



**Board of Commissioners
Regular Meeting**
January 4, 2024 – 7:00 PM
502 Southtown Circle, Rolesville, NC 27571

Agenda

1. Call to Order
2. Pledge of Allegiance and Invocation
3. Proclamations and Awards
Recognition of Coach and Players of the Rolesville High School Football team.
4. Consideration of Approval of the Agenda by the Board.
5. Consideration of Approval of the Consent Agenda by the Board:
 - 5.a. Minutes of the December 5, 2023, Town Board Organizational Meeting.
 - 5.b. Consideration of Retroactive Reimbursement to Newly Elected Board Member.
 - 5.c. Resolution Appointing Finance Officers.
 - 5.d. Budget Ordinance Amendments.
 - CAD Shortage (Finance)
 - Wellness Grant (HR)
 - Rolesville Rural Fire Department Concrete Work (Administration)
 - Museum Donations (Parks & Rec)
 - 5.e. Calls for Legislative Hearings for February 6, 2024
 - ANX22-05 Harris Creek Farms
 - ANX23-01 Woodlief Assemblage
6. Public Invited to be Heard.
Individuals wishing to speak during the Public Invited to be Heard proceedings are encouraged to be prepared and individuals will be limited to three (3) minutes. Written comments are welcome and should be given to the Town Clerk prior to the start of the meeting.
7. Town Board Liaison Reports
 - 7.a. Commissioner Alston – Veterans
 - 7.b. Commissioner Long – Public Safety
 - 7.c. Commissioner Paul – Senior Citizens
 - 7.d. Commissioner Sneed – Planning Board
 - 7.e. Commissioner Vilga – Parks & Recreation Advisory Board
8. Communication from Town Staff

8.a. Parks & Recreation

8.b. Public Works

9. Old Business

Appointment Recommendations to Advisory Boards

9.a. Planning Board – Commissioner Sneed

9.b. Parks & Recreation Advisory Board – Commissioner Vilga

10. New Business

10.a. Community Oriented Policing Services (COPS) Grant

– Resolution Establishing Policies Related to Federal Grant Funds.

– Resolution Accepting COPS Grant.

– Budget Ordinance Amendment.

Hearings

10.b. Revision to SP21-01 – Cobblestone Village Site Plan.

End of Hearings

11. Communications

11.a. Town Attorney

11.b. Interim Town Manager

11.c. Town Board

12. Adjourn

The Town of Rolesville will make reasonable accommodations for access to Town services, programs, and activities and will make special communication arrangements for persons with disabilities. Please call (919) 556-3506 by noon on the Thursday prior to the meeting to make arrangements.

Finance Update

3-Month Schedule



**Board of Commissioners
Regular/Organizational Meeting**
December 5, 2023 – 7:00 PM
502 Southtown Circle, Rolesville, NC 27571

Minutes

PRESENT: Ronnie Currin, Mayor
Sheilah Sutton, Commissioner
~~Michelle Medley, Commissioner~~
Eric Marsh, Assistant Town Manager
Dave Neill, Town Attorney
Meredith Gruber, Planning Director
Commissioner-Elect Lenwood Long, Jr.

Paul Vilga, Mayor Pro-Tem
April Sneed, Commissioner
Dan Alston, Commissioner
Robin Peyton, Town Clerk
David Simmons, Police Chief
Amy Stevens, Finance Director
Commissioner-Elect Michael Paul

1. CALL TO ORDER

1.a. Call to Order

Mayor Currin called the meeting to order at 7:00 p.m.

1.b. Pledge of Allegiance and Invocation

Mayor Currin led the Pledge of Allegiance

Pastor Michael Eley from New Bethel Baptist Church gave the invocation.

1.c. Recognition of Outgoing Members

Mayor Currin recognized Commissioner Michelle Medley, in her absence, for her eight years as a Town Board member and former Mayor Pro Tem.

Mayor Currin recognized Commissioner Sheilah Sutton for her eight years as a Town Board member. Following the listing of all the accomplishments made by the Commissioner, the Mayor presented Commissioner Sutton with a plaque of appreciation.

2. Swearing-in Ceremony

2.a. Mayor Ronnie I. Currin

Incumbent Mayor Ronnie Currin was sworn in by Wake County, 10th District Special Superior Court Judge Craig Croom.

2.b. Commissioner Lenwood Long, Jr.

New Commissioner Lenwood Long was sworn in by Wake County, 10th District Special Superior Court Judge Craig Croom.

2.c. Commissioner Michael Paul

New Commissioner Michael Paul was sworn in by Wake County, 10th District Special Superior Court Judge Craig Croom.

3. Nomination and Appointment of Mayor Pro Tempore

Moved by Mayor Pro Tem Paul Vilga to nominate Commissioner Sneed to be Mayor Pro Tem; seconded by Commissioner Alston. Motion carried unanimously.

4. [Swearing in of Mayor Pro Tempore](#)

Mayor Pro Tem April Sneed was sworn in by Wake County 10th District Special Superior Court Judge Craig Croom

5. [Advisory Board Liaison Appointments](#)

6. [Review of Agenda by the New Board and Addition/Changes of Items of New Business to the Agenda for Consideration.](#)

Moved by Commissioner Vilga to adopt the agenda as presented; seconded by Commissioner Paul. Motion to adopt the agenda carried unanimously.

7. [Public Invited to be Heard.](#)

NONE

8. [Consent Agenda](#)

Moved by Commissioner Alston to approve the Consent Agenda as presented and consisting of the following:

8.a. Minutes of November 8th, November 16th, and November 27th meetings.

8.b. Adoption of Schedule of Meetings for 2024.

8.c. Adoption of a Plan Consistency and Reasonableness Statement for REZ-23-03 Hills at Harris Creek

Motion to approve the Consent Agenda seconded by Commissioner Long and carried unanimously.

Legislative Hearings

9. [Consideration of Approval of Annexation ANX23-05 880 E. Young Street.](#)

Mayor Currin opened the public hearing at 7:59 p.m.

Planning Director Meredith Gruber introduced Case ANX23-05 880 E. Young Street.

APPLICANT

Dennis Parker, 880 E. Young Street

Mr. Parker, the stepson of the property owner, Mr. Pulley, provided the applicant's account of the request for annexation due to the failure of the well on the property located at 880 E. Young Street.

PUBLIC IN FAVOR/OPPOSITION

None

There being no one remaining to speak, Mayor Currin closed the legislative hearing on ANX23-05 at 8:04 p.m.

Moved by Commissioner Vilga to approve the voluntary annexation petition received under N.C.G.S. 160A-31 for ANX23-05, Pulley residence; seconded by Commissioner Paul. Motion to approve carried unanimously.

End of Legislative Hearings

10. Communications

10.a. [Town Attorney](#)

Town Attorney Dave Neill noted the call for a Closed Session pursuant to a personnel matter that was included on the agenda.

10.b. [Town Manager](#)

Assistant Town Manager Eric Marsh updated the Town Board on action being taken to fill staff vacancies.

10.c. [Town Board](#)

Commissioner Alston reported that there would be no Veterans Coffee in the month of December and information will be disseminated for the January Veterans Coffee.

Mayor Current reported on the ongoing problem at the Grande apartments.

Mayor Currin provided information on the upcoming Mayors Show.

11. [Closed Session pursuant to NCGS 143-318.11\(a\)\(6\) Personnel](#)

Moved by Commissioner Vilga to recess to Closed Session pursuant to NCGS 143-318.11(a)(6) Personnel; seconded by Mayor Pro Tem Sneed. Motion to recess to Closed Session carried by unanimous vote.

12. [Return to Open Session](#)

Following discussion in Closed Session it was moved by Mayor Pro Tem Sneed to make Assistant Town Manager Eric Marsh Interim Town Manager effective December 5, 2023; seconded by Commissioner Long. Motion carried unanimously.

Staff has been directed by the Town Board to provide several search firms for consideration for hiring a permanent Town Manager.

13. [Adjourn](#)

There being no further business before the board, Mayor Currin adjourned the meeting.

Ronnie I. Currin, Mayor

ATTEST:

Robin E. Peyton, Clerk



Memo

To: Mayor and Town Board
From: Robin Peyton, Town Clerk
Date: December 20, 2023
Re: Agenda Item #5.b. Consideration of Retroactive Reimbursement to Newly Elected Board Member Michael Paul

Background

Following election certification by the Wake County Board of Elections, successfully elected officials may become eligible for training, travel, and expense reimbursements, not unlike their seated counterparts on Town Boards and Boards of Commission.

The Wake County Board of Elections issued the 2023 municipal election certification on November 17, 2023.

Commissioner-elect Michael Paul was invited to and attended the Peace and Justice Legacy Museum and Memorial in Montgomery, Alabama, on December 1, 2023. Commissioner Paul is seeking reimbursement for his travel and expenses totaling \$407.95 (\$277.95 flight, \$100.00 shuttle, and admission fees, \$30.00 RDU parking.).

Several seated Town Board members elected to travel to the museum and memorial in December 2022 and were reimbursed for the same expenses.

The staff has all necessary receipts from Commissioner Paul to process the reimbursement but lacks approval from the Town Board to retroactively process the reimbursement through the Town Board Travel and Training budgetary line item.

Recommended Action

Approve the retroactive reimbursement in the amounts noted, through the Town Board Travel and Training budgetary line item, for travel and expenses accumulated by Commissioner Paul, while conducting the business of the Town of Rolesville, in December 2023, following his successful election certification by the Wake County Board of Elections.



Memorandum

To: Mayor and Town Board
From: Amy Stevens, Finance Director
Date: December 20, 2023
Re: Resolution Appointing Finance Officers, Agenda Item #5.C.

Background

The Finance Officer is a statutory position with identified responsibilities regarding the Town's financial affairs. These duties include the proper disbursement of Town funds and the pre-audit of financial obligations.

North Carolina statutes allow the governing board to designate other staff members as Deputy Finance Officer in order to execute documents in the absence or disability of the Finance Officer.

With recent staff changes, it is appropriate to update these appointments.

Recommended Action

Make a motion to adopt Resolution 2024-R-01 to Appoint Finance Officer and Deputy Finance Officer.

Attachment

- Resolution 2024-R-01 to Appoint Finance Officer and Deputy Finance Officer

RESOLUTION TO APPOINT FINANCE OFFICER AND DEPUTY FINANCE OFFICER

WHEREAS, North Carolina General Statute 159-24 states that each local government and public authority shall appoint a Finance Officer who is responsible for providing the financial safeguards and ensuring all duties of the position are adequately and efficiently covered; and

WHEREAS, these statutes also allow the Town Board of Commissioners to designate other staff as Deputy Finance Officers to execute documents in the Finance Officer's absence or disability;

NOW, THEREFORE, BE IT ORDAINED, by the Board of Commissioners of the Town of Rolesville that:

Section 1. Amy Stevens is appointed to perform the statutory duties of Finance Officer.

Section 2. Eric Glassey and Eric Marsh are appointed to perform the statutory duties of Deputy Finance Officer for the purpose of signing checks in the absence of the Finance Officer.

Section 3. Eric Glassey and Eric Marsh are appointed to perform the statutory duties of Deputy Finance Officer for the purpose of conducting the pre-audit obligation in the absence of the Finance Officer.

Section 4. This resolution shall take effect on the day of adoption.

Approved this 4th day of January 2024.

[SEAL]

Ronnie I. Currin
Mayor

Robin E. Peyton
Town Clerk



Memorandum

To: Mayor and Town Board
Date: December 20, 2023
Re: Budget Amendments for FY 2023-24, Agenda Item #5.D.

Town staff have submitted several requests for FY23-24 budget amendments for Town Board consideration.

1. **CAD Shortage** (from Finance)

During the budget process for FY23-24, Finance staff made an error in the Police Department budget and included only one quarter's costs for computer-aided dispatch rather than the full year. A transfer of \$19,200 is requested from Contingency.

2. **Wellness Grant** (from Human Resources)

Earlier this year, the Human Resources department received a \$2,500 wellness grant from the North Carolina League of Municipalities. The department requests appropriation of these funds to enhance their wellness program offerings. Funding is from Fund Balance Appropriation since the grant funds were received in the previous fiscal year.

3. **Fire Concrete Work** (from RRFD)

The Rolesville Rural Fire Department made repairs to the concrete apron in front of the Ladder 15 garage door at a cost of \$12,800. These repairs were not anticipated in the FY23-24 budget, and they advise that this cost overspends their building maintenance budget with 8 months left in the fiscal year. Wake County has agreed to cost share their portion (44.86%) of the repairs. RRFD requests the Town's cost share portion (55.14%) of \$7,058. A transfer of \$7,100 is requested from Contingency.

4. **Museum Donations** (from Parks & Recreation)

Over the past year, staff have been working to update the Parks & Recreation Donation Policy to incorporate the new Outdoor Museum program. With the policy update, the public will be able to make donations to fund an Outdoor Museum Station. This requested budget amendment appropriates expected donation revenue and the offsetting expenditures. The program is self-supporting.

Recommended Action

Make a motion to approve the Ordinance to Amend the 2023-2024 Fiscal Year Budget Ordinance dated January 4, 2024

**AN ORDINANCE TO AMEND THE
2023-2024 FISCAL YEAR BUDGET ORDINANCE**

BE IT ORDAINED, by the Board of Commissioners of the Town of Rolesville, North Carolina that the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2024:

1. *To appropriate funds for computer-aided dispatch for the full year.*

		<u>Change</u>
<u>Expenditure</u>		
100-190-5399-0000	Contingency	(\$19,200)
100-310-5266-0000	Public Safety Services	\$19,200

2. *To recognize wellness grants received by the Town in the previous fiscal year and appropriate the associated expenditures.*

		<u>Increase</u>
<u>Revenue</u>		
100-000-6900-0000	Fund Balance Appropriation	\$2,500
<u>Expenditure</u>		
100-140-5244-0000	Departmental Supplies	\$2,500

3. *To appropriate expenditures for the Town's cost share of non-budgeted concrete repair at the Rolesville Fire Station.*

		<u>Change</u>
<u>Expenditure</u>		
100-190-5399-0000	Contingency	\$7,100
100-610-5425-1007	Other Improvements	\$7,100

4. *To appropriate revenues and expenditures for the Outdoor Museum donation program.*

		<u>Increase</u>
<u>Revenue</u>		
100-000-4530-0000	Sponsorships	\$15,000
<u>Expenditure</u>		
100-610-5425-1007	Other Improvements	\$15,000

This will result in a net increase of \$17,500 in both revenues and expenditures of the General Fund.

Adopted this 4th day of January 2024

Ronnie I. Currin
Town of Rolesville Mayor

Attest: _____
Robin E. Peyton
Town Clerk



Memo

To: Mayor and Town Board of Commissioners
From: Meredith Gruber, Planning Director
Date: January 4, 2024
Re: Agenda Item 5.e: ANX 22-05 Harris Creek Farms – Call for Legislative Hearing on February 6, 2024

Summary Information

The Town of Rolesville has received a non-contiguous voluntary annexation petition for 93.609 acres, located near Universal Drive off of Jonesville Road with 19 individual Wake County PINs, into the Town of Rolesville Town Limits. (Please see the attached Annexation Petition for the list of parcels.) These 19 parcels make up an associated rezoning case MA 22-08, Harris Creek Farms. See attachment for petition and required documents.

As provided in G.S. 160A-31, on December 6, 2022, the petition was directed to be investigated by the Town Clerk as to its sufficiency of meeting G.S. 160A-31; see attachment.

Recommendation

Staff recommends the Town Board of Commissioners schedule a Legislative hearing for ANX 22-05 on February 6, 2024.

Suggested Motion

Motion to schedule a Legislative hearing for the Voluntary Annexation petition under G.S. 160A-31 for ANX 22-05, Harris Creek Farms

Attachments

1. Vicinity Map
2. ANX 22-05 Petition for Annexation and Attachments
3. ANX 22-05 Certificate of Sufficiency dated December 7, 2022

Attachment 1

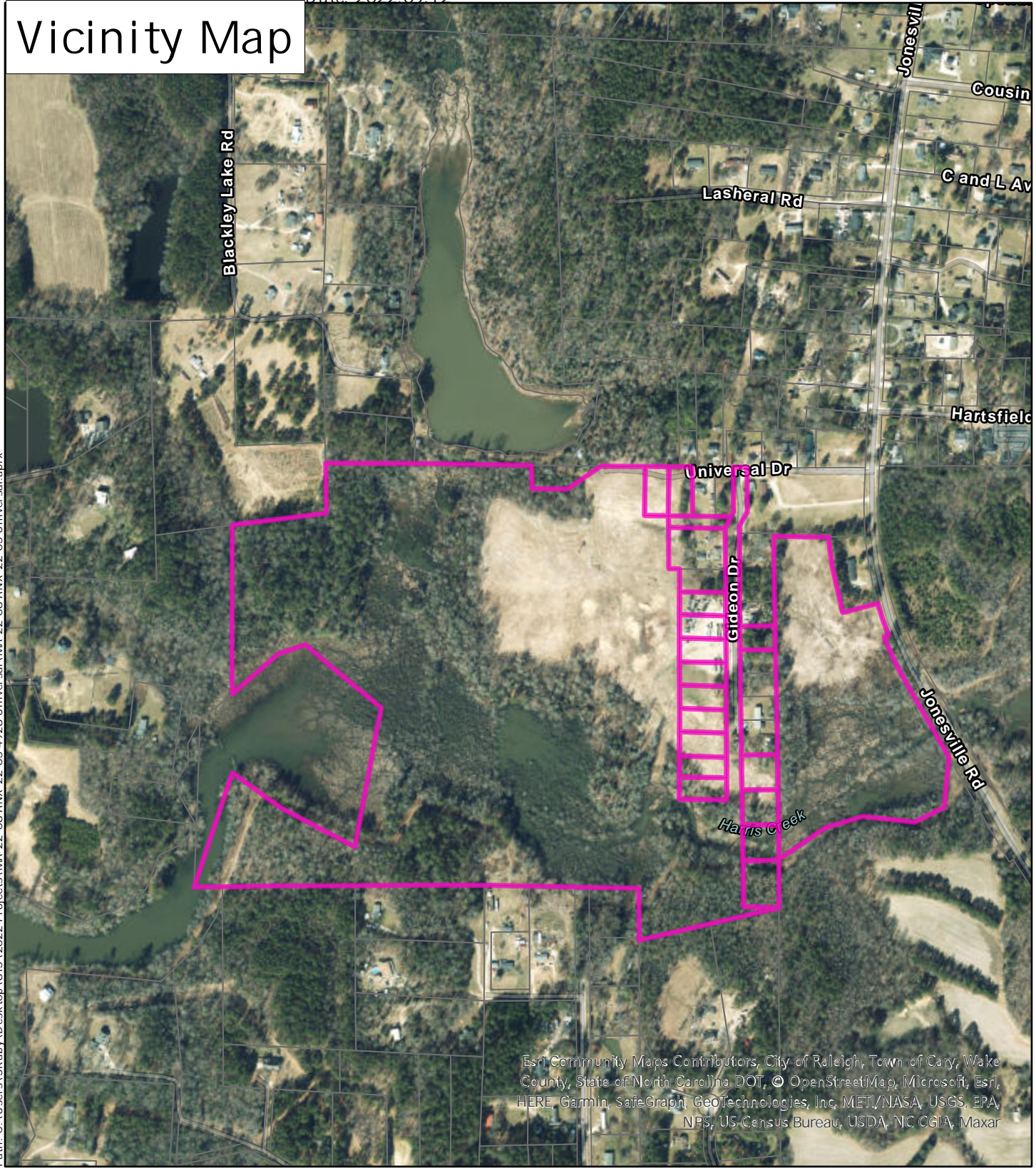


Case: MA 22-08 ANX 22-05 Harris Creek Farms
Address: 4928 Universal
PIN: 1757277811, 1757375276, 1757375365, 1757375464, 1757375575,
1757375665, 1757375765, 1757375865, 1757375975, 1757385064, 1757384572,
1757383572, 1757368816, 1757378013, 1757378109, 1757378303, 1757377990,
1757471559, 1757385349
Date: 2022.09.12

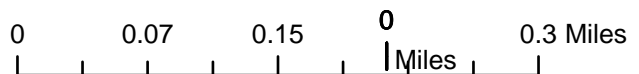
Vicinity Map

Date Saved: 9/12/2022 4:00 PM

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TOWN OF ROLESVILLE PETITION FOR ANNEXATION

The items below are required in order to complete your application and shall be submitted when the application is filed.

1. A complete copy of the last deed of record for proof of ownership
2. An annexation boundary plat/map for recordation at the Wake County Register of Deeds Office (mylar plat) prepared by a professional land surveyor showing the boundaries of the area or property for annexation into the Town of Rolesville.
3. A complete copy of the written metes and bounds description based on the annexation boundary plat/map.

SECTION 1 -

Is the area contiguous with the existing primary corporate limits? Satellite corporate limits is not primary. Yes or No

Note: If the land is contiguous to any existing corporate limits, the proposed annexation boundary will include all intervening right-of-ways for streets, easements, and other areas as stated in North Carolina General Statute §160-131(1).

SECTION 2 - VESTED

NC General Statutes require petitioners of both contiguous and non-contiguous annexations to file a signed statement declaring whether vested rights have been established in accordance with G.S. 160A-385.1 or 153A-344.1 for properties subject to the petition. Do you

declare vested rights for the property subject to this petition? Yes or No

SECTION 3 - PROPERTY

PIN Number	Real Estate ID Number	Deed Book Number	Page Number	Acreage To Be Annexed	Wake County Assessed Value
1757277811	0057413	DB 018953	PG 00623	71.52	\$1,061,940
1757375276	0057448	DB 018953	PG 00623	0.44	\$8,000
1757375365	0057447	DB 018953	PG 00623	0.41	\$8,000
1757375464	0057446	DB 018953	PG 00623	0.48	\$8,000
1757375575	0057445	DB 018953	PG 00623	0.45	\$19,200
1757375665	0057444	DB 018953	PG 00623	0.46	\$19,200
1757375765	0057443	DB 018953	PG 00623	0.46	\$19,200
1757375865	0057442	DB 018953	PG 00623	0.46	\$19,200
1757375975	0057441	DB 018953	PG 00623	0.46	\$19,200
1757385064	0057440	DB 018953	PG 00623	0.45	\$19,200
1757384572	0057429	DB 018953	PG 00623	0.49	\$19,200
1757383572	0057430	DB 018953	PG 00623	0.48	\$19,200
1757368816	0057438	DB 018953	PG 00623	0.69	\$8,000
1757378013	0057437	DB 018953	PG 00623	0.54	\$8,000
1757378109	0057436	DB 018953	PG 00623	0.53	\$8,000
1757378303	0057435	DB 018953	PG 00623	0.53	\$8,000
1757377990	0057431	DB 018953	PG 00623	0.35	\$19,200
1757471559	0345866	DB 018963	PG 00592	14.90	\$187,099
1757385349	0057439	DB 018953	PG 00623	0.28	\$19,200

SECTION 4 - SIGNATURES AND VERIFICATION

We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

- If property owned by INDIVIDUALS (NOTE: All legal owners must sign including both husband and wife)

[Signature] 6/8/2022
 Signature of Owner #1 CHEN, PING Date Signed
10030 GREEN LEVEL CHURCH RD STE 802
 Signature of Owner #2 CARY NC 27519-8195 Date Signed

- If property owned by a COMPANY OR CORPORATION (NOTE: The company or corporation must be legally registered with the State of North Carolina – Office of the Secretary of State)

 Name of Corporation

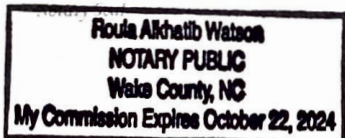
 Printed Name of Registered Agent Signature of Registered Agent

 Address, State, Zip of Registered Office:

North Carolina, Wake County

I, Paula Alkhatib Watson Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instrument. Witness my hand and official seal, this 8th day of June, 2022.

Paula Alkhatib Watson
 Notary Public
 My commission expires: 10/22/2024



MORRIS & RITCHIE ASSOCIATES OF NC, PC

AN AFFILIATE OF MORRIS & RITCHIE ASSOCIATES, INC. WHICH PROVIDES ENGINEERING, ARCHITECTURE, PLANNING, SURVEYING & LANDSCAPE ARCHITECTURE THROUGHOUT THE MID-ATLANTIC REGION AND LANDSCAPE ARCHITECTS



Legal Description - New Parcel

93.609 Acres

Portion of Lands of Ping Chen

Wake Forest Township – Wake County, North Carolina

All that certain parcel of land lying generally easterly of Jonesville Road, being located in Wake Forest Township, Wake County, North Carolina and being a portion of those lands described in deed dated March 11, 2022 from Jerri Jo Miller, Tammy Gower Batts, Clifton Edward Blackley and spouse Joetta May Blackley, Grantor to Ping Chen and recorded in the Land Records of Wake County, North Carolina in Deed Book 18953, page 592 and page 623, being more particularly described as follows, to wit:

Beginning at a PK nail set in an existing concrete monument on the Southwestern right-of-way of Jonesville Road, having North Carolina state plane coordinates N: 777,906.672 E: 2,154,356.044. Thence, with said right-of way, South 68°36'32" West 20 feet to a concrete monument on the Southwestern right-of-way line of Jonesville Road; thence, with said right-of-way and along a curve with a cord bearing distance South 25°28'26" East 211.09 feet and a radius of 1,482.39 feet to an iron pipe; thence along said right-of-way, South 30°07'39" East 362.89 feet to an iron pipe; thence leaving said right-of-way, South 03°57'31" West 224.45 feet to a point; thence, South 62°24'06" West 140.83 feet to a point; thence, North 85°00'48" West 220.39 feet to a point; thence, South 71°32'01" West 167.97 feet to a point; thence, South 55°11'46" West 260.01 feet to a point; thence South 00°19'06" East to an iron pipe; thence, South 77°03'58" West 613.86 feet to an iron pipe; thence, North 00°39'34" West 210.00 feet to an iron pipe; thence, North 89°39'42" West 210.07 feet to an iron pipe; thence, North 89°33'15" West 60.01 feet to an iron pipe; thence, North 89°33'15" West 194.65 feet to an iron pipe; thence, North 89°37'28" West 192.36 feet to an iron pipe; thence, South 89°58'04" West 545.58 feet to an iron pipe; thence, South 89°41'47" West 571.90 feet to an iron pipe; thence, North 12°14'25" East 513.70 feet to an iron pipe; thence, South 60°15'35" East 257.50 feet to an iron pipe; thence, South 68°15'35" East 360.30 feet to an iron pipe; thence, North 03°35'25" East 604.00 feet to an iron pipe; thence, North 56°00'58" West 420.00 feet to an iron pipe; thence, South 65°29'02" West 130.00 feet to an iron pipe; thence, South 42°57'43" West 270.40 feet to an iron pipe; thence, North 01°21'15" West 719.72 feet to an axle; thence, North 87°42'39" East 434.84 feet to an iron pipe; thence, North 02°13'13" East 238.07 feet to an iron pipe; thence, South 89°16'24" East 821.92 feet to an iron pipe; thence, South 02°47'46" East 100.00 feet to an iron pipe; thence, South 89°47'46" East 150.00 feet to an iron pipe; thence, North 55°18'54" East 174.59 feet to an iron pipe; thence, South 88°45'46" East 396.99 feet to an iron pipe; thence, South 00°09'07" East 210.02 feet to an iron pipe; thence, South 89°21'02" East 175.02 feet to an iron pipe on the Western right-of-way of Gideon Drive; thence with said right-of-way, South 31°00'37" West 57.95 feet to an iron pipe; thence leaving said right of way, North 89°21'02" West 245.02 feet to an iron pipe; thence, South 00°09'07" East 175.02 feet to an iron pipe; thence, South 89°21'02" East 45.00 feet to an iron pipe; thence, South 00°09'07" East 100.01 feet to an iron pipe; thence, South 89°21'02" East 200.02 feet to an iron pipe on the Western right-of-way of Gideon Drive; thence with said right-of-way, South 01°21'41" East

5605 Chapel Hill Road, Suite 112, Raleigh, NC 27607 (984) 200-2103 www.mragta.com

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MORRIS & RITCHIE ASSOCIATES OF NC, PC

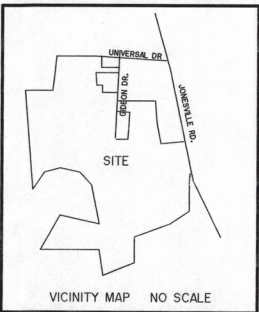
AN AFFILIATE OF MORRIS & RITCHIE ASSOCIATES, INC. WHICH PROVIDES ENGINEERING, ARCHITECTURE, PLANNING, SURVEYING & LANDSCAPE ARCHITECTURE THROUGHOUT THE MID-ATLANTIC REGION AND LANDSCAPE ARCHITECTS



667.14 feet to a point; thence crossing and leaving said right of way, South 88°47'24" East 210.08 feet to an iron pipe; thence North 00°34'22" West 421.87 feet to a point; thence, South 88°57'37" West 150.00 feet to a point on the Eastern right-of-way of Gideon Drive; thence with said right-of-way, North 00°53'13" West 100.00 feet to a point; thence leaving said right-of-way, North 88°57'37" East 150.00 feet to a point; thence, North 00°53'16" West 390.32 feet to an axle; thence, South 89°32'03" East 237.94 feet to a point; thence, South 06°57'52" East 113.70 feet to a point; thence, South 12°21'20" East 211.32 feet to an iron pipe; thence, North 73°55'50" East 149.95 feet to an iron pipe on the Southwestern right-of-way of Jonesville Road; thence, with said right-of-way and along a curve with a bearing and distance of South 19°15'36" East 146.36 feet and a radius of 1,462.39 feet to the point of beginning. Containing **93.609 AC.±**.

The total area of the **New Parcel 1** herein described being a portion of Tract 1 as described in deed dated March 11, 2022 from Jerri Jo Miller, Tammy Gower Batts, Clifton Edward Blackley and spouse Joetta May Blackley, Grantor to Ping Chen and recorded in the Land Records of Wake County, North Carolina in Deed Book 18953, page 592 and page 623, and containing a total area of **93.609 AC.±** and being subject to any and all matters of which a current title package would disclose.

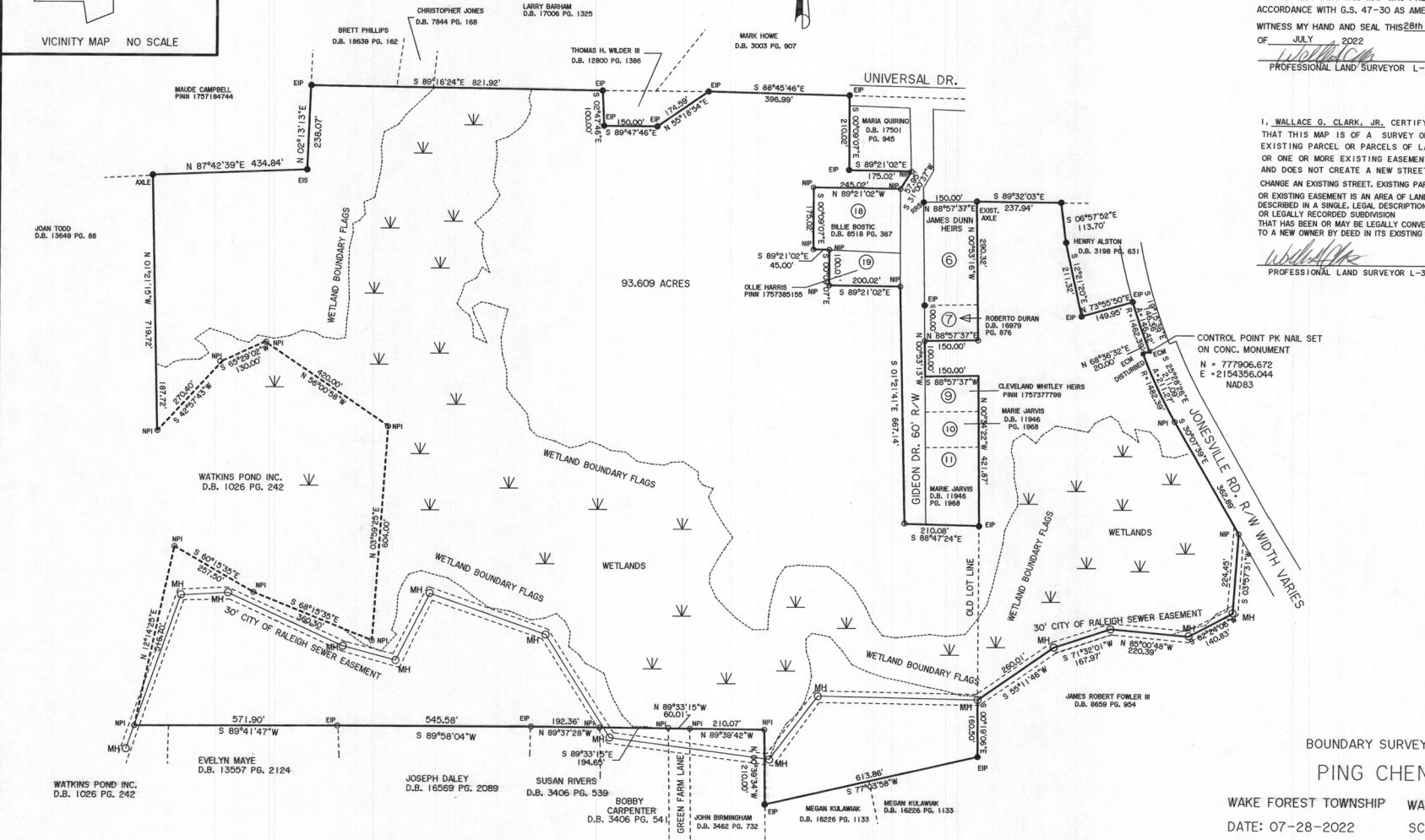




I, WALLACE G. CLARK, JR., CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION OF AN ACTUAL SURVEY MADE UNDER MY SUPERVISION. THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000. THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION FOUND IN BOOKS REFERENCED. THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY HAND AND SEAL THIS 28th DAY OF JULY, 2022



I, WALLACE G. CLARK, JR., CERTIFY THAT THIS MAP IS OF A SURVEY OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET, EXISTING PARCEL OR EXISTING EASEMENT IS AN AREA OF LAND DESCRIBED IN A SINGLE, LEGAL DESCRIPTION OR LEGALLY RECORDED SUBDIVISION THAT HAS BEEN OR MAY BE LEGALLY CONVEYED TO A NEW OWNER BY DEED IN ITS EXISTING CONFIGURATION.

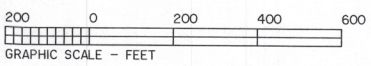


THIS MAP IS A COMPOSITE BOUNDARY OF THE FOLLOWING PARCELS.
 PID# 0057413, 0057429, 0057430, 0057440, 0057441, 0057442, 0057443, 0057444, 0057445, 0057446, 0057447, 0057448, 0057435, 0057436, 0057437, 0057438, 0057439, 0345886, 0057431

BOUNDARY SURVEY FOR
PING CHEN

WAKE FOREST TOWNSHIP WAKE COUNTY, N.C.
DATE: 07-28-2022 SCALE: 1" = 200'

GIL CLARK SURVEYING L.I.C. F-0739
P.O. BOX 1243
KNIGHTDALE, NORTH CAROLINA 27545
TEL (919) 266-9711 FAX (919) 266-9732



NOTE: ALL WETLANDS FLAGS WERE DELINEATED BY ECOTEX

**NORTH CAROLINA
GENERAL WARRANTY DEED**

Excise Tax: **\$ 0.00**

Recording Time, Book and Page

Account No. Parcel Identifier No. 0057413, 0057429, 0057430, 0057431, 0057435, 0057436, 0057437, 0057438, 0057439, 0057440, 057441, 0057442, 057443, 0057444, 0057445, 0057446, 0057447, 0057448, 0345866 and 0122598

Mail after recording to: GRANTEES @ 10030 Green Level Church Road Suite 802, #149, Cary, NC 27519

This instrument was prepared by: Ewing Law Center, P.C. (Carey L. Ewing, Esq.) without benefit of a title examination.

THIS DEED made this 24th day of January, 2023 by and between

GRANTOR

**Ping Chen and Fanxing Li, a Married Couple
10030 Green Level Church Road Suite 802, #149, Cary, NC 27519**

GRANTEE

**Kenneth Investment, LLC, a North Carolina Limited Liability Company
10030 Green Level Church Road Suite 802, #149, Cary, NC 27519**

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantors, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land and more particularly described as follows:

submitted electronically by "Ewing Law Center, PC"
in compliance with North Carolina statutes governing recordable documents
and the terms of the submitter agreement with the Wake County Register of Deeds.

SEE ATTACHED EXHIBIT A

The described property is more commonly known as:

TRACT 1: All or a portion of the property hereinabove described was acquired by Grantors by instrument recorded in Book 18953, Page 623, Wake County Registry. A map showing the above described property is recorded in Book of Maps 1971, Volume II, Page 127, Wake County Registry.

TRACT 2: All or a portion of the property hereinabove described was acquired by Grantors by instrument recorded in Book 18953, Page 592, Wake County Registry. A map showing the above described property is recorded in Book of Maps 2007, Page 1224, Wake County Registry.

TRACT 3: All or a portion of the property hereinabove described was acquired by Grantors by instrument recorded in Book 18943, Page 2656, Wake County Registry. A map showing the above described property is recorded in Book of Maps 1982, Page 473, Wake County Registry.


The above described property does does not include the primary residence of the Grantors.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.


And the Grantors covenants with the Grantee, that Grantors are seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantors will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions hereinafter stated.

Title to the property hereinabove described is subject to the following exceptions: NONE KNOWN.

IN WITNESS WHEREOF, the Grantors has hereunto set his hand and seal, or if corporate, has caused this instrument to be signed in its corporate name by its duly authorized officer(s), the day and year first above written.



Ping Chen



Fanxing Li

STATE OF NORTH CAROLINA
COUNTY OF DURHAM

I, CAREY L. EWING, a Notary Public for DURHAM County, State of NORTH CAROLINA, certify that Ping Chen and Fanxing Li, personally appeared before me this day, acknowledging to me that he/she/they signed the foregoing document: NORTH CAROLINA GENERAL WARRANTY DEED. Witness my hand and official stamp or seal, this the 24th day of January, 2023.

My Commission Expires: 06/13/2027



NOTARY PUBLIC: CAREY L. EWING

Carey L. Ewing
NOTARY PUBLIC
Durham County, N.C.

Exhibit "A"

TRACT 1:

BEGINNING at a new iron pipe located in a gravel private road known as "Universal Road", which iron pipe is located South 85° 36' 09" East 766.15 feet from the intersection of the center lines of Jonesville Road and Universal Road; thence South 4° 41' 55" West 210.02 feet to a new iron pipe; thence South 84° 30' 00" East 175.02 feet to a new iron pipe; then South 35° 51' 39" West 57.95 feet to a new iron pipe; thence 84° 30' 00" East 175.02 feet to a new iron pipe; thence North 84° 30' 00" West 245.02 feet to a new iron pipe; thence South 04° 41' 55" West 175.03 feet to a new iron pipe; thence South 84° 30' 00" East 45.00 feet to a new iron pipe; thence South 04° 41' 55" West 100.01 feet to a new iron pipe; thence South 84° 30' 00" East 200.02 feet to a new iron pipe; thence 04° 41' 55" West 669.02 feet to a new iron pipe; thence South 84° 30' 00" East 200.00 feet to a new iron pipe; thence South 04° 41' 55" West 649.26 feet to an existing iron pipe; thence South 80° 50' 51" West 613.86 feet to an existing iron pipe; thence North 04° 00' 42" East 221.14 feet to a new iron pipe; thence North 84° 47' 09" West 656.86 feet to an existing iron pipe; thence North 85° 13' 27" West 545.51 feet to an existing iron pipe; thence North 85° 27' 18" West 571.35 feet to an existing iron pipe; thence North 16° 54' 52" East 516.50 feet to a new iron pipe; thence South 55° 35' 08" East 257.50 feet to a new iron pipe; then South 63° 35' 08" East 360.30 feet to a new iron pipe; thence North 08° 39' 52" East 604.00 feet to appoint; thence North 51° 35' 08" West 420.00 to a point; thence South 69° 54' 52" West 130.00 feet to a point; thence South 47° 24' 52" West 270.50 feet to a point; thence North 03° 24' 52" East 719.72 to an existing iron bar; thence South 87° 31' 14" East 434.72 to an existing iron pipe; thence North 06° 54' 46" East 238.00 feet to a new iron pipe; thence South 84° 30' 00" East 850.00 feet to a new iron pipe; thence South 02° 30' 00" West 100.00 feet to a new iron pipe; thence South 84° 30' 00" East 150.00 feet to a new iron pipe; thence North 02° 30' 00" East 100.00 feet to a new iron pipe; thence South 84° 30' 00" East 542.15 feet to a new iron pipe, the point and place of beginning, and being that tract of 78.289 acres in size, more or less, as shown on that map entitled "Survey for June M. Privette Heirs", prepared by W. Graham Cawthorne, Jr., R.L.S., and dated April 28, 1993.

In addition, being all of that real property described as Lot 8 according to that map entitled "Plot of farm belonging to June M. and Mary C. Privette", prepared by Pittman Estelle on February 6, 1947, and revised by T.M. Arrington, Jr., R.L.S., on March 18, 1964, and March 26, 1969, a copy of which is recorded in Wake County Book of Maps 1971, Volume II, Page 127.

Parcel ID #: 0057413, 0057429, 0057430, 0057431, 0057435, 0057436, 0057437, 0057438, 0057439, 0057440, 057441, 0057442, 057443, 0057444, 0057445, 0057446, 0057447, 0057448.

TRACT 2:

BEING all of that certain tract of land containing 14.90 acres and being designated as Lot No. 1, according to map recorded in Book of Maps 2007, Page 1224, Wake County Registry.

Parcel ID #: 0345866

TRACT 3:

BEING all of Tract 4, as depicted on a map entitled "Property Surveyed for Leonard Dean Estate", dated February 16, 1982, prepared by Mullen, Williamss, & Pearce, P.A., Registered Land Surveyors, and recorded in Book of Maps 1982, Page 473, Wake County Registry.

Parcel # 0122598

CERTIFICATE OF SUFFICIENCY

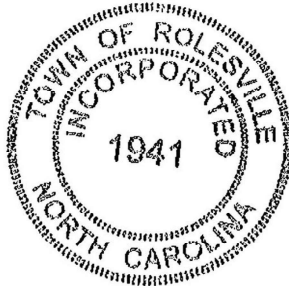
ANX22-05 - Harris Creek Farm

To the Board of Commissioners of the Town of Rolesville, North Carolina:

I, Robin E. Peyton, Town Clerk, do hereby certify that I have investigated the attached petition and hereby make the following findings:

- a. The petition contains an adequate property description of the area(s) proposed for annexation.
- b. The area described in the petition is contiguous to the Town of Rolesville primary corporate limits as required by G.S. 160A-31.
- c. The petition is signed by all owners of real property lying in the area described therein.

In witness whereof, I have hereunto set my hand and affixed the seal of the Town of Rolesville, this 7th day of December, 2022



Robin E. Peyton

Robin E. Peyton
Town Clerk



Memo

To: Mayor and Town Board of Commissioners
From: Meredith Gruber, Planning Director
Date: January 4, 2024
Re: ANX 23-01 – Woodlief Assemblage – Call for Legislative Hearing on February 6, 2024

Summary Information

The Town of Rolesville received a non-contiguous Voluntary Annexation petition for all or portions of six (6) parcels totaling 106.92 acres located along the east side of Rolesville Road south of Fowler Roads, being all or portions of Wake County PIN 1768511519, 1768500618, 1768409261, 1767590716, 1767590335, and 1767580938, into the Town of Rolesville Town Limits. This property assemblage is the same for the Rezoning Map Amendment case REZ-23-02. As provided in G.S. 160A-31, the Town Clerk investigated the petition's sufficiency of meeting G.S. 160A-31 on November 8, 2023.

Recommendation

Staff recommends the Town Board of Commissioners schedule a legislative hearing for Voluntary Annexation Petition ANX 23-01 Woodlief Assemblage on February 6, 2024.

Suggested Motion

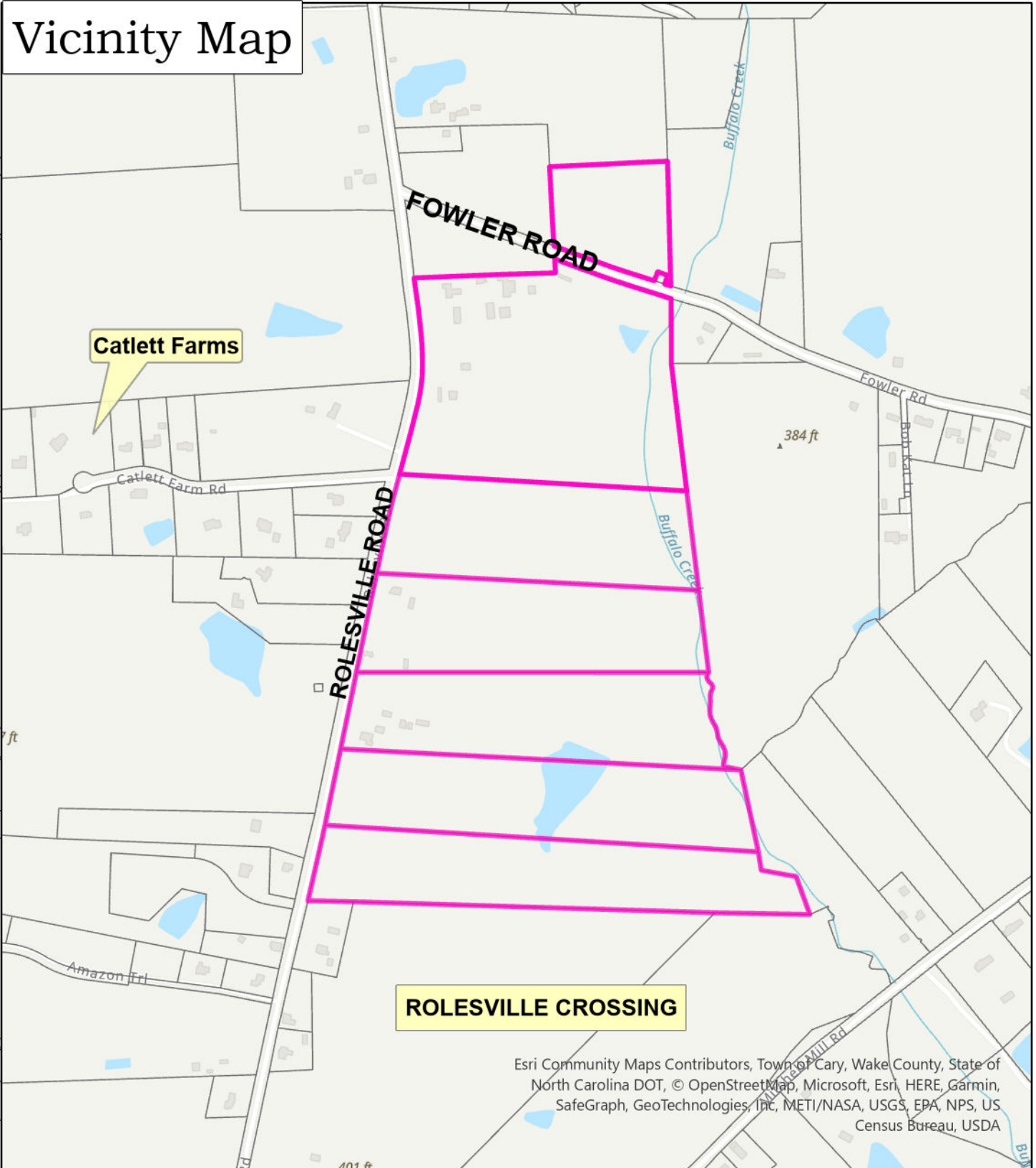
Motion to schedule a legislative hearing on February 6, 2024, for Voluntary Annexation Petition ANX 23-01 received under G.S. 160A-31.

Attachments

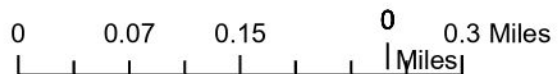
1. Vicinity Map
2. ANX 23-02 Petition for Annexation and Attachments
3. ANX 23-02 Certificate of Sufficiency

Vicinity Map

Path: C:\Users\SRaby\OneDrive - State of North Carolina\GIS\2023 Projects\ANX 23-01 REZ 23-02 Woodlief Assemblage Base Map.aprx Date Saved: 5/31/2023 9:29 AM



Esri Community Maps Contributors, Town of Cary, Wake County, State of North Carolina DOT, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA



TOWN OF ROLESVILLE PETITION FOR ANNEXATION

The items below are required in order to complete your application and shall be submitted when the application is filed.

1. A complete copy of the last deed of record for proof of ownership
2. An annexation boundary plat/map for recordation at the Wake County Register of Deeds Office (mylar plat) prepared by a professional land surveyor showing the boundaries of the area or property for annexation into the Town of Rolesville.
3. A complete copy of the written metes and bounds description based on the annexation boundary plat/map.

SECTION 1 – LOCATION

Is the area contiguous with the existing primary corporate limits? Satellite corporate limits is not primary. Yes or No
Note: If the land is contiguous to any existing corporate limits, the proposed annexation boundary will include all intervening right-of-ways for streets, easements, and other areas as stated in North Carolina General Statute §160-131(1).

SECTION 2 – VESTED RIGHTS

NC General Statutes require petitioners of both contiguous and non-contiguous annexations to file a signed statement declaring whether vested rights have been established in accordance with G.S. 160A-385.1 or 153A-344.1 for properties subject to the petition. Do you declare vested rights for the property subject to this petition? Yes or No

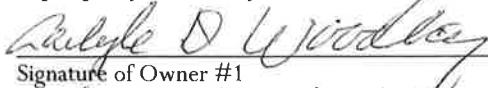
SECTION 3 - PROPERTY DETAILS

PIN Number	Real Estate ID Number	Deed Book Number	Page Number	Acreage To Be Annexed	Wake County Assessed Value
1768511519 (Portion of)	0079481	DB 014286	PG 01880	Area petitioned for annexation: 26.07ac/38.42ac	\$907,125
		DB	PG		\$
		DB	PG		\$

SECTION 4 - SIGNATURES AND VERIFICATION

We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

- **If property owned by INDIVIDUALS** (NOTE: All legal owners must sign including both husband and wife)


Signature of Owner #1

2-28-2025
Date Signed


Signature of Owner #2

2-28-23
Date Signed

- **If property owned by a COMPANY OR CORPORATION** (NOTE: The company or corporation must be legally registered with the State of North Carolina – Office of the Secretary of State)

Name of Corporation

Printed Name of Registered Agent

Signature of Registered Agent

Address, State, Zip of Registered Office:

North Carolina, _____ County

I, _____, a Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instrument. Witness my hand and official seal, this _____ day of _____, 20____.

Notary Seal

Notary Public
My commission expires: _____

Property Owner's Consent & Authorization Form

Property Owner's Consent is required for each Development Application. A completed and signed copy of this form is required to be included with every Application submittal.

For Property with more than one owner, each owner must sign a separate copy of this form.

For Applications with more than one Applicant/representative, enter all names in this form, or submit separate forms.

In the event that the Owner of Property is an organization/entity, proof of signature authority on behalf of the organization/entity (ie Secretary of State business registration) must be attached to this form.

	Authorization by Property Owner(s)	
--	------------------------------------	--

I, Carlyle D Woodlief

(property owner's printed legal name; include signatory name and title if signing for a company)

swear and affirm that I am the owner of property at 1321 Rolesville Road, PIN: 1768511519,

(property address, legal description; provide separate sheet if required)

as shown in the records of Wake County, North Carolina, which is the subject of this Application

(Type and Case # Annexation, Rezoning, Subdivision Master Plan).

I further affirm that I am fully aware of the Town's Application, fee(s), and procedural requirements, and consent to this Application. I authorize the below listed person(s) to submit this Application and serve as representative/point of contact for this Application.

Property Owner's Signature: *Carlyle D Woodlief* Date: 2-28-2023

Applicant/Agent/Contact persons:	
Print:	Signature:
Robert Rudloff, PulteGroup	<i>Robert Rudloff</i>
Brendie Vega, WithersRavenel	<i>Brendie Vega</i>

TOWN OF ROLESVILLE PETITION FOR ANNEXATION

The items below are required in order to complete your application and shall be submitted when the application is filed.

1. A complete copy of the last deed of record for proof of ownership
2. An annexation boundary plat/map for recordation at the Wake County Register of Deeds Office (mylar plat) prepared by a professional land surveyor showing the boundaries of the area or property for annexation into the Town of Rolesville.
3. A complete copy of the written metes and bounds description based on the annexation boundary plat/map.

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Is the area contiguous with the existing primary corporate limits? Satellite corporate limits is not primary. Yes or No
Note: If the land is contiguous to any existing corporate limits, the proposed annexation boundary will include all intervening right-of-ways for streets, easements, and other areas as stated in North Carolina General Statute §160-131(1).

SECTION 2 – VESTED RIGHTS

NC General Statutes require petitioners of both contiguous and non-contiguous annexations to file a signed statement declaring whether vested rights have been established in accordance with G.S. 160A-385.1 or 153A-344.1 for properties subject to the petition. Do you declare vested rights for the property subject to this petition? Yes or No

SECTION 3 - PROPERTY DETAILS

PIN Number	Real Estate ID Number	Deed Book Number	Page Number	Acreage To Be Annexed	Wake County Assessed Value
1767590335 (Portion of)	0404532	DB 14286	PG 1902	Area petitioned for annexation: 18.69 ac/18.71ac	\$361,900
		DB	PG		
		DB	PG		\$

SECTION 4 - SIGNATURES AND VERIFICATION

We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

- If property owned by **INDIVIDUALS** (NOTE: All legal owners must sign including both husband and wife)

Betty Joyce Woodlief
Signature of Owner #1

2-27-2023
Date Signed

Signature of Owner #2

Date Signed

- If property owned by a **COMPANY OR CORPORATION** (NOTE: The company or corporation must be legally registered with the State of North Carolina – Office of the Secretary of State)

Name of Corporation

Printed Name of Registered Agent

Signature of Registered Agent

Address, State, Zip of Registered Office:

North Carolina, _____ County

I, _____, a Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instrument. Witness my hand and official seal, this _____ day of _____, 20____.

Notary Seal

Notary Public

My commission expires: _____

Property Owner's Consent & Authorization Form

Property Owner's Consent is required for each Development Application. A completed and signed copy of this form is required to be included with every Application submittal.

For Property with more than one owner, each owner must sign a separate copy of this form.

For Applications with more than one Applicant/representative, enter all names in this form, or submit separate forms.

In the event that the Owner of Property is an organization/entity, proof of signature authority on behalf of the organization/entity (ie Secretary of State business registration) must be attached to this form.

	Authorization by Property Owner(s)	
--	------------------------------------	--

I, Betty Joyce Woodlief

(property owner's printed legal name; include signatory name and title if signing for a company)

swear and affirm that I am the owner of property at 0 Rolesville Road, PIN: 1767590335,

(property address, legal description; provide separate sheet if required)

as shown in the records of Wake County, North Carolina, which is the subject of this Application

(Type and Case # Annexation, Rezoning, Subdivision Master Plan).

I further affirm that I am fully aware of the Town's Application, fee(s), and procedural requirements, and consent to this Application. I authorize the below listed person(s) to submit this Application and serve as representative/point of contact for this Application.

Property Owner's Signature: Betty Joyce Woodlief Date: 2-28-2023

Applicant/Agent/Contact persons:	
Print:	Signature:
Robert Rudloff, PulteGroup	
Brendie Vega, WithersRavenel	

TOWN OF ROLESVILLE PETITION FOR ANNEXATION

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SECTION 2 - VESTED RIGHTS

NC General Statutes require petitioners of both contiguous and non-contiguous annexations to file a signed statement declaring whether vested rights have been established in accordance with G.S. 160A-385.1 or 153A-344.1 for properties subject to the petition. Do you declare vested rights for the property subject to this petition? Yes or No

SECTION 3 - PROPERTY DETAILS

PIN Number	Real Estate ID Number	Deed Book Number	Page Number	Acreage To Be Annexed	Wake County Assessed Value
1767590716 (Portion of)	0404530	DB 014286	PG 01896	Area petitioned for annexation: 13.85 ac/18.74ac	\$489,459
		DB	PG		
		DB	PG		\$

SECTION 4 - SIGNATURES AND VERIFICATION

We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

- If property owned by **INDIVIDUALS** (NOTE: All legal owners must sign including both husband and wife)

Donnie Lee Woodlief
Signature of Owner #1

Feb 28 23
Date Signed

Patsy E Woodlief
Signature of Owner #2

Feb 28 23
Date Signed

- If property owned by a **COMPANY OR CORPORATION** (NOTE: The company or corporation must be legally registered with the State of North Carolina – Office of the Secretary of State)

Name of Corporation

Printed Name of Registered Agent

Signature of Registered Agent

Address, State, Zip of Registered Office:

North Carolina, _____ County

I, _____, a Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instrument. Witness my hand and official seal, this _____ day of _____, 20____.

Notary Seal

Notary Public
My commission expires: _____

Property Owner's Consent & Authorization Form

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In the event that the Owner of Property is an organization/entity, proof of signature authority on behalf of the organization/entity (ie Secretary of State business registration) must be attached to this form.

	Authorization by Property Owner(s)	
--	------------------------------------	--

I, Donnie L. Woodlief

(property owner's printed legal name; include signatory name and title if signing for a company)



swear and affirm that I am the owner of property at 1501 Rolesville Road, PIN: 1767590716,

(property address, legal description; provide separate sheet if required)

as shown in the records of Wake County, North Carolina, which is the subject of this Application
(Type and Case # Annexation, Rezoning, Subdivision Master Plan).

I further affirm that I am fully aware of the Town's Application, fee(s), and procedural requirements, and consent to this Application. I authorize the below listed person(s) to submit this Application and serve as representative/point of contact for this Application.

Property Owner's Signature: Donnie L. Woodlief Date: Feb 28, 23

Applicant/Agent/Contact persons:	
Print:	Signature:
Robert Rudloff, PulteGroup	
Brendie Vega, WithersRavenel	

TOWN OF ROLESVILLE PETITION FOR ANNEXATION

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SECTION 3 - PROPERTY DETAILS

PIN Number	Real Estate ID Number	Deed Book Number	Page Number	Acreage To Be Annexed	Wake County Assessed Value
1768409261 (Portion of)	0404529	DB 014286	PG 01890	Area petitioned for annexation: 11.96 ac/17.71ac	\$384,801
		DB	PG		
		DB	PG		\$

SECTION 4 - SIGNATURES AND VERIFICATION

We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

- If property owned by **INDIVIDUALS** (NOTE: All legal owners must sign including both husband and wife)

Maile W Stalling
Signature of Owner #1

2-28-2023
Date Signed

Samuel R Stalling
Signature of Owner #2

2-28-2023
Date Signed

- If property owned by a **COMPANY OR CORPORATION** (NOTE: The company or corporation must be legally registered with the State of North Carolina – Office of the Secretary of State)

Name of Corporation

Printed Name of Registered Agent

Signature of Registered Agent

Address, State, Zip of Registered Office:

North Carolina, _____ County

I, _____, a Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instrument. Witness my hand and official seal, this _____ day of _____, 20____.

Notary Seal

Notary Public
My commission expires: _____

Property Owner's Consent & Authorization Form

Property Owner's Consent is required for each Development Application. A completed and signed copy of this form is required to be included with every Application submittal.

For Property with more than one owner, each owner must sign a separate copy of this form.

For Applications with more than one Applicant/representative, enter all names in this form, or submit separate forms.

In the event that the Owner of Property is an organization/entity, proof of signature authority on behalf of the organization/entity (ie Secretary of State business registration) must be attached to this form.

	Authorization by Property Owner(s)	
--	------------------------------------	--

I, Gayle W. Stallings

(property owner's printed legal name; include signatory name and title if signing for a company)

swear and affirm that I am the owner of property at 1421 Rolesville Road, PIN: 1768409261,



(property address, legal description; provide separate sheet if required)

as shown in the records of Wake County, North Carolina, which is the subject of this Application

(Type and Case # Annexation, Rezoning, Subdivision Master Plan).

I further affirm that I am fully aware of the Town's Application, fee(s), and procedural requirements, and consent to this Application. I authorize the below listed person(s) to submit this Application and serve as representative/point of contact for this Application.

Property Owner's Signature: Gayle W. Stallings Date: 2-28-2023

Applicant/Agent/Contact persons:	
Print:	Signature:
Robert Rudloff, PulteGroup	
Brendie Vega, WithersRavenel	

TOWN OF ROLESVILLE PETITION FOR ANNEXATION

The items below are required in order to complete your application and shall be submitted when the application is filed.

1. A complete copy of the last deed of record for proof of ownership
2. An annexation boundary plat/map for recordation at the Wake County Register of Deeds Office (mylar plat) prepared by a professional land surveyor showing the boundaries of the area or property for annexation into the Town of Rolesville.
3. A complete copy of the written metes and bounds description based on the annexation boundary plat/map.

SECTION 1 – LOCATION

Is the area contiguous with the existing primary corporate limits? Satellite corporate limits is not primary. Yes or No

Note: If the land is contiguous to any existing corporate limits, the proposed annexation boundary will include all intervening right-of-ways for streets, easements, and other areas as stated in North Carolina General Statute §160-131(1).

SECTION 2 – VESTED RIGHTS

NC General Statutes require petitioners of both contiguous and non-contiguous annexations to file a signed statement declaring whether vested rights have been established in accordance with G.S. 160A-385.1 or 153A-344.1 for properties subject to the petition. Do you

declare vested rights for the property subject to this petition? Yes or No

SECTION 3 - PROPERTY DETAILS

PIN Number	Real Estate ID Number	Deed Book Number	Page Number	Acreage To Be Annexed	Wake County Assessed Value
1767580938	0404532	DB 18654	PG 863	Area petitioned for annexation: 18.66ac	\$377,740
		DB	PG		
		DB	PG		\$

SECTION 4 - SIGNATURES AND VERIFICATION

We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

• If property owned by **INDIVIDUALS** (NOTE: All legal owners must sign including both husband and wife)

Dwight T. Woodly by Carolyn L. Woodly *2-28-2023*

Signature of Owner #1 Date Signed

Signature of Owner #2 Date Signed

• If property owned by a **COMPANY OR CORPORATION** (NOTE: The company or corporation must be legally registered with the State of North Carolina – Office of the Secretary of State)

Name of Corporation

Printed Name of Registered Agent

Signature of Registered Agent



Property Owner's Consent & Authorization Form

Property Owner's Consent is required for each Development Application. A completed and signed copy of this form is required to be included with every Application submittal.

For Property with more than one owner, each owner must sign a separate copy of this form.

For Applications with more than one Applicant/representative, enter all names in this form, or submit separate forms.

In the event that the Owner of Property is an organization/entity, proof of signature authority on behalf of the organization/entity (ie Secretary of State business registration) must be attached to this form.

	Authorization by Property Owner(s)
--	------------------------------------

I, Dwight T. Woodlief

(property owner's printed legal name; include signatory name and title if signing for a company)

swear and affirm that I am the owner of property at 0 Rolesville Road; PIN: 1767580938,



(property address, legal description; provide separate sheet if required)

as shown in the records of Wake County, North Carolina, which is the subject of this Application

(Type and Case # Annexation, Rezoning, Subdivision Master Plan).

I further affirm that I am fully aware of the Town's Application, fee(s), and procedural requirements, and consent to this Application. I authorize the below listed person(s) to submit this Application and serve as representative/point of contact for this Application.

Property Owner's Signature: Dwight T. Woodlief by Candy S Woodlief Date: 2-28-2023

Applicant/Agent/Contact persons:	
Print:	Signature:
Robert Rudloff, PulteGroup	
Brendie Vega, WithersRavenel	

TOWN OF ROLESVILLE PETITION FOR ANNEXATION

The items below are required in order to complete your application and shall be submitted when the application is filed.

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SECTION 2 - VESTED RIGHTS

NC General Statutes require petitioners of both contiguous and non-contiguous annexations to file a signed statement declaring whether vested rights have been established in accordance with G.S. 160A-385.1 or 153A-344.1 for properties subject to the petition. Do you declare vested rights for the property subject to this petition? Yes or No

SECTION 3 - PROPERTY DETAILS

PIN Number	Real Estate ID Number	Deed Book Number	Page Number	Acreage To Be Annexed	Wake County Assessed Value
1768500618	0404528	DB 014286	PG 01885	17.69ac	\$218,185
		DB	PG		
		DB	PG		\$

SECTION 4 - SIGNATURES AND VERIFICATION

We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

- If property owned by **INDIVIDUALS** (NOTE: All legal owners must sign including both husband and wife)

Allen W. Holding
Signature of Owner #1

2/27/23
Date Signed

Patricia C. White
Signature of Owner #2

2/27-23
Date Signed

- If property owned by a **COMPANY OR CORPORATION** (NOTE: The company or corporation must be legally registered with the State of North Carolina – Office of the Secretary of State)

Name of Corporation

Printed Name of Registered Agent

Signature of Registered Agent

Address, State, Zip of Registered Office:

North Carolina, _____ County

I, _____, a Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instrument. Witness my hand and official seal, this _____ day of _____, 20____.

Notary Seal

Notary Public
My commission expires: _____

Property Owner's Consent & Authorization Form

Property Owner's Consent is required for each Development Application. A completed and signed copy of this form is required to be included with every Application submittal.

For Property with more than one owner, each owner must sign a separate copy of this form.

For Applications with more than one Applicant/representative, enter all names in this form, or submit separate forms.

In the event that the Owner of Property is an organization/entity, proof of signature authority on behalf of the organization/entity (ie Secretary of State business registration) must be attached to this form.

	Authorization by Property Owner(s)	
--	------------------------------------	--

I, Ellen W. Holding, Billy C. Woodlief

(property owner's printed legal name; include signatory name and title if signing for a company)



swear and affirm that I am the owner of property at 0 Rolesville Road, PIN: 1768500618,

(property address, legal description; provide separate sheet if required)

as shown in the records of Wake County, North Carolina, which is the subject of this Application
(Type and Case # Annexation, Rezoning, Subdivision Master Plan).

I further affirm that I am fully aware of the Town's Application, fee(s), and procedural requirements, and consent to this Application. I authorize the below listed person(s) to submit this Application and serve as representative/point of contact for this Application.

Property Owner's Signature: Ellen W. Holding Billy C. Woodlief Date: 2/28/23

Applicant/Agent/Contact persons:	
Print:	Signature:
Robert Rudloff, PulteGroup	
Brendie Vega, WithersRavenel	

MSS LAND CONSULTANTS, PC
6118 SAINT GILES STREET, SUITE E
RALEIGH, NC 27612

ANNEXATION OF LANDS OF:
CARLYLE D. WOODLIEF AND ALMA D. WOODLIEF
BILLY CRAIG WOODLIEF AND ELLEN WOODLIEF HOLDING
JANICE GAYLE W. STALLINGS AND HARRELL STALLINGS
DONNIE L. WOODLIEF AND PATSY WOODLIEF
BETTY JOYCE WOODLIEF
DWIGHT THOMAS WOODLIEF

SURVEY DESCRIPTION:

Reference: Survey map titled "SATELLITE ANNEXATION MAP FOR THE TOWN OF ROLESVILLE: ROLESVILLE ASSEMBLAGE" by MSS Land Consultants, PC, dated June 12, 2023.

All that tract, piece or parcel of land lying and being situated in the Township of Wake Forest, County of Wake, State of North Carolina, and being more particularly bounded and described as follows:

BEGINNING at an existing nail in stone marking a northwestern corner of lands of, now or formerly, Barbara Ann Jones Richards (Deed Book 1730, page 526; Deed Book 799, page 368), and a southwestern corner of lands of, now or formerly, Larry Wayne Alford, Sr., and wife, Betty Dean Alford (Deed Book 7081, page 72; Book of Maps 1985, page 2003); said point also being the POINT OF BEGINNING, having an NC State Plane Coordinate (NAD83(2011)) of North 781,528.76' East 2,165,673.14'; thence, from said POINT OF BEGINNING, along western lines of said lands of Richards, the following four courses: 1) S 06° 53' 59" E 641.79' to a point marked by an existing iron pipe; 2) S 06° 53' 59" E 498.80' to a point marked by an existing iron pipe; 3) S 06° 53' 59" E 413.48' to a point; 4) S 06° 53' 59" E 73.05' to a point in the center of Buffalo Creek; thence, along the center of Buffalo Creek, the following six courses: 1) S 18° 52' 37" W 56.68' to a point; 2) S 38° 15' 12" E 25.09' to a point; 3) S 05° 12' 56" E 54.55' to a point; 4) S 21° 01' 52" E 80.42' to a point; 5) S 27° 30' 18" E 207.75' to a point; 6) S 03° 37' 01" W 26.19' to a point;

said point being a northwestern corner of lands of, now or formerly, Norma Aguilar (Deed Book 12647, page 1286); thence, continuing along the center of Buffalo Creek, the following 11 courses: 1) S 03° 37' 01" W 70.81' to a point; 2) S 13° 29' 28" E 153.88' to a point; 3) S 07° 17' 46" E 89.26' to a point; 4) S 19° 33' 48" E 105.15' to a point; 5) S 19° 33' 48" E 54.16' to a point; 6) N 87° 33' 10" E 75.19' to a point; 7) S 80° 55' 53" E 92.15' to a point; 8) S 32° 50' 43" E 45.25' to a point; 9) S 00° 05' 28" E 124.26' to a point; 10) S 28° 43' 30" E 78.63' to a point; 11) S 68° 30' 30" E 50.46' to a point marked by an existing iron pipe; said point being a southwestern corner of said lands of Aguilar; said point also being a northeastern corner of lands of, now or formerly, HC Rolesville Investments, LLC (Deed Book 18857, page 2126; Book of Maps 1998, page 1776); thence, along said lands of HC Rolesville Investments, the following two courses: 1) N 88° 56' 43" W 474.91' to a point marked by an existing iron pipe; 2) N 88° 20' 38" W 1,796.39' to a point marked by an existing iron pipe; said point being a northeastern corner of lands of, now or formerly, Charles T. Clark, and wife, Patricia H. Clark (Deed Book 4572, page 246; Book of Maps 1985, page 765); thence, along said lands of Clark, the following two courses: 1) N 88° 52' 07" W 224.55' to a point marked by an existing iron pipe; 2) N 88° 52' 07" W 10.87' to a point on the eastern right-of-way margin of Rolesville Road; thence, through the right-of-way of Rolesville Road, N 88° 52' 07" W 30.66' to a point on the centerline of Rolesville Road; thence, along the centerline of Rolesville Road, the following five courses: 1) N 13° 00' 14" E 231.13' to a point; 2) N 12° 19' 14" E 147.64' to a point; 3) N 11° 36' 25" E 9.40' to a point; 4) N 11° 36' 25" E 388.42' to a point; 5) N 11° 36' 25" E 24.60' to a point; thence, through lands of Betty Joyce Woodlief (Deed Book 14286, page 1902), lands of Donnie L. Woodlief and Patsy Woodlief (Deed Book 14286, page 1896), and lands of Janice Gayle W. Stallings and Harrell Stallings (Deed Book 14286, page 1890), the following four courses: 1) S 78° 23' 35" E 256.99' to a point; 2) N 69° 53' 25" E 371.57' to a point; 3) N 11° 41' 17" E 666.87' to a point; 4) N 78° 11' 05" W 574.02' to a point on the centerline of Rolesville Road; thence, along the centerline of Rolesville Road, the following eight courses: 1) N 11° 36' 25" E 4.60' to a point; 2) N 11° 51' 14" E 172.96' to a point; 3) through the arc of a curve to the right, having a radius of 6,709.90', an arc length of 181.94', and a chord course of N 12° 30' 01" E 181.94' to a point; 4) N 14° 43' 08" E 152.36' to a point; 5) N 14° 43' 08" E 322.02' to a point; 6) through the arc of a curve to the left, having a radius of 1,352.59', an arc length of 134.29', and a chord course of N 11° 24' 08" E 134.23'

to a point; 7) through the arc of a curve to the left, having a radius of 928.28', an arc length of 188.93', and a chord course of N 01° 35' 22" E 188.60' to a point; 8) through the arc of a curve to the left, having a radius of 3,423.77', an arc length of 26.29', and a chord course of N 04° 27' 40" W 26.29' to a point; thence, through lands of Carlyle D. Woodlief and Alma D. Woodlief (Deed Book 14286, page 1880; Deed Book 1347, page 52), the following three courses: 1) N 89° 22' 31" E 210.00' to a point; 2) N 72° 34' 34" E 623.13' to a point; 3) N 09° 01' 09" E 181.91' to a point on the southern right-of-way margin of Fowler Road (SR 2308) (an existing 60' public right-of-way); thence, along the southern right-of-way margin of Fowler Road, the following four courses: 1) S 69° 53' 15" E 102.86' to a point; 2) S 71° 01' 28" E 153.25' to a point; 3) through the arc of a curve to the left, having a radius 1,298.50' of, an arc length of 50.77', and a chord course of S 72° 08' 41" E 50.76' to a point; 4) S 73° 15' 53" E 149.14' to a point; thence, along said lands of Alford, S 01° 36' 33" E 331.36' to the point of beginning; containing 4,657,635 square feet, or 106.92 acres of land, more or less.

MSS LAND CONSULTANTS, PC
6118 SAINT GILES STREET, SUITE E
RALEIGH, NC 27612

ANNEXATION OF LANDS OF:
CARLYLE D. WOODLIEF AND ALMA D. WOODLIEF
BILLY CRAIG WOODLIEF AND ELLEN WOODLIEF HOLDING
JANICE GAYLE W. STALLINGS AND HARRELL STALLINGS
DONNIE L. WOODLIEF AND PATSY WOODLIEF
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Excise Tax \$ 0.00

NORTH CAROLINA QUITCLAIM DEED

Parcel Identifier No.: PIN 1767580938, PIN 1768712103 P/O, PIN 1768702815, PIN 1768619139

Prepared by: Nicholas A. Fernz, Jordan Price Wall Gray Jones & Carlton, PLLC (without benefit of title examination)

Return to: Terry J. Carlton, Jordan Price Wall Gray Jones & Carlton, PLLC, PO Box 10669, Raleigh, NC 27605

Brief description for the Index **Four Tracts - Wake County**

THIS DEED made this 19th day of August, 2021, by and between

GRANTOR	GRANTEE
Carolyn S. Woodlief, married 6608 Fowler Road Zebulon, NC 27597-8302	Dwight Thomas Woodlief 6608 Fowler Road Zebulon, NC 27597-8302

That said Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) to her in hand paid, the receipt of which is hereby acknowledged, has remised and released and by these presents does remise, release, convey, and forever quitclaim unto the Grantee, his heirs and/or successors and assigns, all right, title, claim and interest of the Grantor in and to all those certain lots or parcels of land lying and being in **Wake** County, North Carolina and more particularly described as follows:

See attached **Exhibit A**.

Grantor herein conveys all her right, interest, and title unto Grantee to vest title solely in Grantee pursuant to N.C.G.S. § 39-13.3(a).

TO HAVE AND TO HOLD the aforesaid parcel of land and all privileges thereunto belonging to him, the Grantee, his heirs and/or successors and assigns, free and discharged from all right, title, claim or interest of the Grantor or anyone claiming by, through or under her.

Submitted electronically by "Jordan Price Wall Gray Jones & Carlton"
in compliance with North Carolina statutes governing recordable documents
and the terms of the submitter agreement with the Wake County Register of Deeds.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

IN WITNESS WHEREOF, the Grantor has hereunto set her hand and seal.

Carolyn S. Woodlief (SEAL)
Carolyn S. Woodlief

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Jill A. Kilby, the undersigned, a Notary Public for Wake County, North Carolina, certify that **Carolyn S. Woodlief** personally appeared before me this day and acknowledged the due execution of the foregoing document.

Witness my hand and official seal, this 19th day of August, 2021.

Jill A. Kilby
Jill A. Kilby, Notary Public
My commission expires: 2/23/2022

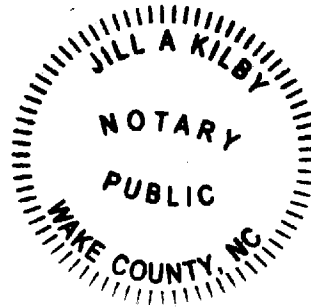


Exhibit A**PARCEL ONE:**

Township of Wake Forest, County of Wake

Being all of Lot 6 containing 18.757 acres as shown on a plat entitled "Survey for Beulah H. Woodlief Heirs" prepared by Cawthorne, Moss & Panciera, P.C. Professional Land Surveyors, dated December 15, 2010 and recorded in Book of Maps 2011, Page 84, Wake County Registry. Beulah H. Woodlief died testate on September 3, 2010. See Wake County Estate File 10-E-2691.

The above-described property was acquired by Grantor by instrument recorded at Book 14286, Page 1907 of the Wake County Registry.

PARCEL TWO:

Township of Little River, County of Wake

BEGINNING at an iron stake in the Southern right of way line of S. R. #2308 at the Northeast corner of the lands of Cassie Scarboro according to a Map hereinafter mentioned; runs thence along the Southern right of way line of S. R. #2308 South 75 degrees 00 minutes East 111.00 feet to an iron stake in the West line of the Tyrell lands; runs thence along the West line of the Tyrell lands South 19 degrees 50 minutes West 130.45 feet to an iron stake in the North line of the Scarboro lands; runs thence along the North line of the Scarboro lands North 75 degrees 00 minutes West 100.05 feet to an iron stake at the Southeast corner of the lands of Cassie Scarboro; runs thence along the East line of the Scarboro lands North 15 degrees 00 minutes East 130.00 feet to an iron stake in the Southern right of way line of S. R. #2308, the point and place of Beginning, and containing 0.32 Acres according to a Map of the property of Dwight and Carolyn Woodlief, made by John W. Collier, Registered Land Surveyor, and dated November, 1970.

The above-described property was acquired by Grantor by instrument recorded at Book 2013, Page 192 of the Wake County Registry.

PARCEL THREE:

Township of Little River, County of Wake

Being a 10.55-acre tract of land on the southern side of SR 2308 as shown by survey and map of Jessee J. Parrish, R.L.S., dated 12-5-73, and entitled "Property of Lillie B. Scarboro, Little River Township, Wake County, North Carolina," said map being recorded in Book of Maps 1973, Volume 4, Page 492, Wake County Registry.

The above-described property was acquired by Grantor by instrument recorded at Book 2225, Page 74 of the Wake County Registry.

PARCEL FOUR:

City of Zebulon, Township of Wake Forest, County of Wake

BEING all of Lot 1 as shown on plat entitled "Recombination for: Dwight T. Woodlief and Carolyn S. Woodlief" and recorded in Book of Maps 2005, Page 1250, Wake County Registry.

Note: The reference on said plat to the "former line" is incorrect in that that line is based on the plat recorded in Book of Maps 2005, Page 1040, which was recorded in error.

The above-described property was acquired by Grantor by instrument recorded at Book 11858, Page 1153 of the Wake County Registry.

WAKE COUNTY, NC 317
LAURA M RIDDICK
REGISTER OF DEEDS
PRESENTED & RECORDED ON
03/02/2011 AT 14:36:15

BOOK:014286 PAGE:01902 - 01906

RETURN TO: Kathryn S. Drake, Attorney at Law, PA
12324 Hampton Way Drive, Suite 101, Wake Forest, NC 27587

PREPARED BY: Kathryn S. Drake, Attorney at Law, PA
Without title insurance or tax advice

BRIEF DESCRIPTION: Lot 5, Beulah H. Woodlief Heir Property

TAX IDENTIFICATION: OUT OF 0079470 REVENUE STAMPS: \$ 0

N/A If initialed, the property includes the primary residence of at least one of the Grantors, otherwise, note as N/A. (per NC GS § 105-317.2)

NORTH CAROLINA GENERAL WARRANTY DEED

This deed made this 28TH day of February, 2011, by and between:

GRANTOR: Carlyle D. Woodlief and wife
Alma D. Woodlief
Billy Craig Woodlief, unmarried
Ellen W. Holding and husband
Herbert Holding
Janice Gayle W. Stallings, and husband
Harrell Stallings
Donnie L. Woodlief and wife
Patsy Woodlief
Dwight Thomas Woodlief and wife
Carolyn Woodlief

c/o Donnie L. Woodlief
6609 Fowler Road
Zebulon, NC 27597

GRANTEE: Betty Joyce Woodlief, unmarried
1501 Rolesville Road
Wake Forest, NC 27587

Grantor, for valuable consideration paid by Grantee, receipt of which is hereby acknowledged, does grant, convey and transfer unto Grantee in fee simple the property described as follows:

TOWNSHIP OF WAKE FOREST COUNTY OF WAKE

Being all of Lot 5 containing 18.757 acres as shown on a plat entitled " Survey for Beulah H. Woodlief Heirs" prepared by Cawthorne, Moss & Panciera, P.C. Professional Land Surveyors, dated December 15, 2010 and recorded in Book of Maps 2011, Page 84, Wake County Registry. Beulah H. Woodlief died testate on September 3, 2010. See Wake County Estate File 10-E-2691.


TO HAVE AND TO HOLD the above described property and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

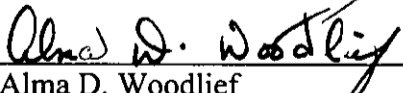
Grantor covenants with Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances and that Grantor will warrant and defend the title to the property against the lawful claims of all others except for the exceptions set out below.


Title to the property described herein is subject to the following exceptions:

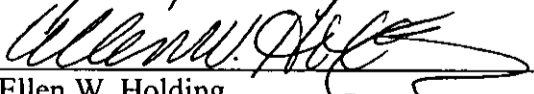
- 1. Easements, conditions and restrictions of record.

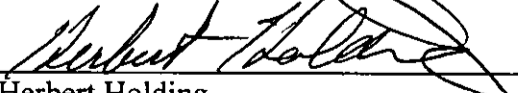
IN WITNESS WHEREOF, Grantor has set his hand and seal or if corporate, has caused this instrument to be signed in its corporate name by a duly authorized officer.

 (SEAL)
 Carlyle D. Woodlief

 (SEAL)
 Alma D. Woodlief

 (SEAL)
 Billy Craig Woodlief, unmarried

 (SEAL)
 Ellen W. Holding

 (SEAL)
 Herbert Holding

Janice Gayle W. Stallings (SEAL)
 Janice Gayle W. Stallings

Harrell Stallings (SEAL)
 Harrell Stallings

Donnie L. Woodlief (SEAL)
 Donnie L. Woodlief

Patsy Woodlief (SEAL)
 Patsy Woodlief

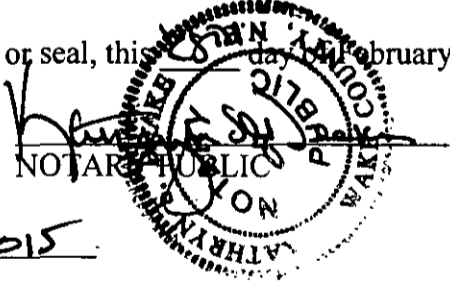
Dwight Thomas Woodlief (SEAL)
 Dwight Thomas Woodlief

Carolyn Woodlief (SEAL)
 Carolyn Woodlief

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Dean a Notary Public of the County and State aforesaid, certify that Carlyle D. Woodlief and Alma D. Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.

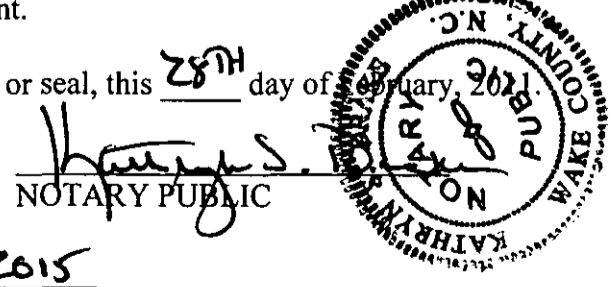


My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Dean a Notary Public of the County and State aforesaid, certify that Billy Craig Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.



My Commission Expires: 8/3/2015

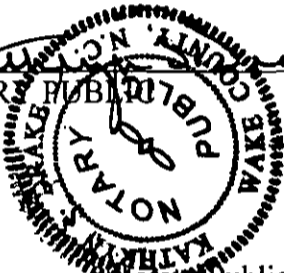
STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Decker a Notary Public of the County and State
aforesaid, certify that Ellen W. Holding and Herbert Holding personally appeared before me this
day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 27th day of February, 2011.

Kathryn S. Decker
NOTARY PUBLIC

My Commission Expires: 8/31/2015



STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Decker a Notary Public of the County and State
aforesaid, certify that Janice Gayle W. Stallings and Harrell Stallings personally appeared before
me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.

Kathryn S. Decker
NOTARY PUBLIC

My Commission Expires: 8/31/2015



STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Decker a Notary Public of the County and State
aforesaid, certify that Donnie L. Woodlief and Patsy Woodlief personally appeared before me
this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 25th day of February, 2011.

Kathryn S. Decker
NOTARY PUBLIC

My Commission Expires: 8/31/2015



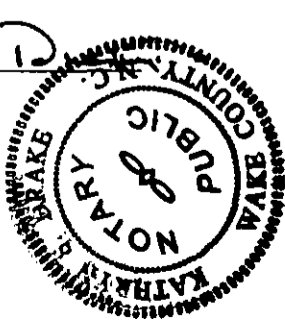
STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Decker a Notary Public of the County and State
aforesaid, certify that Dwight Thomas Woodlief and Carolyn Woodlief personally appeared
before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.

Kathryn S. Decker
NOTARY PUBLIC

My Commission Expires: 8/31/2015





BOOK:014286 PAGE:01902 - 01906

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**Wake County Register of Deeds
Laura M. Riddick
Register of Deeds**

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WAKE COUNTY, NC 316
LAURA M RIDDICK
REGISTER OF DEEDS
PRESENTED & RECORDED ON
03/02/2011 AT 14:36:15

BOOK:014286 PAGE:01896 - 01901

RETURN TO: Kathryn S. Drake, Attorney at Law, PA
12324 Hampton Way Drive, Suite 101, Wake Forest, NC 27587

PREPARED BY: Kathryn S. Drake, Attorney at Law, PA
Without title insurance or tax advice

BRIEF DESCRIPTION: Lot 4, Beulah H. Woodlief Heir Property

TAX IDENTIFICATION: OUT OF 0079470 REVENUE STAMPS: \$ 0

N/A If initialed, the property includes the primary residence of at least one of the Grantors, otherwise, note as N/A. (per NC GS § 105-317.2)

NORTH CAROLINA GENERAL WARRANTY DEED

This deed made this 28th day of February, 2011, by and between:

GRANTOR: Carlyle D. Woodlief and wife
Alma D. Woodlief
Billy Craig Woodlief, unmarried
Ellen W. Holding and husband
Herbert Holding
Janice Gayle W. Stallings, and husband
Harrell Stallings
Betty Joyce Woodlief, unmarried
Dwight Thomas Woodlief and wife
Carolyn Woodlief

c/o Donnie L. Woodlief
6609 Fowler Road
Zebulon, NC 27597

GRANTEE: Donnie L. Woodlief and wife
Patsy Woodlief
6609 Fowler Road
Zebulon, NC 27597

Grantor, for valuable consideration paid by Grantee, receipt of which is hereby acknowledged, does grant, convey and transfer unto Grantee in fee simple the property described as follows:

TOWNSHIP OF WAKE FOREST COUNTY OF WAKE

Being all of Lot 4 containing 18.757 acres as shown on a plat entitled " Survey for Beulah H. Woodlief Heirs" prepared by Cawthorne, Moss & Panciera, P.C. Professional Land Surveyors, dated December 15, 2010 and recorded in Book of Maps 2011, Page 84, Wake County Registry. Beulah H. Woodlief died testate on September 3, 2010. See Wake County Estate File 10-E-2691.

