

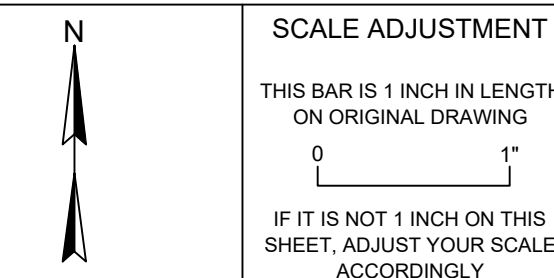
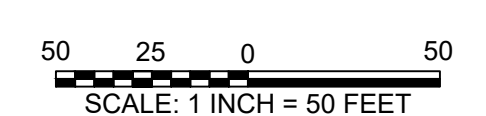
SUMMARY INFORMATION	
DEVELOPMENT NAME:	ROLESVILLE ROAD MIXED USE
SITE ADDRESS:	1216 ROLESVILLE RD
PIN NUMBER(S):	1768-33-7689
TOTAL ACREAGE:	11.8 AC
EXISTING USE:	VACANT
PROPOSED USE:	MIXED USE
JURISDICTION:	TOWN OF ROLESVILLE
CURRENT ZONING DISTRICT:	RL
PROPOSED ZONING DISTRICT:	NEIGHBORHOOD CENTER (NC)
PROPOSED COMMERCIAL AREA:	30,000 SF
PROPOSED MAX. BLDG. HEIGHT:	35' (TWO STORIES)
SETBACKS (MIN/MAX):	FRONT: 15'/100' SIDE: 10'/50' REAR: 10'/50'
PARKING REQUIREMENTS:	RETAIL SALES AND SERVICE: 2.5 SPACE / 1,000 SF
PARKING REQUIRED:	2.5 SPACE / 1,000 SF * 30,000 SF = 75 SPACES
PARKING PROVIDED:	76 SPACES (2 ADA ACCESSIBLE)
PROPOSED TOWNHOME UNITS:	68
MAX. DENSITY:	8 UNITS/AC
PROPOSED DENSITY:	5.8 UNITS/AC
PROPOSED MAX. BLDG. HEIGHT:	35' (TWO STORIES)
SETBACKS (MIN/MAX):	FRONT: 15'/100' SIDE: 10'/50' (MIN. 30' BETWEEN STRUCTURES) REAR: 10'/50'
PARKING REQUIREMENTS:	DWELLING MULTIPLE FAMILY PARKING: 1.5 SPACES PER UNIT PLUS 0.10 GUEST SPACE PER UNIT
PARKING REQUIRED:	1.5 SPACES * 68 UNITS + 0.10 SPACES * 68 UNITS = 109 SPACES
PARKING PROVIDED:	2 SPACES PER DRIVEWAY + 21 GUEST = 157 SPACES
MAIL KIOSK PARKING PROVIDED:	2 SPACES FOR MAIL KIOSK (1 IS ADA ACCESSIBLE)
TOTAL PARKING PROVIDED:	157 SPACES + 2 MAIL KIOSK SPACES = 159 SPACES (1 IS ADA ACCESSIBLE)
REQUIRED OPEN SPACE:	1.77 AC (15%)
PROPOSED OPEN SPACE:	3.87 AC (32.8%)
ENGINEER:	FLM ENGINEERING, INC. PO BOX 91727 RALEIGH, NC 27675 919.610.1051

REVISION HISTORY

REV #	DESCRIPTION	DATE	BY

ORIGINAL PLAN SIZE: 24" X 36"

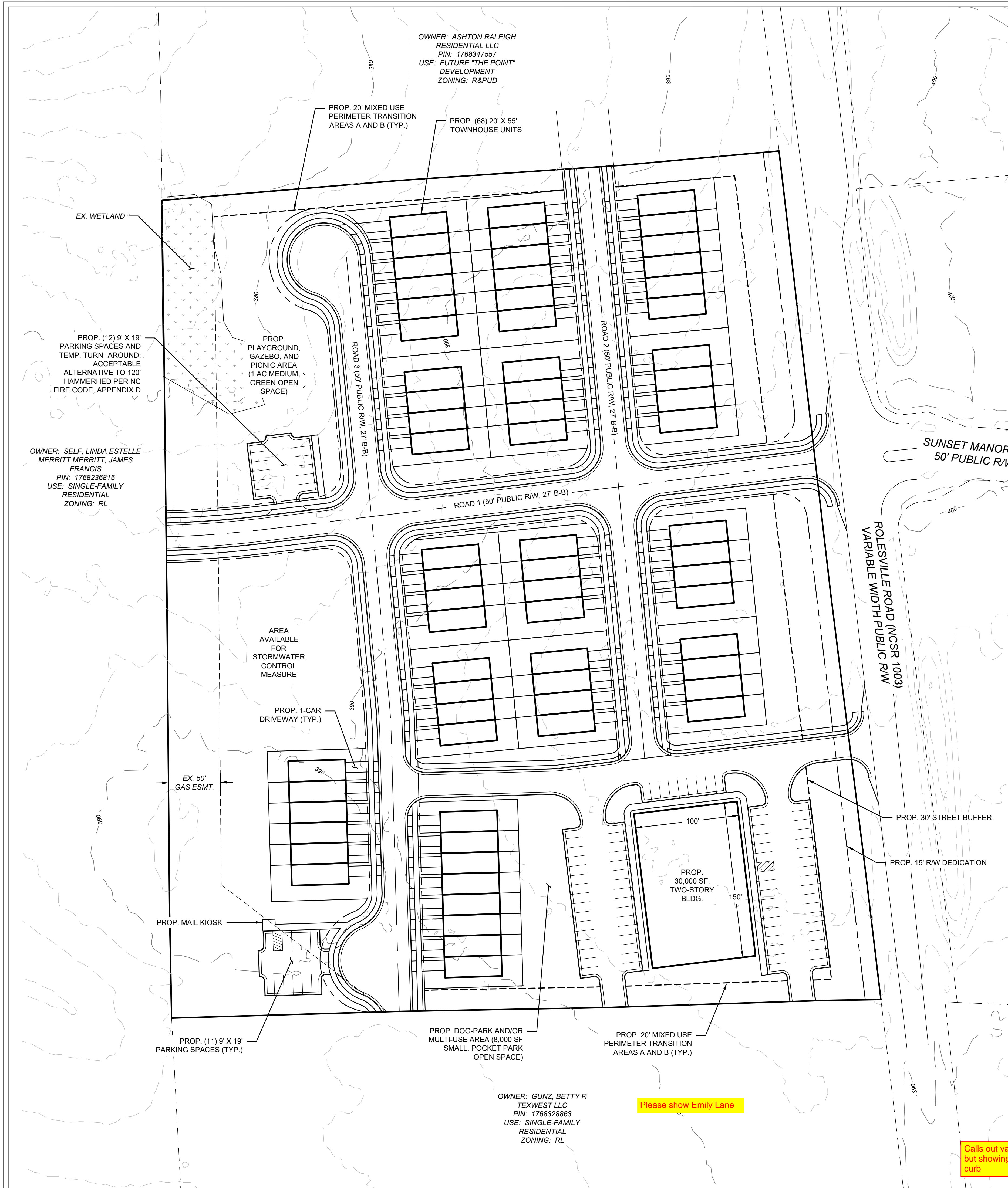
PRELIMINARY PLANS
DO NOT USE FOR CONSTRUCTION



