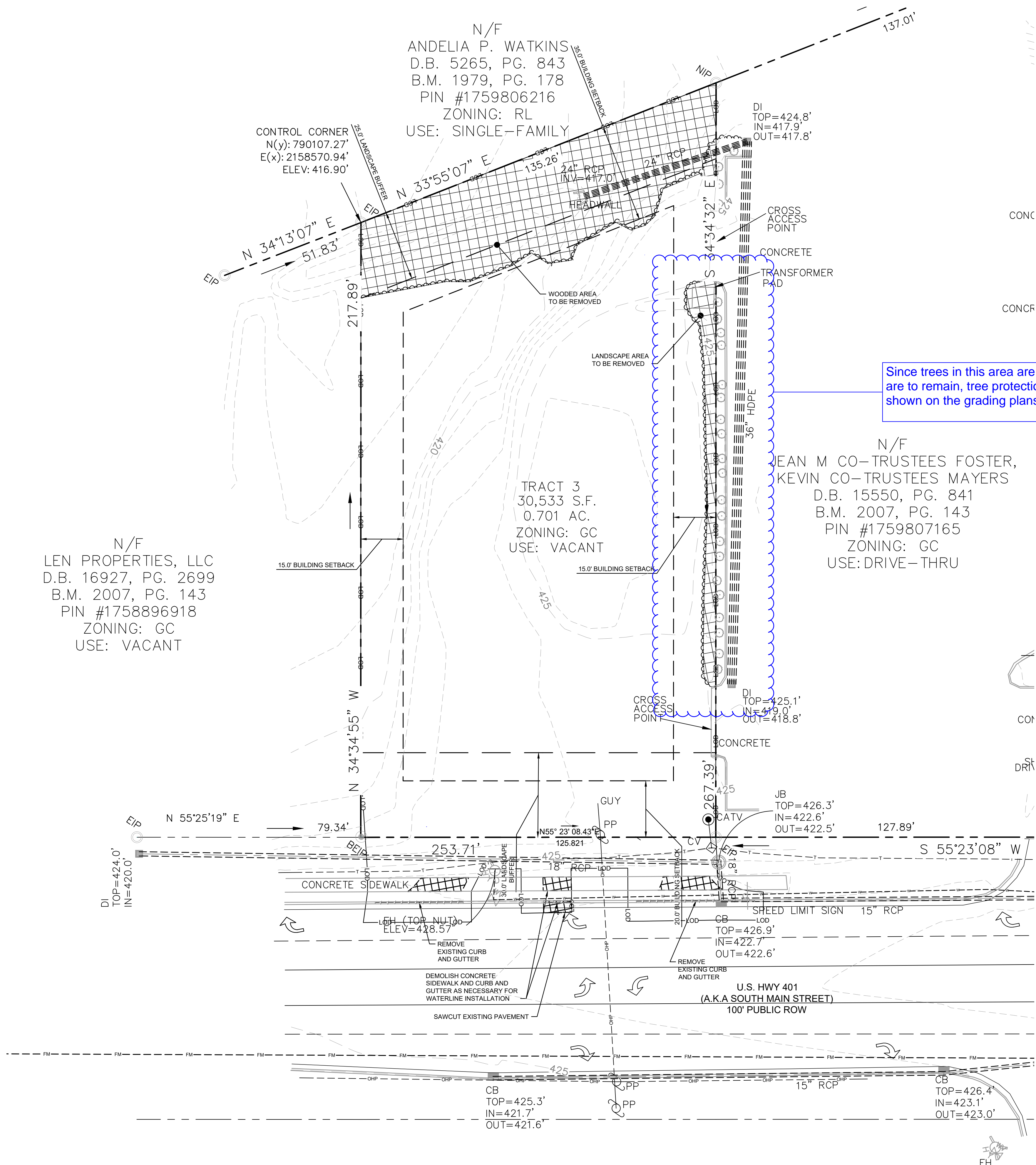


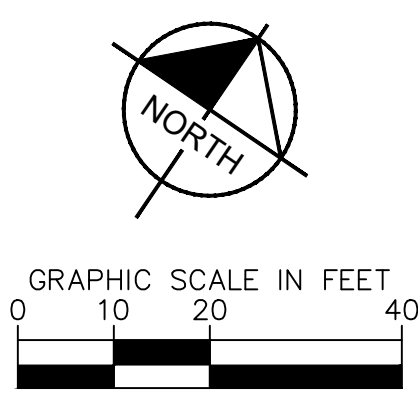




Plotted By: Barnes, Michael. Sheet Set: SCOOTER'S ROLESVILLE. Layout: C1.0 EXISTING CONDITIONS & DEMOLITION PLAN. January 02, 2024. 04:16:00pm. K:\RAL\_LDEV\016485000-Scoters\_Rolesville\Planning\P15\_CAD Files\PlanSheets\C1.0 EXISTING CONDITIONS & DEMOLITION PLAN.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



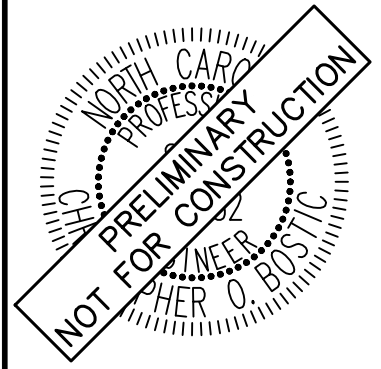
Since trees in this area are being removed yet existing trees on the adjacent property are to remain, tree protection fencing in the is area will be required and should be shown on the grading plans as well as the landscape plans.



DEMOLITION LEGEND	
	PROPERTY LINE
	LIMITS OF DISTURBANCE
	DEMOLISH SITE ITEM
	DEMOLISH UNDERGROUND UTILITY
	ABANDON UTILITY IN PLACE
	SAWCUT
	DEMOLISH SITE ITEM/TREE TO BE REMOVED
	BUILDINGS TO BE REMOVED
	SIDEWALK/PAVEMENT/GRAVEL TO BE REMOVED

NO.	REVISIONS	DATE	BY
1		01/02/2024	IMDE

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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
016485000	10/31/2023	AS SHOWN	JAA	JAA	COB

**EXISTING CONDITIONS & DEMOLITION PLAN**

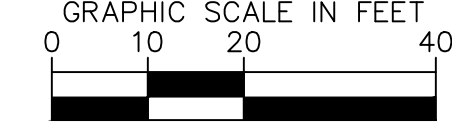
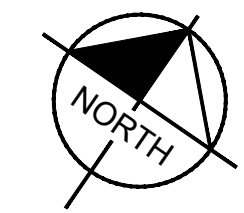
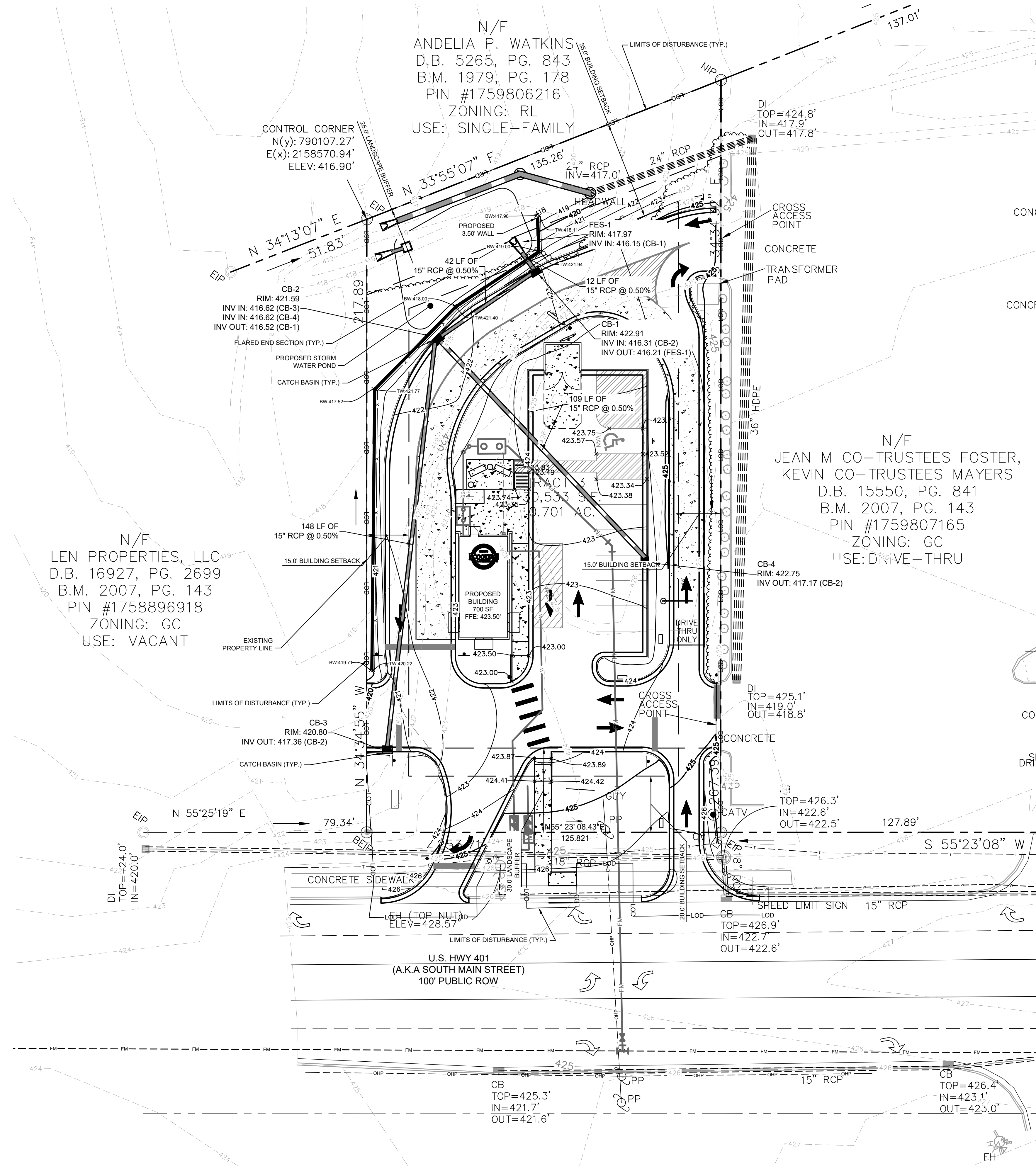
**SCOOTER'S ROLESVILLE**  
 PREPARED FOR  
**S&S JAVA ENTERPRISES**  
 ROLESVILLE, NC

**SURVEY NOTE:**  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A TOPOGRAPHIC SURVEY OBTAINED ON 02/23/2023 BY CMP PROFESSIONAL LAND SURVEYORS, 333 S. WHITE STREET, WAKE FOREST, NC 27588. PHONE: (919) 556-3148. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.





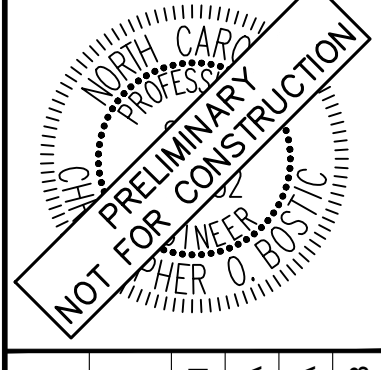
Plotted By: Barnes, Michael. Sheet Set: SCOOTER'S ROLESVILLE. Layout: C3.0 GRADING AND DRAINAGE PLAN. January 02, 2024. 04:16:20pm. K:\RAL\_LDEV\016485000-Scoters Rolesville\Planning\P15\_CAD Files\PlanSheets\C3.0 GRADING AND DRAINAGE PLAN.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



GRADING AND DRAINAGE LEGEND	
---	PROPERTY LINE
---	TEMPORARY CONSTRUCTION EASEMENT
---	STORM DRAIN (> 12 INCH)
---	STORM DRAIN (< 12 INCH)
---	ROOF DRAIN
---	UNDER DRAIN
---	CURB AND GUTTER
---	SPILL CURB AND GUTTER
---	CLEARING LIMITS
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	SPOT ELEVATION
---	CATCH BASIN (CB)
---	MANHOLE (SDMH)
---	CLEANOUT (SDCO)
---	DROP INLET (DI)
---	AREA DRAIN (AD)
---	CONTROL STRUCTURE (CS)
---	FLARED END SECTION (FES)
---	CONCRETE HEADWALL (HW)
---	RIP-RAP APRON
---	FLOW ARROW
---	TOP OF WALL (GRADE ELEV.)
---	BOTTOM OF WALL (GRADE ELEV.)
---	TOP OF PAVEMENT (GRADE ELEV.)
---	TOP OF CURB (GRADE ELEV.)
---	FLUSH CURB (GRADE ELEV.)
---	WATER TIGHT JOINTS (WT)

NO.	REVISIONS	DATE	BY
1		01/02/2024	IMDE

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**GRADING AND DRAINAGE PLAN**