TO HAVE AND TO HOLD the above described property and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

Grantor covenants with Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances and that Grantor will warrant and defend the title to the property against the lawful claims of all others except for the exceptions set out below.

Title to the property described herein is subject to the following exceptions:

- 1. Easements, conditions and restrictions of record.

IN WITNESS WHEREOF, Grantor has set his hand and seal or if corporate, has caused this instrument to be signed in its corporate name by a duly authorized officer.

Carlyle D. Woodlief (SEAL)
Carlyle D. Woodlief
Alma D. Woodlief (SEAL)
Alma D. Woodlief
Billy Craig Woodlief (SEAL)
Billy Craig Woodlief, unmarried
Ellen W. Holding (SEAL)
Ellen W. Holding
Herbert Holding (SEAL)
Herbert Holding

Janice Gayle W. Stallings (SEAL)
 Janice Gayle W. Stallings

Harrell Stallings (SEAL)
 Harrell Stallings

Betty Joyce Woodlief (SEAL)
 Betty Joyce Woodlief, unmarried

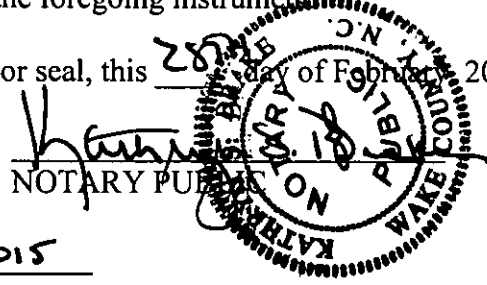
Dwight Thomas Woodlief (SEAL)
 Dwight Thomas Woodlief

Carolyn Woodlief (SEAL)
 Carolyn Woodlief

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Dean a Notary Public of the County and State aforesaid, certify that Carlyle D. Woodlief and Alma D. Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28TH day of February, 2011.

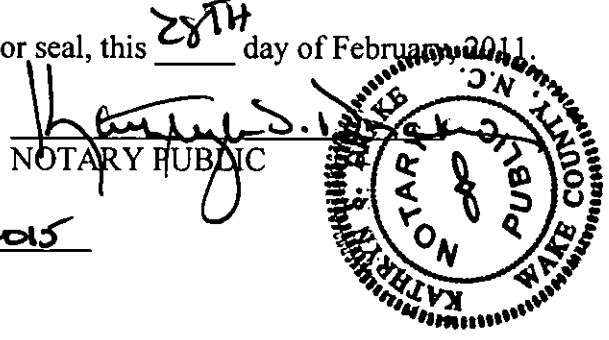


My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Dean a Notary Public of the County and State aforesaid, certify that Billy Craig Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28TH day of February, 2011.

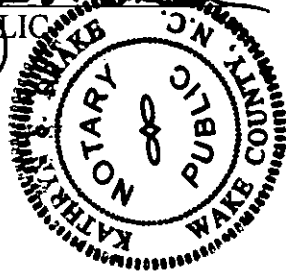


My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Katherine S. Decker a Notary Public of the County and State aforesaid, certify that Ellen W. Holding and Herbert Holding personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28TH day of February, 2011.

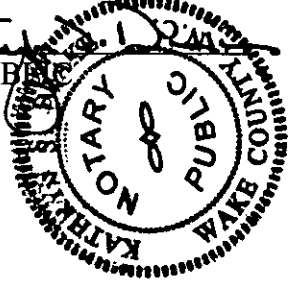
Katherine S. Decker
NOTARY PUBLIC


My Commission Expires: 8/31/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Katherine S. Decker a Notary Public of the County and State aforesaid, certify that Janice Gayle W. Stallings and Harrell Stallings personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28TH day of February, 2011.

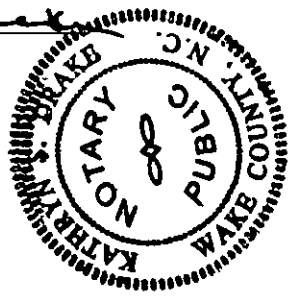
Katherine S. Decker
NOTARY PUBLIC


My Commission Expires: 8/31/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Katherine S. Decker a Notary Public of the County and State aforesaid, certify that Betty Joyce Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28TH day of February, 2011.

Katherine S. Decker
NOTARY PUBLIC


My Commission Expires: 8/31/2015

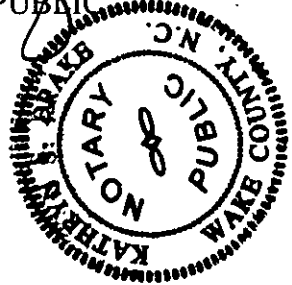
STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Katherine S. Deane a Notary Public of the County and State aforesaid,
certify that Dwight Thomas Woodlief and Carolyn Woodlief personally appeared before me this
day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28TH day of February, 2011.

Katherine S. Deane
NOTARY PUBLIC

My Commission Expires: 8/3/2015





BOOK:014286 PAGE:01896 - 01901

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**Wake County Register of Deeds
Laura M. Riddick
Register of Deeds**

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_____ # of Pages
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WAKE COUNTY, NC 315
LAURA M RIDDICK
REGISTER OF DEEDS
PRESENTED & RECORDED ON
03/02/2011 AT 14:36:15

BOOK:014286 PAGE:01890 - 01895

RETURN TO: Kathryn S. Drake, Attorney at Law, PA
12324 Hampton Way Drive, Suite 101, Wake Forest, NC 27587

PREPARED BY: Kathryn S. Drake, Attorney at Law, PA
Without title insurance or tax advice

BRIEF DESCRIPTION: Lot 3, Beulah H. Woodlief Heir Property

TAX IDENTIFICATION: OUT OF 0079470 REVENUE STAMPS: \$ 0

N/A If initialed, the property includes the primary residence of at least one of the
Grantors, otherwise, note as N/A. (per NC GS § 105-317.2)

NORTH CAROLINA GENERAL WARRANTY DEED

This deed made this 28th day of February, 2011, by and between:

GRANTOR: Carlyle D. Woodlief and wife
Alma D. Woodlief
Billy Craig Woodlief, unmarried
Ellen W. Holding and husband
Herbert Holding
Donnie L. Woodlief and wife
Patsy Woodlief
Betty Joyce Woodlief, unmarried
Dwight Thomas Woodlief and wife
Carolyn Woodlief

c/o Donnie L. Woodlief
6609 Fowler Road
Zebulon, NC 27597

GRANTEE: Janice Gayle W. Stallings, and husband
Harrell Stallings
1512 Rolesville Road
Wake Forest, NC 27587

Grantor, for valuable consideration paid by Grantee, receipt of which is hereby acknowledged, does grant, convey and transfer unto Grantee in fee simple the property described as follows:

TOWNSHIP OF WAKE FOREST COUNTY OF WAKE

Being all of Lot 3 containing 17.700 acres as shown on a plat entitled " Survey for Beulah H. Woodlief Heirs" prepared by Cawthorne, Moss & Panciera, P.C. Professional Land Surveyors, dated December 15, 2010 and recorded in Book of Maps 2011, Page 84, Wake County Registry. Beulah H. Woodlief died testate on September 3, 2010. See Wake County Estate File 10-E-2691.

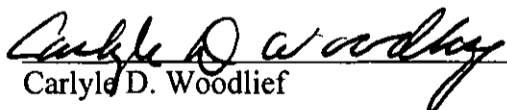
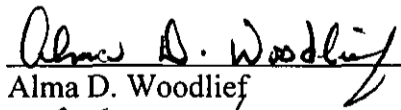
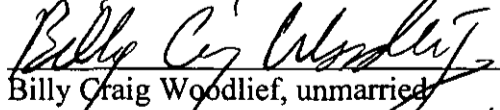
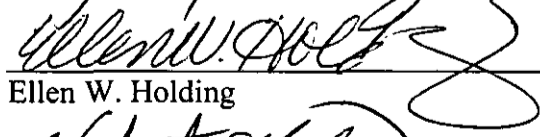

TO HAVE AND TO HOLD the above described property and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

Grantor covenants with Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances and that Grantor will warrant and defend the title to the property against the lawful claims of all others except for the exceptions set out below.

Title to the property described herein is subject to the following exceptions:

- 1. Easements, conditions and restrictions of record.

IN WITNESS WHEREOF, Grantor has set his hand and seal or if corporate, has caused this instrument to be signed in its corporate name by a duly authorized officer.

 (SEAL)
Carlyle D. Woodlief
 (SEAL)
Alma D. Woodlief
 (SEAL)
Billy Craig Woodlief, unmarried
 (SEAL)
Ellen W. Holding
 (SEAL)
Herbert Holding

Donnie L. Woodlief (SEAL)
 Donnie L. Woodlief

Patsy Woodlief (SEAL)
 Patsy Woodlief

Betty Joyce Woodlief (SEAL)
 Betty Joyce Woodlief, unmarried


Dwight Thomas Woodlief (SEAL)
 Dwight Thomas Woodlief

Carolyn Woodlief (SEAL)
 Carolyn Woodlief

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, *Kathryn S. Drake* a Notary Public of the County and State aforesaid, certify that Carlyle D. Woodlief and Alma D. Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 13 day of February, 2011.


Kathryn S. Drake
 NOTARY PUBLIC


My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, *Kathryn S. Drake* a Notary Public of the County and State aforesaid, certify that Billy Craig Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.

Kathryn S. Drake
 NOTARY PUBLIC


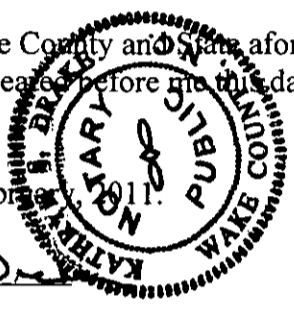
My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Drake a Notary Public of the County and State aforesaid, certify that Ellen W. Holding and Herbert Holding personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.

Kathryn S. Drake
NOTARY PUBLIC



My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Drake a Notary Public of the County and State aforesaid, certify that Donnie L. Woodlief and Patsy Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.

Kathryn S. Drake
NOTARY PUBLIC



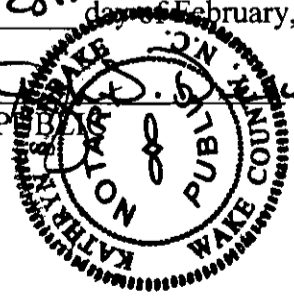
My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Drake a Notary Public of the County and State aforesaid, certify that Betty Joyce Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.

Kathryn S. Drake
NOTARY PUBLIC



My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

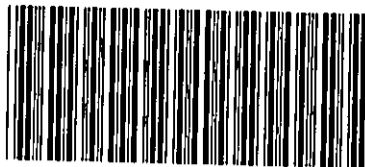
I, Kathryn S. Decker a Notary Public of the County and State aforesaid,
certify that Dwight Thomas Woodlief and Carolyn Woodlief personally appeared before me this
day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.

Kathryn S. Decker
NOTARY PUBLIC

My Commission Expires: 8/21/2011





BOOK:014286 PAGE:01890 - 01895

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**Wake County Register of Deeds
Laura M. Riddick
Register of Deeds**

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6 JP

BK014286PG01885

WAKE COUNTY, NC 314
LAURA M RIDDICK
REGISTER OF DEEDS
PRESENTED & RECORDED ON
03/02/2011 AT 14:36:15

BOOK:014286 PAGE:01885 - 01889

RETURN TO: Kathryn S. Drake, Attorney at Law, PA
12324 Hampton Way Drive, Suite 101, Wake Forest, NC 27587

PREPARED BY: Kathryn S. Drake, Attorney at Law, PA
Without title insurance or tax advice

BRIEF DESCRIPTION: Lot 2, Beulah H. Woodlief Heir Property

TAX IDENTIFICATION: OUT OF 0079470 REVENUE STAMPS: \$ 0

N/A If initialed, the property includes the primary residence of at least one of the Grantors, otherwise, note as N/A. (per NC GS § 105-317.2)

NORTH CAROLINA GENERAL WARRANTY DEED

This deed made this 28th day of February, 2011, by and between:

GRANTOR: Carlyle D. Woodlief and wife
Alma D. Woodlief
Ellen W. Holding and husband
Herbert Holding
Janice Gayle W. Stallings, and husband
Harrell Stallings
Donnie L. Woodlief and wife
Patsy Woodlief
Betty Joyce Woodlief, unmarried
Dwight Thomas Woodlief and wife
Carolyn Woodlief

c/o Donnie L. Woodlief
6609 Fowler Road
Zebulon, NC 27597

GRANTEE: Billy Craig Woodlief, unmarried
Ellen Woodlief Holding
As tenants in common
1501 Old Milburnie Road
Wendell, NC 27591

Grantor, for valuable consideration paid by Grantee, receipt of which is hereby acknowledged, does grant, convey and transfer unto Grantee in fee simple the property described as follows:

TOWNSHIP OF WAKE FOREST

COUNTY OF WAKE

Being all of Lot 2 containing 17.700 acres as shown on a plat entitled " Survey for Beulah H. Woodlief Heirs" prepared by Cawthorne, Moss & Panciera, P.C. Professional Land Surveyors, dated December 15, 2010 and recorded in Book of Maps 2011, Page 84, Wake County Registry. Beulah H. Woodlief died testate on September 3, 2010. See Wake County Estate File 10-E-2691.

TO HAVE AND TO HOLD the above described property and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

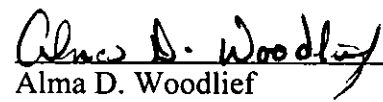
Grantor covenants with Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances and that Grantor will warrant and defend the title to the property against the lawful claims of all others except for the exceptions set out below.

Title to the property described herein is subject to the following exceptions:

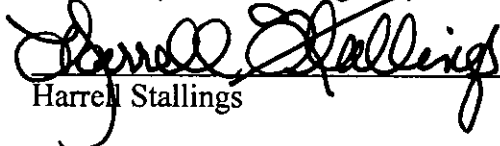
- 1. Easements, conditions and restrictions of record.

IN WITNESS WHEREOF, Grantor has set his hand and seal or if corporate, has caused this instrument to be signed in its corporate name by a duly authorized officer.

 (SEAL)
Carlyle D. Woodlief

 (SEAL)
Alma D. Woodlief

 (SEAL)
Janice Gayle W. Stallings

 (SEAL)
Harrell Stallings

Donnie L. Woodlief (SEAL)
Donnie L. Woodlief

Patsy Woodlief (SEAL)
Patsy Woodlief

Betty Joyce Woodlief (SEAL)
Betty Joyce Woodlief, unmarried

Dwight Thomas Woodlief (SEAL)
Dwight Thomas Woodlief

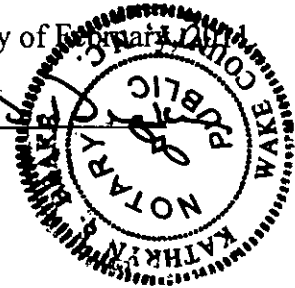
Carolyn Woodlief (SEAL)
Carolyn Woodlief

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Deane a Notary Public of the County and State
aforesaid, certify that Carlyle D. Woodlief and Alma D. Woodlief personally appeared
before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.

Kathryn S. Deane
NOTARY PUBLIC



My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Deane a Notary Public of the County and State
aforesaid, certify that Janice Gayle W. Stallings and Harrell Stallings personally appeared
before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.

Kathryn S. Deane
NOTARY PUBLIC



My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Dean a Notary Public of the County and State aforesaid, certify that Donnie L. Woodlief and Patsy Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February,

Kathryn S. Dean
NOTARY PUBLIC



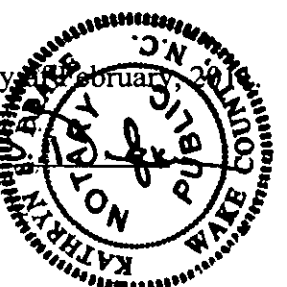
My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Kathryn S. Dean a Notary Public of the County and State aforesaid, certify that Betty Joyce Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February,

Kathryn S. Dean
NOTARY PUBLIC



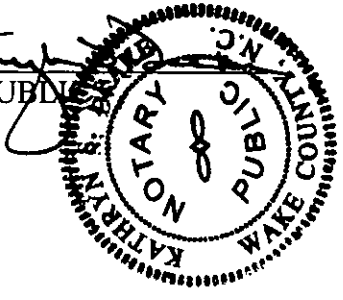
My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

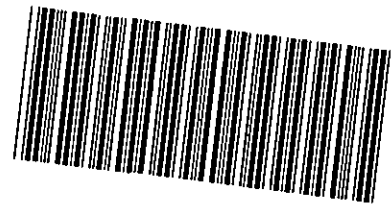
I, Kathryn S. Dean a Notary Public of the County and State aforesaid, certify that Dwight Thomas Woodlief and Carolyn Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.

Kathryn S. Dean
NOTARY PUBLIC



My Commission Expires: 8/3/2015



BOOK:014286 PAGE:01885 - 01889

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Please retain with original document and submit for rerecording.**



**Wake County Register of Deeds
Laura M. Riddick
Register of Deeds**

This Customer Group
_____ # of Time Stamps Needed

This Document
_____ New Time Stamp
_____ # of Pages
_____ JP
22.004-1/20/06

WAKE COUNTY, NC 313
LAURA M RIDDICK
REGISTER OF DEEDS
PRESENTED & RECORDED ON
03/02/2011 AT 14:36:15

BOOK:014286 PAGE:01880 - 01884

RETURN TO: Kathryn S. Drake, Attorney at Law, PA
12324 Hampton Way Drive, Suite 101, Wake Forest, NC 27587

PREPARED BY: Kathryn S. Drake, Attorney at Law, PA
Without title insurance or tax advice

BRIEF DESCRIPTION: Lot 1, Beulah H. Woodlief Heir Property

TAX IDENTIFICATION: 148889 & OUT OF 0079470 REVENUE STAMPS: \$ 0

N/A If initialed, the property includes the primary residence of at least one of the
Grantors, otherwise, note as N/A. (per NC GS § 105-317.2)

NORTH CAROLINA GENERAL WARRANTY DEED

This deed made this 28th day of February, 2011, by and between:

GRANTOR: Billy Craig Woodlief, unmarried
Ellen W. Holding and husband
Herbert Holding
Janice Gayle W. Stallings, and husband
Harrell Stallings
Donnie L. Woodlief and wife
Patsy Woodlief
Betty Joyce Woodlief, unmarried
Dwight Thomas Woodlief and wife
Carolyn Woodlief

c/o Donnie L. Woodlief
6609 Fowler Road
Zebulon, NC 27597

GRANTEE: Carlyle D. Woodlief, and
Alma D. Woodlief
1321 Rolesville Road
Wake Forest, NC 27587

Grantor, for valuable consideration paid by Grantee, receipt of which is hereby acknowledged, does grant, convey and transfer unto Grantee in fee simple the property described as follows:

TOWNSHIP OF WAKE FOREST COUNTY OF WAKE

Being all of Lot 1 containing 17.700 acres as shown on a plat entitled " Survey for Beulah H. Woodlief Heirs" prepared by Cawthorne, Moss & Panciera, P.C. Professional Land Surveyors, dated December 15, 2010 and recorded in Book of Maps 2011, Page 84, Wake County Registry. Beulah H. Woodlief died testate on September 3, 2010. See Wake County Estate File 10-E-2691.

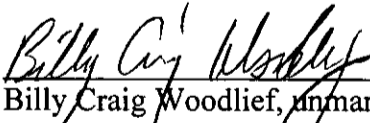
TO HAVE AND TO HOLD the above described property and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

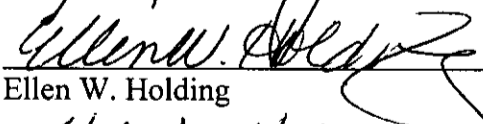
Grantor covenants with Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances and that Grantor will warrant and defend the title to the property against the lawful claims of all others except for the exceptions set out below.

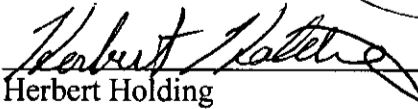
Title to the property described herein is subject to the following exceptions:

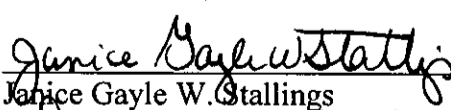
- 1. Easements, conditions and restrictions of record.

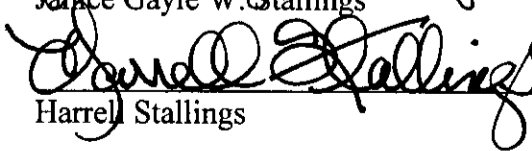
IN WITNESS WHEREOF, Grantor has set his hand and seal or if corporate, has caused this instrument to be signed in its corporate name by a duly authorized officer.

 (SEAL)
Billy Craig Woodlief, unmarried

 (SEAL)
Ellen W. Holding

 (SEAL)
Herbert Holding

 (SEAL)
Janice Gayle W. Stallings

 (SEAL)
Harrel Stallings

Donnie L. Woodlief (SEAL)
Donnie L. Woodlief

Patsy Woodlief (SEAL)
Patsy Woodlief

Betty Joyce Woodlief (SEAL)
Betty Joyce Woodlief, unmarried


Dwight Thomas Woodlief (SEAL)
Dwight Thomas Woodlief

Carolyn Woodlief (SEAL)
Carolyn Woodlief

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Katherine S. Deak a Notary Public of the County and State
aforesaid, certify that Billy Craig Woodlief personally appeared before me this day and
acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28 day of February, 2011.


Katherine S. Deak
NOTARY PUBLIC


My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Katherine S. Deak a Notary Public of the County and State
aforesaid, certify that Ellen W. Holding and Herbert Holding personally appeared before me this
day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28 day of February, 2011.


Katherine S. Deak
NOTARY PUBLIC


My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Katherine S. Deak a Notary Public of the County and State
aforesaid, certify that Janice Gayle W. Stallings and Harrell Stallings personally appeared before
me this day and acknowledged the execution of the foregoing instrument.


Witness my hand and official stamp or seal, this 28 day of February, 2011.

Katherine S. Deak
NOTARY PUBLIC


My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

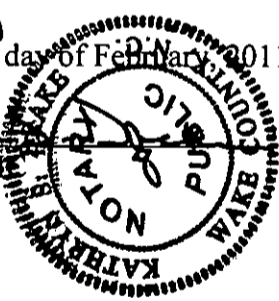
I, Katherine S. Drake a Notary Public of the County and State aforesaid, certify that Donna L. Woodlief and Patsy Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.
Katherine S. Drake
NOTARY PUBLIC


My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

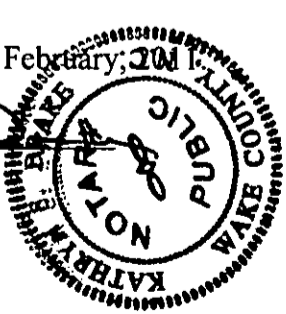
I, Katherine S. Drake a Notary Public of the County and State aforesaid, certify that Betty Joyce Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.
Katherine S. Drake
NOTARY PUBLIC


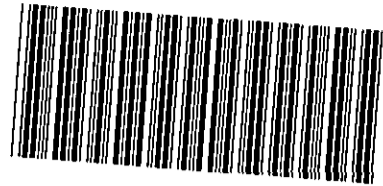
My Commission Expires: 8/3/2015

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Katherine S. Drake a Notary Public of the County and State aforesaid, certify that Dwight Thomas Woodlief and Carolyn Woodlief personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 28th day of February, 2011.
Katherine S. Drake
NOTARY PUBLIC


My Commission Expires: 8/3/2015



BOOK:014286 PAGE:01880 - 01884

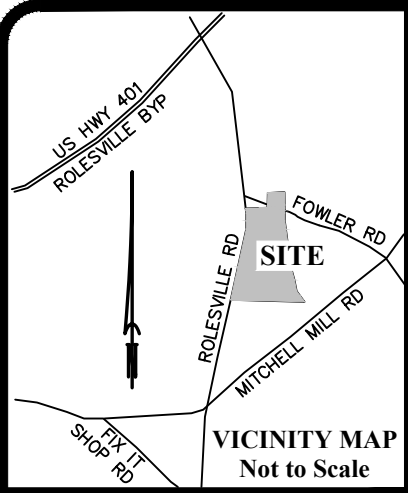
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**Wake County Register of Deeds
Laura M. Riddick
Register of Deeds**

This Customer Group
_____ # of Time Stamps Needed

This Document
_____ New Time Stamp
_____ # of Pages *5* *JP*
22.004-1/20/06



Total Area of Annexation: 106.92 Ac. +/-

GENERAL NOTES:

- All distances are horizontal ground distances and areas were computed using the coordinate method, unless otherwise noted hereon.
- The subject property is partially located within a Special Flood Hazard Area as scaled from NFIP FIRM Numbers 3720176600K and 3720176800K; panel effective date: 7/19/2022.
- Wetland, stream, pond, and riparian buffer delineations shown hereon were performed by WR on 1/12/2023 & 1/16/2023. Field location performed by MSS Land Consultants, PC. Wake County flood hazard soils not addressed by this survey.
- This survey was prepared for the parties and purpose indicated hereon. Any extension of the use beyond the purpose agreed to between the client and surveyor exceeds the scope of the engagement. Only copies of this survey with the Land Surveyor's original signature & an original embossed, ink or scanned seal are the product of the Land Surveyor.
- Property identification numbers taken from the official tax records of Wake County.
- All underground utilities shown hereon are based solely on visible ground surface evidence. Prior to any construction and/or excavation, the exact vertical & horizontal locations must be determined.
- Wake County Zoning: R-30
- References: DB 1347 PG 52; DB 14286 PG 1880; DB 14286 PG 1885; DB 14286 PG 1890; DB 14286 PG 1896; DB 14286 PG 1902; DB 18654 PG 863; BM 1941 PG 108; BM 1942 PG 120; BM 1987 PG 1097; BM 2011 PG 84; DB 2420 PG 514; DB 4401 PG 206.

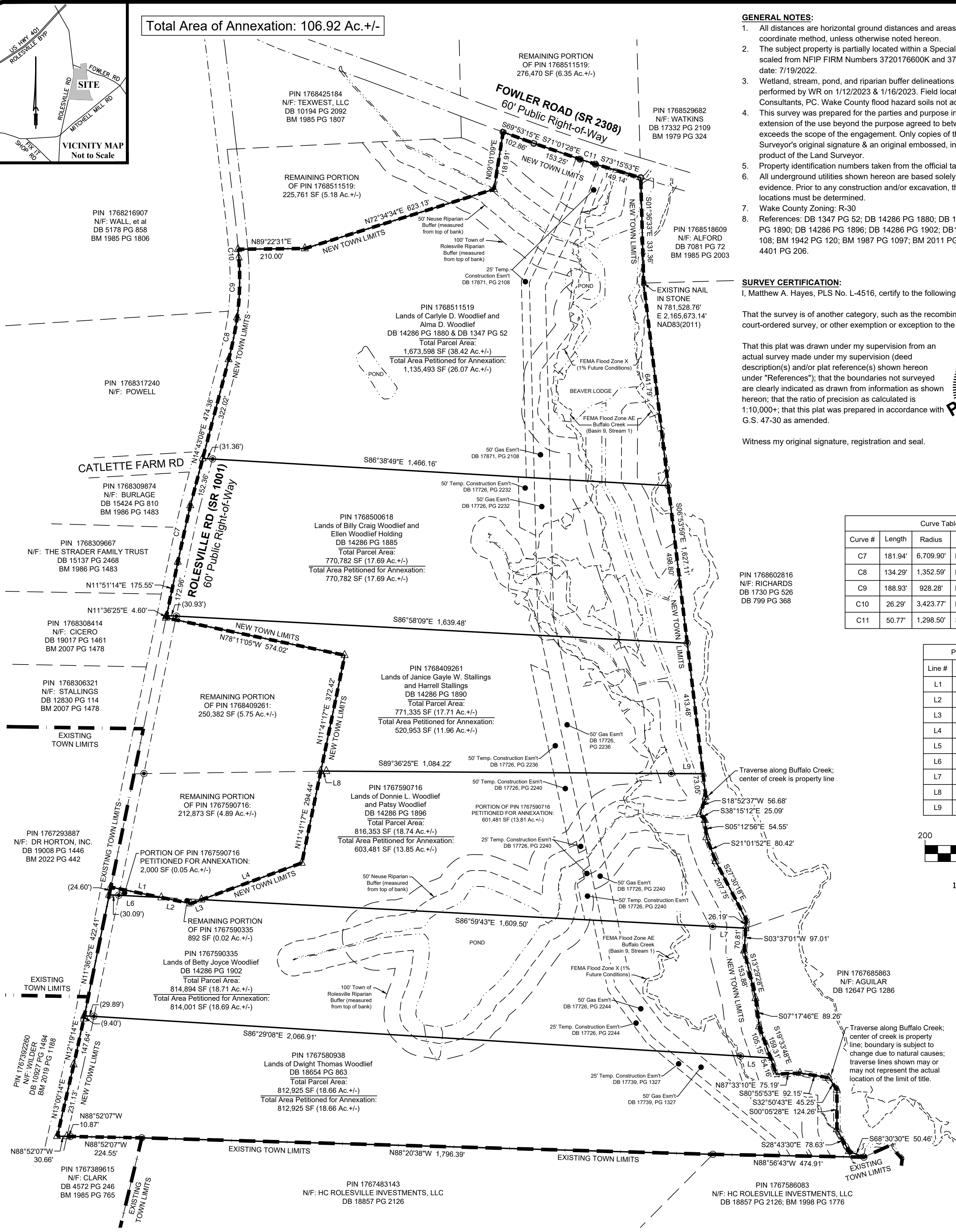
SURVEY CERTIFICATION:

I, Matthew A. Hayes, PLS No. L-4516, certify to the following:

That the survey is of another category, such as the recombination of existing parcels, a court-ordered survey, or other exemption or exception to the definition of subdivision;

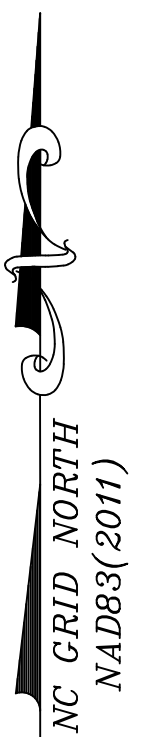
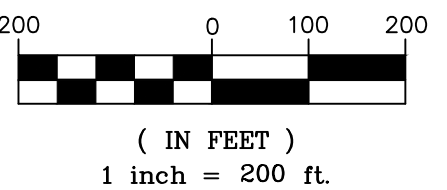
That this plat was drawn under my supervision from an actual survey made under my supervision (deed description(s) and/or plat reference(s) shown hereon under "References"); that the boundaries not surveyed are clearly indicated as drawn from information as shown hereon; that the ratio of precision as calculated is 1:10,000+; that this plat was prepared in accordance with G.S. 47-30 as amended.

Witness my original signature, registration and seal.



Curve Table				
Curve #	Length	Radius	Chord Dir.	Chord
C7	181.94'	6,709.90'	N12°30'01"E	181.94'
C8	134.29'	1,352.59'	N11°24'08"E	134.23'
C9	188.93'	928.28'	N01°35'22"E	188.60'
C10	26.29'	3,423.77'	N04°27'40"W	26.29'
C11	50.77'	1,298.50'	S72°08'41"E	50.76'

Parcel Line Table		
Line #	Direction	Length
L1	S78°23'35"E	162.61'
L2	S78°23'35"E	94.38'
L3	N69°53'25"E	35.96'
L4	N69°53'25"E	335.61'
L5	S86°29'08"E	94.52'
L6	S86°59'43"E	164.46'
L7	S86°59'43"E	103.64'
L8	N89°13'22"E	17.72'
L9	S89°36'25"E	100.00'



SURVEYED by



MSS LAND CONSULTANTS

6118 Saint Giles St. Phone (919) 510-4464
Suite E Fax (919) 510-9102
Raleigh, NC 27612 Email: gowersw@mssland.com

"Committed to Total Quality Service"

**SATELLITE ANNEXATION MAP
FOR THE TOWN OF ROLESVILLE:
ROLESVILLE ASSEMBLAGE
PREPARED FOR PULTE HOME COMPANY, LLC**

LEGEND

- PB Plat Book
- DB Deed Book
- N/F Now or Formerly
- EIP Existing Iron Pipe
- EPIP Existing Pinched Iron Pipe
- GALV Galvanized
- ECM Existing Concrete Marker
- EIP, unless otherwise noted
- Iron Pipe Set
- △ Computed Point

CERTIFICATE OF SUFFICIENCY

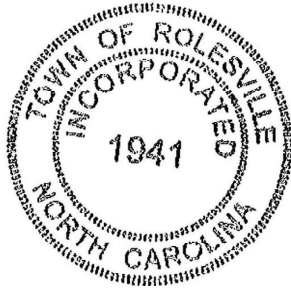
ANX23-01 - Woodlief

To the Board of Commissioners of the Town of Rolesville, North Carolina:

I, Robin E. Peyton, Town Clerk, do hereby certify that I have investigated the attached petition and hereby make the following findings:

- a. The petition contains an adequate property description of the area(s) proposed for annexation.
- b. The area described in the petition is contiguous to the Town of Rolesville primary corporate limits as required by G.S. 160A-31.
- c. The petition is signed by all owners of real property lying in the area described therein.

In witness whereof, I have hereunto set my hand and affixed the seal of the Town of Rolesville, this 9th day of November 2023



Robin E. Peyton

Robin E. Peyton
Town Clerk



Memorandum

To: Mayor & Town Board
From: David Simmons, Chief of Police
Date: December 20, 2023
Re: Community Oriented Policing Services (COPS) Grant

Background:

The Community Oriented Policing Services (COPS) grant is designed to reduce crime and advance public safety through community policing by providing direct support to law enforcement agencies nationwide. Funding supports the hiring of officers to increase an agency's community policing capacity and crime prevention efforts. Rolesville Police Department applied for this grant for the 2023-2024 fiscal year, requesting funding for two additional full time sworn positions.

The department received notice of an award in the amount of \$250,000 on November 2, 2023. Acceptance of the award will provide funding for two additional full-time positions over the course of three years; these positions will focus on community policing efforts with the anticipated outcomes of improved police-community relations, enhanced public trust in the department, and reduced crime.

Staff Recommendation

Make a motion to adopt the:

- Resolution 2024-R-02 Establishing Policies Related to Federal Grant Funds
- Resolution 2024-R-03 Accepting Community Oriented Policing Services (COPS) Grant
- Ordinance to Amend the 2023-2024 Fiscal Year Budget Ordinance (for COPS grant)

Attachments:

- Resolution 2024-R-02 Establishing Policies Related to Federal Grant Funds
- Resolution 2024-R-03 Accepting Community Oriented Policing Services (COPS) Grant
- Ordinance to Amend the 2023-2024 Fiscal Year Budget Ordinance (for COPS grant)

RESOLUTION ESTABLISHING POLICIES RELATED TO FEDERAL GRANT FUNDS

WHEREAS the Town of Rolesville at times receives an allocation of funds from the federal government; and

WHEREAS the funds received may be restricted in use for specific purpose outlined under federal requirements; and

WHEREAS the funds may be subject to the provisions of the federal Uniform Guidance (UG), 2 CFR Part 200; and

WHEREAS the recipient of federal funds must often develop appropriate policies and implement effective internal controls to ensure that funding decisions are consistent with grant award requirements;

NOW THEREFORE BE IT RESOLVED that the Board of Commissioners of the Town of Rolesville hereby adopts and enacts the following policies related to the expenditure of federal funds.

Eligibility Determination

Prior to making a grant application, Town of Rolesville (“Town”) employees must follow internal administrative procedures for the review and selection of grant applications. This preliminary process ensures the Town is prepared to implement the grant and meet financial requirements.

Once a grant is awarded, all Town employees and officials must comply with the eligibility determination requirements. Town staff may not expend grant funds for any prohibited uses. Funds may only be spent on projects and activities that are covered under the award.

Prior to the encumbrance or expenditure of federal grant funding, the proposed spending must be reviewed by the department head of the recipient Town department (“Grant Recipient”) and the Finance Officer. The proposed spending must include a brief description of the purpose and must be consistent with the proposed budget for the grant. The Grant Recipient will review the proposed expenditure for grant compliance. No funds may be obligated or expended before final approval by the Finance Officer.

Following approval, the actual obligations and expenditures of the project must conform to the pre-approved project budget. Changes in project budgets may require a budget amendment before proceeding.

Allowable Costs and Costs Principles

The following policy and procedures must be followed when required by the federal grant. Staff should review grant documentation and acceptance conditions to determine if this section of Uniform Guidance applies.

Allowable Costs and Costs Principles Policy Overview

Title 2 U.S. Code of Federal Regulations Part 200, Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards, commonly called Uniform Guidance (UG), specifically Subpart E, defines which items of cost are allowable and unallowable.

The tests of allowability under these principles are: (a) the costs must be reasonable, (b) they must be allocable to eligible projects, (c) they must be given consistent treatment through application of those generally accepted accounting principles appropriate to the circumstances, and (d) they must conform to any limitations or exclusions set forth in these principles or in the grant award as to types or amounts of cost items.

The Town shall adhere to all applicable cost principles governing the use of federal grants. Responsibility for following these guidelines lies with the Grant Recipient, who is charged with the administration and financial oversight of the grant funds.

General Cost Allowability Criteria

When required by the grant, all costs expended using federal grant funds must meet the following general criteria:

1. Be necessary and reasonable for the proper and efficient performance and administration of the grant program.

A cost must be *necessary* to achieve a project object; consideration may be given to whether the cost:

- Is needed for the proper and efficient performance of the grant project.
- Is identified in the approved project budget or application.
- Aligns with identified needs based on results and findings from a needs assessment.
- Addresses project goals and objectives and is based on program data.

A cost is *reasonable* if, in its nature and amount, it does not exceed that which would be incurred by a prudent person under the circumstances prevailing at the time the decision to incur the cost was made; consideration may be given to:

- Whether the cost is generally recognized as ordinary and necessary for the operation of the Town or the proper and efficient performance of the federal award.
- The restraints or requirements imposed by factors, such as sound business practices; arm's-length bargaining; federal, state, and other laws and regulations; and terms and conditions of the federal award.
- Market prices for comparable goods or services for the geographic area.
- Whether individuals acted with prudence in the circumstances considering their responsibilities to the Town, its employees, the public, and the federal government.
- Whether the Town significantly deviated from its established practices and policies regarding the incurrence of costs, which unjustifiably increased the federal award's cost.

2. Be allocable to the federal award. A cost is allocable to the federal award if the goods or services involved are chargeable or assignable to the federal award in accordance with the relative benefit received. This means that the federal grant program derived a benefit in proportion to the funds charged to the program.

If a cost benefits two or more projects or activities in proportions that can be determined without undue effort or cost, the cost must be allocated to the projects based on the proportional benefit. If a cost benefits two or more projects or activities in proportions that cannot be determined because of the interrelationship of the work involved, then the costs may be allocated or transferred to benefitted projects on any reasonable documented basis.

Where the purchase of equipment or other capital asset is specifically authorized by the federal award, the costs are assignable regardless of the use that may be made of the equipment or other capital asset involved when no longer needed for the purpose for which it was originally required.

3. Be authorized and not prohibited under state or local laws or regulations.
4. Conform to any limitations or exclusions set forth in the principles, federal laws, grant award terms, and other governing regulations as to types or amounts of cost items.
5. Be consistent with policies, regulations, and procedures that apply uniformly to both the federal award and other activities of the Town.
6. Be accorded consistent treatment. A cost may not be assigned to a federal award as a direct cost and be charged to a federal award as an indirect cost. And a cost must be treated consistently for both federal award and non-federal award expenditures.
7. Be determined in accordance with generally accepted accounting principles (GAAP), unless provided otherwise in the UG.
8. Be net of all applicable credits. The term “applicable credits” refers to those receipts or reduction of expenditures that operate to offset or reduce expense items allocable to the federal award. Typical examples are purchase discounts, rebates or allowances, recoveries or indemnities on losses, and adjustments of overpayments or erroneous charges. To the extent that such credits accruing to and received by the local government related to the federal award, they shall be credited to the federal award, either as a cost reduction or a cash refund, as appropriate and consistent with the award terms.
9. Be adequately documented.

Selected Items of Cost

The UG examines the allowability of specific cost items, commonly referred to as Selected Items of Cost, at 2 CFR § 200.421-.475. The applicable Grant Recipient is responsible for determining cost

allowability and must be familiar with the Selected Items of Cost. The Town must follow the applicable regulations when charging these specific expenditures to the grant.

The Grant Recipient will check costs against the selected items of cost requirements to ensure the cost is allowable and that all process and documentation requirements are followed. In addition, State laws, Town regulations, and program-specific rules may deem a cost as unallowable, and the Department Grant Recipient must follow those non-federal rules as well.

Direct and Indirect Costs

Allowable and allocable costs must be appropriately classified as direct or indirect charges. It is essential that each item of cost be treated consistently in like circumstances either as a direct or an indirect cost.

Direct costs are expenses that are specifically associated with a particular grant-eligible project and that can be directly assigned to such activities relatively easily with a high degree of accuracy.

Indirect costs are (1) costs incurred for a common or joint purpose benefiting more than one grant-eligible project, and (2) not readily assignable to the project specifically benefited, without effort disproportionate to the results achieved. They are expenses that benefit more than one project or even more than one federal grant.

For indirect costs, the Town may charge a 10 percent de minimis rate of modified total direct costs (MTDC). According to UGG Section 200.01 MTDC means all direct salaries and wages, applicable fringe benefits, materials and supplies, services, travel, and up to the first \$25,000 of each subaward (regardless of the period of performance the subawards under the award). MTDC EXCLUDES equipment, capital expenditures, charges for patient care, rental costs, tuition remission, scholarships and fellowships, participant support costs and the portion of each subaward in excess of \$25,000.

Special Provisions

There are some special provisions of the UG that apply only to states, local governments, and Indian Tribes. The Grant Recipient should review the special provisions and ensure that expenditures associated with the federal award are consistent with their usage. Namely, § 200.444 General costs of government, § 200.416 Cost allocation plans and indirect cost proposals, and § 200.417 Interagency service.

Cost Allowability Review Process

Preapproval Cost Allowability Review: Before a grant-funded project is authorized, the Grant Recipient must review the proposed cost items within an estimated project budget to determine whether they are allowable and allocable and whether cost items will be charged as direct or indirect expenses. This review will occur concurrently with the review of project eligibility and *before* obligating or expending any federal funds.

Post-Expenditure Cost Allowability Review: Once an expenditure is incurred related to an eligible project, and an invoice or other demand for payment is submitted to the local government, the Grant Recipient must perform a second review to ensure that actual expenditures comprise allowable costs.

- All invoices or other demands for payment must include a breakdown by cost item. The cost items should mirror those presented in the proposed budget for the project.
- The Grant Recipient must review the individual cost items listed on the invoice or other demand for payment to determine their allowability and allocability.
- If all cost items are deemed allowable and properly allocable, the Grant Recipient must proceed through the local government's normal disbursement process.
- If any cost item is deemed unallowable, the Grant Recipient will notify the vendor, contractor, or subrecipient that a portion of the invoice or other demand for payment will not be paid with federal funds. The Grant Recipient may in their discretion, and consistent with this policy, allow an invoice or other demand for payment to be resubmitted with a revised cost allocation.

Cost Transfers

Any costs charged to the federal award that do not meet the allowable cost criteria must be removed from the grant project or charged to an account that does not require adherence to federal UG or other applicable guidelines. Failure to adequately follow this policy and related procedures could result in audit findings, potential repayment of disallowed costs, and discontinuance of funding.

Record Retention Policy

Retention

It is the policy of the Town to follow record retention requirements as it spends federal grant funds. Accordingly, the Town agrees to the following:

- Retain all financial and programmatic records related to the use and expenditure of federal funds consistent with the terms of the award.
- Ensure that the financial and programmatic records retain sufficient evidence of compliance.
- Allow authorized representatives of the federal government the right of timely and unrestricted access to any records for the purpose of audits or other investigations.
- If any litigation, claim, or audit is started before the expiration of the record retention period, the records will be retained until all litigation, claims, or audit findings involving the records have been resolved.

Covered Records

For purposes of this policy, records are information, regardless of physical form or characteristics, that are created, received, or retained that evidence the Town's expenditure of federal funds on eligible projects, programs, or activities pursuant to the award. Records that shall be retained pursuant to this policy include, but are not limited to, the following:

- Financial statements and accounting records evidencing expenditures for eligible projects, programs, or activities.
- Documentation of rationale to support a particular expenditure.
- Documentation of administrative costs charged to the grant.

- Applicable personnel and payroll records compensated with federal funds, including time and effort reports.

Storage

The Town's records must be stored in a safe, secure, and accessible manner. Wherever practicable, such records should be collected, transmitted, and stored in open and machine-readable formats.

Departmental Responsibilities

All Town staff and officials shall comply with the terms of this policy. Failure to do so may subject the Town to civil and criminal liability. Any employee who fails to comply with the record retention requirements set forth herein may be subject to disciplinary sanctions, including suspension or termination. The Grant Recipient is responsible for identifying the documents that the Town should retain and arrange for proper storage and retrieval of records. The Grant Recipient shall also ensure that all personnel subject to the terms of this policy are aware of the record retention requirements set forth herein.

Reporting Policy Violations

The Town is committed to enforcing this policy as it applies to all forms of records. Any employee that suspects the terms of this policy have been violated shall report the incident immediately to the Assistant Town Manager. The Town prohibits any form of discipline, reprisal, intimidation, or retaliation for reporting incidents of inappropriate conduct of any kind, pursuing any record destruction claim, or cooperating in related investigations.

Nondiscrimination Policy

It is the policy of the Town to ensure that no person shall, on the grounds of race, color, national origin (including limited English Proficiency), familial status, sex, age, or disability, be excluded from participation in, be denied the benefits of, or be otherwise subject to discrimination under any program or activity administered by the Town, including programs or activities that are funded in whole or part, with federal funds.

Governing Statutory & Regulatory Authorities

The Town shall ensure that each activity, facility, or program that is funded in whole, or in part, with federal funds, will be facilitated, operated, or conducted in compliance with the following federal statutes and federal regulations prohibiting discrimination. These include, but are not limited to, the following:

1. Title VI of the Civil Rights Act of 1964 (42 U.S.C. §§ 2000d et seq.) and Treasury's implementing regulations at 31 C.F.R. Part 22, which prohibit discrimination on the basis of race, color, or national origin under programs or activities receiving federal financial assistance.
2. The Fair Housing Act, Title VIII of the Civil Rights Act of 1968 (42 U.S.C. §§ 3601 et seq.), which prohibits discrimination in housing on the basis of race, color, religion, national origin, sex, familial status, or disability.
3. Section 504 of the Rehabilitation Act of 1973, as amended (29 U.S.C. § 794), which prohibits discrimination on the basis of disability under any program or activity receiving federal financial assistance.

4. The Age Discrimination Act of 1975, as amended (42 U.S.C. §§ 6101 et seq.), and Treasury's implementing regulations at 31 C.F.R. Part 23, which prohibit discrimination on the basis of age within programs or activities receiving federal financial assistance.
5. Title II of the Americans with Disabilities Act of 1990, as amended (42 U.S.C. §§ 12101 et seq.), which prohibits discrimination on the basis of disability under programs, activities, and services provided or made available by state and local governments or instrumentalities or agencies thereto.

Discriminatory Practices Prohibited in the Administration of the Award

To ensure compliance with Title VII of the Civil Rights Act of 1964, and Title 31 Code of Federal Regulations, Part 22, the Civil Rights Restoration Act of 1987, and other pertinent nondiscrimination authorities, the Town shall prohibit, at a minimum, the following practices in its administration of funds pursuant to the award:

1. Denying to a person any service, financial aid, or other program benefit without good cause.
2. Providing to a person any service, financial aid, or another benefit which is different in quantity or quality, or is provided in a different manner, from that provided to others under the program.
3. Subjecting a person to segregation or separate treatment in any matter related to the receipt of any service, financial aid, or other benefit under the program.
4. Restricting a person in the enjoyment of any advantages, privileges, or other benefits enjoyed by others receiving any service, financial aid, or other benefit under the program.
5. Treating a person differently from others in determining whether that person satisfies any admission, enrollment, quota, eligibility, membership, or other requirement or condition which persons must meet to be provided any service, financial aid, or other benefit provided under the program.
6. Implementing different standards, criteria, or other requirements for admission, enrollment, or participation in planning, advisory, contractual, or other integral activities to the program.
7. Adopting methods of administration which, directly or through contractual relationships, would defeat or substantially impair the accomplishment of effective nondiscrimination.
8. Selecting a site or location of facilities with the purpose or effect of excluding persons from, denying them the benefits of, subjecting them to discrimination, or with the purpose or effect of defeating or substantially impairing the accomplishment of the objectives of Title VI or related acts and regulations.
9. Discriminating against any person, either directly or through a contractual agreement, in any employment resulting from the program, a primary objective of which is to provide employment.
10. Committing acts of intimidation or retaliation, including threatening, coercing, or discriminating against any individual for the purpose of interfering with any right or privilege secured by any pertinent nondiscrimination law, or because an individual made a complaint, testified, assisted, or participated in an investigation, proceeding, or hearing.

Reporting & Enforcement

1. The Town shall cooperate in any enforcement or compliance review activities by a federal agency. Enforcement may include investigation, arbitration, mediation, litigation, and

monitoring of any settlement agreements that may result from these actions. The Town shall comply with information requests, on-site compliance reviews, and reporting requirements.

2. The Town shall maintain a complaint log and inform the granting agency of any complaints of discrimination on the grounds of race, color, or national origin (including limited English proficiency) covered by Title VI of the Civil Rights Act of 1964 and implementing regulations and provide, upon request, a list of all such reviews or proceedings based on the complaint, whether pending or completed, including the outcome.
3. Any person who believes that because of that person's race, color, national origin, limited English proficiency, familial status, sex, age, religion, or disability that they have been discriminated against or unfairly treated by the Town in violation of this policy should contact the Assistant Town Manager within 180 days from the date of the alleged discriminatory occurrence.

Adopted this 4th day of January 2024

Ronnie I. Currin
Town of Rolesville Mayor

Attest: _____
Robin E. Peyton
Town Clerk

**RESOLUTION ACCEPTING COMMUNITY ORIENTED POLICING SERVICES
(COPS) GRANT**

WHEREAS, the US Department of Justice, Office of Community Oriented Policing Services offers grants to local governments; and

WHEREAS, the Town of Rolesville applied and was approved for a Community Oriented Policing Services (COPS) grant in the COPS Hiring Program (CHP) for federal FY 2023; and

WHEREAS, the Town of Rolesville intends to implement the activities outlined in the grant application and conform to all grant requirements;

NOW, THEREFORE, BE IT RESOLVED, by the Board of Commissioners of the Town of Rolesville that:

Section 1. The Town Manager is hereby authorized to accept these COPS Hiring Program funds and is hereby authorized to execute all necessary contracts or agreements for this purpose.

Approved this 4th day of January 2024

[SEAL]

Ronnie I. Currin
Mayor

Robin E. Peyton
Town Clerk

**AN ORDINANCE TO AMEND THE
2023-2024 FISCAL YEAR BUDGET ORDINANCE**

BE IT ORDAINED, by the Board of Commissioners of the Town of Rolesville, North Carolina that the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2024:

1. *To appropriate revenues and expenditures for the first year of the COPS grant.*

		<u>Increase</u>
<u>Revenue</u>		
100-000-4320-0000	Grants - Federal	\$66,000
<u>Expenditure</u>		
100-190-5399-0000	Contingency	(\$228,000)
100-310-5100-0000	Salaries	63,000
100-310-5120-0000	FICA	4,800
100-310-5125-0000	Retirement LGERS	8,900
100-310-5130-0000	Retirement 401(k)	3,200
100-310-5135-0000	Employee Insurance	8,100
100-310-5246-0000	Uniforms	7,000
100-310-5264-0000	Computer Software/Services	2,000
100-310-5415-0000	Equipment/Furniture	27,000
100-310-5420-0000	Vehicles	<u>170,000</u>
		\$294,000

2. *To authorize the addition of two (2) additional Police Officer positions.*

This will result in a net increase of \$66,000 in both revenues and expenditures of the General Fund.

Adopted this 4th day of January 2024

Ronnie I. Currin
Town of Rolesville Mayor

Attest: _____
Robin E. Peyton
Town Clerk



Memorandum

TO: Mayor and Town Board of Commissioners

FROM: Michael Elabarger, Senior Planner
Meredith Gruber, Planning Director

DATE: January 4, 2024

RE: Revision to SP 21-01, Cobblestone Crossing

Evidentiary (Quasi-Judicial) hearing on a Revision to the previously approved Site Plan SP 21-01, Cobblestone Village, a mixed-use development on 10.96 acres located at the intersection of Young Street and Main Street, zoned the Town Center (TC) District

Background

A request for approval of Revisions to the previously approved Site Plan (quasi-judicial) for a mixed-use development. The original approval was for a project detailed as the following:

- Building 1 – Residential with 40 units
- Building 2 – Mixed-Use with Retail 16,461 SF with 30 residential units
- Building 3 – Mixed-use with Retail 11,405 SF and 18 residential units
- Building 4 – Community Center 18,200 SF
- Building 5 – Mixed-use with Retail 3,816 SF and 4 residential units
- Building 6 – Mixed-use with Retail 18,416 SF and 36 residential units
- Building 7 – Residential with 40 units
- Building 8 – Residential with 12 units

Pursuant to a Mediated Settlement Conference Agreement between the Applicant and the Town, the following changes are represented in the Revised Site Plan plan set (see attached plan set).

- Building 4 [100% Non-residential] has been revised from a 12,000 sf community center building to a 10,420 sf commercial building (1 story).
- Building 5 [100% Non-residential] has been enlarged from a 3,647 sf building to a 5,970 sf building (remaining as 1 story), changed encased outdoor dining to exterior/rooftop bar/dining.
- Building 8 [100% Residential] – Increased residential dwelling unit (apartments) count from 12 to 24 (remaining at 3 stories).

- Building 3 [Mixed-use] – Reduced the commercial square footage from 10,299 sf to 8,612 sf and changed plaza/outdoor dining between Building and Main Street to a raised plaza/outdoor dining area.
- Added a mail kiosk in the center of site, between Bluestone Crossing Road and Rolesville Center Road.
- Plaza spaces between buildings 2 and 4, and between buildings 3 and 4, change in shape and features within them.
- Removal of Lease lines and a Veteran’s Memorial feature.

The core elements of the project – residential dwelling units and non-residential square footage – compare as such:

	Residential Dwelling Units (multifamily/ apartments)	Non-Residential Square footage
SP 21-01 original approval	178	Retail/commercial: 49,830 SF Municipal Flex space: 15,900 SF Total: 65,730 SF
Revision to SP 21-01	188	Retail/flex/commercial: 53,384 SF

A Shared Parking Analysis document was part of the original approval; this document has been updated to reflect these changes. See the attached Parking Analysis, dated December 8, 2023.

Technical Review Committee and Planning Staff Recommendations

The Technical Review Committee has reviewed four (4) submittals of the Revised Site Plan. There are a few technical comments from Town Engineering remaining, and the Applicant must finalize any changes to Wake County stormwater related permits for the project that result from these changes. The Site Plan plan set will ultimately receive signature approval by the City of Raleigh Public Utility Department, Wake County Watershed Management, and Town Planning Director.

Findings of Fact

The required Findings of Fact include:

- A. That the proposed development and/or use will not materially endanger the public health or safety;
- B. That the proposed development and/or use will not substantially injure the value of adjoining property;
- C. That the proposed development and/or use will be in harmony with the scale, bulk, coverage, density, and character of the neighborhood in which it is located;
- D. That the proposed development and/or use will generally conform with the Comprehensive Plan and other official plans adopted by the Town;
- E. That the proposed development and/or use is appropriately located with respect to transportation facilities, water and sewer supply, fire and police protection, and similar facilities;
- F. That the proposed development and/or use will not cause undue traffic congestion or create a traffic hazard;
- G. That the proposed development and use comply with all applicable requirements of this ordinance.

Attachments

SP 21-01 Revised Site Plan

Revised Shared Parking Analysis, dated December 8, 2023

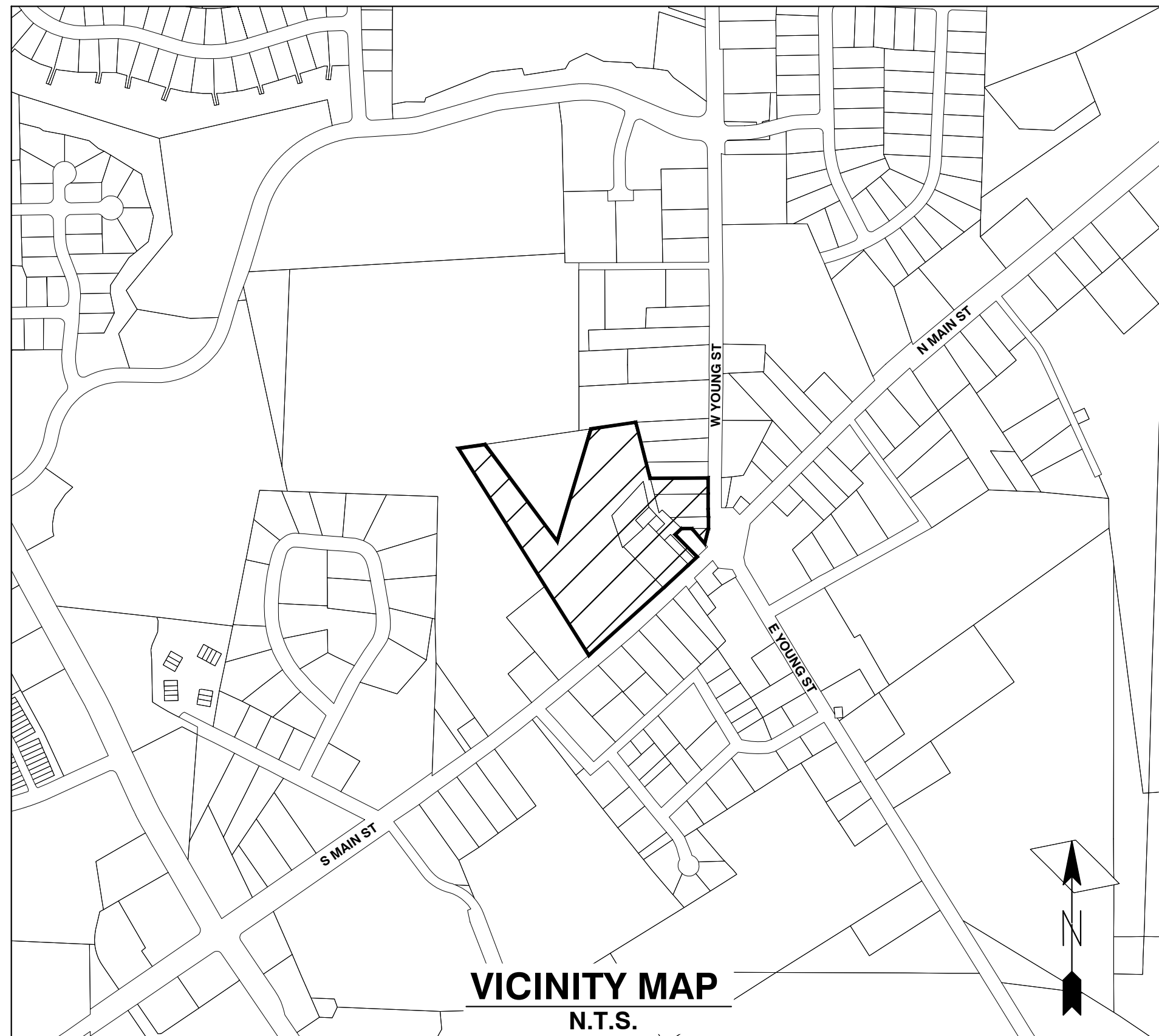
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF ROLESVILLE STANDARDS AND SPECIFICATIONS

COBBLESTONE VILLAGE MIXED USE DEVELOPMENT TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA CONSTRUCTION DRAWINGS TOWN OF ROLESVILLE PROJECT NO. SITE PLAN APPLICATION NO. CUP-SB-21-01 CASE NO. SP21-01

SYMBOLS AND ABBREVIATIONS

Table with 3 columns: Abbreviation/Symbol, Description, and Description/Symbol. Includes items like Aggregate Base Course, Aluminum, Steel, Fire Hydrant, Gate Valve, Stream, Manhole, and various utility lines.

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF ROLESVILLE AND NCDOT



Public Water Distribution / Extension System and Private Sewer Collection / Extension System permit information, including permit numbers and authorization to construct.

SHEET INDEX listing various plan sheets including COVER, EXISTING CONDITIONS & DEMOLITION PLAN, SITE PLAN, OPEN SPACE PLAN, UTILITY PLAN, GRADING AND DRAINAGE PLAN, EROSION CONTROL PLAN, and LANDSCAPE PLAN.

SITE PERMITTING APPROVAL, OWNER: COBBLESTONE CROSSING SPE, LLC, DEVELOPER: KDM DEVELOPMENT CORPORATION, CONTACT: KENYON BURHNAM

CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE MUNICIPALITY STANDARDS...
- 2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR TRENCH SAFETY DURING ALL PHASES OF CONSTRUCTION...
- 3. THE LOCATION AND SIZE OF EXISTING UTILITIES AS SHOWN IS APPROXIMATE ONLY...
- 4. THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES...
- 5. TRAFFIC CONTROL ON PUBLIC STREETS SHALL BE IN CONFORMANCE WITH THE TRAFFIC CONTROL PLAN...
- 6. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND SITE CONDITIONS...
- 7. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION...
- 8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION...
- 9. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE AND AS SHOWN ON THESE PLANS...
- 10. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS...
- 11. MATERIALS USED TO CONSTRUCT EMBANKMENTS FOR ANY PURPOSE, BACKFILL AROUND DRAINAGE STRUCTURES, OR IN UTILITY TRENCHES FOR ANY OTHER DEPRESSION REQUIRING FILL OR BACKFILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AS SET OUT IN ASTM STANDARD D988. STONE BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST AS SET OUT IN ASTM STANDARD D1557...
- 12. PROPOSED CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND ROADWAY PROFILES/SUPERELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.
- 13. THE CONTRACTOR SHALL REVIEW, VERIFY AND COORDINATE ALL DIMENSIONS SHOWN ON PLANS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER PRIOR TO STARTING PROJECT.
- 14. ALL CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5 FEET. ALL JOINTS SHALL BE SEALED WITH JOINT SEALANT.
- 15. ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA REQUIREMENTS AND THE 'NORTH CAROLINA STATE BUILDING CODE, VOL. 1-C ACCESSIBILITY CODE.
- 16. OWNER SHALL PROVIDE FENCING AND OTHER SAFETY MEASURES NECESSARY IN AND AROUND ANY PROPOSED STORMWATER MANAGEMENT MEASURES (PONDING, WETLANDS, ETC.) OBTAINING PROPER PERMITS SHALL BE THE RESPONSIBILITY OF THE OWNER.
- 17. RETAINING WALLS EXCEEDING 30 INCHES IN HEIGHT SHALL INCLUDE FALL PROTECTION IN THE FORM OF A HANDRAIL OR FENCING ON THE HIGH SIDE OF THE RETAINING WALL.
- 18. PROPER COMPACTION OF ALL FILL SOILS PLACED ON SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COMPACTION SHALL BE ADEQUATE TO SUPPORT THE PROPOSED USE OF AREAS IN WHICH FILL SOILS ARE PLACED. THE CONTRACTOR SHALL HIRE A GEOTECHNICAL ENGINEER TO TEST AND VERIFY THAT COMPACTION IS ADEQUATE FOR THE PROPOSED USE OF THE AREA OF FILL PLACEMENT.
- 19. ALL ASPECTS OF THIS PROJECT SHALL BE IN FULL COMPLIANCE WITH CURRENT ADA STANDARDS. IF THE CONTRACTOR NOTES ANY ASPECTS OF THE PROJECT WHICH ARE NOT IN COMPLIANCE, THE ENGINEER SHALL BE NOTIFIED PRIOR TO ANY FURTHER WORK BEING PERFORMED. ANY WORK PERFORMED AFTER THE CONTRACTOR NOTES SUCH A NON COMPLIANCE IS SUBJECT TO REMOVAL AND REPAIR AT THE CONTRACTOR'S EXPENSE.
- 20. THE CONTRACTOR OR OWNER SHALL EMPLOY A GEOTECHNICAL ENGINEER TO TEST ALL EMBANKMENTS AND FILL PLACEMENT FOR PROPER COMPACTION. PROPER COMPACTION SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS OR THESE PLANS, WHICHEVER IS MORE STRINGENT. EMBANKMENTS FOR PONDING SHALL BE PLACED IN 6 INCH LOOSE LAYERS AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY AT A MOISTURE CONTENT OF 4% OR TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D988. THE CONTRACTOR SHALL TAKE PHOTOGRAPHS OF THE OUTLET STRUCTURE AT ALL AT ALL PHASES OF INSTALLATION AND SHALL RETAIN WITH GEOTECHNICAL TESTING DATA. THE CONTRACTOR SHALL ALSO RETAIN ALL SHIPPING RECORDS AND SPECIFICATIONS FOR THE OUTLET STRUCTURE MATERIALS AND STRUCTURES. ALL OF THE ABOVE DATA MAY BE REQUIRED AS PART OF THE MUNICIPALITY AS-BUILT PROCESS AND SHALL BE MADE AVAILABLE TO THE ENGINEER UPON REQUEST. THE CONTRACTOR AND OWNER SHALL HAVE DOCUMENTATION OF THESE TESTS AVAILABLE UPON REQUEST.
- 21. RETAINING WALLS SHOWN HEREIN SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL ENGINEER WITH EXPERIENCE DESIGNING RETAINING WALLS. AT LEAST 14 DAYS PRIOR TO BEGINNING CONSTRUCTION OF RETAINING WALLS, THE CONTRACTOR SHALL CONTACT THE OWNER'S GEOTECHNICAL ENGINEER TO SCHEDULE AND COORDINATE ALL APPROPRIATE INSPECTIONS, TESTING, AND VERIFICATION NECESSARY DURING RETAINING WALL CONSTRUCTION. THE GEOTECHNICAL ENGINEER SHALL PROVIDE CONTINUOUS INSPECTION, TESTING AND VERIFICATION FOR THE DURATION OF RETAINING WALL CONSTRUCTION. PROPER SCHEDULING, EXECUTION, AND RECORD KEEPING FOR ALL REQUIRED INSPECTIONS, TESTING, AND VERIFICATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RECORDS SHALL BE RETAINED AND SHALL BE PROVIDED TO THE OWNER AND BASS, NIXON & KENNEDY, INC. ALL MONITORING, TESTING, AND VERIFICATION SHALL CONFORM TO THE MOST RECENT VERSION OF THE NC BUILDING CODE CHAPTER 18, SECTION 1806 OR THE WALL DESIGN ENGINEER'S SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.

QUANTITY SUMMARY table with 2 columns: Description (Phase Number, Lot, Units, Buildings, etc.) and Quantity.

ENGINEER: BASS, NIXON & KENNEDY, INC. CONSULTING ENGINEERS 6310 CHAPEL HILL ROAD, SUITE 250 RALEIGH, NORTH CAROLINA 27607 TELEPHONE: (919) 851-4422 FAX: (919) 851-8968 CONTACT: MARTY D. BIZZELL, PE, CPESC EMAIL: Marty.Bizzell@BNKinc.com

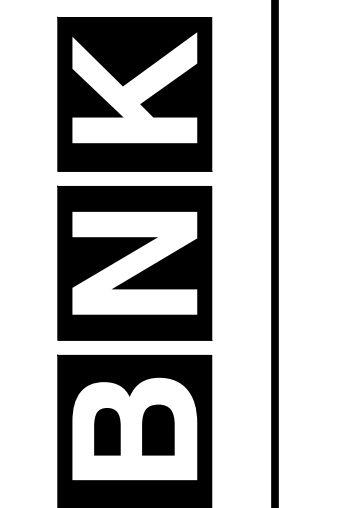
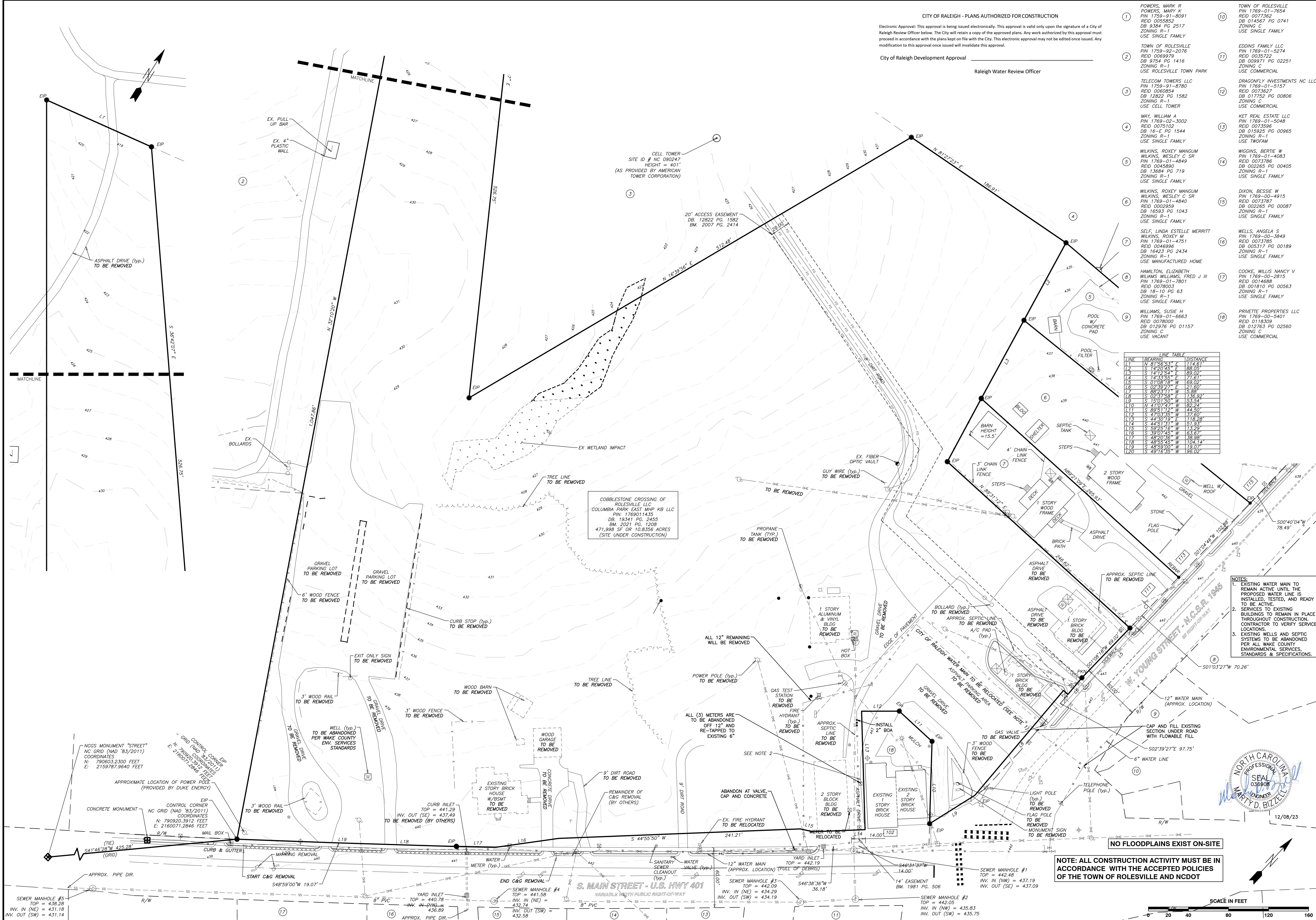
EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT. APPROVED. EROSION CONTROL, STORMWATER MGMT., FLOOD STUDY. DATE: 12/08/23

TOWN OF ROLESVILLE PROJECT NO. BASS, NIXON & KENNEDY, INC. CONSTRUCTION SUBMITTAL 03-19157 COBBLESTONE VILLAGE

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval _____
 Raleigh Water Review Officer _____



BASS, NIXON & KENNEDY, INC.
 CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919) 881-4422 FAX: (919) 881-6868
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

PROGRESS	DATE	DRAWN BY	MRM	DESCRIPTION
3	12-06-23	TOWN OF ROLESVILLE	MRM	COMMENTS
2	10-16-23	T.O.R. COMMENTS	MRM	CHANGES FROM 06-02-22 CDS
1	09-21-23	MRM	MRM	DESCRIPTION

NO. DATE DESCRIPTION

REVISIONS

CHK BY: MDB

SCALE: 1" = 40'

COBBLESTONE VILLAGE
 MIXED USE DEVELOPMENT
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SHEET C0.1

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION



NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF ROLESVILLE AND NCDOT

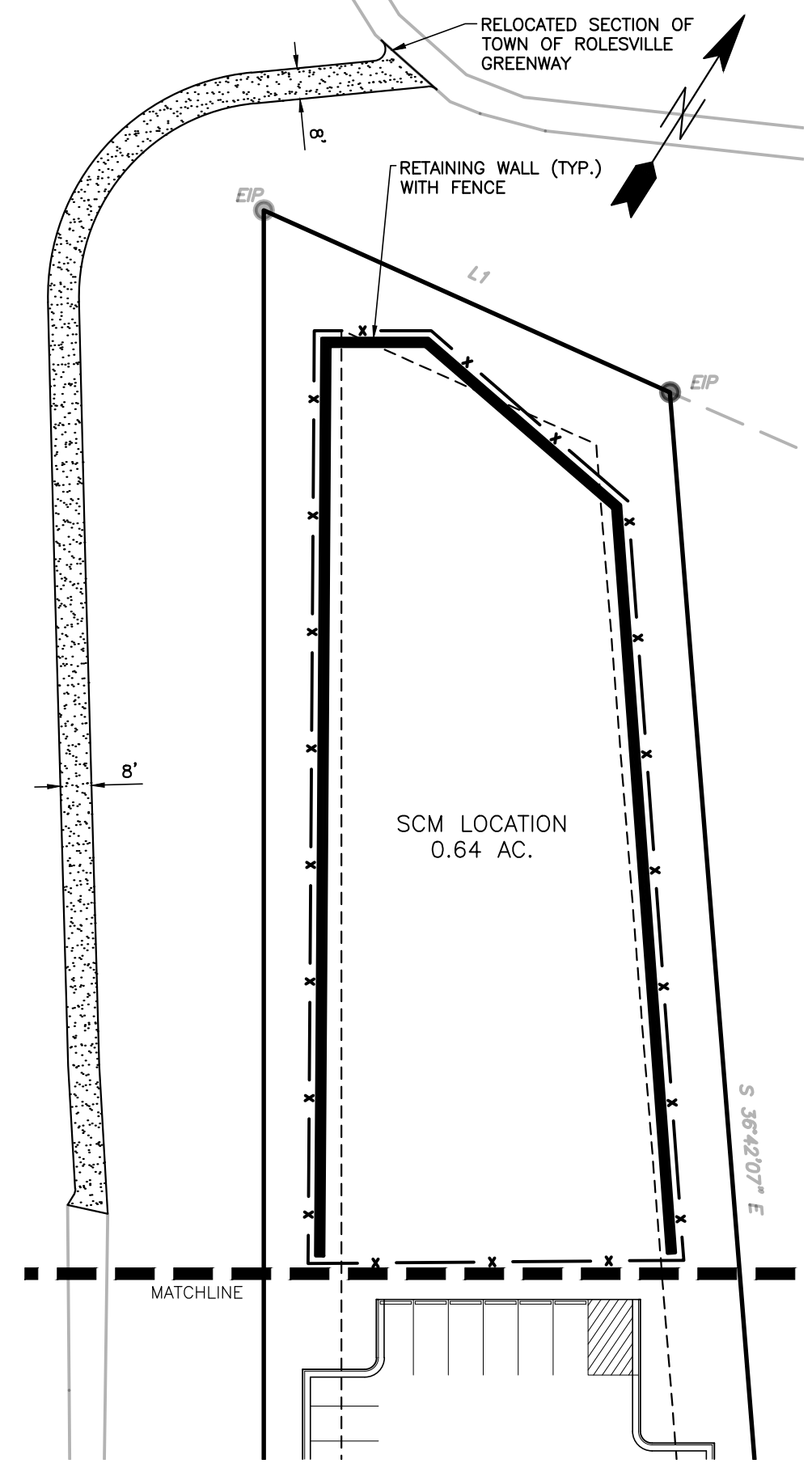
NO.	DATE	DESCRIPTION	BY
1	09-21-23	CHANGES FROM 06-02-22 CD'S	MRM
2	10-16-23	T.O.R. COMMENTS	MRM
3	12-06-23	TOWN OF ROLESVILLE COMMENTS	MRM

REVISIONS

COBBLESTONE VILLAGE
MIXED USE DEVELOPMENT
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SHEET C1.1
 NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

- CONDITIONS OF APPROVAL:**
1. TECHNICAL REVIEW COMMITTEE APPROVAL AND ISSUANCE OF REQUIRED PERMITS FROM ALL AGENCIES MUST BE ACHIEVED AND SUBMITTED FOR REVIEW AND RECORD RETENTION PRIOR TO FINAL SIGNATURE AND APPROVAL OF THE SITE PLAN.
 2. CROSS-CONNECTION ACCESS TO ONE OF THE THREE ADJACENT PROPERTIES TO THE EAST ALONG W. YOUNG STREET (111, 113, AND 115 W. YOUNG STREET) FOR FUTURE DEVELOPMENT WILL BE PROVIDED.
 3. BEST EFFORTS WILL BE MADE FOR GREENWAY ACCESS ACROSS THE TELECOM TOWERS, LLC SITE FOR PEDESTRIAN TRAFFIC FROM OVERFLOW PARKING SITE LOCATED AT THE TERMINUS OF SCARBORO STREET IN MAIN STREET PARK.
 4. BASED UPON TESTIMONY REGARDING SHARED PARKING IN A MIXED-USE DEVELOPMENT, A 15% PARKING REDUCTION IS GRANTED RESULTING IN 467 REQUIRED SPACES.
 5. A MAXIMUM HEIGHT OF 60 FEET IS APPROVED PER THE BUILDING HEIGHT DESIGN ALTERNATIVE FOR THE SITE AS SHOWN ON THE SITE PLAN, PROVIDED ALL OTHER APPLICABLE STANDARDS ACCORDING TO THE LDO ARE MET.
 6. FINAL STREET DESIGN SHALL INCORPORATE A ROUNDABOUT OR OTHER CUT-THROUGH FOR DROP-OFFS CONSISTENT WITH THE DESIGN REQUIREMENTS OF THE TOWN COMMUNITY BUILDING AS PROVIDED BY THE TOWN'S ARCHITECTURAL CONSULTANT.
 7. SLIP APPROVED BY BOARD OF COMMISSIONERS ON OCTOBER 5, 2021.



