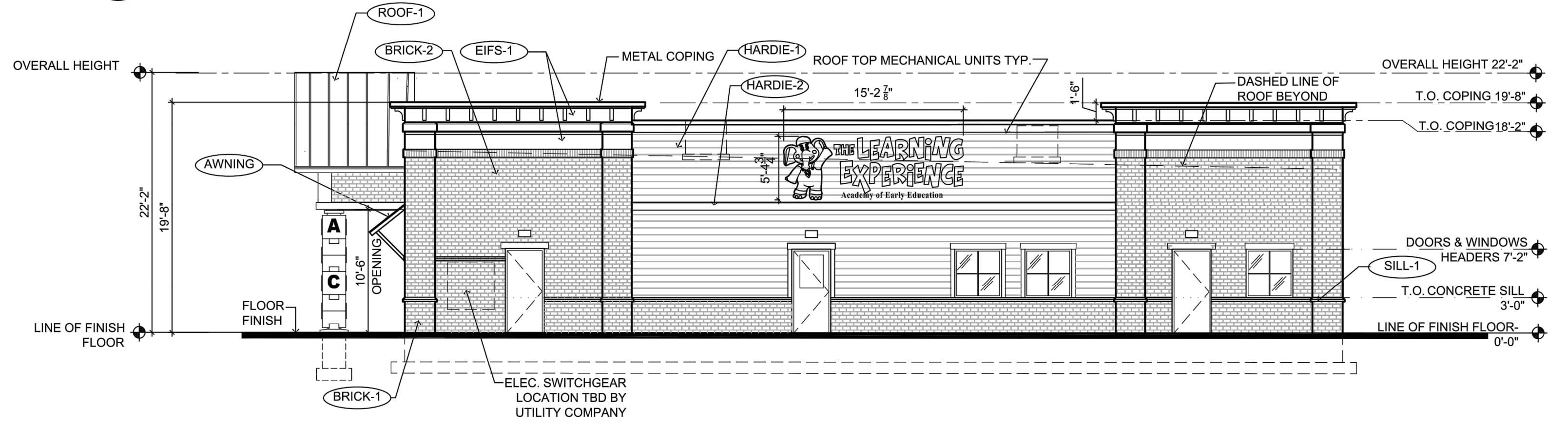
**THE LEARNING EXPERIENCE**  
 ACADEMY OF  
 EARLY EDUCATION



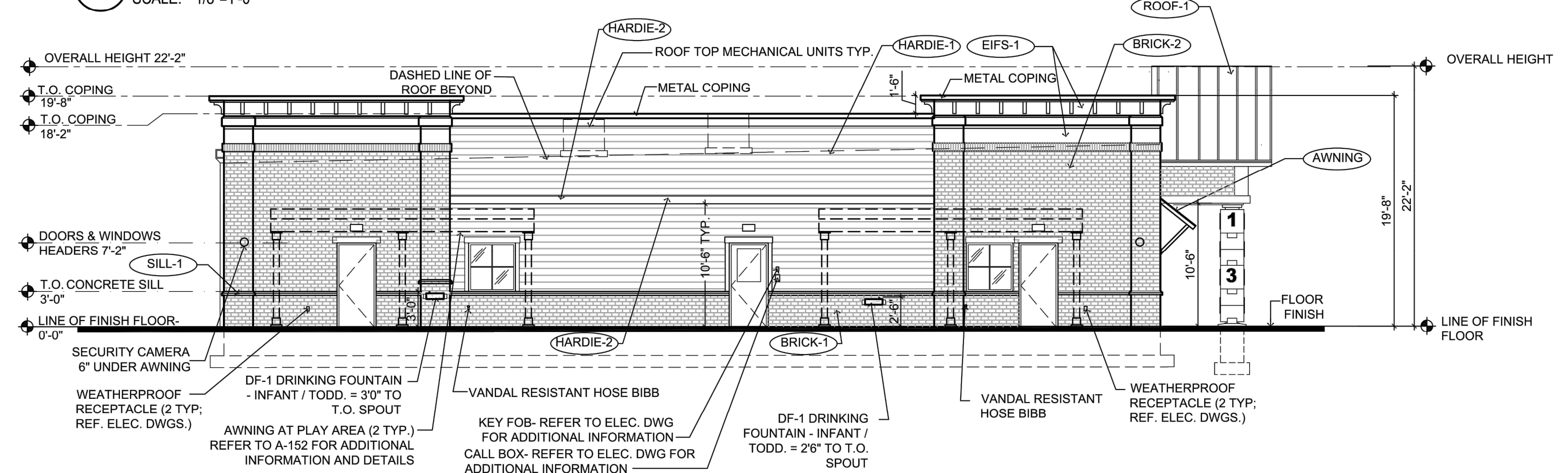
US Hwy 401 S Main St  
 ROLESVILLE NORTH CAROLINA