**SCOOTER'S ROLESVILLE**  
 PREPARED FOR  
**S&S JAVA ENTERPRISES**  
 ROLESVILLE, NC

SHEET NUMBER  
**C3.0**

**SURVEY NOTE:**  
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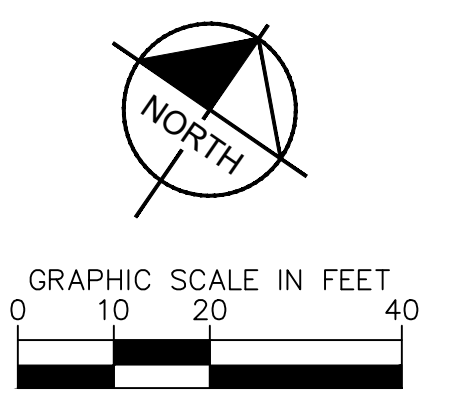
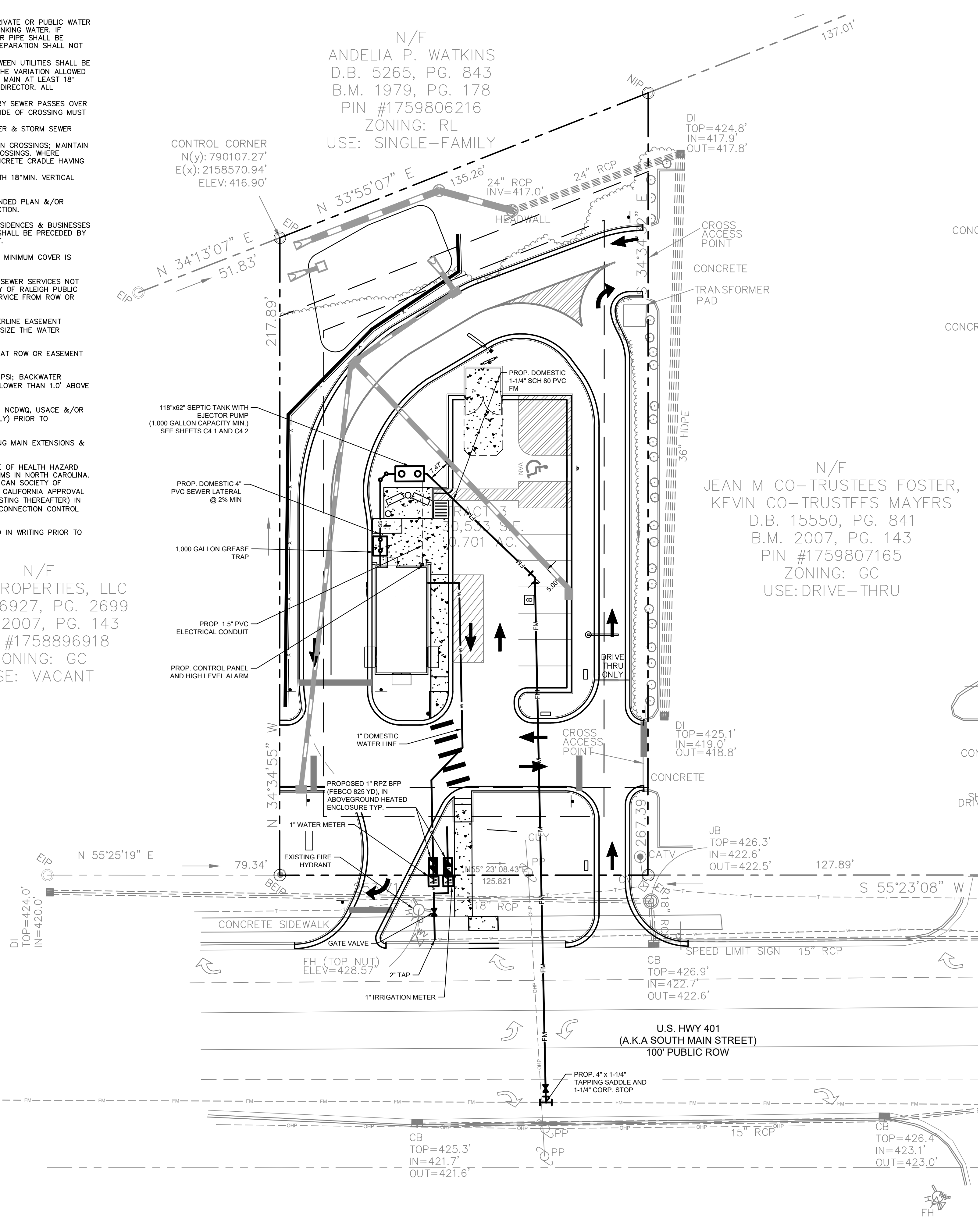


Plotted By: Barnes, Michael. Sheet: Scooter's Rolesville Layout: C4.0 UTILITY PLAN. January 02, 2024. 04:16:30pm. K:\RAL\_LDE\016485000-Scooter's Rolesville\Planning\P15\_CAD Files\PlanSheets\C4.0 UTILITY PLAN.dwg  
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### STANDARD UTILITY NOTES

- ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS & SPECIFICATIONS
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE, SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10' IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE.
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT.
- INSTALL 2" WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 2.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NC DOT ENCRoACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE ROW PRIOR TO CONSTRUCTION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT.
- THE STATE OF NORTH CAROLINA AND C.O.R. PUBLIC WORKS DEPT. SHALL BE NOTIFIED IN WRITING PRIOR TO UTILITY INSTALLATION AND FOR SCHEDULING INSPECTIONS.

N/F  
 LEN PROPERTIES, LLC  
 D.B. 16927, PG. 2699  
 B.M. 2007, PG. 143  
 PIN #1758896918  
 ZONING: GC  
 USE: VACANT



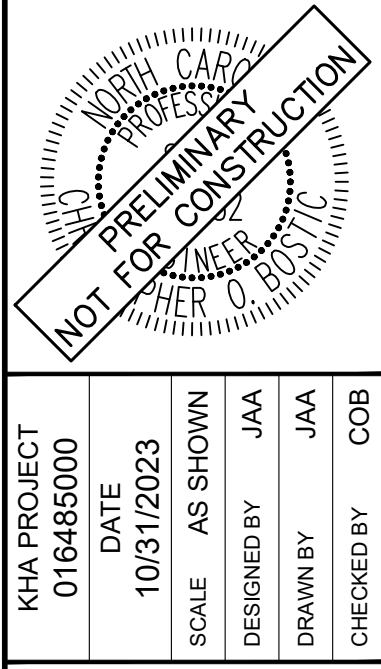
UTILITY LEGEND	
---	PROPERTY LINE
W	WATER LINE
FW	FIRE LINE
SS	SANITARY SEWER LINE
E	ELECTRIC
FO	FIBER OPTIC
G	GAS
P	POWER
T	TELECOMMUNICATION
TV	CABLE
□	LIGHT POLE
M	WATER METER
X	GATE VALVE
S S	POINT OF CONNECTION
▲	BACKFLOW PREVENTOR
┌─┐	PIPE TEE/BENDS
○	REDUCER
○	FIRE HYDRANT (FH)
○	FIRE DEPARTMENT CONNECTION (FDC)
○	SANITARY SEWER CLEANOUT (SSCO)
○	SANITARY SEWER MANHOLE (SSMH)
○	SANITARY SEWER GREASE TRAP

### STANDARD UTILITY NOTES (CONT.)

- TRAFFIC CONTROLS FOR ANY UTILITY WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH STANDARDS OF THE NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- IN THE EVENT AN ITEM IS NOT COVERED BY THESE PLANS, THEN THE STANDARDS AND SPECIFICATIONS CONTAINED IN THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK COVERING SUCH ITEMS SHALL APPLY.
- IF CITY OF RALEIGH WATER AND SANITARY SEWER PERMITS ARE REQUIRED, CONTRACTOR IS RESPONSIBLE FOR ALL PERMIT FEES.
- LOCATIONS AND SIZES OF EXISTING WATER AND SEWER LINES SHOWN ON THESE PLANS WITHIN THE PROPERTY LIMITS OF THE SITE ARE ASSUMED BASED ON SURVEY OF SURFACE FEATURES (MANHOLES, VALVES, VAULTS, METERS, ETC.) PREPARED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, N.C. 27609. IT IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF THE EXISTING UTILITIES PRIOR TO COMMENCING WORK. ANY DEVIATIONS FROM WHAT IS INDICATED ON THESE PLANS SHALL BE REPORTED TO THE DEVELOPER AND ENGINEER, IN WRITING, IMMEDIATELY.
- CONTRACTOR SHALL PROVIDE A MEANS TO KEEP ALL NEW PIPING ISOLATED FROM EXISTING PIPING UNTIL ALL NEW PIPING HAS BEEN TESTED, AND ACCEPTED FOR SERVICE.
- EXISTING UTILITIES SHALL BE PROTECTED DURING ALL CONSTRUCTION.
- THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE UTILITIES. ALL PUBLIC PIPE, STRUCTURES, AND FITTINGS SHALL BE INSPECTED BY THE CITY INSPECTOR PRIOR TO BEING COVERED. THE INSPECTOR MUST ALSO BE PRESENT DURING DISINFECTION AND PRESSURE TESTING OF ALL MAINS. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES.
- UTILITY WORK SHALL BE INSPECTED AND ACCEPTED BY CITY OF RALEIGH PRIOR TO PLACING INTO SERVICE.
- THERE SHALL BE A MINIMUM 3' CLEAR DISTANCE AROUND ALL FIRE HYDRANTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "AS-BUILT" PLANS, PER CITY OF RALEIGH REQUIREMENTS, TO THE ENGINEER SHOWING THE LOCATION OF WATER AND SEWER SERVICES AND ANY DEVIATIONS FROM PLANS MADE DURING CONSTRUCTION. THE ENGINEER WILL PROVIDE THESE RECORD PLANS TO THE CITY OF RALEIGH.

SURVEY NOTE:  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A  
 TOPOGRAPHIC SURVEY OBTAINED ON 02/23/2023 BY CMP  
 PROFESSIONAL LAND SURVEYORS, 333 S. WHITE STREET, WAKE  
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 POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

TOWN COMMENTS	REVISIONS	DATE
		01/02/2024



KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
016485000	10/31/2023	AS SHOWN	JAA	JAA	COB

**SCOOTER'S ROLESVILLE**  
 PREPARED FOR  
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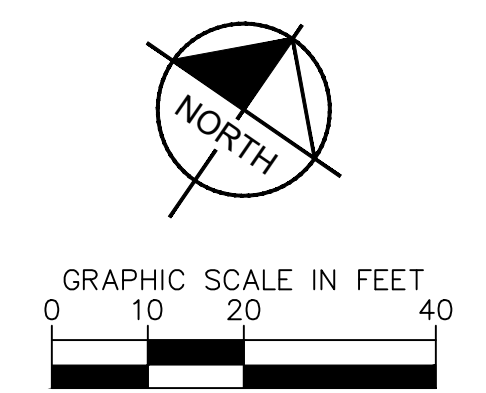
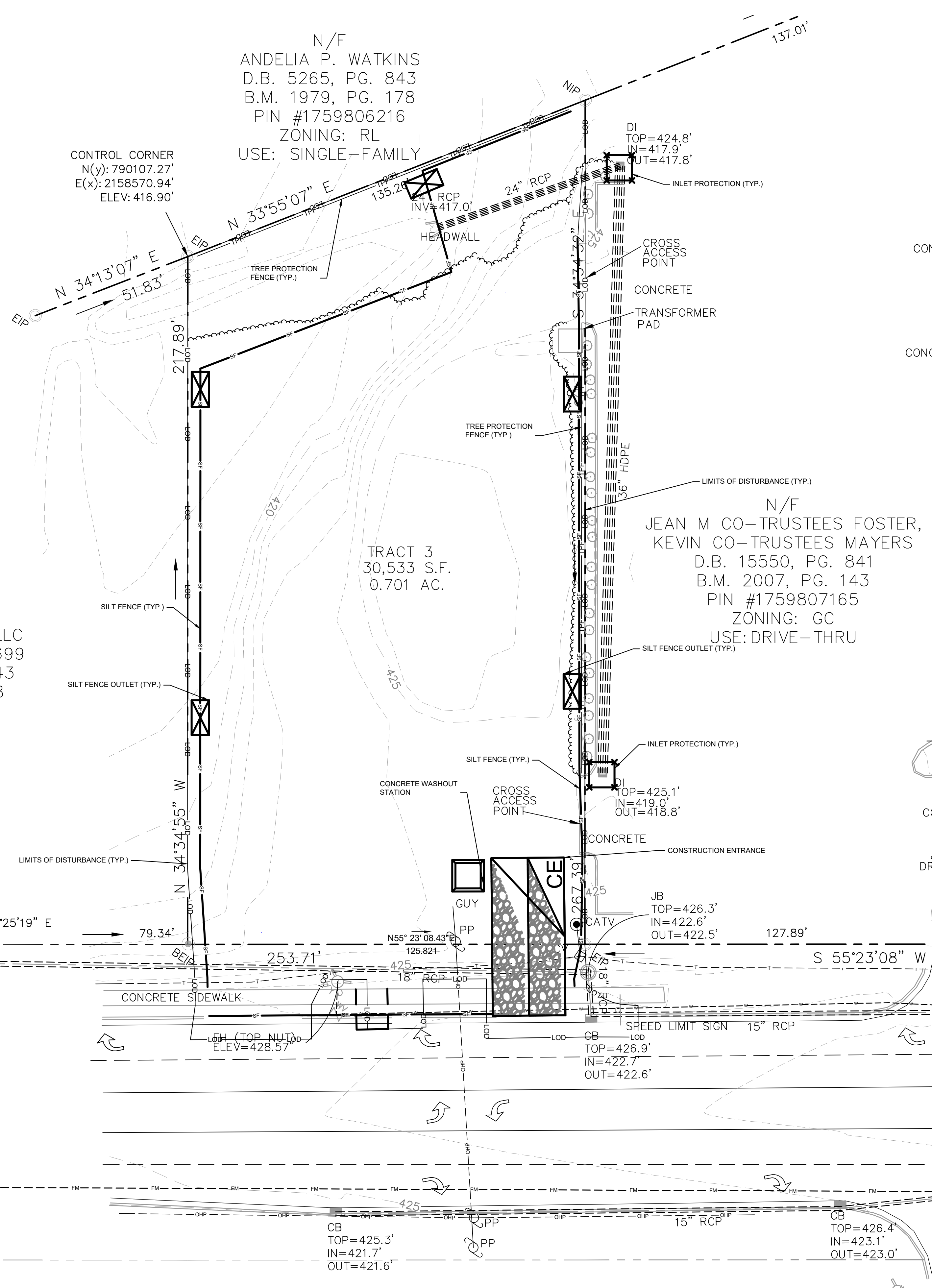
**SELF MONITORING AND INSPECTION NOTIFICATION**

THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS BECAME EFFECTIVE OCTOBER 1, 2010. TO SIMPLIFY DOCUMENTATION OF SELF-INSPECTION REPORTS AND NPDES SELF-MONITORING REPORTS, A COMBINED FORM IS NOW AVAILABLE. THE NEW FORM WAS DEVELOPED TO SATISFY THE REQUIREMENTS OF THE SEDIMENTATION POLLUTION CONTROL ACT AND THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES, NCDENR BEGINNING AUGUST 1, 2013. THE DIVISION OF ENERGY, MINERAL, AND LAND RESOURCES IS RESPONSIBLE FOR ADMINISTERING BOTH THE SPCA AND THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES, NCS 010000. THE COMBINED FORM SHOULD MAKE IT EASIER TO COMPLY WITH SELF-INSPECTION REQUIREMENTS. THE COMBINED SELF-MONITORING FORM IS AVAILABLE AS A PDF AND WORD DOCUMENT FROM THE LAND QUALITY WEB SITE, [HTTP://PORTAL.NCDENR.ORG/WEB/NCDENR/EROSION](http://portal.ncdenr.org/web/ncdenr/erosion) IF YOU HAVE QUESTIONS, PLEASE CONTACT THE LAND QUALITY SECTION AT NCDENR REGIONAL OFFICE.