OVERALL SITE DATA

SITE AREA	10.96 AC (477,418 SF±)	EV CHARGING SPACES (4 TOTAL)	10' PERIMETER BUFFER (TYPICAL) ADJACENT TO RESIDENTIAL USE
P.I.N.	1769-01-1935	352 LF OF 6' OPAQUE WOOD FENCE	BICYCLE RACK (TYPICAL AT EACH BUILDING)
ZONING DISTRICT:	TOWN CENTER (TC)	6' CONC. SIDEWALK ADJACENT TO ALL CURBS	CURB RAMP, TYPE R-2 (TYP.)
USE:	RESIDENTIAL, MIXED USE	MOUNTABLE COURT	
OPEN SPACE AREA:	1.92 AC PROVIDED (1.10 AC REQUIRED, 10%)		
IMPERVIOUS AREA:	7.50 AC		
IMPERVIOUS AREA (%):	68%		
APARTMENT MIX			
1 BEDROOM	96 UNITS		
2 BEDROOM	80 UNITS		
3 BEDROOM	12 UNITS		
TOTAL APARTMENTS	188 UNITS		
RESIDENTIAL DENSITY:	17.15 UNITS/ACRE		
TOTAL RETAIL/FLEX/COMMERCIAL:	53,384 SQUARE FEET		
EVENT SPACE:	0.44 ACRES / 18,976 SQUARE FEET		
PARKING REQUIREMENTS PER TC DISTRICT DEVELOPMENT STANDARDS			
MIXED USE RESIDENTIAL: 2.0 SPACES PER UNIT	188 x 2 = 376 SPACES REQUIRED		
MIXED USE NON-RESIDENTIAL: 3 SPACES PER 1000 GSF	53,384/1000 x 3 = 161 SPACES REQUIRED		
TOTAL PARKING REQUIRED/PROVIDED:	537 SPACES REQUIRED / 468 PROVIDED		
5% OF ON STREET PARKING MAY BE COUNTED AS REQUIRED PARKING (27 ALLOWED / 24 PROVIDED)			
15% PARKING REDUCTION ALLOWED FOR SHARED PARKING: 537 x .85 = 457 REQUIRED / 468 PROVIDED			
BUILDING 1:	51,882 SF APARTMENTS		
BUILDING 2:	11,678 SF RETAIL, 23,356 SF APARTMENTS		
BUILDING 3:	8,612 SF RETAIL, 17,224 SF APARTMENTS		
BUILDING 4:	10,420 SF RETAIL		
BUILDING 5:	5,970 FLEX		
BUILDING 6:	16,704 SF RETAIL, 33,408 SF APARTMENTS		
BUILDING 7:	51,882 SF APARTMENTS		
BUILDING 8:	31,710 SF APARTMENTS		

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

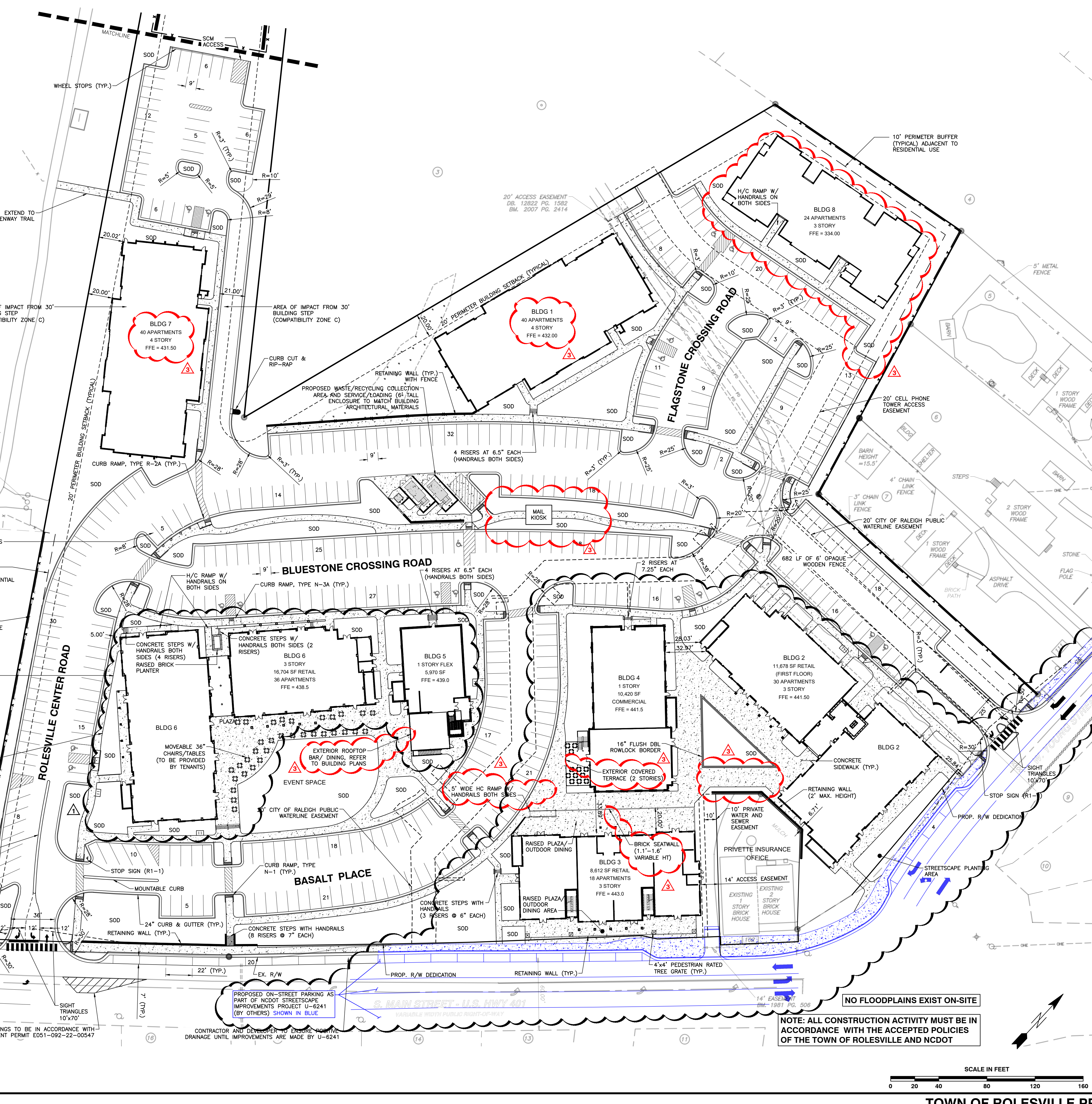
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City of Raleigh Development Approval

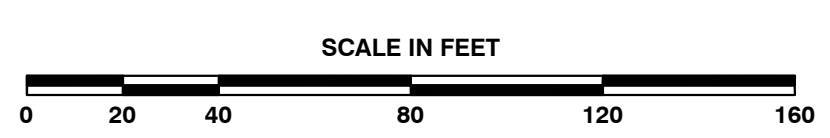
Raleigh Water Review Officer

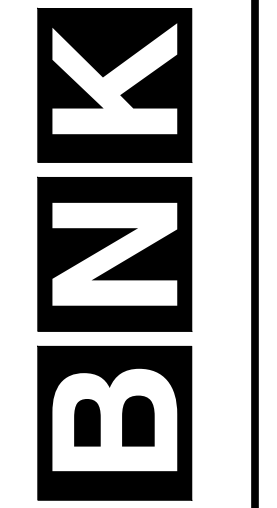
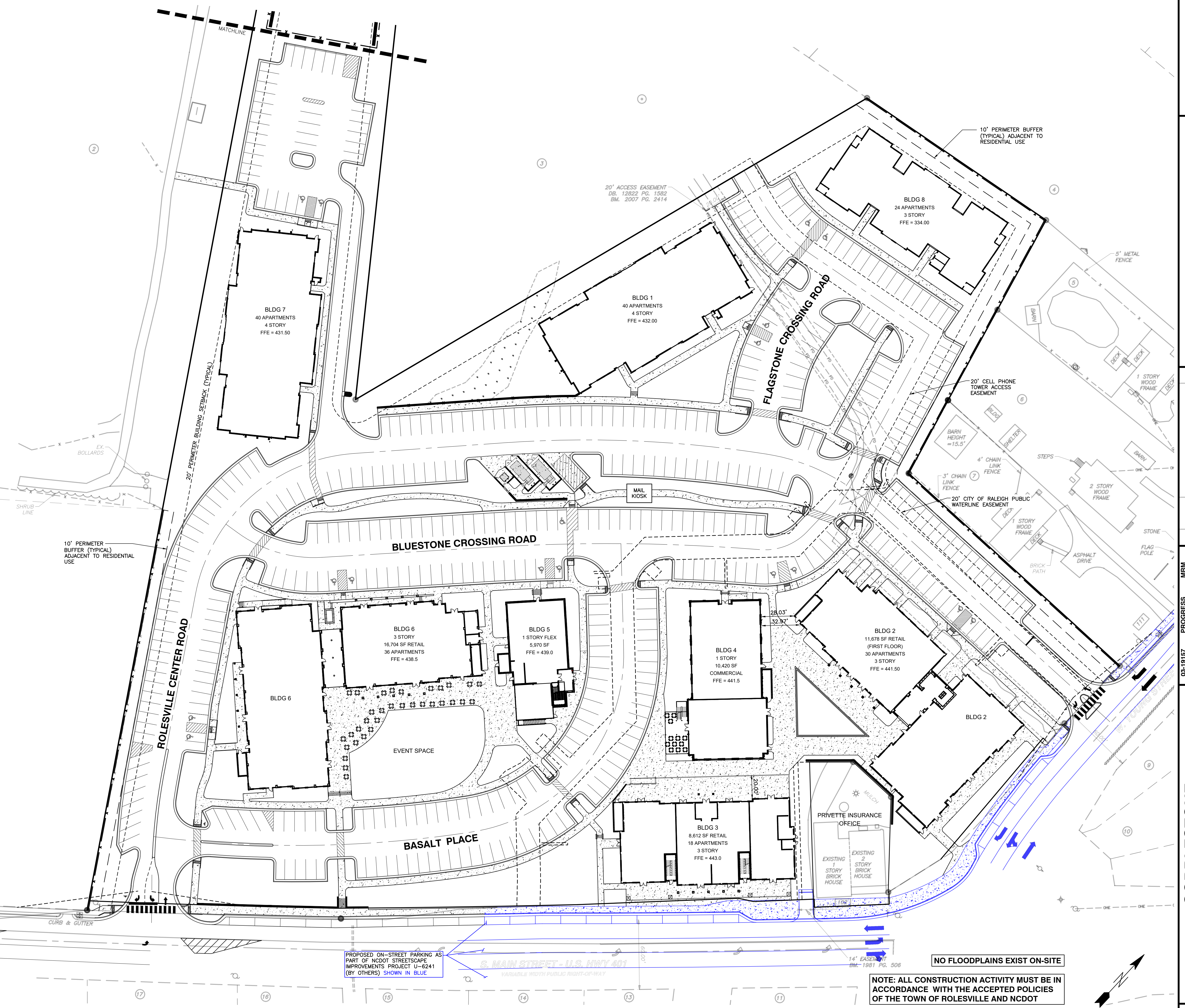
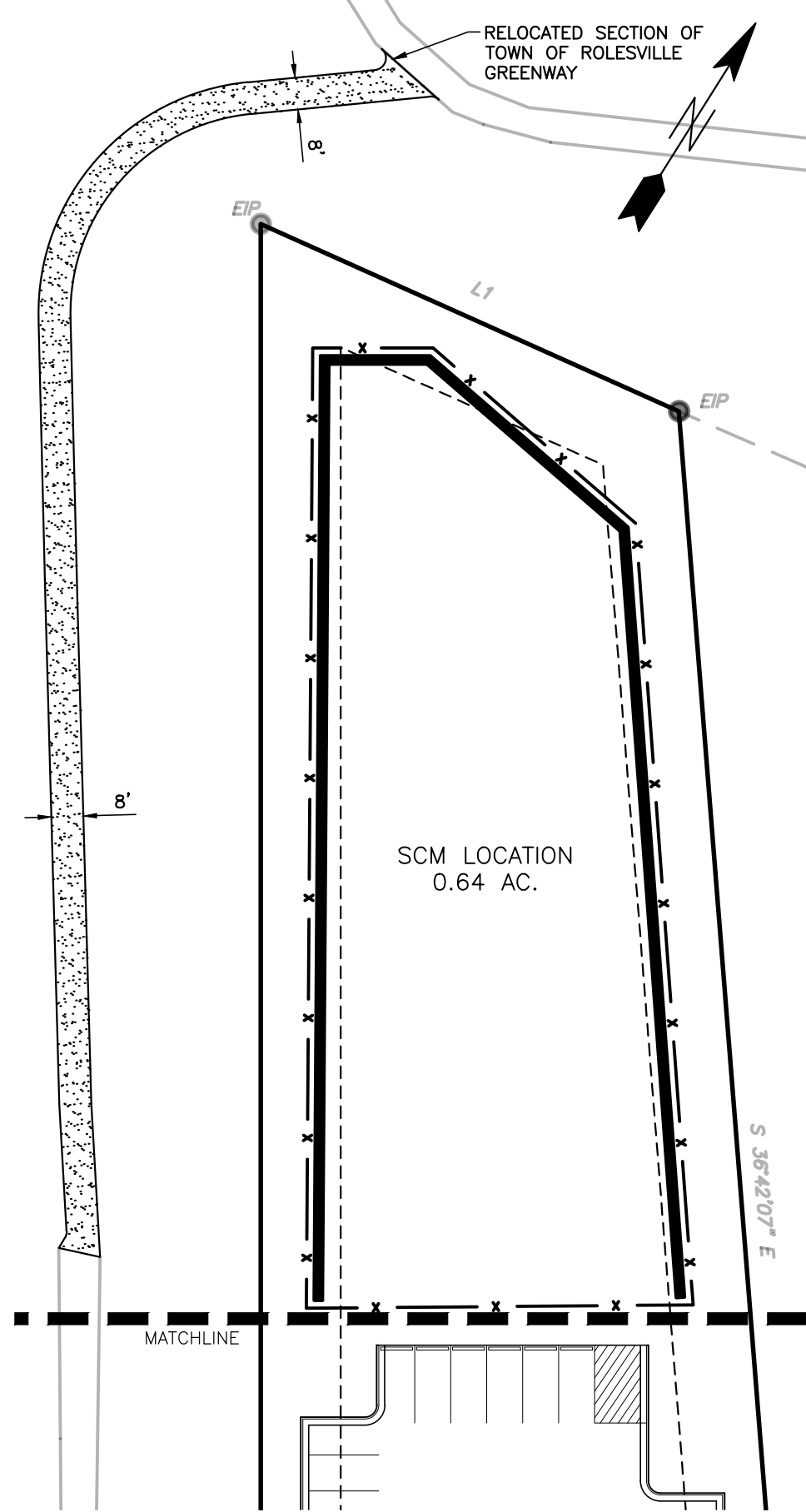
ROADWAY MARKINGS TO BE IN ACCORDANCE WITH NCDOT ENCROACHMENT PERMIT E051-092-22-00547

CONTRACTOR AND DEVELOPER TO VERIFY ALL DRAINAGE UNTIL IMPROVEMENTS ARE MADE BY U-6241



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BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919) 881-1122 FAX: (919) 881-8686
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY
1	09-21-23	CHANGES FROM 06-02-22 CD'S	MRM
2	10-16-23	T.O.R. COMMENTS	MRM
3	12-06-23	TOWN OF ROLESVILLE COMMENTS	MRM

PROGRESS DATE
 03-19-17
 JOB NO.
 19187
 DRAWN BY
 MRM
 CHECKED BY
 MDB
OPEN SPACE PLAN
 SCALE: 1" = 40'

COBBLESTONE VILLAGE
MIXED USE DEVELOPMENT
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SHEET **C1.2**

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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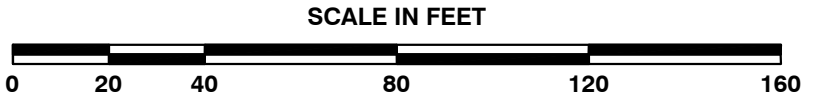
City of Raleigh Development Approval _____
 Raleigh Water Review Officer

PROPOSED ON-STREET PARKING AS PART OF NCDOT STREETSCAPE IMPROVEMENTS PROJECT U-8241 (BY OTHERS) SHOWN IN BLUE

S. MAIN STREET - U.S. HWY 401
 VARIABLE WIDTH PUBLIC RIGHT-OF-WAY
 BM-1981 PG. 506

NO FLOODPLAINS EXIST ON-SITE

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 Raleigh Water Review Officer _____

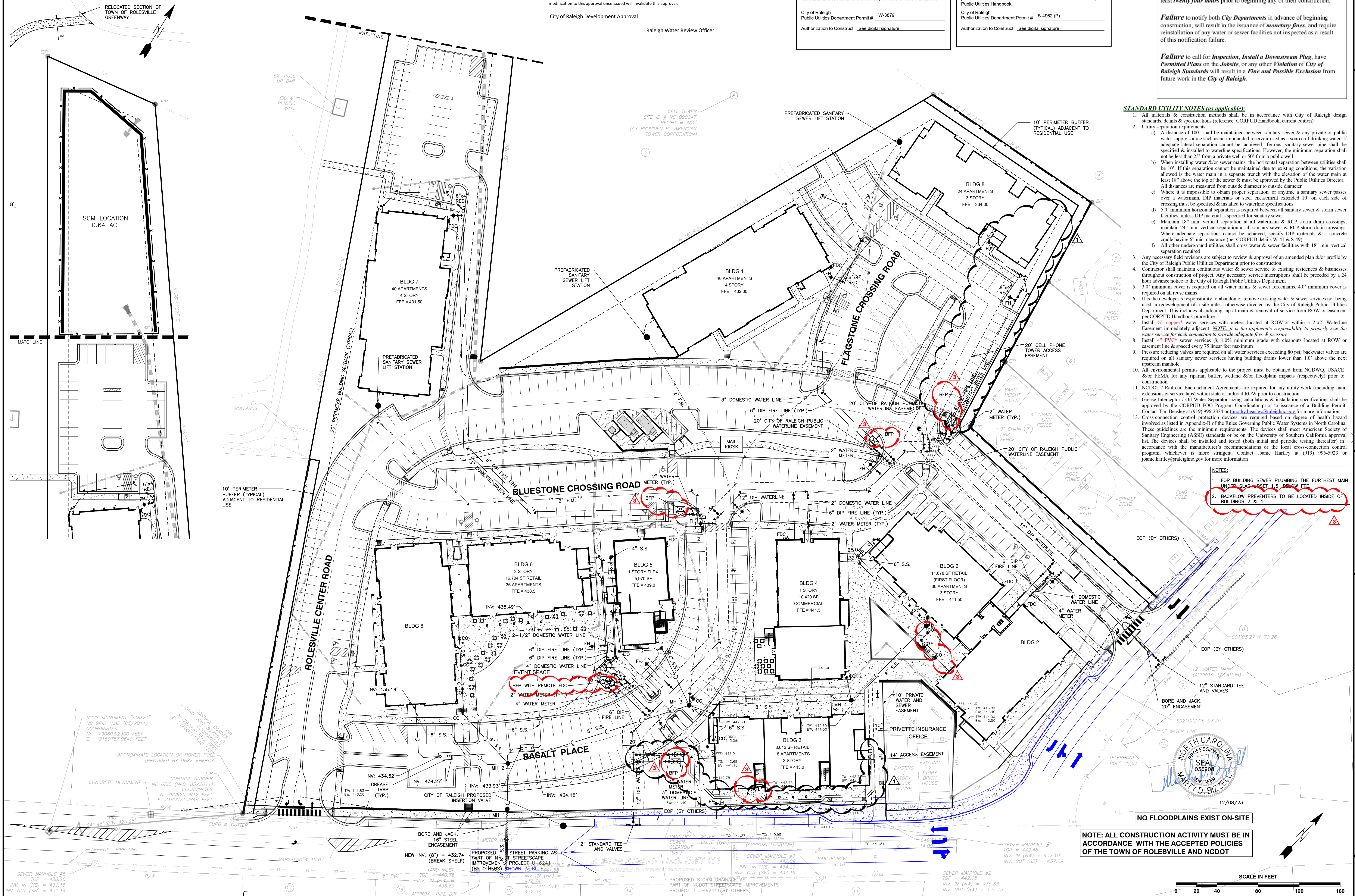
Public
Water Distribution / Extension System
 The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh
 Public Utilities Department Permit # W-3879
 Authorization to Construct See digital signature

Private
Sewer Collection / Extension System
 The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh
 Public Utilities Department Permit # S-4962 (P)
 Authorization to Construct See digital signature

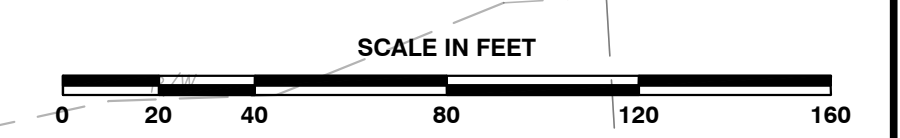
ATTENTION CONTRACTORS
 The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

- STANDARD UTILITY NOTES (as applicable):**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
 - Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications
 - 5.0' minimum horizontal separation is required between sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
 - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
 - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
 - 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
 - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure
 - Install 3/4" copper* water services with meters located at ROW or within a 2'x2' Watertight Easement immediately adjacent. *NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure*
 - Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
 - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
 - All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
 - NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
 - Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Besley at (919) 996-2334 or timothy.besley@raleighnc.gov for more information
 - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information

- NOTES:**
- FOR BUILDING SEWER PLUMBING THE FURTHEST MAIN UNDER SLAB (SET 1.5' BELOW FFE)
 - BACKFLOW PREVENTERS TO BE LOCATED INSIDE OF BUILDINGS 2 & 4.



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CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919) 981-4422 FAX: (919) 981-6868
 CERTIFICATION NUMBERS: NCBELS (C-011); NCBOLA (C-0267)

MRM	DATE	PROGRESS	DESCRIPTION
3	12-06-23	TOWN OF ROLESVILLE COMMENTS	MRM
2	10-16-23	T.O.R. COMMENTS	MRM
1	09-21-23	CHANGES FROM 06-02-23 CDS	MRM
			NO.
			DATE
			DESCRIPTION
			BY
			REVISIONS

UTILITY PLAN
 SHEET C2.1
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 SCALE: 1" = 40'
 CHK BY: MBB

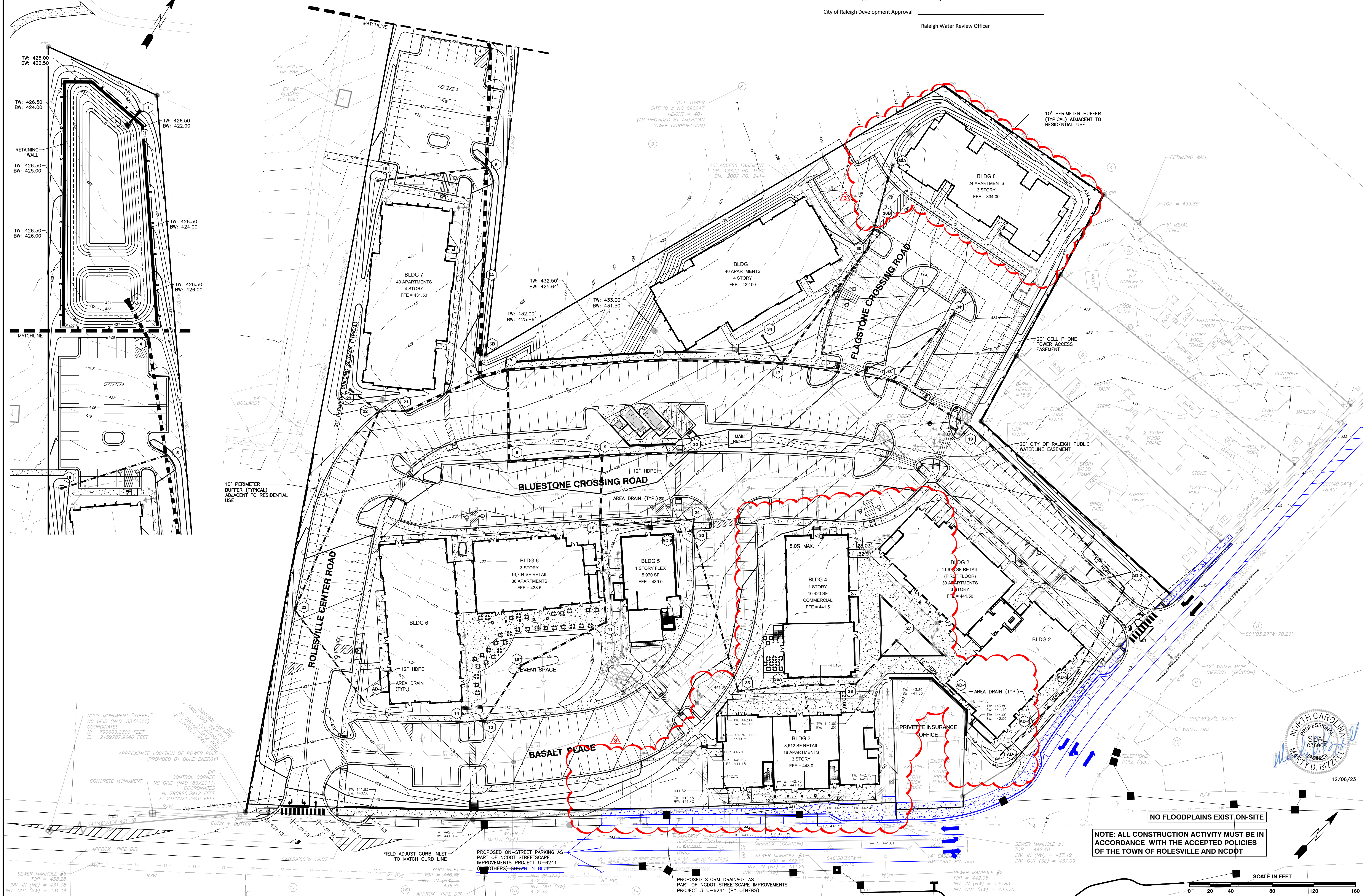
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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Raleigh Water Review Officer _____

Structure	d ₁ (ft)	Velocity (fps)	Length (ft)	Width (ft)	Depth (in)	Type	d ₅₀
FES 1	2.00	7.4	12	6	22	Class 'B'	6" - 13"
FES 3	3.00	6.5	18	9	22	Class 'B'	6" - 13"

* Per NYDOT Dissipator Schedule Fig.1



BASS, NIXON & KENNEDY, INC.
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6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
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NO.	DATE	DESCRIPTION	BY
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1	09-21-23	CHANGES FROM 06-02-22 CD'S	MRM

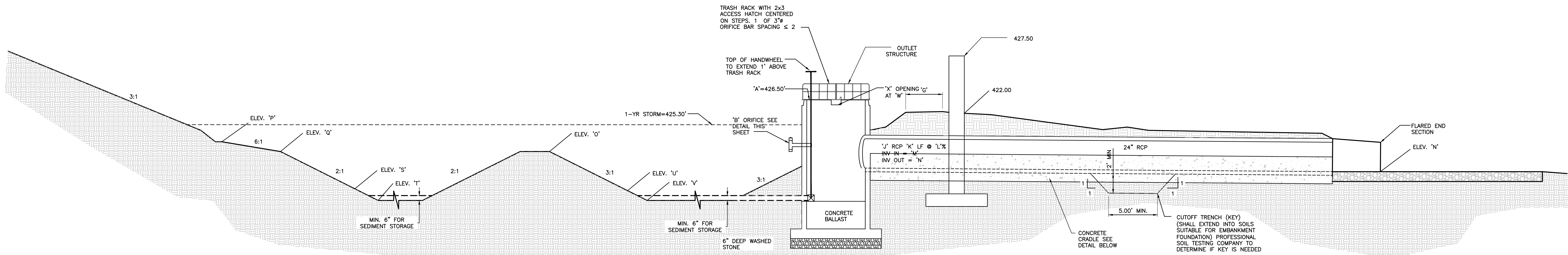
GRADING PLAN
SCALE: 1" = 40'
CHK BY: MDB

COBBLESTONE VILLAGE
MIXED USE DEVELOPMENT
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
SHEET C3.1
TOWN OF ROLESVILLE PROJECT NO. _____



NO FLOODPLAINS EXIST ON-SITE
NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF ROLESVILLE AND NCDOT

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION



CROSS-SECTION OF WET POND A-A

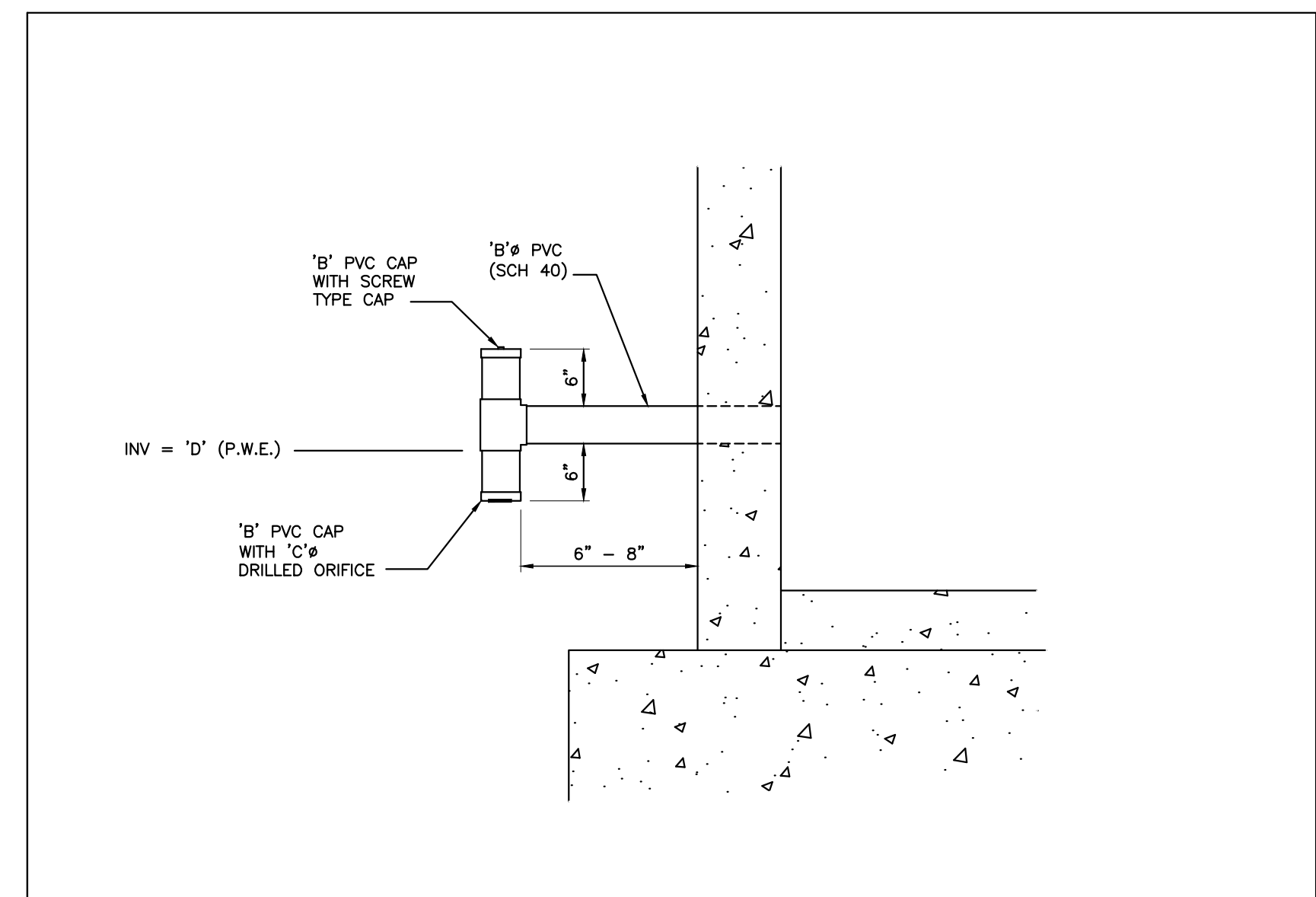
NTS

BOUYANCY CALCULATIONS FOR RISER/BARREL
COBBLESTONE VILLAGE
WET POND - SCM

Square Riser Inside Length (ft):	4.0
Riser Wall Thickness (in):	6
Pond Bottom Elevation (ft):	420.00
Riser Crest Elevation (ft):	426.50
Density of Riser Matt (lb/cf):	150.00
Pipe Inside Diameter (in):	24
Pipe Wall Thickness (in):	3
Length of Pipe Exposed (ft):	1.00
Density H2O (lb/cf):	62.40
Volume H2O Displaced by Riser (cf):	131.63
Weight H2O Displaced by Riser (lb):	8213.40
Volume H2O Displaced by Pipe (cf):	4.91
Weight H2O Displaced by Pipe (lb):	306.31
Total Uplift Force (lb):	8519.71
Weight of Riser (lb):	4,144
Weight of Pipe (lb):	265.07
Pipe/Riser Downward Force (lb):	4408.82

Ballast Concrete:

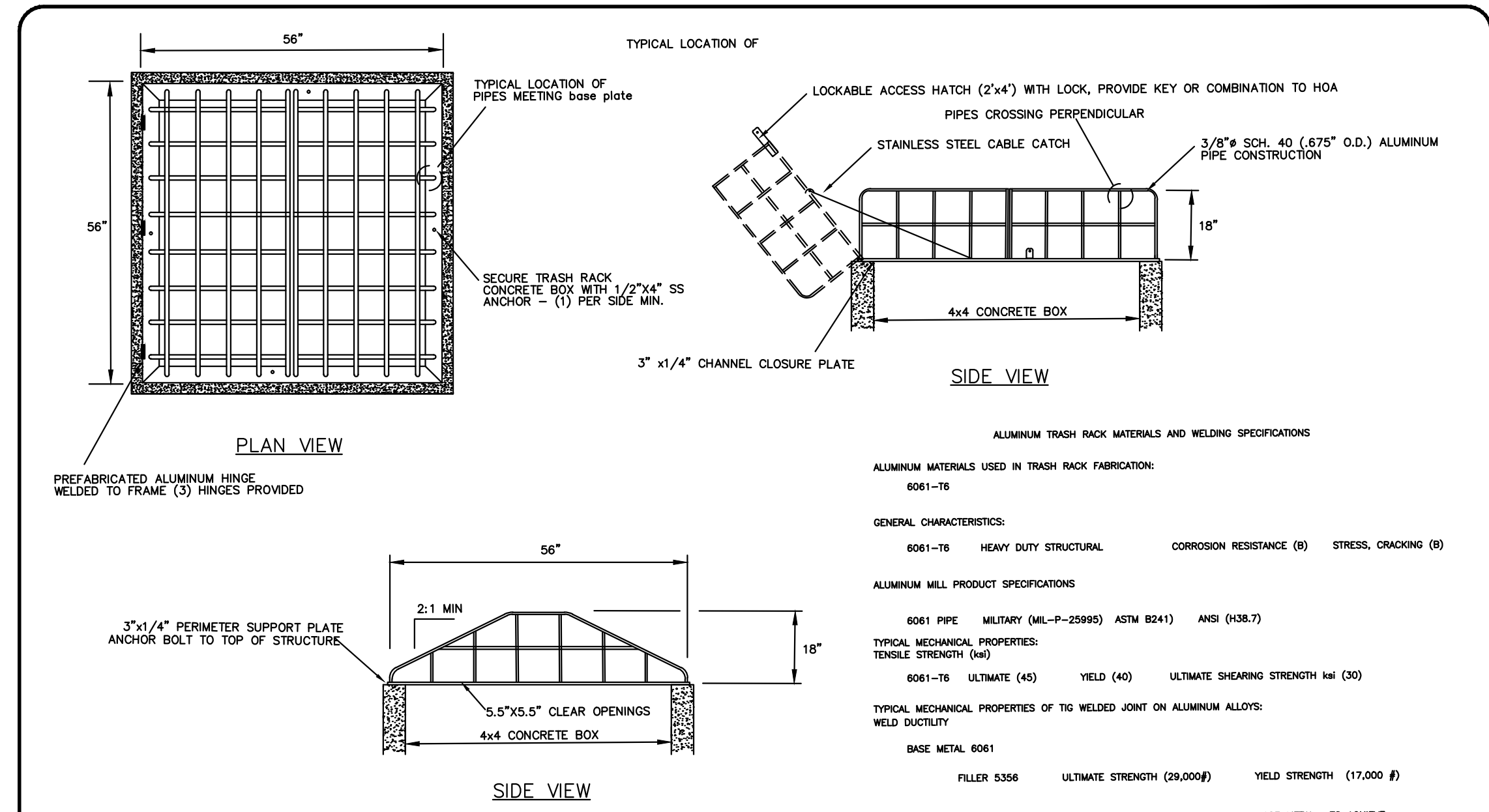
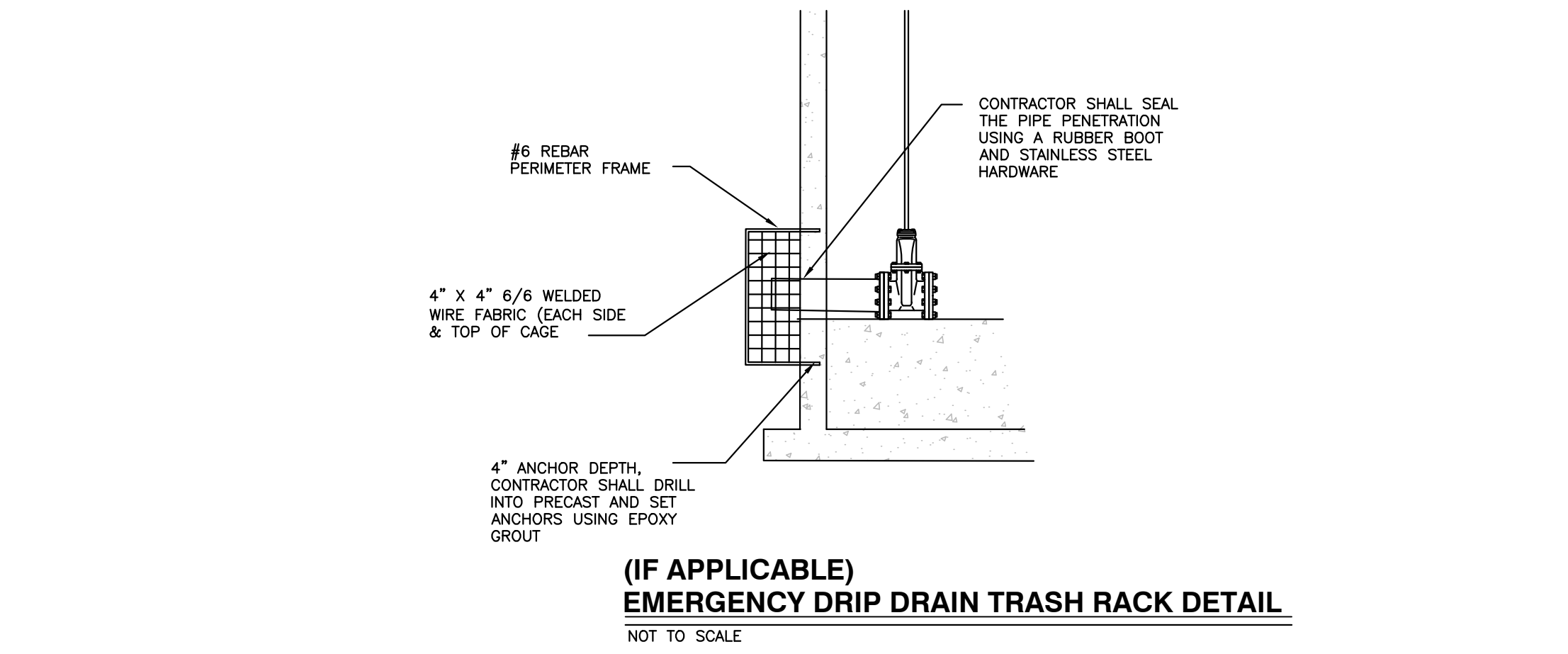
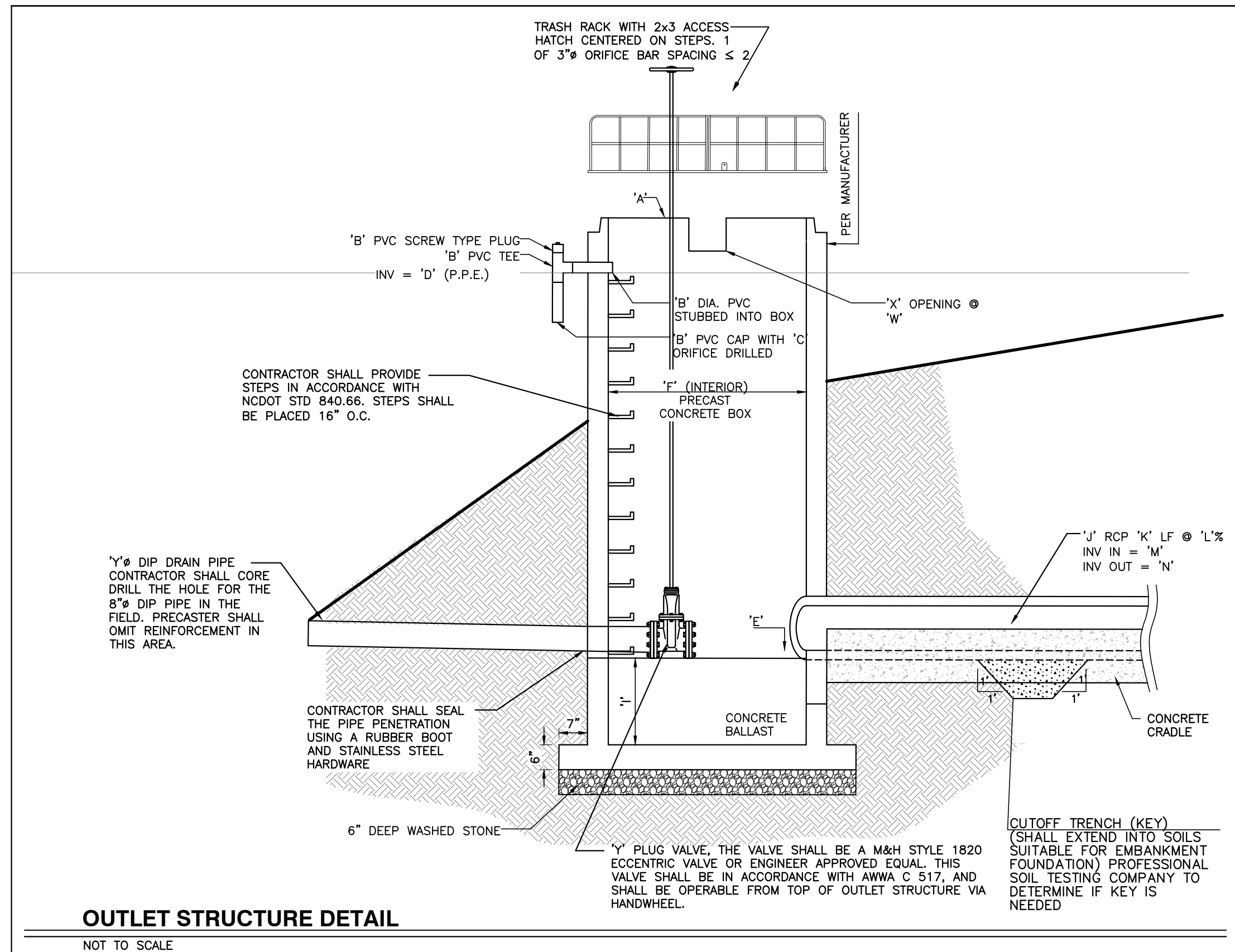
Minimum Factor of Safety:	1.2
Required ballast thickness (in):	37.02
Provided Ballast Thickness (in):	40
Total Downward Force (lb):	10,692
Provided Factor of Safety:	1.25



POND LEGEND - SCM

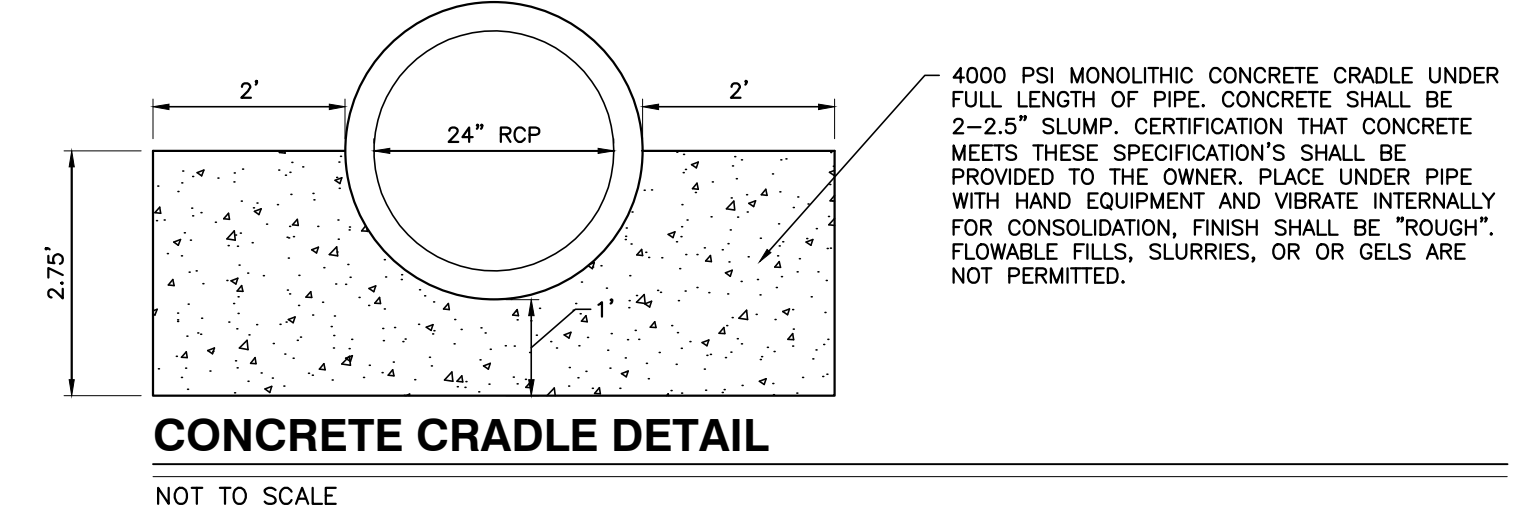
Description	Design	As-Built
A Top of Riser	426.50 ft	
B Diameter of PVC Drawdown Pipe	4 in	
C Drawdown Orifice Opening	2.5 in	
D Drawdown Pipe Elevation / Permanent Pool	424.50 ft	
E Inside Bottom Riser Elevation	420.00 ft	
F Outlet Structure Size	4ft x 4ft	
G Top of Berm Width	10 ft	
H Top of Dam	428.00 ft	
I Ballast Thickness	40 in	
J Size of Outlet Pipe	24 in	
K Length of Outlet Pipe	18 ft	
L Slope of Outlet Pipe	2.78 %	
M Invert in Outlet Pipe	420.00 ft	
N Invert Out Outlet Pipe	419.80 ft	
O Top Elevation Forebay Berm	424.00 ft	
P Elevation Top of Litoral Shelf	425.00 ft	
Q Elevation Bottom of Litoral Shelf	424.00 ft	
R Slope of Litoral Shelf	6:1	
S Sediment Cleanout Elevation Forbay	422.00 ft	
T Bottom Elevation Forebay	421.00 ft	
U Sediment Cleanout Elevation Permanent Pool	421.00 ft	
V Bottom Elevation Permanent Pool	420.00 ft	
W Elevation Secondary Weir	426.20 ft	
X Width Secondary Weir	12 in	

Special Instructions
 Place Drawdown pipe opposite of outlet pipe and ensure a minimum of 12" clearance between drawdown pipe opening and ground elevation to allow for proper drainage. Place secondary weir above drawdown pipe on same side of outlet structure.



TRASH RACK SUBMITTAL - Aluminum Trashrack for 4x4 Box

TRASH RACK DETAIL



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City of Raleigh Development Approval _____

Raleigh Water Review Officer

12/08/23

NO FLOODPLAINS EXIST ON-SITE

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 TELEPHONE: (919)881-4422 FAX: (919)881-6888
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

BMP DETAILS

PROGRESS	DATE	MRM	NO.	DESCRIPTION	BY
1	09-21-23	MRM	1	CHANGES FROM 06-02-22 CDS	MRM
2	10-16-23	MRM	2	T.O.R. COMMENTS	MRM
3	12-08-23	MRM	3	TOWN OF ROLESVILLE COMMENTS	MRM

SCALE: N.T.S. CHK BY: MDB

COBBLESTONE VILLAGE MIXED USE DEVELOPMENT
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SHEET C3.2

CONSTRUCTION SEQUENCE - STAGE 1

- ONCE THE EROSION AND SEDIMENT CONTROL PLAN APPROVAL AND NCGO1 CERTIFICATE OF COVERAGE ARE OBTAINED, SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT, OBTAIN A LAND-DISTURBANCE PERMIT.
- INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SKIMMER SEDIMENT BASINS AND OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
- CALL ENVIRONMENTAL CONSULTANT FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDEED AREAS PER GROUND STABILIZATION TIME FRAMES.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, ALLEY PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDEED AREAS PER GROUND STABILIZATION TIME FRAMES.
- CALL ENVIRONMENTAL CONSULTANT FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT PRIOR TO THE REMOVAL OF SKIMMER SEDIMENT BASIN #1.
- CONTINUE TO SOIL EROSION PLAN STAGE 2 ONCE SKIMMER BASIN #1 HAS BEEN REMOVED.

NOTE: WAKE COUNTY MUST GRANT PERMISSION TO CONVERT THE SEDIMENT BASIN OVER TO THE STORMWATER USE PRIOR TO COMPLETING ANY RELATED WORK.

TOTAL DISTURBED AREA = 11.0 AC

DENUDED AREA = 10.96 AC

REQUIRED WAKE COUNTY BASIN REMOVAL AND/OR CONVERSION SEQUENCE

- SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE IF A BASIN CAN BE REMOVED OR CONVERTED TO A PERMANENT STORMWATER POND. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO REMOVAL OF THE BASIN.
- UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SEDIMENT BASIN SURFACE FOR DRAW DOWN OF WATER IN BASIN FOR MAINTENANCE OR CLOSE OUT UNLESS INFEASIBLE. SEE REQUIREMENTS OF NCGO1 PERMIT PART 1, SECTION C, ITEM (4) ENTITLED "DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT" AND REFER TO WAKE COUNTY "FILTER BAG FOR Dewatering ACTIVITIES" CONSTRUCTION DETAIL.
- REMOVE BASIN(S) AND ASSOCIATED TEMPORARY DIVERSION DITCHES, IF CULVERT PIPES NEED TO BE EXTENDED, PERFORM THIS OPERATION AT THIS TIME. FINE GRADE AREA IN PREPARATION FOR SEEDING.
- PERFORM SEEDBED PREPARATION, SEED, MULCH AND ASPHALT TACK ANY RESULTING BARE AREAS IMMEDIATELY.
- INSTALL VELOCITY DISSIPATORS AND/OR LEVEL SPREADERS AS REQUIRED ON THE EROSION CONTROL PLAN.
- WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL CONSULTANT FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVICE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION. NOTE: A MEETING SHOULD ALSO BE SCHEDULED WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE WHEN A BASIN MAY BE CONVERTED FOR STORMWATER USE. SOME MUNICIPALITIES MAY ALSO REQUIRE THIS.

SEDIMENT BASIN SUMMARY CHART

Structure Number	1	2	3
Drainage Area (Acres)	3.42	4.61	0.8
Drainage Area (Sq. Ft)	(0.5)(7.22)(3.42)=12.35	(0.5)(7.22)(4.61)=16.64	(0.5)(7.22)(0.60)=2.17
Weir Size (ft)	10 x 1.5	10 x 1.5	10 x 1.5
Surface Area Required (SF)	(435)(12.35)=5,372	(435)(16.64)=7,238	(435)(2.17)=944
Volume Required (CF)	(1800)(3.42)=6,156	(1800)(4.61)=8,298	(1800)(0.60)=1,080
Dimensions (ft)	see plans	see plans	see plans
Surface Area Provided (SF)	5,400	10,640	1,584
Volume Provided (CF)	13,572	27,636	2,563
Skimmer Size	4"	4"	3"
Orifice Radius	0.5"	0.5"	0.25
Orifice Diameter	1.0"	1.25"	0.5
Drawdown Time (days)	4.62	3.98	3.74
Number of Baffles	3	3	3

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Raleigh Water Review Officer _____

DITCH/CHANNEL CALCULATIONS

DIVERSION DITCH ID	LENGTH (LF)	DA (Ac)	Q10 (CFS)	SLOPE (%)	V10 (FPS)	LINER*	PERMISSIBLE SHEAR STRESS (PSF)	CALCULATED SHEAR STRESS (PSF)
DV-1	296	1.02	2.34	2.00	2.01	SC150	2.00	0.78
DV-2	495	1.00	2.30	2.60	2.29	SC150	2.00	0.84
DV-3	442	0.52	1.19	1.80	0.92	SC150	1.80	0.29
DV-4	167	0.08	0.13	2.90	0.96	SC150	1.80	0.38

* NAG = NORTH AMERICAN GREEN OR EQUIVALENT

Skimmer Basin #1

Okay

3.42 Drainage Area (Acres)
12.35 Peak Flow from 10-year Storm (cfs)

6159 Required Volume (ft³)
5372 Required Surface Area (ft²)
51.8 Suggested Width (ft)
103.7 Suggested Length (ft)

54 Trial Top Width at Spillway Invert (ft)
100 Trial Top Length at Spillway Invert (ft)
2 Trial Side Slope Ratio Z:1
3 Trial Depth (ft) (2 to 3.5 feet above grade)
48 Bottom Width (ft)
88 Bottom Length (ft)
3968 Bottom Area (ft²)
1572 Actual Volume (ft³)
5400 Actual Surface Area (ft²)

10 Trial Weir Length (ft)
0.75 Suggested Trial Depth of Flow (ft)
39.0 Spillway Capacity (cfs)

Skimmer Size (Inches)
0.333 Head on Skimmer (feet)
1.25 Orifice Size (1/4 inch increments)
4.62 Dewatering Time (days)
Required 3 to 5 days for Wake County

Skimmer Basin #2

Okay

4.61 Drainage Area (Acres)
16.64 Peak Flow from 10-year Storm (cfs)

8298 Required Volume (ft³)
7238 Required Surface Area (ft²)
60.2 Suggested Width (ft)
133.3 Suggested Length (ft)

56 Trial Top Width at Spillway Invert (ft)
190 Trial Top Length at Spillway Invert (ft)
2 Trial Side Slope Ratio Z:1
3 Trial Depth (ft) (2 to 3.5 feet above grade)
44 Bottom Width (ft)
178 Bottom Length (ft)
3968 Bottom Area (ft²)
2763 Actual Volume (ft³)
10640 Actual Surface Area (ft²)

20 Trial Weir Length (ft)
0.75 Suggested Trial Depth of Flow (ft)
39.0 Spillway Capacity (cfs)

Skimmer Size (Inches)
0.333 Head on Skimmer (feet)
1.25 Orifice Size (1/4 inch increments)
3.98 Dewatering Time (days)
Required 3 to 5 days for Wake County

Skimmer Basin #3

Okay

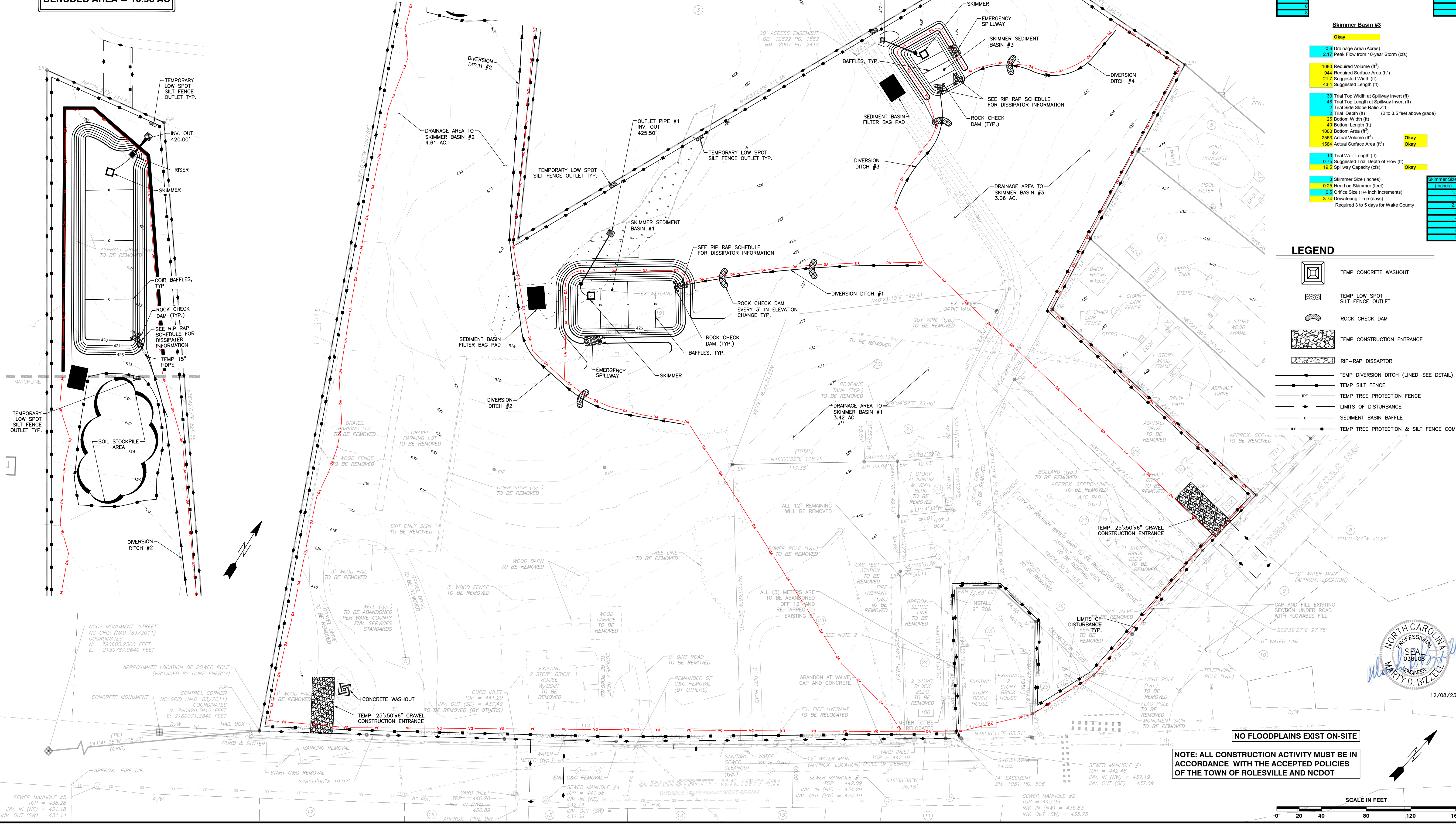
0.8 Drainage Area (Acres)
2.17 Peak Flow from 10-year Storm (cfs)

1080 Required Volume (ft³)
944 Required Surface Area (ft²)
21.7 Suggested Width (ft)
43.4 Suggested Length (ft)

33 Trial Top Width at Spillway Invert (ft)
48 Trial Top Length at Spillway Invert (ft)
2 Trial Side Slope Ratio Z:1
2 Trial Depth (ft) (2 to 3.5 feet above grade)
23 Bottom Width (ft)
40 Bottom Length (ft)
1000 Bottom Area (ft²)
2563 Actual Volume (ft³)
1584 Actual Surface Area (ft²)

10 Trial Weir Length (ft)
0.75 Suggested Trial Depth of Flow (ft)
19.5 Spillway Capacity (cfs)

Skimmer Size (Inches)
0.25 Head on Skimmer (feet)
0.9 Orifice Size (1/4 inch increments)
3.74 Dewatering Time (days)
Required 3 to 5 days for Wake County



LEGEND

- TEMP CONCRETE WASHOUT
- TEMP LOW SPOT SILT FENCE OUTLET
- ROCK CHECK DAM
- TEMP CONSTRUCTION ENTRANCE
- RIP-RAP DISSIPATOR
- TEMP DIVERSION DITCH (LINED-SEE DETAIL)
- TEMP SILT FENCE
- TEMP TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- SEDIMENT BASIN BAFFLE
- TEMP TREE PROTECTION & SILT FENCE COMBO

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF ROLESVILLE AND NCDOT

SCALE IN FEET
0 20 40 80 120 160

BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
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TELEPHONE: (919)881-4422 FAX: (919)881-6886
CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

PROGRESS	MRM	DATE	DRAWN BY	NO.	DESCRIPTION	REVISIONS
3	15-06-23	TOWN OF ROLESVILLE COMMENTS	MRM			
2	10-16-23	T.O.R. COMMENTS	MRM			
1	09-21-23	CHANGES FROM 06-05-23 CDS	MRM			

03-19187
EROSION CONTROL PLAN - STAGE 1
SCALE: 1" = 40'
CHK BY: MDB

COBBLESTONE VILLAGE MIXED USE DEVELOPMENT
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SHEET C3.3

TOWN OF ROLESVILLE PROJECT NO. _____

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

CONSTRUCTION SEQUENCE - STAGE 2

- BEGIN CONSTRUCTION OF ALL BUILDINGS.
- STABILIZE SITE AS NEW DISTURBED AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDDED AREAS PER GROUND STABILIZATION TIME FRAMES.
- WHEN CONSTRUCTION OF PARKING LOTS ARE COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ENVIRONMENTAL CONSULTANT FOR AN INSPECTION.
- IF THE SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.

NOTE: WAKE COUNTY MUST GRANT PERMISSION TO CONVERT THE SEDIMENT BASIN OVER TO THE STORMWATER USE PRIOR TO COMPLETING ANY RELATED WORK.

TOTAL DISTURBED AREA = 10.96 AC

ENVIRONMENTAL CONSULTANT: JEEVAN NEUPANE (919-819-8907)

REQUIRED WAKE COUNTY BASIN REMOVAL AND/OR CONVERSION SEQUENCE

- SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE IF A BASIN CAN BE REMOVED OR CONVERTED TO A PERMANENT STORMWATER POND. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO REMOVAL OF THE BASIN.
- UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SEDIMENT BASIN SURFACE FOR DRAW DOWN OF WATER IN BASIN FOR MAINTENANCE OR CLOSE OUT UNLESS INFEASIBLE. SEE REQUIREMENTS OF NCG01 PERMIT PART II, SECTION C, ITEM (4) ENTITLED "DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT" AND REFER TO WAKE COUNTY "FILTER BAG FOR DEWATERING ACTIVITIES" CONSTRUCTION DETAIL.
- REMOVE BASIN(S) AND ASSOCIATED TEMPORARY DIVERSION DITCHES. IF CULVERT PIPES NEED TO BE EXTENDED, PERFORM THIS OPERATION AT THIS TIME. FINE GRADE AREA IN PREPARATION FOR SEEDING.
- PERFORM SEEDBED PREPARATION, SEED, MULCH AND ASPHALT TACK ANY RESULTING BARE AREAS IMMEDIATELY.
- INSTALL VELOCITY DISSIPATORS AND/OR LEVEL SPREADERS AS REQUIRED ON THE EROSION CONTROL PLAN.
- WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL CONSULTANT FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVISE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION. NOTE: A MEETING SHOULD ALSO BE SCHEDULED WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE WHEN A BASIN MAY BE CONVERTED FOR STORMWATER USE. SOME MUNICIPALITIES MAY ALSO REQUIRE THIS.

Skimmer Basin #2

6.99 Drainage Area (Acres)	Okay
25.23 Peak Flow from 10-year Storm (cfs)	
12582 Required Volume (ft ³)	
10975 Required Surface Area (ft ²)	
74.1 Suggested Width (ft)	
148.2 Suggested Length (ft)	
58 Trial Top Width at Spillway Invert (ft)	
190 Trial Top Length at Spillway Invert (ft)	
2 Trial Side Slope Ratio 2:1	
3 Trial Depth (ft) (2 to 3.5 feet above grade)	
48 Bottom Width (ft)	
178 Bottom Length (ft)	
6188 Bottom Area (ft ²)	
28740 Actual Volume (ft ³)	Okay
11020 Trial Weir Length (ft)	Okay
0.75 Suggested Trial Depth of Flow (ft)	Okay
39.9 Spillway Capacity (cfs)	Okay
4 Skimmer Size (inches)	
0.333 Head on Skimmer (feet)	
1.8 Orifice Size (1/4 inch increments)	
4.20 Dewatering Time (days)	

SEDIMENT BASIN SUMMARY CHART

Sediment Basin Number	1	2
Drainage Area (acres)	1.74	6.99
Q10(cfs)	(0.5)(7.22)(1.74)=6.28	(0.5)(7.22)(6.99)=25.23
Weir Size (ft)	10 x 1.5	10 x 1.5
Surface Area Required (SF)	(435)(6.28)=2,732	(435)(25.23)=10,975
Volume Required (CF)	(1800)(1.74)=3,132	(1800)(6.99)=12,582
Dimensions (ft)	see plans	see plans
Surface Area Provided (SF)	2,800	11,000
Volume Provided (CF)	5,648	27,800
Skimmer Size	4"	4"
Orifice Radius	0.4"	0.75"
Orifice Diameter	0.75"	1.5"
Drawdown Time (Days)	4.18	4.2
Number of Baffles	3	3

DITCH/CHANNEL CALCULATIONS

DIVERSION DITCH ID	LENGTH (LF)	DA (Ac)	Q10 (CFS)	SLOPE (%)	V10 (FPS)	LINER *	PERMISSIBLE SHEAR STRESS (PSF)	CALCULATED SHEAR STRESS (PSF)
DV-1	296	1.02	2.34	2.00	2.01	SC150	2.00	0.78
DV-2	495	1.00	2.30	2.60	2.29	SC150	2.00	0.94
DV-3	442	0.52	1.19	1.80	0.92	SC150	1.80	0.29
DV-4	167	0.06	0.13	2.90	0.96	SC150	1.80	0.38

* NAG = NORTH AMERICAN GREEN OR EQUIVALENT

LEGEND

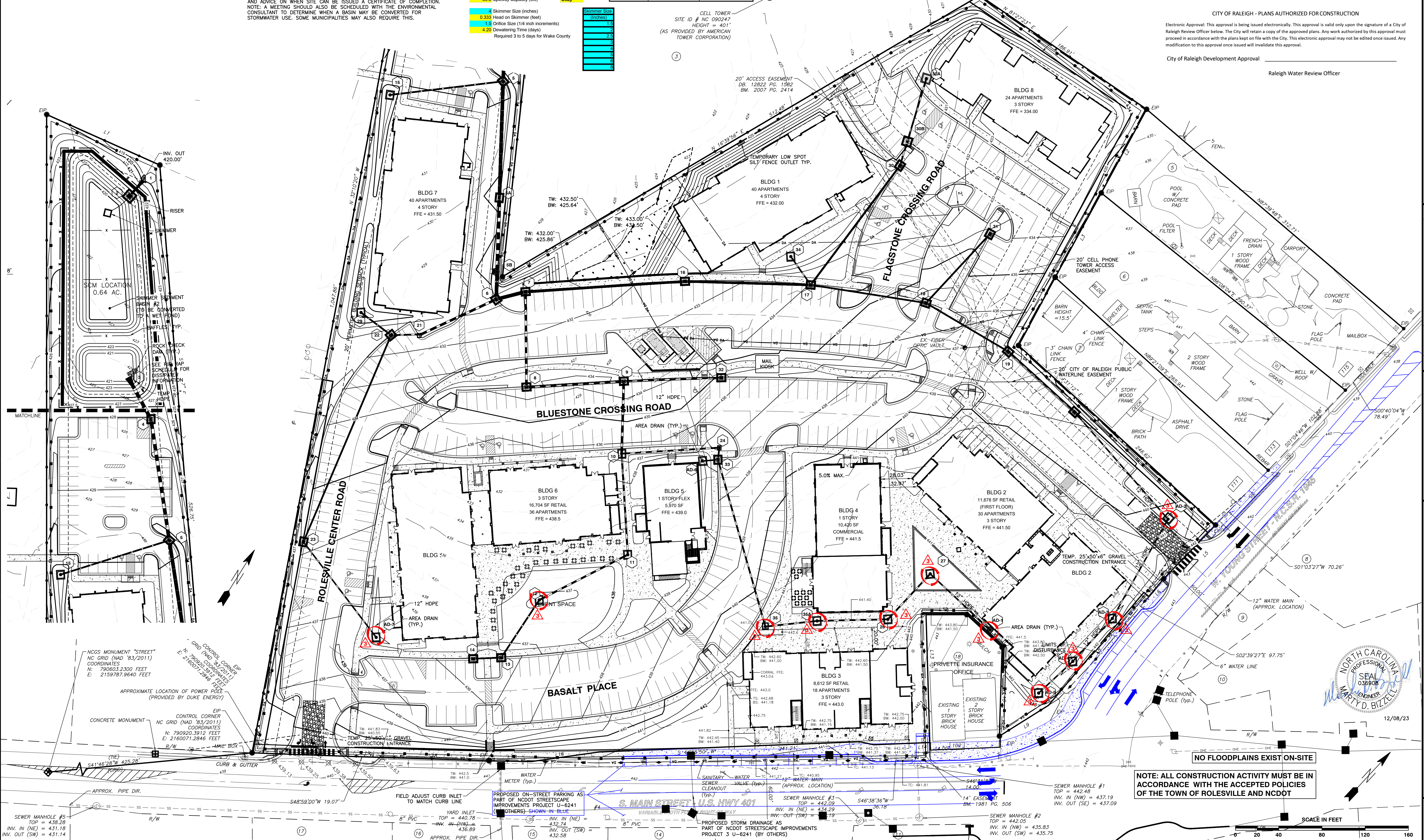
- TEMP CONSTRUCTION ENTRANCE
- TEMP LOW SPOT SILT FENCE OUTLET
- TEMP INLET PROTECTION
- RIP-RAP DISSIPATOR
- TEMP SILT FENCE
- TEMP TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- SEDIMENT BASIN BAFFLE
- TEMP TREE PROTECTION & SILT FENCE COMBO

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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City of Raleigh Development Approval

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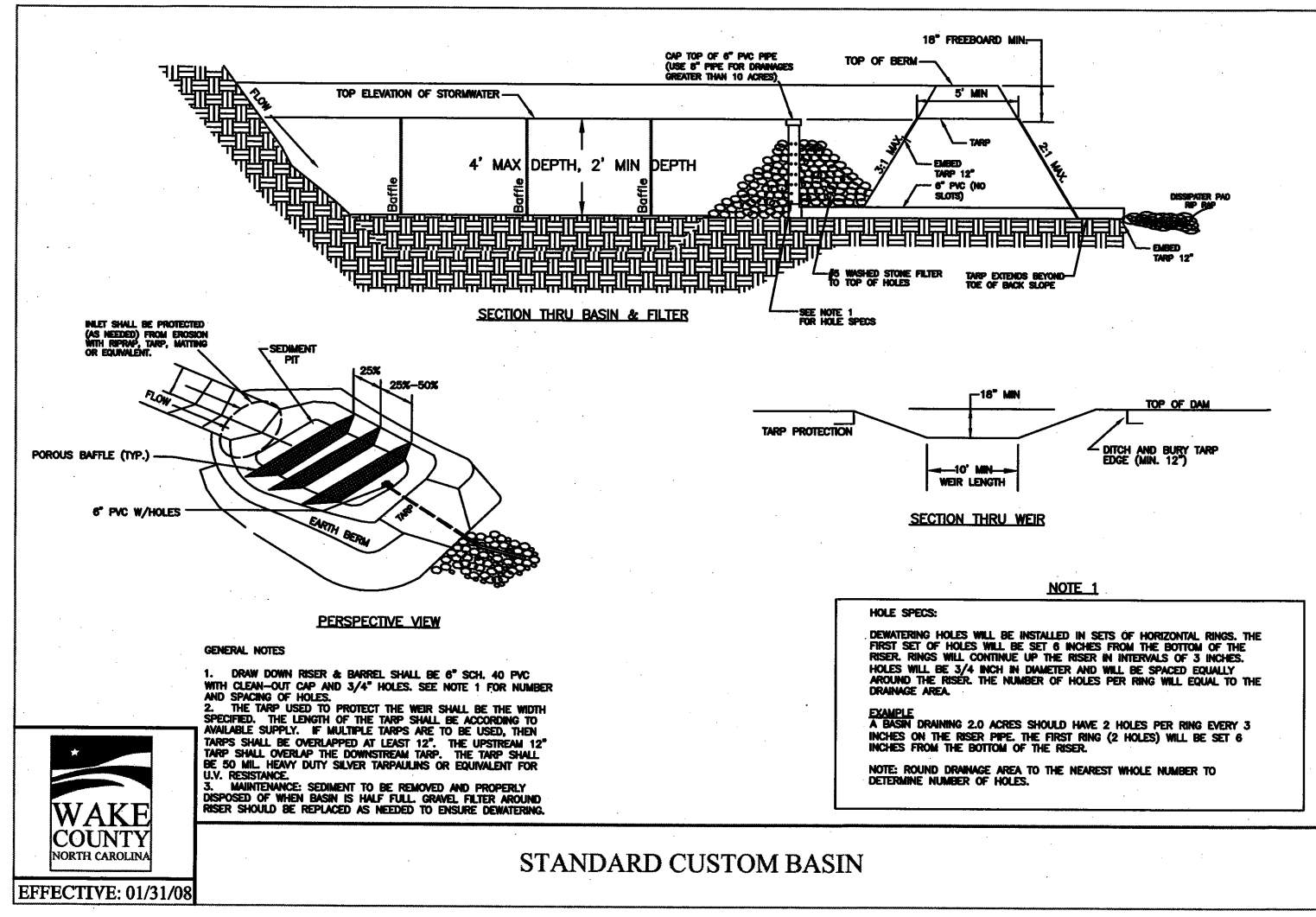
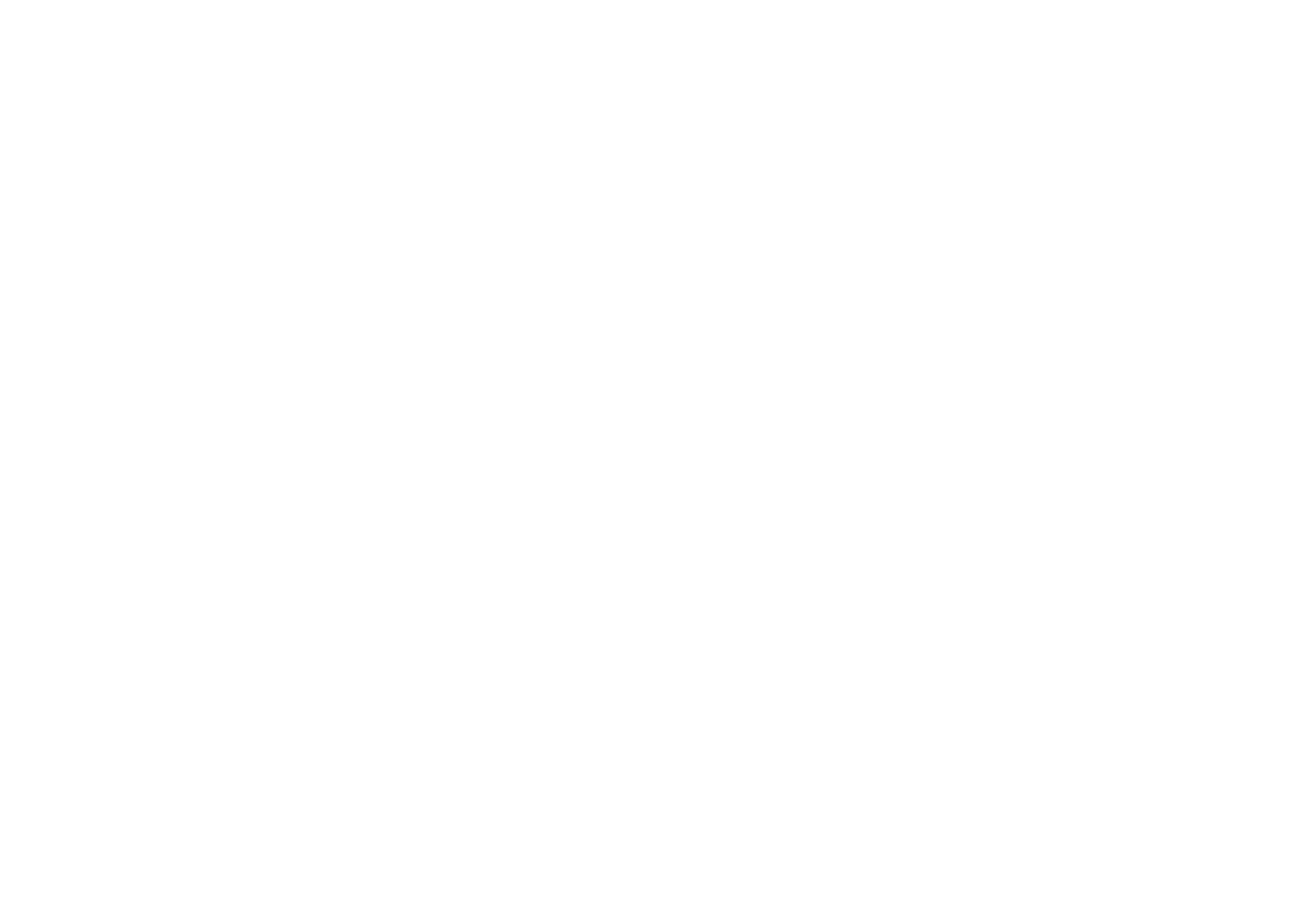
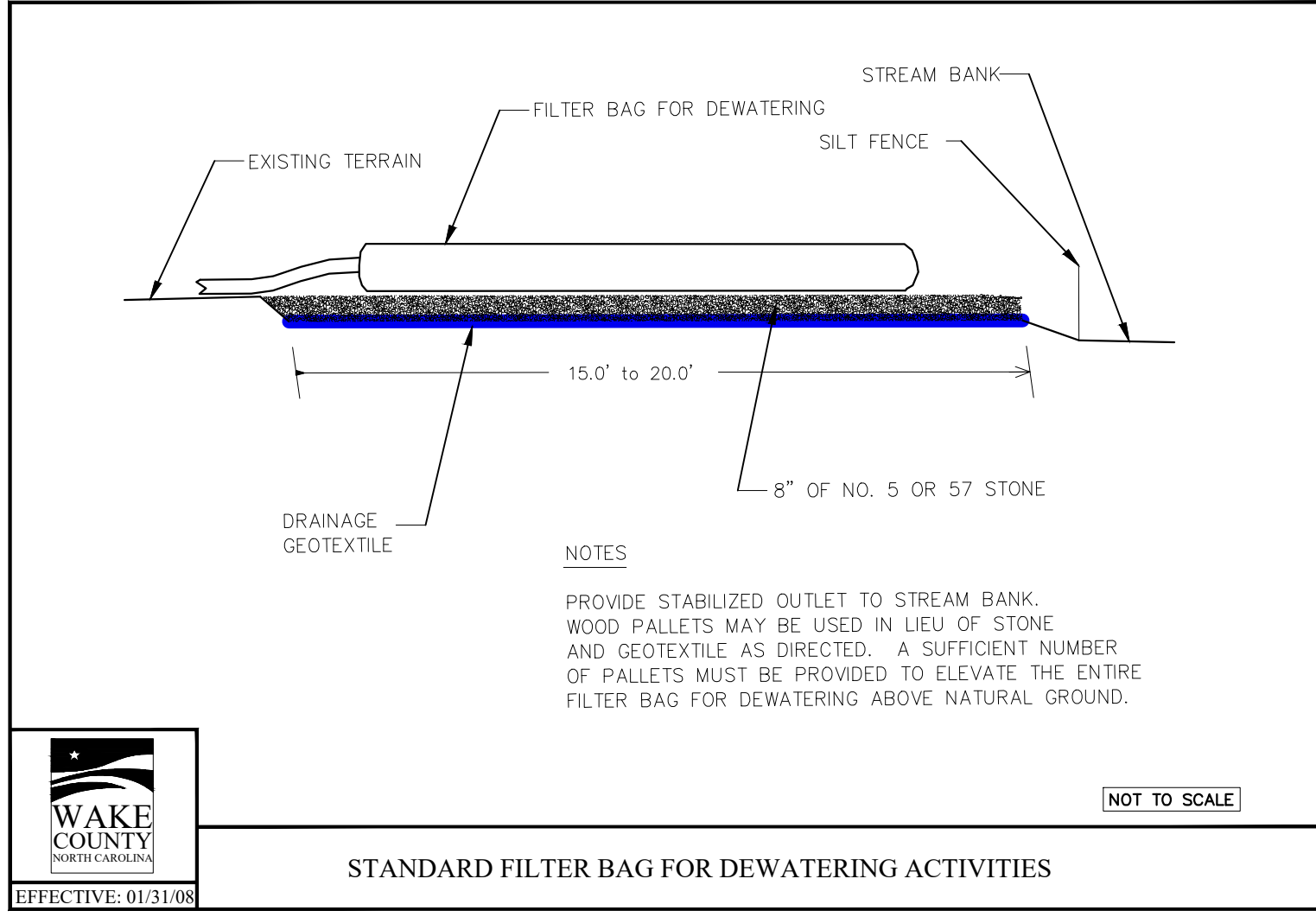
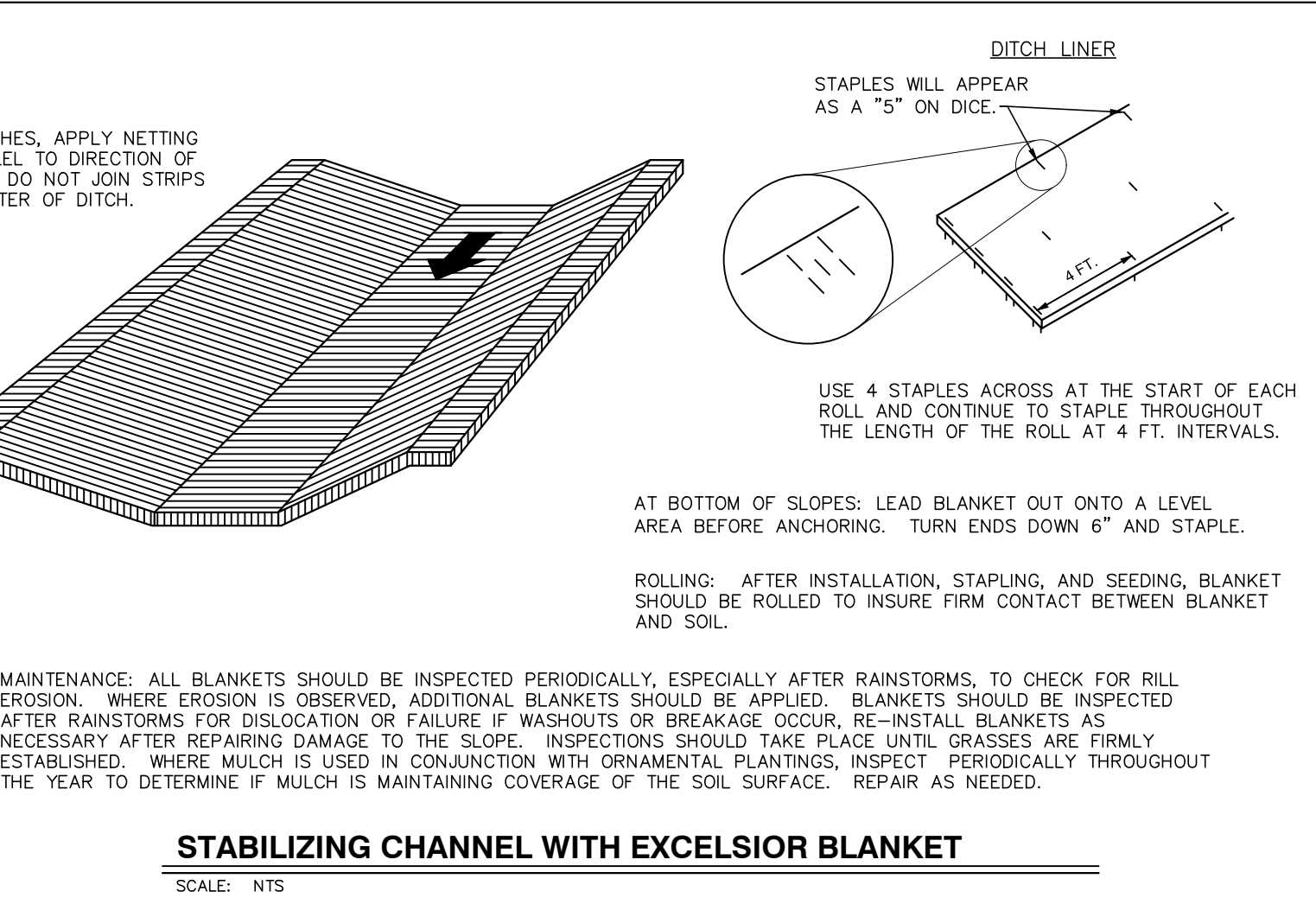
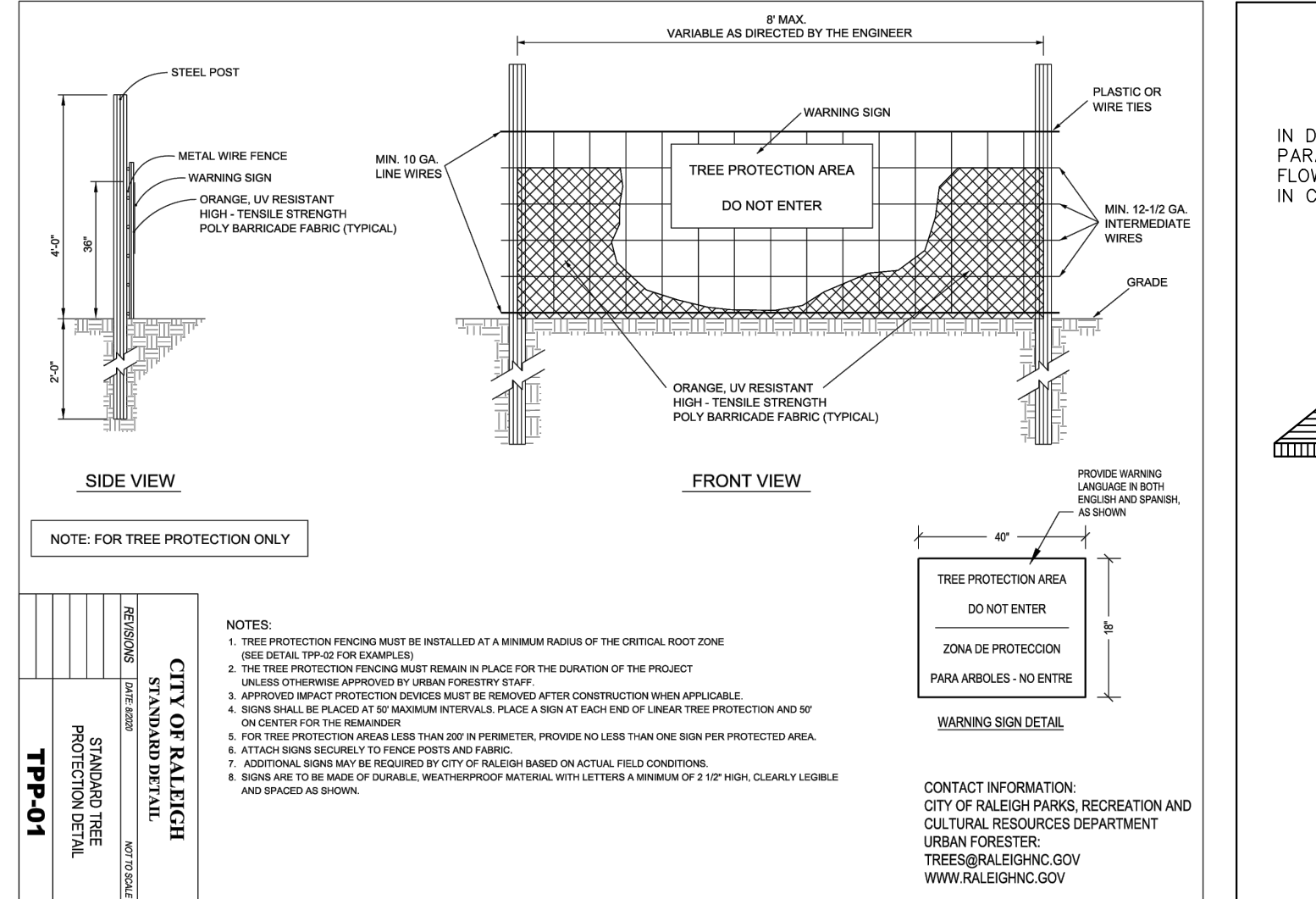
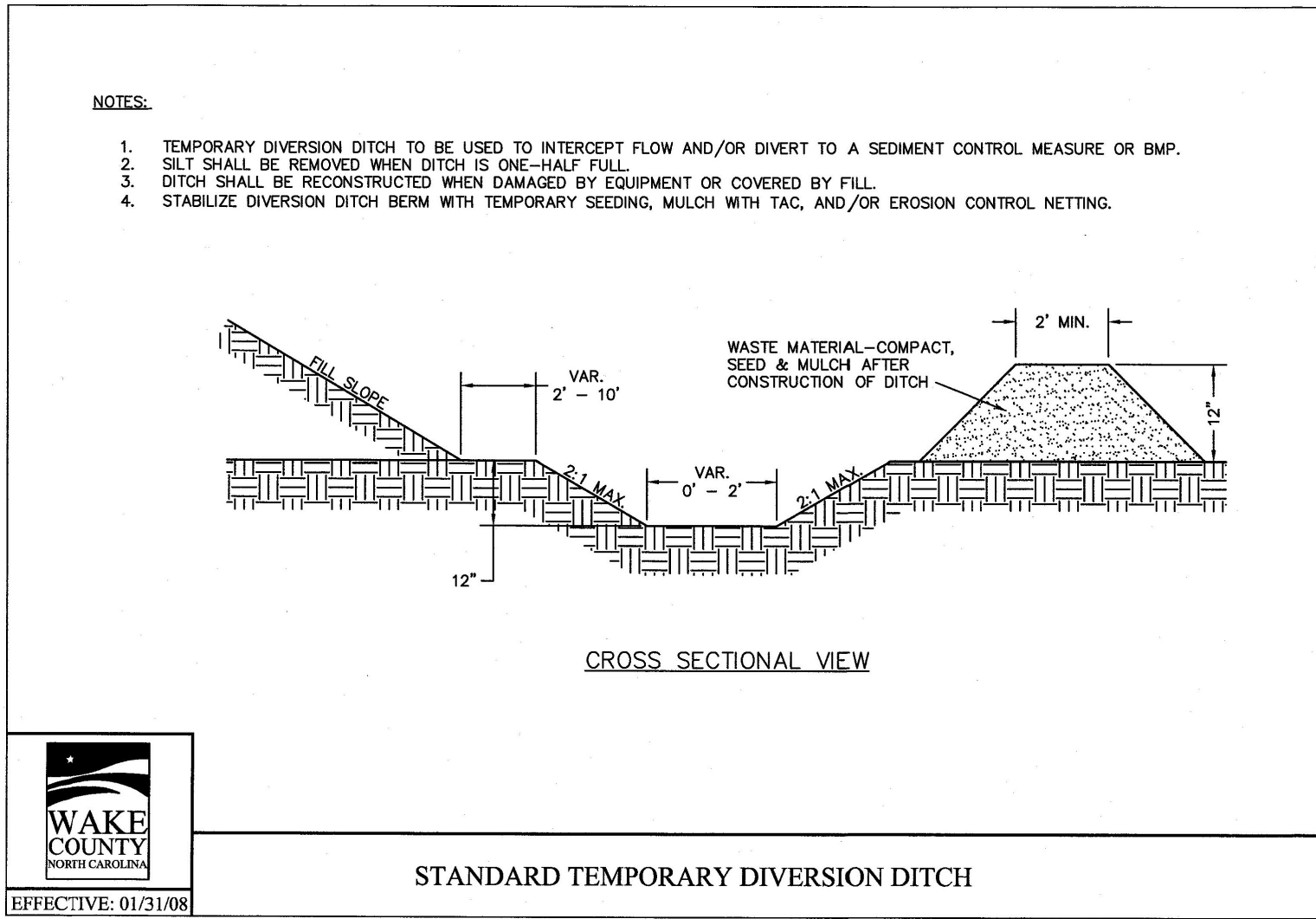
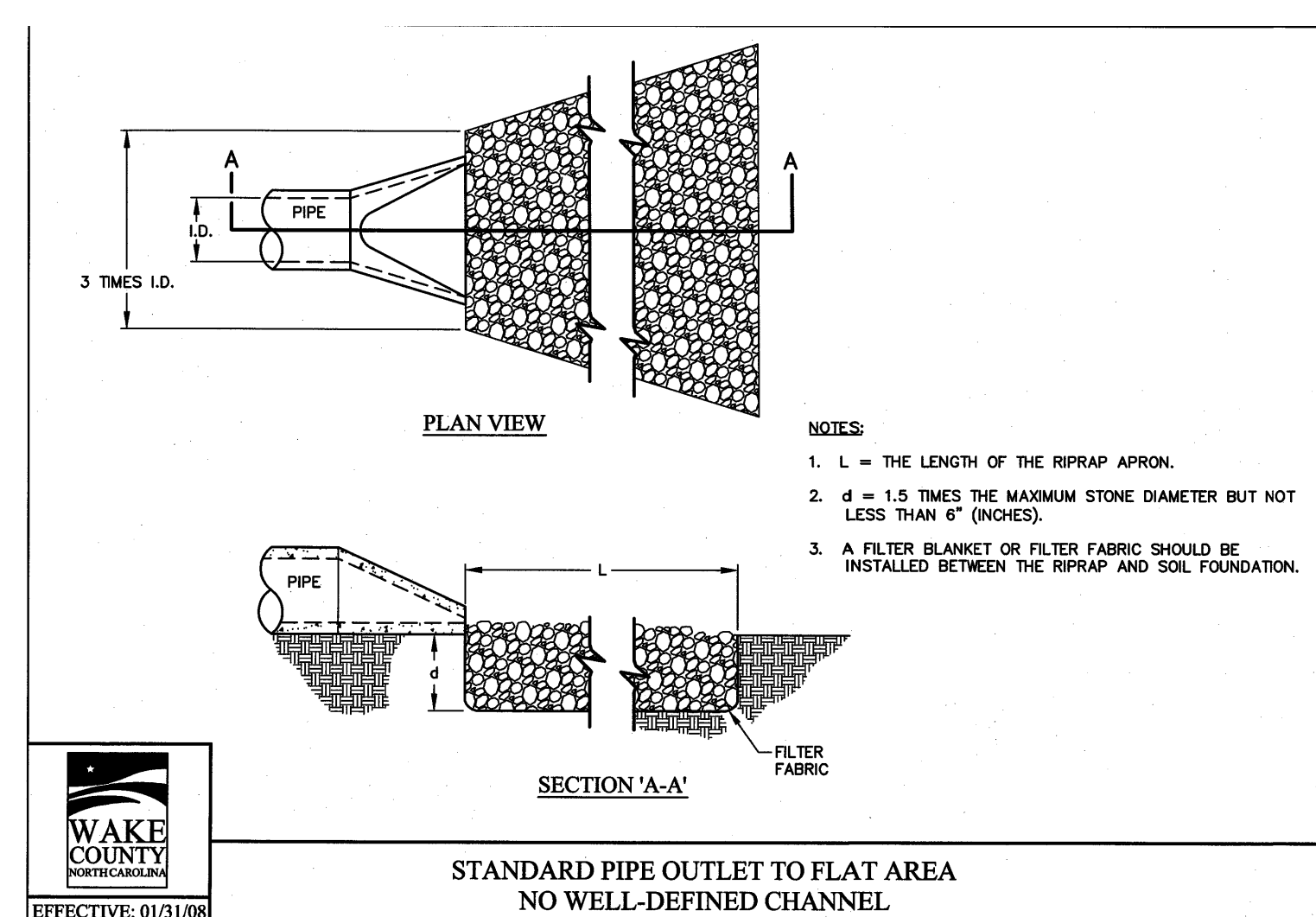
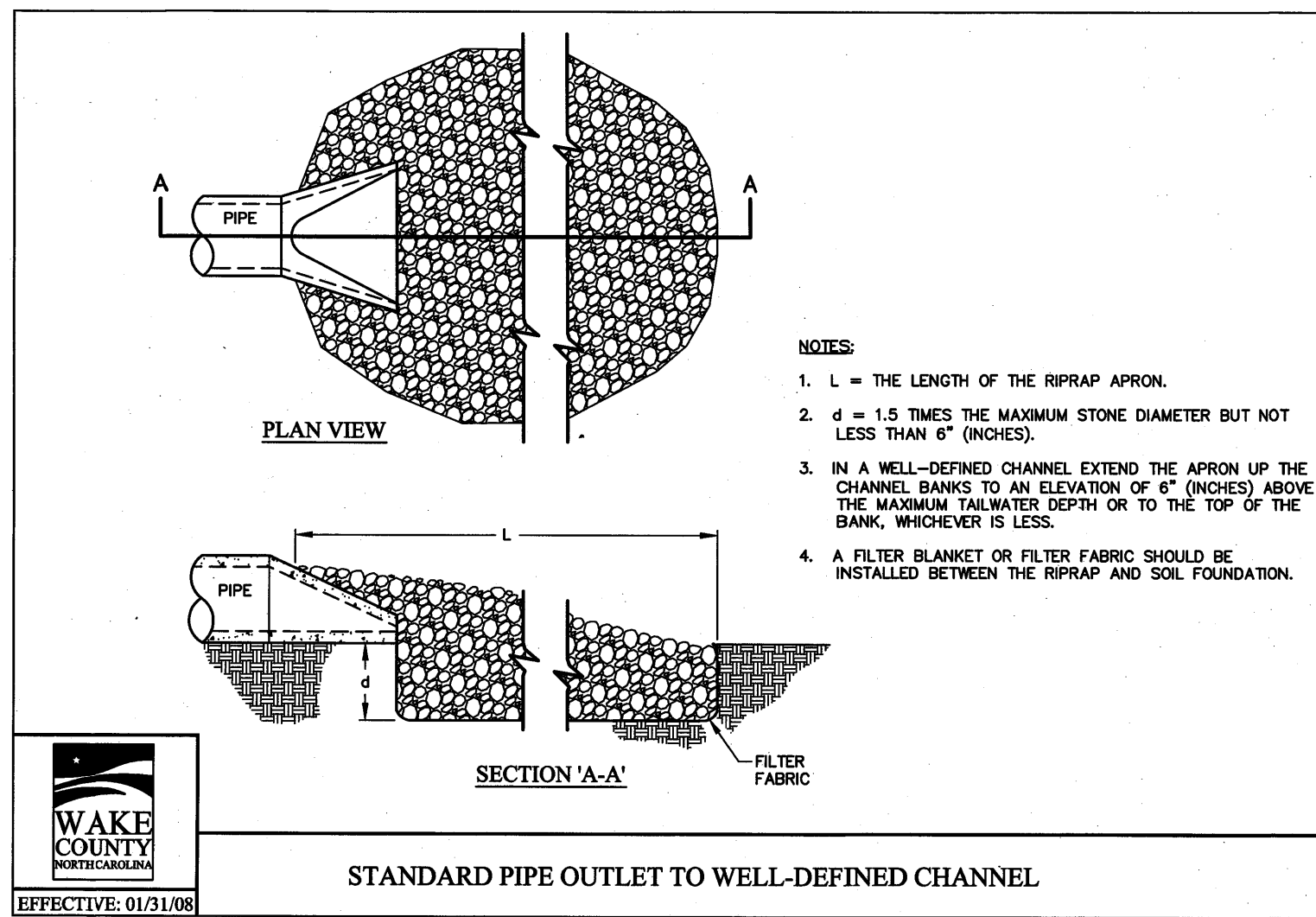
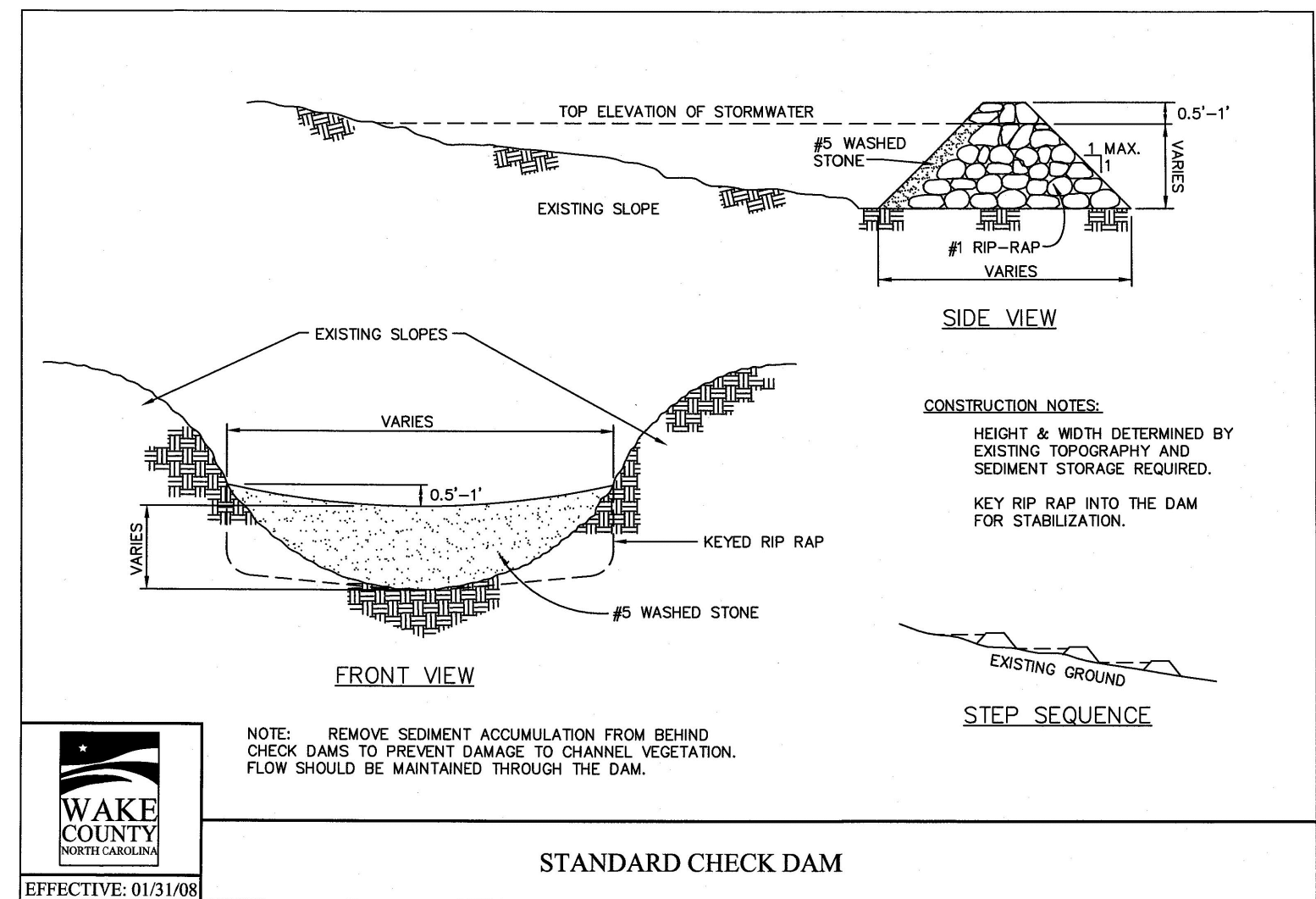
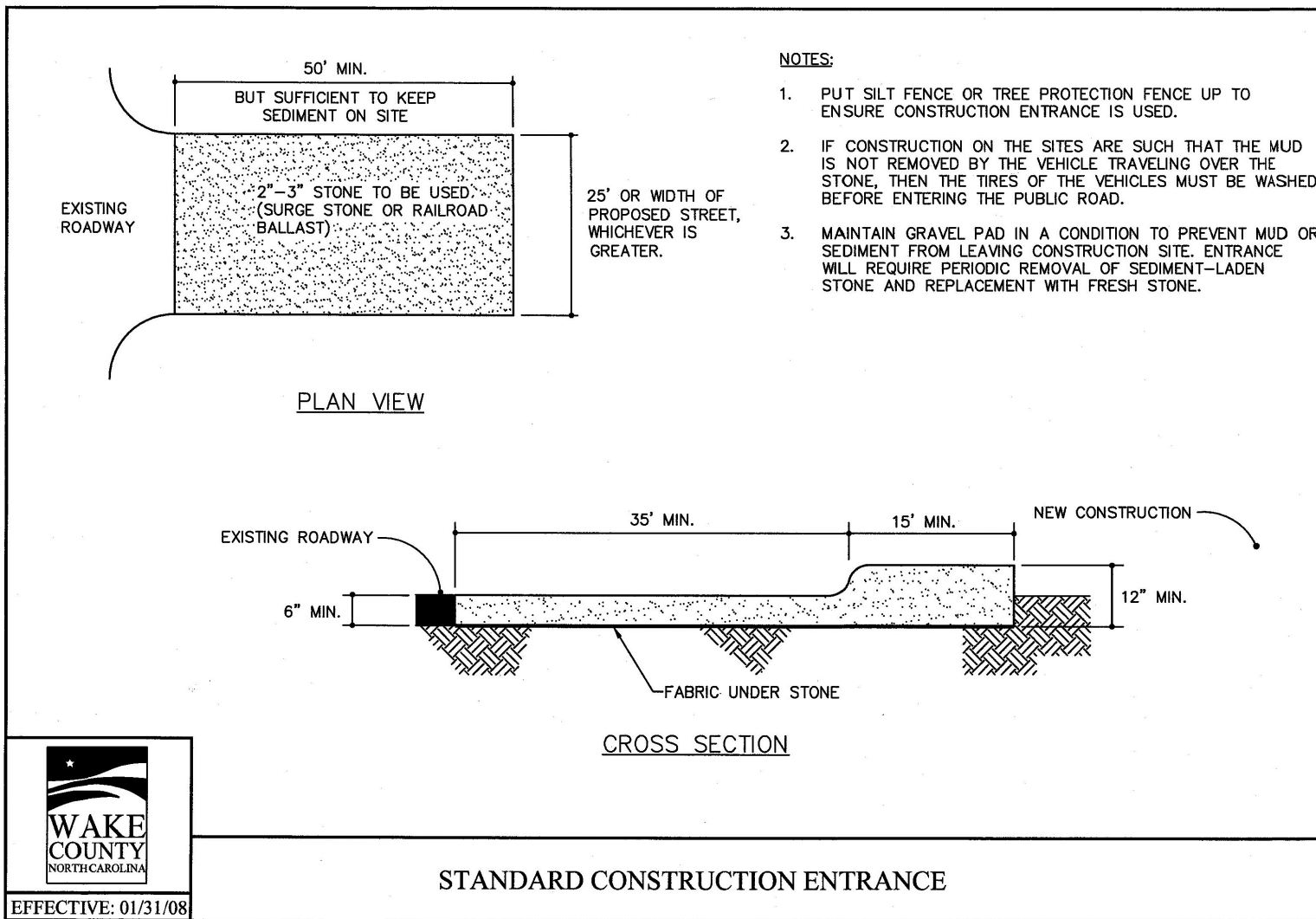
BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919)881-1122 FAX: (919)881-8686
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY
3	12-06-23	TOWN OF ROLESVILLE COMMENTS	MRM
2	10-16-23	T.O.R. COMMENTS	MRM
1	09-21-23	CHANGES FROM 06-02-22 CDS	MRM

PROGRESS DRAWN BY: MRM
 DATE: 03-19-17
 CHECK BY: MDB
 SCALE: 1" = 40'

COBBLESTONE VILLAGE
MIXED USE DEVELOPMENT
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION





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CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

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PROGRESS MRM
DATE DRAWN BY
JOB NO.