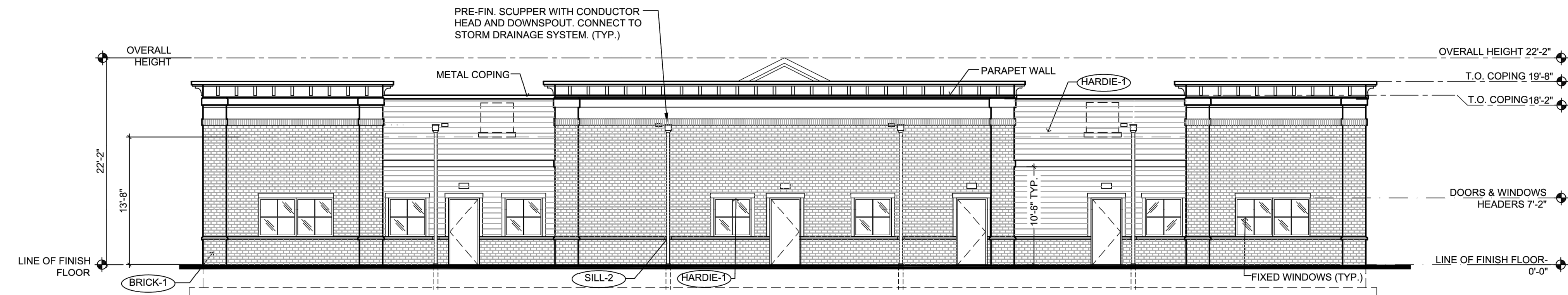
**1 SOUTH ELEVATION**  
 SCALE: 1/8"=1'-0"



**2 EAST ELEVATION**  
 SCALE: 1/8"=1'-0"



**3 WEST ELEVATION**  
 SCALE: 1/8"=1'-0"



**4 NORTH ELEVATION**  
 SCALE: 1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE			
LABEL	MANUFACTURER	SIZE / TYPE	FINISH / COLOR
STOREFRONT	KAWNEER	TRIFAB 451T / 350 PER DOOR SCHEDULE	DARK BRONZE
DOOR	-	PER DOOR SCHEDULE	FACTORY PRIMED
FIXED WINDOW	PLY GEM	SILVER LINE V1 SERIES PER WINDOW SCHEDULE	DARK BRONZE
SILL-1	ROCKCAST	CAST STONE SILL	BUFFSTONE
SILL-2	ROCKCAST	CUSTOM SILL 3 3/4"Hx4"W W/ 2" FLAT REF. DTL. 6/A-032	BUFFSTONE
BRICK-1	GENERAL SHALE	MODULAR BRICK VENEER	DUTCH CHOCOLATE
BRICK-2	GENERAL SHALE	MODULAR BRICK VENEER	MILLBROOK
HARDIE-1	JAMES HARDIE	HARDIEPLANK LAP SIDING	COBBLESTONE
HARDIE-2	JAMES HARDIE	HARDIEPLANK TRIM	WHITE
EIFS-1	DRYVIT	SMOOTH FINISH	SW 7044 AMAZING GRAY
ROOF-1	BERRIDGE	STANDING SEAM METAL	DARK BRONZE
AWNING-1	BERRIDGE	STANDING SEAM AWNING W/ FRAME	DARK BRONZE
AWNING-2	-	FABRIC AWNING OVER FRAME REFER TO NOTE #4	MIDNIGHT BLUE
KNOX-1	KNOX BOX	3200 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	DARK BRONZE (REF. NOTE 2 BELOW)
KNOX-2	KNOX BOX	1650 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	DARK BRONZE (REF. NOTE 2 BELOW)

**FINISH SCHEDULE NOTES:**  
 1. G.C. SHALL VERIFY KNOX BOX MODEL(S) AND LOCATION(S) WITH AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING AND INSTALLATION.  
 2. G.C. SHALL ENSURE ALL EXTERIOR FINISHES ARE INSTALLED AND FINISHED IN COMPLIANCE WITH MANUFACTURERS' WARRANTY REQUIREMENTS.  
 3. IF BLOCKS ARE NOT PERMITTED, COLUMNS MUST MATCH EXTERIOR FINISH OF THE BUILDING.  
 4. PER 2015 IBC SECTION 3105, AWNING FRAMES SHALL BE OF NONCOMBUSTIBLE MATERIALS AND DESIGNED TO RESIST APPLICABLE WIND LOADS. THE COVERING FABRIC SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN 25.

ISSUE			
NO.	DATE	DESCRIPTION	INT.

REVISION			
NO.	DATE	DESCRIPTION	INT.

PROFESSIONAL CERTIFICATION  
 NAME OF LICENSEE:  
 MATTHEW B. JARMEL  
 LICENSE NUMBER: 10120  
 EXPIRATION DATE:

Project Number: TLENC23-228  
 Scale: 1/8"=1'-0"  
 Drawn By: EG  
 Approved By: MBJ

Drawing Name:  
**PROPOSED ELEVATIONS**

Drawing Number:  
**SA-1.2**