**MAINTENANCE NOTES:**

DURING THE DEVELOPMENT OF A SITE, THE DEVELOPER SHALL INSTALL AND MAINTAIN ALL TEMPORARY AND PERMANENT STORMWATER CONTROL MEASURES AS REQUIRED BY THE APPROVED PLAN OR ANY PROVISION OF THIS ARTICLE. THE ACT OR ANY ORDER ADOPTED PURSUANT TO THIS ARTICLE OR THE ACT AFTER SITE DEVELOPMENT, THE DEVELOPER SHALL INSTALL AND/OR MAINTAIN ALL NECESSARY PERMANENT STORMWATER CONTROL MEASURES SPECIFIED IN THE APPROVED PLAN, EXCEPT THOSE MEASURES INSTALLED WITHIN A ROAD OR STREET RIGHT-OF-WAY OR EASEMENT ACCEPTED FOR MAINTENANCE BY A GOVERNMENTAL AGENCY. CONVEYANCE OF THE PROPERTY SHALL NOT TERMINATE THE ORIGINAL DEVELOPER'S OBLIGATIONS UNDER THIS ARTICLE UNTIL SUCH TIME AS A REPLACEMENT PERMIT IS APPROVED BY THE COUNTY ENGINEER, OR DESIGNEE. THE ORIGINAL DEVELOPER SHALL INCLUDE IN THE DEED CONVEYING THE PROPERTY NOTICE OF THE EXISTENCE OF THE STORMWATER CONTROL MEASURES AND THE PURCHASER'S OBLIGATIONS TO MAINTAIN AND INSPECT THEM AND TO OBTAIN A PERMIT AND OTHERWISE COMPLY WITH THE TERMS OF THIS ARTICLE. REFER TO THE EROSION CONTROL DETAILS SHEET FOR ADDITIONAL MAINTENANCE NOTES. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

- CONSTRUCTION ENTRANCE:**  
INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURFACE. TOP DRESS WITH NEW GRAVEL AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDED AREAS FOR EROSION AND SEDIMENTATION AFTER RUNOFF-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.
- SILT FENCE:**  
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- SILT FENCE GRAVEL OUTLET:**  
INSPECT SEDIMENT FENCE GRAVEL OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. ANY RIP RAP DISPLACED MUST BE REPLACED IMMEDIATELY.
- BLOCK AND GRAVEL INLET PROTECTION:**  
INSPECT THE BARRIER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.



**EROSION CONTROL LEGEND**

---	PROPERTY LINE
---	TEMPORARY CONSTRUCTION EASEMENT
---	CLEARING LIMITS
---	SILT FENCE
---	TREE PROTECTION FENCE
---	COMBINATION TREE PROTECTION / SILT FENCE
→ TD → TD	TEMPORARY DIVERSION DITCH
→ TD(CW) →	CLEAN WATER DIVERSION DITCH
---	SEDIMENT BASIN POROUS Baffles
---	PUMP DISCHARGE HOSE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	DRAINAGE AREA BOUNDARY
---	CONSTRUCTION ENTRANCE
---	SILT FENCE OUTLET
---	CONCRETE WASHOUT STATION
---	ROCK CHECK DAM
---	INLET PROTECTION
---	ROCK PIPE INLET PROTECTION
---	SKIMMER
---	TEMPORARY SLOPE DRAIN
---	RIP-RAP OUTLET PROTECTION
---	SILT BAG
---	DESIGNATED AREAS TO BE STABILIZED WITHIN 7 DAYS
---	TEMPORARY EROSION CONTROL MATTING

- PHASE 1 CONSTRUCTION SEQUENCE:**
- THE FOLLOWING PHASE 1 CONSTRUCTION SEQUENCE IS FURNISHED AS A GENERAL GUIDE FOR PREPARATION OF A SEQUENCE OF CONSTRUCTION EVENTS.
  - SCHEDULE AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH WAKE COUNTY ENVIRONMENTAL CONSULTANT TO DISCUSS EROSION CONTROL MEASURES.
  - OBTAIN LAND-DISTURBING PERMIT FROM WAKE COUNTY.
  - INSTALL TEMPORARY CONSTRUCTION ENTRANCE, SILT FENCE, INLET PROTECTION, TREE PROTECTION, AND OTHER MEASURES AS SHOWN ON PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES (SEE LOD FOR INITIAL CLEARING LIMITS). SEED, MAT, MULCH, AND ANCHOR DIVERSION DITCHES AND BASIN IMMEDIATELY AFTER CONSTRUCTION AS APPROPRIATE.
  - CALL FOR ON-SITE INSPECTION BY WAKE COUNTY ENVIRONMENTAL CONSULTANT ONCE ALL EROSION CONTROL MEASURES ARE INSTALLED. OBTAIN CERTIFICATE OF COMPLIANCE FROM WAKE COUNTY.
  - ONCE CERTIFICATE OF COMPLIANCE HAS BEEN OBTAINED, APPLY FOR NCDENR eNOI ON NCDENR WEBSITE.
  - UPON APPROVAL, CLEARING AND DEMOLITION MAY BEGIN. MAINTAIN ALL EROSION CONTROL MEASURES AS NECESSARY. EROSION CONTROL MEASURES SHALL BE RESTORED TO ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO 50% OF DESIGN DEPTH.
  - INSPECT AND REPAIR EROSION CONTROL MEASURES AFTER EVERY RAINFALL EVENT OF 1/2" OR GREATER OR EVERY SEVEN (7) CALENDAR DAYS.
  - FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING EACH PHASE OF EROSION CONTROL MEASURES SEED AND MULCH DENUBED AREA WITHIN 15 CALENDAR DAYS AFTER ANY PHASE OF GRADING. MAINTAIN SOIL EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
  - ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NCDENR EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPARTMENT OF AGRICULTURE, AND TOWN OF CARY EROSION CONTROL ORDINANCE.
  - REFER TO SHEET C0.1 - GENERAL NOTES FOR GENERAL EROSION CONTROL NOTES AND MAINTENANCE.

LIMITS OF DISTURBANCE: 0.77 AC

**SURVEY NOTE:**  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A TOPOGRAPHIC SURVEY OBTAINED ON 02/23/2023 BY CIMP PROFESSIONAL LAND SURVEYORS, 333 S. WHITE STREET, WAKE FOREST, NC 27588. PHONE: (919) 556-3148. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

**NPDES GROUND COVER REQUIREMENTS**

SITE AREA DESCRIPTION	STABILIZATION	TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES, SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE EXCEPT FOR PERIMETERS AND HQW ZONES.

SILT FENCES SHOWN ON PLANS ARE FOR REPRESENTATIVE PURPOSES. CONSTRUCT DIRECTLY ALONG THE CLEARING LIMITS WHERE APPLICABLE.

SILT FENCE OUTLETS ARE TO BE PROVIDED ALONG ALL LOW POINTS OF SILT FENCE AND AREAS WHERE RUNOFF MAY CONCENTRATE CAUSING DAMAGE TO SILT FENCE. CONTRACTOR TO INSTALL OUTLETS AS NECESSARY TO ENSURE SILT FENCE IS FULLY FUNCTIONAL THROUGHOUT THE DURATION OF CONSTRUCTION.

REFER TO GENERAL NOTES SHEET C0.1 FOR EROSION CONTROL, SEEDBED PREPARATION, AND SEEDING SCHEDULE NOTES FOR BOTH PHASES.

DISTURBED AREA: 0.77 AC

N/F  
LEN PROPERTIES, LLC  
D.B. 16927, PG. 2699  
B.M. 2007, PG. 143  
PIN #1758896918  
ZONING: GC  
USE: VACANT

N/F  
ANDELIA P. WATKINS  
D.B. 5265, PG. 843  
B.M. 1979, PG. 178  
PIN #1759806216  
ZONING: RL  
USE: SINGLE-FAMILY

N/F  
JEAN M CO-TRUSTEES FOSTER,  
KEVIN CO-TRUSTEES MAYERS  
D.B. 15550, PG. 841  
B.M. 2007, PG. 143  
PIN #1759807165  
ZONING: GC  
USE: DRIVE-THRU

TRACT 3  
30,533 S.F.  
0.701 AC.

**Kimley»Horn**  
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919.677.2000 FAX: 919.677.2050  
421 FAYETTEVILLE STREET, SUITE 800, RALEIGH, NC 27601

**EROSION CONTROL PLAN - PHASE 1**

**SCOOTER'S ROLESVILLE**  
PREPARED FOR  
**S&S JAVA ENTERPRISES**  
ROLESVILLE, NC

KHA PROJECT: 016485000  
DATE: 10/31/2023  
SCALE: AS SHOWN  
DESIGNED BY: JAA  
DRAWN BY: JAA  
CHECKED BY: COB

TOWN COMMENTS: 01/02/2024 IMDB BY: DATE

SHEET NUMBER: C5.0



Plotted By: Barnes, Michael. Sheet Set: SCOOTER'S ROLESVILLE Layout: C5.0 EROSION CONTROL PLAN - PHASE 1. January 02, 2024. 04:16:56pm. K:\RAL\_LDEV\016485000-Scoters Rolesville\Planning\15-CAD Files\PlanSheets\C5.0 EROSION CONTROL PLAN.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**SELF MONITORING AND INSPECTION NOTIFICATION**

THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS BECAME EFFECTIVE OCTOBER 1, 2010. TO SIMPLIFY DOCUMENTATION OF SELF-INSPECTION REPORTS AND NPDES SELF-MONITORING REPORTS, A COMBINED FORM IS NOW AVAILABLE. THE NEW FORM WAS DEVELOPED TO SATISFY THE REQUIREMENTS OF THE SEDIMENTATION POLLUTION CONTROL ACT AND THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES, NC010000, BEGINNING AUGUST 1, 2013. THE DIVISION OF ENERGY, MINERAL, AND LAND RESOURCES IS RESPONSIBLE FOR ADMINISTERING BOTH THE SPCA AND THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES, NC010000. THE COMBINED FORM SHOULD MAKE IT EASIER TO COMPLY WITH SELF-INSPECTION REQUIREMENTS. THE COMBINED SELF-MONITORING FORM IS AVAILABLE AS A PDF AND WORD DOCUMENT FROM THE LAND QUALITY WEB SITE, [HTTP://PORTAL.NC DENR.ORG/WEB/EROC/EROCSELFMON](http://portal.ncdenr.org/web/eroc/erocselfmon) IF YOU HAVE QUESTIONS, PLEASE CONTACT THE LAND QUALITY SECTION AT NCDEQ REGIONAL OFFICE.

**MAINTENANCE NOTES:**

DURING THE DEVELOPMENT OF A SITE, THE DEVELOPER SHALL INSTALL AND MAINTAIN ALL TEMPORARY AND PERMANENT STORMWATER CONTROL MEASURES AS REQUIRED BY THE APPROVED PLAN OR ANY PROVISION OF THIS ARTICLE. THE ACT OR ANY ORDER ADOPTED PURSUANT TO THIS ARTICLE OR THE ACT AFTER SITE DEVELOPMENT, THE DEVELOPER SHALL INSTALL AND/OR MAINTAIN ALL NECESSARY PERMANENT STORMWATER CONTROL MEASURES SPECIFIED IN THE APPROVED PLAN, EXCEPT THOSE MEASURES INSTALLED WITHIN A ROAD OR STREET RIGHT-OF-WAY OR EASEMENT ACCEPTED FOR MAINTENANCE BY A GOVERNMENTAL AGENCY. CONVEYANCE OF THE PROPERTY SHALL NOT TERMINATE THE ORIGINAL DEVELOPER'S OBLIGATIONS UNDER THIS ARTICLE UNTIL SUCH TIME AS A REPLACEMENT PERMIT IS APPROVED BY THE COUNTY ENGINEER, OR DESIGNEE. THE ORIGINAL DEVELOPER SHALL INCLUDE IN THE DEED CONVEYING THE PROPERTY NOTICE OF THE EXISTENCE OF THE STORMWATER CONTROL MEASURES AND THE PURCHASER'S OBLIGATIONS TO MAINTAIN AND INSPECT THEM AND TO OBTAIN A PERMIT AND OTHERWISE COMPLY WITH THE TERMS OF THIS ARTICLE. REFER TO THE EROSION CONTROL DETAILS SHEET FOR ADDITIONAL MAINTENANCE NOTES. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

- CONSTRUCTION ENTRANCE:**  
INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURFACE. TOP DRESS WITH NEW GRAVEL AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDED AREAS FOR EROSION AND SEDIMENTATION AFTER RUNOFF-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.
- SILT FENCE:**  
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- SILT FENCE GRAVEL OUTLET:**  
INSPECT SEDIMENT FENCE GRAVEL OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. ANY RIP RAP DISPLACED MUST BE REPLACED IMMEDIATELY.
- BLOCK AND GRAVEL INLET PROTECTION:**  
INSPECT THE BARRIER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

N/F  
ANDELIA P. WATKINS  
D.B. 5265, PG. 843  
B.M. 1979, PG. 178  
PIN #1759806216  
ZONING: RL  
USE: SINGLE-FAMILY

N/F  
LEN PROPERTIES, LLC  
D.B. 16927, PG. 2699  
B.M. 2007, PG. 143  
PIN #1758896918  
ZONING: GC  
USE: VACANT

N/F  
JEAN M CO-TRUSTEES FOSTER,  
KEVIN CO-TRUSTEES MAYERS  
D.B. 15550, PG. 841  
B.M. 2007, PG. 143  
PIN #1759807165  
ZONING: GC  
USE: DRIVE-THRU

**NPDES GROUND COVER REQUIREMENTS**

SITE AREA DESCRIPTION	STABILIZATION	TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES, SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
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REFER TO GENERAL NOTES SHEET C0.1 FOR EROSION CONTROL, SEEDBED PREPARATION, AND SEEDING SCHEDULE NOTES FOR BOTH PHASES.