EROSION CONTROL DETAILS

SCALE: N.T.S. CHK BY: MDB

COBBLESTONE VILLAGE MIXED USE DEVELOPMENT
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

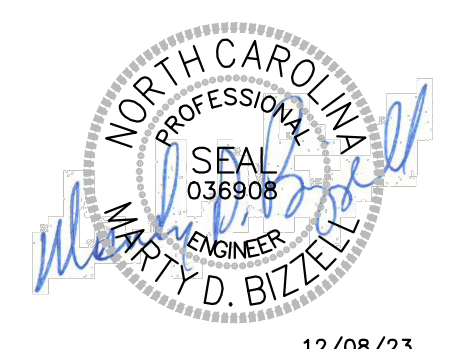
SHEET C3.5

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

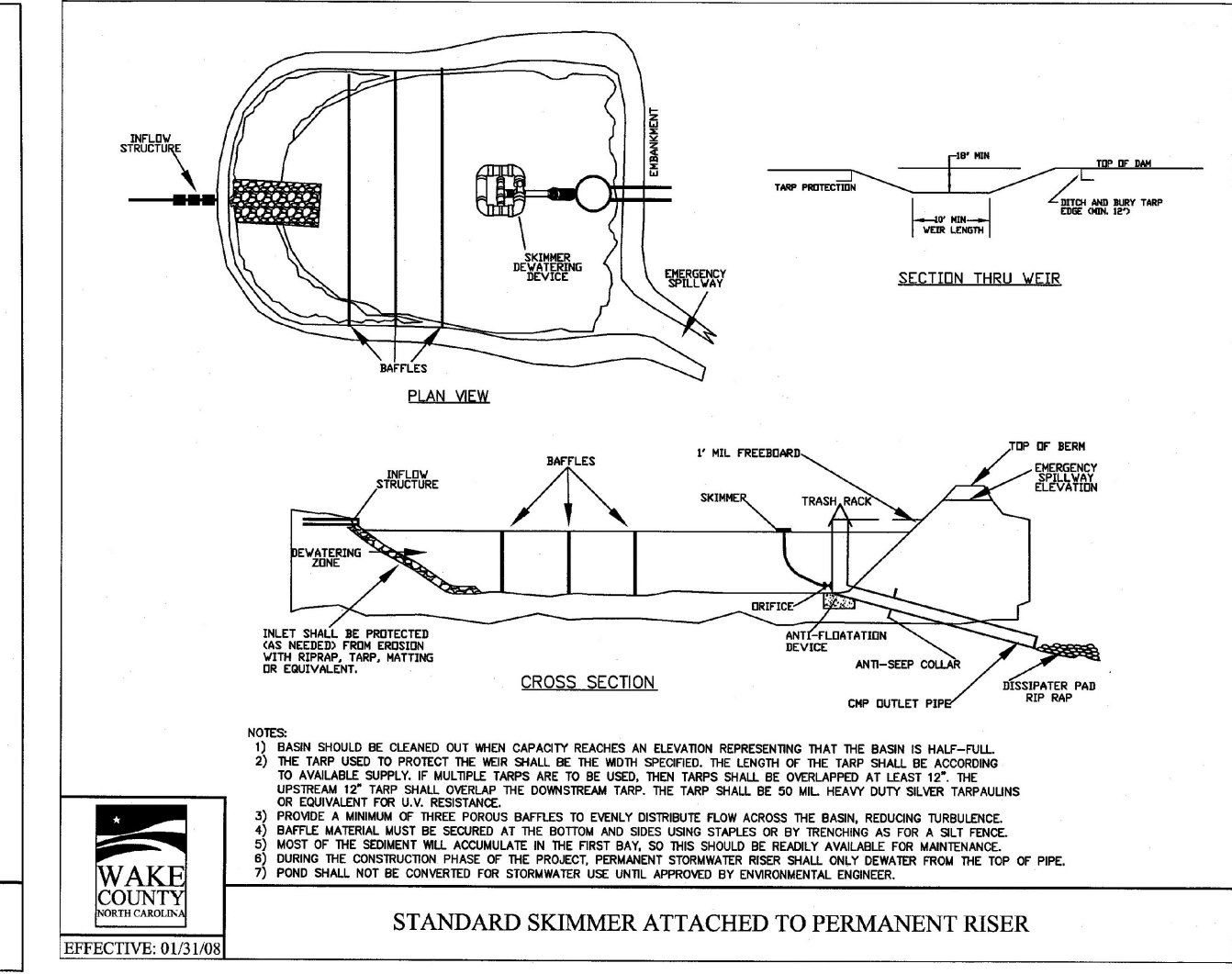
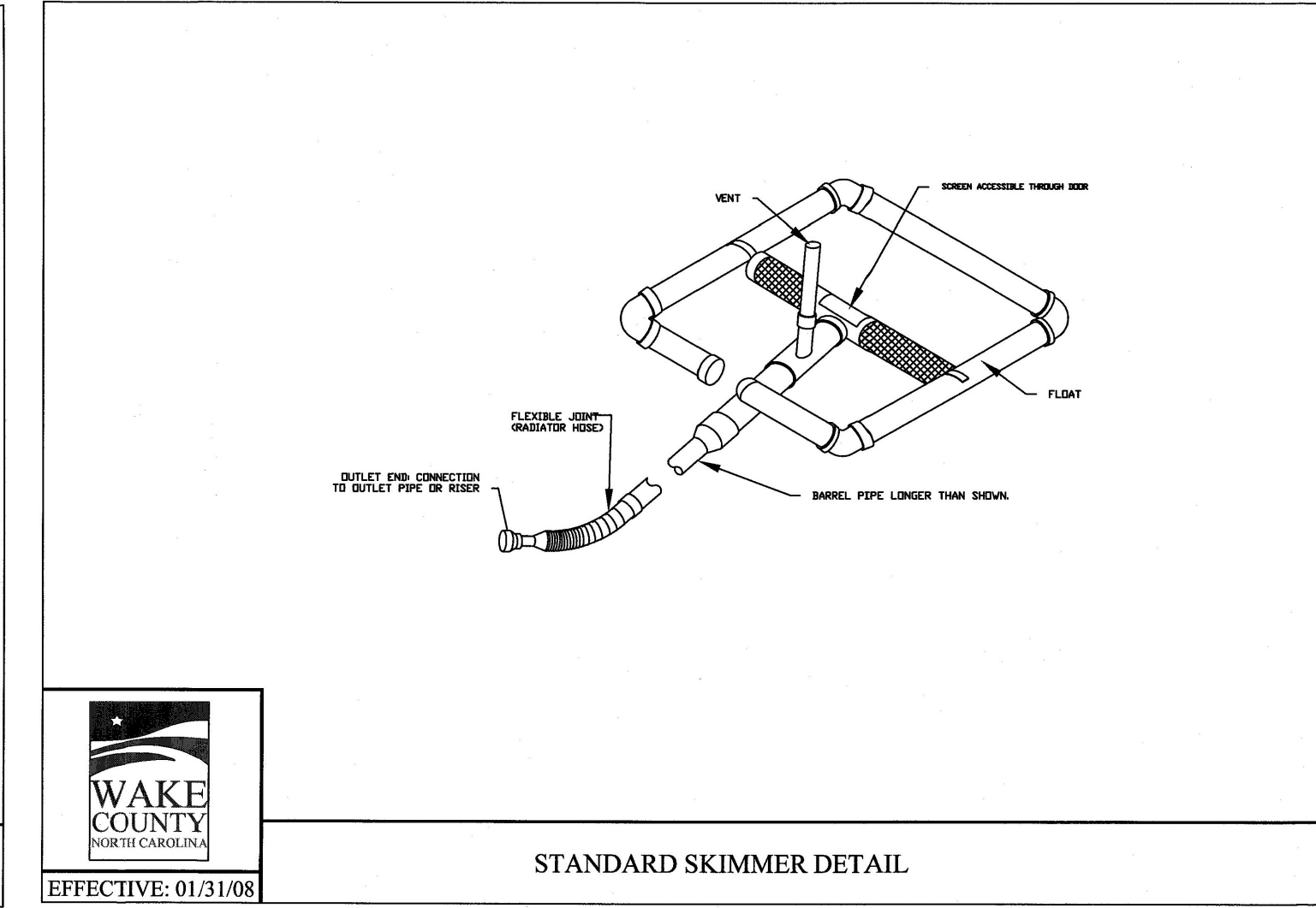
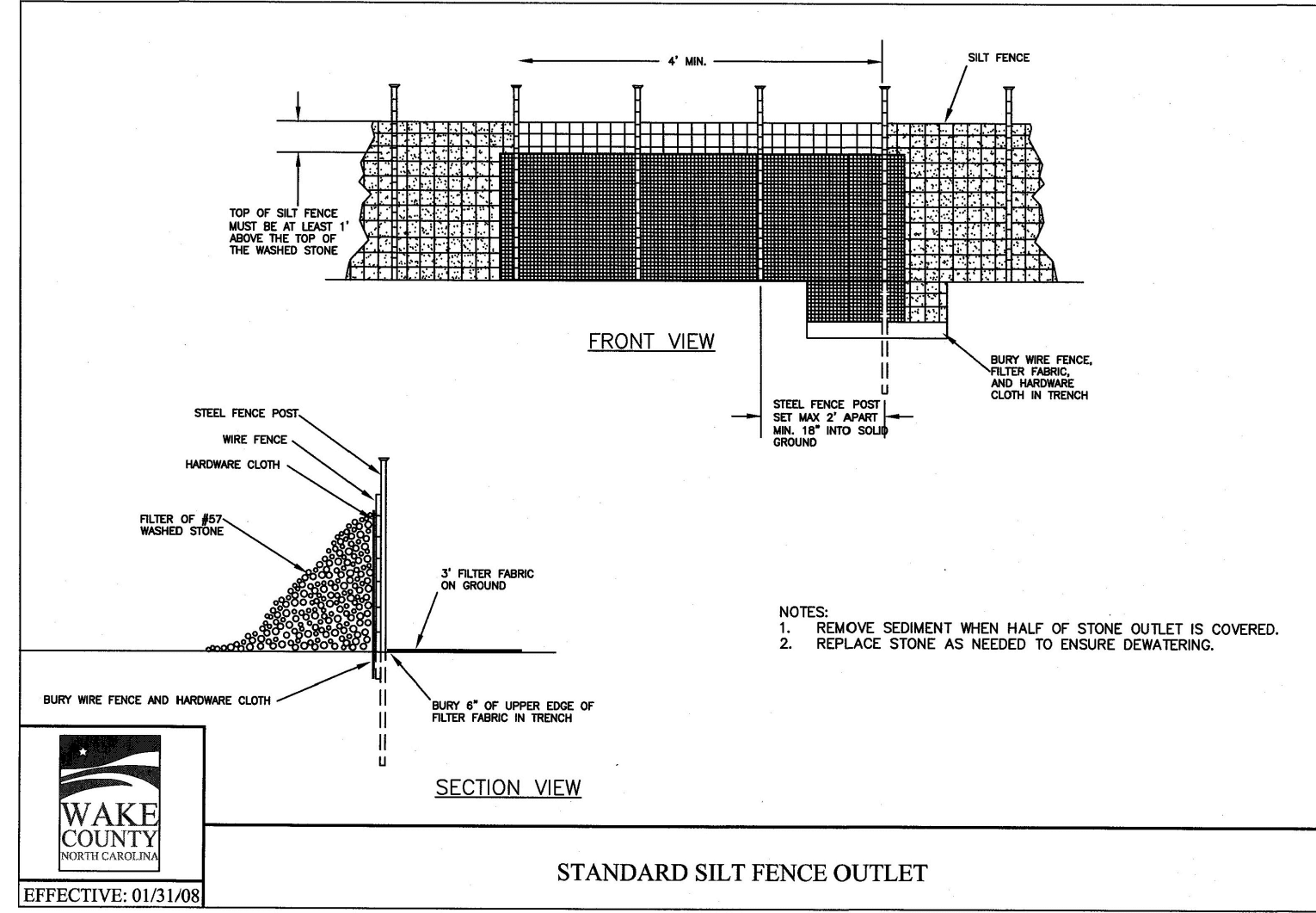
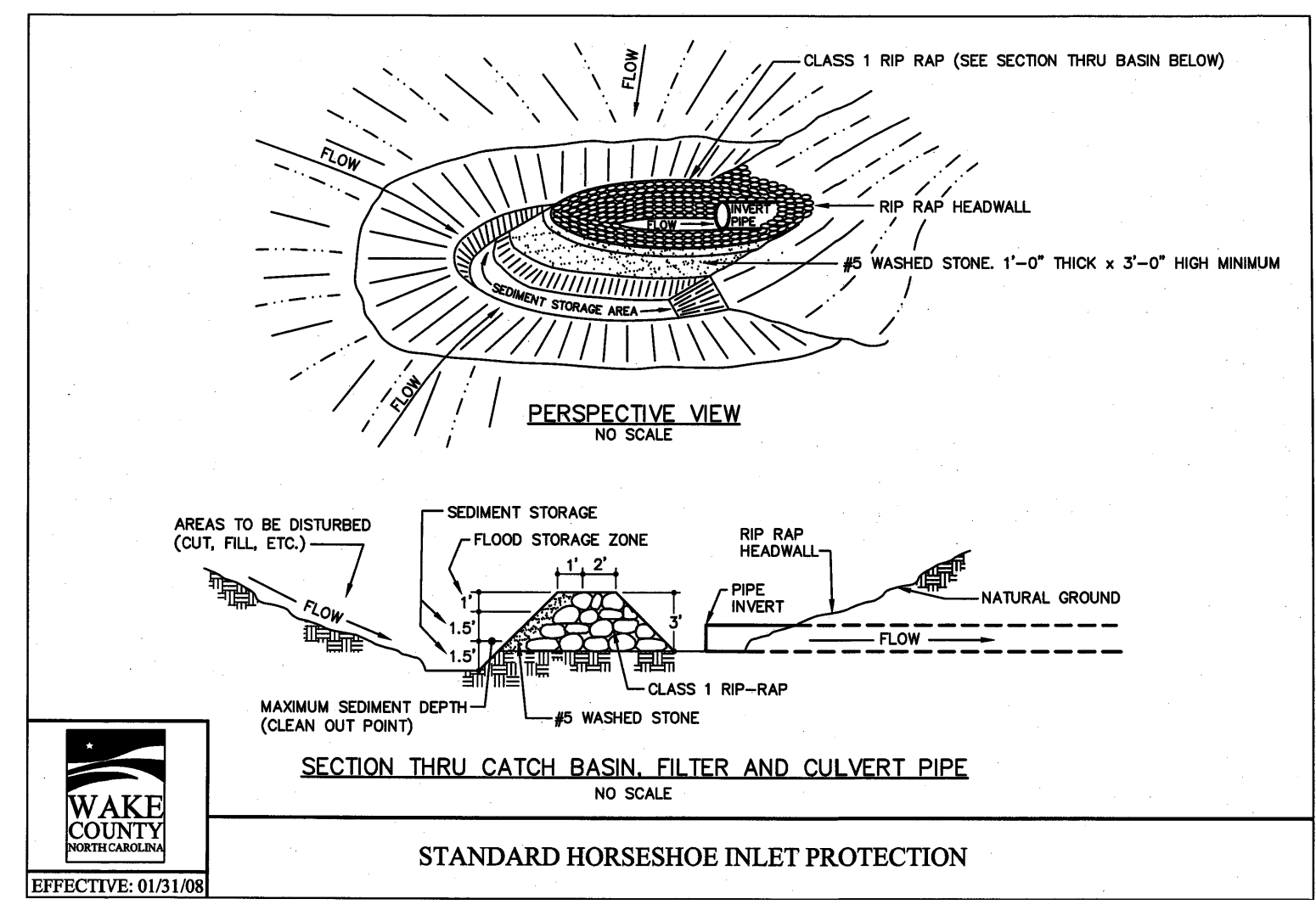
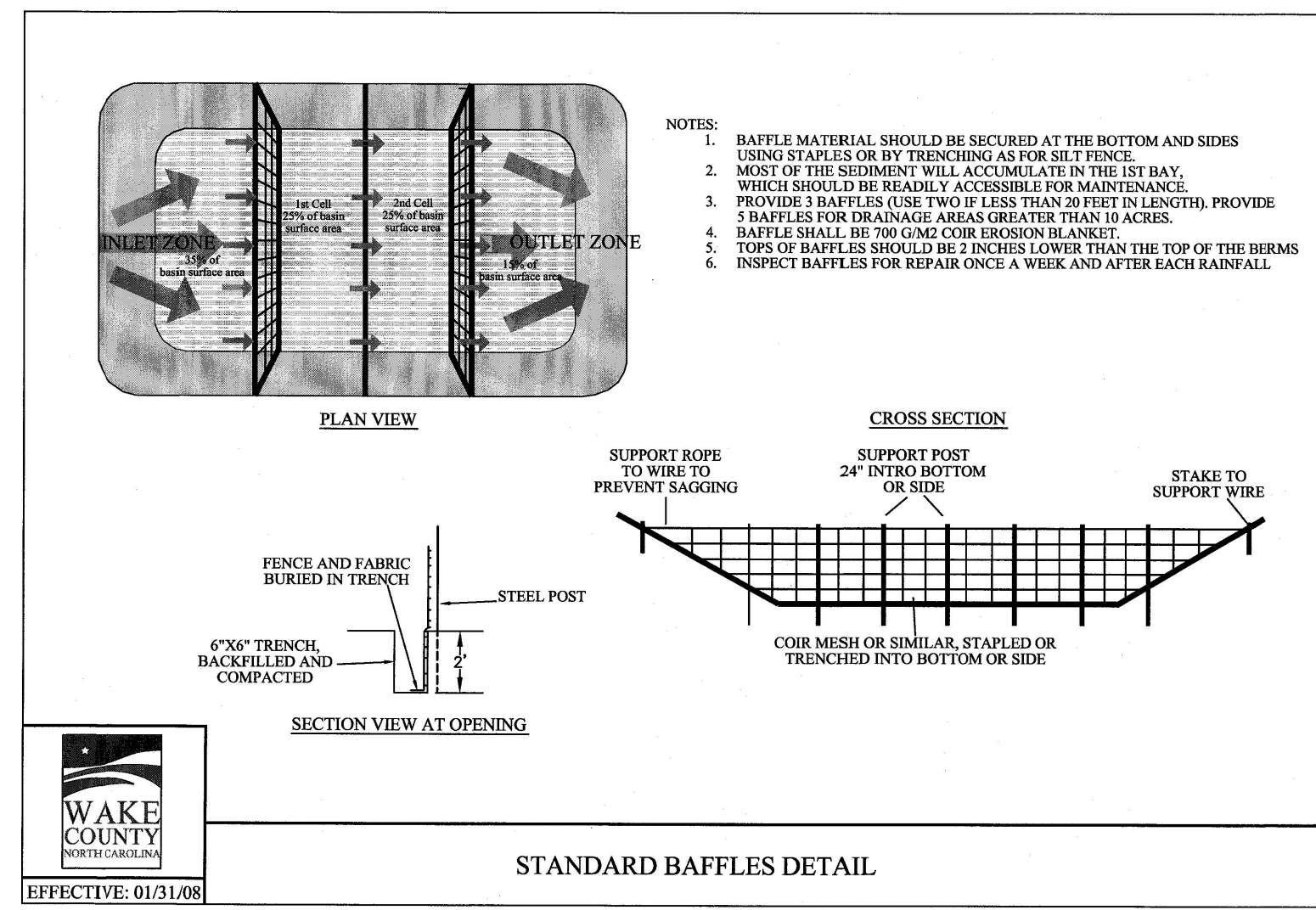
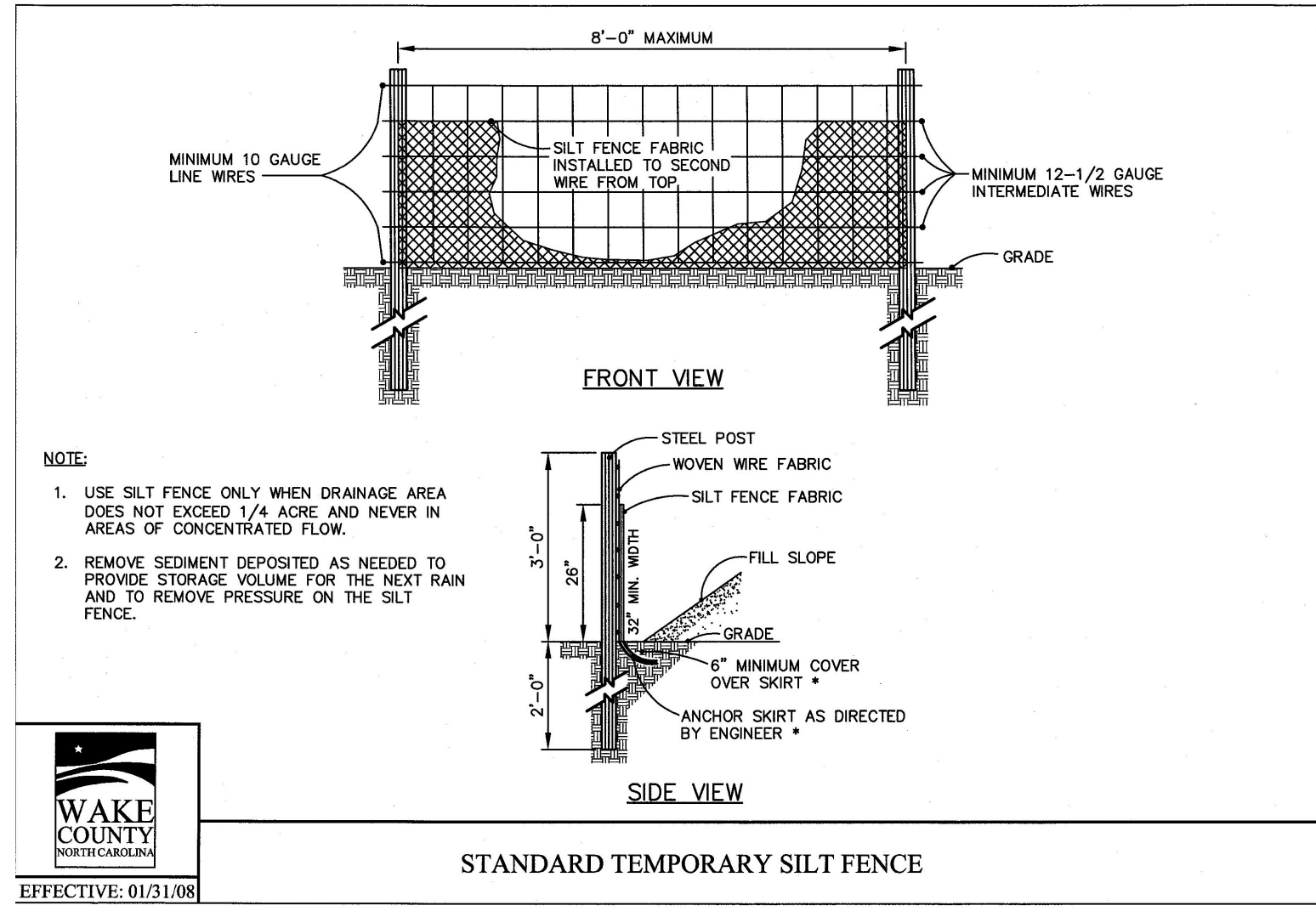
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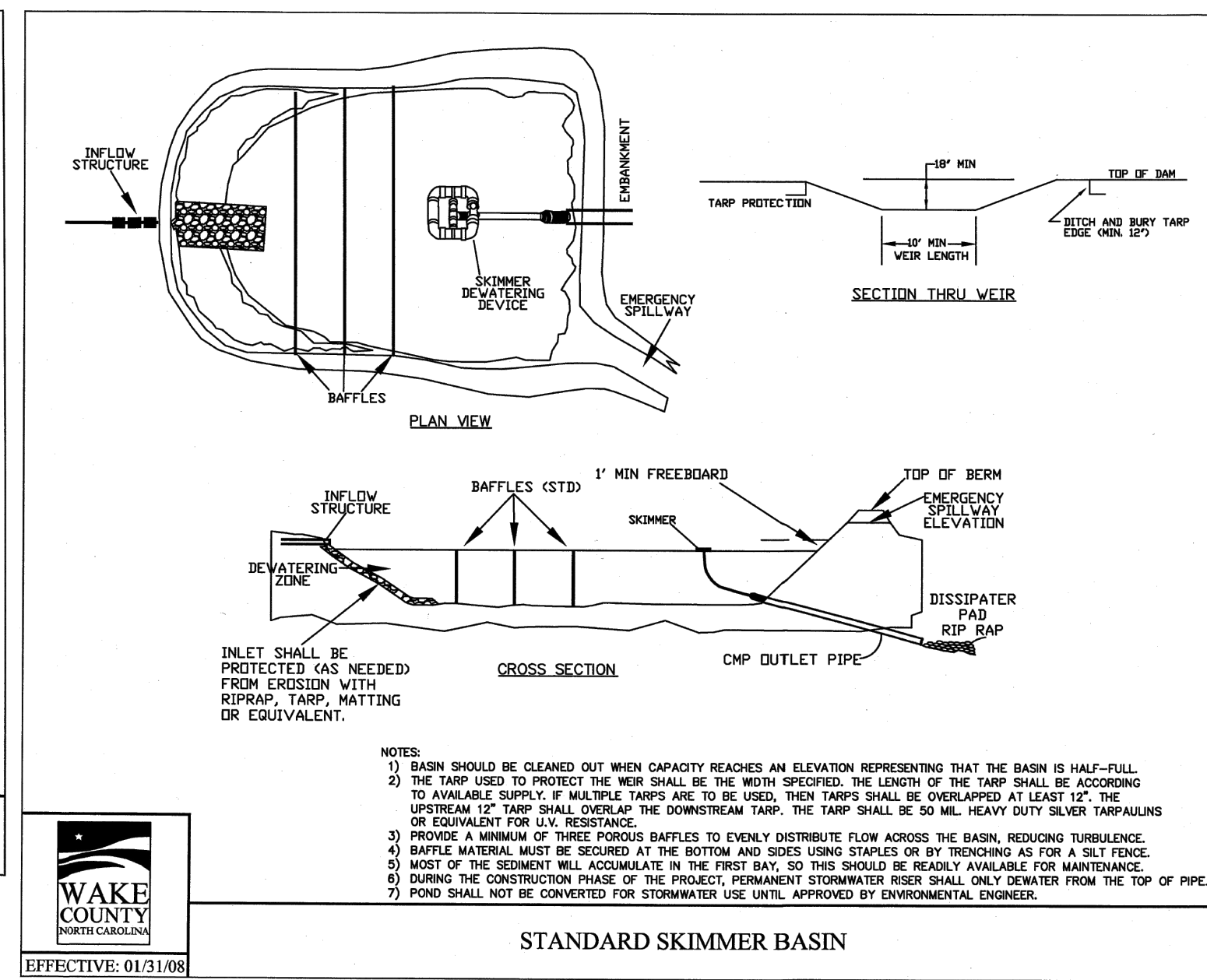
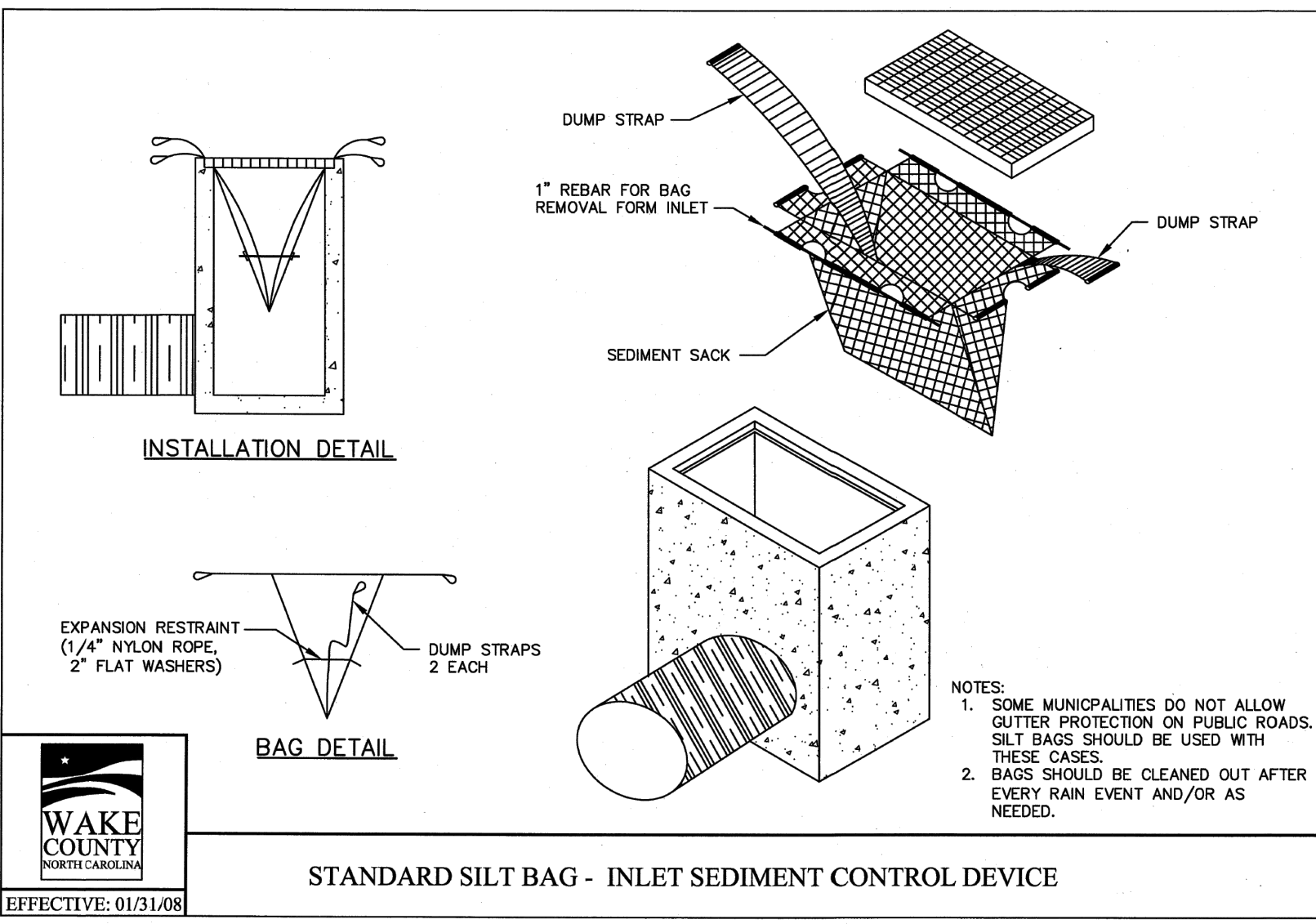


12/08/23



SEEDING INFORMATION:

- SEEDBED PREPARATION**
- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
 - RIP THE ENTIRE AREA TO 6 INCHES DEPTH.
 - REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
 - APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPER PHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW*).
 - CONTINUE TILLAGE UNTIL A WELL PULVERIZED FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEEDBED AND COVER LIGHTLY WITH SEEDING EQUIPMENT OR CULTPACK AFTER SEEDING.**
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
 - INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 80% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
 - CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
 - APPLY AGRICULTURAL LIMESTONE - 2 TONS/ACRE FERTILIZER - 10-10-10 ANALYSIS AT 800-1,000 LBS./ACRE SUPER PHOSPHATE - 500 LBS/ACRE OF 20% ANALYSIS SUPER PHOSPHATE.
- MULCH - 2 TONS (APPROX. 80 BALES) SMALL GRAIN STRAW/ACRE**
- ANCHOR - TACK WITH LIQUID ASPHALT AT 400 GAL./ACRE OR EMULSIFIED ASPHALT AT 300 GALLONS/ACRE**
- SEEDING SCHEDULE**
- PERMANENT SEEDING - SHOULDERS, SIDE DITCHES, SLOPES (MAX. 3:1)**
- | DATE | TALL FESCUE | TYPE | PLANTING RATE |
|-------------------|--|------|---------------|
| AUG. 15 - NOV. 1 | TALL FESCUE | | 200 LBS./ACRE |
| NOV. 1 - MAR. 1 | TALL FESCUE AND ABRUZZI RYE (NURSE CROP) | | 200 LBS./ACRE |
| MAR. 1 - APR. 15 | TALL FESCUE | | 200 LBS./ACRE |
| APR. 15 - JUN. 30 | HULLED COMMON BERMUDAGRASS | | 15 LBS./ACRE |
- PERMANENT SEEDING - SLOPES (3:1 TO 2:1)**
- | DATE | TALL FESCUE AND SERICEA LESPEDEZA (UNHULLED, UNSCARIFIED) | PLANTING RATE |
|-----------------|---|--------------------|
| AUG. 15-NOV.1 | TALL FESCUE AND SERICEA LESPEDEZA (UNHULLED, UNSCARIFIED) | 60 TO 70 LBS./ACRE |
| NOV. 1-MAR.1 | TALL FESCUE AND SERICEA LESPEDEZA (UNHULLED, UNSCARIFIED) AND ABRUZZI RYE | 60 TO 70 LBS./ACRE |
| MAR. 1-JUNE 1 | TALL FESCUE AND SERICEA LESPEDEZA (SCARIFIED) | 200 LBS./ACRE |
| MAR. 15-JUNE 30 | WEEPING LOVEGRASS | 10 LBS./ACRE |
| MAR. 15-JUNE 30 | HULLED COMMON BERMUDAGRASS AND SERICEA LESPEDEZA (SCARIFIED) | 40 TO 50 LBS./ACRE |
| MAR. 15-JUNE 30 | HULLED COMMON BERMUDAGRASS AND SERICEA LESPEDEZA (SCARIFIED) | 15 LBS./ACRE |
| MAR. 15-JUNE 30 | HULLED COMMON BERMUDAGRASS AND SERICEA LESPEDEZA (SCARIFIED) | 40 TO 50 LBS./ACRE |
- TEMPORARY SEEDING**
- | DATE | TALL FESCUE AND BROWNTOP MILLET (NURSE CROP) OR SORGHUM-SUDAN HYBRIDS (NURSE CROP) | PLANTING RATE |
|----------------|--|---------------|
| JUNE 1-SEPT. 1 | TALL FESCUE AND BROWNTOP MILLET (NURSE CROP) OR SORGHUM-SUDAN HYBRIDS (NURSE CROP) | 200 LBS./ACRE |
| | | 35 LBS./ACRE |
| | | 30 LBS./ACRE |
- CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENIED AREAS. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.**
- *NURSE CROP/TEMPORARY-RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING, OTHERWISE FESCUE MAY BE SHADED OUT.**



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Raleigh Water Review Officer



12/08/23



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 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919)881-7422 FAX: (919)881-8988
 CERTIFICATION NUMBERS: NCBELS (C-010); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY
1	09-21-23	CHANGES FROM 06-02-22 CDS	MRM
2	10-16-23	T.O.R. COMMENTS	MRM
3	12-08-23	TOWN OF ROLESVILLE COMMENTS	MRM

PROGRESS: 03-19187
 JOB NO.:
 DRAWN BY:
 EROSION CONTROL DETAILS
 SCALE: N.T.S.
 CHECK BY: MDB

COBBLESTONE VILLAGE MIXED USE DEVELOPMENT
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SHEET C3.6

NO.	DATE	DESCRIPTION	BY

MRM	PROGRESS	DATE	TOWN OF ROLESVILLE COMMENTS

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

Temporary and Permanent Groundcover*

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter ditches, swales, ditches, slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.

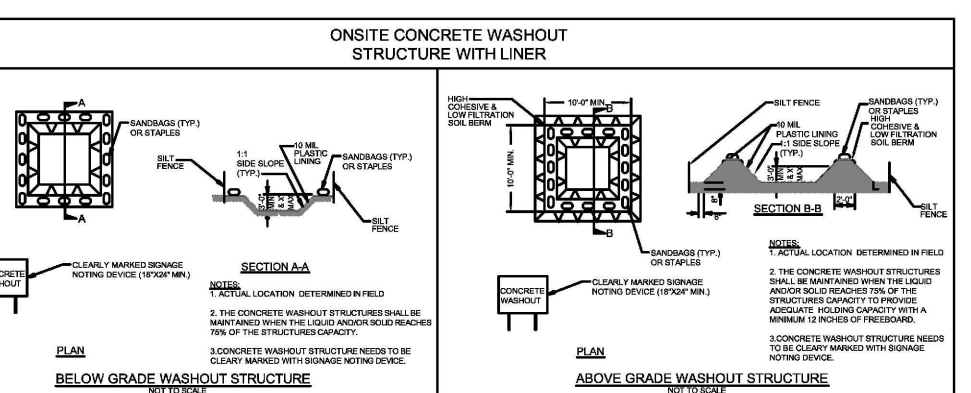
*For Falls Lake watershed, in disturbed areas where grading activities are incomplete, provide temporary groundcover no later than seven (7) days for slopes steeper than 3:1; ten (10) days for slopes equal to or flatter than 3:1; fourteen (14) days for areas with no slope.

EQUIPMENT AND VEHICLE MAINTENANCE

1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number of waste containers on site to manage the quantity of waste produced.
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
5. Cover waste containers at the end of each workday and before storm events. Repair or replace damaged waste containers.
6. Anchor all lightweight items in waste containers during times of high winds.
7. Empty waste containers as needed to prevent overflow.
8. Dispose waste off-site at an approved disposal facility.



CONCRETE WASHOUTS

1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the types of temporary concrete washouts provided on this detail.
5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

PAINT AND OTHER LIQUID WASTE

1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
3. Contain liquid wastes in a controlled area.
4. Containment must be labeled, sized and placed appropriately for the needs of site.
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
3. Provide stable stone access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

HERBICIDES, PESTICIDES AND RODENTICIDES

1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
4. Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none">• Temporary grass seed covered with straw or other mulches and tackifiers• Hydroseeding• Rolled erosion control products with or without temporary grass seed• Appropriately applied straw or other mulch• Plastic sheeting	<ul style="list-style-type: none">• Permanent grass seed covered with straw or other mulches and tackifiers• Geotextile fabrics such as permanent soil reinforcement matting• Hydroseeding• Shrubs or other permanent plantings covered with mulch• Uniform and evenly distributed ground cover sufficient to restrain erosion• Structural methods such as concrete, asphalt or retaining walls

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
3. Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
4. Provide ponding area for containment of treated Stormwater before discharging off-site.
5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.



NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 03/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual day rainfall information is available, record the cumulative rain measurement for those un-attended days (see this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero". The permittee may use another rain-monitoring device approved by the Division.
(2) E&S Measures	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outlets (DOs)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands on-site (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item 2(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The photographs of E&S measures, clearing and grubbing, installation of storm control, and any other all-land-disturbing activity, construction or redevelopment, permanent ground cover. 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&S Plan Documentation

The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&S measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&S plan.	Initial and date each E&S measure on a copy of the approved E&S plan or complete, date and sign an inspection report that lists each E&S measure shown on the approved E&S plan. This documentation is required upon the initial installation of the E&S measures or if the E&S measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&S plan.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&S measures	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&S measures.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&S plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	• Within 24 hours , an oral or electronic notification. • Within 7 calendar days , a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the <u>NC 303(d) list</u> as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	• Within 24 hours , an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses (40 CFR 122.41(m)(3))	• A report at least ten days before the date of the bypass , if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses (40 CFR 122.41(m)(3))	• Within 24 hours , an oral or electronic notification. • Within 7 calendar days , a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment (40 CFR 122.41(k)(7))	• Within 24 hours , an oral or electronic notification. • Within 7 calendar days , a report that contains a description of the noncompliance, and its cause; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(k)(6)]. • Division staff may waive the requirement for a written report on a case-by-case basis.

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&S plan authority has approved these items,
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item 2(c) and (d) of this permit,
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- Velocity dissipation devices such as check dams, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval _____

Raleigh Water Review Officer _____

12/08/23

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

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Raleigh Water Review Officer

STORMDRAINAGE PIPE TABLE table with columns: U.S. STRUCTURE, D.S. STRUCTURE, U.S. INVERT, D.S. INVERT, LENGTH, DIAMETER, MATERIAL, SLOPE

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STORMDRAINAGE STRUCTURE TABLE table with columns: STRUCTURE NAME, INSERTION RIM ELEVATION (FLOWLINE), STRUCTURE TYPE

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NOTE: ALL STORM ITEMS SHALL BE AS-BUILT PER THE TOWN UDO SECTION 7.5.5, WHICH SPECIFIES REQUIREMENTS AS-BUILTS FOR STORM.



12/08/23



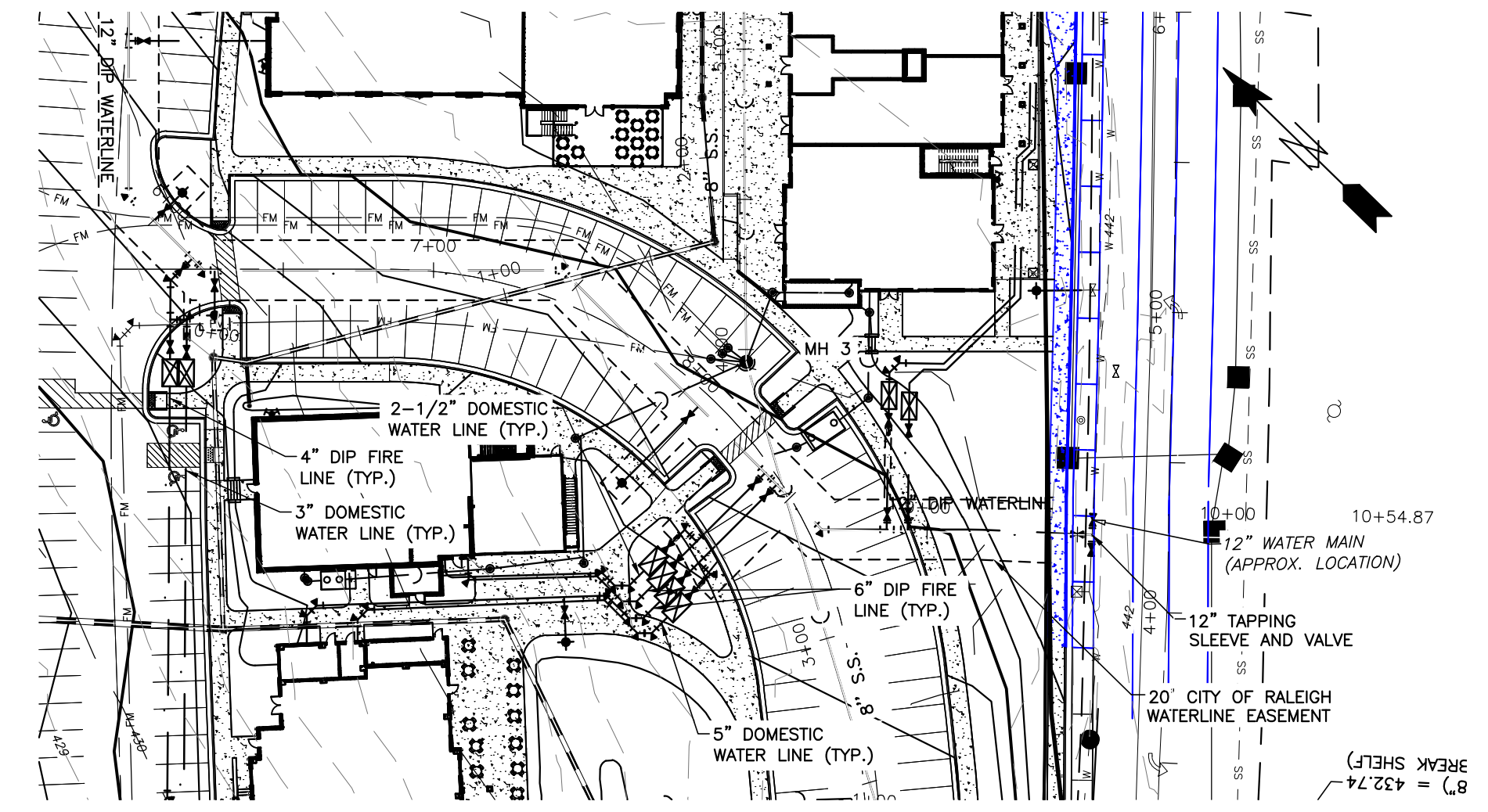
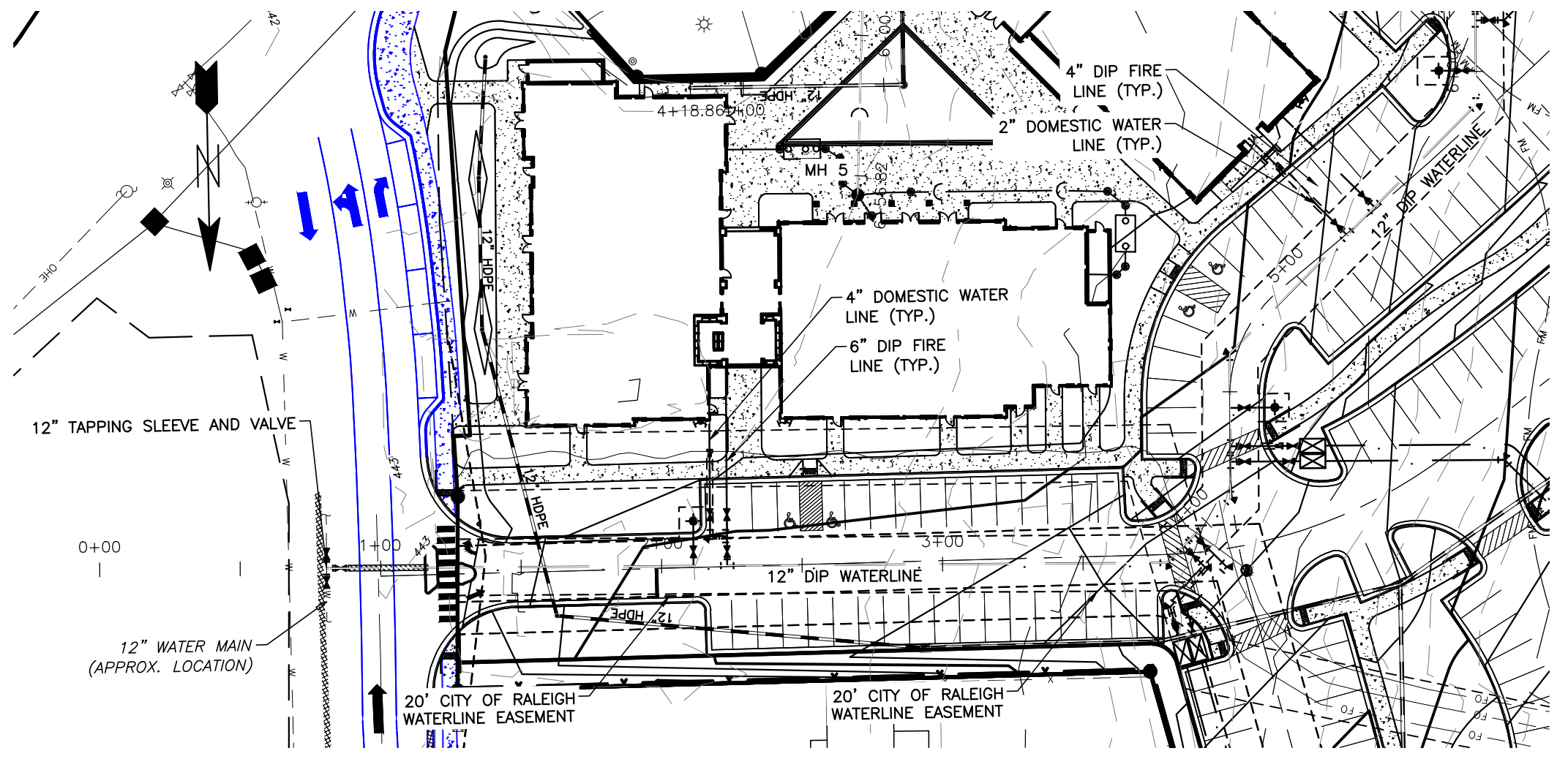
BASS, NIXON & KENNEDY, INC. CONSULTING ENGINEERS 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607

Table with columns: NO., DATE, DESCRIPTION, REVISIONS

Table with columns: JOB NO., DATE, DRAWN BY, CHECK BY

COBBLESTONE VILLAGE MIXED USE DEVELOPMENT TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SHEET C3.8



Public
Water Distribution / Extension System
 The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh
 Public Utilities Department Permit # W-3879
 Authorization to Construct See digital signature

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
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City of Raleigh Development Approval _____
 Raleigh Water Review Officer



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919)881-1422 FAX: (919)881-8686
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

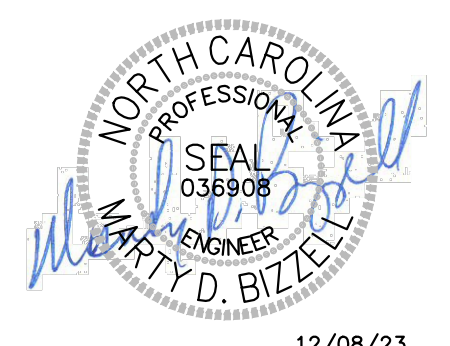
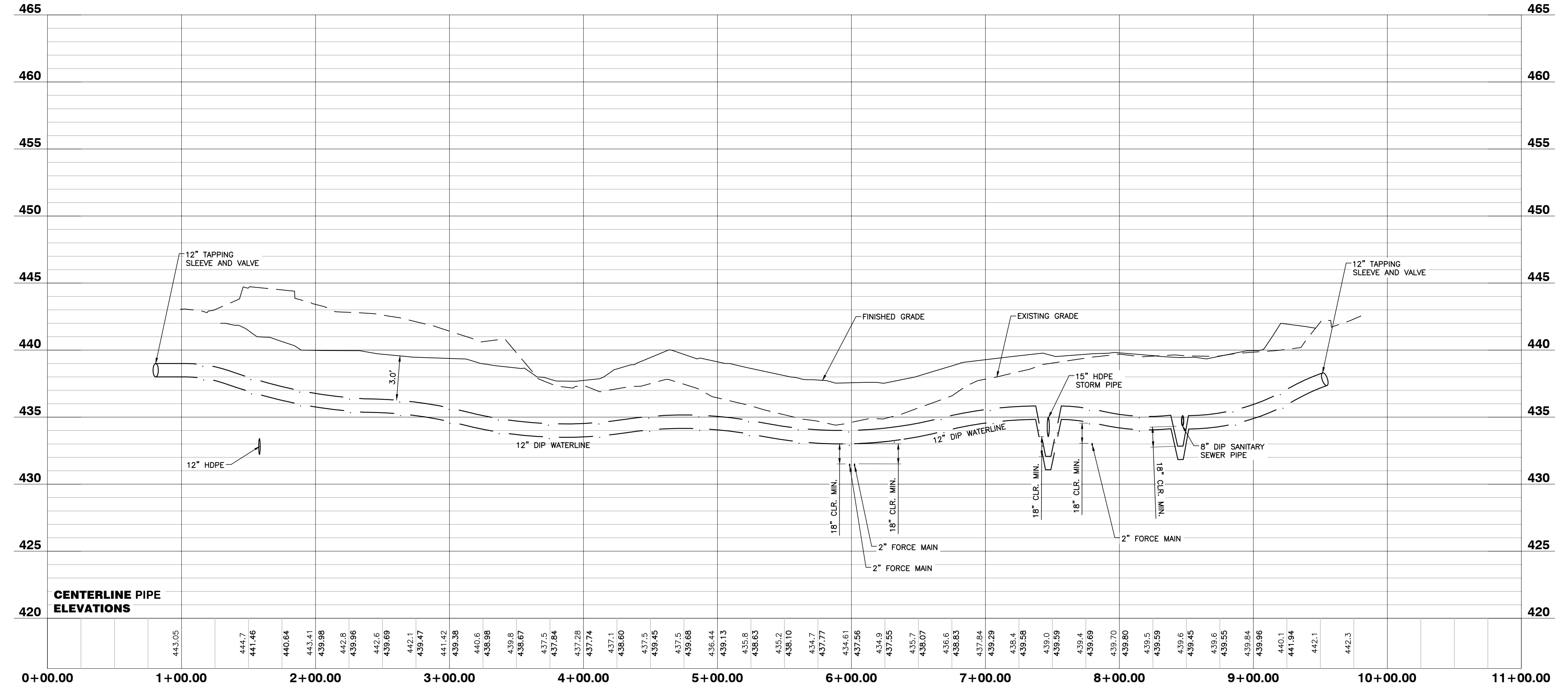
NO.	DATE	DESCRIPTION	BY
3	12-06-23	TOWN OF ROLESVILLE COMMENTS	MRM
2	10-16-23	T.O.R. COMMENTS	MRM
1	09-21-23	CHANGES FROM 06-02-22 CDS	MRM

PROGRESS	MRM	DATE	DRAWN BY
03-19157			

COBBLESTONE VILLAGE
MIXED USE DEVELOPMENT
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SHEET **C4.1**

PUBLIC WATERLINE PROFILE



12/08/23

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF ROLESVILLE AND NCDOT



Private Sewer Collection / Extension System
 The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh
 Public Utilities Department Permit # S-4962 (P)
 Authorization to Construct See digital signature

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
 Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.
 City of Raleigh Development Approval _____
 Raleigh Water Review Officer _____



BASS, NIXON & KENNEDY, INC.
 CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919)851-1422 FAX: (919)851-8686
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	MRM	BY
3	12-06-23	TOWN OF ROLESVILLE COMMENTS	MRM	MRM
2	10-16-23	T.O.R. COMMENTS	MRM	MRM
1	09-21-23	CHANGES FROM 06-02-22 CD'S	MRM	MRM

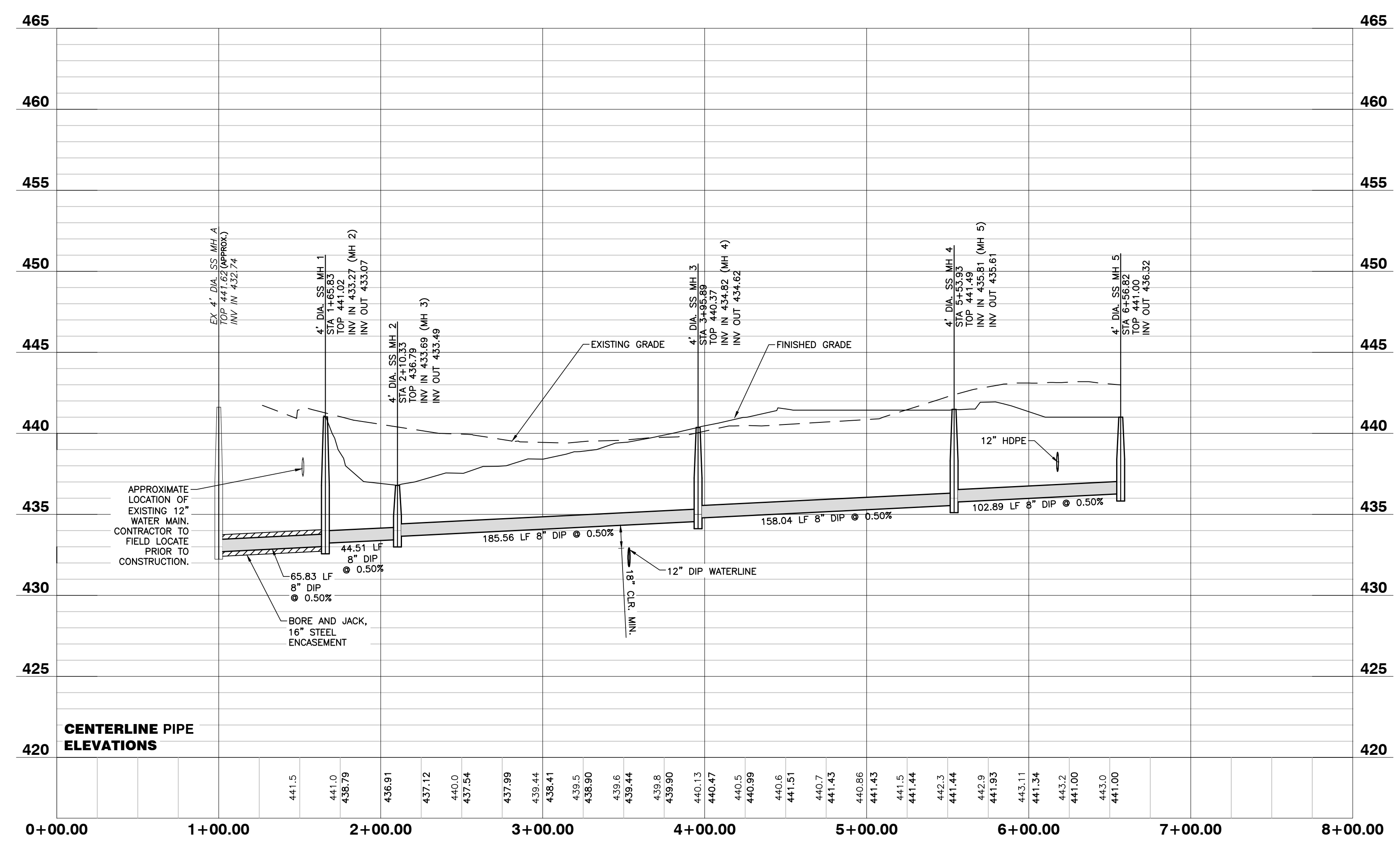
PROGRESS	MRM	DATE	DRAWN BY
03-19157	MRM		

COBBLESTONE VILLAGE
 MIXED USE DEVELOPMENT
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SHEET
C4.2

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

SANITARY SEWER PROFILE



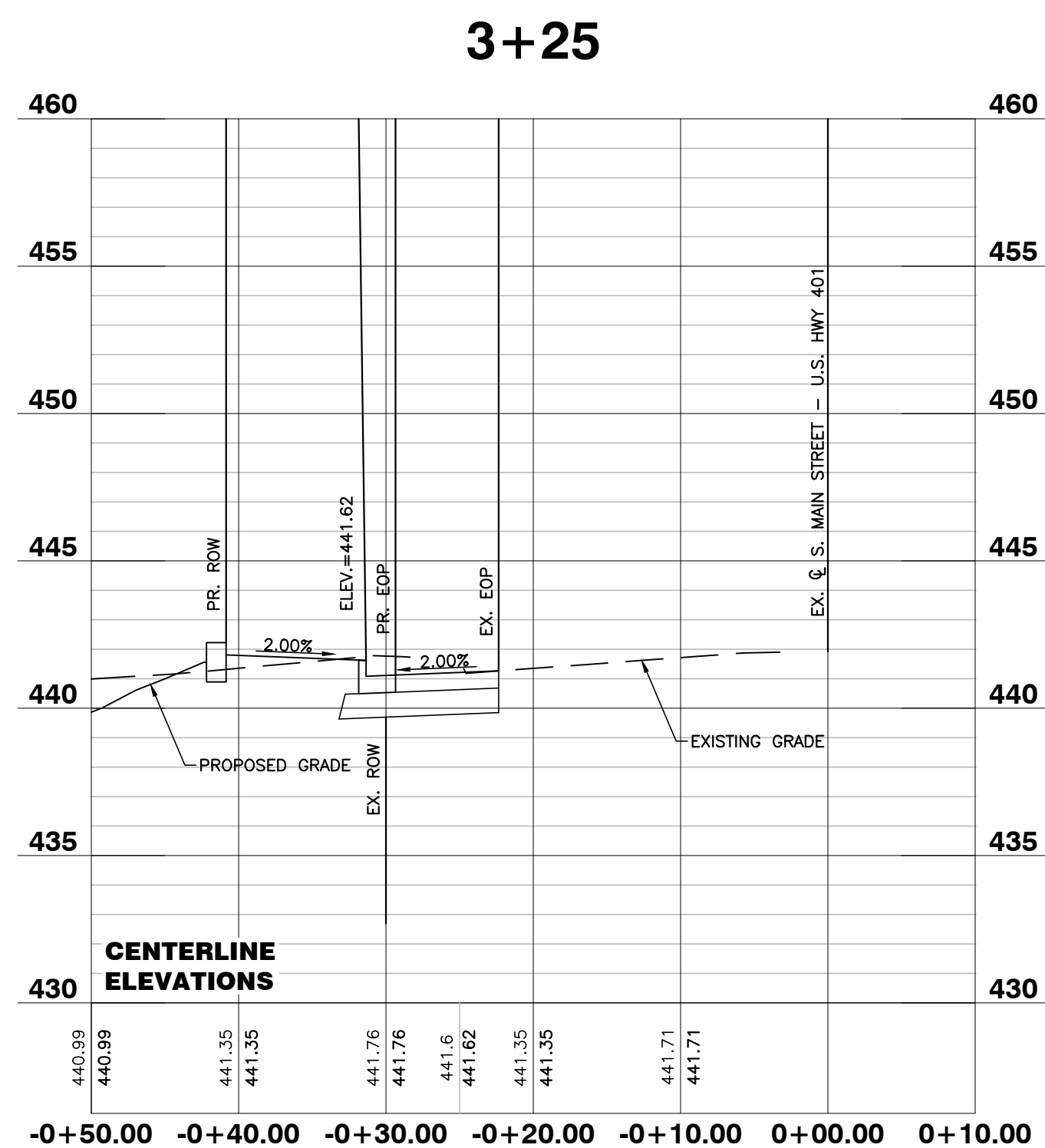
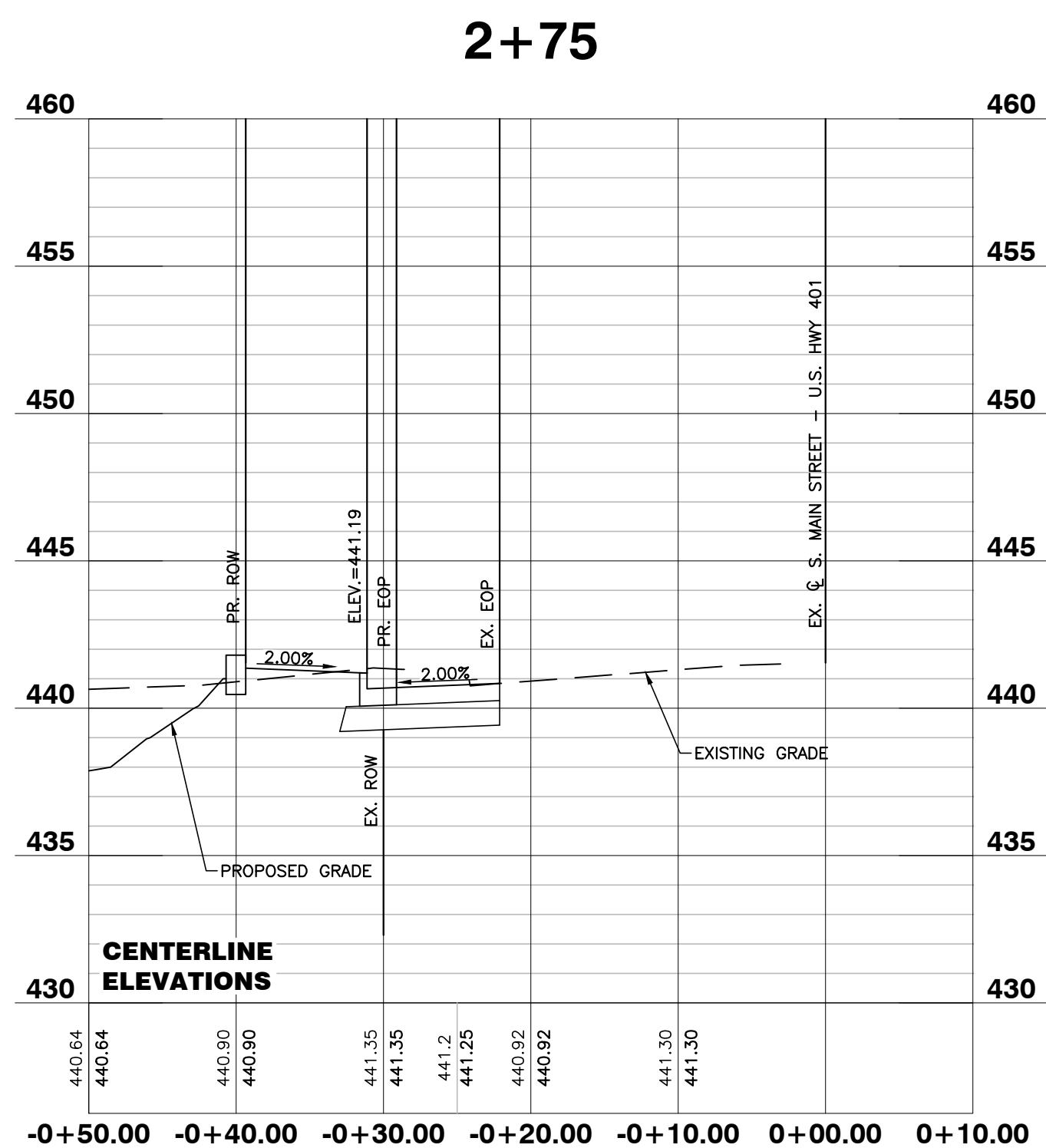
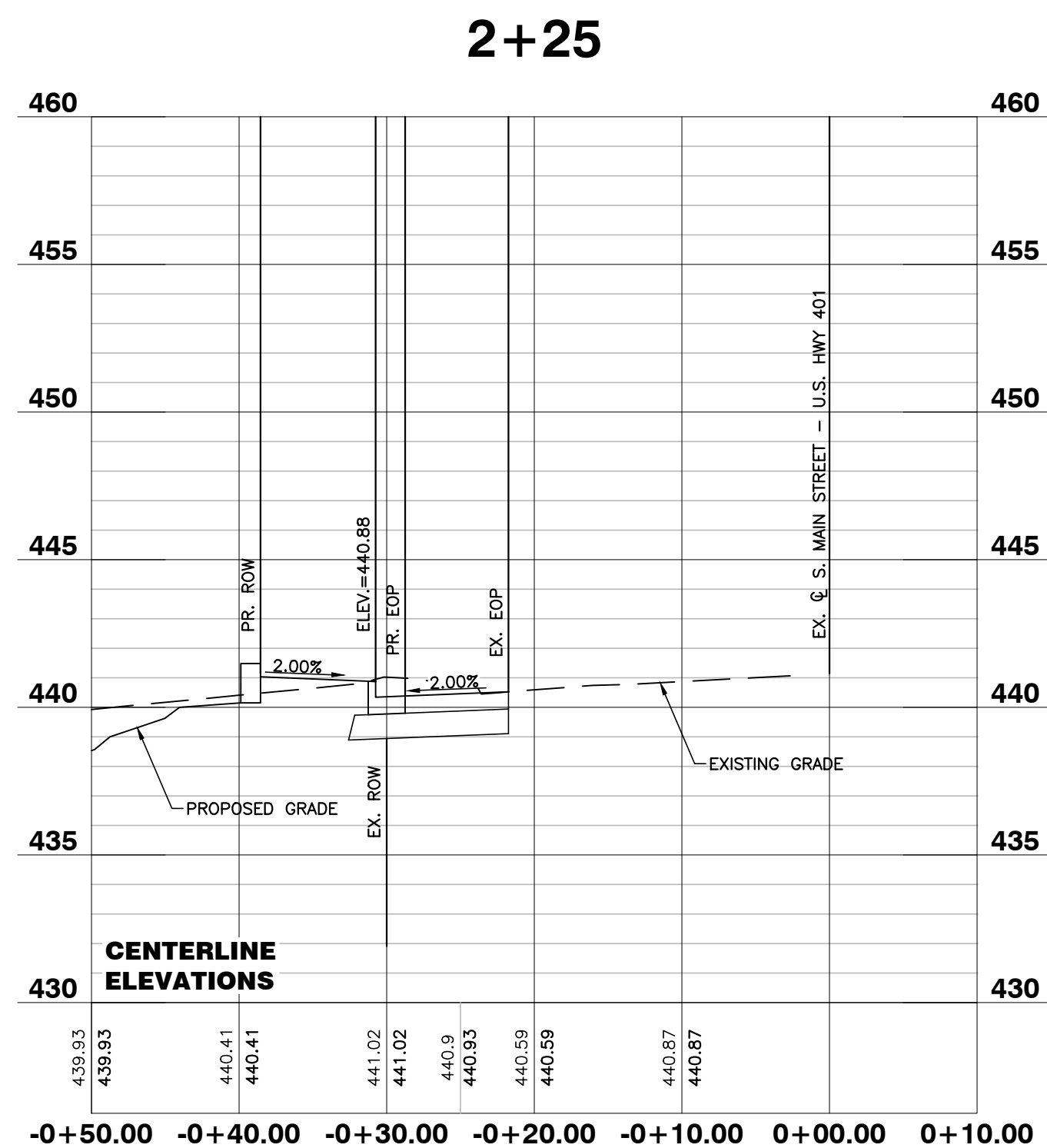
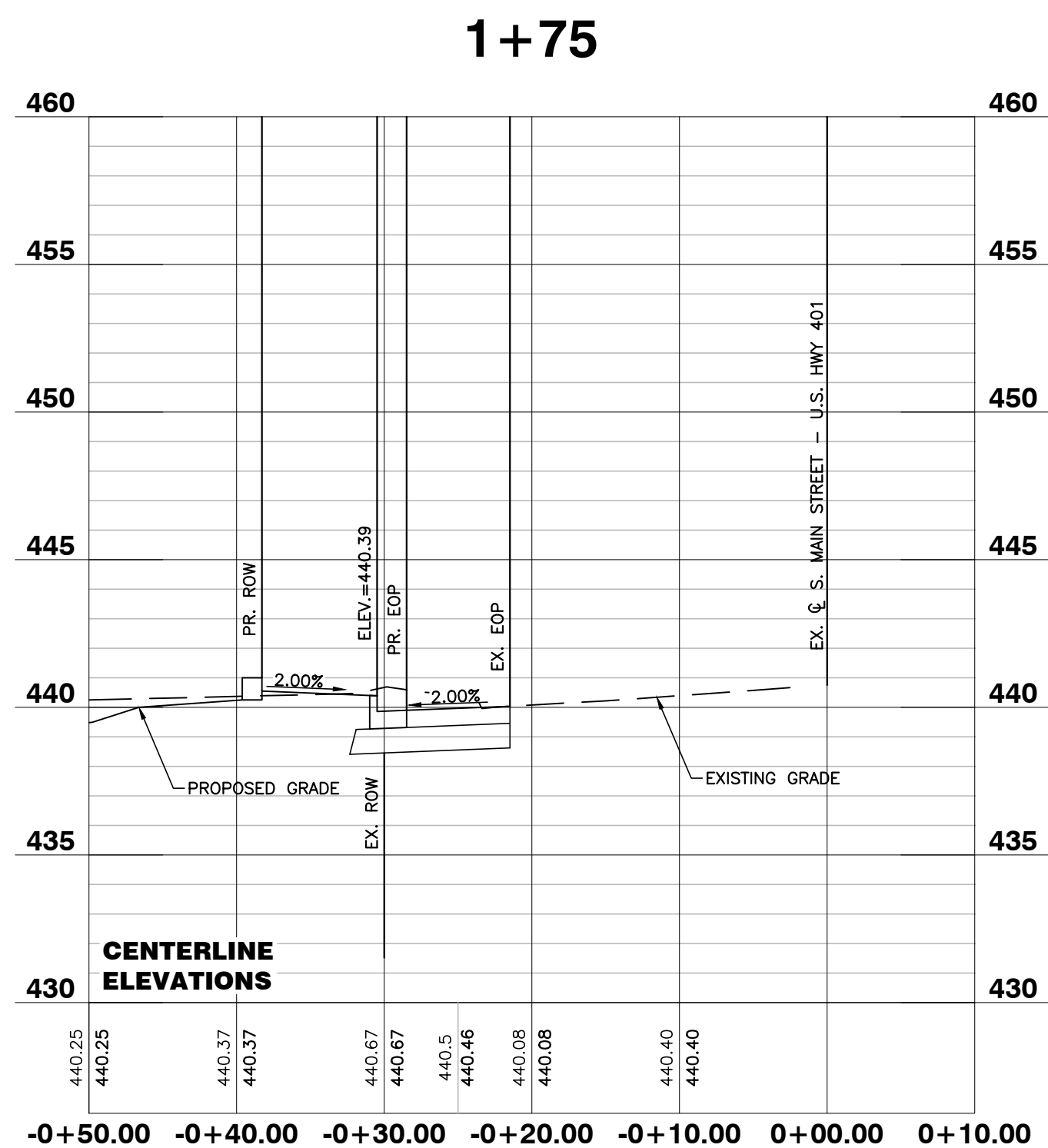
12/08/23

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF ROLESVILLE AND NCDOT



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919)851-1122 FAX: (919)851-8686
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)



PROGRESS	MRM	DATE	DESCRIPTION
03-19-17	MRM	03-19-17	ISSUED FOR PERMIT
08-15-17	MRM	08-15-17	ISSUED FOR PERMIT
12-06-23	MRM	12-06-23	TOWN OF ROLESVILLE COMMENTS
10-16-23	MRM	10-16-23	T.O.R. COMMENTS
09-21-23	MRM	09-21-23	CHANGES FROM 06-02-22 CDS

COBBLESTONE VILLAGE MIXED USE DEVELOPMENT
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SHEET C4.3

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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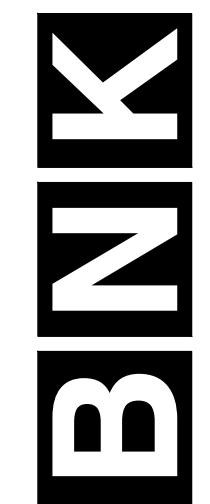
City of Raleigh Development Approval _____
 Raleigh Water Review Officer



12/08/23

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF ROLESVILLE AND NCDOT



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919)881-4222 FAX: (919)881-8686
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY
4	12-08-23	PER TOR COMMENTS	GW
3	05-15-22	PER TOR COMMENTS	GW
2	04-20-22	PER TOR COMMENTS	GW
1	5-28-21	PER TOR COMMENTS	GW
		NO. DATE DESCRIPTION	

PROGRESS: GW
 DATE: DRAWN BY: GW
 JOB NO.: DATE: DRAWN BY: GW

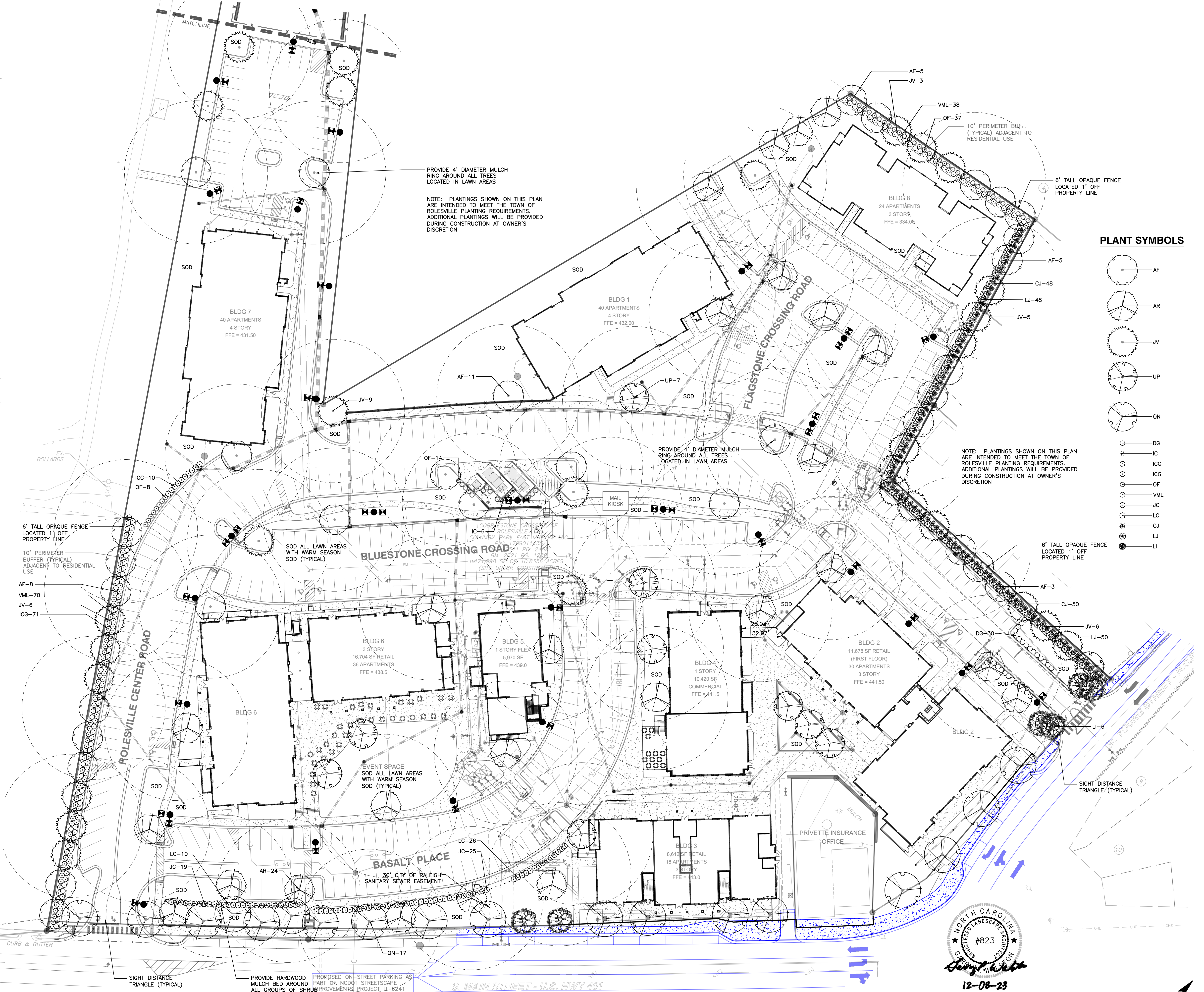
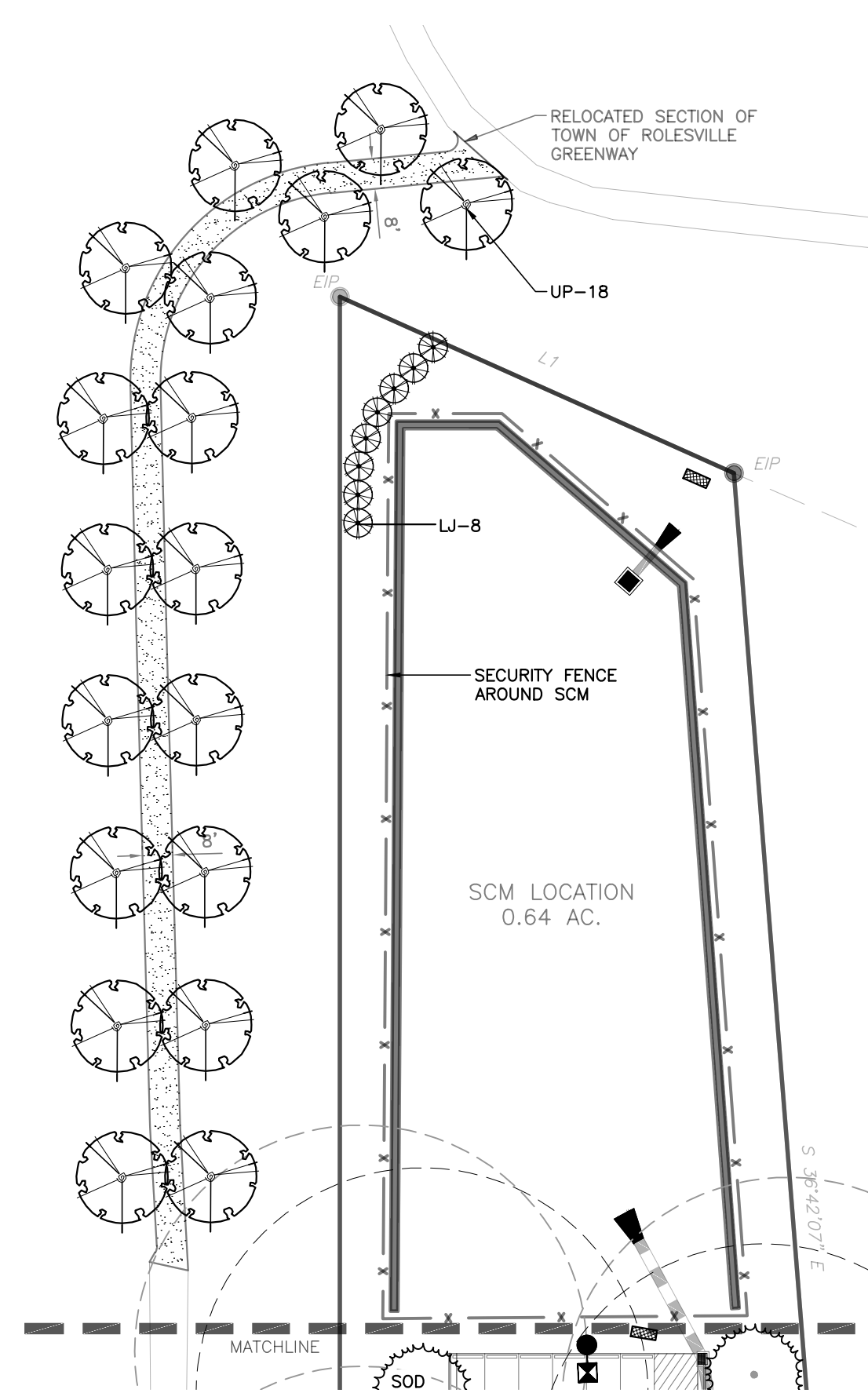
LANDSCAPE PLAN

SCALE: 1" = 40'

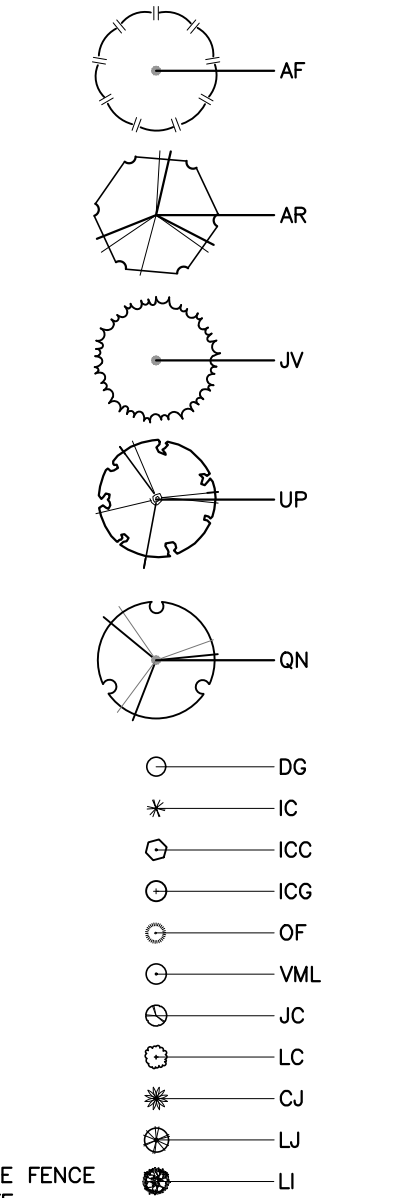
COBBLESTONE VILLAGE
MIXED USE DEVELOPMENT
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SHEET L1.1

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION



PLANT SYMBOLS



PLANT LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QUAN.	CAL.	HT.	ROOT	USE
CANOPY TREES							
AF	Acer freemanii	Freeman Maple	32	2.5"	8'	B&B	Buffer/VUA
AR	Acer rubrum 'Brandywine'	Brandywine Red Maple	26	2.5"	8'	B&B	VUA
JV	Juniperus virginiana	Eastern Red Cedar	29	2.5"	8'	B&B	Buffer/VUA
QN	Quercus nuttallii	Nuttall Oak	18	2.5"	8'	B&B	Street Tree
UP	Ulmus parvifolia 'Allee'	Allee Elm	28	2.5"	8'	B&B	VUA
UNDERSTORY TREES							
LI	Lagerstroemia indica 'Tonto'	Crepe Myrtle	6	1.5"	6'	B&B	Street
SHRUBS							
CI	Cleyera japonica	Japanese Cleyera	98		24"	CONT.	Buffer
DJ	Distylium 'Green Wave'	Green Wave Distylium	30		24"	CONT.	VUA
IC	Ilex crenata 'Sky Pencil'	Sky Pencil Holly	6		36"	CONT.	Dumpster
ICC	Ilex crenata 'Chesapeake'	Chesapeake Holly	10		24"	CONT.	VUA Screen
ICG	Ilex crenata 'Green Lustre'	Green Lustre Japanese Holl	71		24"	CONT.	Buffer
JC	Juniperus chinensis 'Sawbrook Gold'	Sawbrook Gold Juniper	44		24"	CONT.	VUA Screen
LC	Loropetalum chinense 'Da ruma'	Daruma Loropetalum	36		24"	CONT.	VUA Screen
LI	Ligustrum japonicum	Wax Ligustrum	106		24"	CONT.	Buffer
OF	Osmanthus fragrans	Fragrant Tea Olive	59		24"	CONT.	Buffer/Screen
VML	Viburnum x 'Moonlit Lace'	Moonlit Lace Viburnum	108		24"	CONT.	Buffer

NOTE: PLANTINGS SHOWN ON THIS PLAN ARE INTENDED TO MEET THE TOWN OF ROLESVILLE PLANTING REQUIREMENTS. ADDITIONAL PLANTINGS WILL BE PROVIDED DURING CONSTRUCTION AT OWNER'S DISCRETION.