ROLESVILLE RD MIXED USE
1216 ROLESVILLE RD
ROLESVILLE, NC

DATE:	02-21-2022
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	
PROJECT NO.:	

SKETCH PLAN
C-1
SHEET 1 OF 1

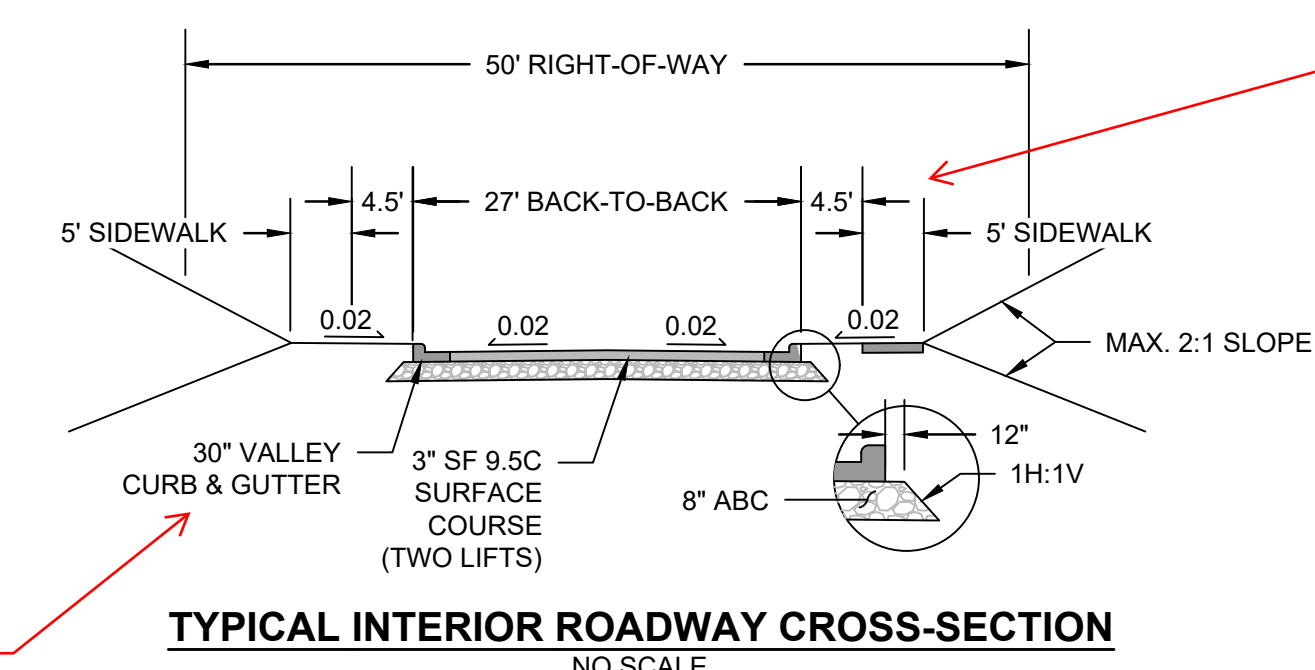


Bearing and Distances should be provided for the outer perimeter of the proposed property

ROW improvements will be required for the entire length of the property along Rolesville Road.

Will need a typical section for Rolesville Road showing the final ROW dimensions to confirm it matches the Town's CTP. Required on Preliminary Plat/Site Plan submittal. The distances between all intersections will have to be reviewed and ensure they meet DOT requirements. There is concern with how compact this site will be along Rolesville Road with the existing Sunset Manor Dr and Emily Lane, then adding 2 more intersections in the same segment.

All pedestrian ramp locations will be required to be shown for Preliminary Plat/Site Plan submittal.



Consider shifting the sidewalk 1' off the ROW to allow for a larger planting strip/boulevard; Not required to be corrected for this submittal approval

Calls out valley curb but showing standard curb

Please show Emily Lane