**DISTURBED AREA: 0.77 AC**

**EROSION CONTROL LEGEND**

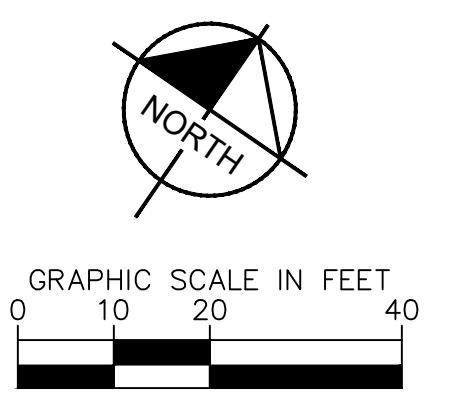
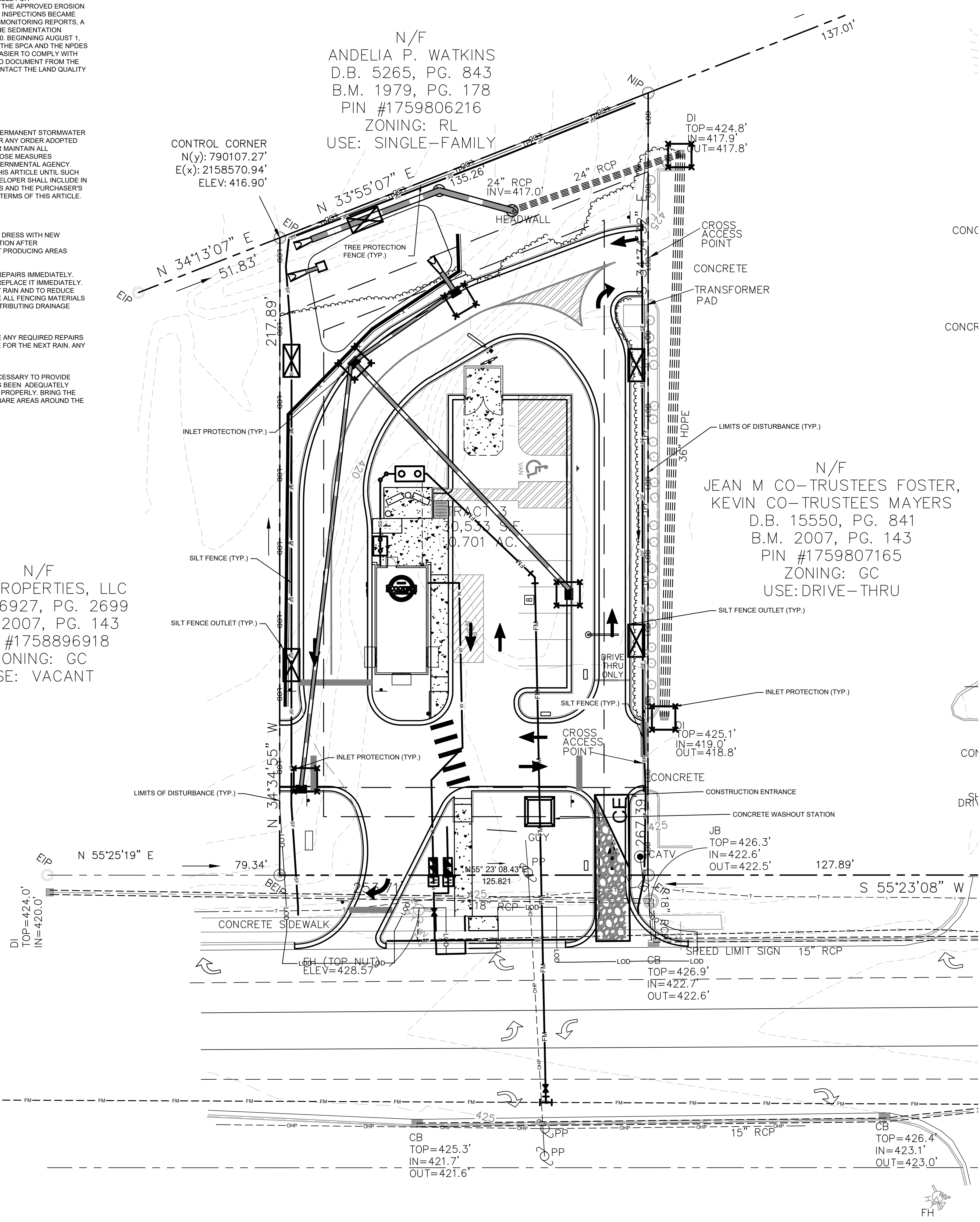
PROPERTY LINE  
 TCE TEMPORARY CONSTRUCTION EASEMENT  
 CL CLEARING LIMITS  
 SF SILT FENCE  
 TPF TREE PROTECTION FENCE  
 SF/TPF COMBINATION TREE PROTECTION/SILT FENCE  
 TD TEMPORARY DIVERSION DITCH  
 TD(CW) CLEAN WATER DIVERSION DITCH  
 X SEDIMENT BASIN POROUS Baffles  
 PUMP DISCHARGE HOSE  
 805 EXISTING CONTOUR  
 805 PROPOSED CONTOUR  
 DRAINAGE AREA BOUNDARY  
 CE CONSTRUCTION ENTRANCE  
 SO SILT FENCE OUTLET  
 CS CONCRETE WASHOUT STATION  
 RCD ROCK CHECK DAM  
 IP INLET PROTECTION  
 RPIP ROCK PIPE INLET PROTECTION  
 SK SKIMMER  
 TSD TEMPORARY SLOPE DRAIN  
 RIP RIP-RAP OUTLET PROTECTION  
 SB SILT BAG  
 DASA DESIGNATED AREAS TO BE STABILIZED WITHIN 7 DAYS  
 TEMPS TEMPORARY EROSION CONTROL MATTING

**PHASE 2 CONSTRUCTION SEQUENCE:**

- THE FOLLOWING PHASE 2 CONSTRUCTION SEQUENCE IS FURNISHED AS A GENERAL GUIDE FOR PREPARATION OF A SEQUENCE OF CONSTRUCTION EVENTS.
- MAINTAIN CONSTRUCTION ENTRANCE AND SILT FENCE.
- CALL FOR ON-SITE INSPECTION BY INSPECTOR ONCE ALL PHASE 2 EROSION CONTROL MEASURES ARE INSTALLED. OBTAIN CERTIFICATE OF COMPLIANCE FROM WAKE COUNTY.
- CONTRACTOR IS TO CUT AND/OR FILL AREAS TO BRING THE SITE TO THE PROPOSED GRADES SHOWN ON THE GRADING AND DRAINAGE PLANS. GRADING ACTIVITY SHALL BE LIMITED TO WITHIN THE CLEARING LIMITS. MAINTAIN ALL EROSION CONTROL MEASURES AS NECESSARY.
- PROVIDE GROUND COVER ON SLOPES GREATER THAN 3:1 WITHIN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PROVIDE GROUND COVER TO ALL OTHER AREAS WITHIN 14 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY.
- INSTALL STORM DRAINAGE AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS, SEDIMENT TRAPS, OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES.
- INSPECT AND REPAIR EROSION CONTROL MEASURES AFTER EVERY RAINFALL EVENT OF 1/2" OR GREATER OR EVERY SEVEN (7) CALENDAR DAYS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NC DENR EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPARTMENT OF AGRICULTURE, AND CITY OF GREENVILLE EROSION CONTROL ORDINANCE.
- REFER TO SHEET C0.1 - GENERAL NOTES FOR GENERAL EROSION CONTROL NOTES AND MAINTENANCE.
- ALL EROSION CONTROL MEASURES TO REMAIN IN PLACE UNTIL +/- 80% STABILIZATION IS ACHIEVED.
- ONCE CONSTRUCTION IS COMPLETE AND ENTIRE SITE IS STABILIZED, CALL FOR FINAL INSPECTION BY WAKE COUNTY ENVIRONMENTAL CONSULTANT. IF APPROVED, REMOVE REMAINING EROSION CONTROL MEASURES. ALL REMAINING PERMANENT EROSION CONTROL DEVICES SHOULD NOW BE INSTALLED.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL INSPECTION BY WAKE COUNTY ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.

**LIMITS OF DISTURBANCE: 0.77 AC**

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Plotted By: Barnes, Michael. Sheet Set: SCOOTER'S ROLESVILLE Layout.C5.1. EROSION CONTROL PLAN - PHASE 2. January 02, 2024. 04:17:04pm. K:\RAL\_LDEV\016485000-Scooters Rolesville\Planning\15-Cad\Files\PlanSheets\C5.1 EROSION CONTROL PLAN - PHASE 2.dwg  
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**Kimley-Horn**  
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 #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919.677.2000 FAX: 919.677.2050  
 421 FAYETTEVILLE STREET, SUITE 800, RALEIGH, NC 27601