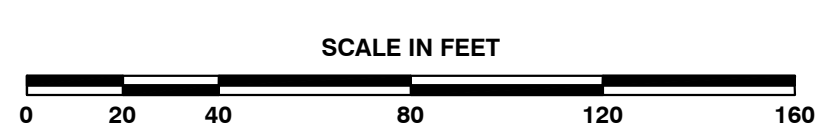
NOTE: PLANTINGS SHOWN ON THIS PLAN ARE INTENDED TO MEET THE TOWN OF ROLESVILLE PLANTING REQUIREMENTS. ADDITIONAL PLANTINGS WILL BE PROVIDED DURING CONSTRUCTION AT OWNER'S DISCRETION.

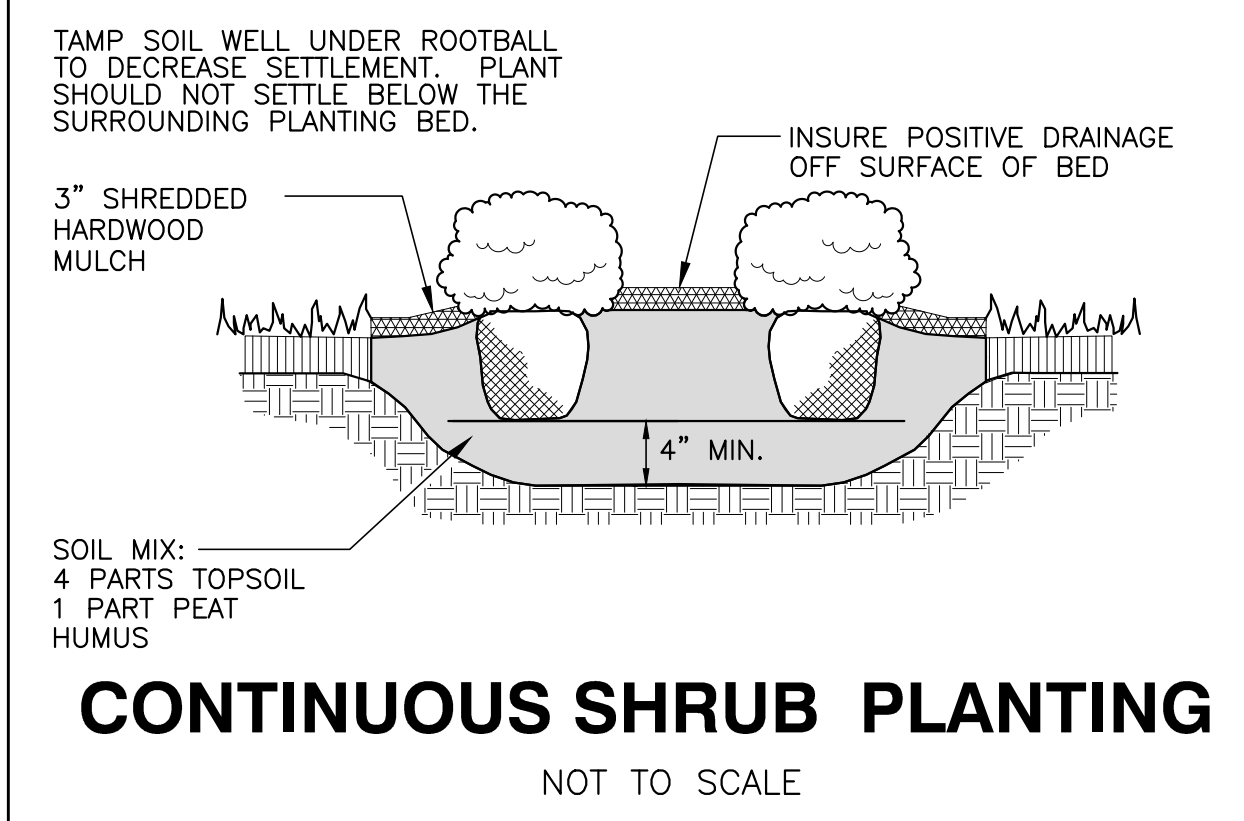
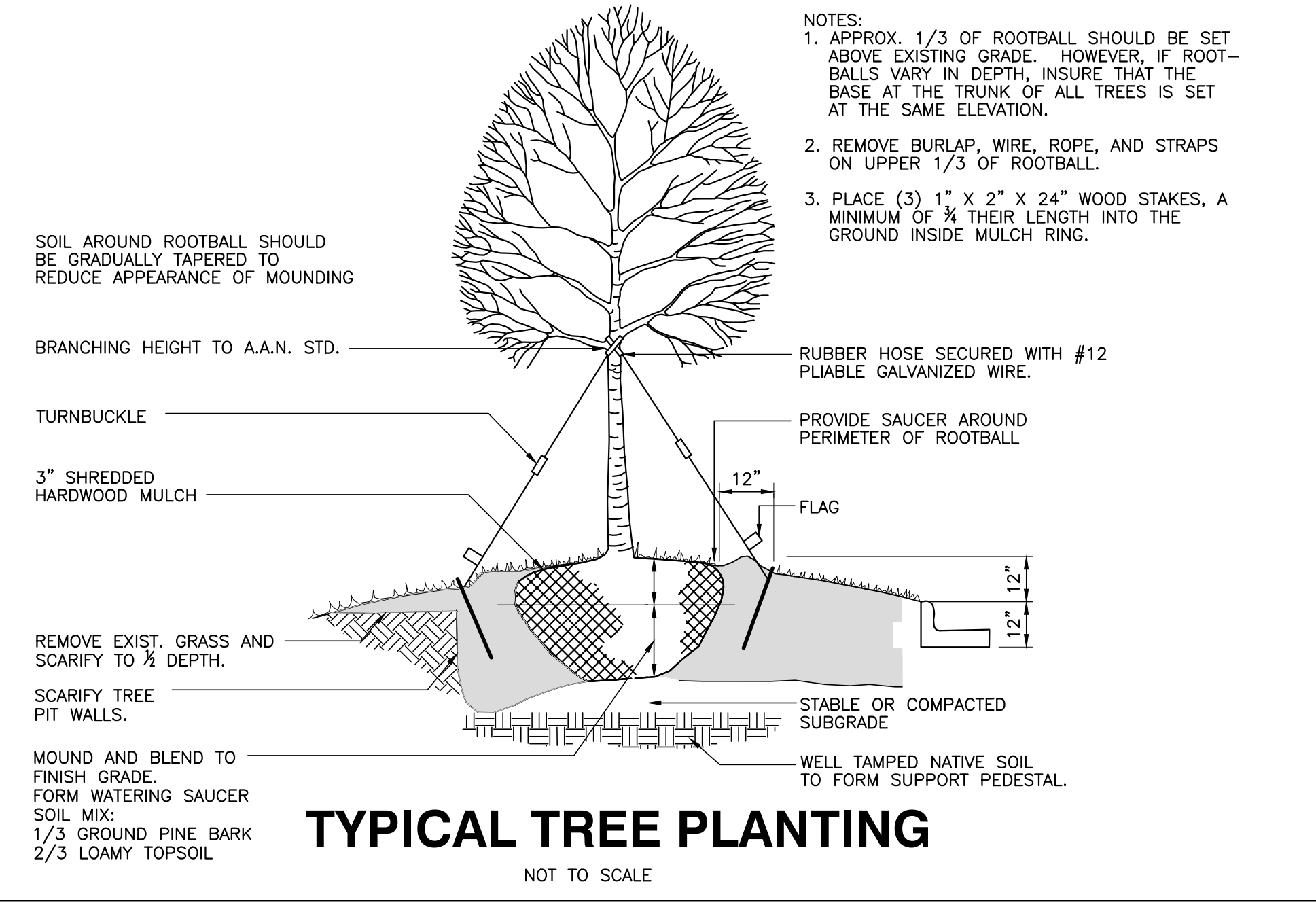
Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval _____
 Raleigh Water Review Officer

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF ROLESVILLE AND NCDOT





GENERAL NOTES

- A/C UNITS, TRANSFORMERS AND OTHER MECHANICAL OR UTILITY EQUIPMENT, NOT SHOWN ON THE PLAN, SHALL BE SCREENED FROM VIEW EITHER BY ADJUSTING PLANTINGS SHOWN IN CLOSE PROXIMITY TO EQUIPMENT OR BY THE ADDITION OF WAX MYRTLES @ 24" HT, 5" OC (SEE GENERAL NOTES FOR EQUIPMENT ACCESSIBILITY AND PLANTING PROXIMITY, ETC.). DUMPSTER IS SCREENED FROM OFF-SITE VIEWS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO PLANTING.
- MULCH SHALL BE 3" DEEP SHREDDED HARDWOOD MULCH UNLESS OTHERWISE NOTED.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST AND ON THE PLAN SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES BETWEEN PLANT LIST AND PLANTING PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
- ALL TREES, SHRUBS, GROUNDCOVER, ETC. SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL ROOTBALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO PLANTING.
- B&B AS LISTED UNDER "ROOT" IN THE PLANT LIST INDICATES BALLED & BURLAPPED.
- ALL PLANTS/PLANTINGS SHALL BE MULCHED IMMEDIATELY AFTER PLANTING AND WATERED.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THEY BORE TO PREVIOUS EXISTING GRADE (UNLESS OTHERWISE NOTED).
- ALL TREES AND SHRUBS SHALL REQUIRE MULCH RINGS AT THEIR BASE IF LEFT WITHIN LAWN AREAS.
- MULCH EDGES AND PROPOSED PLANTINGS SHALL NOT DISTURB ANY EXISTING GROUPS OF TREES TO REMAIN. EDGES ARE SHOWN FOR APPROXIMATION ONLY, BUT ARE TO INDICATE SMOOTH, CLEAN CURVES.
- CULVERTS, RIP-RAP STRUCTURES, AND OTHER STORMWATER DEVICES SHALL BE SCREENED WITH EVERGREEN SHRUBS. IF STRUCTURES ARE NOT SHOWN ON THE PLAN, INSTALL WAX MYRTLES @ 24" HT. - 5" OC.
- A 2' BUMPER OVERHANG, FROM THE BACK OF CURB, SHALL BE ALLOTTED FOR MATURE SHRUBS.
- TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (C.O.). THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A (C.O.).
- UNLESS OTHERWISE NOTED ON THE PLAN, ALL DISTURBED AREAS ARE TO BE SEEDED WITH WARM SEASON GRASS, INCLUDING PARKING LOT PERIMETERS AND PARKING LOT ISLANDS.
- PERIMETER BUFFER AREAS ARE TO BE MULCHED TO A DEPTH OF THREE INCHES.

LANDSCAPE CALCULATIONS

PERIMETER BUFFERS (10' TYPICAL):
 WEST (1) - 352 LF = 4 TREES / 100 LF = 14 TREES REQUIRED/PROVIDED
 = 40 SHRUBS / 100 LF = 141 SHRUBS REQUIRED/PROVIDED
 = 352 LF MIN. 6' TALL FENCE REQUIRED
 NORTH (2) - 187 LF = 4 TREES / 100 LF = 8 TREES REQUIRED/PROVIDED
 = 40 SHRUBS / 100 LF = 75 SHRUBS REQUIRED/PROVIDED
 = 187 LF MIN. 6' TALL FENCE REQUIRED
 NORTHEAST (3) - 240 LF = 4 TREES / 100 LF = 10 TREES REQUIRED/PROVIDED
 = 40 SHRUBS / 100 LF = 96 SHRUBS REQUIRED/PROVIDED
 = 240 LF MIN. 6' TALL FENCE REQUIRED
 EAST (4) - 247 LF = 4 TREES / 100 LF = 10 TREES REQUIRED/PROVIDED
 = 40 SHRUBS / 100 LF = 100 SHRUBS REQUIRED/PROVIDED
 = 247 LF MIN. 6' TALL FENCE REQUIRED

STREET YARDS:
 MAIN ST - 595 LF = 1 TREE / 50 LF = 12 TREES REQUIRED/PROVIDED
 WEST YOUNG ST - 242 LF = 1 TREE / 50 LF = 5 TREES REQUIRED/PROVIDED

VEHICULAR USE AREA COVERAGE: 1 TREE WITHIN 60' OF EACH PARKING SPACE

PLANTING NOTES:
 LOCATE PLANTS AND PLANTING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, BACK OF CURB, BUILDINGS, WALLS, ETC. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT. SYMBOLS: B&B = BALLED & BURLAPPED; B.R. = BARE ROOT; CONT. = CONTAINER, O.C. = ON-CENTER
 STREET TREE PLANTINGS TO BE COORDINATED IN CONCURRENCE WITH NCDOT STREETSCAPE IMPROVEMENT PROJECT ALONG S. MAIN AND YOUNG STREET(S).

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

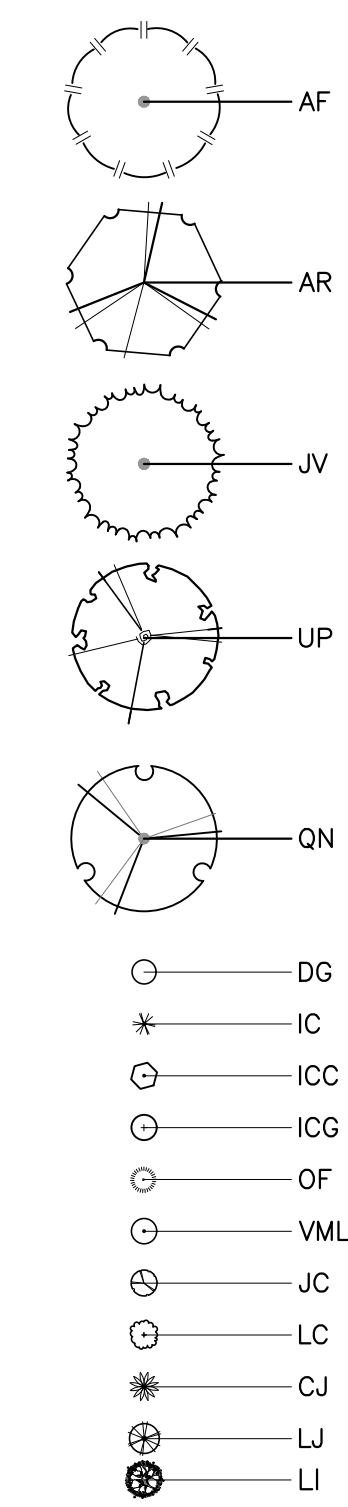
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NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE TOWN OF ROLESVILLE AND NCDOT

PLANT SYMBOLS



BASS, NIXON & KENNEDY, INC.
 CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919) 881-1122 FAX: (919) 881-6868
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

PROGRESS	DATE	BY	DESCRIPTION
4	12-08-23	GW	PER TOR COMMENTS
3	05-16-22	GW	PER TOR COMMENTS
2	04-20-22	GW	PER TOR COMMENTS
1	5-28-21	GW	PER TOR COMMENTS
		BY	DESCRIPTION

LANDSCAPE DETAILS
 CHK BY: GPW
 SCALE: N.T.S.

COBBLESTONE VILLAGE
 MIXED USE DEVELOPMENT
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SHEET L1.2

Outdoor Lighting

SHOEBOX LED



LED
(Light-emitting diode) 150220420/330 watts

Mounting height 29' - 30'

Color
Black
Bronze
Gray (Special conditions)

Pole
Wood
Style A

IESNA cutoff classification: Full-cutoff
Color temperature: 3,000K Primary
4,000K Available

FIXTURE	WATTS	LUMENS	PATTERN	BUG RATING
Shoebox	150	19,017	III	B3-U0-G3
		18,490	IV	B3-U0-G4
		19,580	V	B3-U0-G3
Shoebox	220	29,744	III	B3-U0-G4
		23,961	IV	B3-U0-G4
		24,461	V	B3-U0-G3
Shoebox	420	41,379	IV	B3-U0-G5
		40,868	V	B3-U0-G5
Shoebox	630	51,429	IV	B3-U0-G5
		57,059	V	B3-U0-G5

LIGHT DISTRIBUTION PATTERNS



POLE AVAILABLE **MOUNTING HEIGHT** **FOUNDATION**

Style A	Wood	25', 30', 35'	25', 30', 35'	Direct Bury, Anchor Base	Direct Bury

For additional information, contact us at OOL_Cons@bnk-engineers.com

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STATISTICS

AVERAGE	1.8 ft
MAXIMUM	5.6 ft
MINIMUM	0.4 ft
MAXMIN	14.0:1
AVGMIN	4.5:1

NOTE:

- BUILDING LIGHTING SHALL BE PROVIDED TO ILLUMINATE ENTRANCES AND EXITS TO MEET IES STANDARDS AS PART OF THE BUILDING ELECTRICAL DESIGN AND IS NOT INCLUDED IN THE SCOPE OF THIS SITE LIGHTING LAYOUT.
- ALL SITE LIGHTING SHALL BE SHIELDED FROM ADJACENT PUBLIC STREETS USING HOUSE SIDE SHIELDS IF GREATER THAN 2.0 FCAT PROPERTY LINE.
- THE INTENT OF THIS DRAWING IS TO SHOW FOOTCANDLE LEVELS BASED ON FIXTURES SHOWN. ACTUAL LEVELS MAY VARY BASED ON ACTUAL FIXTURE INSTALLED.
- THIS DRAWING IS INTENDED FOR PRELIMINARY SITE PLAN APPROVAL OF DESIGNED LIGHTING LEVELS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION.

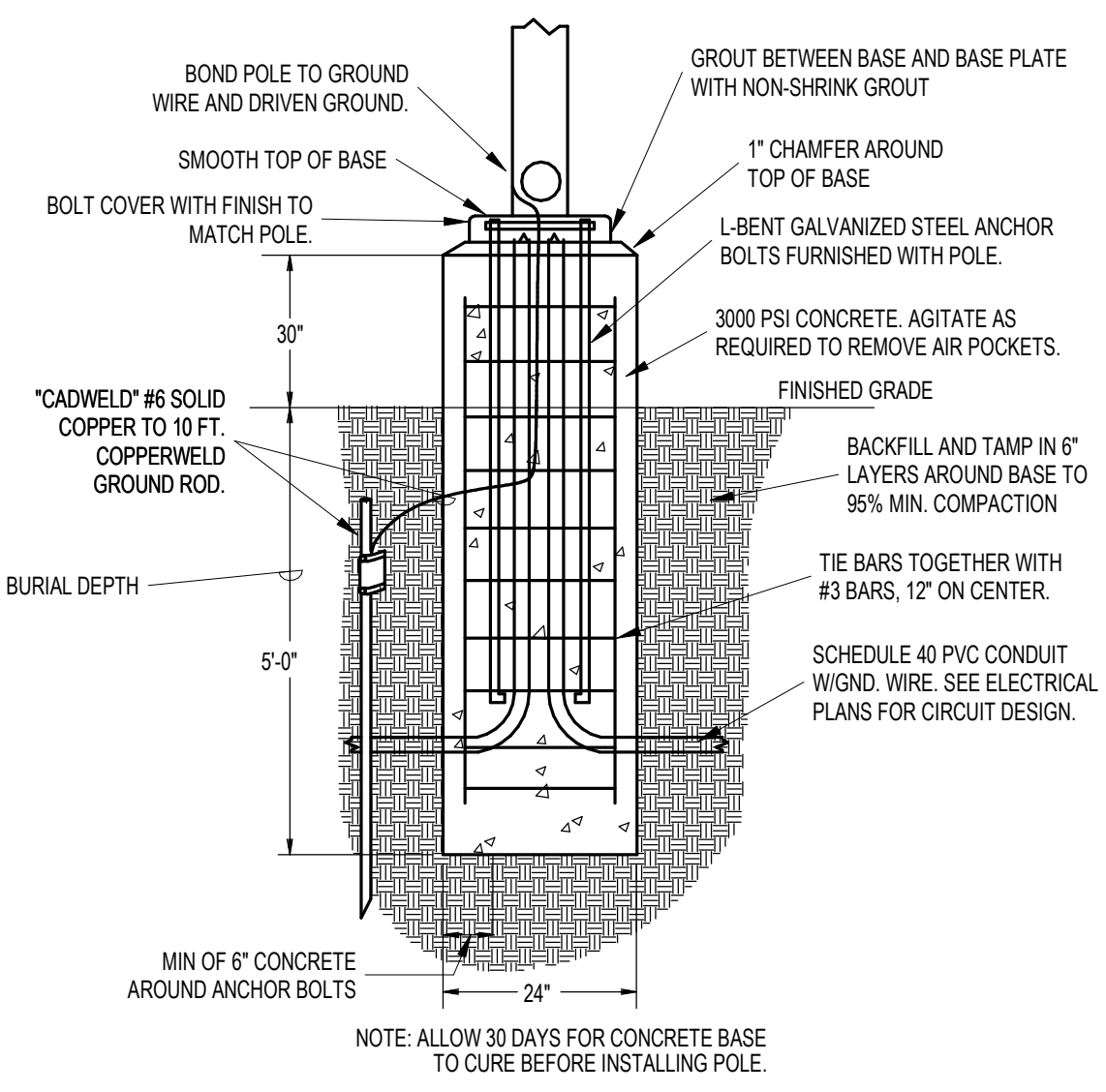
ELECTRICAL CONNECTION NOTE:

THIS IS A SITE LIGHTING CALCULATION PLAN ONLY AND DOES NOT PROVIDE ELECTRICAL CONNECTIONS FOR FIXTURES SHOWN. SITE DEVELOPERS (OWNERS, BUILDERS AND GENERAL CONTRACTORS) ARE RESPONSIBLE FOR COORDINATING WITH BUILDING ELECTRICAL CONTRACTOR OR POWER COMPANY FOR POWER CONNECTIONS FOR ALL FIXTURES.

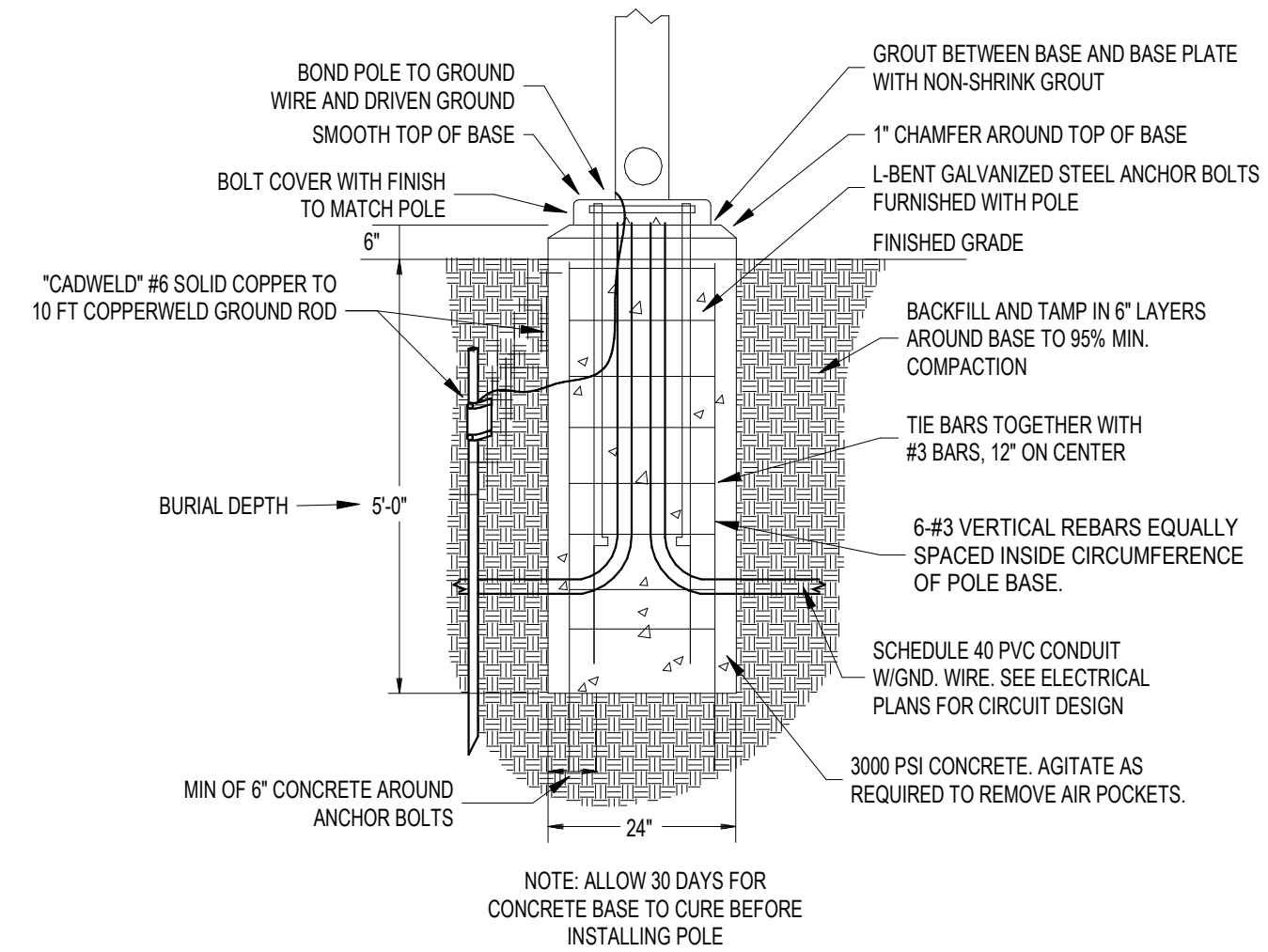
4 FIRST FLOOR SITE LIGHTING
SCALE: 1" = 50'-0"

Lighting Fixture Schedule

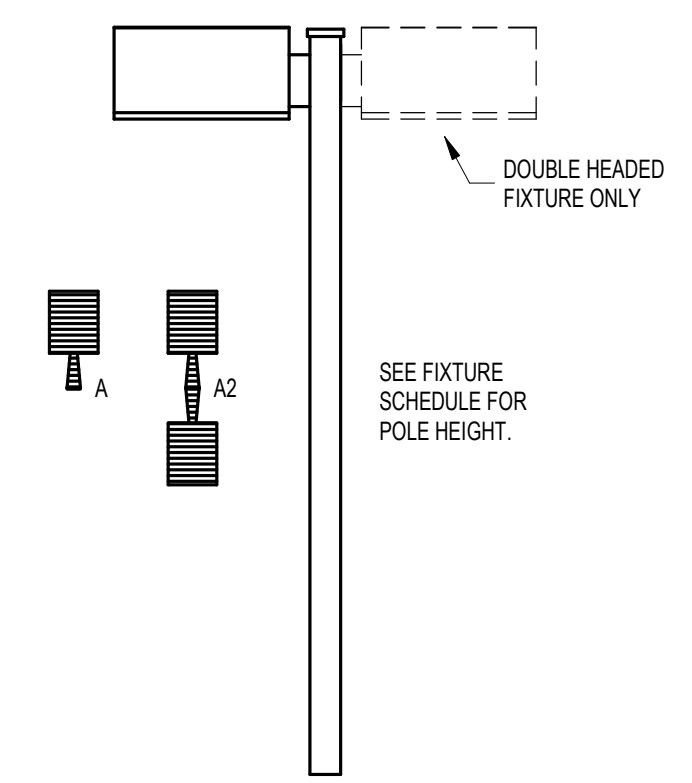
Type Mark	Description	Manufacturer	Model	Voltage	Wattage	Mounting Height
A	NEW LED POLE MOUNTED PARKING LOT LIGHTING	EATON-STREETWORKS	LED 50W SHOEBOX - TYPE IV -3000K	277 V	59.0 W	25'
B	NEW LED POLE MOUNTED PARKING LOT LIGHTING	EATON-STREETWORKS	LED 150W SHOEBOX - TYPE IV -4000K	277 V	166.0 W	25'
B1	NEW LED POLE MOUNTED PARKING LOT LIGHTING	EATON-STREETWORKS	LED 150W SHOEBOX - TYPE IV -4000K	277 V	332.0 W	25'
B2	NEW LED POLE MOUNTED PARKING LOT LIGHTING	EATON-STREETWORKS	LED 150W SHOEBOX - TYPE IV -4000K	277 V	332.0 W	25'



1 LIGHTING POLE BASE DETAIL
SCALE: NONE

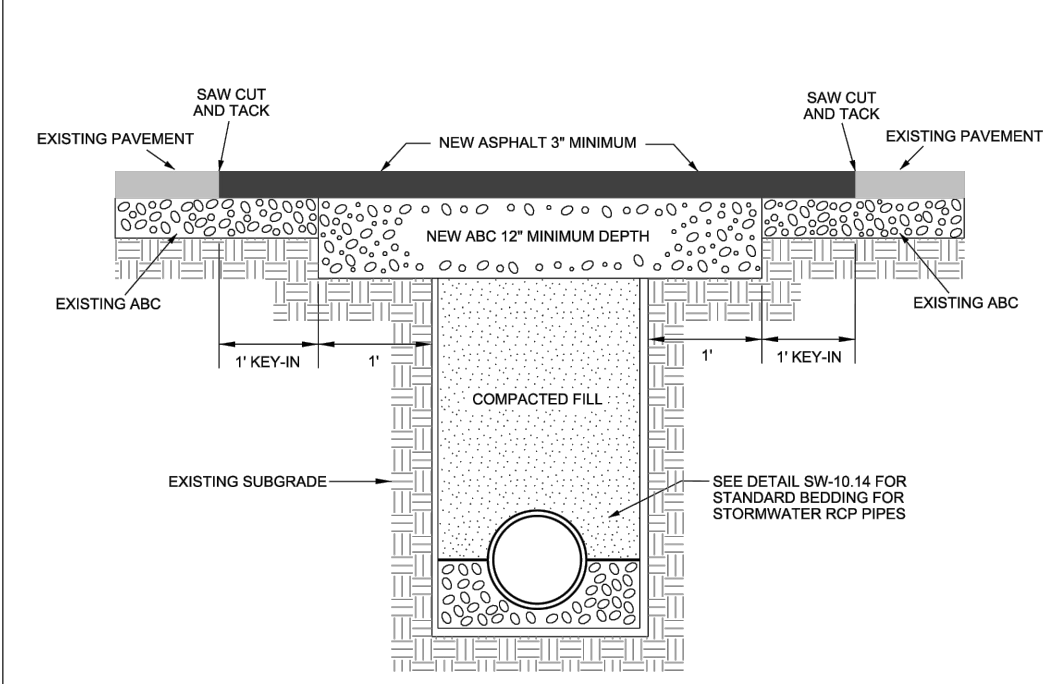


2 SITE LIGHTING POLE BASE DETAIL - 5/8" AFG
SCALE: NONE



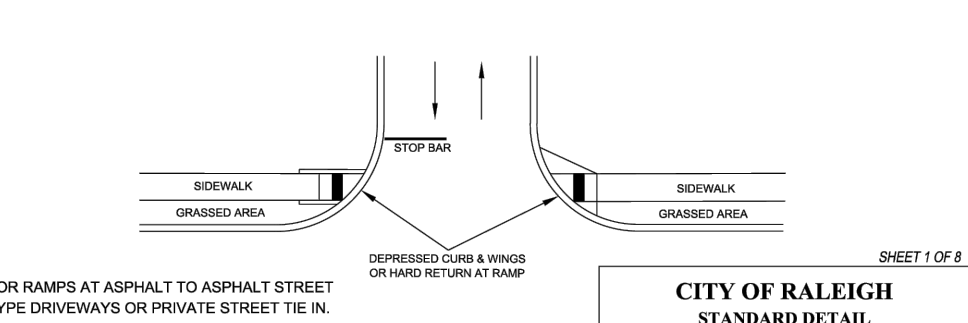
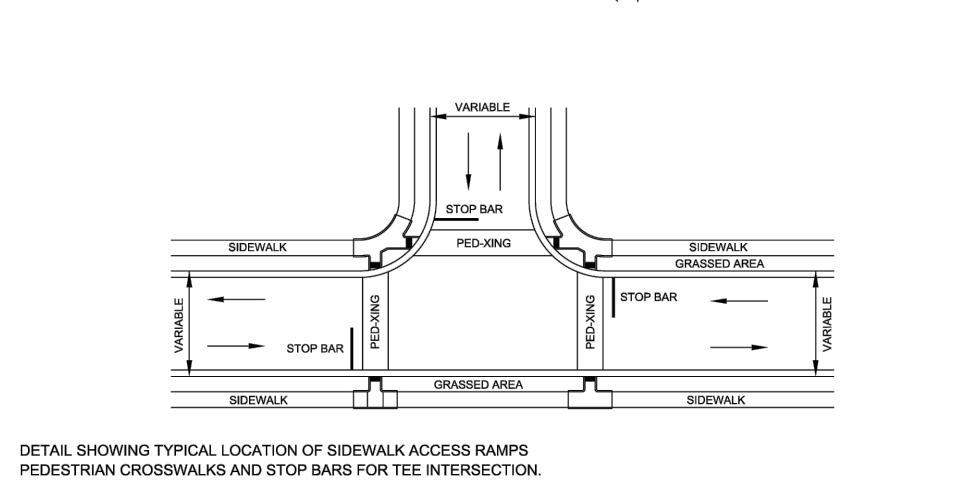
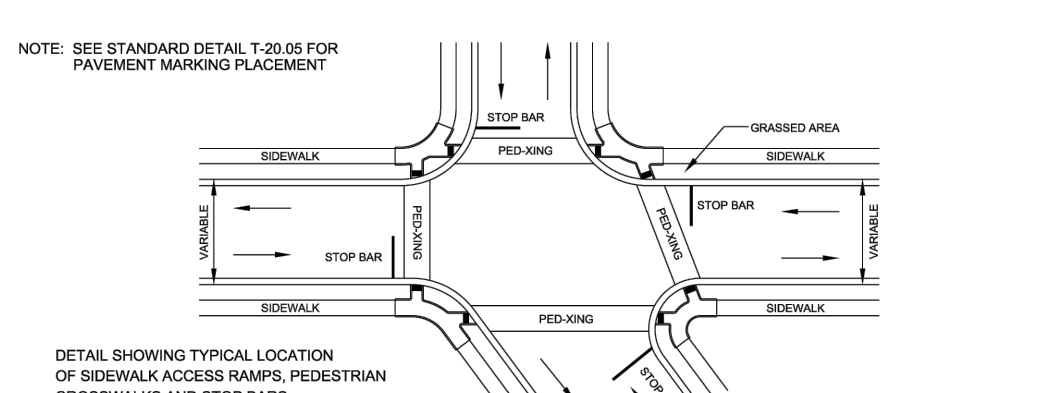
3 FIXTURE "A" & "A2" DETAIL
SCALE: NONE

2 SITE LIGHTING POLE BASE DETAIL - 5/8" AFG
SCALE: NONE

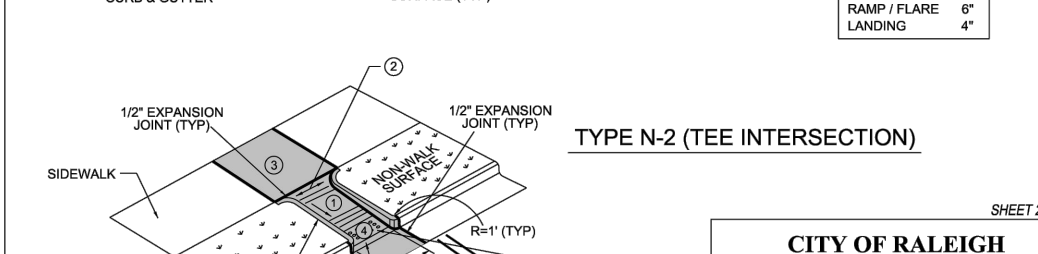
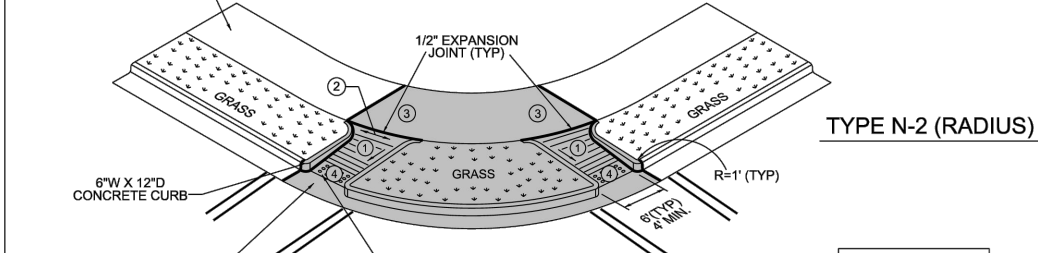
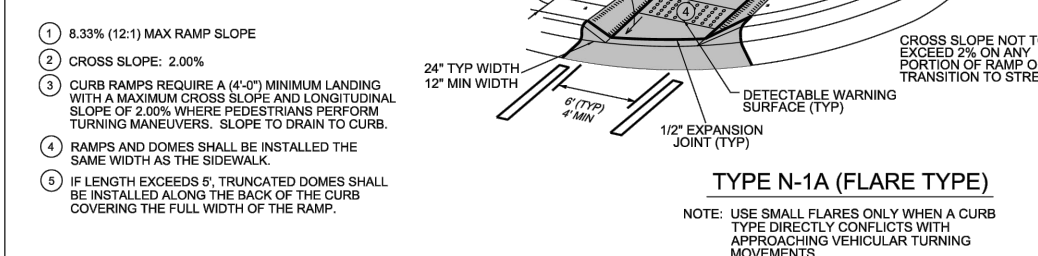
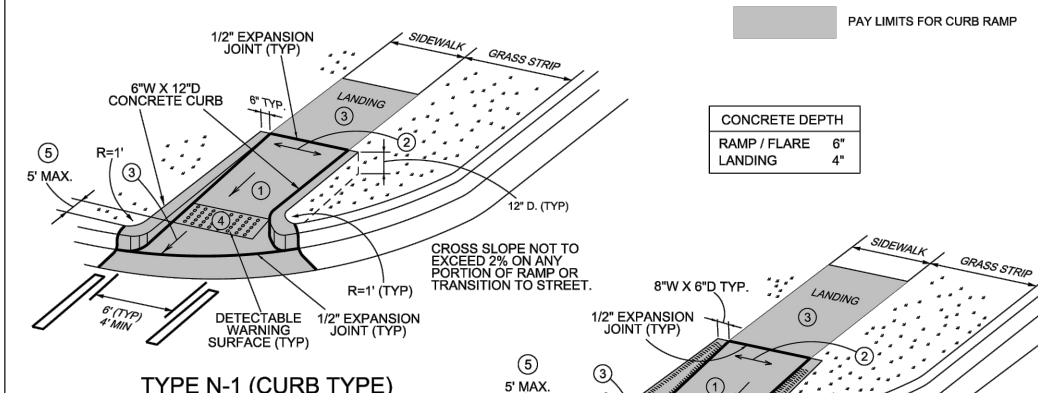


- NOTES:
1. THE PAVEMENT EDGE SHALL BE DEFINED BY A STRAIGHT EDGE FORMED BY A MACHINED SAW CUT.
2. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
3. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL, COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT. BITUMINOUS BASE OR BINDER MAY BE SUBSTITUTED IF APPROVED BY TRANSPORTATION DIRECTOR OR ENGINEER.
4. THE ENTIRE THICKNESS/VERTICAL EDGE OF THE CUT SHALL BE TACKED.
5. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
6. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY AND ROLLED WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH, LEVEL PATCH.

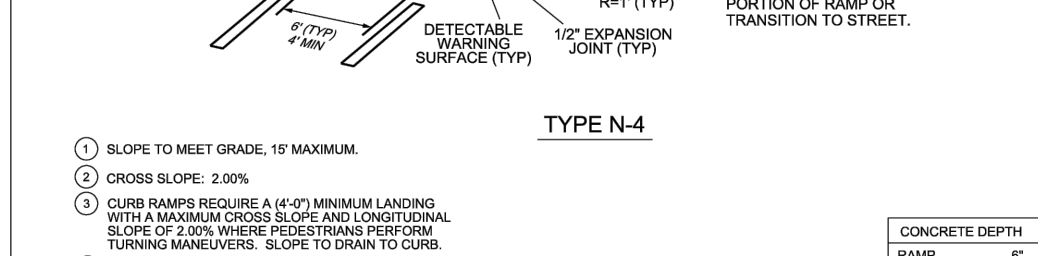
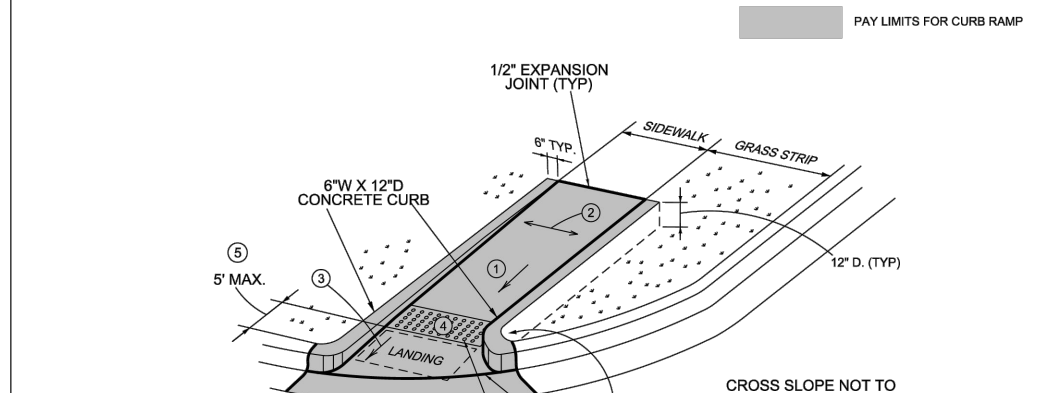
CITY OF RALEIGH STANDARD DETAIL. REVISIONS: DATE REVISION. CURB RAMPS. T-10.05



CITY OF RALEIGH STANDARD DETAIL. REVISIONS: DATE REVISION. CURB RAMPS. T-20.01.1



CITY OF RALEIGH STANDARD DETAIL. REVISIONS: DATE REVISION. CURB RAMPS (NEW DEVELOPMENT). T-20.01.2



CITY OF RALEIGH STANDARD DETAIL. REVISIONS: DATE REVISION. CURB RAMPS (NEW DEVELOPMENT). T-20.01.4

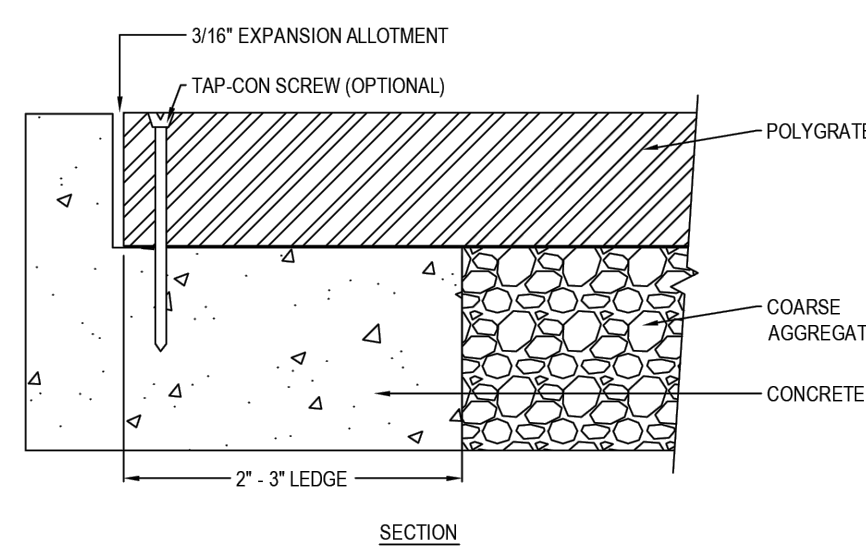
CITY OF RALEIGH CURB RAMPS GENERAL NOTES

- 1. CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
2. CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
3. DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
4. THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
5. NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1" FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
6. IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
7. USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
8. A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
9. CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

CITY OF RALEIGH STANDARD DETAIL. REVISIONS: DATE REVISION. CURB RAMPS NOTES. T-20.01.8



POLYGRATE 3401 CHIEF DRIVE HOLLY, MI 48442-9333 TOLL FREE: 1-800-523-6899 PHONE: (810) 953-9400 FAX: (810) 953-9440 www.polygrate.com



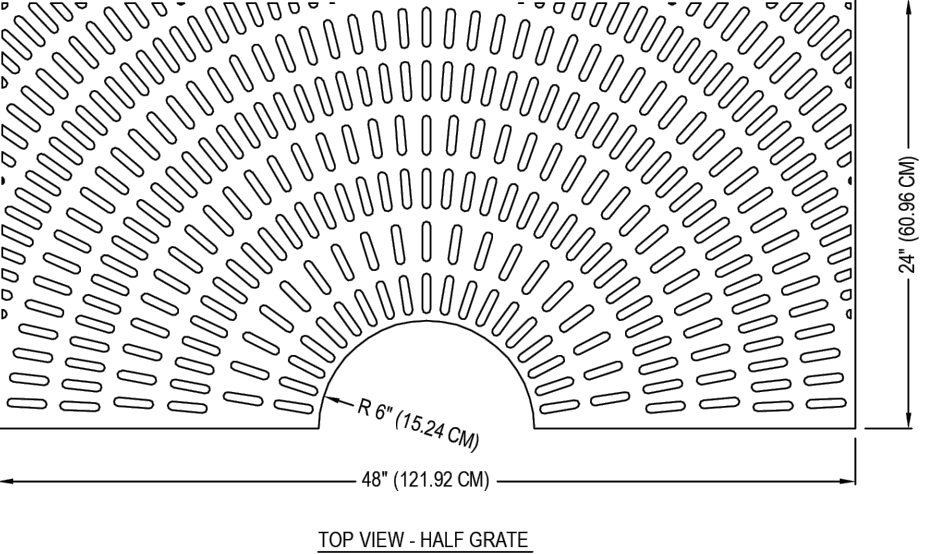
PRODUCT AND MATERIAL TEST DATA. RESIN PROPERTIES, MOLDED PROPERTIES, FLEXURAL MODULUS.

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 1063-016

POLYGRATE™ INSTALLATION WITH CONCRETE SURROUND. REVISION DATE: 01/26/2018. CADdetails.com



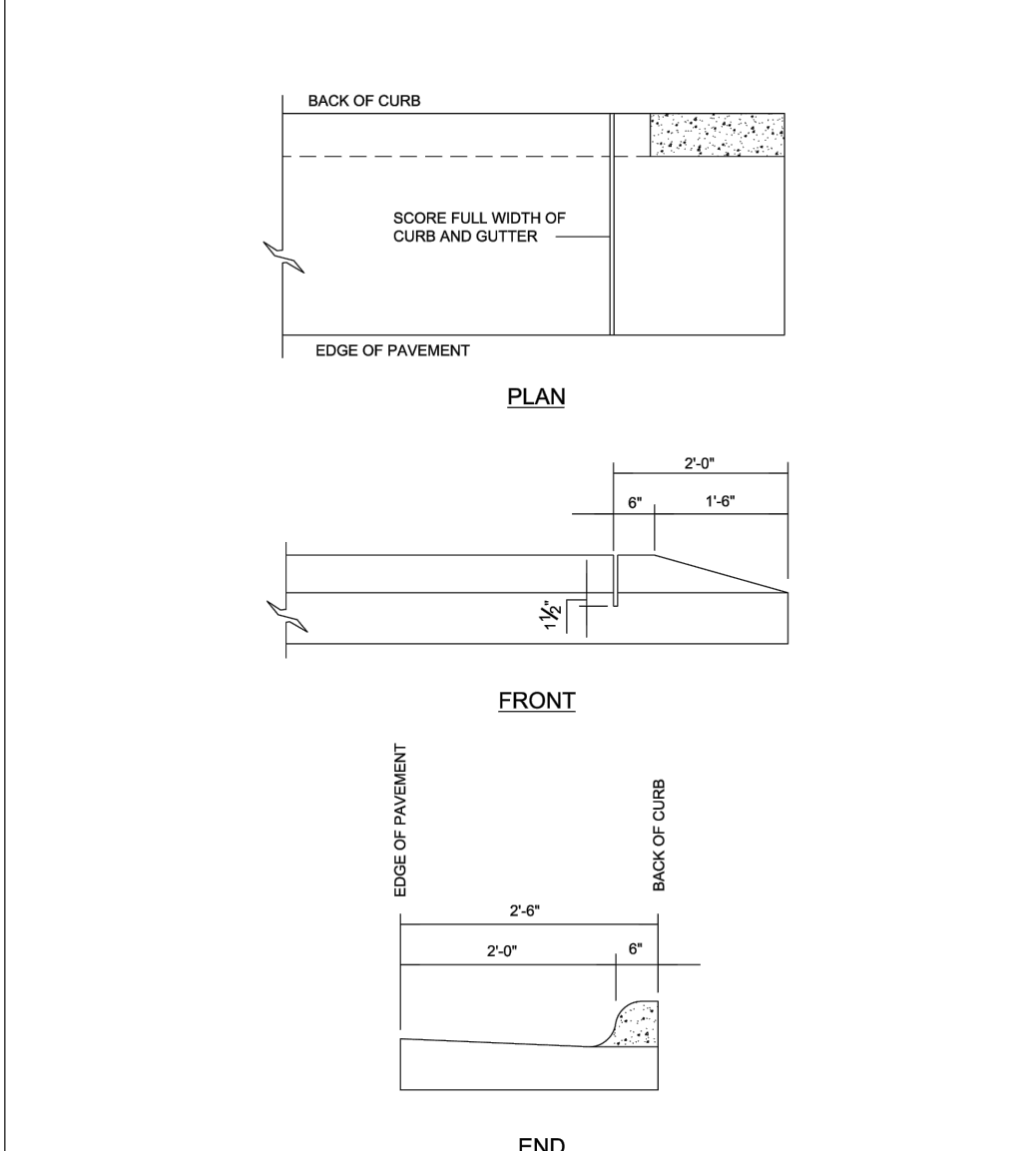
POLYGRATE 3401 CHIEF DRIVE HOLLY, MI 48442-9333 TOLL FREE: 1-800-523-6899 PHONE: (810) 953-9400 FAX: (810) 953-9440 www.polygrate.com



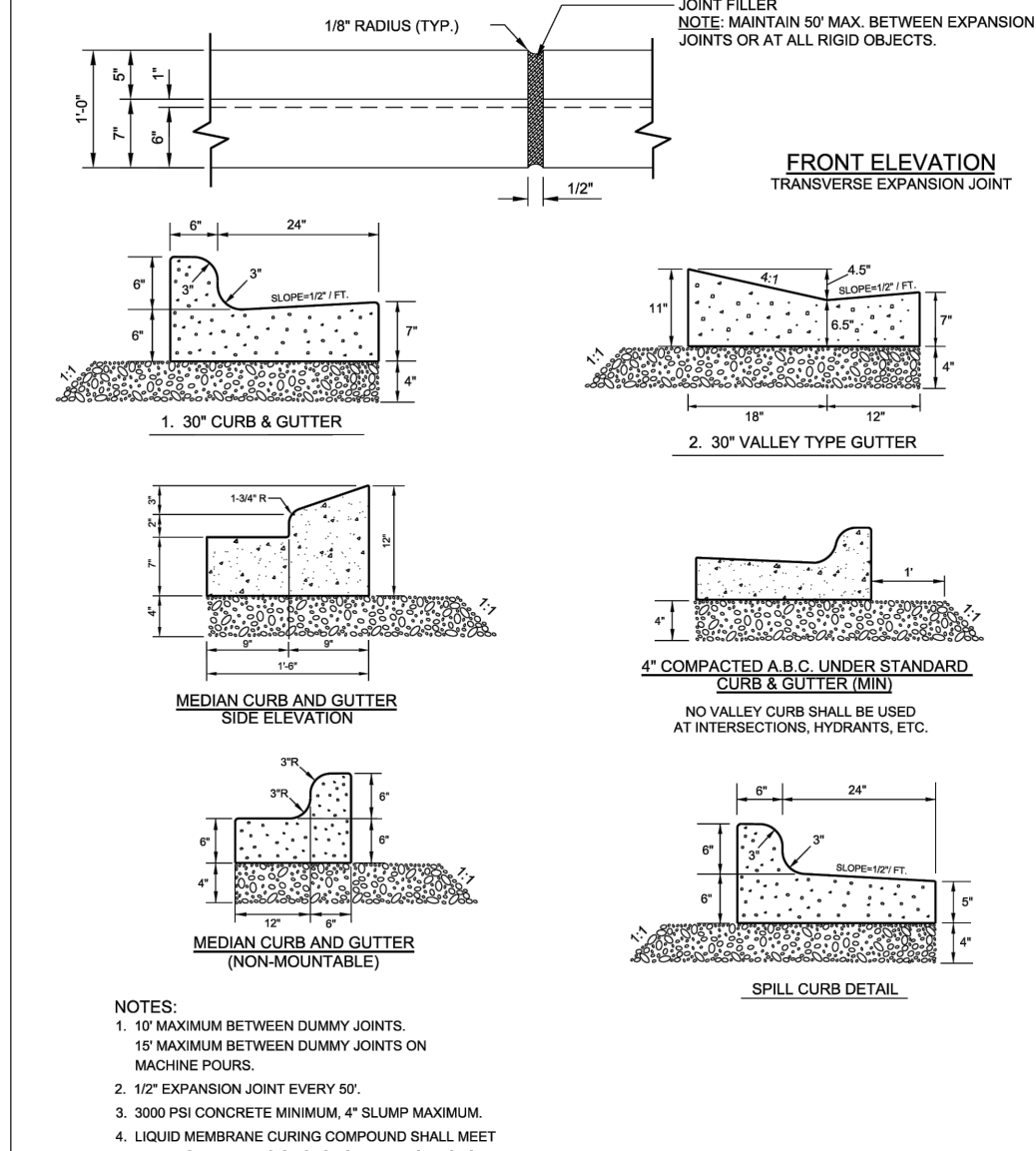
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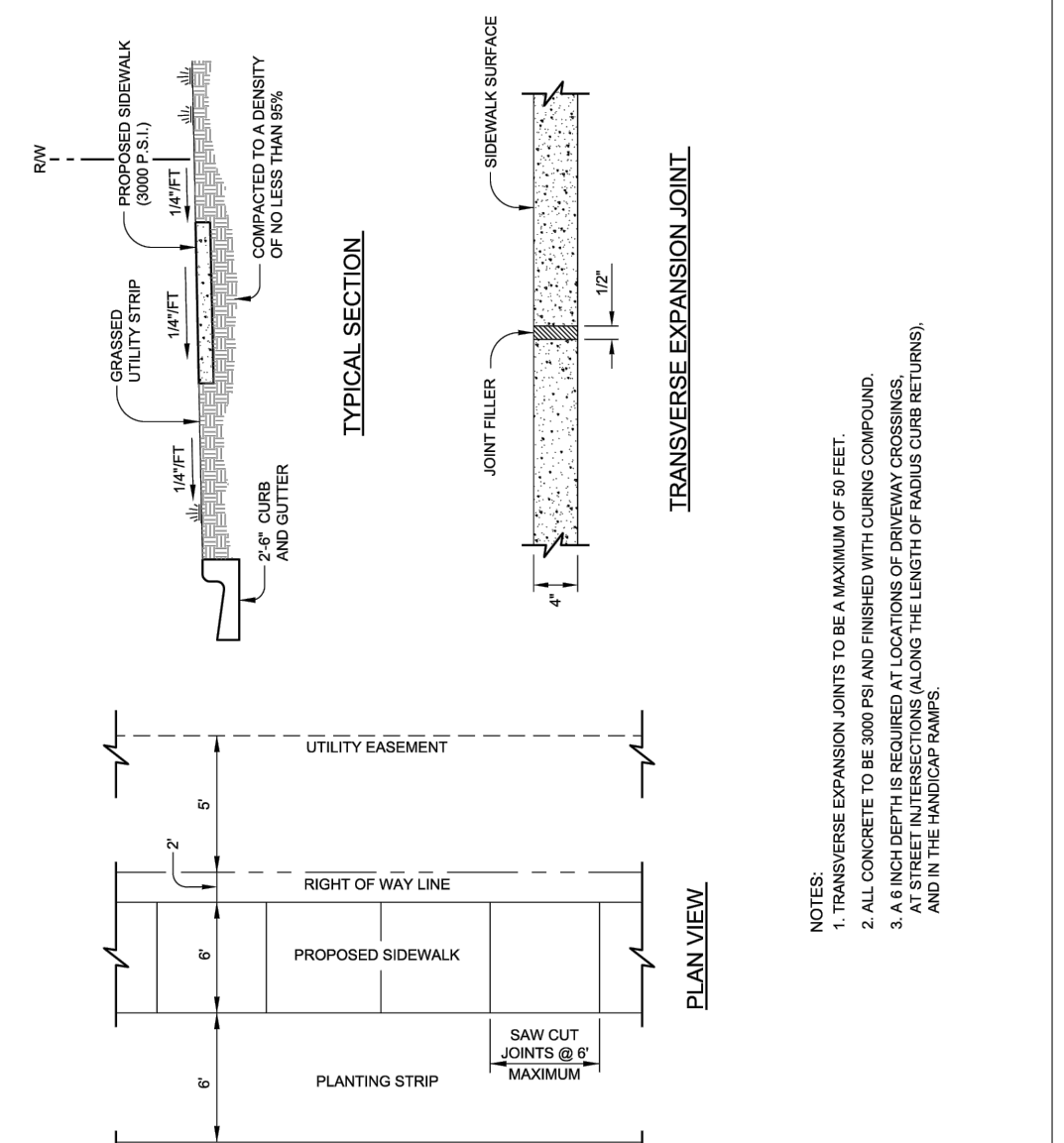
POLYGRATE™ SQUARE TREE GRATES. 4\"/>



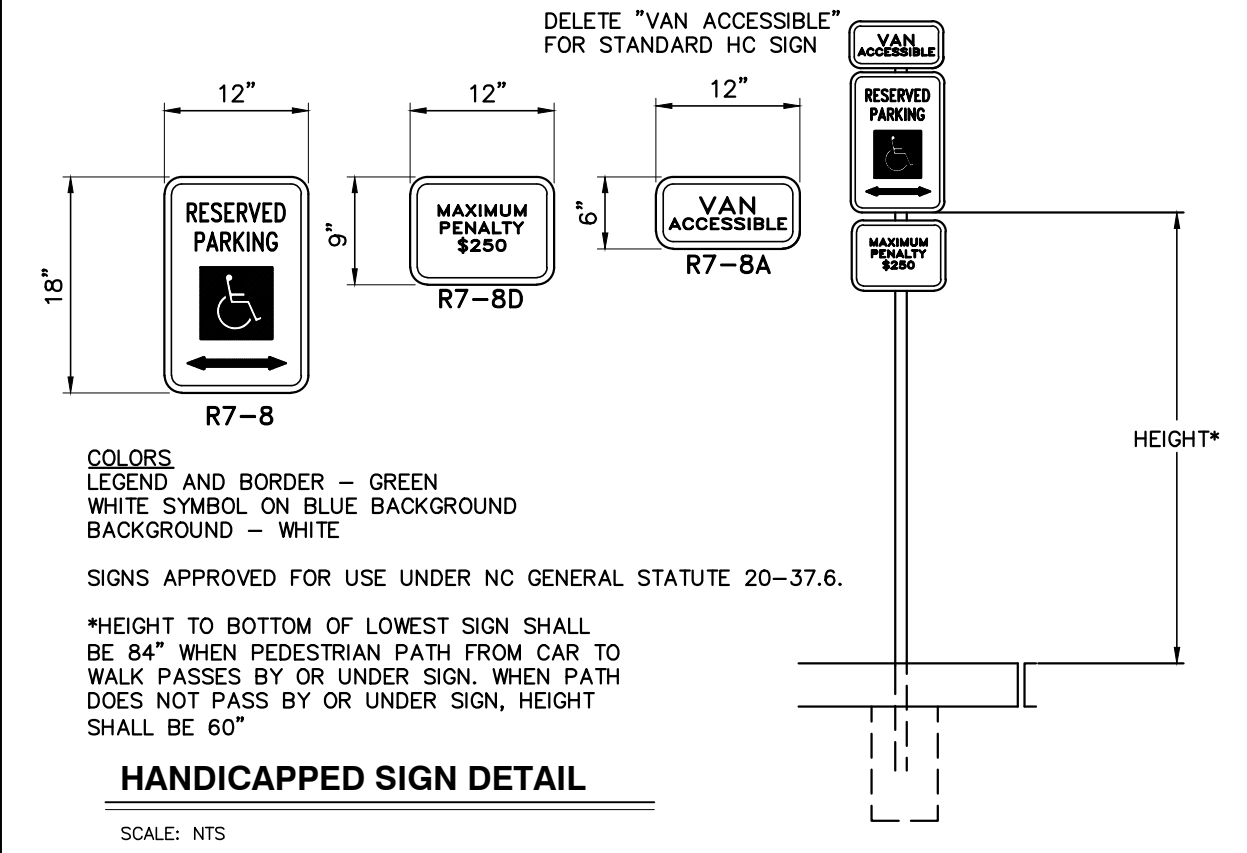
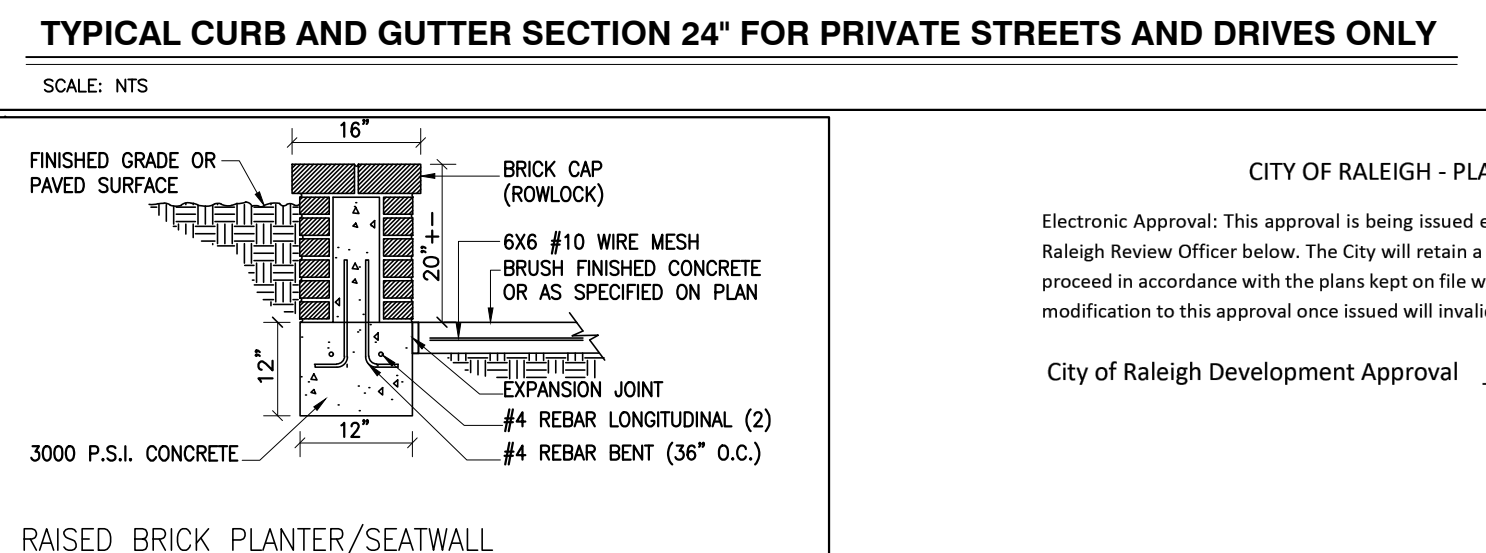
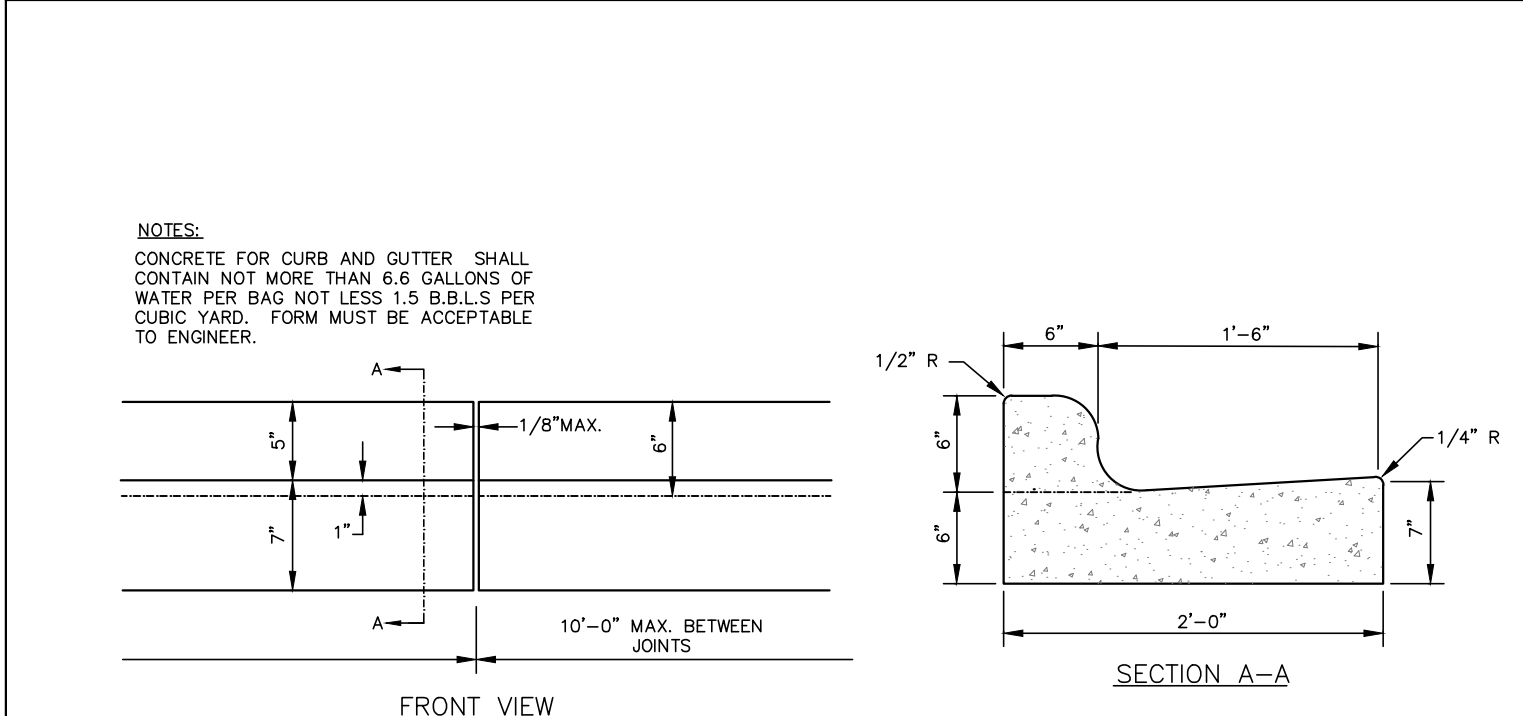
CITY OF RALEIGH STANDARD DETAIL. REVISIONS: DATE REVISION. STANDARD METHOD OF ENDING CURB AND GUTTER. T-10.25



CITY OF RALEIGH STANDARD DETAIL. REVISIONS: DATE REVISION. CURB AND GUTTER. T-10.26.1



CITY OF RALEIGH STANDARD DETAIL. REVISIONS: DATE REVISION. CONCRETE SIDEWALK. T-30.01



BASS, NIXON & KENNEDY, INC. CONSULTING ENGINEERS 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607 TELEPHONE: (919) 881-4122 FAX: (919) 881-6888 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

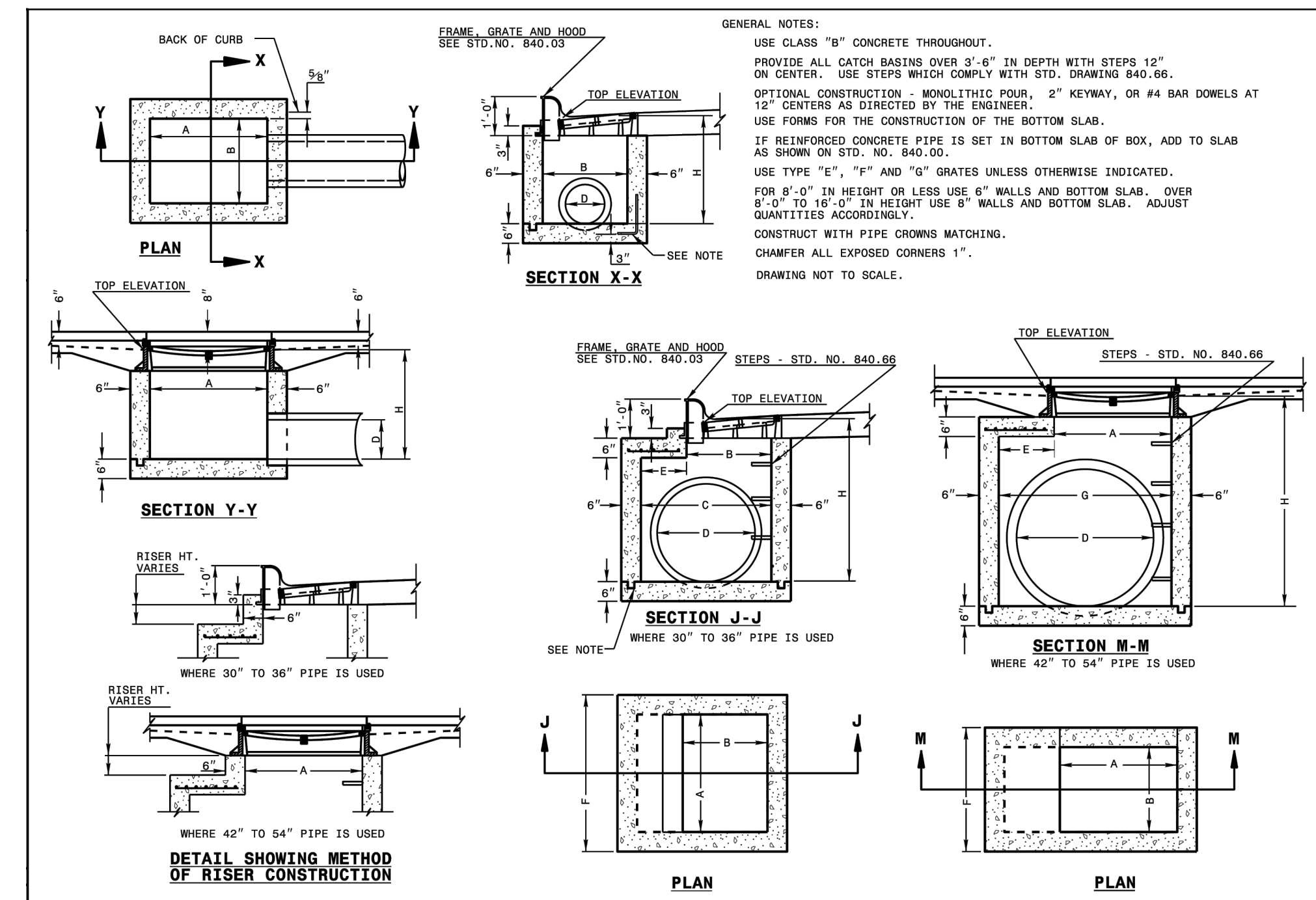
PROGRESS MRM DATE DRAWN BY TOWN OF ROLESVILLE COMMENTS.

DETAILS CHECK BY: MDB. SCALE: N.T.S.

COBBLESTONE VILLAGE MIXED USE DEVELOPMENT TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA. SHEET C5.1



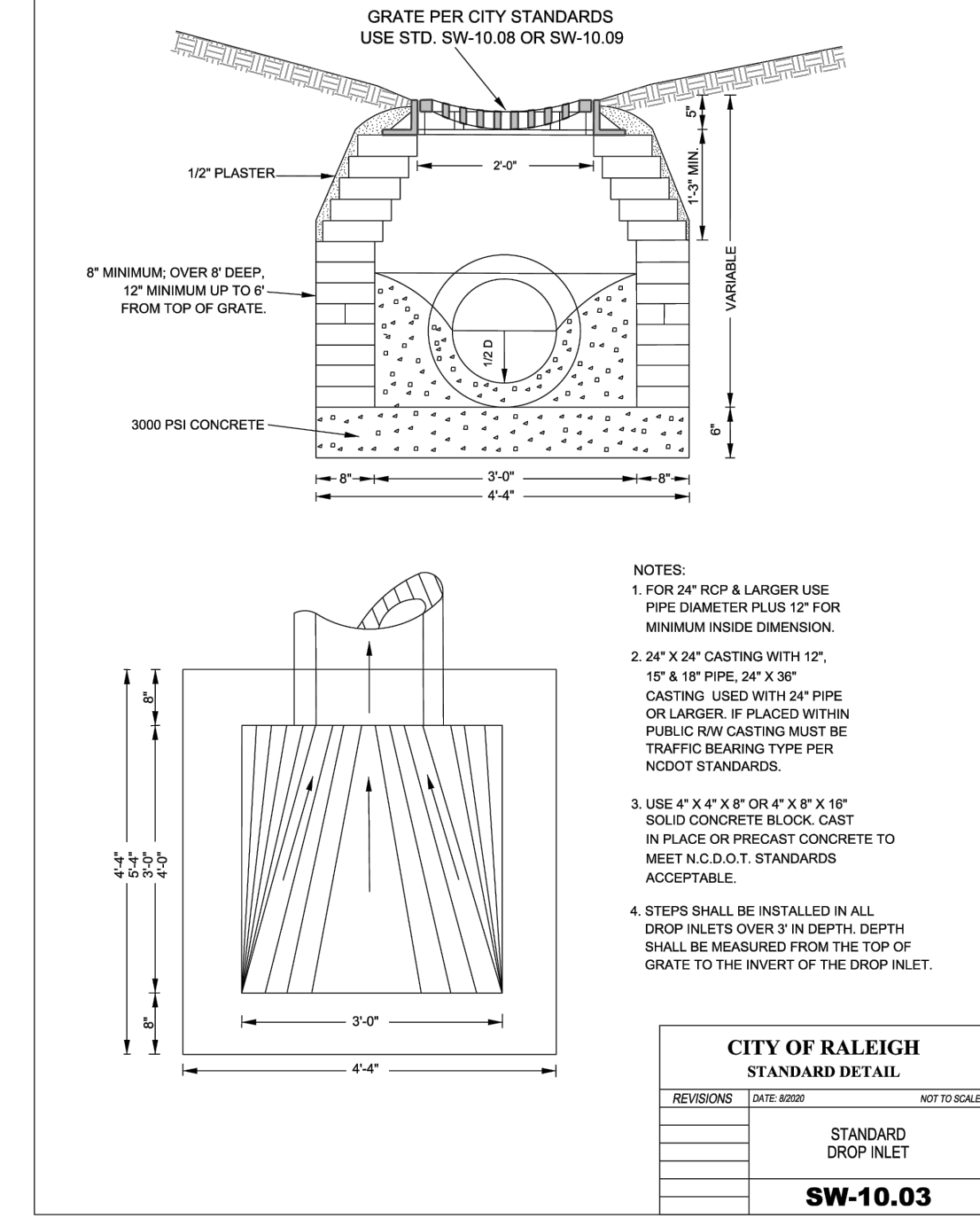
12/08/23



STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N. C.