**SCOOTER'S ROLESVILLE**  
 PREPARED FOR  
**S&S JAVA ENTERPRISES**  
 ROLESVILLE, NC

**EROSION CONTROL PLAN - PHASE 2**

KHA PROJECT: 016485000  
 DATE: 10/31/2023  
 SCALE: AS SHOWN  
 DESIGNED BY: JAA  
 DRAWN BY: JAA  
 CHECKED BY: COB

TOWN COMMENTS: 01/02/2024 IMDB BY: DATE

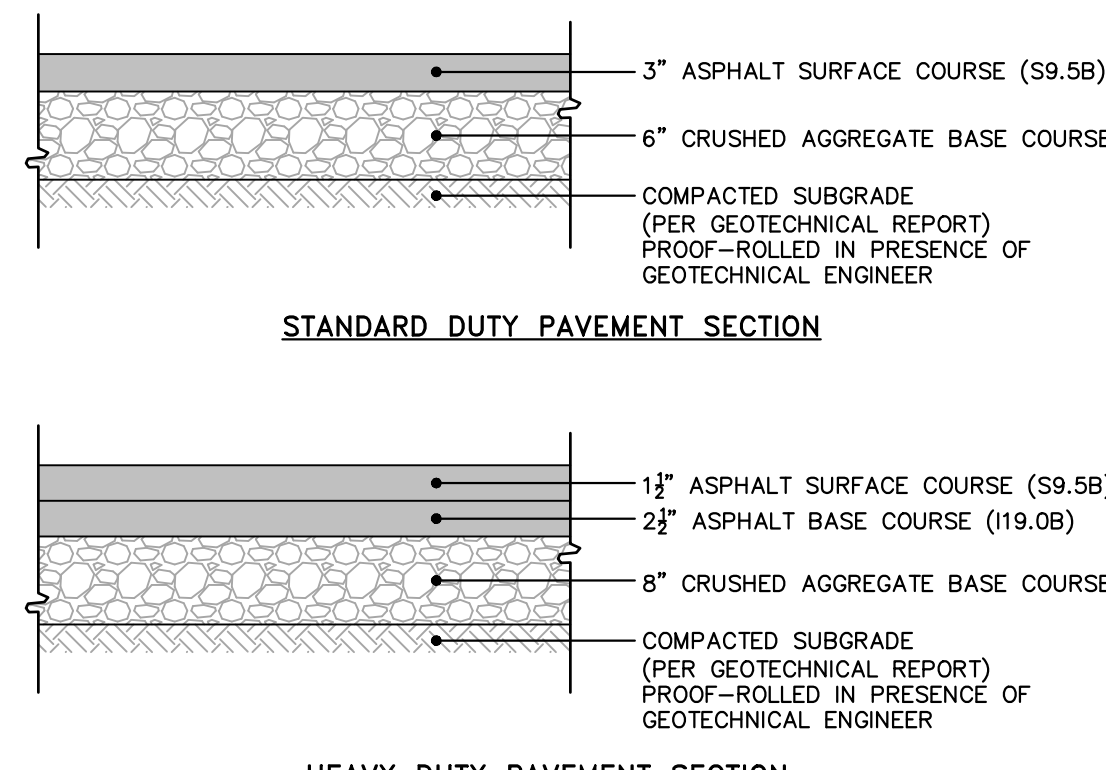
SHEET NUMBER: C5.1





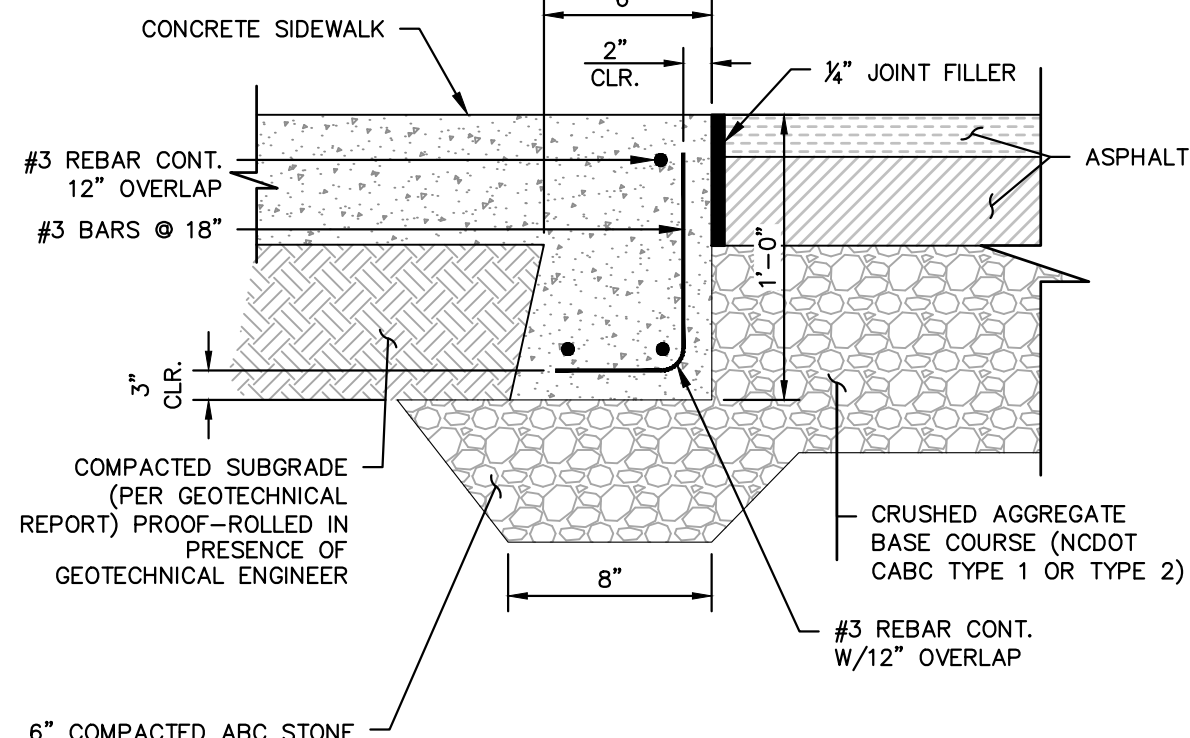


Plotted By: Barnes, Michael. Sheet: SCOOTER'S ROLESVILLE. Layout: C8.0 SITE DETAILS. January 02, 2024. 04:17:21 PM. K:\RAL\_LDE\016485000-Scooters Rolesville\Planning\15\_CAD Files\Plan\Sheets\C8.0 SITE DETAILS.dwg  
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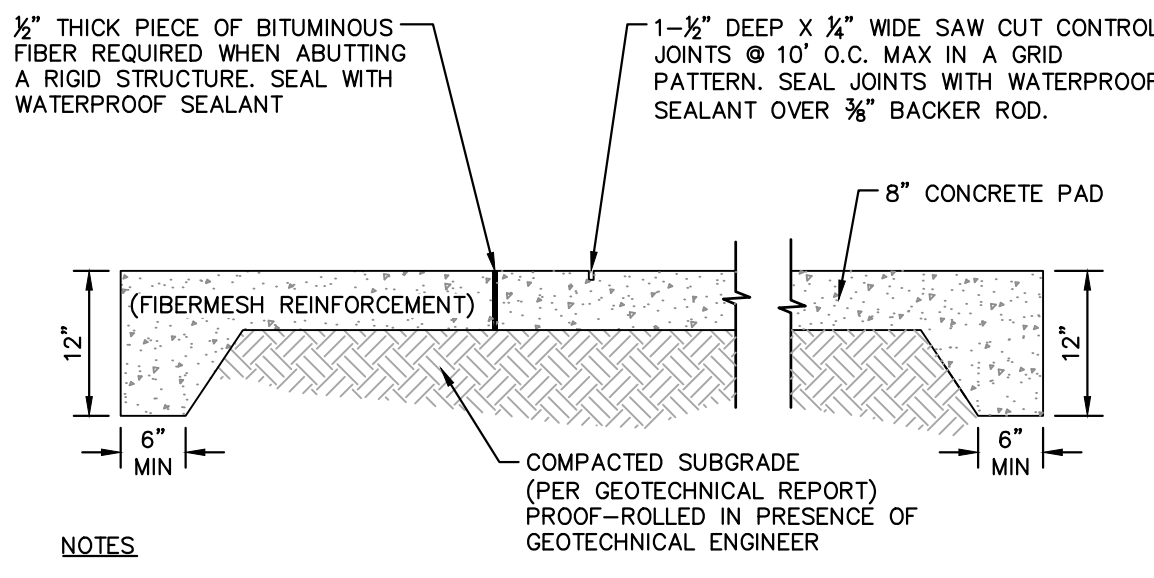


**NOTES**  
 1. ALL PAVEMENT MATERIALS SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATIONS.  
 2. PAVEMENT SECTION MUST MEET THE CRITERIA GIVEN IN THE SITE SOIL REPORT.

**ASPHALT PAVEMENT SECTIONS**  
 N.T.S. KHA DETAIL NO: 02.101.R02 XX

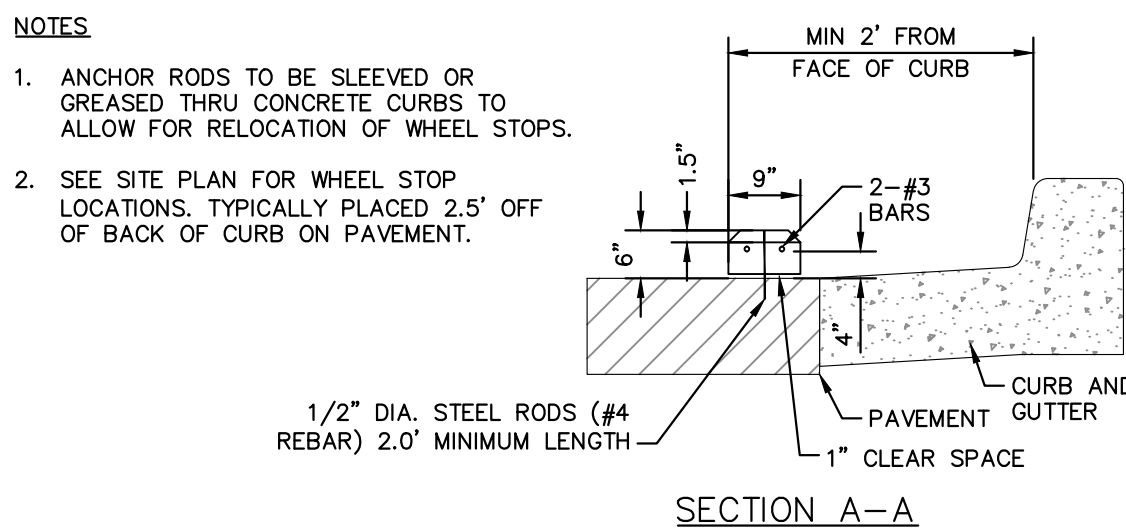
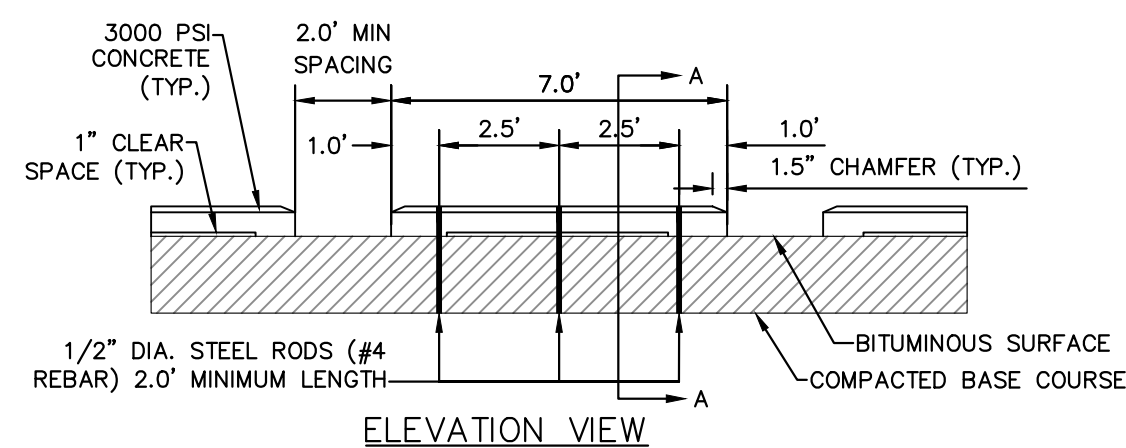


**FLUSH CONCRETE SIDEWALK**  
 N.T.S. KHA DETAIL NO: 02.104.R02 XX



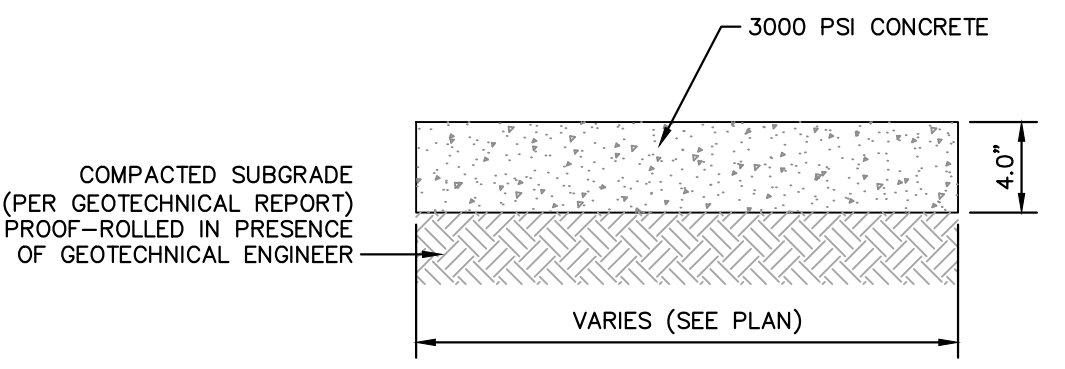
**NOTES**  
 1. EXPANSION JOINTS AT BUILDINGS OR IMMOVABLE OBJECTS.  
 2. CONTROL JOINTS 12' O.C.  
 3. EXPANSION JOINTS 30' O.C. (MAX)  
 4. CONTROL JOINT SPACING MAY VARY.  
 5. BROOM FINISH

**CONCRETE APRON AND DUMPSTER PAD**  
 N.T.S. KHA DETAIL NO: 02.107.R01 XX

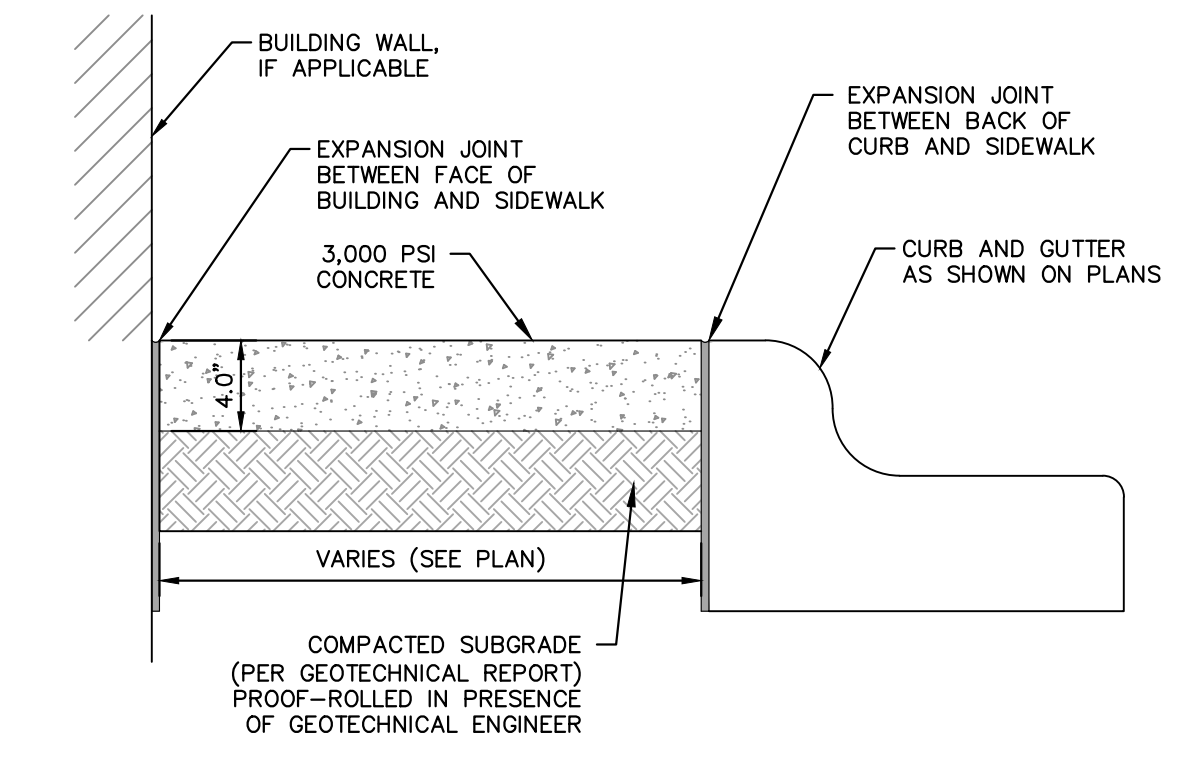


**NOTES**  
 1. ANCHOR RODS TO BE SLEEVED OR GREASED THRU CONCRETE CURBS TO ALLOW FOR RELOCATION OF WHEEL STOPS.  
 2. SEE SITE PLAN FOR WHEEL STOP LOCATIONS. TYPICALLY PLACED 2.5' OFF OF BACK OF CURB ON PAVEMENT.

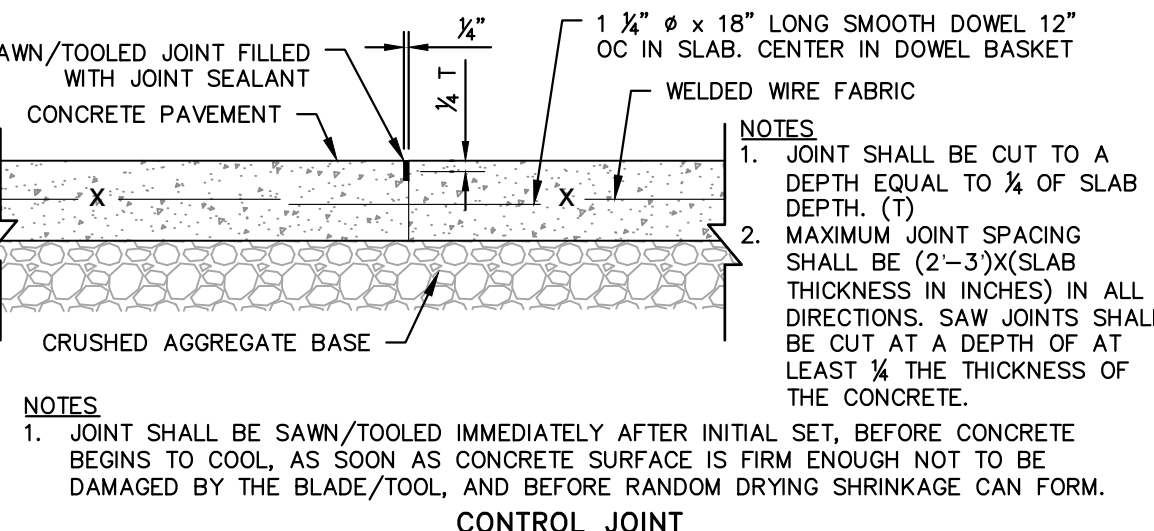
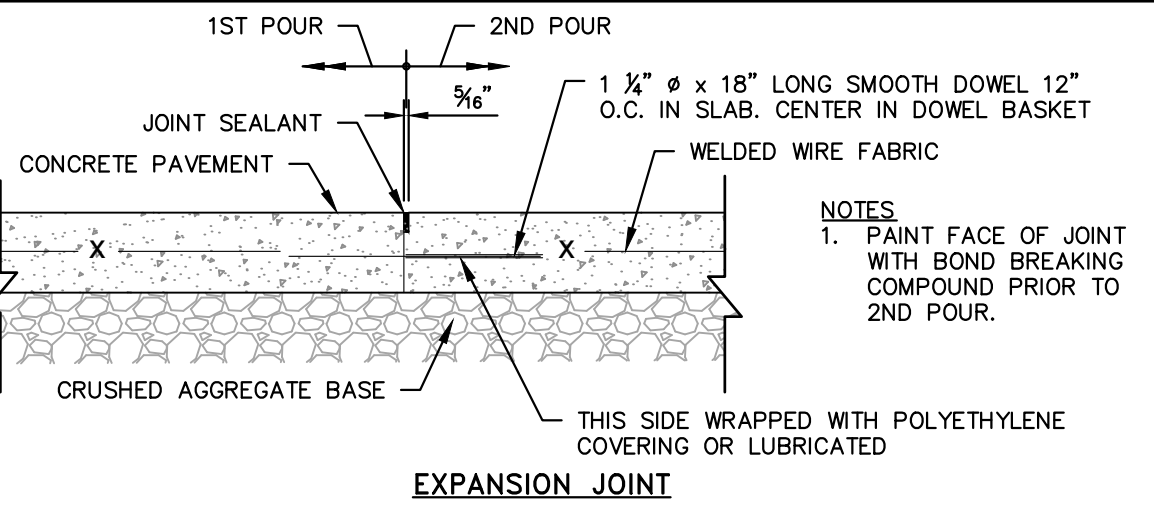
**WHEEL STOP**  
 N.T.S. KHA DETAIL NO: 02.111.R02 XX



**SIDEWALK SECTION**  
 N.T.S. KHA DETAIL NO: 02.102.R01 XX

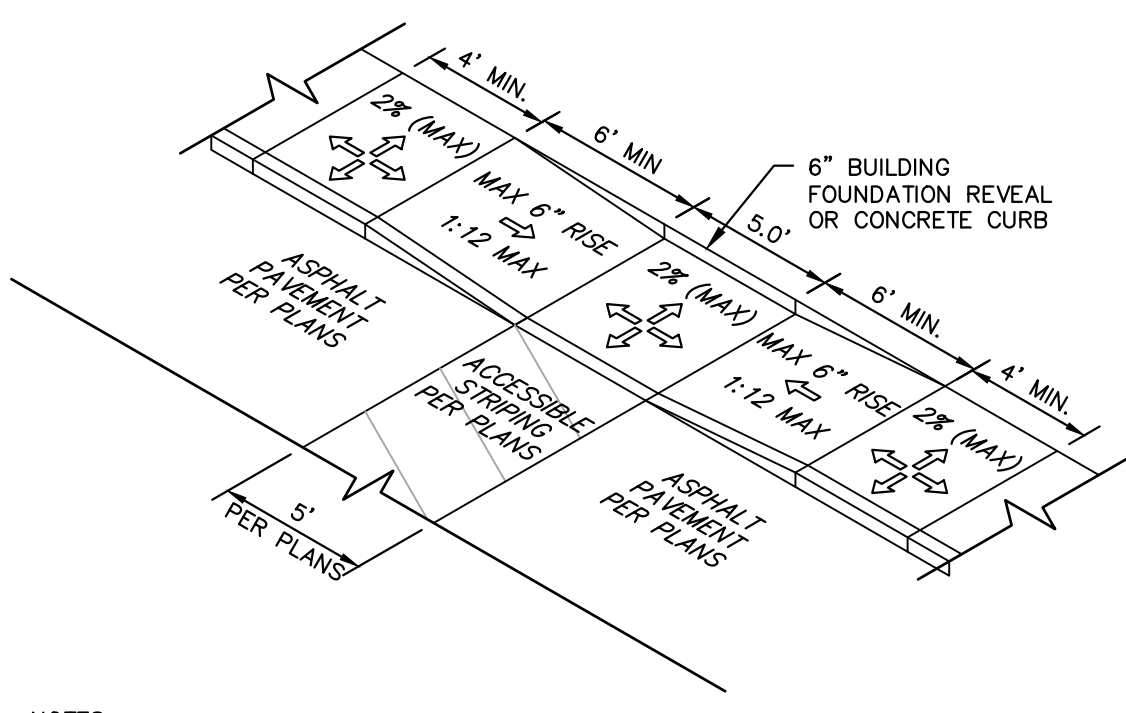


**SIDEWALK ADJACENT TO PARKING AREAS**  
 N.T.S. KHA DETAIL NO: 02.105.R02 XX



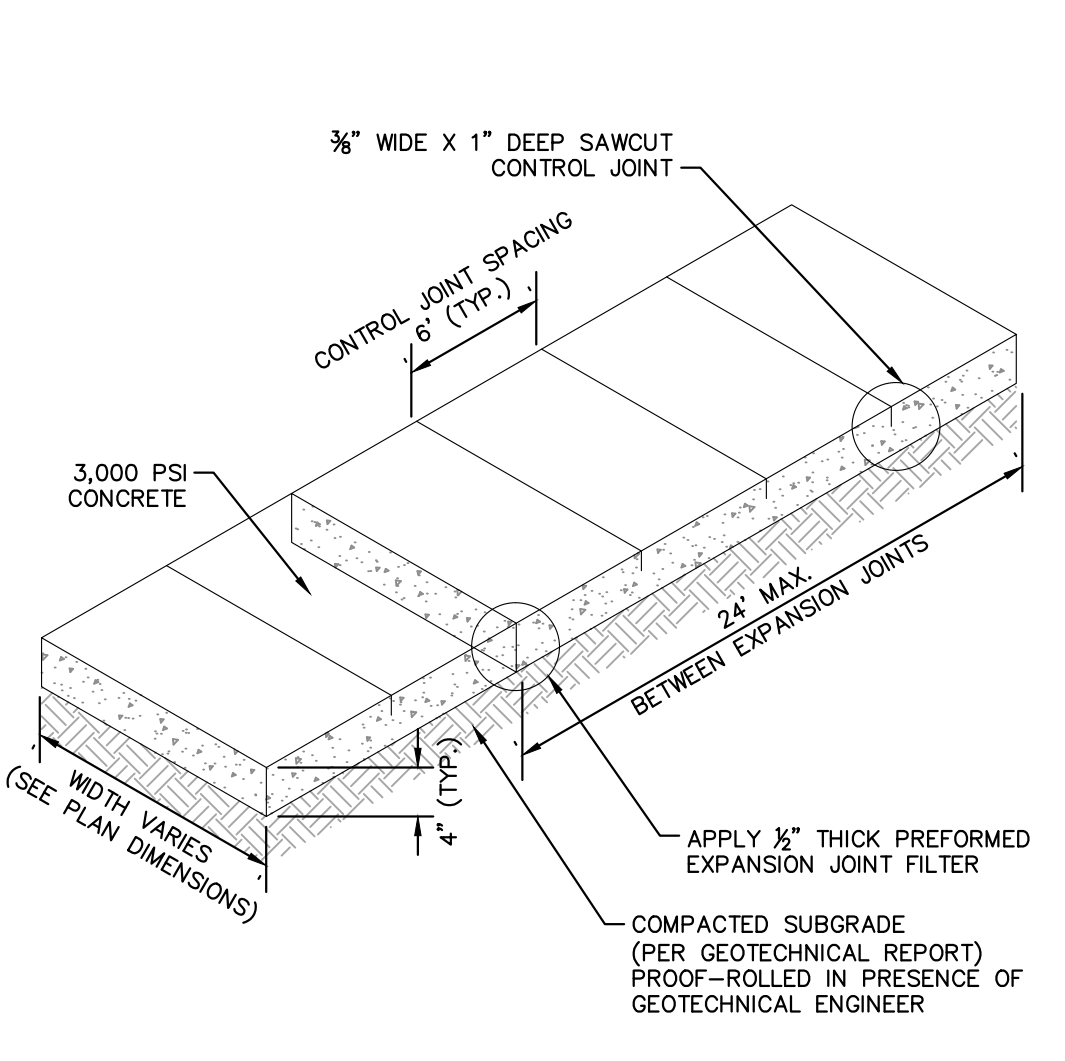
**NOTES**  
 1. JOINT SHALL BE CUT TO A DEPTH EQUAL TO 1/4 OF SLAB DEPTH (T)  
 2. MAXIMUM JOINT SPACING SHALL BE (2-3)X(SLAB THICKNESS IN INCHES) IN ALL DIRECTIONS. SAW JOINTS SHALL BE CUT AT A DEPTH OF AT LEAST 1/4 THE THICKNESS OF THE CONCRETE.  
 1. JOINT SHALL BE SAWN/TOOLED IMMEDIATELY AFTER INITIAL SET, BEFORE CONCRETE BEGINS TO COOL, AS SOON AS CONCRETE SURFACE IS FIRM ENOUGH NOT TO BE DAMAGED BY THE BLADE/TOOL, AND BEFORE RANDOM DRYING SHRINKAGE CAN FORM.

**HEAVY DUTY CONTROL AND EXPANSION JOINTS**  
 N.T.S. KHA DETAIL NO: 02.108.R02 XX

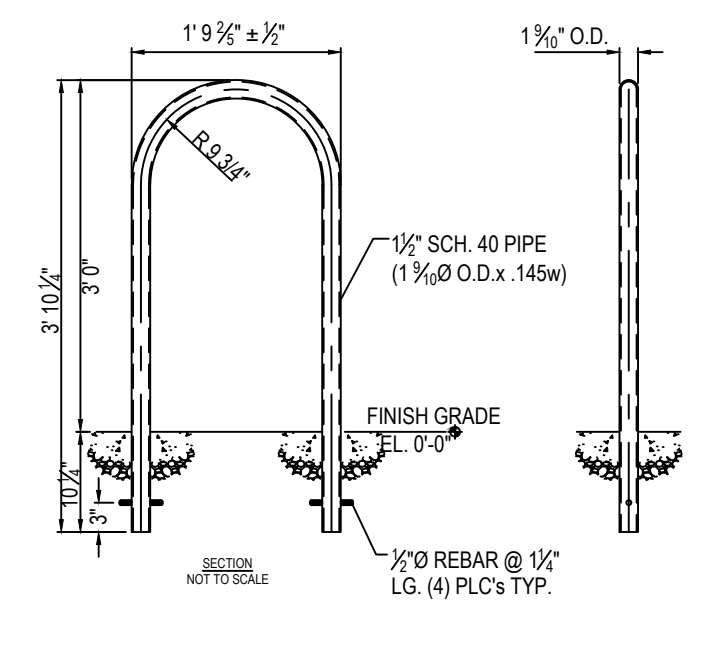


**NOTES**  
 1. ALL ACCESSIBLE COMPONENTS CONSTRUCTED AS PART OF THESE PLANS SHALL COMPLY WITH THE LOCAL, STATE, AND FEDERAL REGULATIONS WHICH EVER ARE MORE STRINGENT.  
 2. CURB RAMPS SHALL BE CONCRETE WITH STRENGTH OF 3,000 PSI.  
 3. INSTALL 1/4" EXPANSION JOINT FILLER MATERIAL BETWEEN A NEW CURB RAMP AND THE EXISTING SIDEWALKS.  
 4. WATER PONDING WITHIN THE CURB RAMP LIMITS IS NOT ALLOWED.  
 5. NO GRADE BREAK IS ALLOWED ALONG THE RAMP SURFACE.  
 6. CROSS SLOPE OF THE CURB RAMP SURFACE SHALL BE LESS THAN 2%.

**DEPRESSED CURB RAMP**  
 N.T.S. KHA DETAIL NO: 02.109.R02 XX



**SIDEWALK**  
 N.T.S. KHA DETAIL NO: 02.103.R02 02



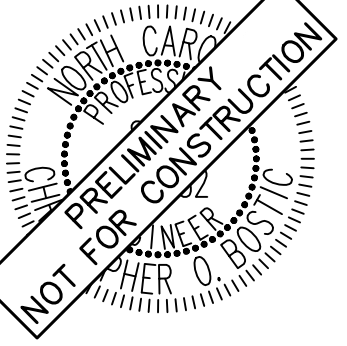
**NOTES**  
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
 2. DO NOT SCALE DRAWINGS.  
 3. CONTACT MANUFACTURER FOR CUSTOM COLORS.  
 4. SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL.  
 NOTE: RACKS SHALL BE SPACED AT LEAST 24" FROM WALLS, CURB FACES, PAVEMENT EDGES, AND OTHER OBSTRUCTIONS. AT LEAST 36" CLEARANCE SHALL BE PROVIDED FROM THE CENTERLINE OF EACH ADJACENT RACK. A MINIMUM 4" AISLE SHALL BE PROVIDED TO THE FRONT OR REAR OF A BICYCLE SPACE.

**BIKE RACK DETAIL**  
 SCALE: NTS  
 REVISION DATE: 05/10/2016

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7	6	5	4	3	2	1	No.

**Kimley-Horn**  
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 #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919.677.2000 FAX: 919.677.2050  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601



KHA PROJECT	016485000
DATE	10/31/2023
SCALE	AS SHOWN
DESIGNED BY	JAA
DRAWN BY	JAA
CHECKED BY	COB

**SITE DETAILS**

**SCOOTER'S ROLESVILLE**  
 PREPARED FOR  
**S&S JAVA ENTERPRISES**  
 ROLESVILLE, NC

SHEET NUMBER  
**C8.0**



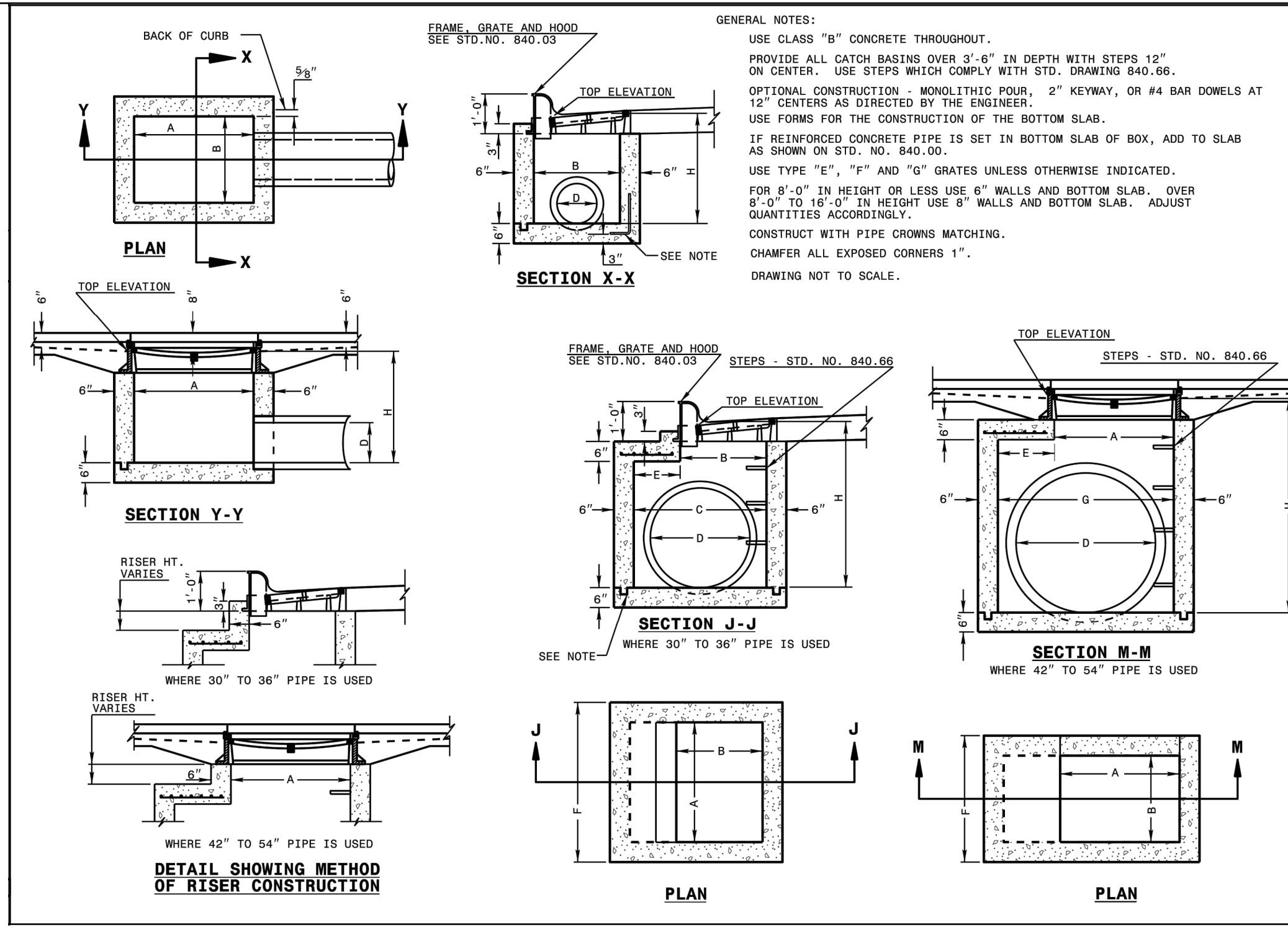
Know what's below.  
 Call before you dig.