ROADWAY STANDARD DRAWING FOR
CONCRETE CATCH BASIN
 12" THRU 54" PIPE

SHEET 1 OF 2
840.02



CITY OF RALEIGH
 STANDARD DETAIL

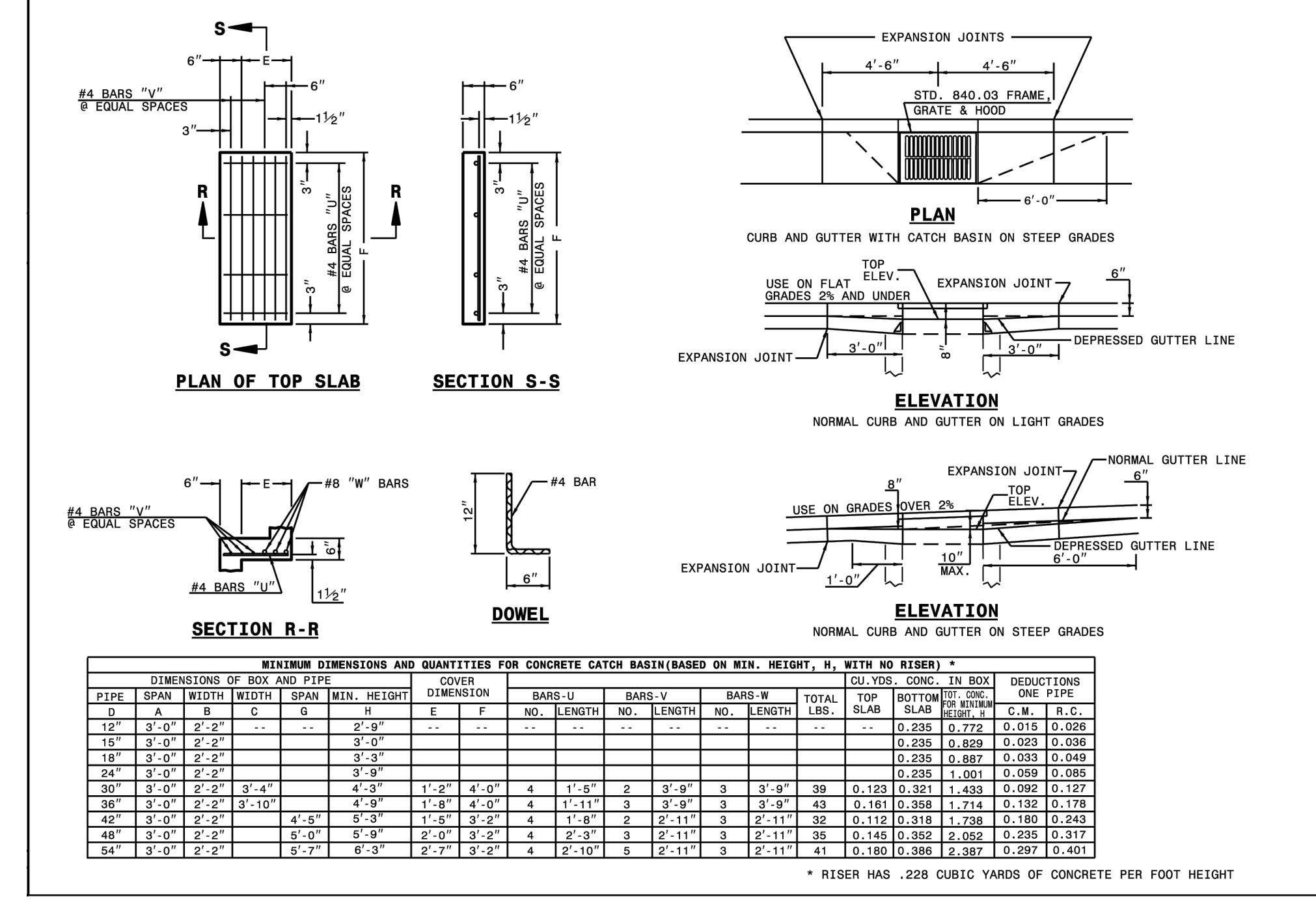
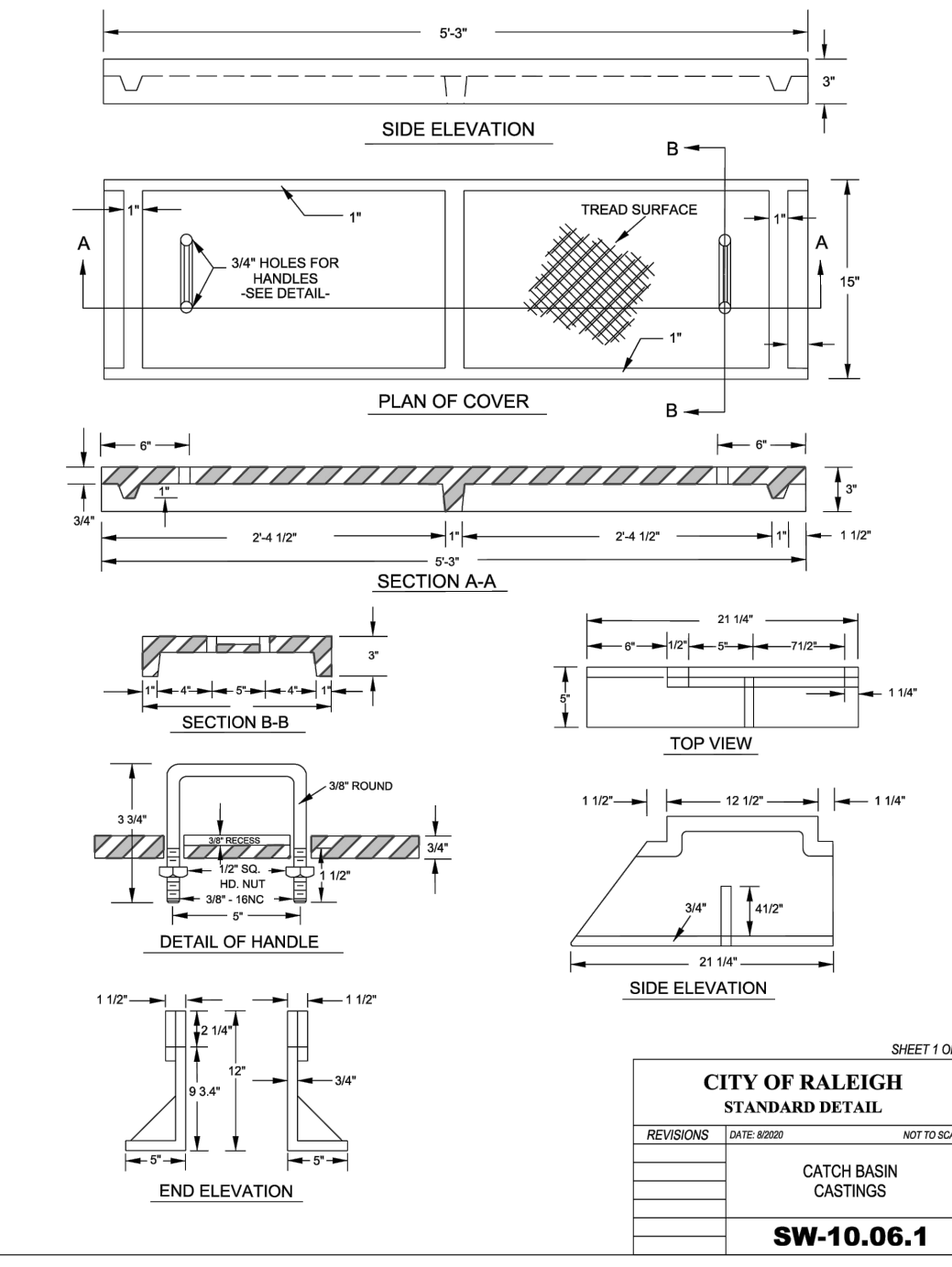
REVISIONS DATE REASON NOT TO SCALE

STANDARD DROP INLET
SW-10.03

CITY OF RALEIGH
 STANDARD DETAIL

REVISIONS DATE REASON NOT TO SCALE

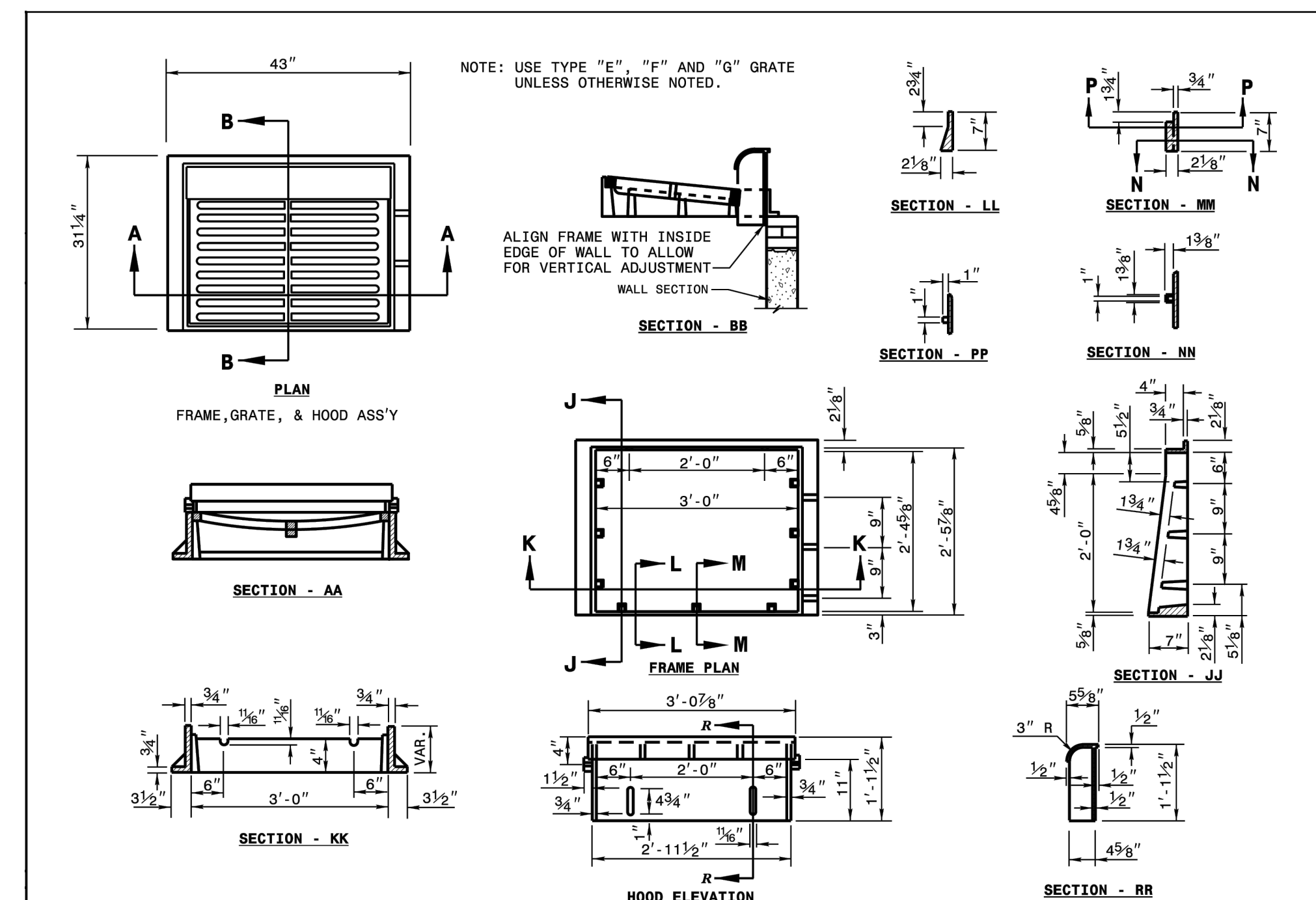
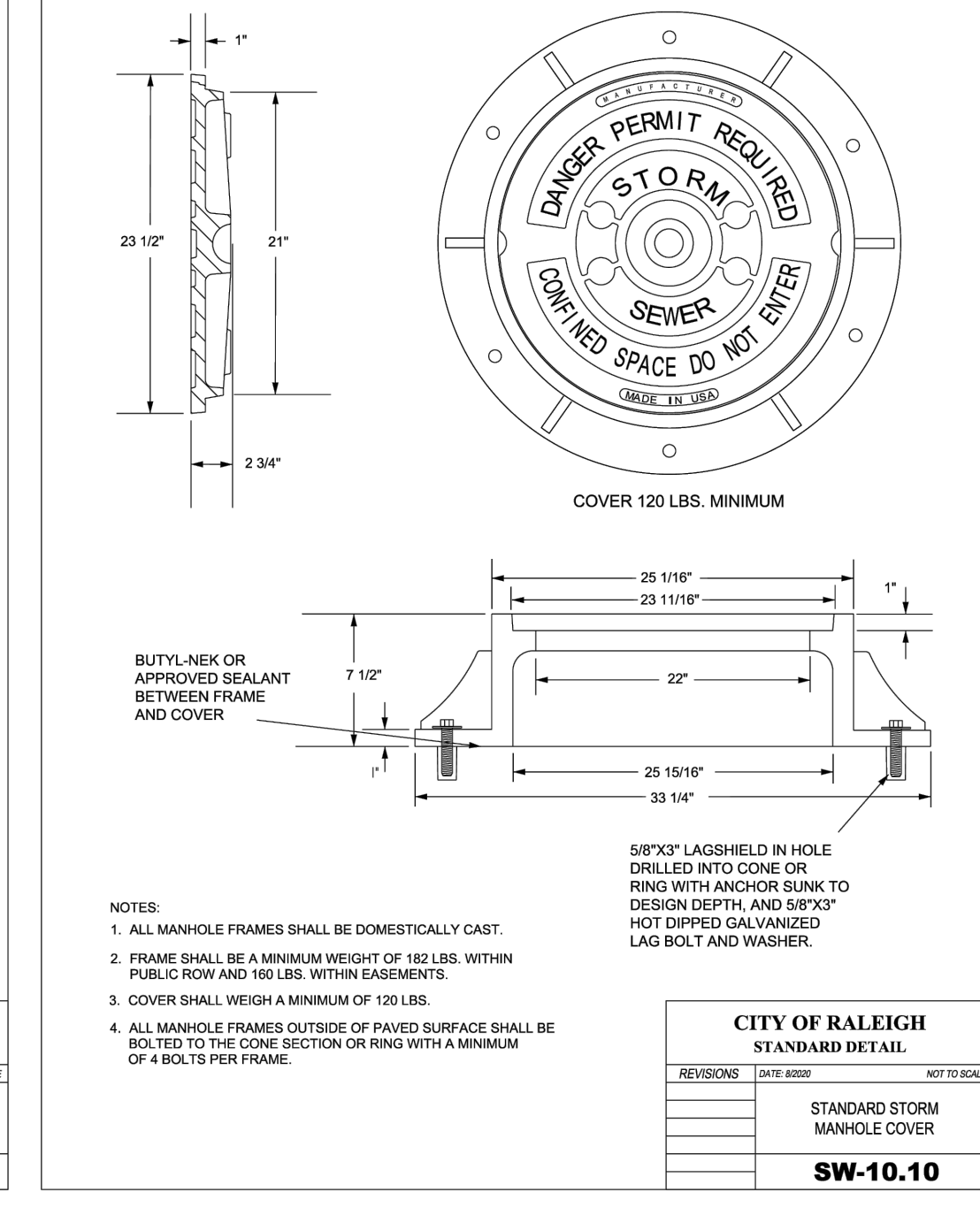
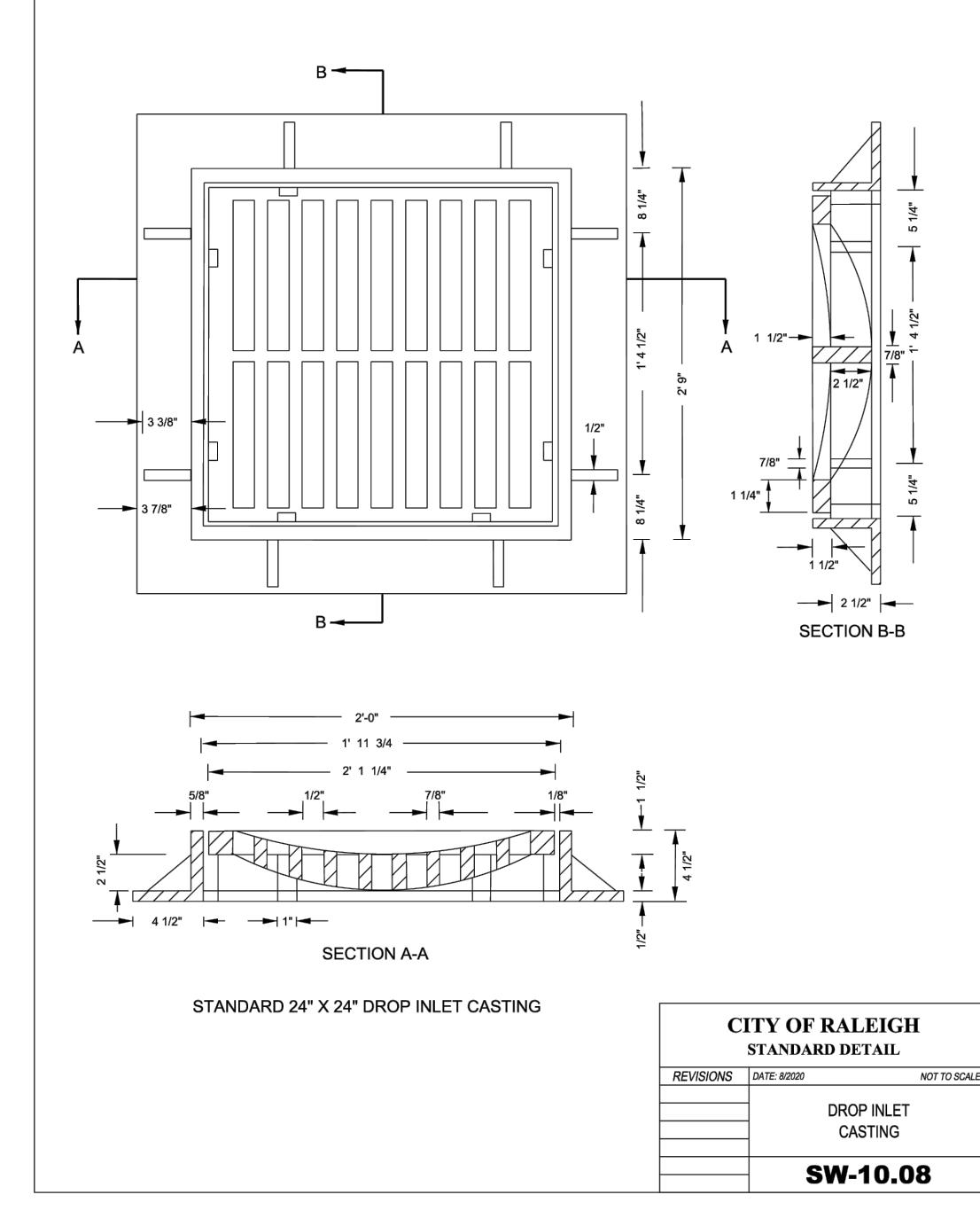
STANDARD CLASS "1" MANHOLE
SW-10.05



STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N. C.

ROADWAY STANDARD DRAWING FOR
CONCRETE CATCH BASIN
 12" THRU 54" PIPE

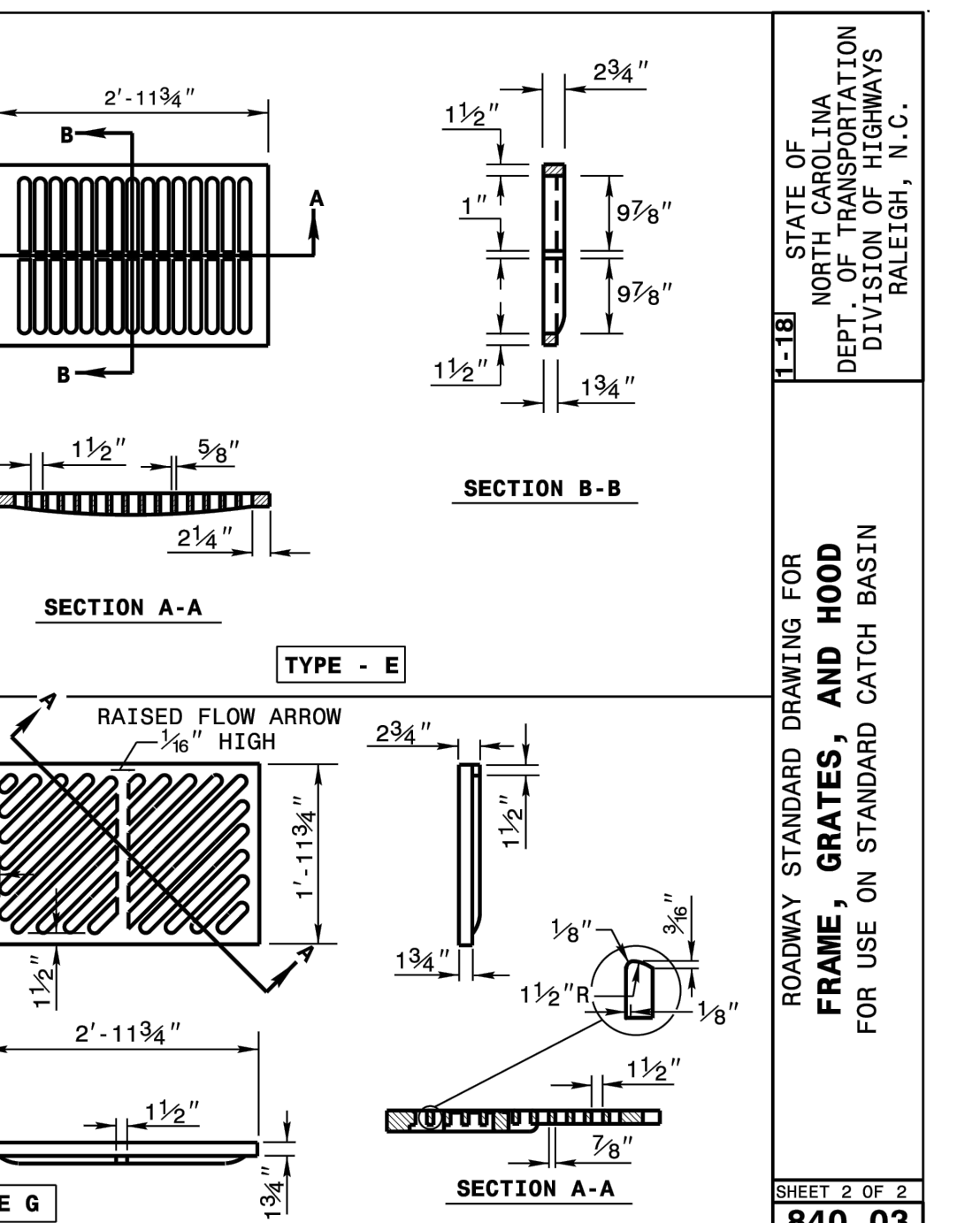
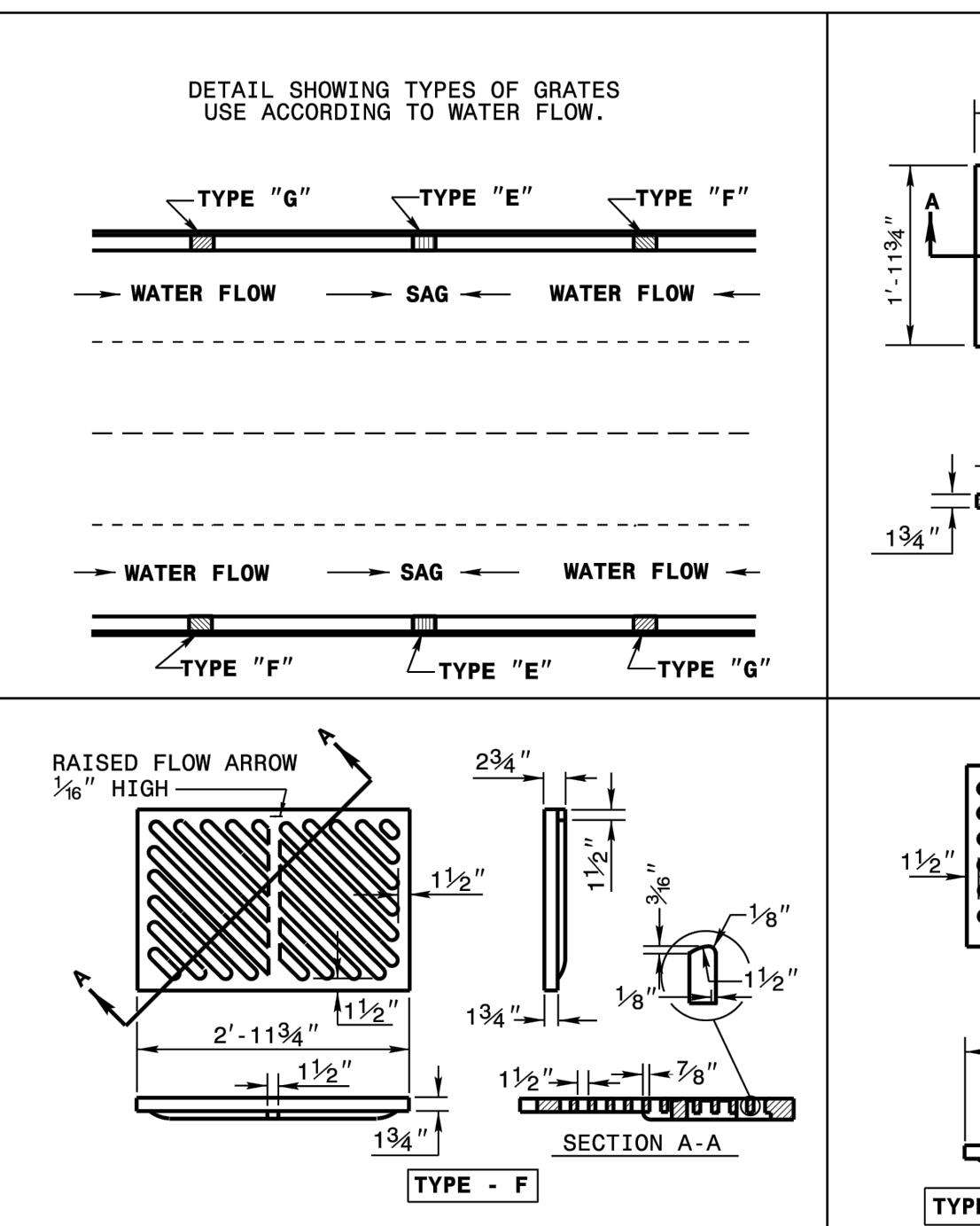
SHEET 2 OF 2
840.02



STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N. C.

ROADWAY STANDARD DRAWING FOR
FRAME, GRATES, AND HOOD
 FOR USE ON STANDARD CATCH BASIN

SHEET 1 OF 2
840.03



STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N. C.

ROADWAY STANDARD DRAWING FOR
FRAME, GRATES, AND HOOD
 FOR USE ON STANDARD CATCH BASIN

SHEET 2 OF 2
840.03

BANK

BASS, NIXON & KENNEDY, INC.
 CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919)881-4122 FAX: (919)881-6868
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

PROGRESS MRM DATE DRAWN BY

03-19157 03-19157

DETAILS

SCALE: N.T.S.

CHK BY: MDB

TOWN OF ROLESVILLE COMMENTS

3 12-06-23 TOWN OF ROLESVILLE COMMENTS MRM

2 10-16-23 T.O.R. COMMENTS MRM

1 09-21-23 CHANGES FROM 06-02-22 CDS MRM

NO. DATE DESCRIPTION

NO. DATE DESCRIPTION

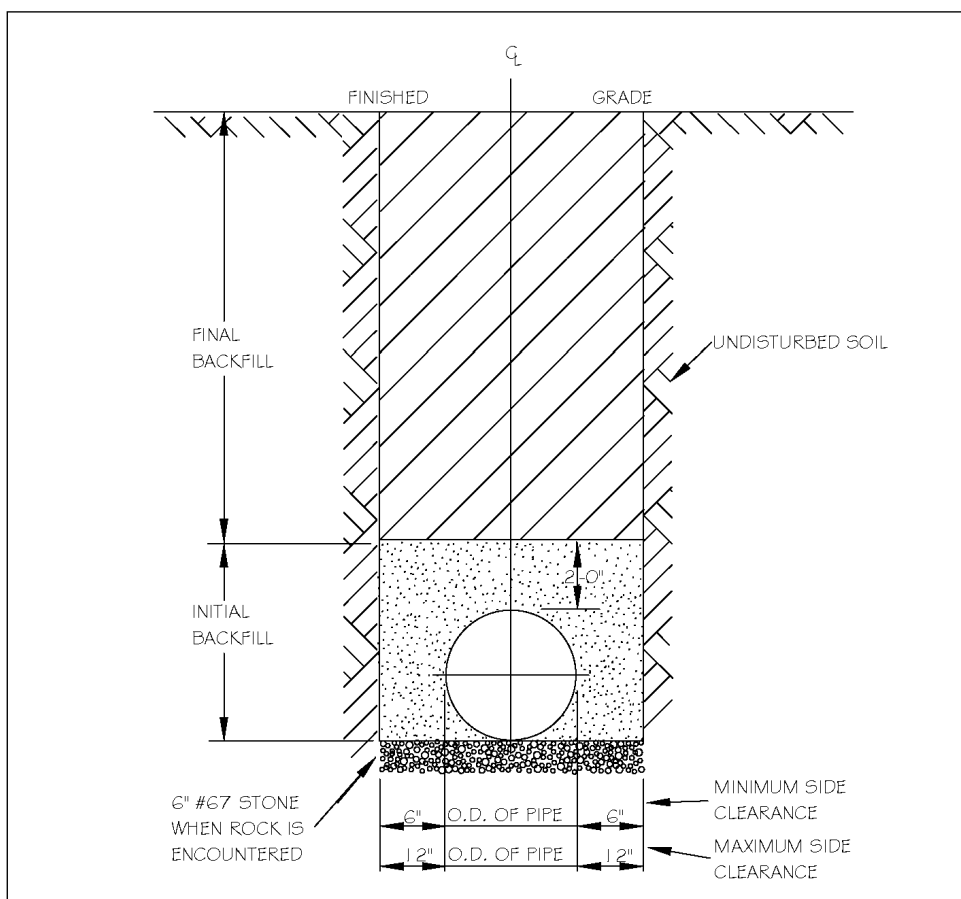
COBBLESTONE VILLAGE MIXED USE DEVELOPMENT

TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

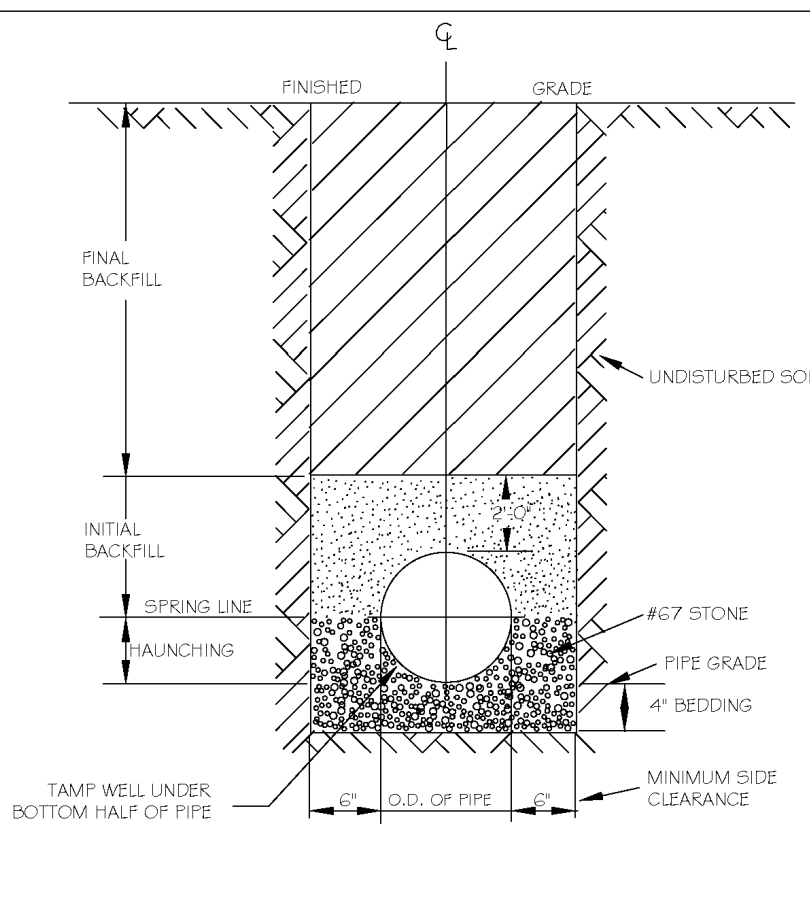


12/08/23



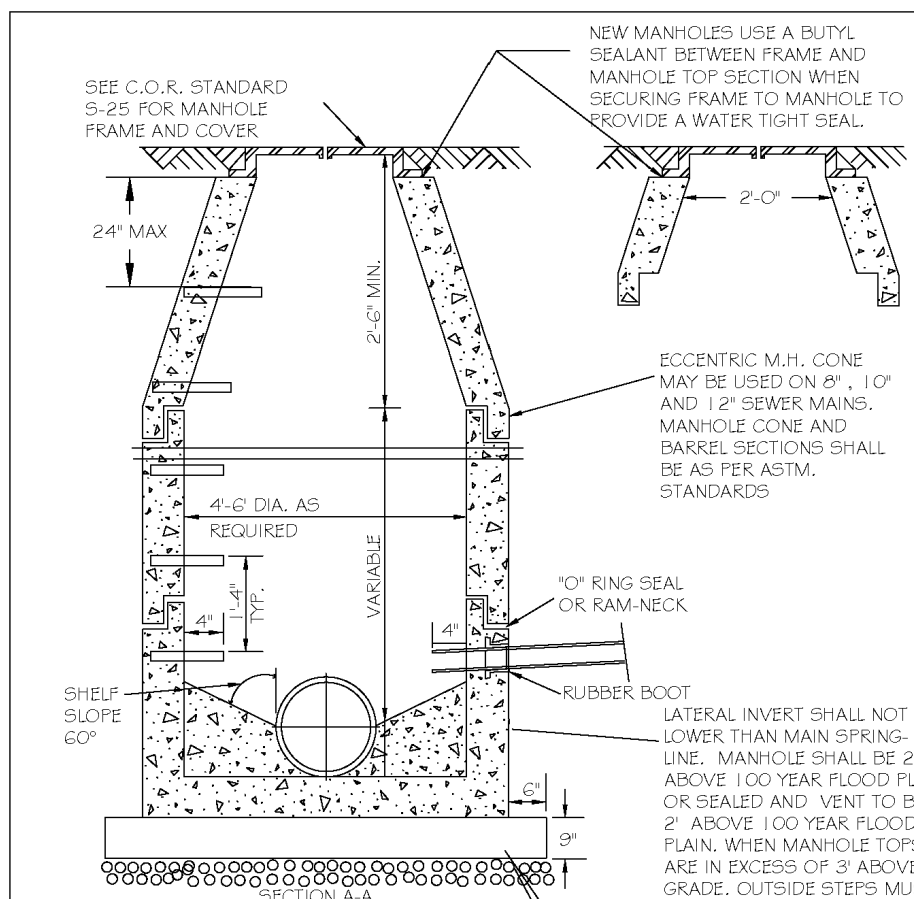
- NOTES:
1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.
 5. ACHIEVE 90% COMPACTION IN NON-TRAFFIC AREAS, AND 95% COMPACTION IN TRAFFIC AREAS.
 6. IF IN BASEMENT AT TOPSOIL, AND 1" CLEAN GREET FILL MAY BE REQUIRED.
 7. NO BOULDERS 6" IN DIAMETER OR GREATER ALLOWED IN FINAL BACKFILL.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-4	KRT	3-2-00		

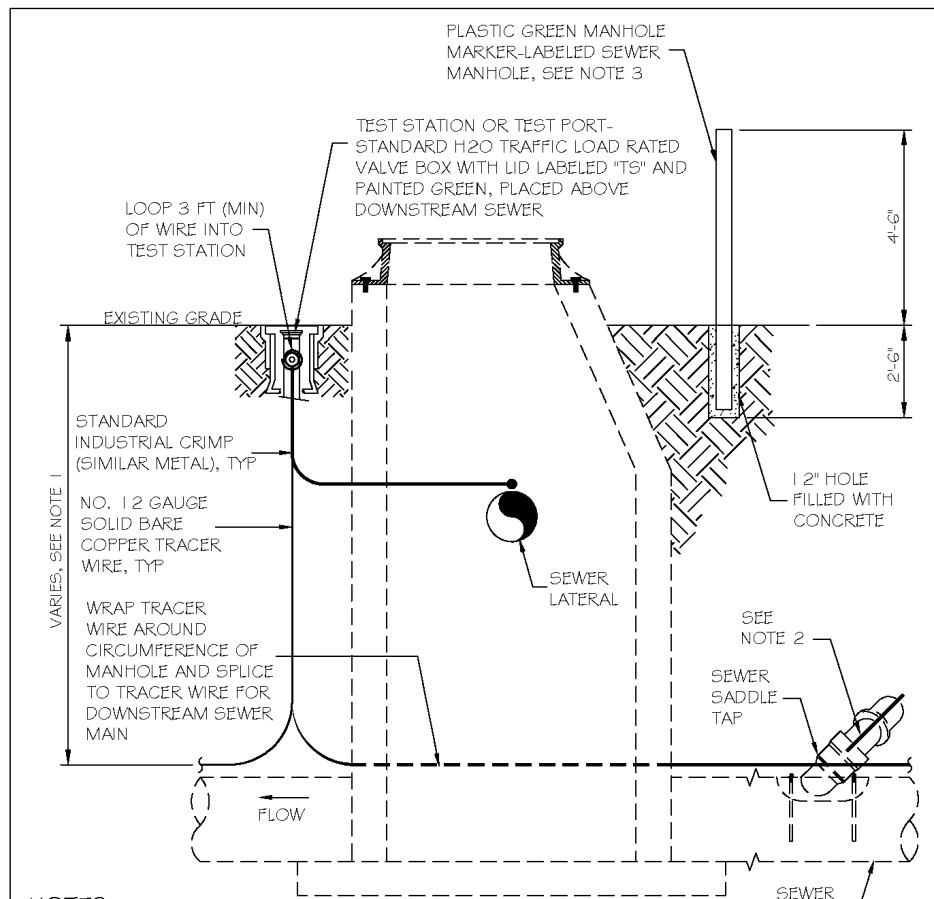


- NOTES:
1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

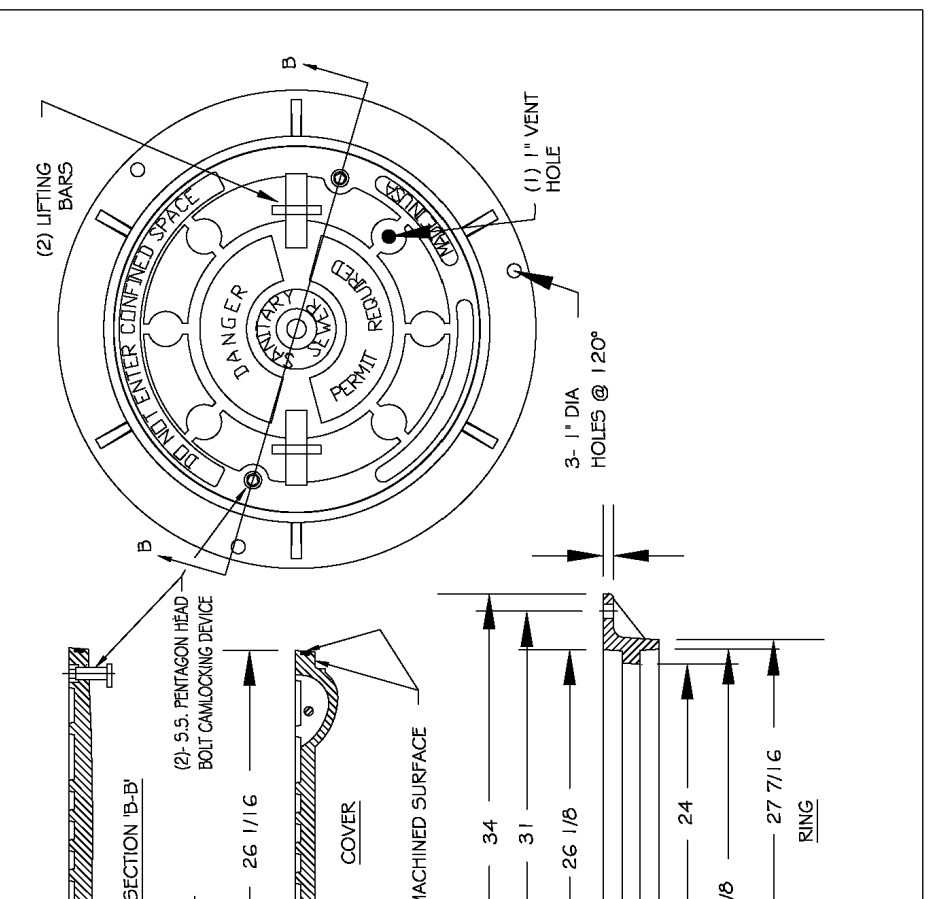
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-5	KRT	7-2-02		
			ANN	9-3-09
			KRT	3-30-00



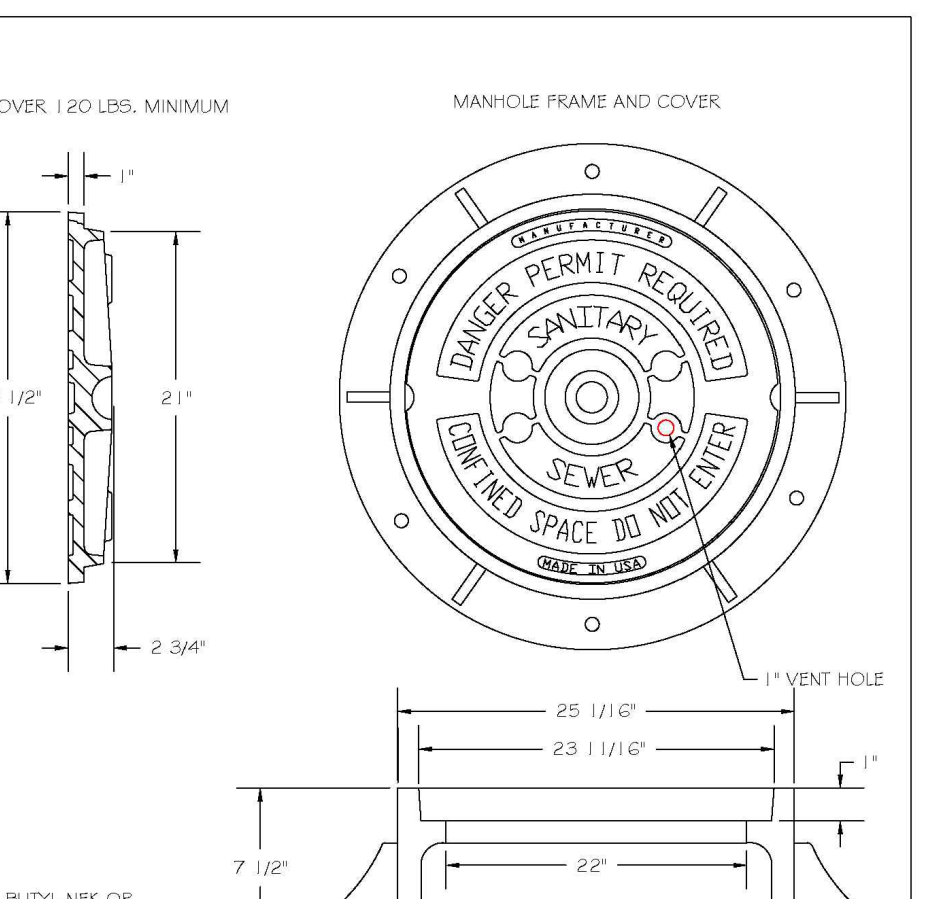
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
STANDARD PRECAST SANITARY SEWER MANHOLE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-20	T.G.A.	12-31-02	ANN	2-21-05
			KRT	4-16-09



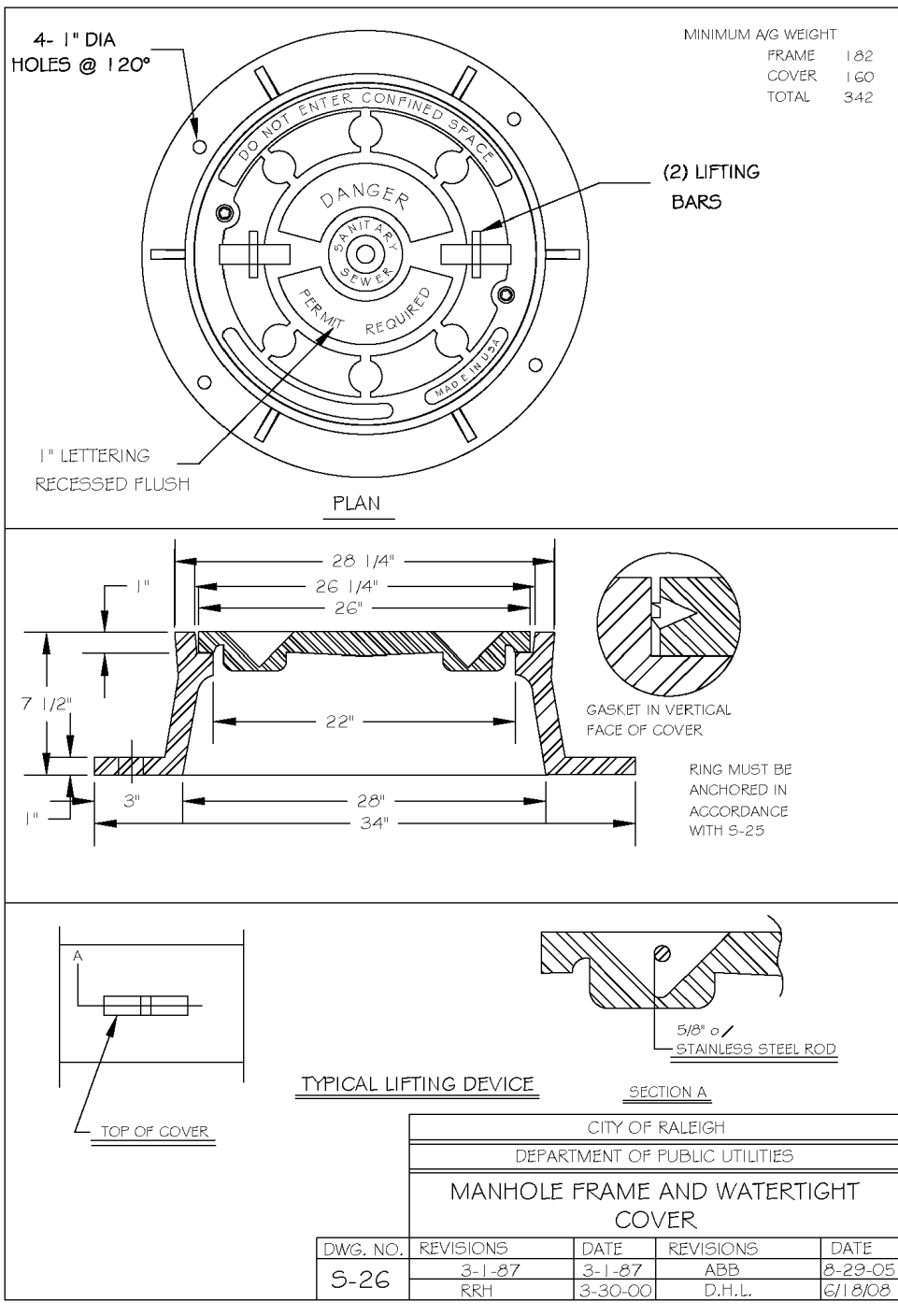
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
GRAVITY SEWER MAIN TRACER WIRE AND MANHOLE MARKER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-20A	WEE	09-14		



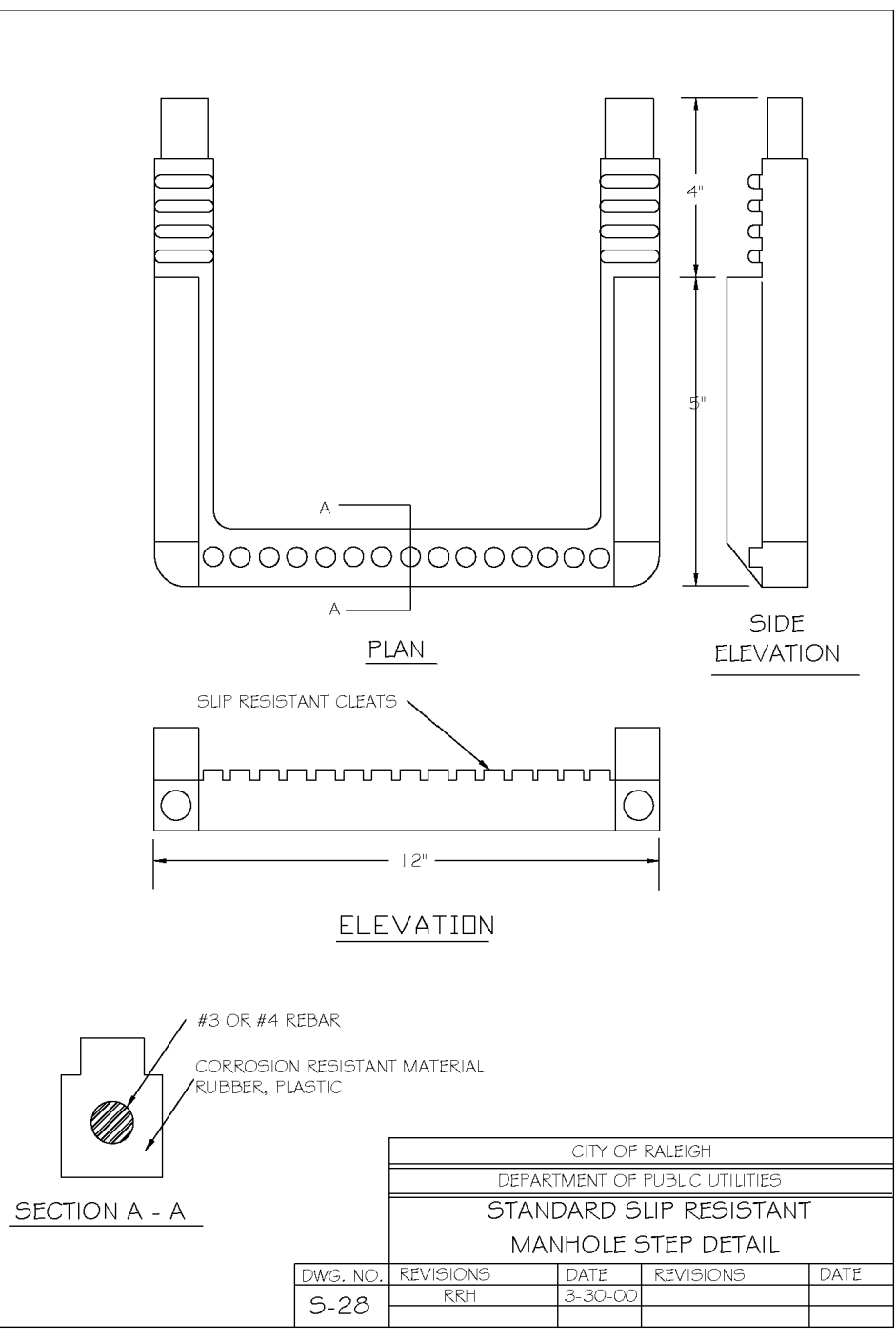
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
FLAT TOP MANHOLE COVER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-25.01	KRT	3-1-07	A.B.B.	2-9-05
			KRT	6-18-08



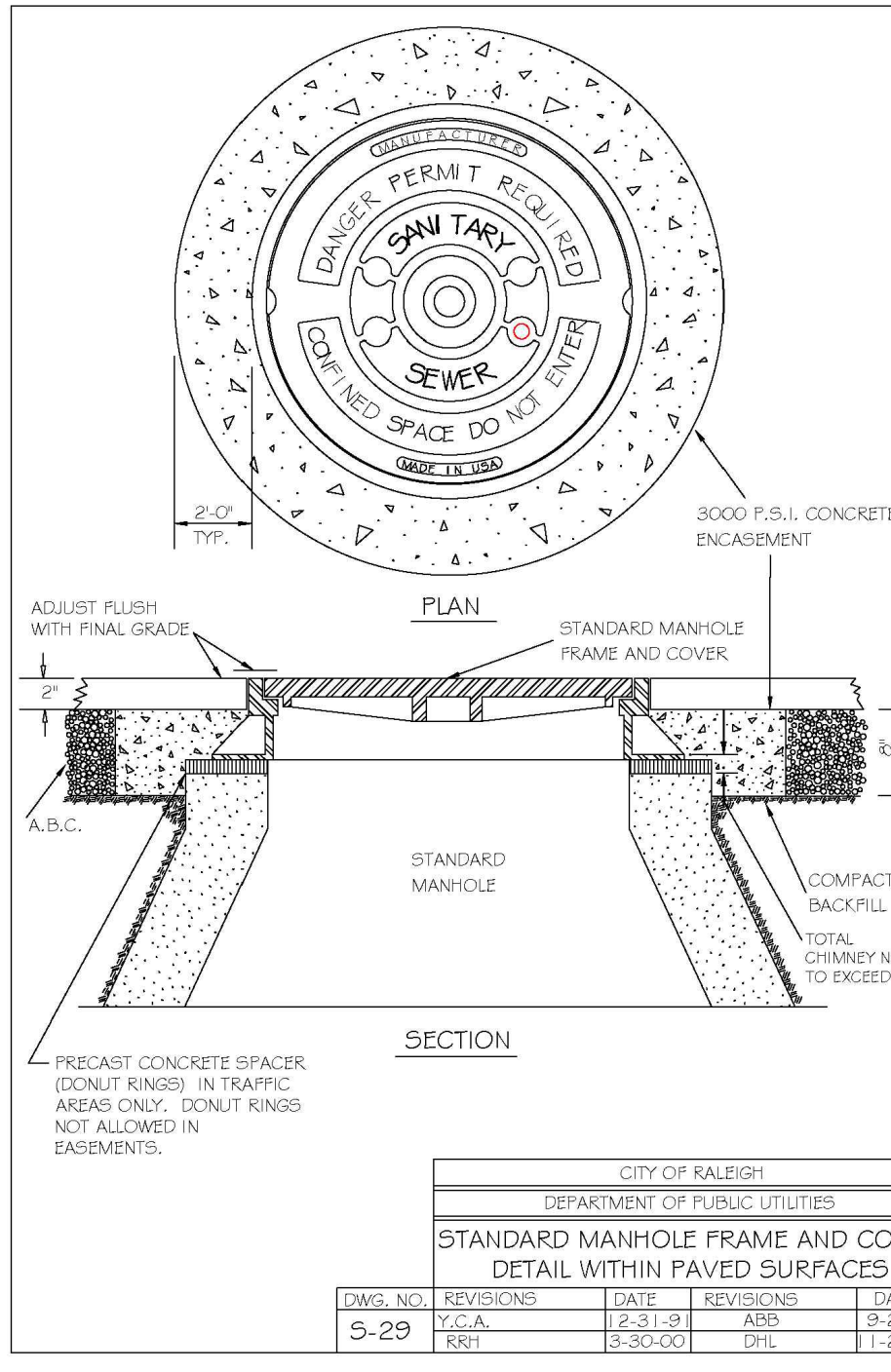
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE COVER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-25	KRT	3-1-07	KRT	3-30-06
			DALE	6-18-08



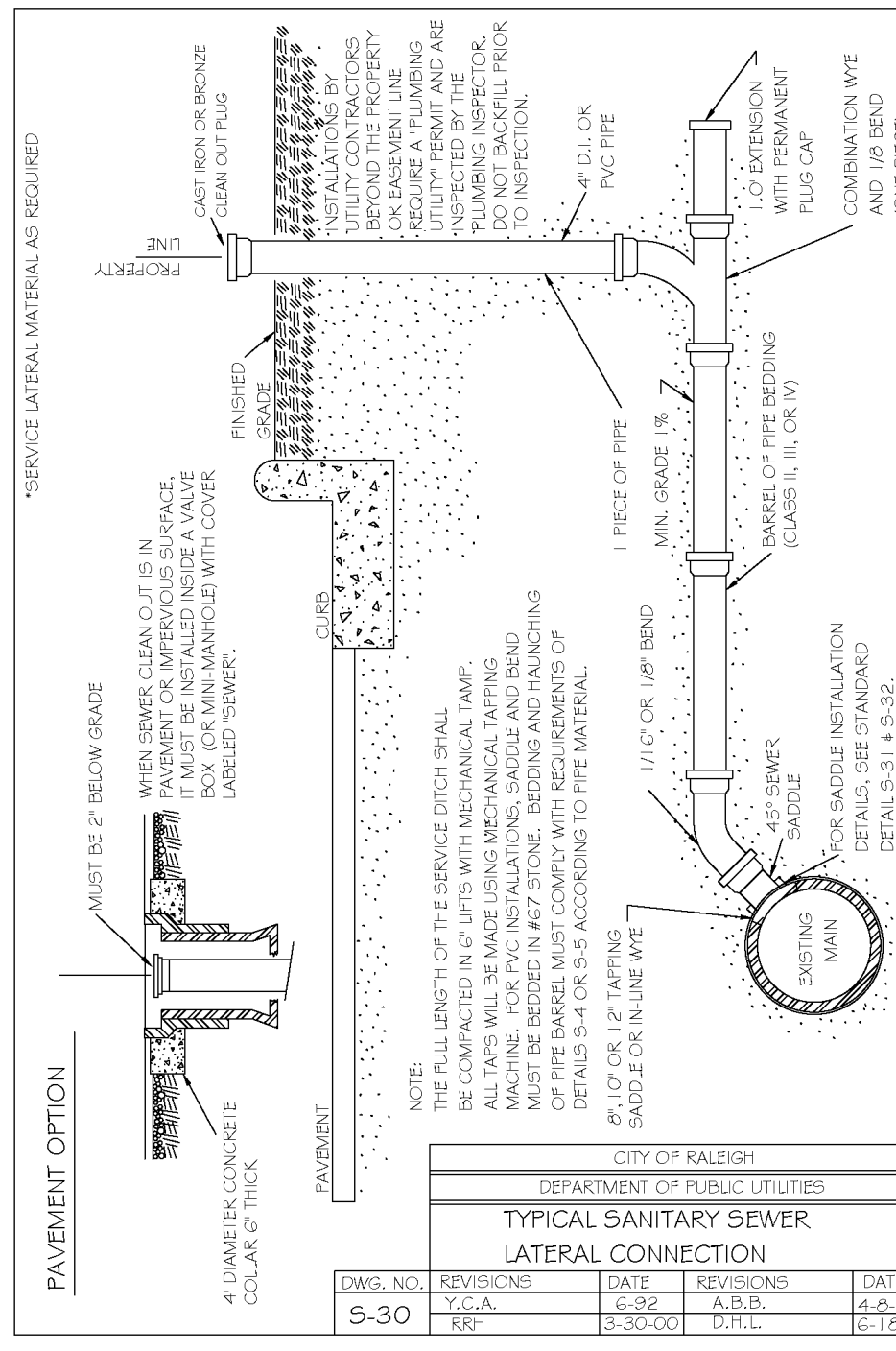
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
MANHOLE FRAME AND WATERTIGHT COVER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-26		3-1-07	ANN	2-23-09
			KRT	3-30-00
			DUTL	07-09-03



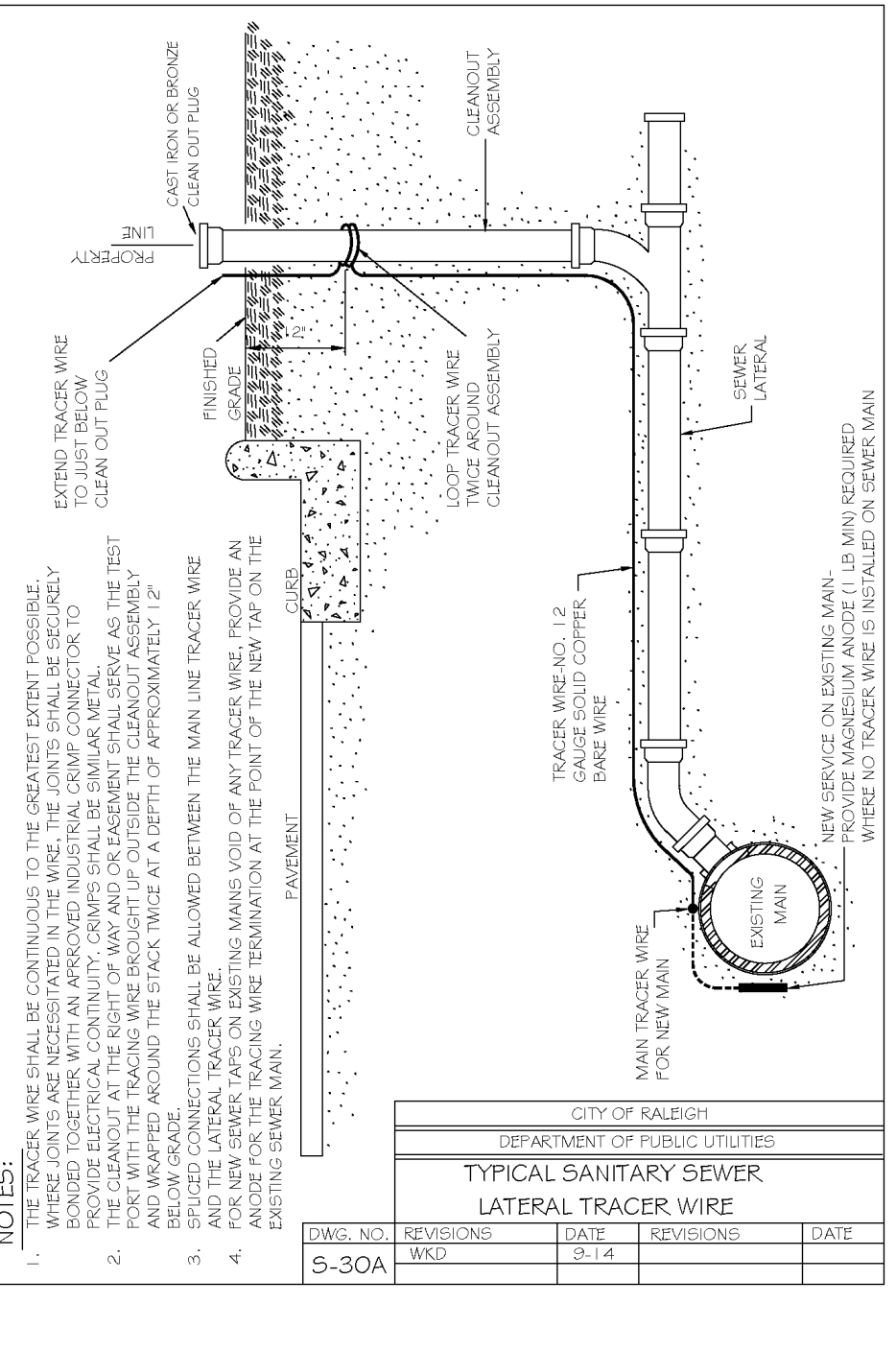
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
STANDARD SLIP RESISTANT MANHOLE STEP DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-28	KRT	3-30-00		



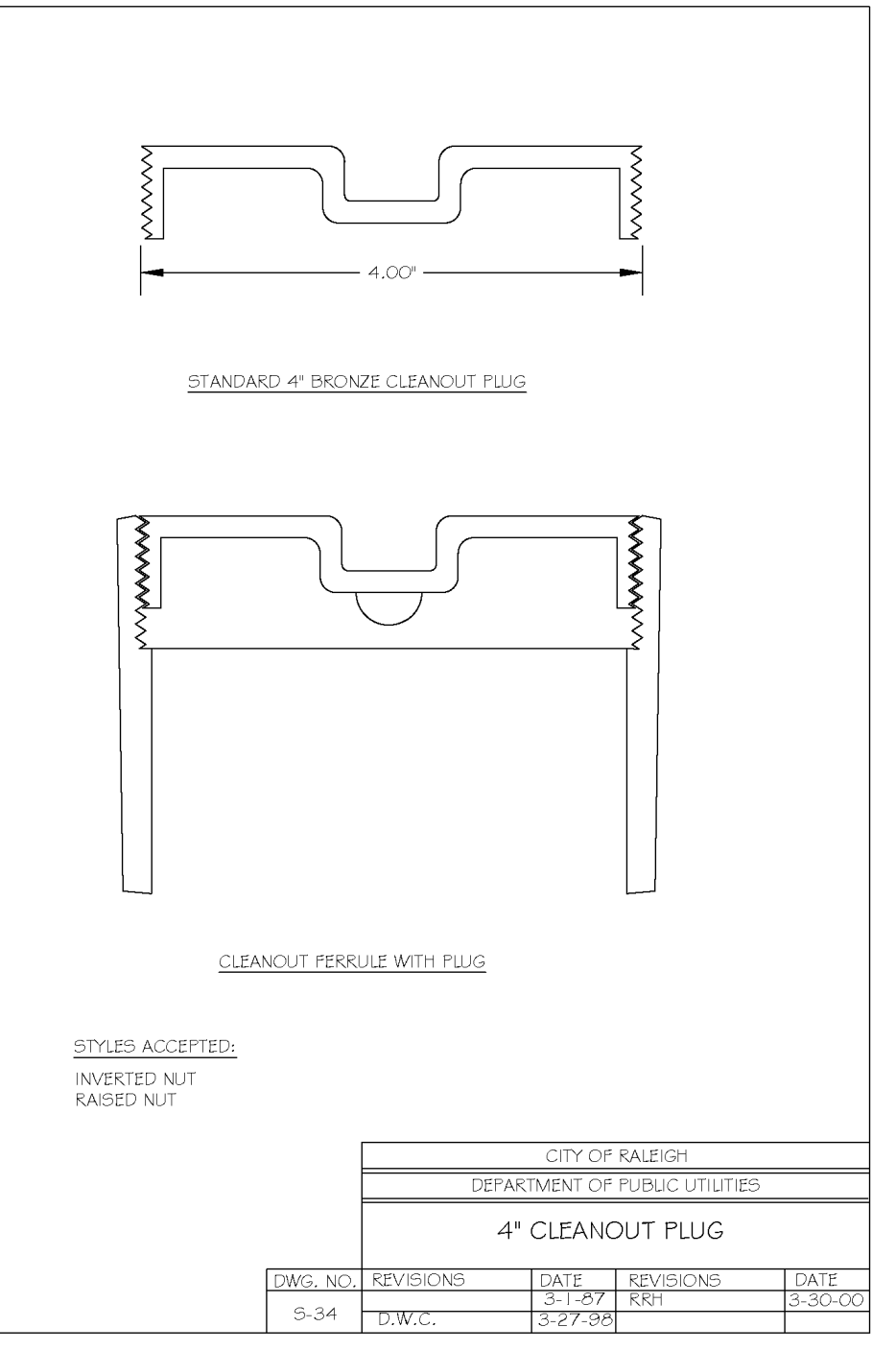
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE FRAME AND COVER DETAIL WITHIN PAVED SURFACES				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-29	T.G.A.	2-31-03	ANN	9-30-09
			KRT	11-29-07



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL SANITARY SEWER LATERAL CONNECTION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-30	T.G.A.	8-31-04	A.B.B.	4-30-06
			KRT	12-14-11
			DUTL	10-10-03



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL SANITARY SEWER LATERAL TRACER WIRE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-30A		7-14		



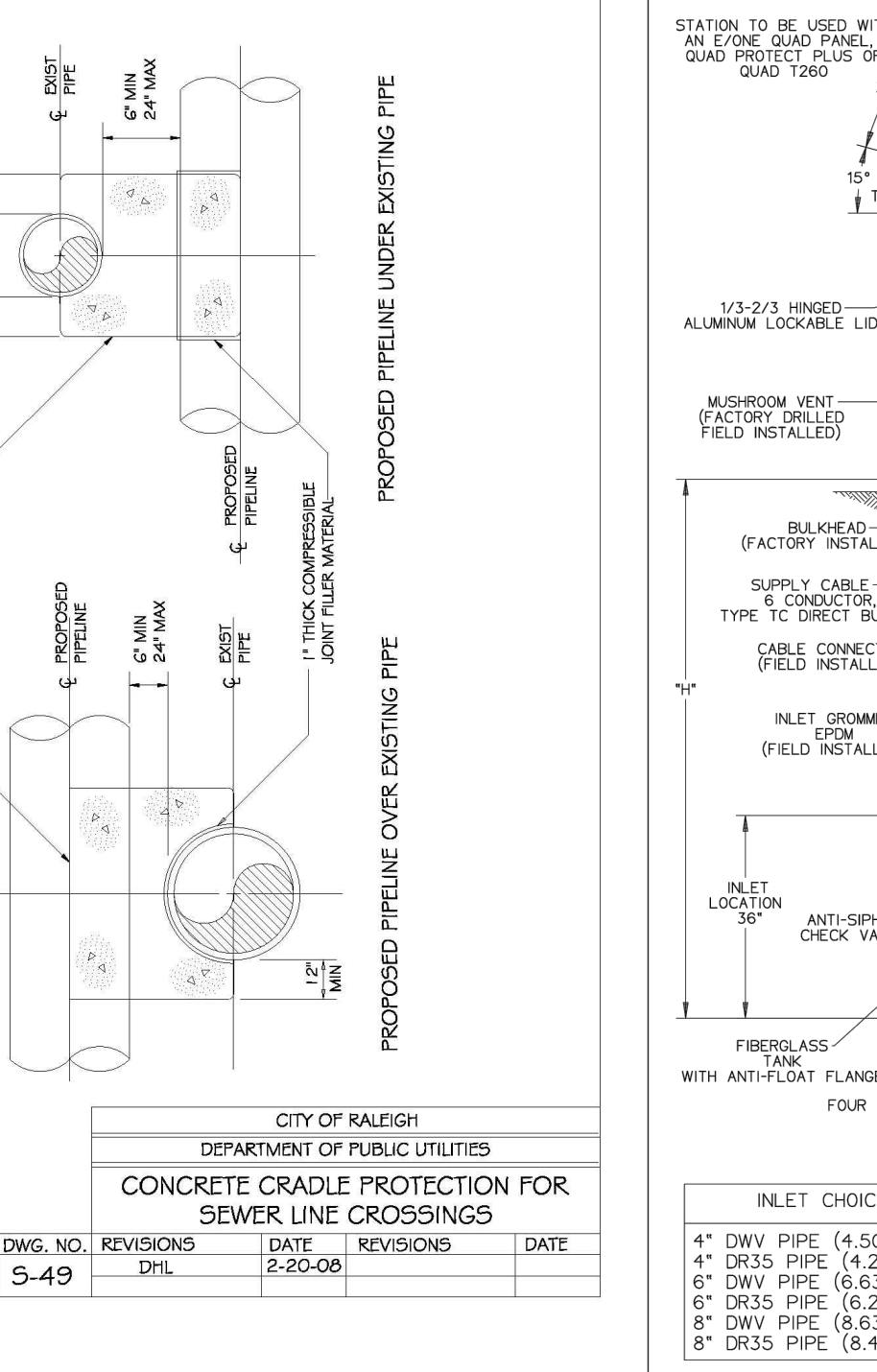
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
4" CLEANOUT PLUG				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-34	D.W.C.	3-27-06		



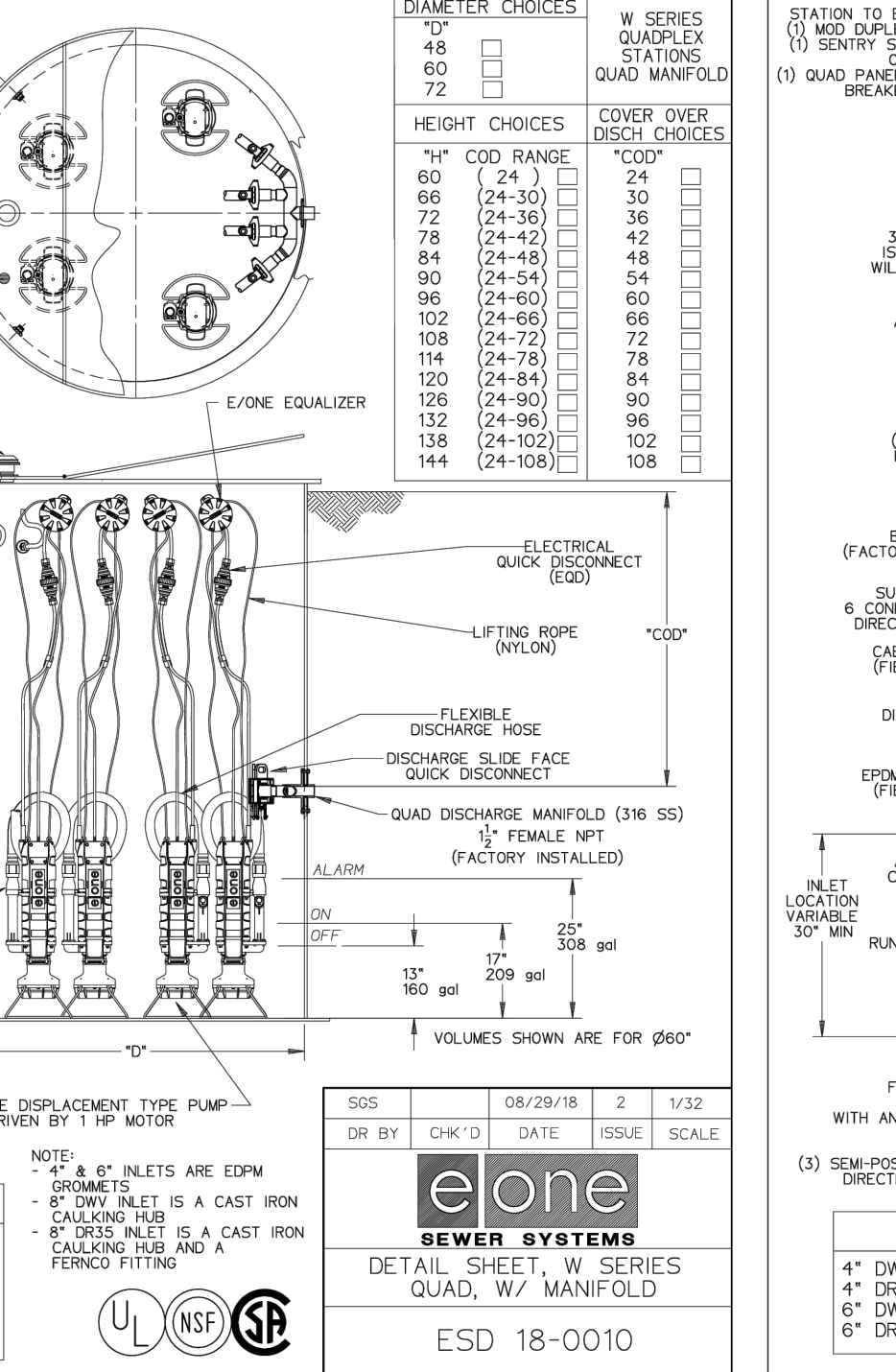
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
CONCRETE CRADLE PROTECTION FOR SEWER LINE CROSSINGS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-49	PH	2-20-00		



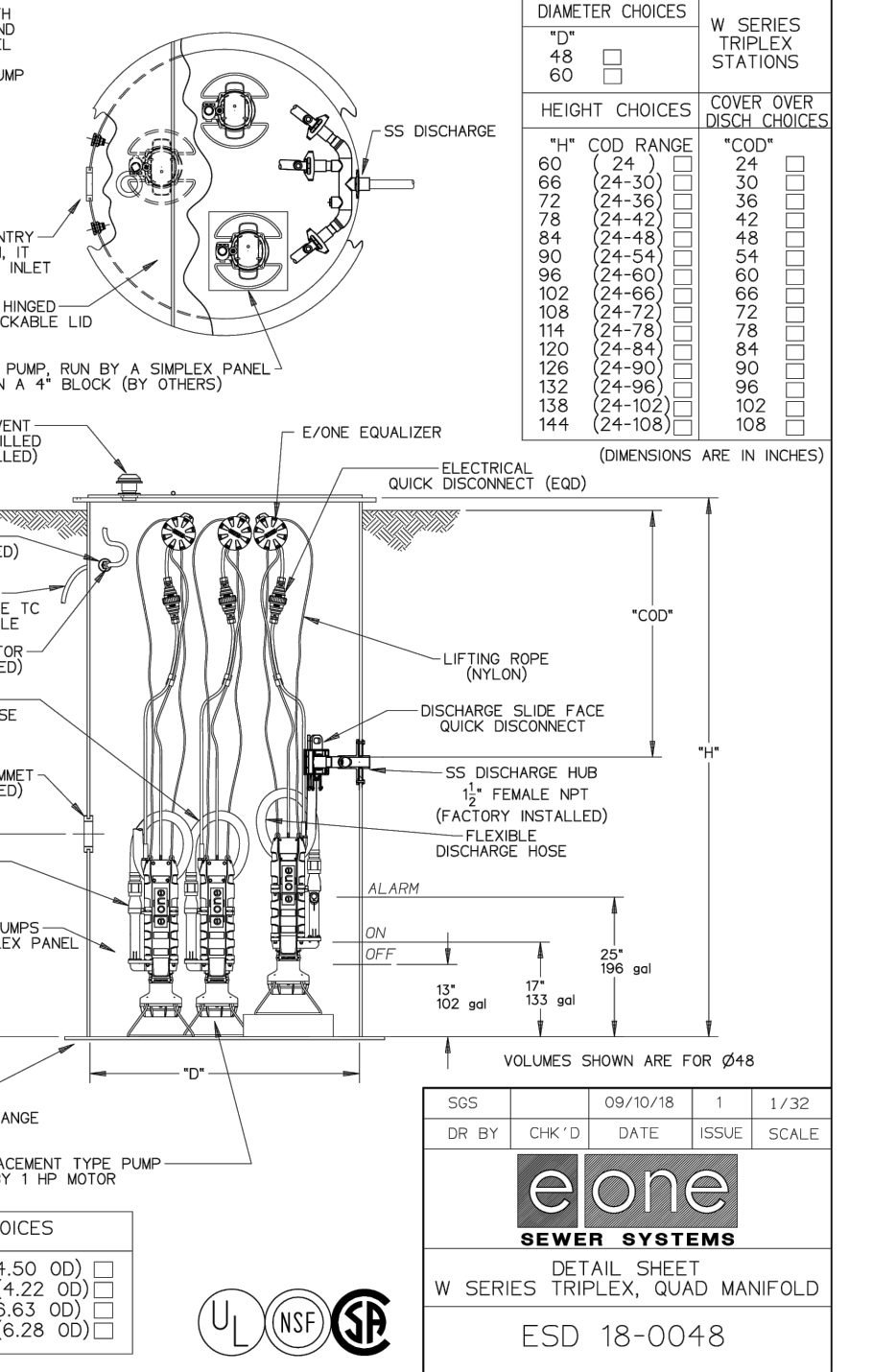
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
CONCRETE CRADLE PROTECTION FOR SEWER LINE CROSSINGS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-49	PH	2-20-00		



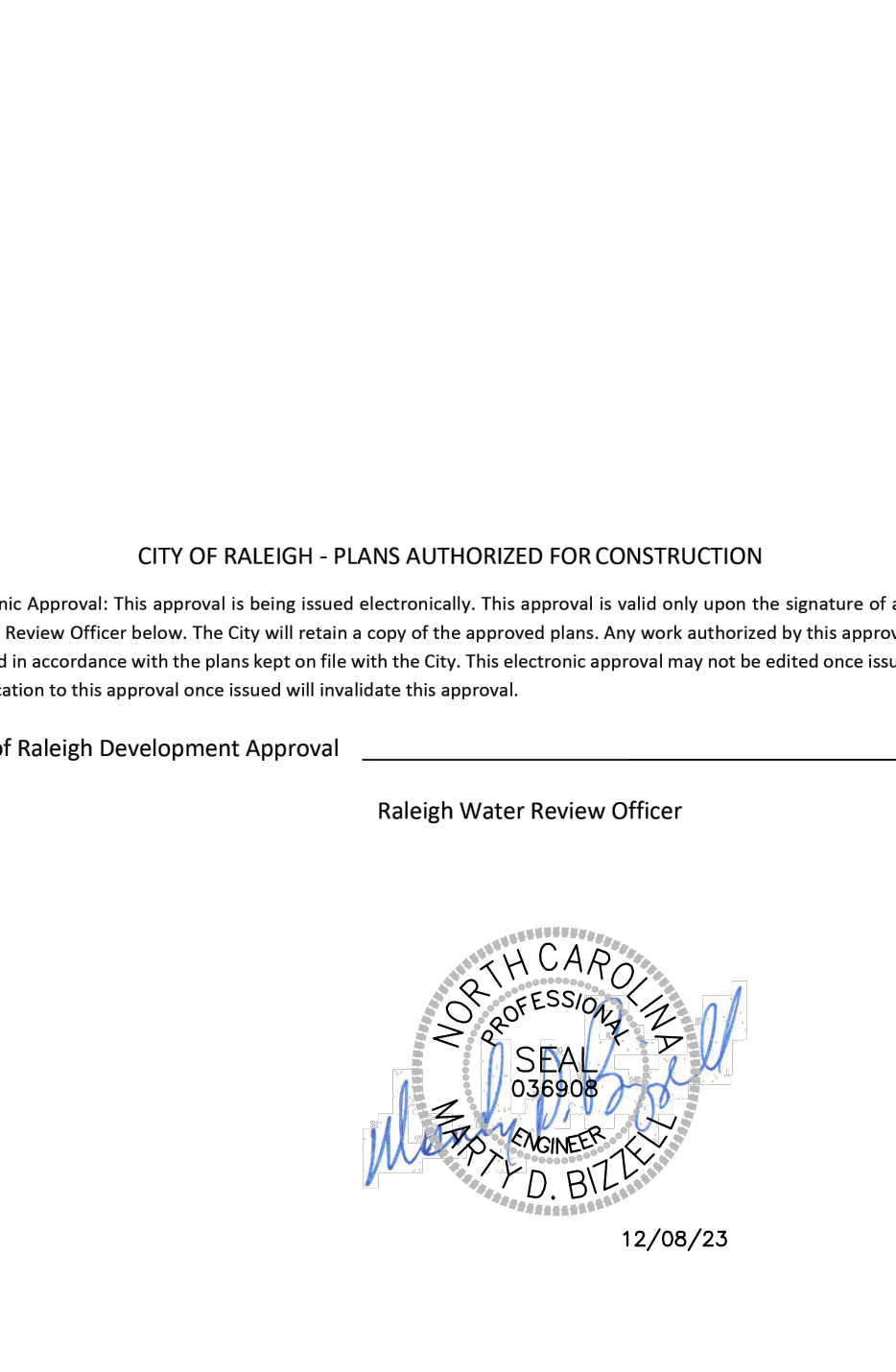
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE FRAME AND COVER DETAIL WITHIN PAVED SURFACES				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-29	T.G.A.	2-31-03	ANN	9-30-09
			KRT	11-29-07



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL SANITARY SEWER LATERAL CONNECTION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-30	T.G.A.	8-31-04	A.B.B.	4-30-06
			KRT	12-14-11
			DUTL	10-10-03



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL SANITARY SEWER LATERAL TRACER WIRE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-30A		7-14		



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
4" CLEANOUT PLUG				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-34	D.W.C.	3-27-06		

BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
6310 HILL ROAD, SUITE 250, RALEIGH, NC 27607
TELEPHONE: (919) 881-1422 FAX: (919) 881-6868
CERTIFICATION NUMBERS: NCBELS (C-0119); NCBOLA (C-0267)

COBBLESTONE VILLAGE MIXED USE DEVELOPMENT
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SHEET C5.3

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

JOB NO.	PROGRESS DATE	MRM DRAWN BY	MRM CHECKED BY	TOWN OF ROLESVILLE COMMENTS	MRM COMMENTS	BY
03-1817						
				3 12-06-23	TOWN OF ROLESVILLE COMMENTS	MRM
				2 10-16-23	T.O.R. COMMENTS	MRM
				1 09-21-23	CHANGES FROM 06-02-22 CD'S	MRM
					DESCRIPTION	BY
					NO.	NO.
					DATE	DATE

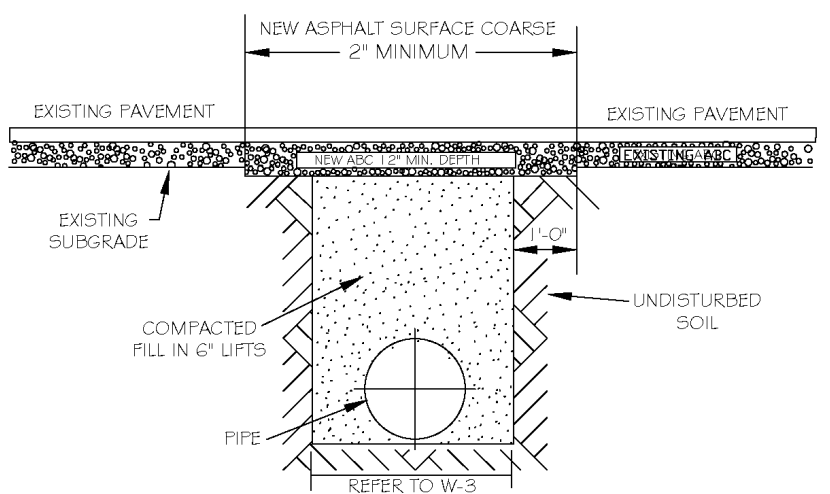
SCALE: N.T.S.