SDP-23-07

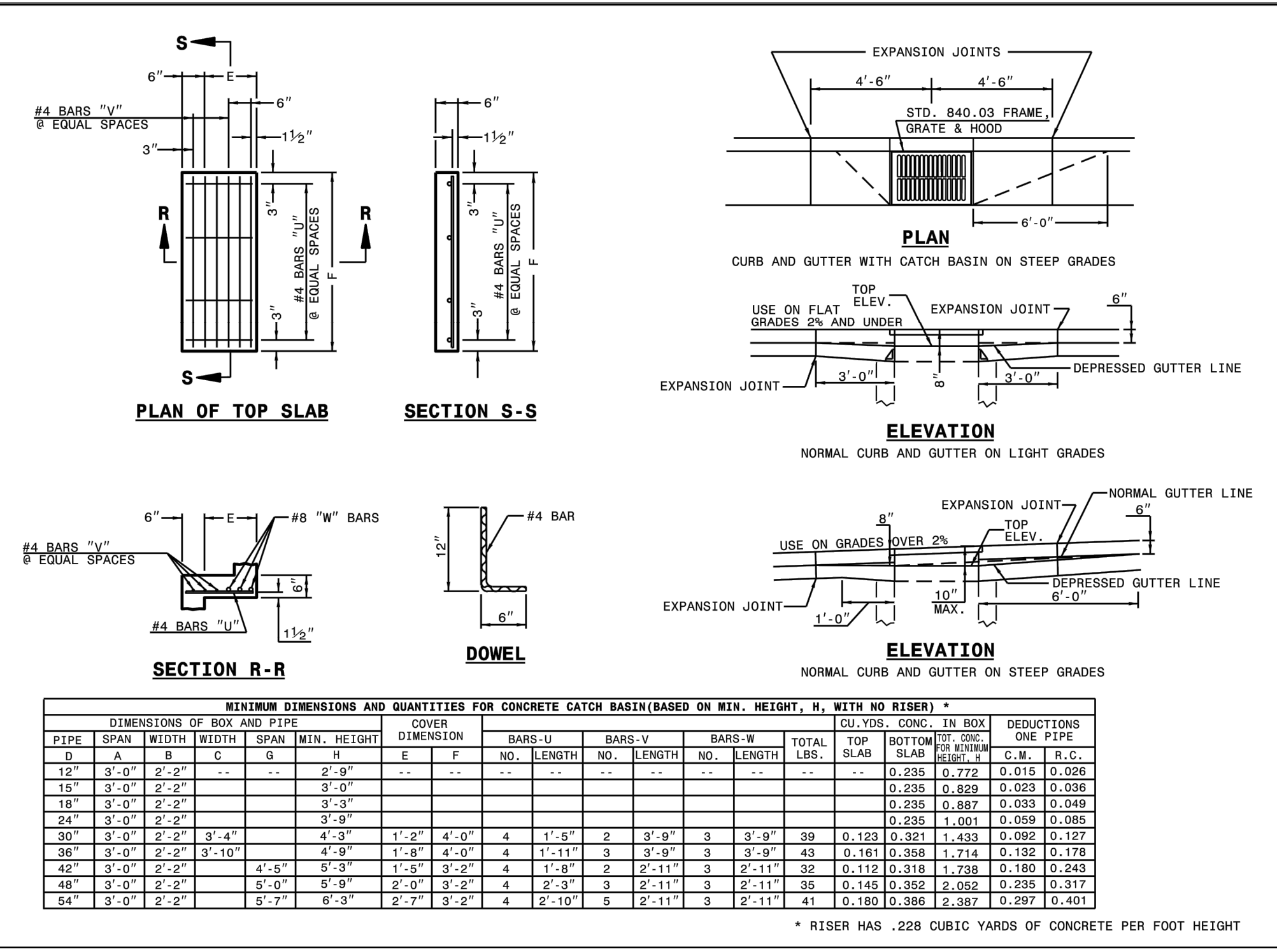




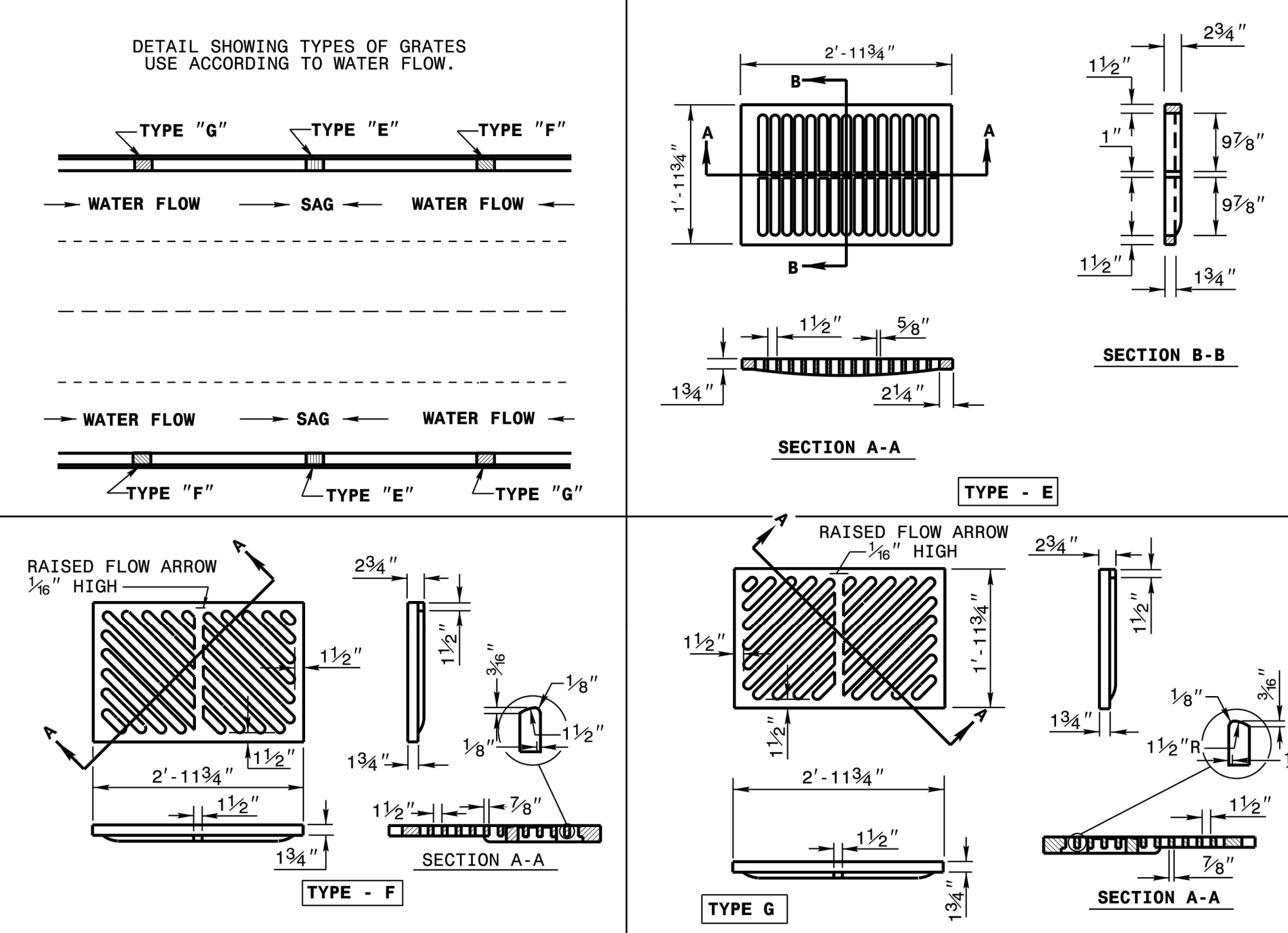
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STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.  
 ROADWAY STANDARD DRAWING FOR CONCRETE CATCH BASIN 12" THRU 54" PIPE  
 SHEET 1 OF 2  
**840.02**



STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.  
 ROADWAY STANDARD DRAWING FOR CONCRETE CATCH BASIN 12" THRU 54" PIPE  
 SHEET 2 OF 2  
**840.02**



STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.  
 ROADWAY STANDARD DRAWING FOR FRAME, GRATES, AND HOOD FOR USE ON STANDARD CATCH BASIN  
 SHEET 2 OF 2  
**840.03**