DETAILS

CHK BY: MDB

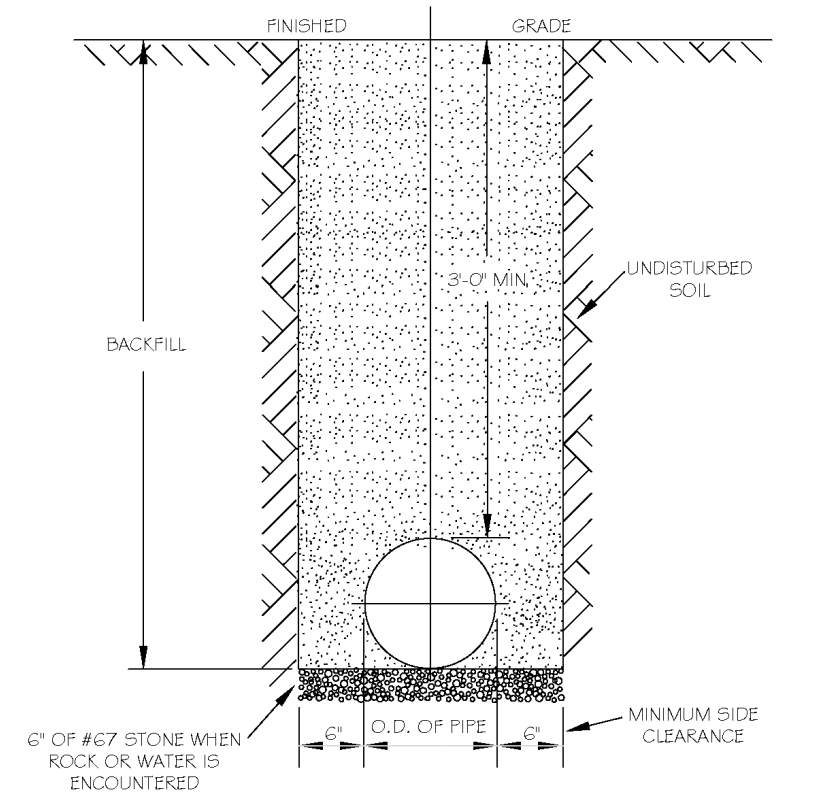
12/08/23

Professional Engineer
W. HARRY D. BIZELL
Seal No. 036908



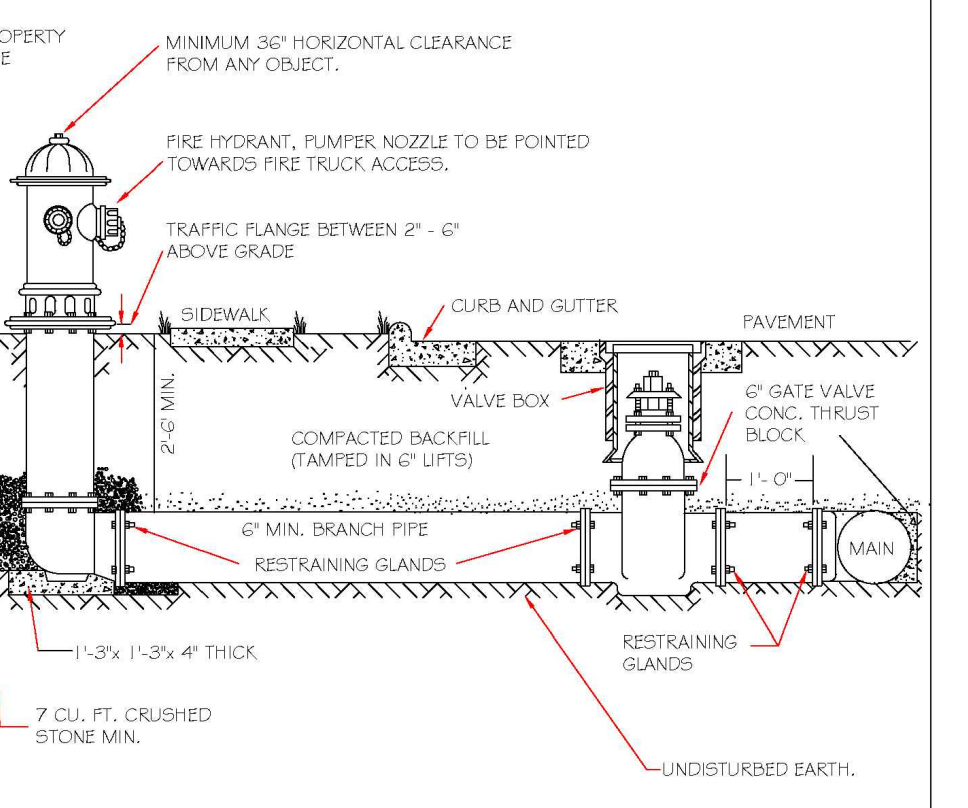
- NOTES:
- 1. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAW CUT MACHINE.
 - 2. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASTHO T-99 AS MODIFIED BY NC0201.
 - 3. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASTHO T-99 AS MODIFIED BY NC0201.
 - 4. THE ENTIRE THICKNESS VERTICAL EDGE OF CUT SHALL BE TACKED.
 - 5. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 2" THICK.
 - 6. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
 - 7. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING, W-3, FOR ADDITIONAL DETAILS.
 - 8. NO HAND PATCHES ALLOWED.
 - 9. PAVEMENT CUTS WITH NC0201 ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD ASPHALT PAVEMENT PATCH DETAIL			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-2	RRH	3-31-00	A.B.S. 4-16-04
	D.W.C.	1-11-09	J.P.S. 10-29-10



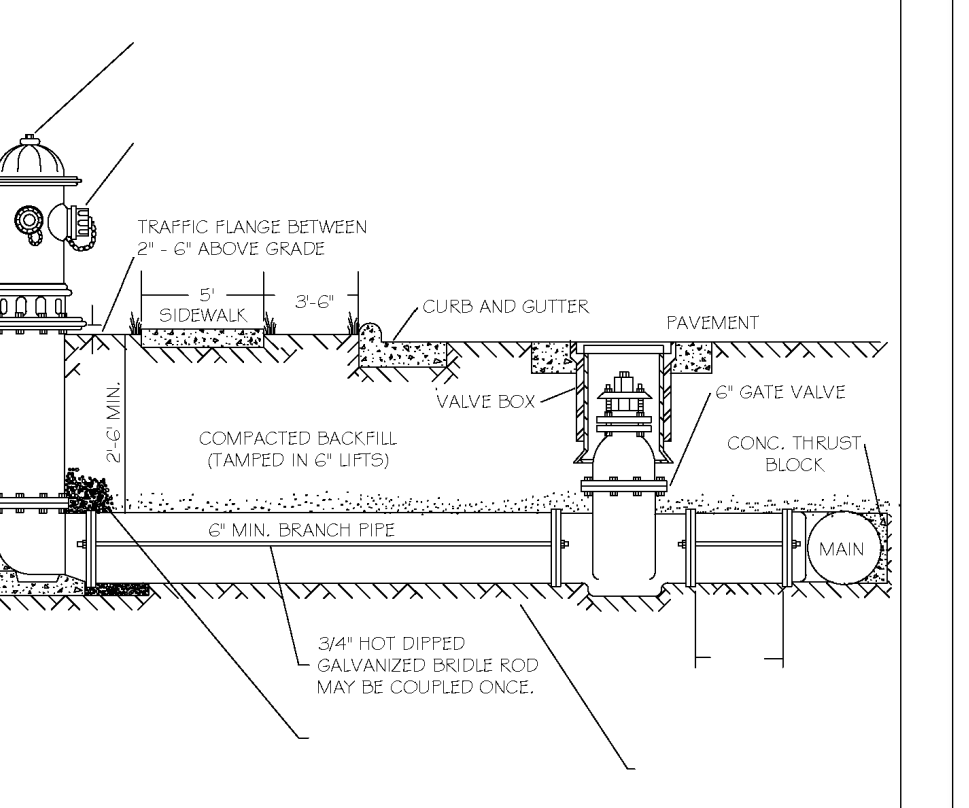
- NOTES:
- 1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 - 2. NO ROCKS OR Boulders 4" OR LARGER TO BE USED IN BACKFILL.
 - 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
 - 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS.
 - 5. ACHIEVE 95% COMPACTION IN BACKFILL.

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-3	RRH	3-31-00	ABB 2-15-02
	D.W.C.	3-31-00	J.P.S. 10-29-10



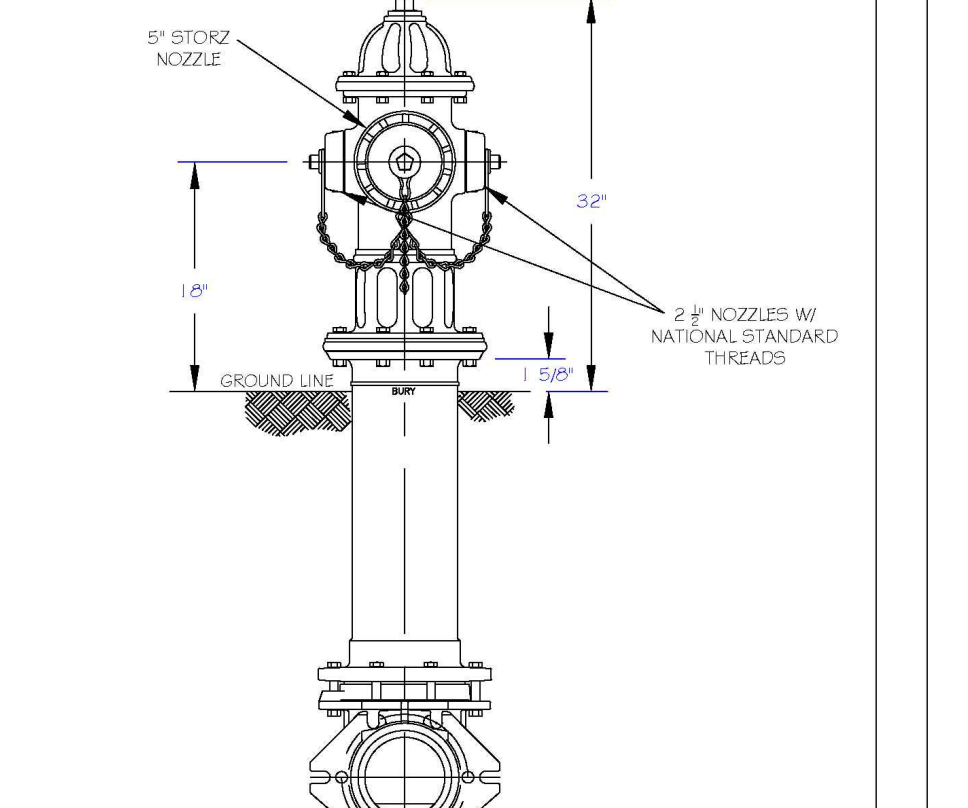
- NOTES:
- 1. FIRE HYDRANT SHALL BE AS MANUFACTURED: MUELLER, AMERICAN DARTING, KENNEDY, MHI, WATERGUS, GLOW, EAST JORDAN IRON WORKS, OR US PIPE.
 - 2. BRANCH PIPE SHALL BE DUCTILE IRON AWMA C150-86.
 - 3. 6" GATE VALVE SHALL BE AWMA C200-86 OPEN LEFT.
 - 4. STEEL ROSS AND BOLTS SHALL BE 3/4" HOT DIPPED GALVANIZED.
 - 5. FIRE HYDRANTS WILL BE INSTALLED IN TRUE VERTICAL POSITION.
 - 6. ROSS SHALL NOT BE COUPLED MORE THAN ONCE. IF THE LENGTH FROM THE VALVE TO THE HYDRANT EXCEEDS 20' THEN A MECHANICAL RESTRAINING GLAND WITH A REBAR CASE SHALL BE INSTALLED NO MORE THAN 10' FROM HYDRANT AND POURED IN CONCRETE.
 - 7. FIRE HYDRANTS TO BE LOCATED IN ROW OR 2 FOOT EASEMENT ADJACENT TO ROW.

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD FIRE HYDRANT INSTALLATION DETAIL			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-4	ABB	4-6-04	PH 2/7/09
	D.W.C.	2/7/09	J.P.S.



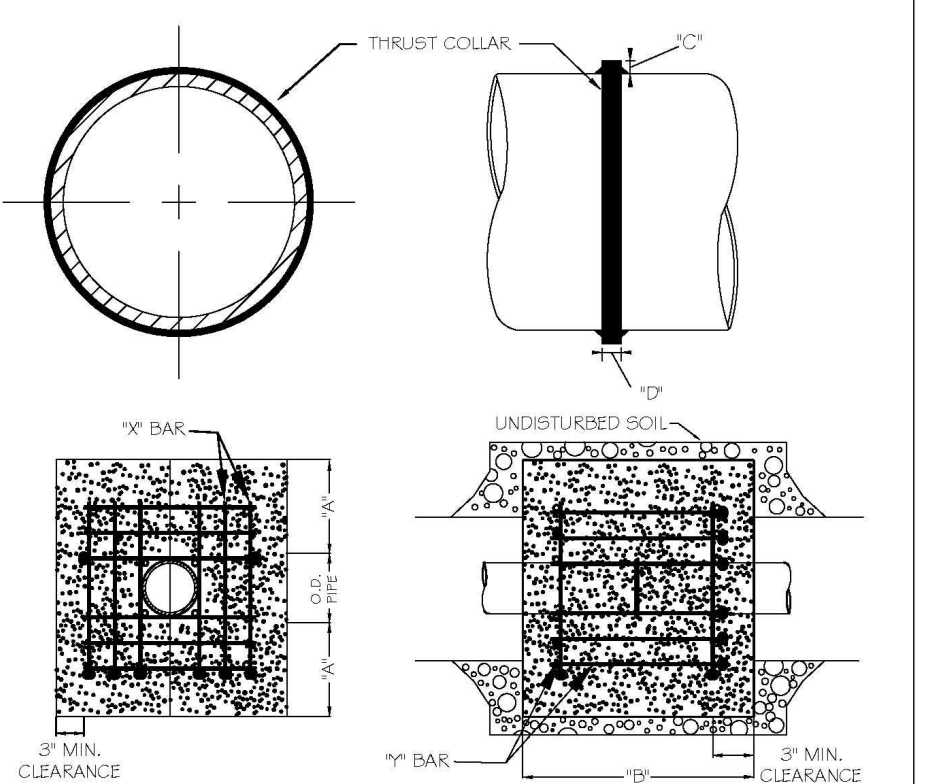
- NOTES:
- 1. FIRE HYDRANT SHALL BE AS MANUFACTURED: MUELLER, AMERICAN DARTING, KENNEDY, MHI, WATERGUS, GLOW, EAST JORDAN IRON WORKS, OR US PIPE.
 - 2. BRANCH PIPE SHALL BE DUCTILE IRON AWMA C150-86.
 - 3. 6" GATE VALVE SHALL BE AWMA C200-86 OPEN LEFT.
 - 4. STEEL ROSS AND BOLTS SHALL BE 3/4" HOT DIPPED GALVANIZED.
 - 5. FIRE HYDRANTS WILL BE INSTALLED IN TRUE VERTICAL POSITION.
 - 6. ROSS SHALL NOT BE COUPLED MORE THAN ONCE. IF THE LENGTH FROM THE VALVE TO THE HYDRANT EXCEEDS 20' THEN A MECHANICAL RESTRAINING GLAND WITH A REBAR CASE SHALL BE INSTALLED NO MORE THAN 10' FROM HYDRANT AND POURED IN CONCRETE.
 - 7. FIRE HYDRANTS TO BE LOCATED IN ROW OR 2 FOOT EASEMENT ADJACENT TO ROW.

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD FIRE HYDRANT WITH 5" STANDARD PUMPER NOZZLE			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-5	RRH	3-31-00	ABB 2-15-02
	A.B.S.	3-31-00	DHL 2-18-09

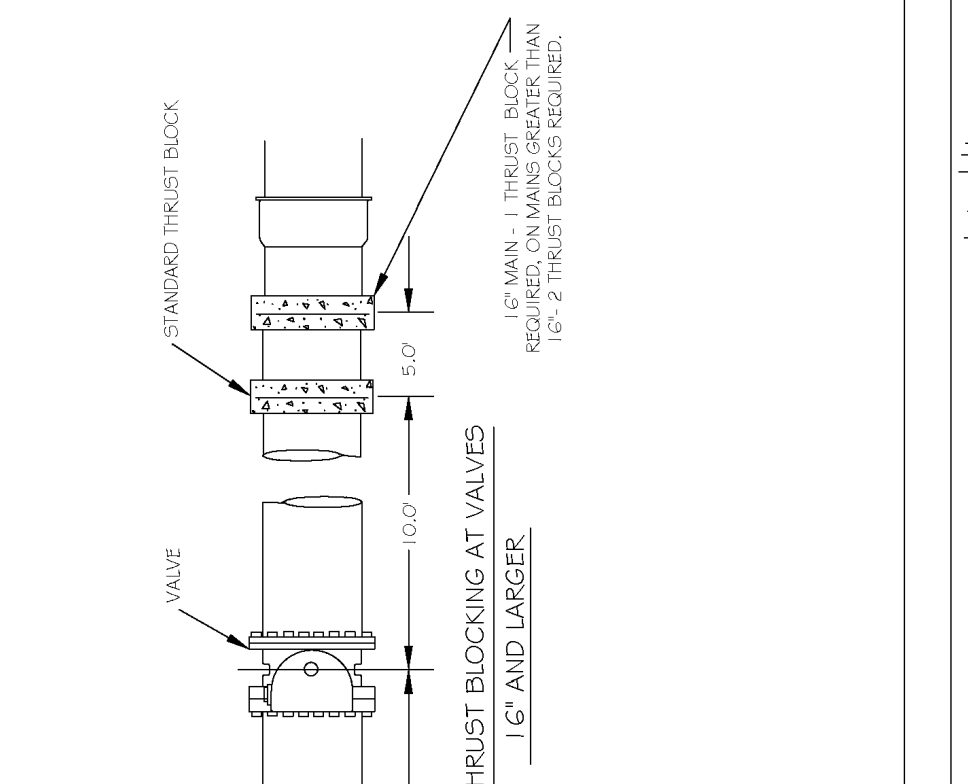


- NOTES:
- 1. RALEIGH PUBLIC HYDRANTS SHALL BE PAINTED SOLID RED.
 - 2. KNIGHTDALE, 4 ROLESVILLE PUBLIC HYDRANTS SHALL BE PAINTED RED W/ SILVER OPERATING NUTS.
 - 3. ZEBULON PUBLIC HYDRANTS SHALL BE PAINTED RED W/ SILVER BONNETS AND OPERATING NUTS.
 - 4. WAKE FOREST AND GARNER, AND WENDELL PUBLIC AND PRIVATE HYDRANTS TO BE PAINTED SAFETY YELLOW W/ SILVER CAPS AND OPERATING NUTS.
 - 5. OPERATING NUTS ON CONDUIT CONNECTED TO PUBLIC MAINS LARGER THAN 1 1/2" SHALL BE PAINTED BLACK.

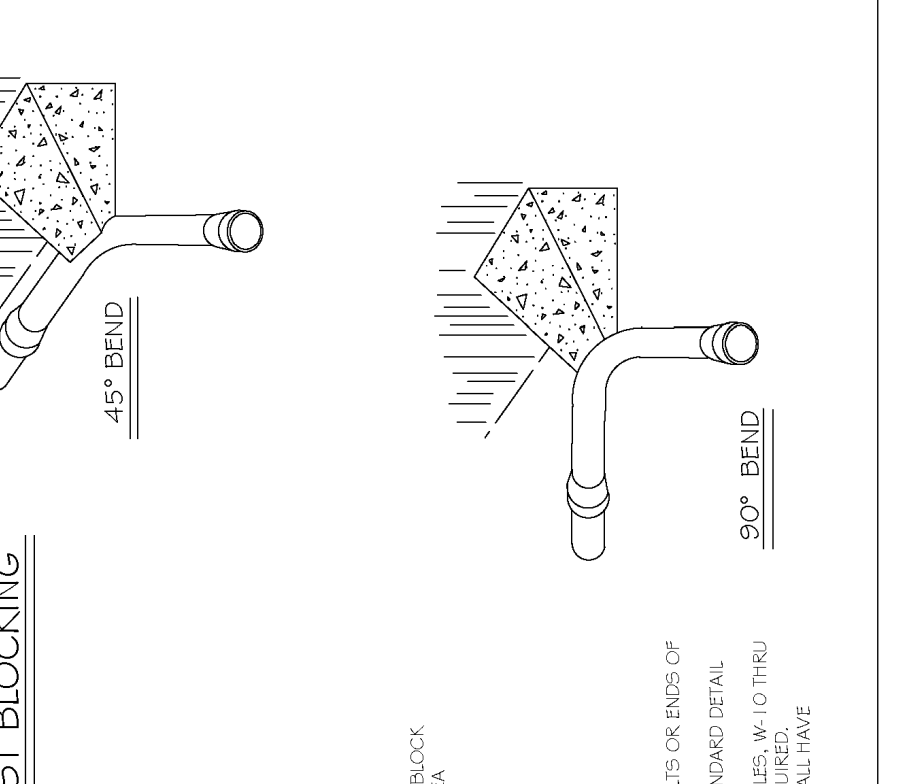
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
HYDRANT OPERATING NUT AND 2 1/2" OUTLET THREADS			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-6	RRH	3-31-00	DHL 2-18-09
	A.B.S.	3-31-00	J.P.S.



PIPE SIZE	REBAR SIZE	REBAR LENGTH	% BAR WEIGHT	NO. REQUIRED
18" - 24"	4#	3'-6"	1.1	11
24" - 30"	4#	3'-6"	1.1	11
30" - 36"	4#	3'-6"	1.1	11
36" - 42"	4#	3'-6"	1.1	11
42" - 48"	4#	3'-6"	1.1	11
48" - 54"	4#	3'-6"	1.1	11
54" - 60"	4#	3'-6"	1.1	11
60" - 66"	4#	3'-6"	1.1	11
66" - 72"	4#	3'-6"	1.1	11
72" - 78"	4#	3'-6"	1.1	11
78" - 84"	4#	3'-6"	1.1	11
84" - 90"	4#	3'-6"	1.1	11
90" - 96"	4#	3'-6"	1.1	11
96" - 102"	4#	3'-6"	1.1	11
102" - 108"	4#	3'-6"	1.1	11
108" - 114"	4#	3'-6"	1.1	11
114" - 120"	4#	3'-6"	1.1	11
120" - 126"	4#	3'-6"	1.1	11
126" - 132"	4#	3'-6"	1.1	11
132" - 138"	4#	3'-6"	1.1	11
138" - 144"	4#	3'-6"	1.1	11
144" - 150"	4#	3'-6"	1.1	11
150" - 156"	4#	3'-6"	1.1	11
156" - 162"	4#	3'-6"	1.1	11
162" - 168"	4#	3'-6"	1.1	11
168" - 174"	4#	3'-6"	1.1	11
174" - 180"	4#	3'-6"	1.1	11
180" - 186"	4#	3'-6"	1.1	11
186" - 192"	4#	3'-6"	1.1	11
192" - 198"	4#	3'-6"	1.1	11
198" - 204"	4#	3'-6"	1.1	11
204" - 210"	4#	3'-6"	1.1	11
210" - 216"	4#	3'-6"	1.1	11
216" - 222"	4#	3'-6"	1.1	11
222" - 228"	4#	3'-6"	1.1	11
228" - 234"	4#	3'-6"	1.1	11
234" - 240"	4#	3'-6"	1.1	11

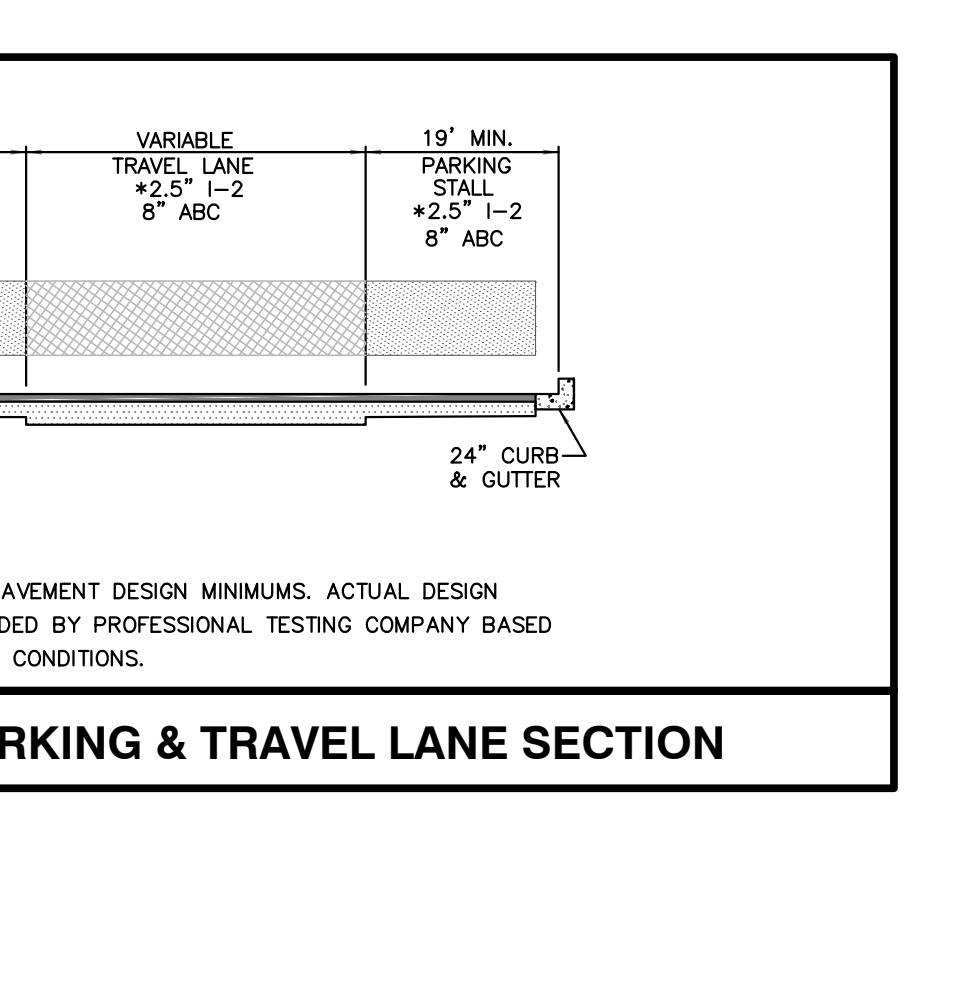
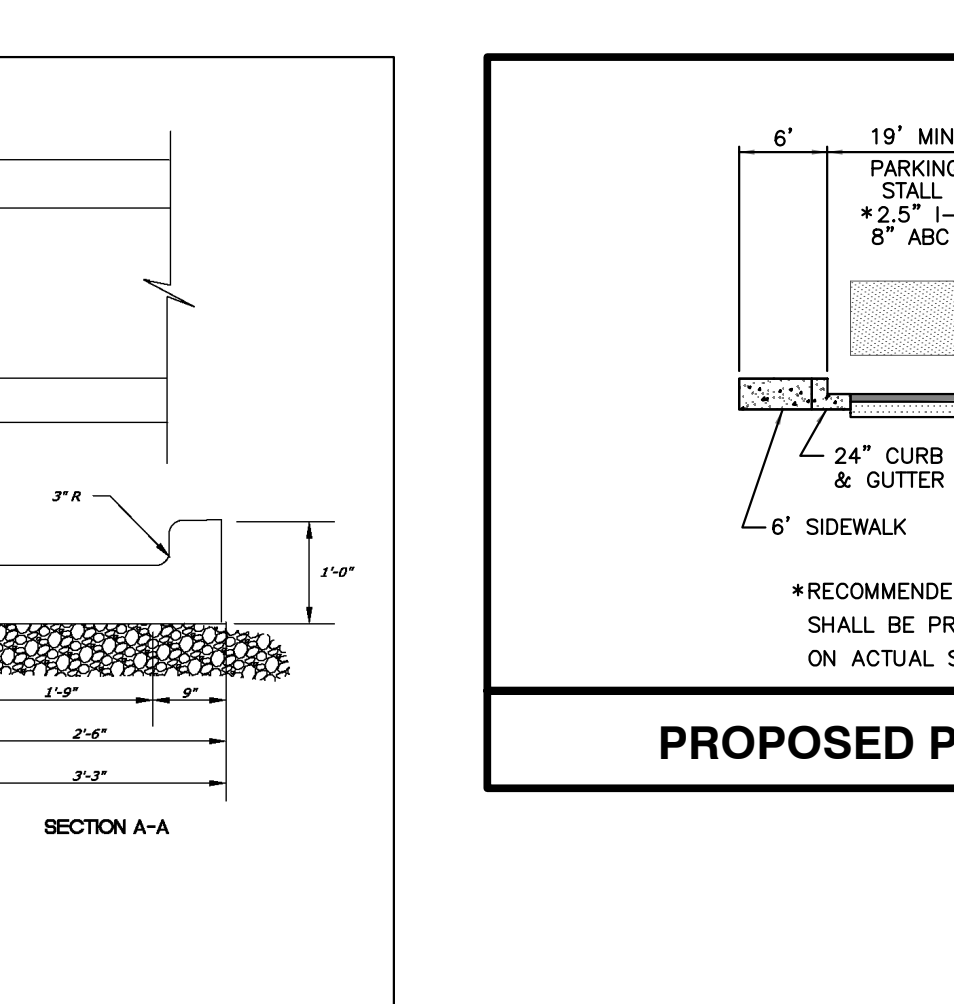
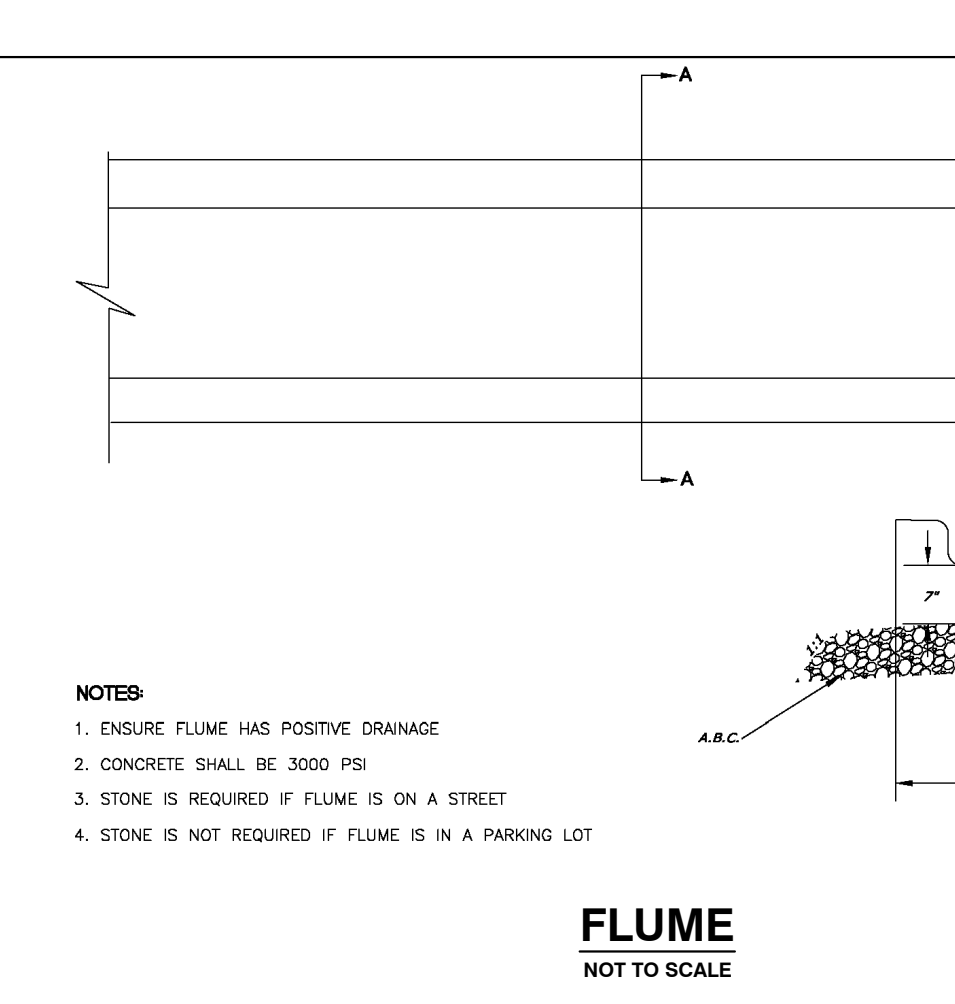
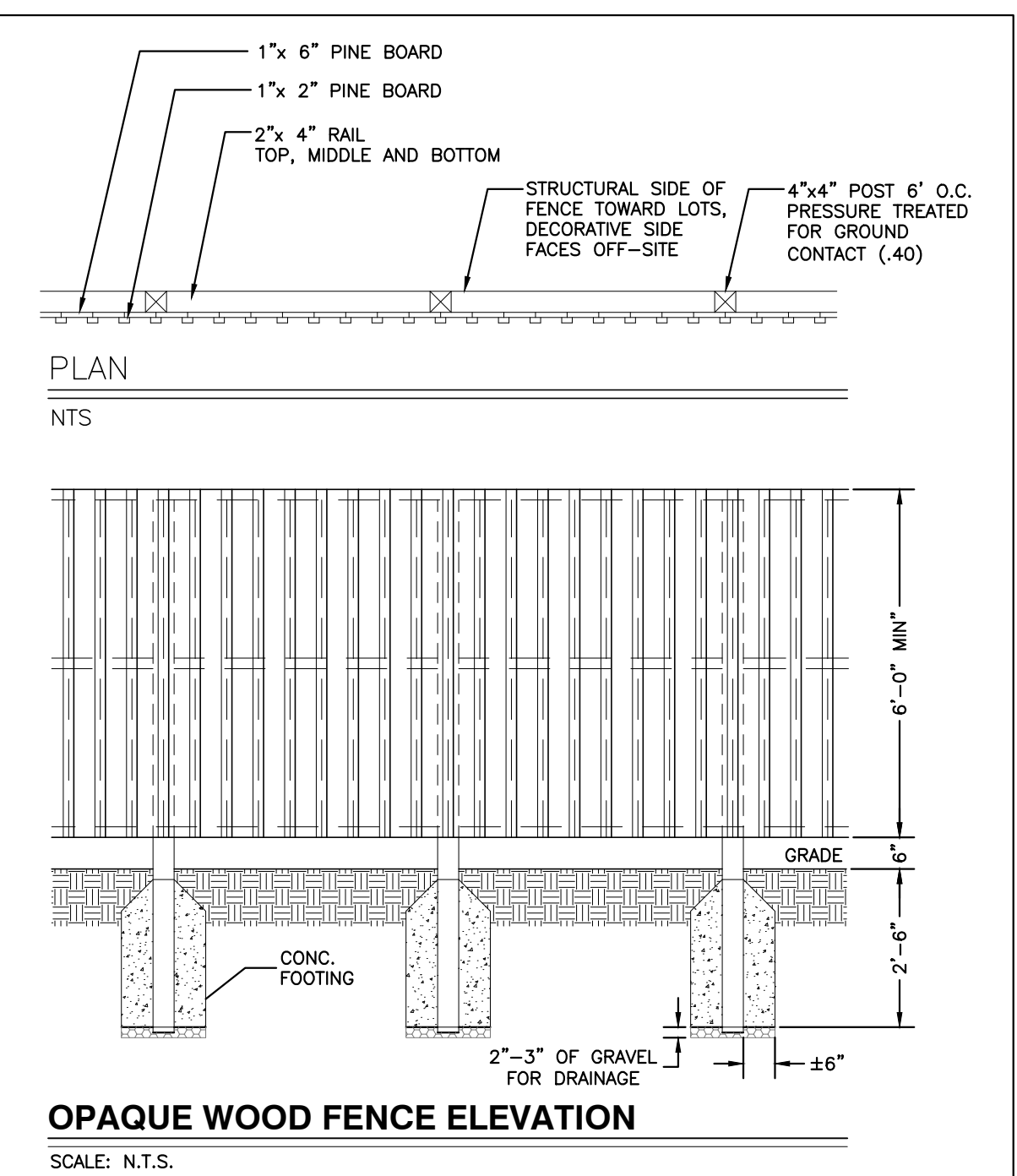
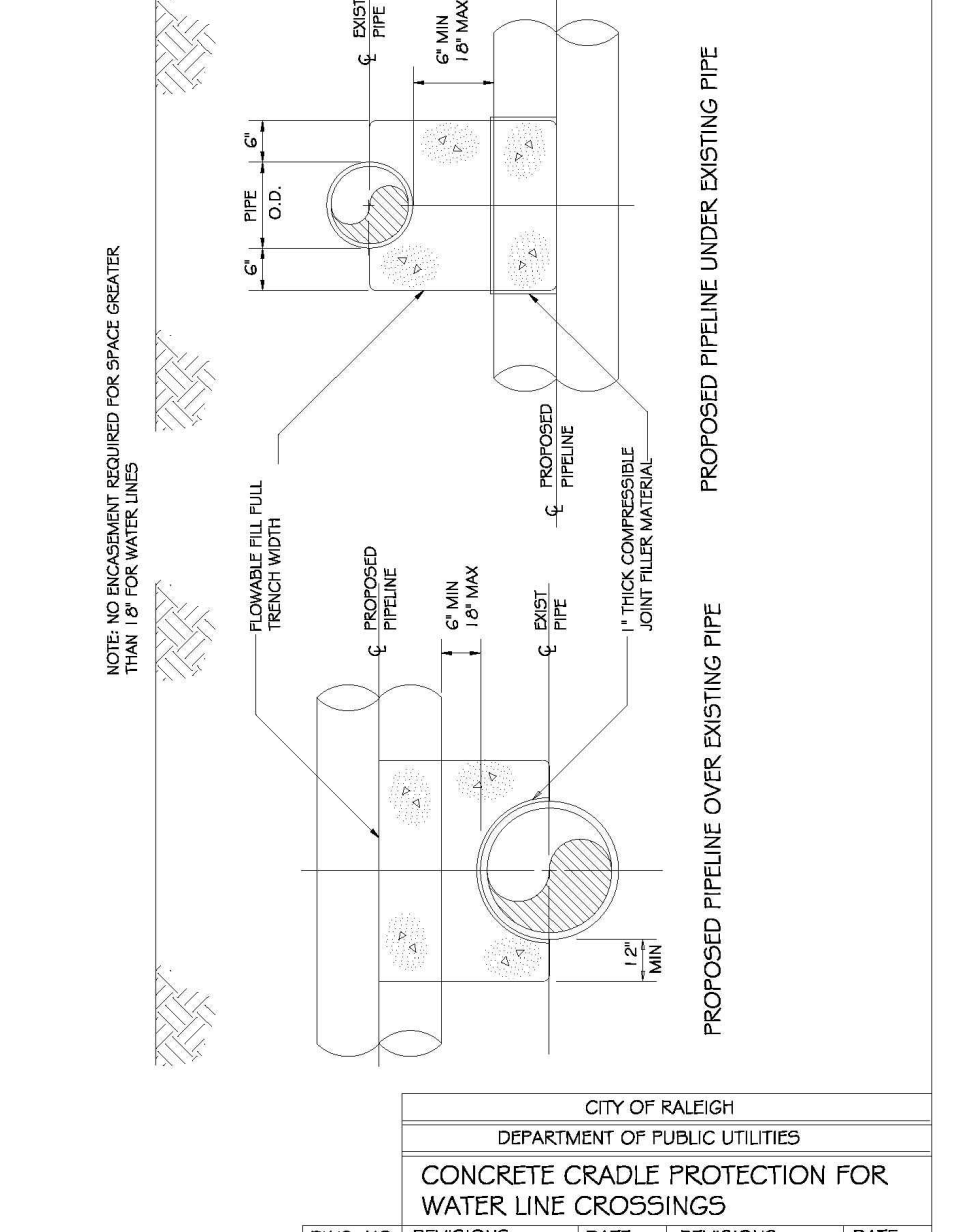
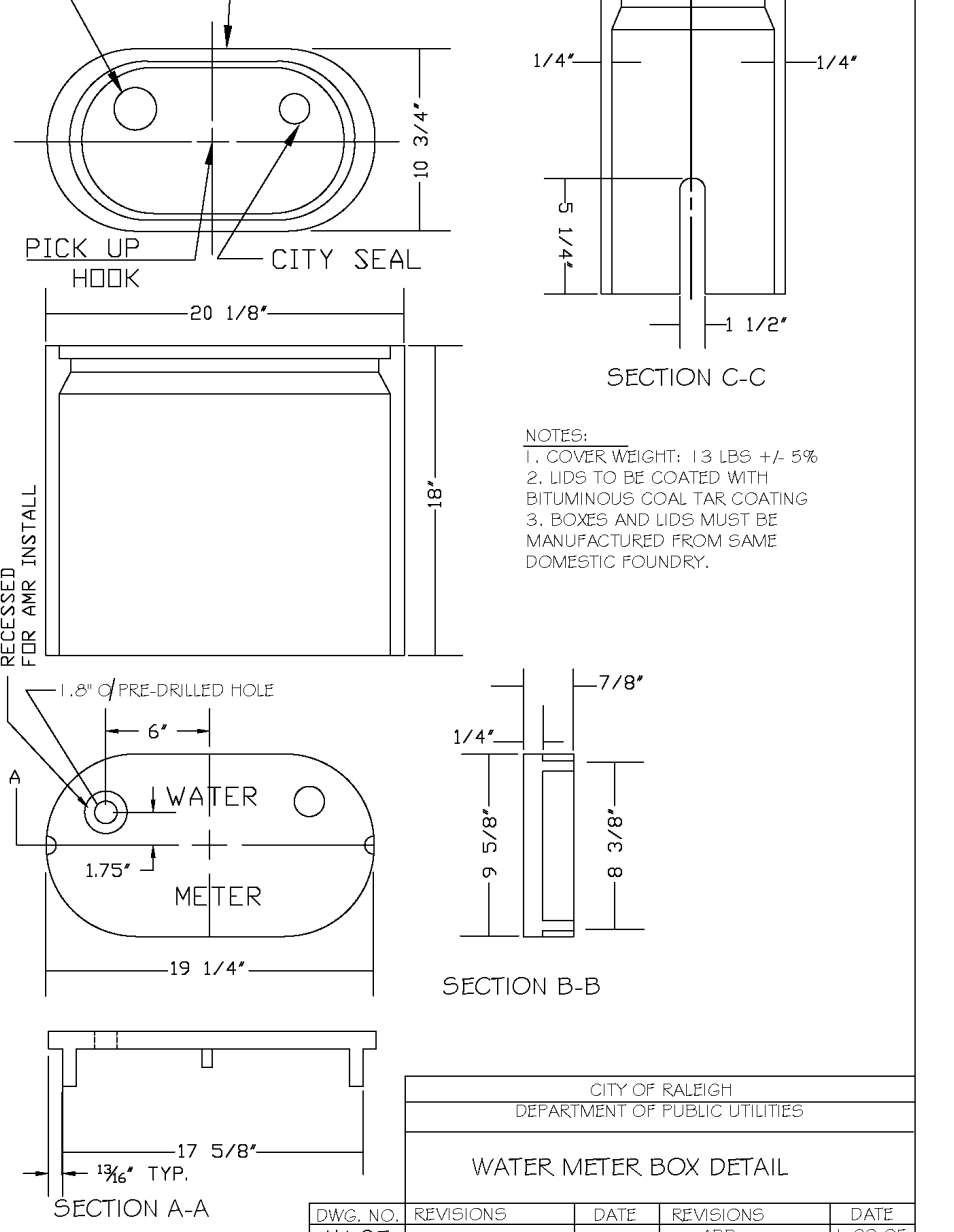
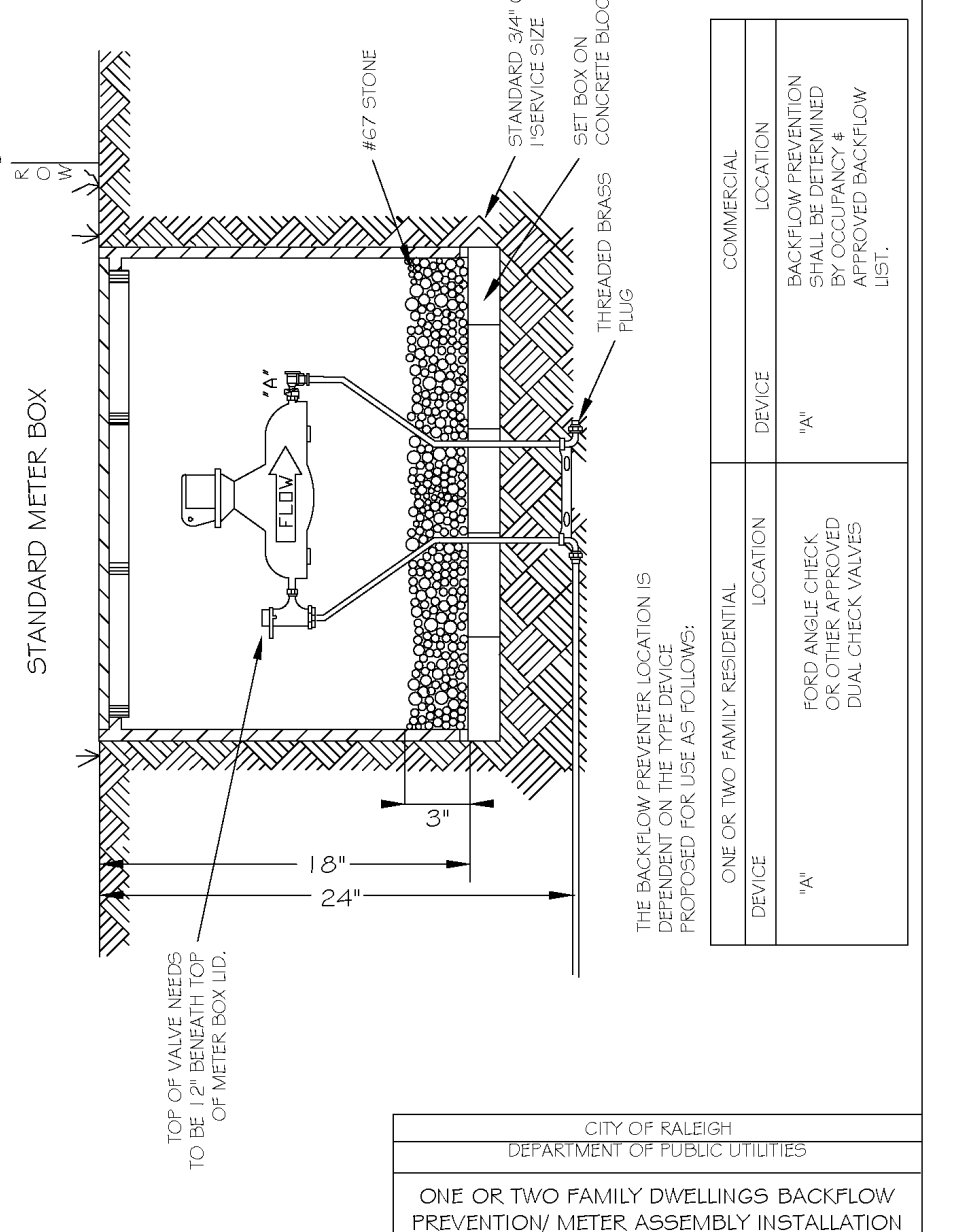
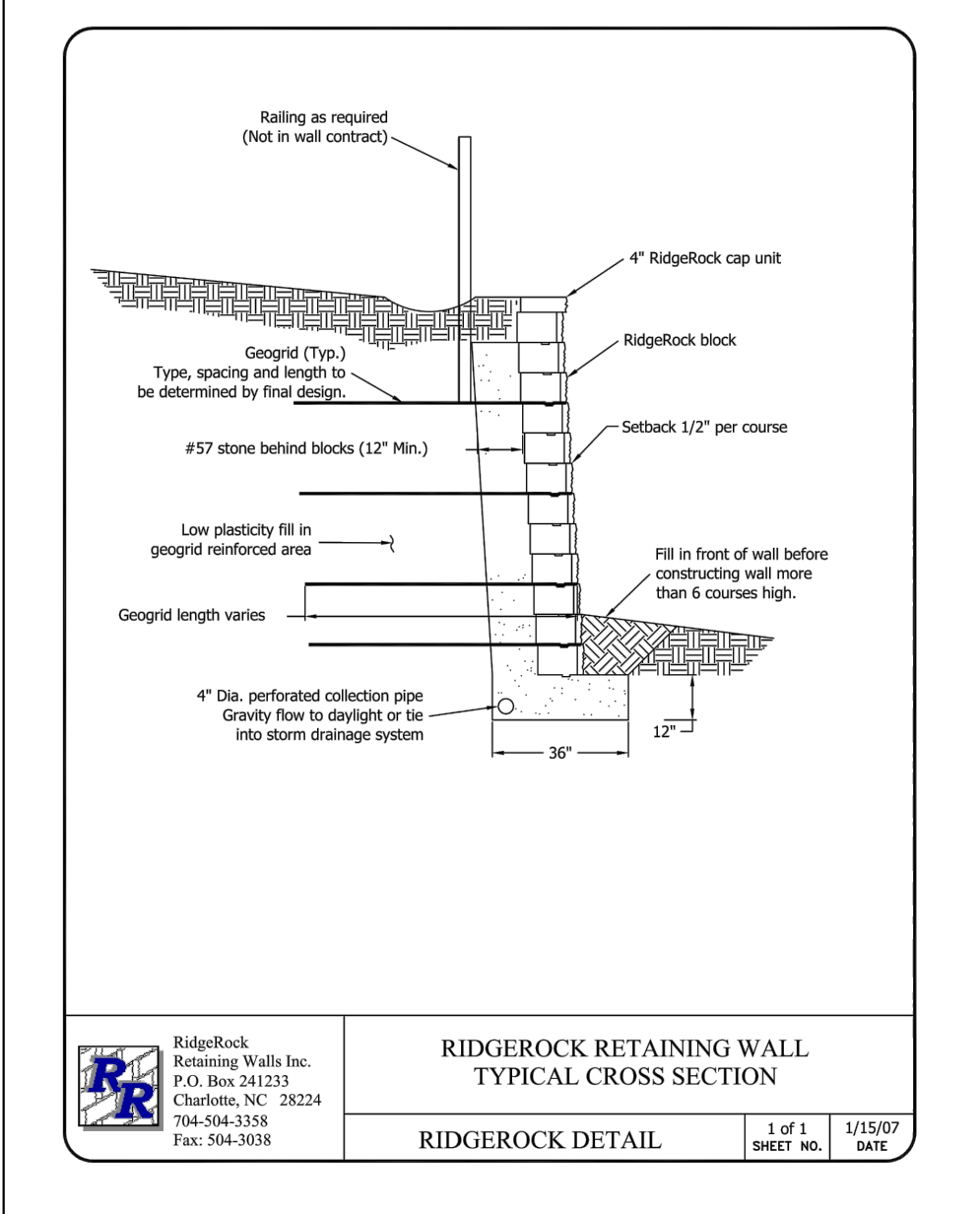
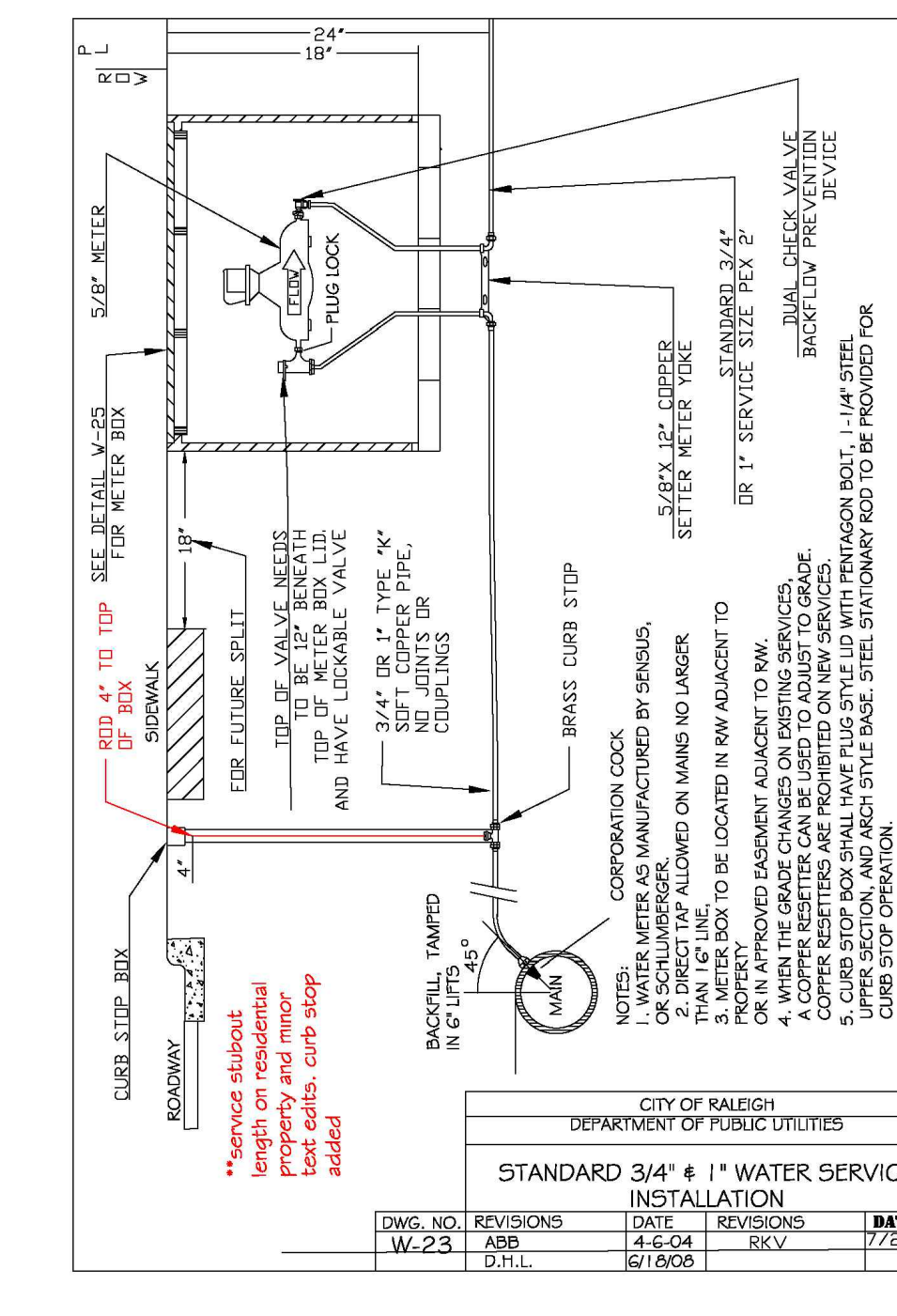
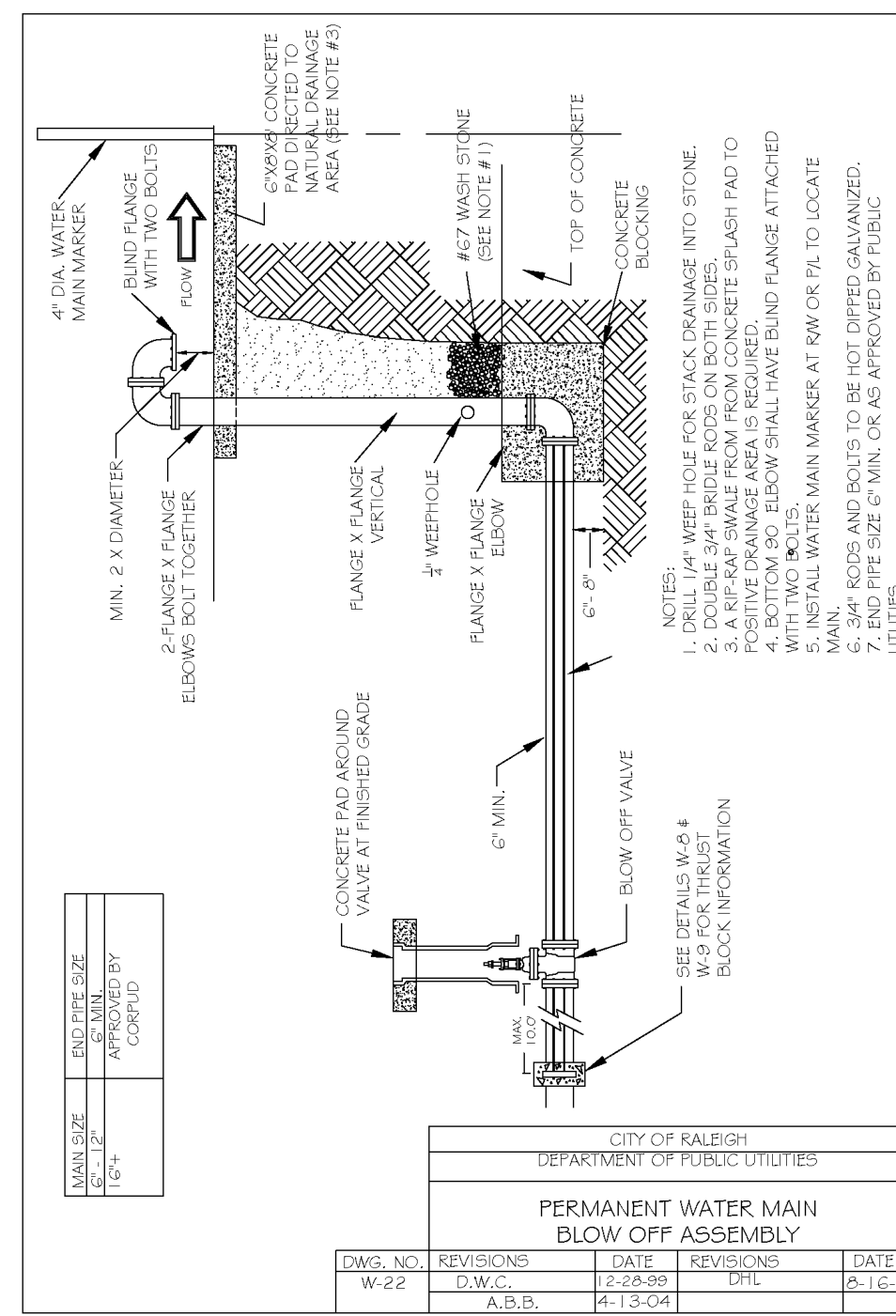
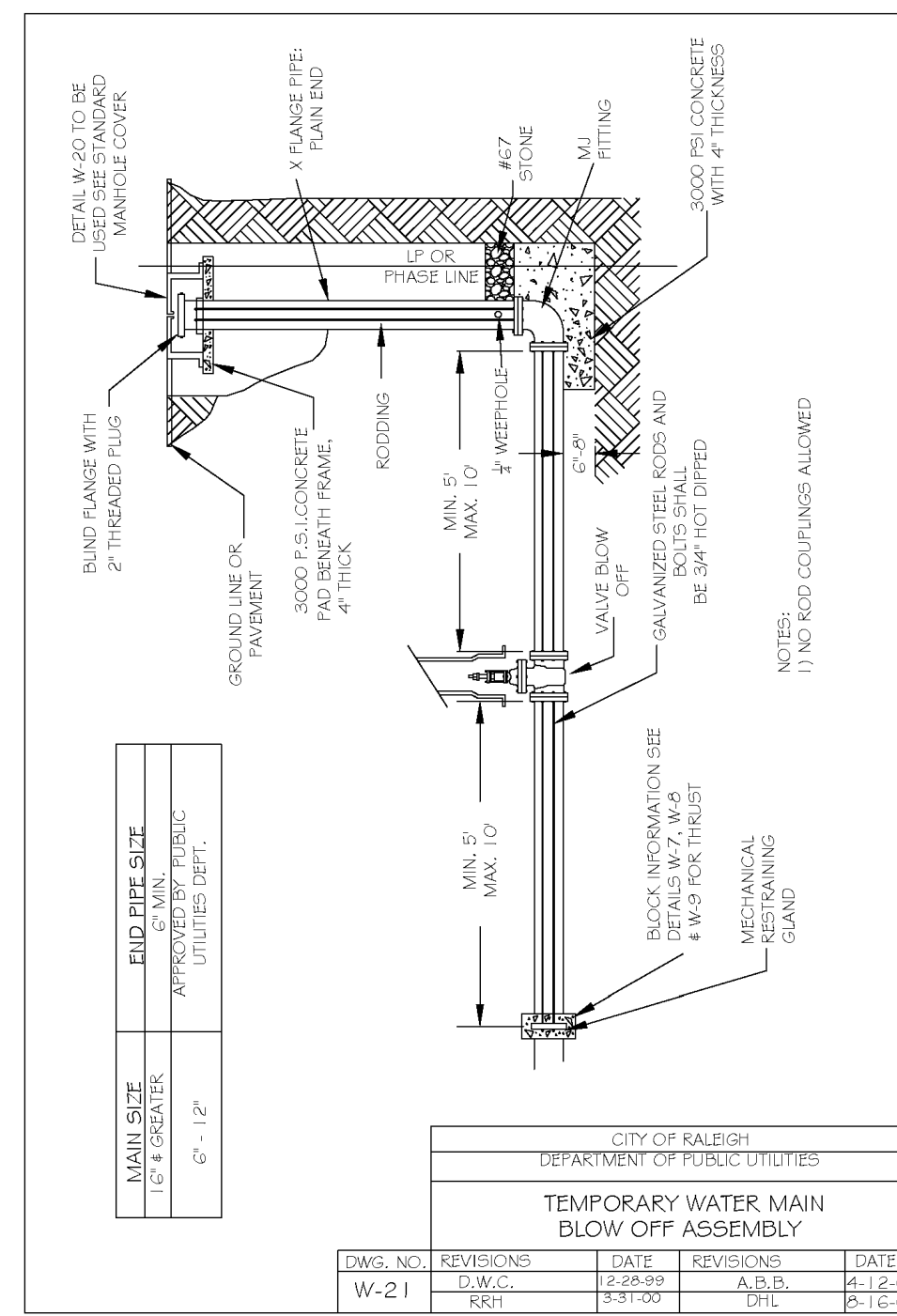
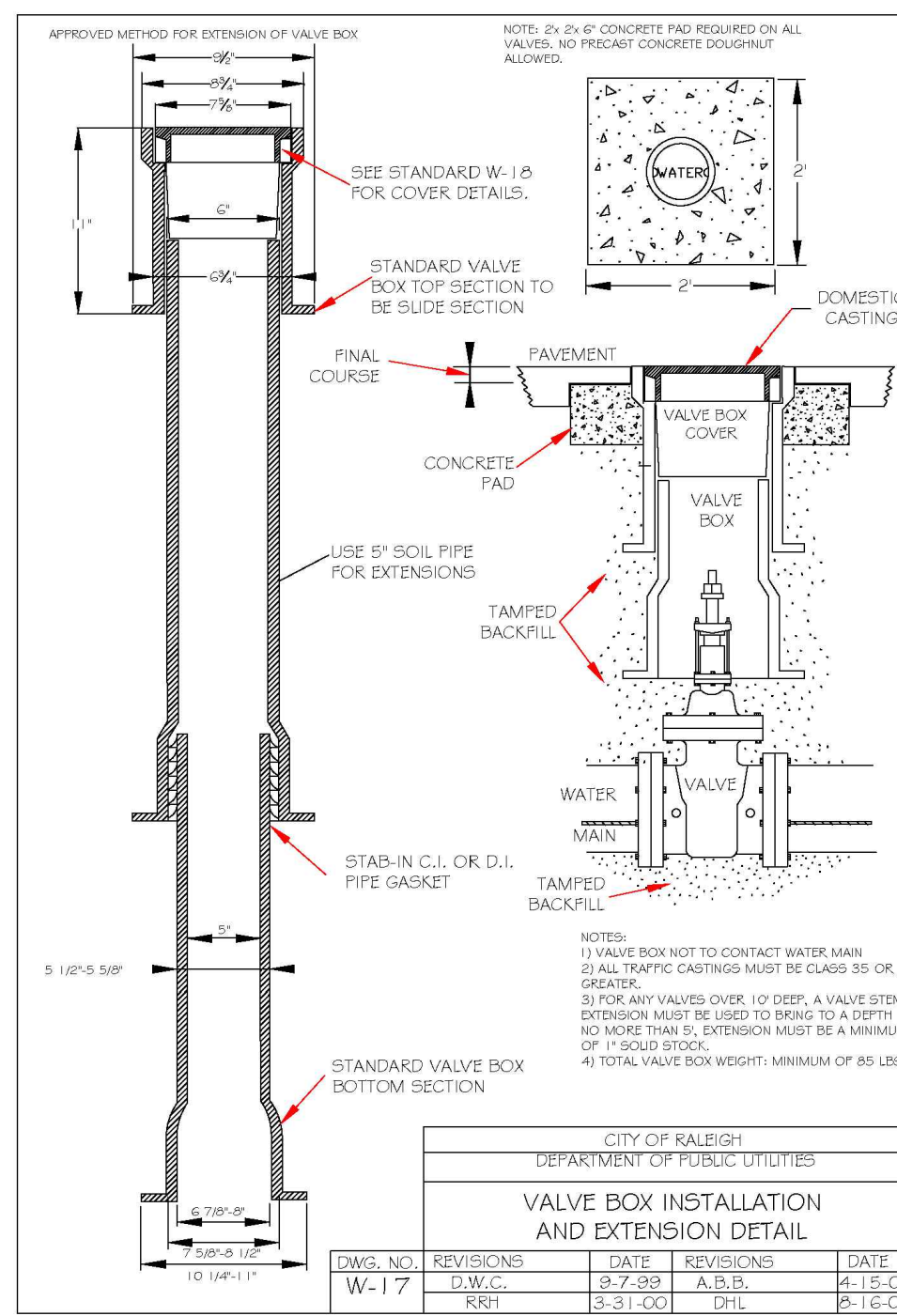


PIPE SIZE	REBAR SIZE	REBAR LENGTH	% BAR WEIGHT	NO. REQUIRED
18" - 24"	4#	3'-6"	1.1	11
24" - 30"	4#	3'-6"	1.1	11
30" - 36"	4#	3'-6"	1.1	11
36" - 42"	4#	3'-6"	1.1	11
42" - 48"	4#	3'-6"	1.1	11
48" - 54"	4#	3'-6"	1.1	11
54" - 60"	4#	3'-6"	1.1	11
60" - 66"	4#	3'-6"	1.1	11
66" - 72"	4#	3'-6"	1.1	11
72" - 78"	4#	3'-6"	1.1	11
78" - 84"	4#	3'-6"	1.1	11
84" - 90"	4#	3'-6"	1.1	11
90" - 96"	4#	3'-6"	1.1	11
96" - 102"	4#	3'-6"	1.1	11
102" - 108"	4#	3'-6"	1.1	11
108" - 114"	4#	3'-6"	1.1	11
114" - 120"	4#	3'-6"	1.1	11
120" - 126"	4#	3'-6"	1.1	11
126" - 132"	4#	3'-6"	1.1	11
132" - 138"	4#	3'-6"	1.1	11
138" - 144"	4#	3'-6"	1.1	11
144" - 150"	4#	3'-6"	1.1	11
150" - 156"	4#	3'-6"	1.1	11
156" - 162"	4#	3'-6"	1.1	11
162" - 168"	4#	3'-6"	1.1	11
168" - 174"	4#	3'-6"	1.1	11
174" - 180"	4#	3'-6"	1.1	11
180" - 186"	4#	3'-6"	1.1	11
186" - 192"	4#	3'-6"	1.1	11
192" - 198"	4#	3'-6"	1.1	11
198" - 204"	4#	3'-6"	1.1	11
204" - 210"	4#	3'-6"	1.1	11
210" - 216"	4#	3'-6"	1.1	11
216" - 222"	4#	3'-6"	1.1	11
222" - 228"	4#	3'-6"	1.1	11
228" - 234"	4#	3'-6"	1.1	11
234" - 240"	4#	3'-6"	1.1	11



PIPE SIZE	REBAR SIZE	REBAR LENGTH	% BAR WEIGHT	NO. REQUIRED
18" - 24"	4#	3'-6"	1.1	11
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42" - 48"	4#	3'-6"	1.1	11
48" - 54"	4#	3'-6"	1.1	11
54" - 60"	4#	3'-6"	1.1	11
60" - 66"	4#	3'-6"	1.1	11
66" - 72"	4#	3'-6"	1.1	11
72" - 78"	4#	3'-6"	1.1	11
78" - 84"	4#	3'-6"	1.1	11
84" - 90"	4#	3'-6"	1.1	11
90" - 96"	4#	3'-6"	1.1	11
96" - 102"	4#	3'-6"	1.1	11
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144" - 150"	4#	3'-6"	1.1	11
150" - 156"	4#	3'-6"	1.1	11
156" - 162"	4#	3'-6"	1.1	11
162" - 168"	4#	3'-6"	1.1	11
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222" - 228"	4#	3'-6"	1.1	11
228" - 234"	4#	3'-6"	1.1	11
234" - 240"	4#	3'-6"	1.1	11

PIPE SIZE	45° BEND	90° BEND	120° BEND	135° BEND	150° BEND	180° BEND
6"	1.108	1.1	1.1	1.1	1.1	1.1
8"	1.970	1.1	1.1	1.1	1.1	1.1
10"	3.922	1.1	1.1	1.1	1.1	1.1
12"	7.874	2.4	3.4	4.4	5.4	6.4
14"	14.215	4.6	6.9	9.2	11.5	13.8
16"	10.063	3.5	5.6	7.6	9.6	11.6
18"	4.433	2.3	3.3	4.3	5.3	6.3
20"	2.207	1.2	2.2	3.2	4.2	5.2
22"	4.338	2.3	3.3	4.3	5.3	6.3
24"	7.292	4.4	5.4	6.4	7.4	8.4
26"	5.655	2.3	3.3	4.3	5.3	6.3
28"	22.619	6.1	12.1	14.1	16.1	18.1
30"	11.144	4.4	5.4	6.4	7.4	8.4
32"	22.127	9.8	11.8	13.8	15.8	17.8
34"	41.288	19.1	21.1	23.1	25.1	27.1
36"	22.619	6.1	12.1	14.1	16.1	18.1
38"	11.144	4.4	5.4	6.4	7.4	8.4
40"	22.127	9.8	11.8	13.8	15.8	17.8
42"	41.288	19.1	21.1	23.1	25.1	27.1
44"	22.619	6.1	12.1	14.1	16.1	18.1
46"	11.144	4.4	5.4	6.4	7.4	8.4
48"	22.127	9.8	11.8	13.8	15.8	17.8
50"	41.288	19.1	21.1	23.1	25.1	27.1
52"	22.619	6.1	12.1	14.1	16.1	18.1
54"	11.144	4.4	5.4	6.4	7.4	8.4
56"	22.127	9.8	11.8	13.8	15.8	17.8
58"	41.288	19.1	21.1	23.1	25.1	27.1
60"	22.619	6.1	12.1	14.1	16.1	18.1
62"	11.144	4.4	5.4	6.4	7.4	8.4
64"	22.127	9.8	11.8	13.8	15.8	17.8
66"	41.288	19.1	21.1	23.1	25.1	27.1
68"	22.619	6.1	12.1	14.1	16.1	18.1
70"	11.144	4.4	5.4	6.4	7.4	8.4
72"	22.127	9.8	11.8	13.8	15.8	17.8
74"	41.288	19.1	21.1	23.1	25.1	27.1
76"	22.619	6.1	12.1	14.1	16.1	18.1
78"	11.144	4.4	5.4	6.4	7.4	8.4
80"	22.127	9.8	11.8	13.8	15.8	17.8
82"	41.288	19.1	21.1	23.1	25.1	27.1
84"	22.619	6.1	12.1	14.1	16.1	18.1
86"	11.144	4.4	5.4	6.4	7.4	8.4
88"	22.127	9.8	11.8	13.8	15.8	17.8
90"	41.288	19.1	21.1	23.1	25.1	27.1
92"	22.619	6.1	12.1	14.1	16.1	18.1
94"	11.144	4.4	5.4	6.4	7.4	8.4
96"	22.127	9.8	11.8	13.8	15.8	17.8
98"	41.288	19.1	21.1	23.1	25.1	27.1
100"	22.619	6.1	12.1</			



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

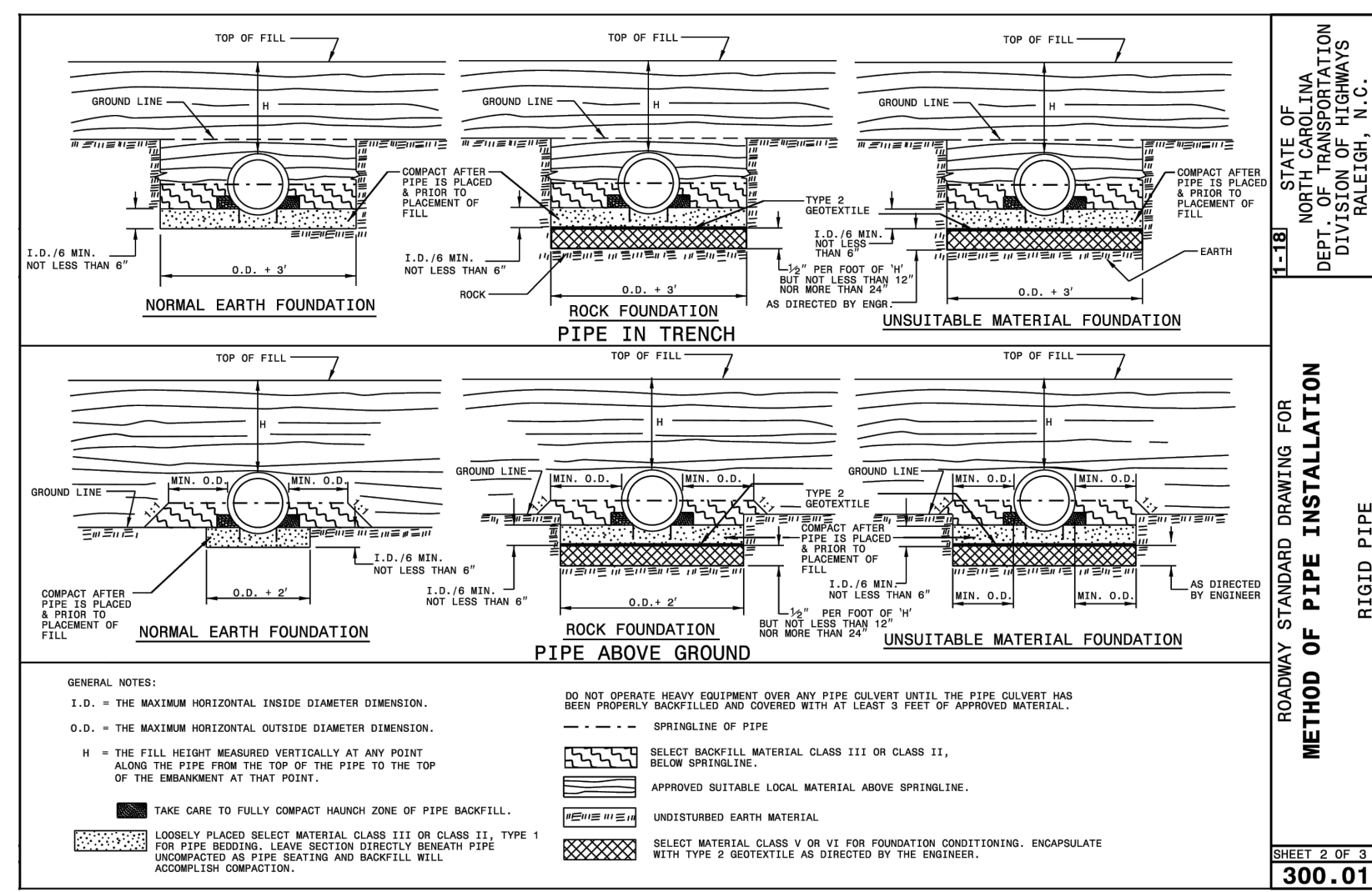
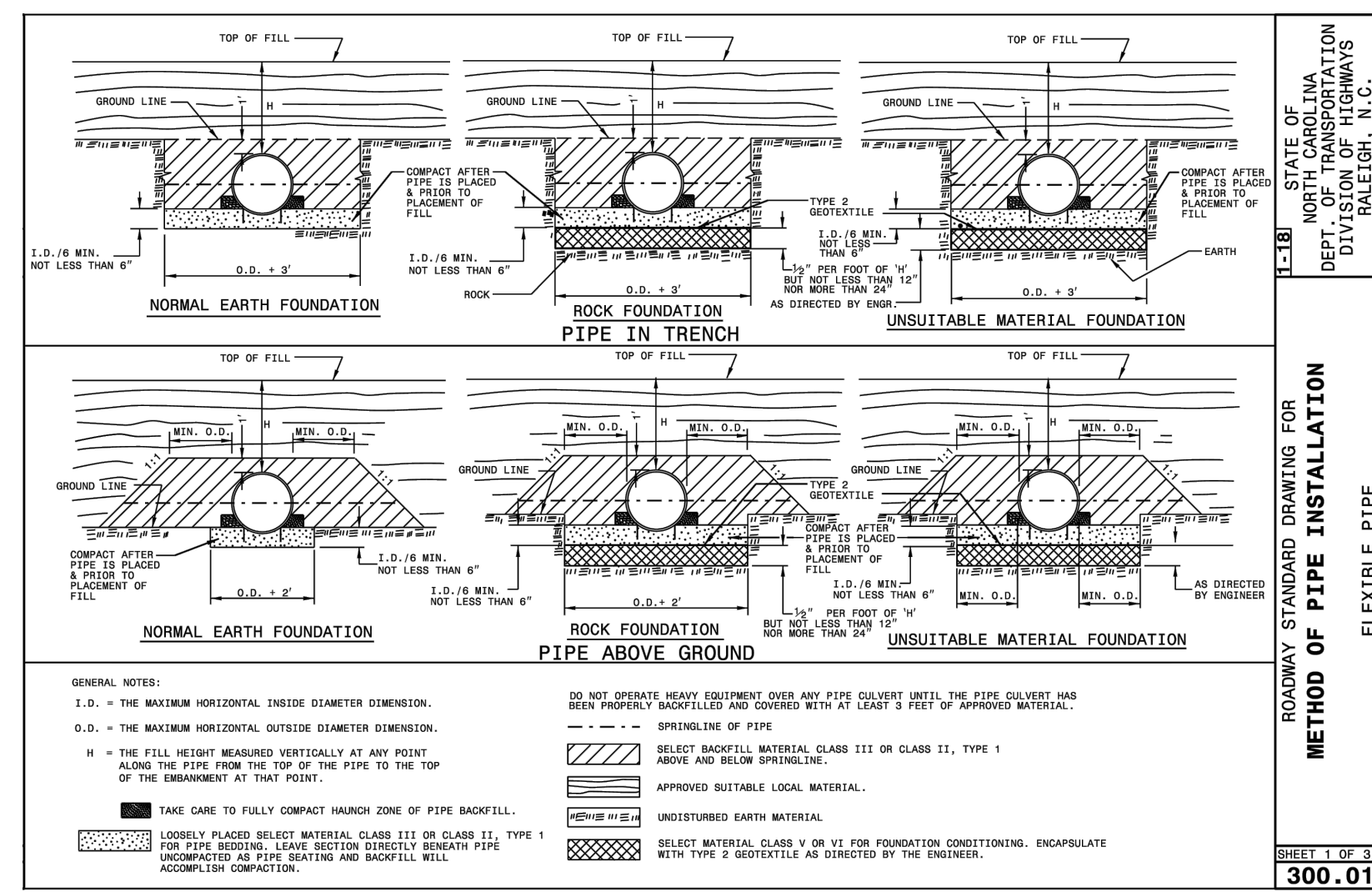
City of Raleigh Development Approval _____

Raleigh Water Review Officer _____



PROGRESS	MRM	DATE	DRAWN BY	NO.	DESCRIPTION	BY
3	12-08-23	TOWN OF ROLESVILLE COMMENTS	MRM			
2	10-16-23	T.O.R. COMMENTS	MRM			
1	09-21-23	CHANGES FROM 06-02-22 CDS	MRM			

SCALE: N.T.S. CHK BY: MDB



FLEXIBLE PIPE

Round Corrugated Steel Pipe 2 1/2 x 1/4 Corrugation			Round Corrugated Aluminum Pipe 2 1/2 x 1/4 Corrugation		
Diameter (Inches)	Minimum cover (Inches)	Maximum Height of Cover (Feet)	Diameter (Inches)	Minimum cover (Inches)	Maximum Height of Cover (Feet)
12	12	15	12	12	15
15	12	18	15	12	18
18	12	21	18	12	21
21	12	24	21	12	24
24	12	27	24	12	27
27	12	30	27	12	30
30	12	33	30	12	33
36	12	39	36	12	39
42	12	45	42	12	45
48	12	51	48	12	51
54	12	57	54	12	57
60	12	63	60	12	63
66	12	69	66	12	69
72	12	75	72	12	75
78	12	81	78	12	81
84	12	87	84	12	87

NOTE: FOR DIFFERENT CORRUGATIONS AND ARCH PIPES REFER TO ROADWAY DESIGN MANUAL OR MANUFACTURER'S SPECIFICATION.

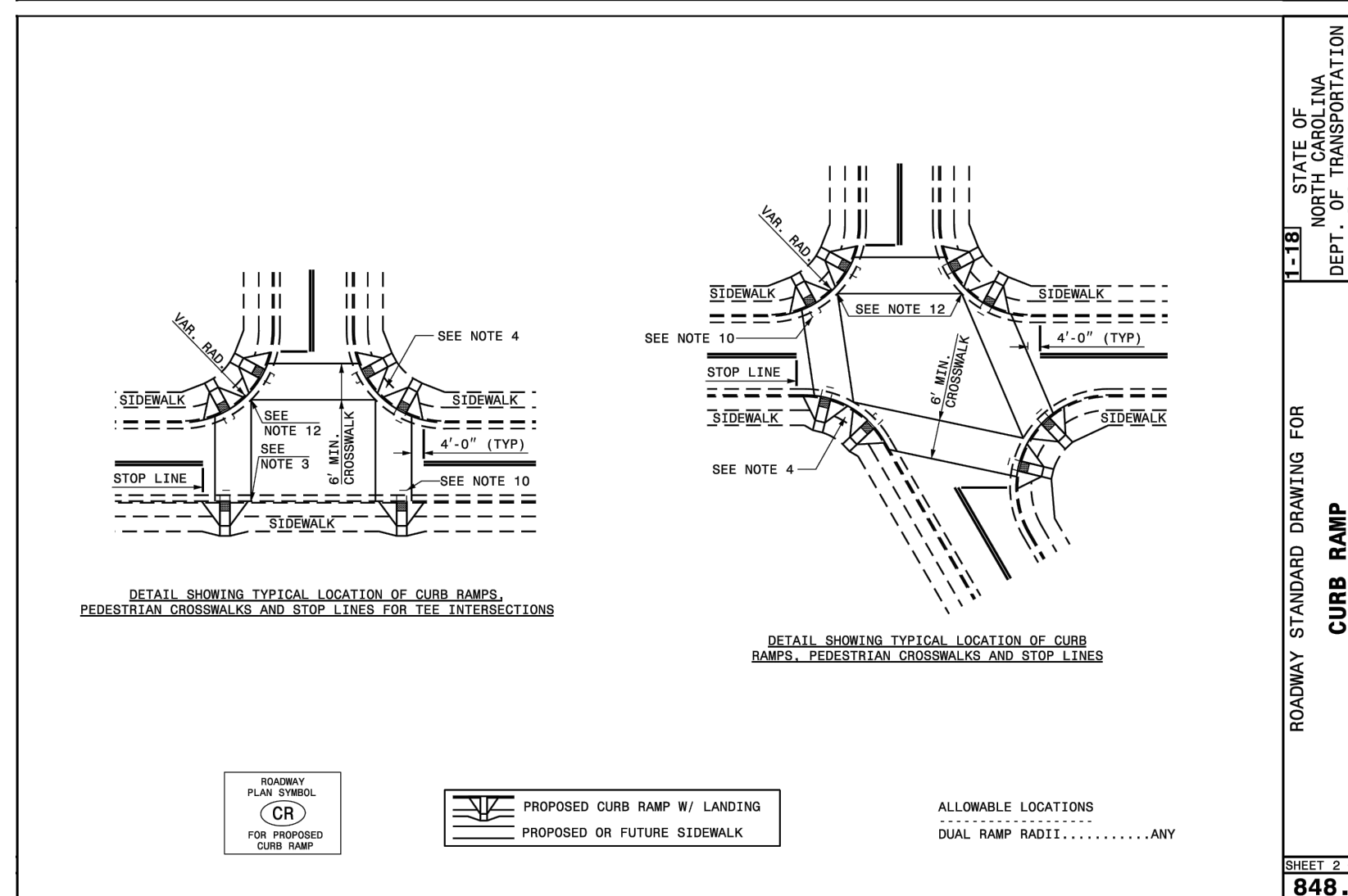
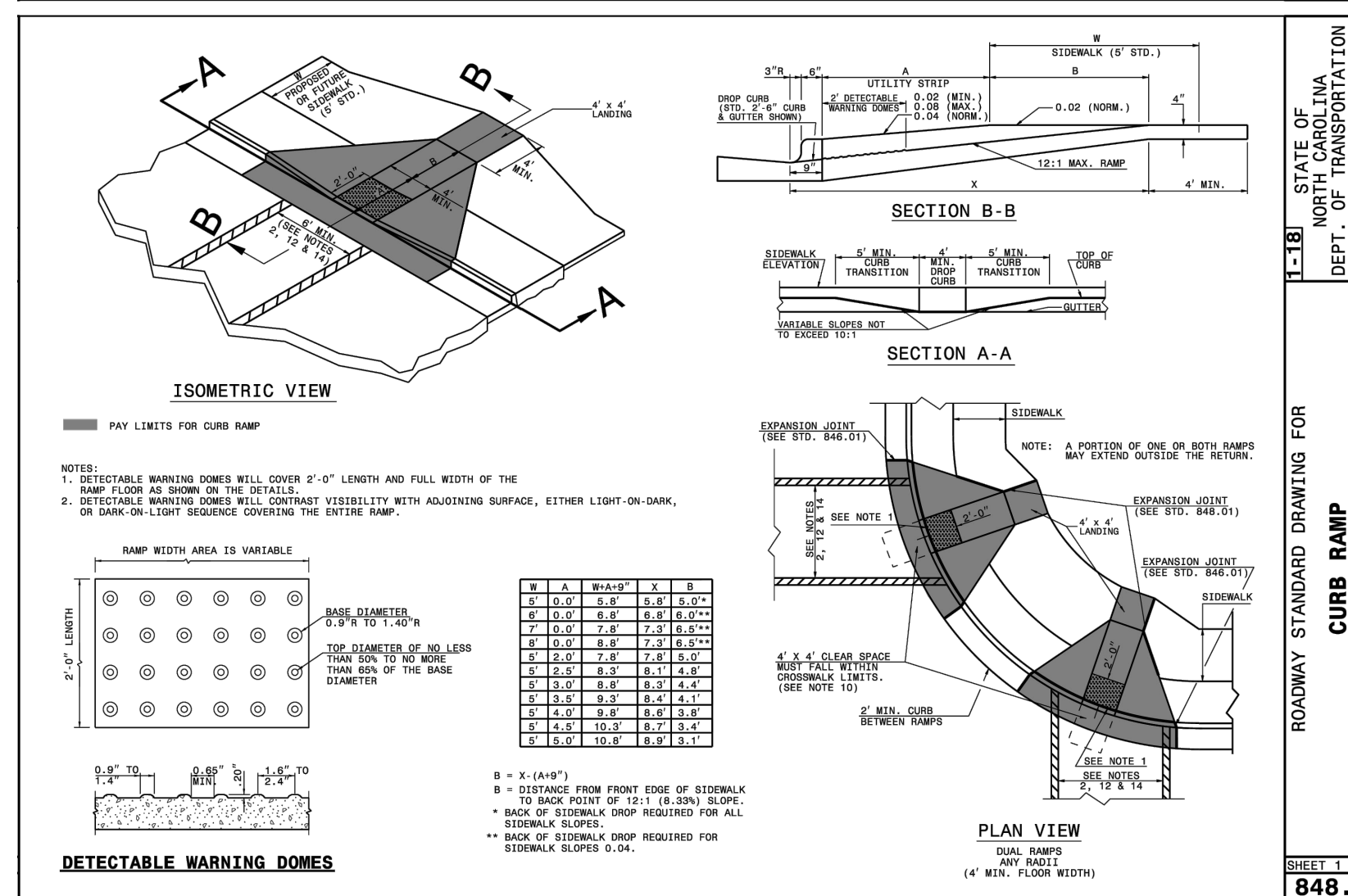
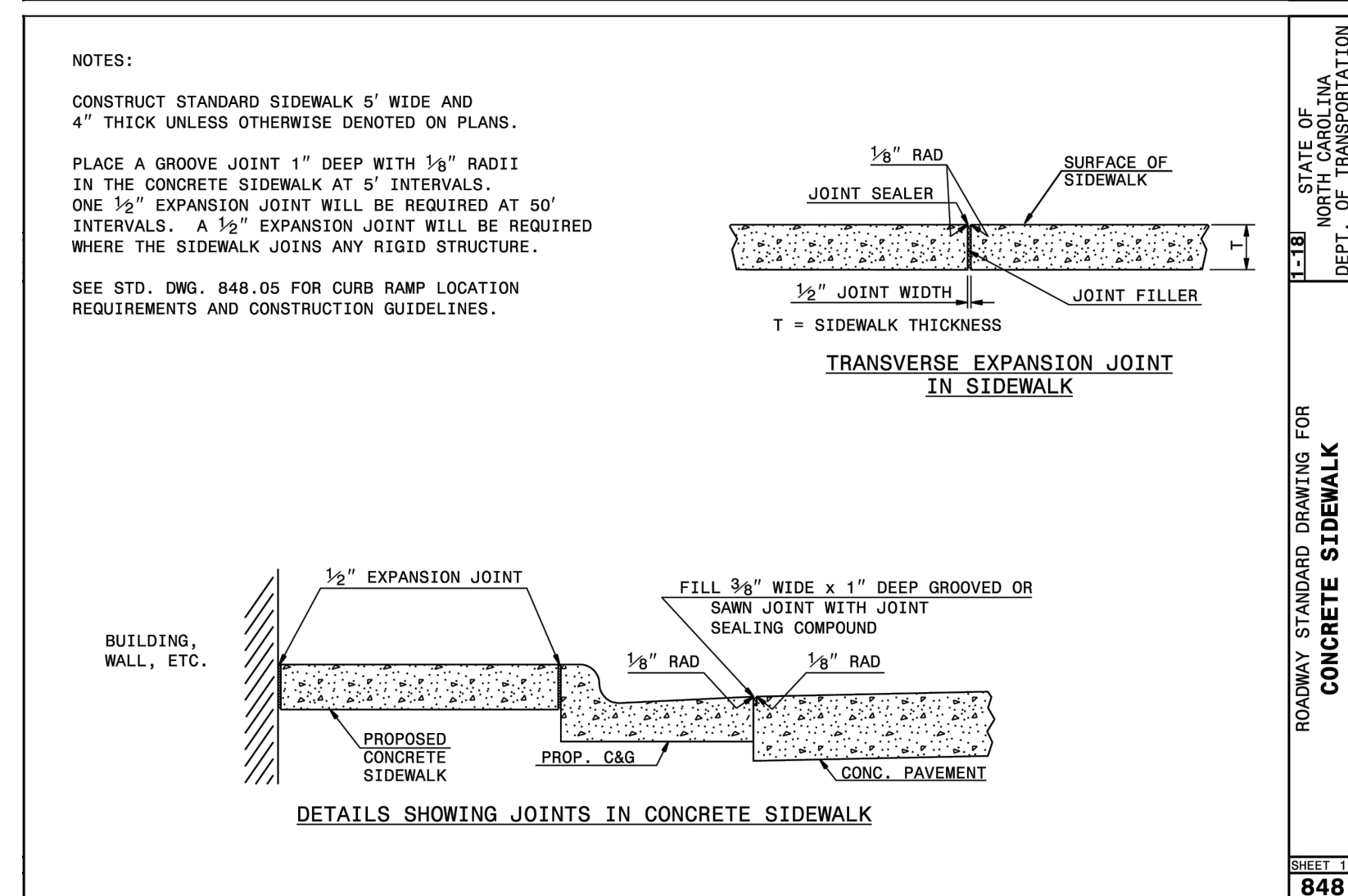
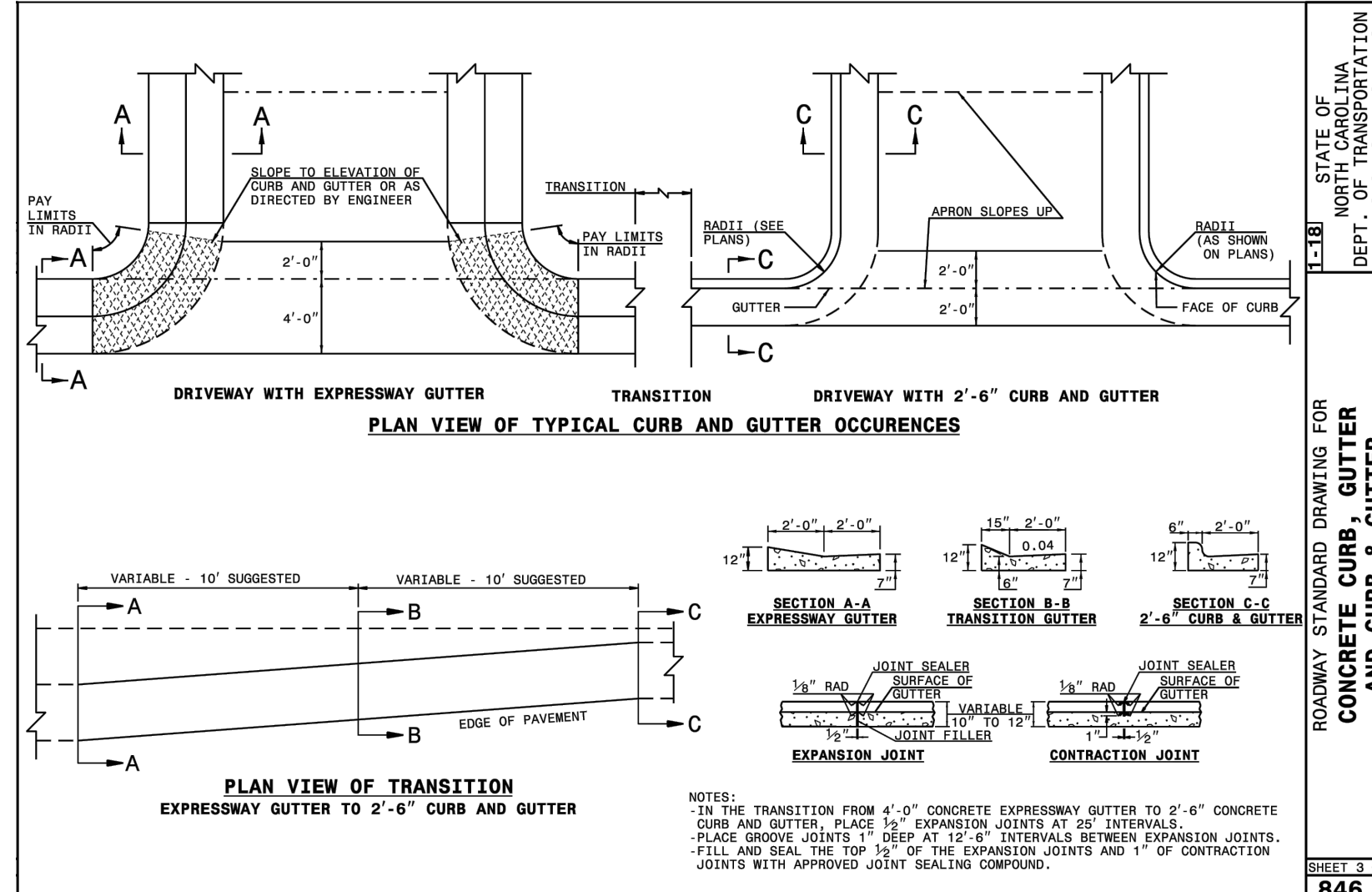
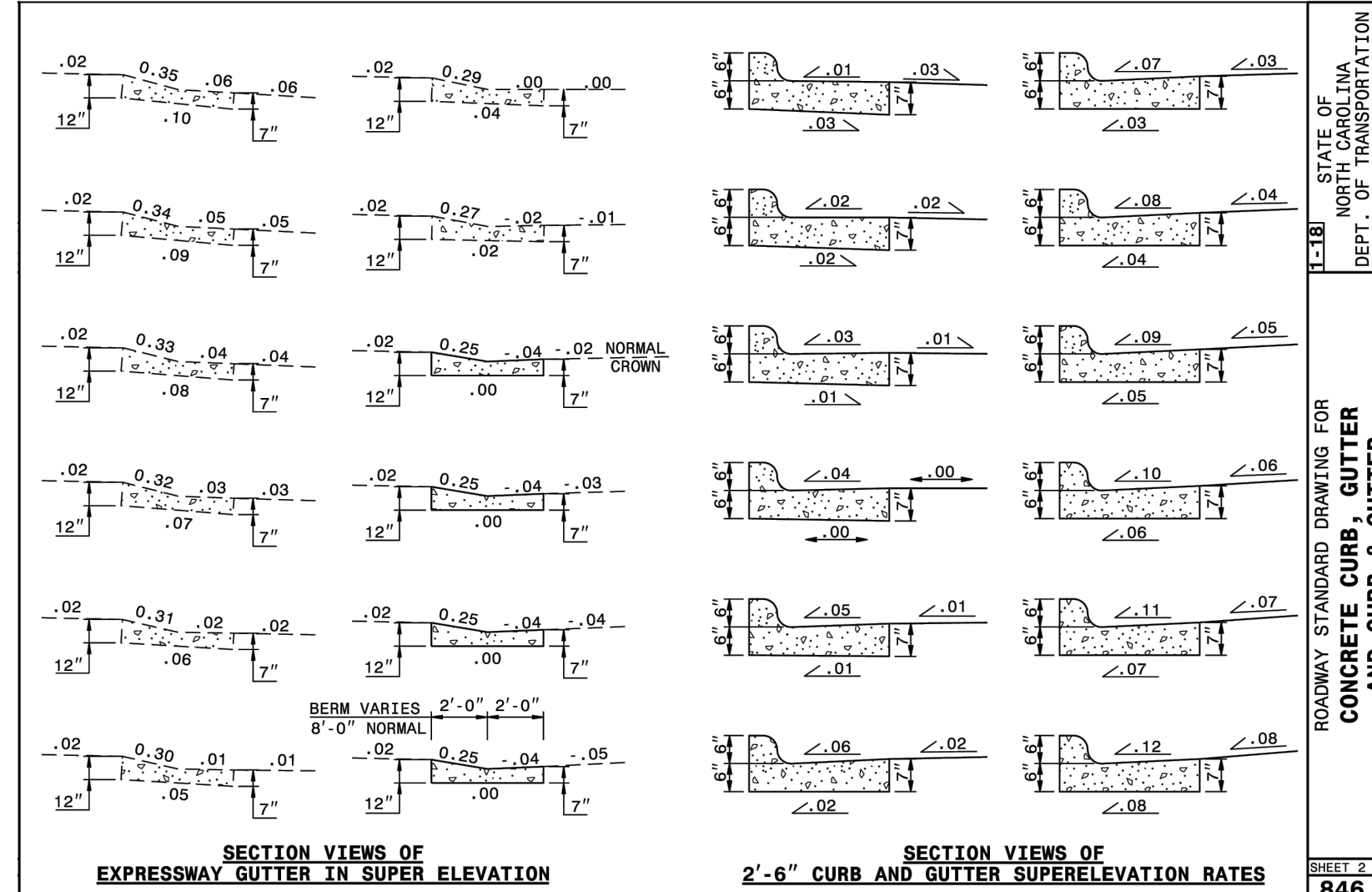
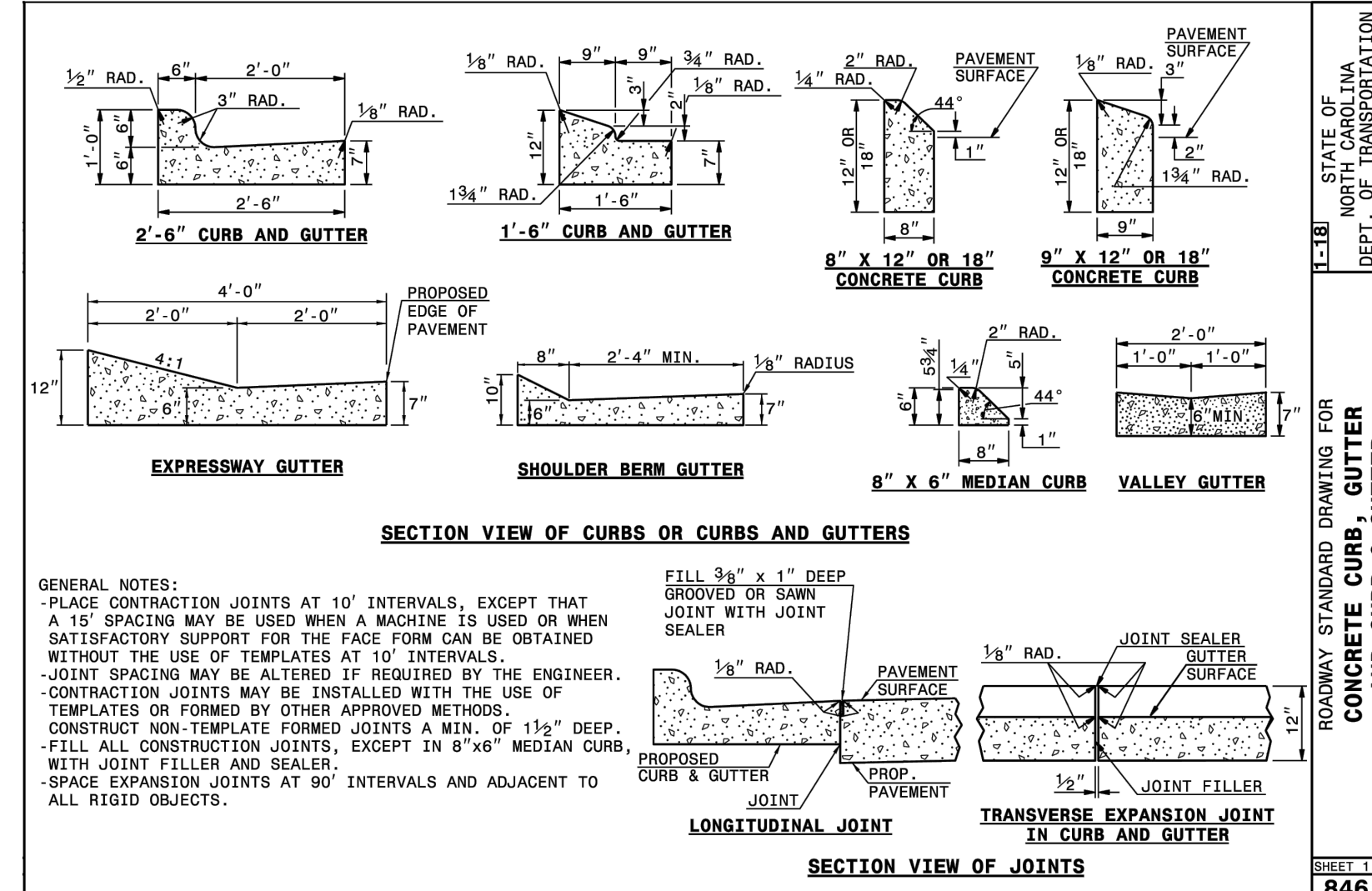
REFER TO THE FOLLOWING FOR PIPE SPECIFICATIONS:
 CSF - AASHTO M168
 CAAP - AASHTO M186
 HOPE - AASHTO M204
 PVC - ASTM F949 or AASHTO M304

NOTE: FILL HEIGHTS SHOWN WERE CALCULATED USING AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS
 1" MINIMUM COVER FOR ALL SIDE DRAIN PIPE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS

RIGID PIPE

RCP - (Minimum fill)		
Class	Minimum cover (Inches)	Maximum Height of Cover (Feet)
Class I	12	15
Class II	12	18
Class III	12	21
Class IV	12	24
Class V	12	27

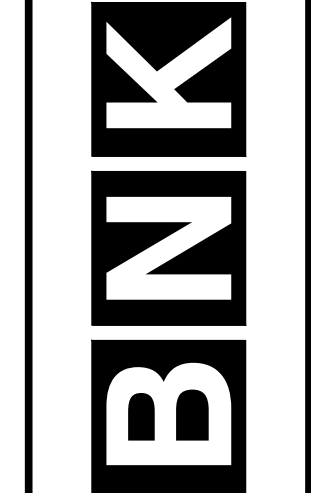
NOTE: FILL HEIGHTS SHOWN WERE CALCULATED USING AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS
 1" MINIMUM COVER FOR ALL SIDE DRAIN PIPE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS



- NOTES:**
- CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.
 - LOCATE CURB RAMPS AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN IN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMPS OR MARKINGS AS SHOWN, CONTACT THE SIGNALING AND DELINEATION UNIT OR LOCATE AS DIRECTED BY THE ENGINEER.
 - COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4'x4' CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
 - SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
 - REFER TO THE PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
 - TERMINATE PARKING A MINIMUM OF 20' BACK OF A PEDESTRIAN CROSSWALK.
 - CONSTRUCT CURB RAMPS A MINIMUM OF 4' WIDE.
 - CONSTRUCT THE RUNNING SLOPE OF THE RAMP 8.33% MAXIMUM.
 - ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMPS WILL BE 2% MAXIMUM.
 - CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
 - CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
 - CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT LANDINGS FOR MEDIAN ISLANDS A MINIMUM OF 5'x5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
 - TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGH THE ISLAND.
 - SMALL CHANNELIZATION ISLANDS THAT CAN NOT PROVIDE A 5'x5' LANDING AT THE TOP OF A RAMPS, WILL BE CUT THROUGH LEVEL WITH THE SURFACE STREET.
 - CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
 - PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE PLANS OR AS SHOWN IN THE MUTCD.
 - CURB RAMPS THROUGH MEDIAN ISLANDS, SINGLE RAMPS AT DUAL CROSSWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR THE DETAILS OR FOR A SPECIAL DESIGN.

- NOTES:**
- CONSTRUCT STANDARD SIDEWALK 5' WIDE AND 4" THICK UNLESS OTHERWISE DENOTED ON PLANS.
 - PLACE A GROOVE JOINT 1" DEEP WITH 1/8" RADIUS IN THE CONCRETE SIDEWALK AT 5' INTERVALS.
 - ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
 - SEE STD. DWG. 848.05 FOR CURB RAMP LOCATION REQUIREMENTS AND CONSTRUCTION GUIDELINES.

- NOTES:**
- CONSTRUCT THE TRANSITION FROM 4'-0" CONCRETE EXPRESSWAY GUTTER TO 2'-6" CONCRETE CURB AND GUTTER. PLACE 1/2" EXPANSION JOINTS AT 25' INTERVALS.
 - PLACE GROOVE JOINTS 1" DEEP AT 12'-0" INTERVALS BETWEEN EXPANSION JOINTS.
 - FILL AND SEAL THE TOP 1/2" OF THE EXPANSION JOINTS AND 1" OF CONTRACTION JOINTS WITH APPROVED JOINT SEALING COMPOUND.



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
6810 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
TELEPHONE: (919)881-1122 FAX: (919)881-8986
CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY
1	09-21-23	CHANGES FROM 06-02-22 CDS	MRM
2	10-16-23	T.O.R. COMMENTS	MRM
3	12-06-23	TOWN OF ROLESVILLE COMMENTS	MRM

NO.	DATE	DESCRIPTION	BY
1	09-21-23	CHANGES FROM 06-02-22 CDS	MRM
2	10-16-23	T.O.R. COMMENTS	MRM
3	12-06-23	TOWN OF ROLESVILLE COMMENTS	MRM

PROGRESS DATE DRAWN BY
03-19-17
DETAILS
SCALE: N.T.S.
CHK BY: MDB

COBLESTONE VILLAGE
MIXED USE DEVELOPMENT
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

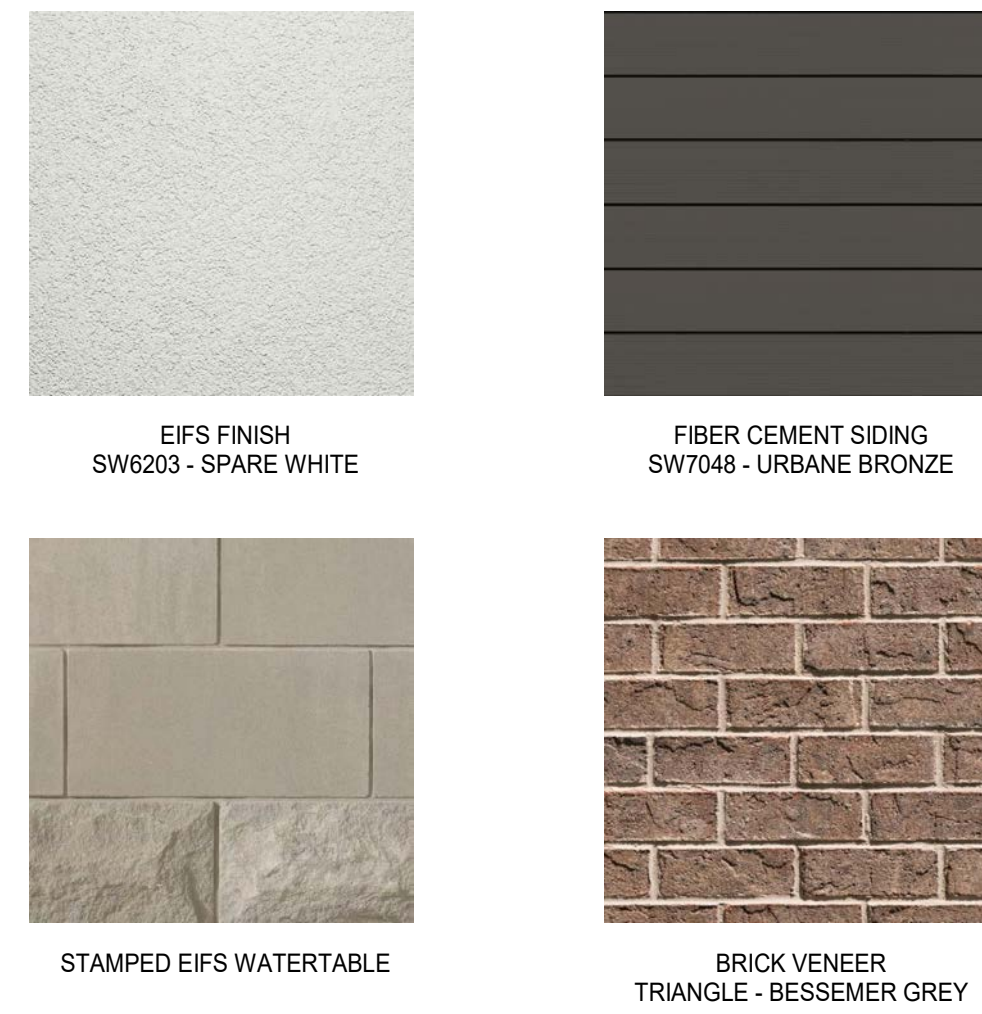
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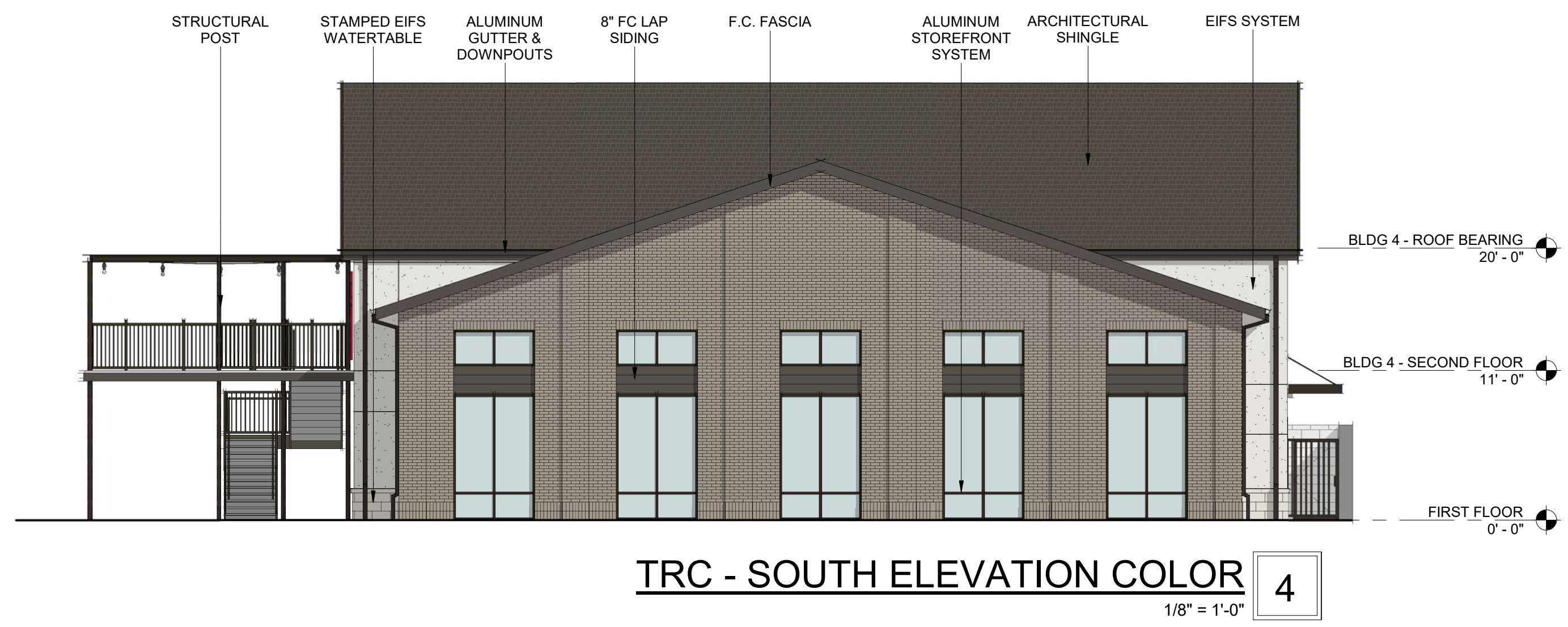
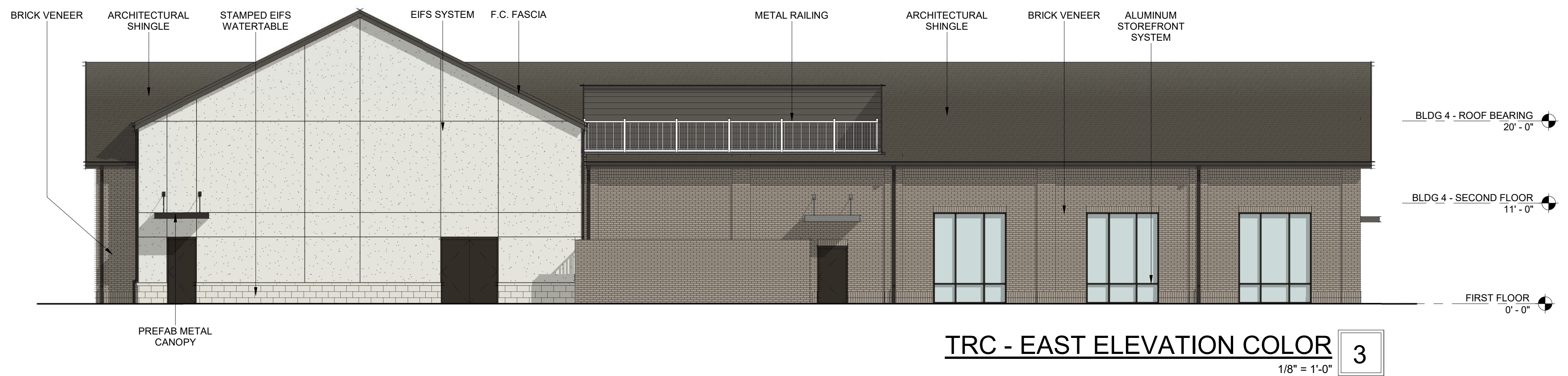
Raleigh Water Review Officer



12/08/23

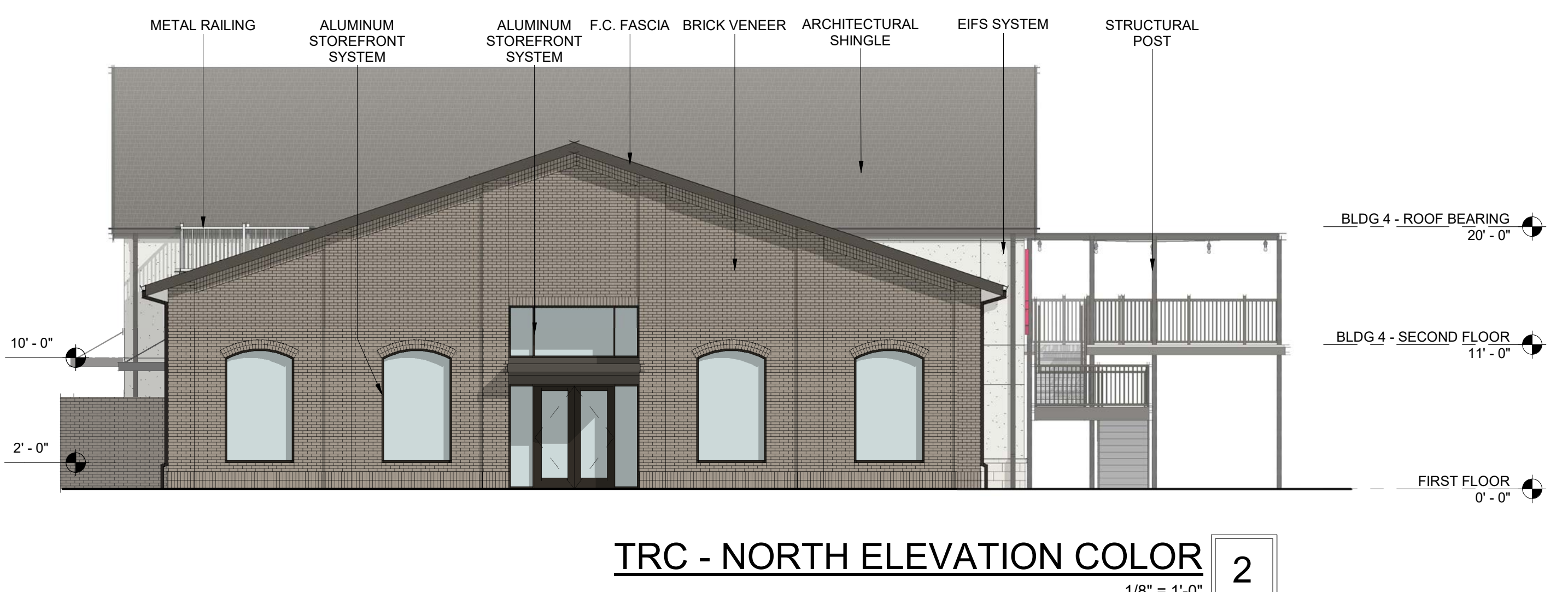


MATERIAL SWATCHES - BUILDING 4
1" = 1'-0"



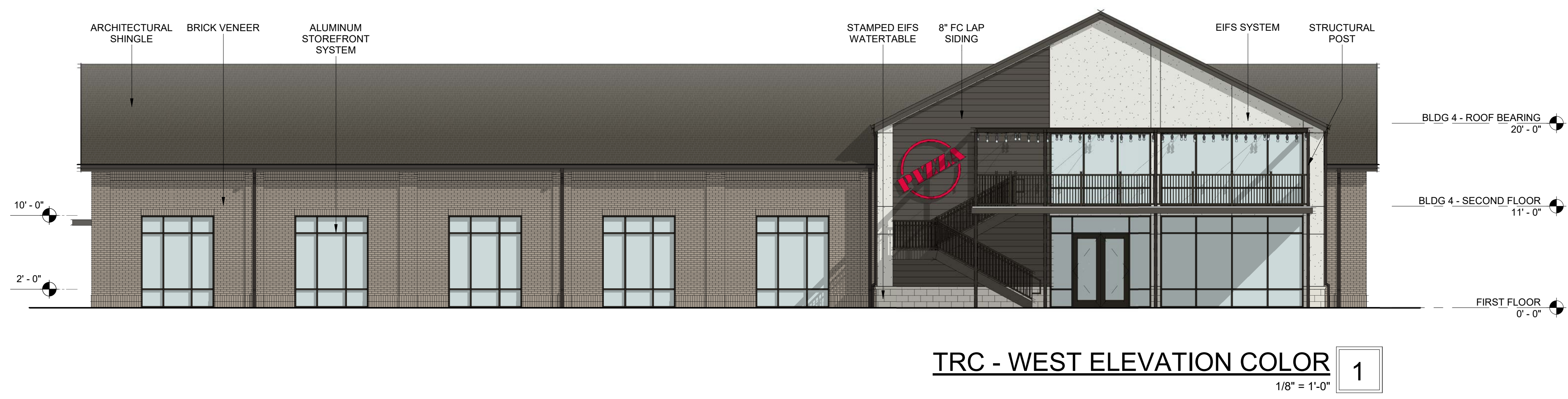
TRANSPARENCY CALCULATIONS
 GROUND LEVEL (RETAIL USE):
 TOTAL FACADE AREA (W/H): 496 SF
 REQD AREA OF TRANSPARENCY: 496 SF x 0.4 = 198 SF
 AREA OF TRANSPARENCY: 198 SF 40%

Section 7.4 - Town Center Overlay District
 7.4.18 Windows, doors, display windows and/or arcades shall make up at least 40 percent of the street facade on the first story as measured from two feet above grade to ten feet above grade.
 Blank walls are not permitted adjacent to streets.



TRANSPARENCY CALCULATIONS
 GROUND LEVEL (RETAIL USE):
 TOTAL FACADE AREA (W/H): 1,105 SF
 REQD AREA OF TRANSPARENCY: 1,105 SF x 0.4 = 442 SF
 AREA OF TRANSPARENCY: 442 SF 40%

Section 7.4 - Town Center Overlay District
 7.4.18 Windows, doors, display windows and/or arcades shall make up at least 40 percent of the street facade on the first story as measured from two feet above grade to ten feet above grade.
 Blank walls are not permitted adjacent to streets.



COBBLESTONE VILLAGE
ROLESVILLE, NORTH CAROLINA

EXTERIOR ELEVATIONS - BUILDING 4 A04
As indicated | 019032 | 09.01.23



FIBER CEMENT SIDING
SW7048 - URBANE BRONZE



BRICK VENEER
TRIANGLE - BESSEMER GREY

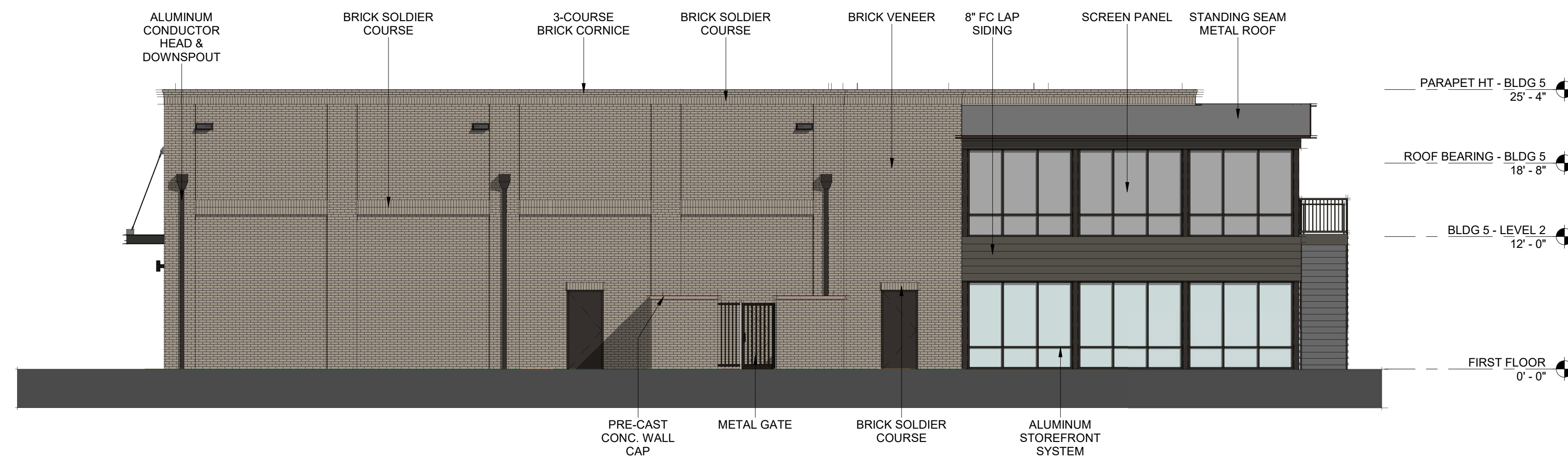


3D View BLDG 5 - SE 6

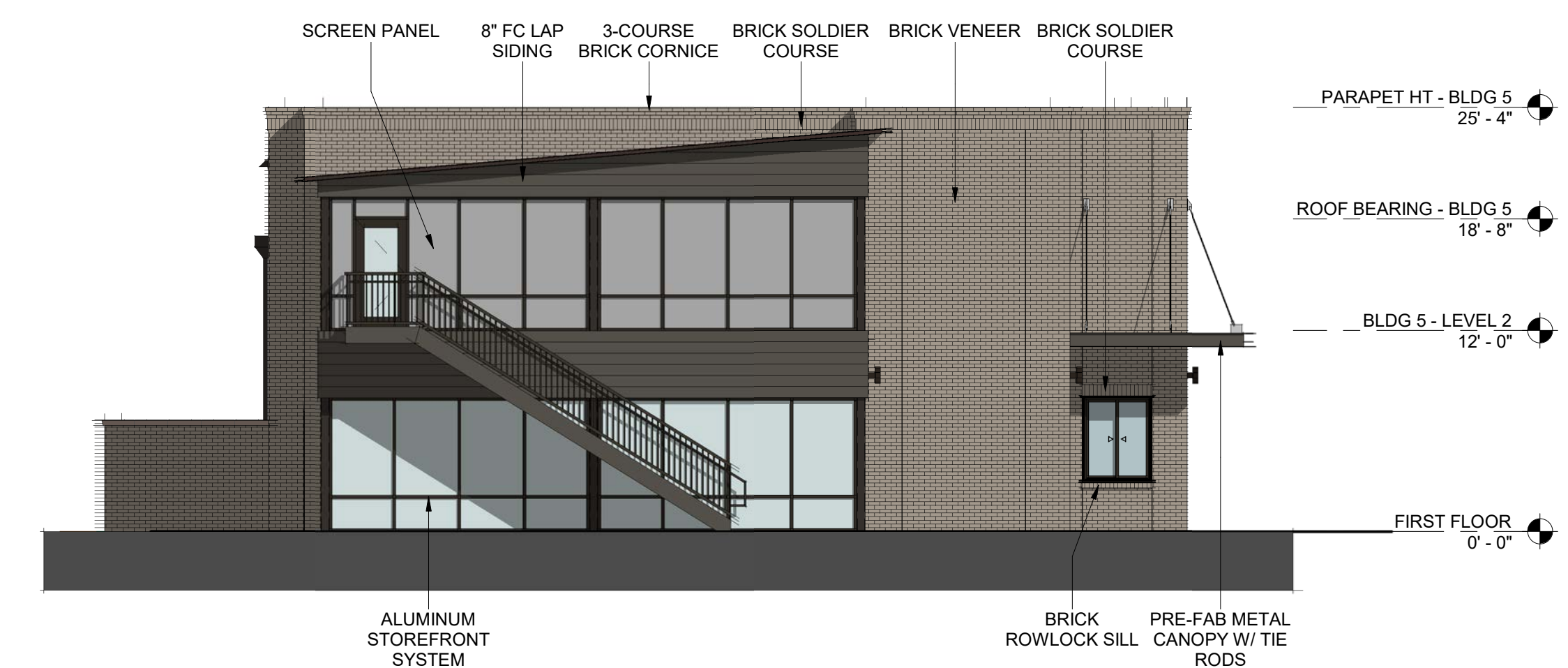


3D View BLDG 5 - NE 5

MAT. SWATCHES - BLDG 5 1
1" = 1'-0"



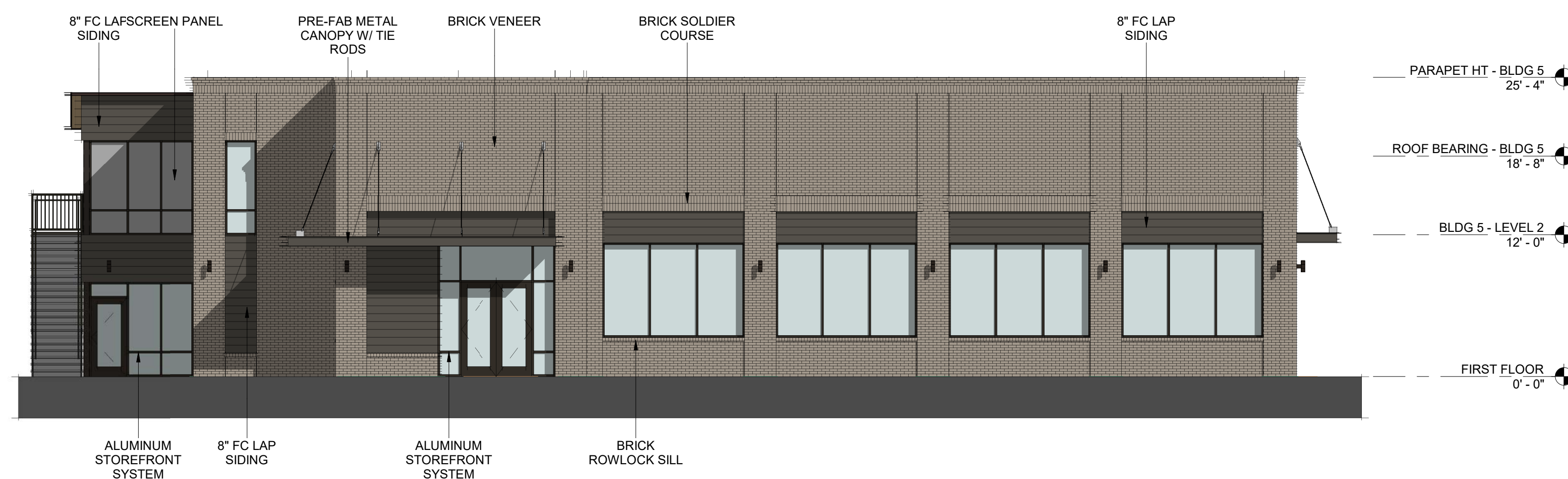
BLDG 5 - WEST ELEVATION 4
1/8" = 1'-0"



BLDG 5 - SOUTH ELEVATION 2
1/8" = 1'-0"

TRANSPARENCY CALCULATIONS
GROUND LEVEL (RETAIL USE):
TOTAL FACADE AREA (WxH): 824 SF
REQD AREA OF TRANSPARENCY: 824 SF x 0.4 = 330 SF
AREA OF TRANSPARENCY: 453 SF 55%

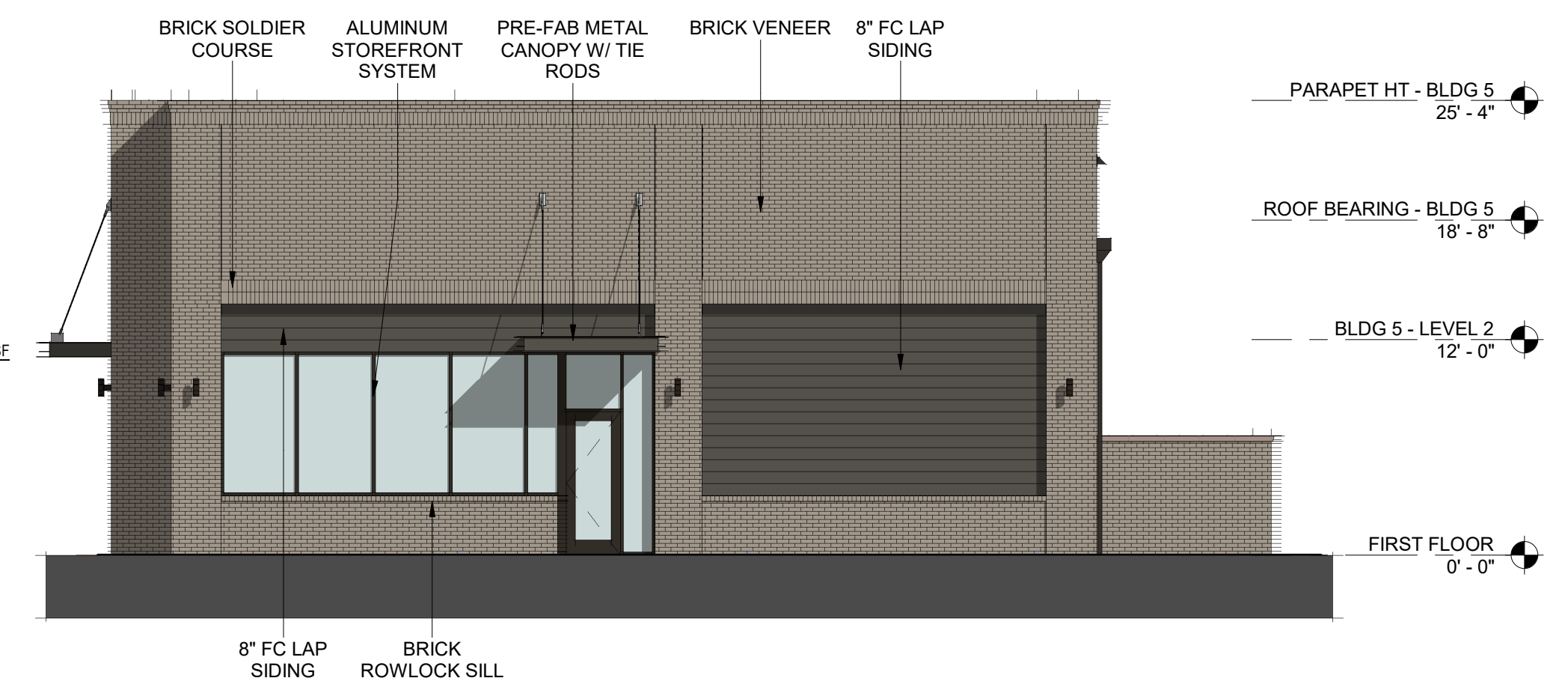
Section 7.4 - Town Center Overlay District
7.4.18 Windows, doors, display windows and/or arcades shall make up at least 40 percent of the street facade on the first story as measured from two feet above grade to ten feet above grade.
Blank walls are not permitted adjacent to streets.



BLDG 5 - EAST ELEVATION 3
1/8" = 1'-0"

TRANSPARENCY CALCULATIONS
GROUND LEVEL (RETAIL USE):
TOTAL FACADE AREA (WxH): 412 SF
REQD AREA OF TRANSPARENCY: 412 SF x 0.4 = 165 SF
AREA OF TRANSPARENCY: 165 SF 40%

Section 7.4 - Town Center Overlay District
7.4.18 Windows, doors, display windows and/or arcades shall make up at least 40 percent of the street facade on the first story as measured from two feet above grade to ten feet above grade.
Blank walls are not permitted adjacent to streets.



BLDG 5 - NORTH ELEVATION 1
1/8" = 1'-0"



COBBLESTONE VILLAGE
ROLESVILLE, NORTH CAROLINA

EXTERIOR ELEVATIONS - BUILDING 5 A05
As indicated | 019032 | 09.01.23



BLDG 8 - 03 RIGHT SIDE ELEVATION 4
1/8" = 1'-0"



BLDG 8 - 02 REAR ELEVATION 2
1/8" = 1'-0"

ROOF BRG. 1 - APTS
30' - 5 1/4"
THIRD FLOOR - APTS
21' - 4"
SECOND FLOOR - APTS
10' - 8"
FIRST FLOOR
0' - 0"



BLDG 8 - 04 LEFT SIDE ELEVATION 3
1/8" = 1'-0"



BLDG 8 - 01 FRONT ELEVATION 1
1/8" = 1'-0"

ROOF BRG. 1 - APTS
30' - 5 1/4"
THIRD FLOOR - APTS
21' - 4"
SECOND FLOOR - APTS
10' - 8"
FIRST FLOOR
0' - 0"

ARCHITECTURAL ASPHALT SHINGLES
FIBER CEMENT BOARD & BATTEN SIDING
ALUMINUM GUARDRAILS
MANUFACTURED STONE HEADER
MANUFACTURED STONE SILL
MANUFACTURED STONE VENEER

VINYL WINDOWS FIBER CEMENT LAP SIDING FIBER CEMENT LAP SIDING FIBER CEMENT PANEL & TRIM

SW 7048
Urbane Bronze

LAP SIDING -
8" EXPOSURE
PANEL & TRIM BOARD

SW 2803
Rookwood Terra Cotta

LAP SIDING -
8" EXPOSURE

SW 6187
Rosemary

BOARD & BATTON
SIDING

SW 9164
Illusive Green

LAP SIDING -
6" EXPOSURE
PANEL & TRIM BOARD

SW 7042
Shoji White

LAP SIDING -
6" EXPOSURE

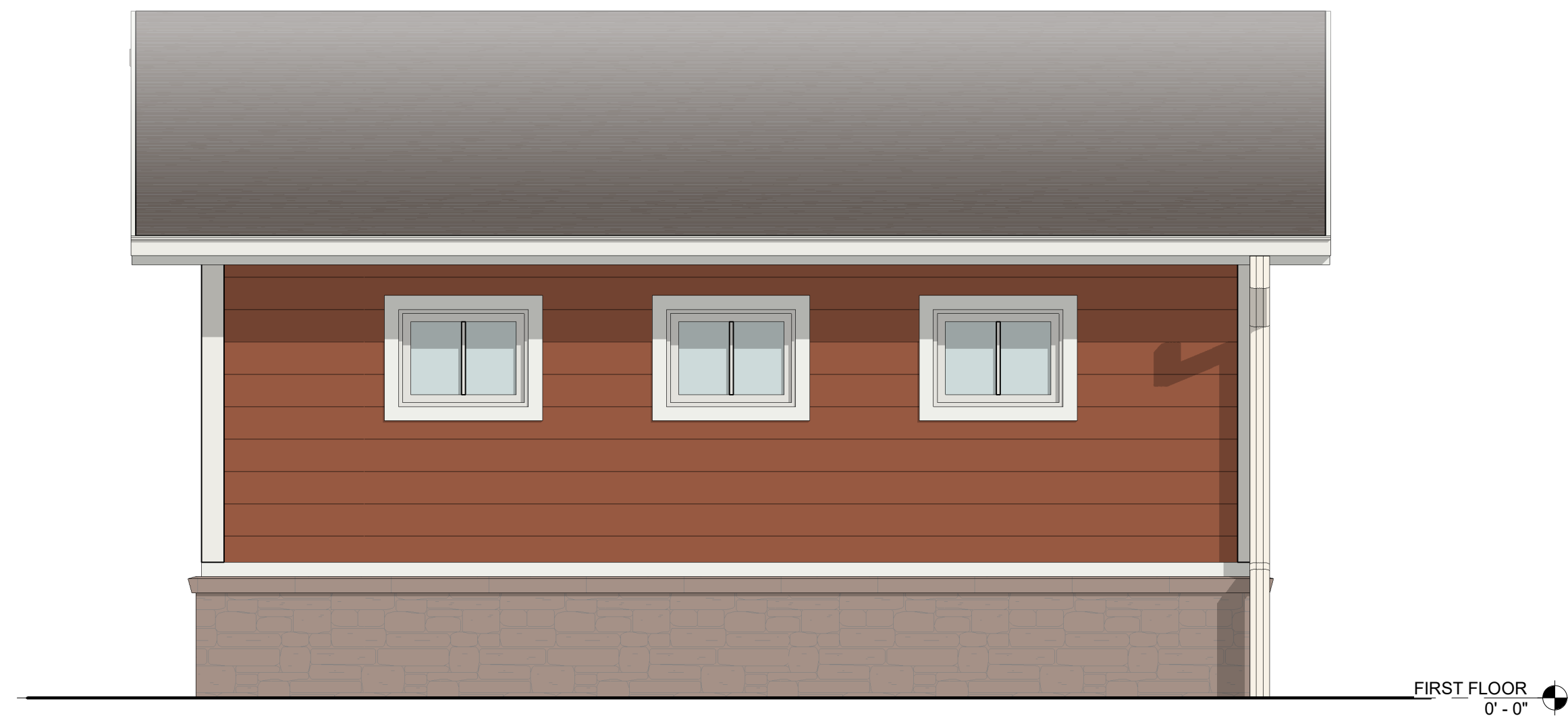
SW 7006
Extra White

PANEL & TRIM BOARD

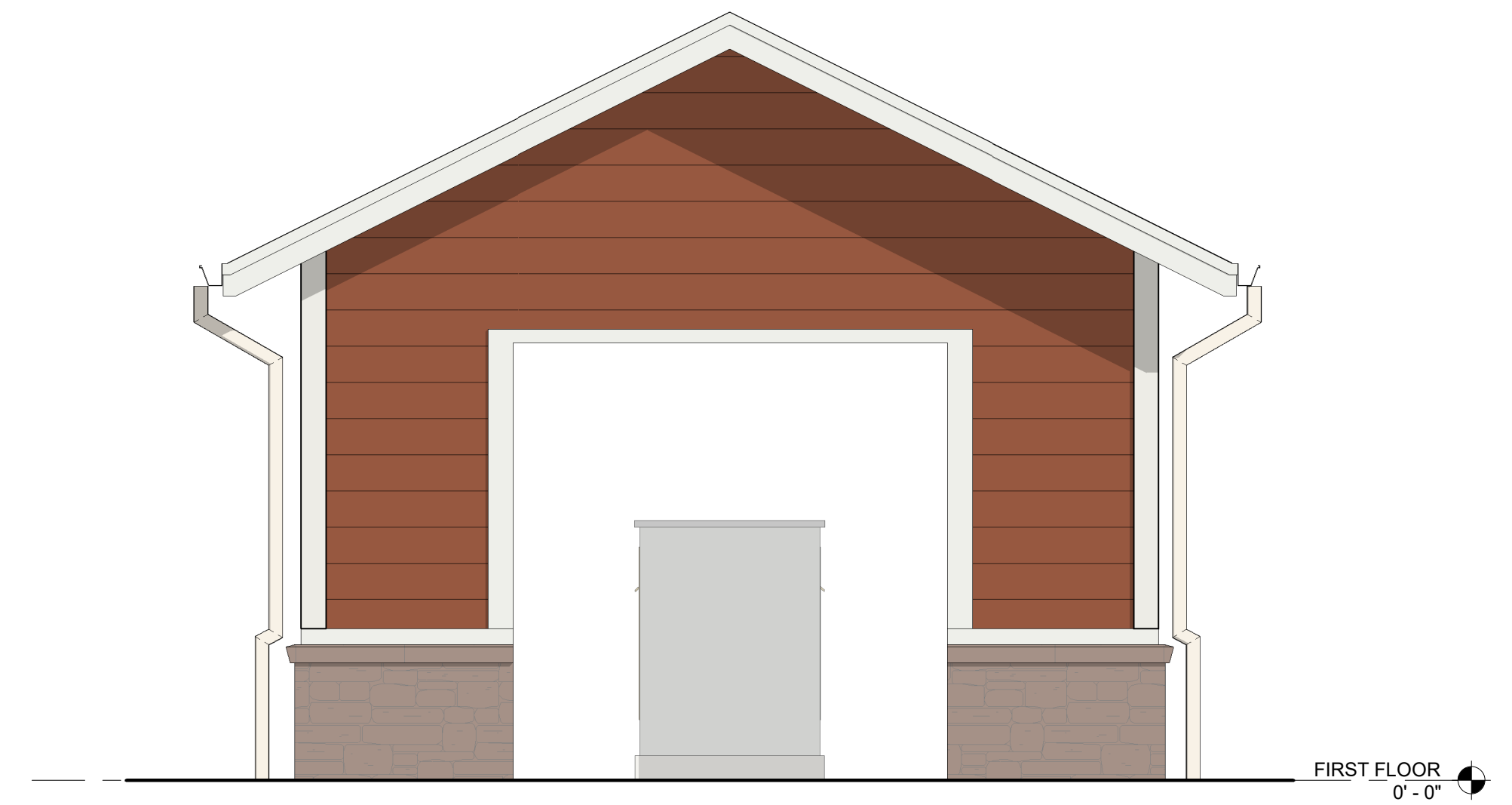


COBBLESTONE VILLAGE
ROLESVILLE, NORTH CAROLINA

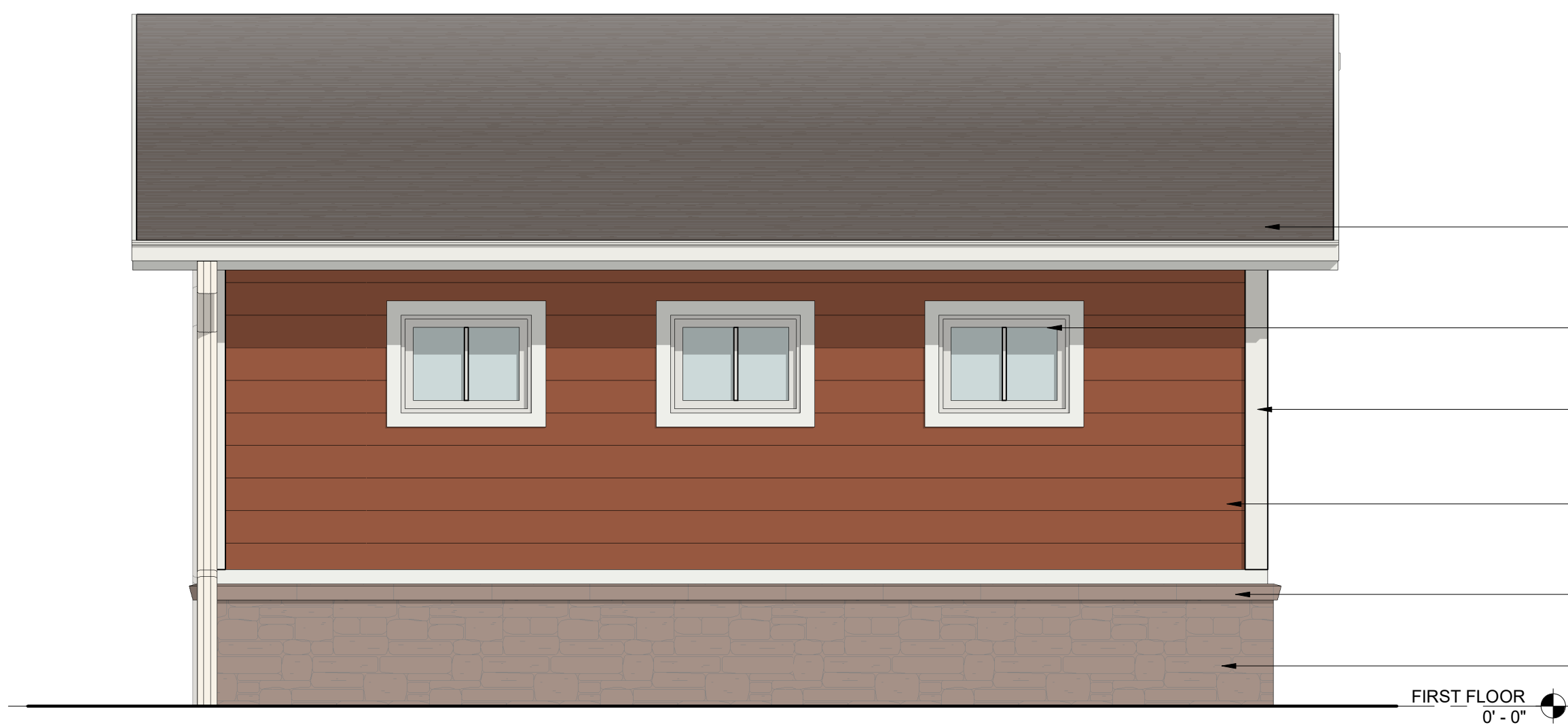
EXTERIOR ELEVATIONS - BUILDING 8 **A08**
1/8" = 1'-0" | 019032 | 09.01.23



RIGHT SIDE ELEVATION 4
3/8" = 1'-0"

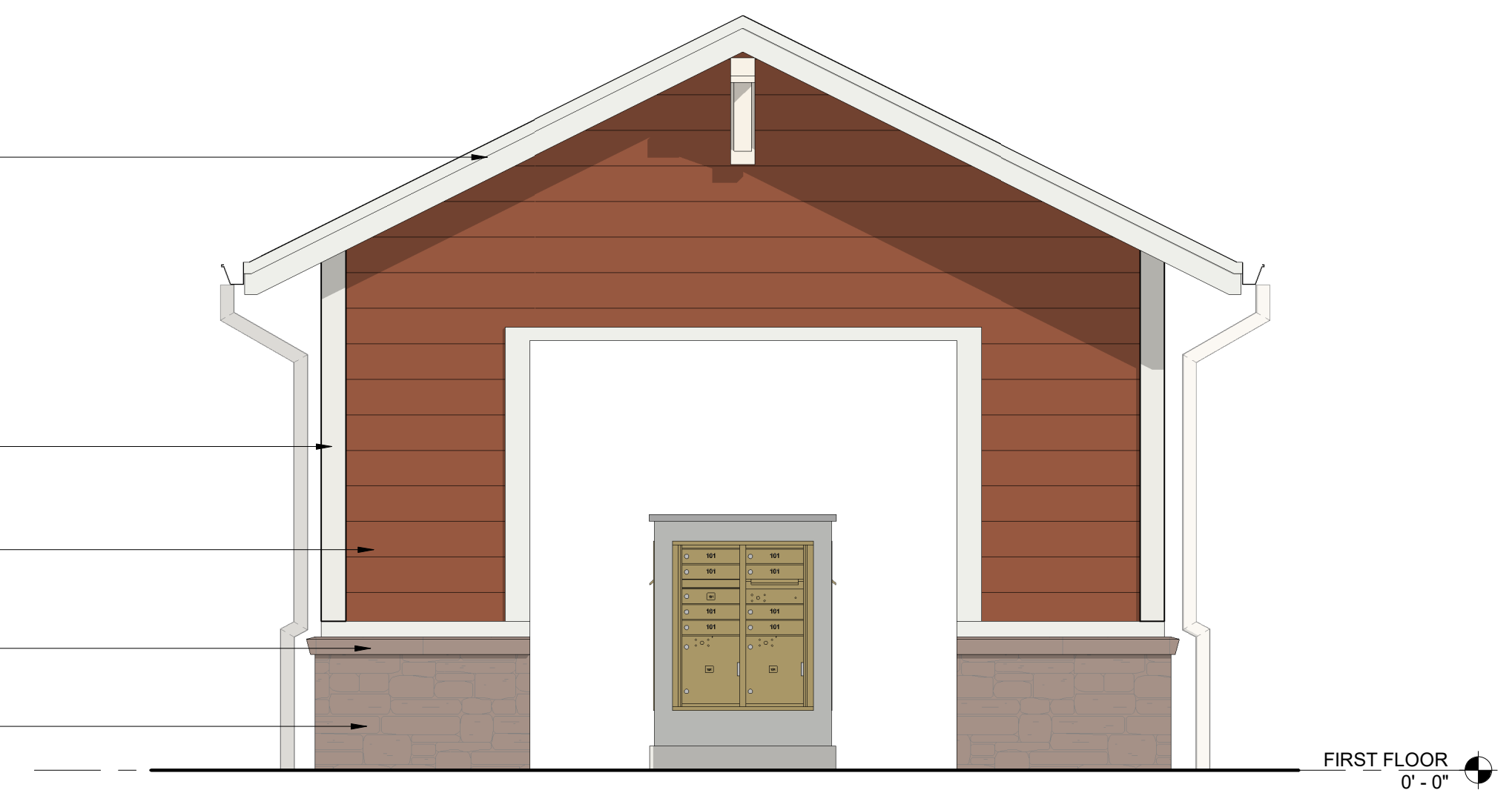


REAR ELEVATION 2
3/8" = 1'-0"

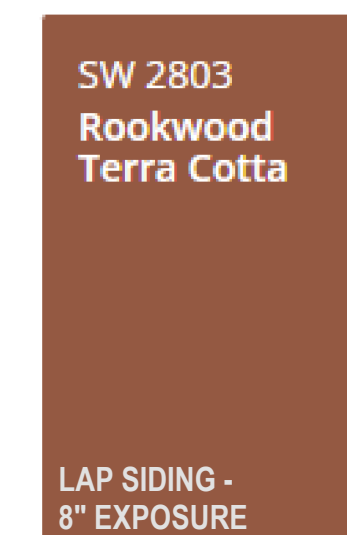


LEFT SIDE ELEVATION 3
3/8" = 1'-0"

- FIBER CEMENT FASCIA
- ARCHITECTURAL ASPHALT SHINGLES
- VINYL WINDOWS
- FIBER CEMENT TRIM
- 6" FIBER CEMENT LAP SIDING
- MANUFACTURED STONE HEADER
- MANUFACTURED STONE VENEER



FRONT ELEVATION 1
3/8" = 1'-0"





BASS | NIXON | KENNEDY
CONSULTING ENGINEERS

6310 Chapel Hill Road, Ste 250
Raleigh, NC 27607
919.851.4422 | bnkinc.com

COBBLESTONE VILLAGE ROLESVILLE, NC

SHARED PARKING ANALYSIS



12/08/23

**PREPARED BY
MARTY D. BIZZELL, PE, CPESC
BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
DECEMBER 2023**





Cobblestone Village Mixed-Use Development

Shared Parking Analysis

The proposed Cobblestone Village Mixed Use Development is to be located in Rolesville, NC at the intersection of S. Main Street and W. Young Street. A number of uses including residential apartments, restaurants, retail and community center are proposed for the mixed-use development. The mixed-use development proposes to include 180 residential apartments, 53,384 square feet of retail/flex/commercial space.

A shared parking study has been performed to determine the parking demand for the development. A number of items were considered when determining the parking demand for the development including land use and hours of operation.

The parking requirements were taken from the Town of Rolesville’s Town Center ordinance. The ordinance breaks parking requirements into two land uses, mixed-use residential and mixed-use nonresidential. The mixed-use residential requires two parking spaces per dwelling unit. The mixed-use nonresidential requires three spaces for each 1,000 square feet of gross floor area.

Based upon 188 mixed-use residential units and 53,384 square feet of mixed-use nonresidential mixed-use space, the parking requirement are as follows:

188 mixed use residential units x 2 spaces per unit	= 376 spaces
<u>53,384 sf mixed-use nonresidential @ 3 spaces per 1,000 sf</u>	<u>= 161 spaces</u>
Total Single-Use Parking Requirement	= 537 spaces

Once the parking requirement was established, a shared parking analysis was performed. Shared Parking is defined as *the concept of parking which recognizes that uses in proximity to one another may have parking demands which permit such uses to share the same marginal parking spaces provided to accommodate peak parking conditions in a common parking facility.*

An optimized parking analysis was performed using parking demand and parking distribution data from the Institute of Transportation Engineers “Parking Generation Manual” 5th Edition. Parking distribution data expressed in percent of peak parking demand given hourly was performed for each use. This analysis was performed for weekday and on Saturday. A peak hour parking demand was determined from each of the analysis.

Conclusion

The shared parking analysis shows that during weekdays, the peak parking demand for the development occurs at 7:00 p.m. with a total parking demand of 404 parking spaces needed. The Saturday analysis also shows that the peak parking demand occurred at 7:00 p.m. with a parking demand of 417 parking spaces.

The site plan proposes a total of 444 on-site spaces and 24 on-street parking spaces for a total of 468 parking spaces proposed. Therefore, based on the results of the shared parking analysis performed for Cobblestone Village, the peak hour parking demand of 417 parking spaces will be met.

For events that may be held at Cobblestone Village, it is difficult to quantify a parking demand due to a number of factors such as what the event may be, type of event, time of event, etc. The developer of Cobblestone Village is committed to working with the Town of Rolesville to identify overflow parking locations/facilities that can be utilized in during an event where additional parking is needed.

Cobblestone Village Shared Parking Analysis

December 7, 2023

Total Square Footage and Unit Tabulation

	Restaurant SF	Community Center SF	Retail/Flex/Commercial SF	Residential Units
Building 1				40
Building 2			11,678	30
Building 3			8,612	18
Building 4			10,420	
Building 5			5,970	
Building 6			16,704	36
Building 7				40
Building 8				24
Total:	-	-	53,384	188

NON-OPTIMIZED Single-Use Parking Requirements

Parking Coefficient:	3/1,000 SF	3/1,000 SF	3/1,000 SF	2 per unit
Parking Count:	0	-	161.00	376

Single-Use Required: **537** **Total:**

OPTIMIZED Peak Hour Percentage Factors WEEKDAY

TIME	% of peak	demand	% of peak	demand	% of peak	demand	% of peak	demand	Total Hourly Sums
6:00 AM	10%	0	0%	0	0%	0	90%	338	339
7:00 AM	25%	0	58%	0	0%	0	77%	290	290
8:00 AM	68%	0	72%	0	15%	25	56%	211	236
9:00 AM	72%	0	95%	0	32%	52	45%	169	222
10:00 AM	77%	0	94%	0	54%	87	40%	150	238
11:00 AM	83%	0	95%	0	71%	115	37%	139	255
12:00 PM	100%	0	83%	0	99%	160	36%	135	296
1:00 PM	91%	0	65%	0	100%	161	36%	135	297
2:00 PM	56%	0	56%	0	90%	145	37%	139	285
3:00 PM	42%	0	64%	0	83%	134	43%	162	296
4:00 PM	42%	0	75%	0	81%	131	45%	169	301
5:00 PM	64%	0	84%	0	84%	136	55%	207	343
6:00 PM	87%	0	100%	0	86%	139	66%	248	388
7:00 PM	79%	0	99%	0	80%	129	73%	274	404
8:00 PM	65%	0	0%	0	63%	102	77%	290	392
9:00 PM	42%	0	0%	0	42%	68	86%	323	392
10:00 PM	21%	0	0%	0	15%	25	92%	346	371
11:00 PM	0%	0	0%	0	0%	0	97%	365	365
12:00 AM	0%	0	0%	0	0%	0	100%	376	376

WEEKDAY Peak Demand Required: **404**

OPTIMIZED Peak Hour Percentage Factors SATURDAY

TIME	% of peak	demand	% of peak	demand	% of peak	demand	% of peak	demand	Total Hourly Sums
6:00 AM	15%	0	0%	0	0%	0	98%	368	369
7:00 AM	28%	0	50%	0	0%	0	96%	361	361
8:00 AM	52%	0	75%	0	27%	44	92%	346	390
9:00 AM	75%	0	100%	0	46%	75	80%	301	376
10:00 AM	91%	0	89%	0	67%	108	78%	293	402
11:00 AM	100%	0	80%	0	85%	137	71%	267	404
12:00 PM	90%	0	68%	0	95%	153	68%	256	409
1:00 PM	80%	0	60%	0	100%	161	66%	248	410
2:00 PM	67%	0	60%	0	98%	158	65%	244	403
3:00 PM	45%	0	53%	0	92%	149	68%	256	405
4:00 PM	39%	0	52%	0	86%	139	70%	263	403
5:00 PM	40%	0	49%	0	79%	128	73%	274	403
6:00 PM	40%	0	50%	0	71%	115	77%	290	405
7:00 PM	58%	0	50%	0	69%	112	81%	305	417
8:00 PM	40%	0	0%	0	60%	97	82%	308	406
9:00 PM	35%	0	0%	0	51%	83	86%	323	407
10:00 PM	33%	0	0%	0	38%	62	87%	327	390
11:00 PM	0%	0	0%	0	0%	0	92%	346	346
12:00 AM	0%	0	0%	0	0%	0	93%	350	350

SATURDAY Peak Demand Required: **417**

Parking Provided:	
On-Site	444
On-Street	24
Total Parking Provided	468

Assumptions:

Parking requirements based on current Town of Rolesville Town Center District parking requirements.
 Accessible Spaces: 11 Required / 25 Provided
 40 Bicycle Spaces are provided.

Monthly Financial Update

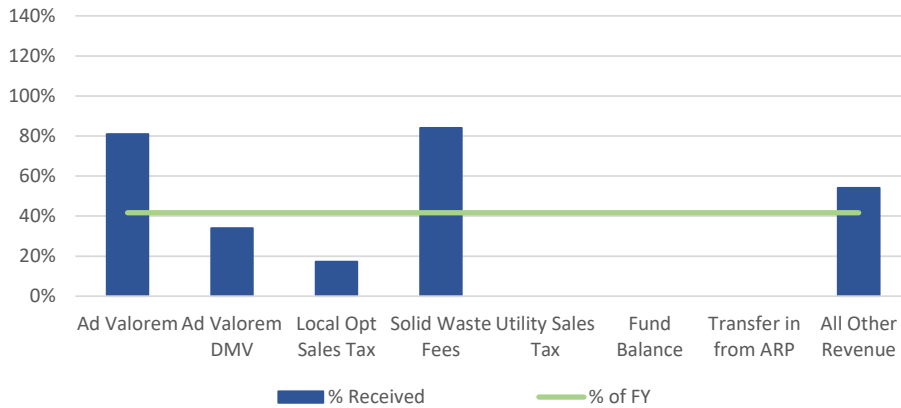


For month ending November 30, 2023

General Fund

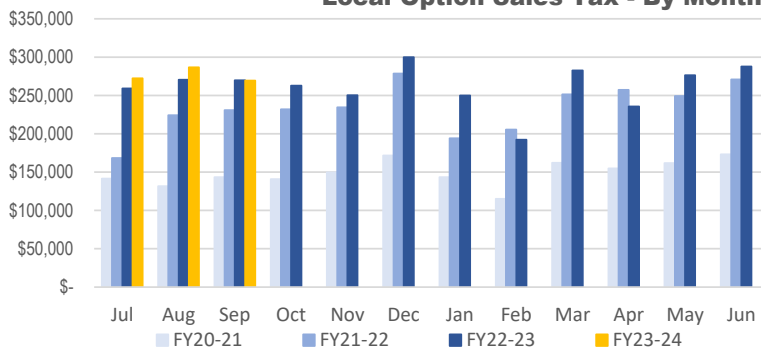
REVENUES

All Revenues YTD

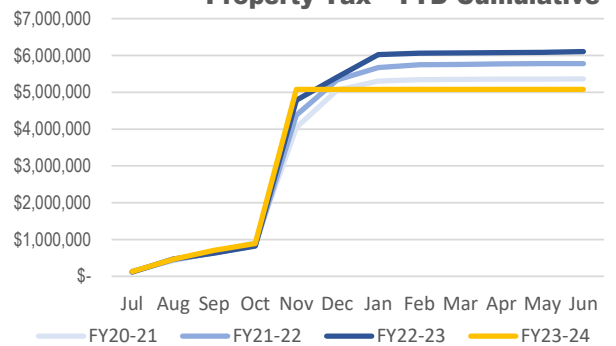


- Ad valorem property tax bills are primarily paid in the fall
- Solid waste fees are collected with property tax
- Local Option Sales Tax has a 3 month delay in receipt
- Utility Sales Tax has a 3 month delay in receipt

Local Option Sales Tax - By Month

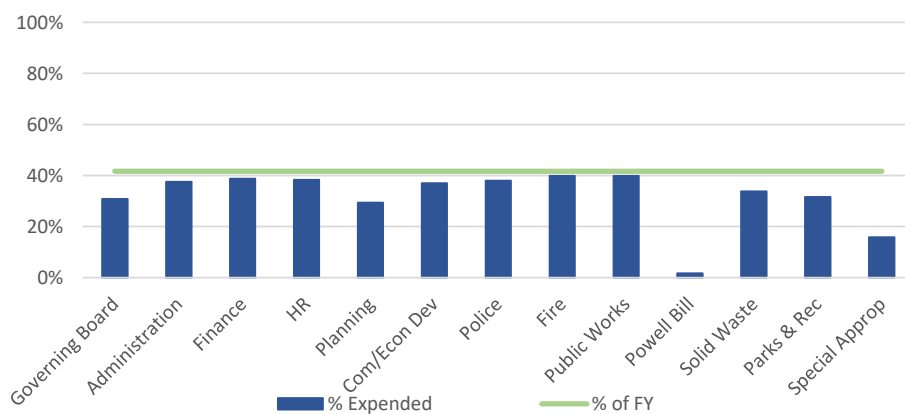


Property Tax - YTD Cumulative



EXPENDITURES

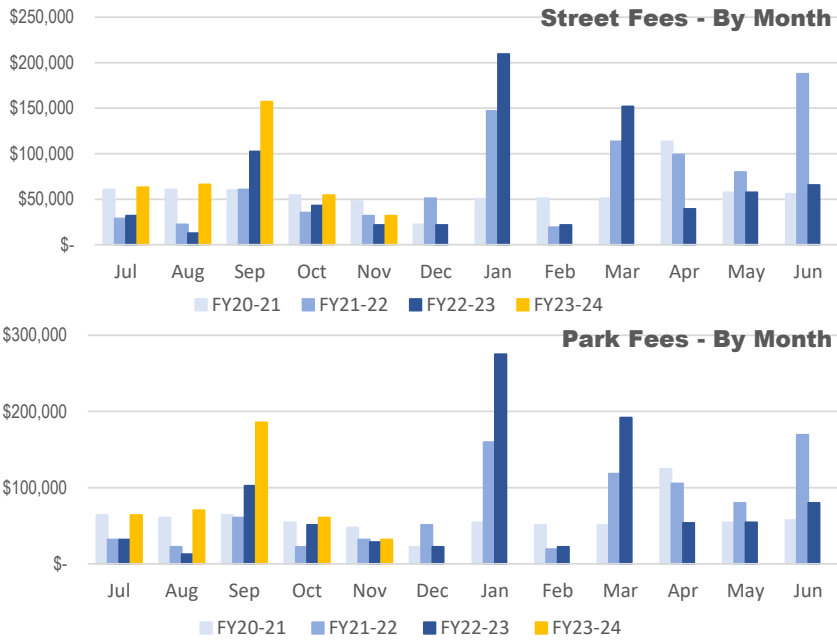
All Expenditures YTD



- Department expenditures are generally within appropriations
- Some early one-time purchases can put departments ahead of the benchmark

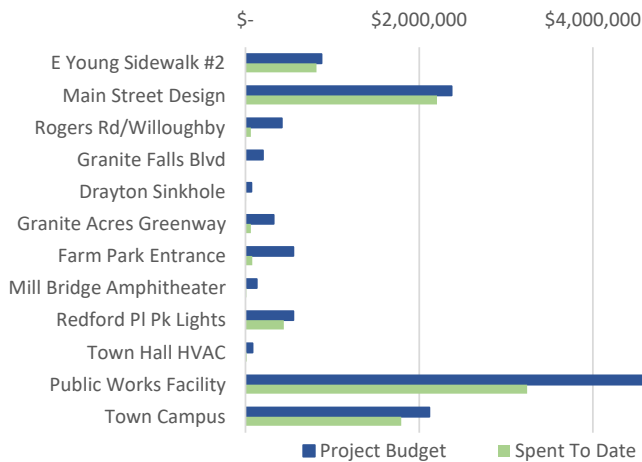
Capital Funds

REVENUES



• Street Fees and Park Fees revenue varies widely from month to month, depending on local development activity

EXPENDITURES

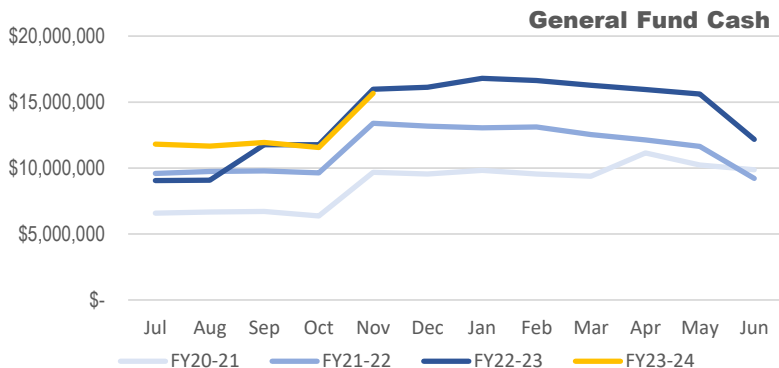


Capital Project Ordinances - Project to Date

Project	Budget	Actual	% Spent
E Young Sidewalk #2	875,000	818,957	94%
Main Street Design	2,372,756	2,205,396	93%
Rogers Rd/Willoughby	420,000	62,785	15%
Granite Falls Blvd	200,000	-	0%
Drayton Sinkhole	70,000	7,857	11%
Granite Acres Greenway	323,500	61,950	19%
Farm Park Entrance	550,000	78,319	14%
Mill Bridge Amphitheater	130,000	9,695	7%
Redford Pl Pk Lights	550,000	440,774	80%
Town Hall HVAC	80,000	14,804	19%
Public Works Facility	4,620,000	3,243,279	70%
Town Campus	2,117,000	1,792,016	85%
Main Street Constructon	21,153,339	5,920,796	28%

Cash & Investments

General Fund	\$15,663,642
Capital Projects Fund	\$8,644,324
LAPP Grants Fund	\$4,100,622
Utility Projects Fund	\$1,932,182
	<hr/>
	\$30,340,770
Checking	\$208,339
PW Facility Loan	\$1,297,093
Investment	\$28,835,338
	<hr/>
	\$30,340,770



Budget vs Actual Detail

GENERAL FUND

Revenues	FY22-23	FY23-24	FY23-24	YTD %
	Actual	Budget	YTD	
Ad Valorem	6,105,870	6,220,000	5,038,504	81%
Ad Valorem DMV	700,291	740,000	251,730	34%
Local Opt Sales Tax	3,137,798	3,234,400	559,012	17%
Solid Waste Fees	875,616	1,034,120	868,931	84%
Utility Sales Tax	546,649	530,000		0%
Fund Balance		1,423,565		0%
Transfer in from ARP	2,719,094			
All Other Revenue	4,892,231	1,817,455	982,680	54%
Total	16,258,455	14,999,540	7,700,857	51%

Expenditures

Governing Board	161,385	173,520	53,595	31%
Administration	864,629	966,600	362,979	38%
Finance	592,329	741,810	287,345	39%
HR	285,658	343,590	131,862	38%
Planning	981,554	1,362,390	401,259	29%
Com/Econ Dev	168,271	216,000	80,011	37%
Police	3,134,900	3,885,195	1,477,039	38%
Fire	1,310,275	1,200,900	479,053	40%
Public Works	734,665	937,605	374,383	40%
Powell Bill	26,754	320,000	5,440	2%
Solid Waste	847,315	989,000	334,251	34%
Parks & Rec	1,023,512	1,304,400	412,028	32%
Special Approp	3,317,904	2,558,530	406,568	16%
Total	13,449,150	14,999,540	4,805,810	32%
<i>Fund Balance Change</i>	<i>2,809,305</i>		<i>2,895,047</i>	

AMERICAN RESCUE PLAN FUND

Revenues	FY22-23	FY23-24	FY23-24	YTD %
	Actual	Budget	YTD	
Grants - Federal	2,709,247			
Investment Income	7,439			
Total	2,716,686	-	-	

Expenditures

Transfer Out	2,719,094			
Total	2,719,094	-	-	
<i>Fund Balance Change</i>	<i>(2,408)</i>		<i>-</i>	

42% = % of Fiscal Year

CAPITAL PROJECTS FUND

Revenues	FY22-23	FY23-24	FY23-24	YTD %
	Actual	Budget	YTD	
Streets-related	1,569,991	666,188	397,933	60%
Parks-related	1,047,442	492,734	451,075	92%
Fund Balance Approp		3,383,660		0%
All Other Revenues	4,485,229		12,942	
Transfer In	709,500	730,000		0%
Total	7,812,163	5,272,582	861,950	16%

Expenditures

Streets & Sidewalks	682,988	806,169	25,551	3%
Parks & Greenways	567,159	1,523,734	526,159	35%
General	2,138,184	2,942,679	1,113,635	38%
Transfer Out	500,000			
Total	3,888,330	5,272,582	1,665,345	32%
<i>Fund Balance Change</i>	<i>3,923,832</i>		<i>(803,396)</i>	

LAPP GRANTS FUND

Revenues	FY22-23	FY23-24	FY23-24	YTD %
	Actual	Budget	YTD	
All Other Revenues	83,557		78,217	
Grants - Federal	2,768,113	9,272,326	1,047,222	11%
Transfer In (LAPP)	1,478,919	3,870,485		0%
Reimbursements	523,891	3,808,082	817,005	21%
Transfer In (Wallbr)	1,296,868	518,194		0%
Grants - State		118,000		0%
Transfer In (ADA)	31,140	61,140		0%
Total	6,182,488	17,648,227	1,942,444	11%

Expenditures

LAPP Project	2,196,759	13,142,811	2,114,925	16%
Wallbrook	1,302,564	4,326,276	286,933	7%
ADA Curb Ramps	-	179,140		0%
Total	3,499,323	17,648,227	2,401,857	14%
<i>Fund Balance Change</i>	<i>2,683,165</i>		<i>(459,414)</i>	

UTILITY PROJECTS FUND

Revenues	FY22-23	FY23-24	FY23-24	YTD %
	Actual	Budget	YTD	
Investment Income	86,067		46,062	
All Other Revenues				
Total	86,067	-	46,062	

Expenditures

Water				
Wastewater				
Total	-	-	-	
<i>Fund Balance Change</i>	<i>86,067</i>		<i>46,062</i>	

Budget Transfers & Amendments

ADMINISTRATIVE ADMENDMENTS - unfulfilled purchase orders from previous fiscal year

Date	Revenue		Expenditure		Amount	Explanation
7/1/23	100-4410	Consultants	100-210-5268	Development Review Svs	\$60,875	Developer TIAs in progress
7/1/23	100-6900	Fund Balance Approp	100-410-5262	Contracted Services	\$7,545	Standards and specifications manual
7/1/23	100-6900	Fund Balance Approp	100-210-5262	Contracted Services	\$59,595	Averette/Young/Rville corridor study
7/1/23	100-6900	Fund Balance Approp	100-130-5264	Computer Software/Svs	\$29,580	Town Hall server replacement
7/1/23	100-6900	Fund Balance Approp	100-230-5262	Contracted Services	\$7,000	Mural project
7/1/23	100-6900	Fund Balance Approp	100-310-5415	Equipment/Furniture	\$1,145	Equipment on order

ADMINISTRATIVE TRANSFERS

Date	From		To		Amount	Explanation
9/25/23	100-610-5272	Advertising/Marketing	100-610-5415	Equipment/Furniture	\$3,500	furniture for new staff
11/7/23	100-210-5262	Contracted Services	100-120-5262	Contracted Services	\$17,500	strategic plan
12/11/23	100-410-5210	Maint&Repair - Bldg/Grnds	100-410-5420	Vehicles	\$2,500	dump trailer

BOARD TRANSFERS

Date	From	To	Amount	Explanation
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BOARD AMENDMENTS

Date	Revenue		Expenditure		Amount	Explanation
7/1/23	100-6900	Fund Balance Approp	100-610-51xx	Salaries & Benefits	\$86,700	(1) Program Coordinator position
7/6/23	400-6900	Park Fee Fd Balance	400-766-5410	Infrastructure	\$12,000	Greenway Gaps project
8/1/23	100-6900	Fund Balance Approp	100-210-5262	Contracted Services	\$25,000	reapprop Comp Land Use Plan update
8/1/23	100-6900	Fund Balance Approp	100-230-5290	Community	\$5,000	reapprop DDA funds
8/1/23	100-6900	Powell Bill Fund Balance	100-480-5410	Contracted Services	\$240,000	reapprop 22-23 street maint program
11/8/23	100-6900	Fund Balance Approp	100-510-5262	Contracted Services	\$45,000	yard waste contract amendment



FUTURE TOWN BOARD MEETINGS
(Please note this schedule is subject to change)

- January 16, 2024 Town Board Work Session – 6:00 p.m. (5:30 p.m. meal).
- Presentation on Ad Valorem Taxes – Marcus Kinrade, Wake County.
 - Presentation by Rolesville Rural Fire District (RRFD) of 2024-25 Budget request to Wake County and Town of Rolesville.
- January 26, 2024 Strategic Plan Meeting – 8:00 a.m. to 5:00 p.m. Wake Electric, Wake Forest
- February 4, 2024 Town Board Regular Meeting – 7:00 p.m. (Staff Reporting: PD)
- Recognition of outgoing PARAB Member Mary Ka Powers
 - Minutes of January 4th, January 16th
 - Legislative Hearing: ANX22-05 – Harris Creek Farms
 - Legislative Hearing: ANX23-01- Woodlief Assemblage
- February 20, 2024 Budget Meeting – 12:00 p.m. to 9:00 p.m. Community Center
- March 5, 2024 Town Board Regular Meeting – 7:00 p.m. (Staff Reporting: F I / H R)
- Minutes of January 26th, February 4th, February 20th
- March 19, 2024 Town Board Work Session – 6:00 p.m. (5:30 p.m. meal?)
- April 2, 2024 Town Board Regular Meeting – 7:00 p.m. (Staff Reporting: PL/ED/Chamber)
- April 16, 2024 Town Board Work Session – 6:00 p.m. (5:30 p.m. meal?)
- May 7, 2024 Town Board Regular Meeting – 7:00 p.m. (Staff Reporting: PR/PW)
- May 21, 2024 Town Board Work Session – 6:00 p.m. (5:30 p.m. meal?)

Planning Items to be Scheduled by Planning Director:

- REZ-23-06 – 4124 Burlington Mills (RRFD Property) – Legislative Hearing
- REZ-23-02/ANX23-01 - Woodlief Assemblage – Legislative Hearing
- MA22-08ANX22-05 - Harris Creek Farm – Legislative Hearing
- REZ-23-05/ANX23-04 – Scarboro Apartments/201 S. Main Street – Legislative Hearing
- REZ23-01 - Averette and Jones Dairy Mixed Use – Legislative Hearing.