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**STORM DETAILS**

SCOOTER'S ROLESVILLE PREPARED FOR S&S JAVA ENTERPRISES ROLESVILLE NC

KHA PROJECT 016485000 DATE 10/31/2023 SCALE AS SHOWN DESIGNED BY JAA DRAWN BY JAA CHECKED BY COE

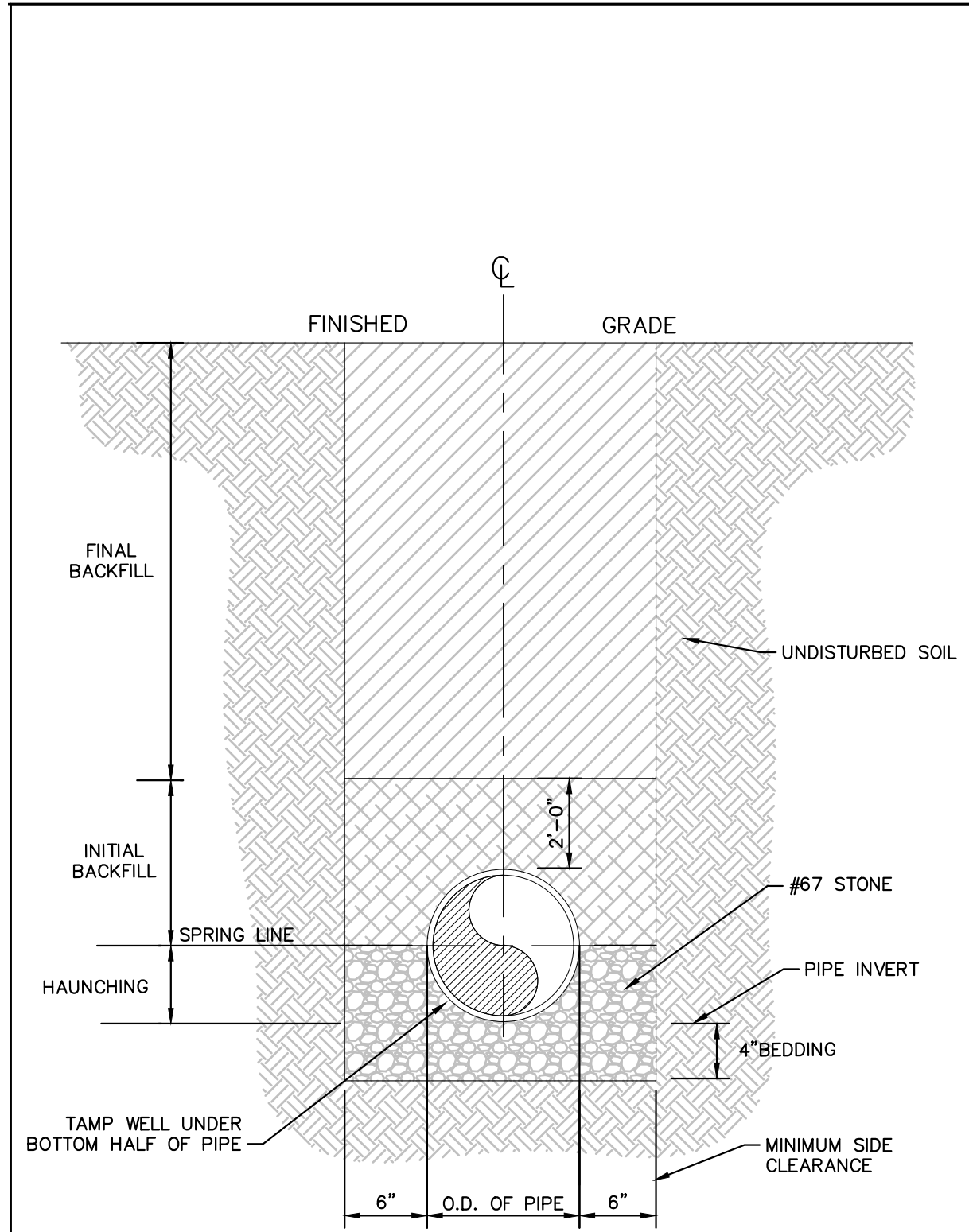
SHEET NUMBER C9.1

REVISIONS

No.	DATE	BY
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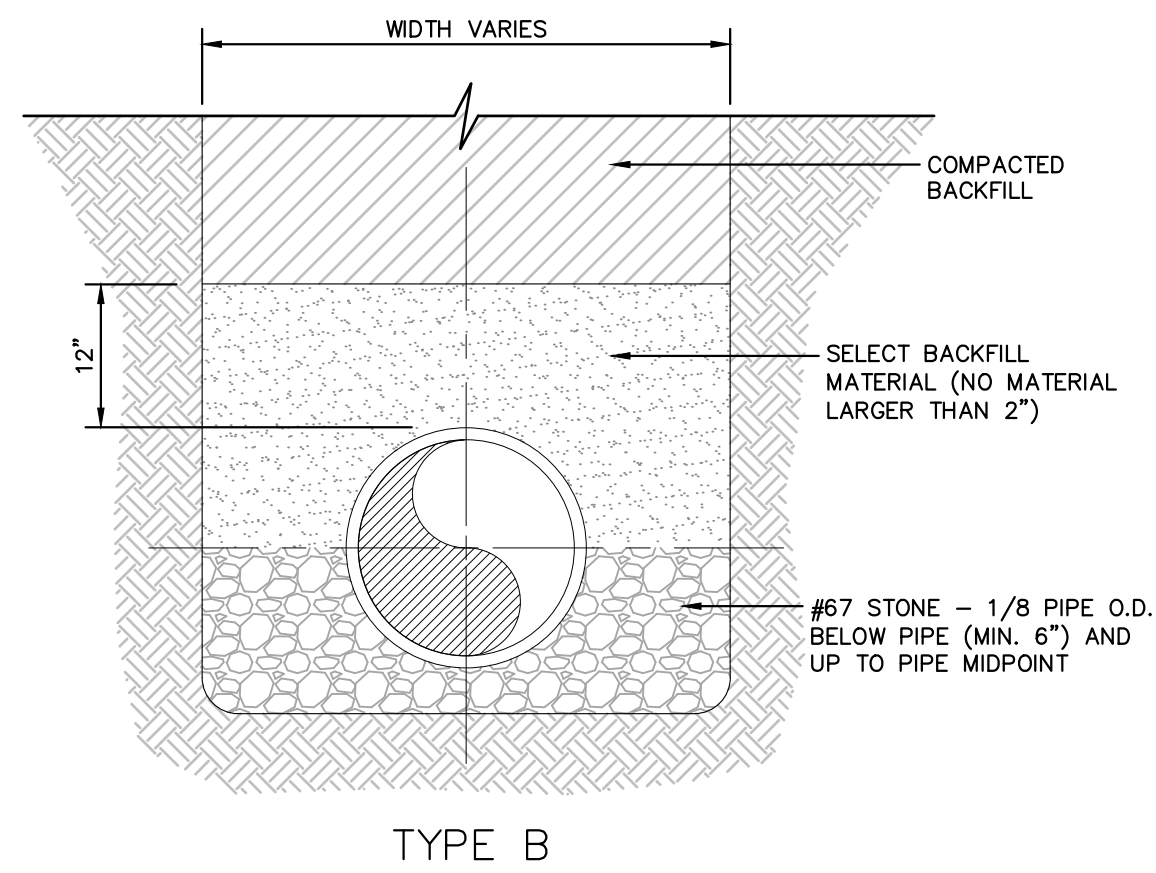
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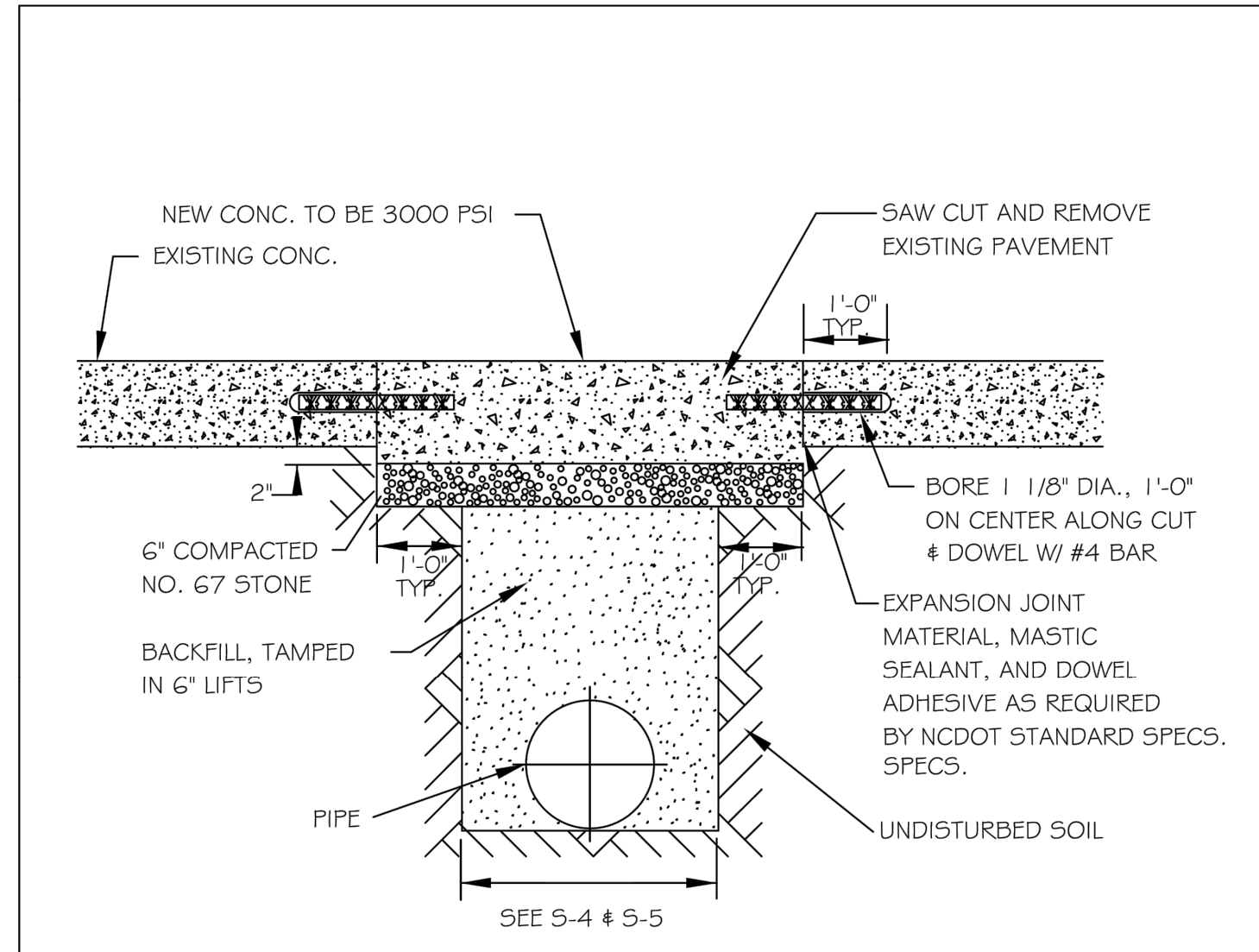
**NOTES**

- FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
- NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
- ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
- BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

**BEDDING AND TRENCH**  
N.T.S. KHA DETAIL NO: 04.101.R01 XX

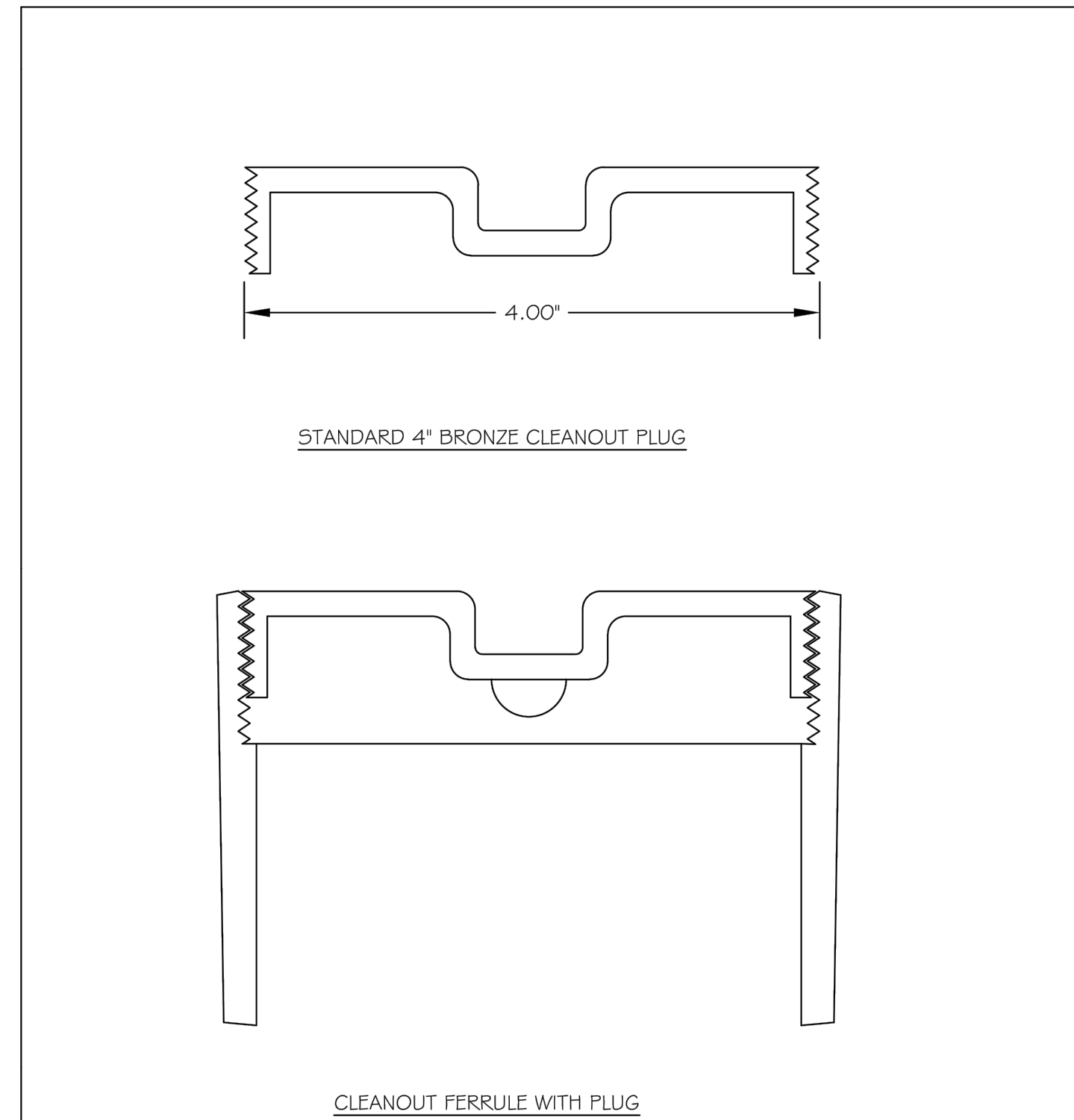


**BACKFILL SECTION**  
N.T.S. KHA DETAIL NO: 04.102.R01 XX



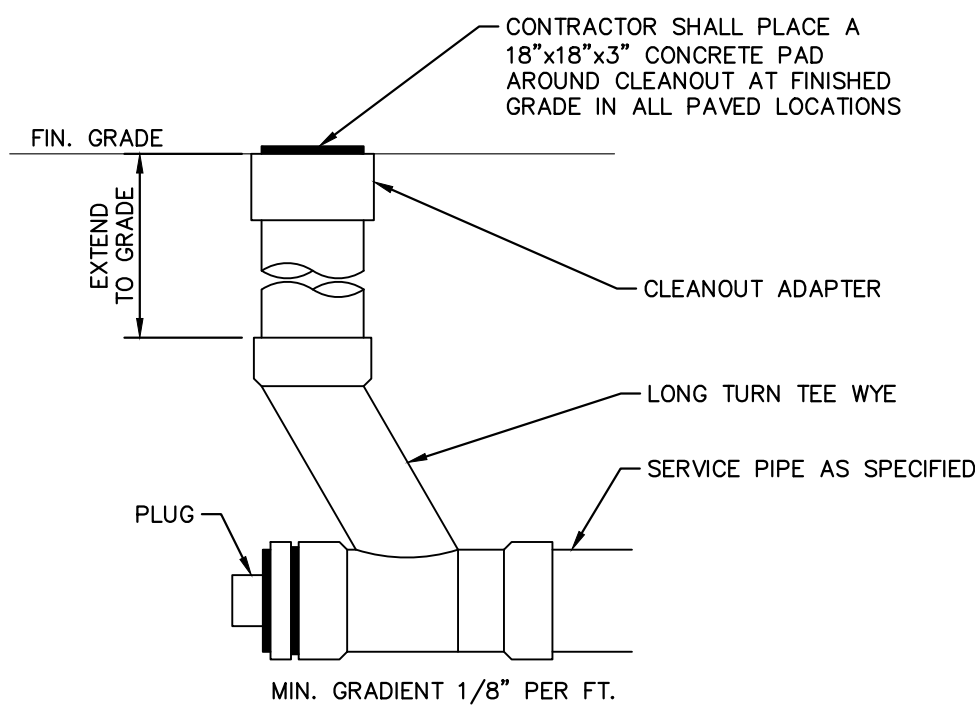
- NOTES:**
- See City of Raleigh standards for trenches and pipe bedding (5-4 & 5-5) for additional details.
  - Pavement cuts over 5'-0" in width shall be reinforced to N.C.D.O.T. standards.
  - Pavement cuts shall be made with an appropriate saw cut machine.
  - Pavement cuts within NCDOT ROW shall conform to the approved on site encroachment permit.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD CONCRETE PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-2	D.W.C.	6-23-99	A.B.B.	4-19-04
	RRH	3-30-00	J.P.S	0-8-10



STYLES ACCEPTED:  
INVERTED NUT  
RAISED NUT

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
4\"/>				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-34	D.W.C.	3-27-98	RRH	3-30-00

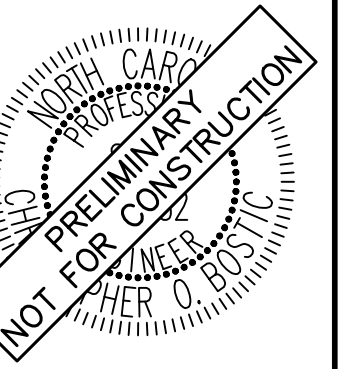


**CLEANOUT**  
N.T.S. KHA DETAIL NO: 04.201.R01 XX

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NO.	REVISIONS	DATE	BY

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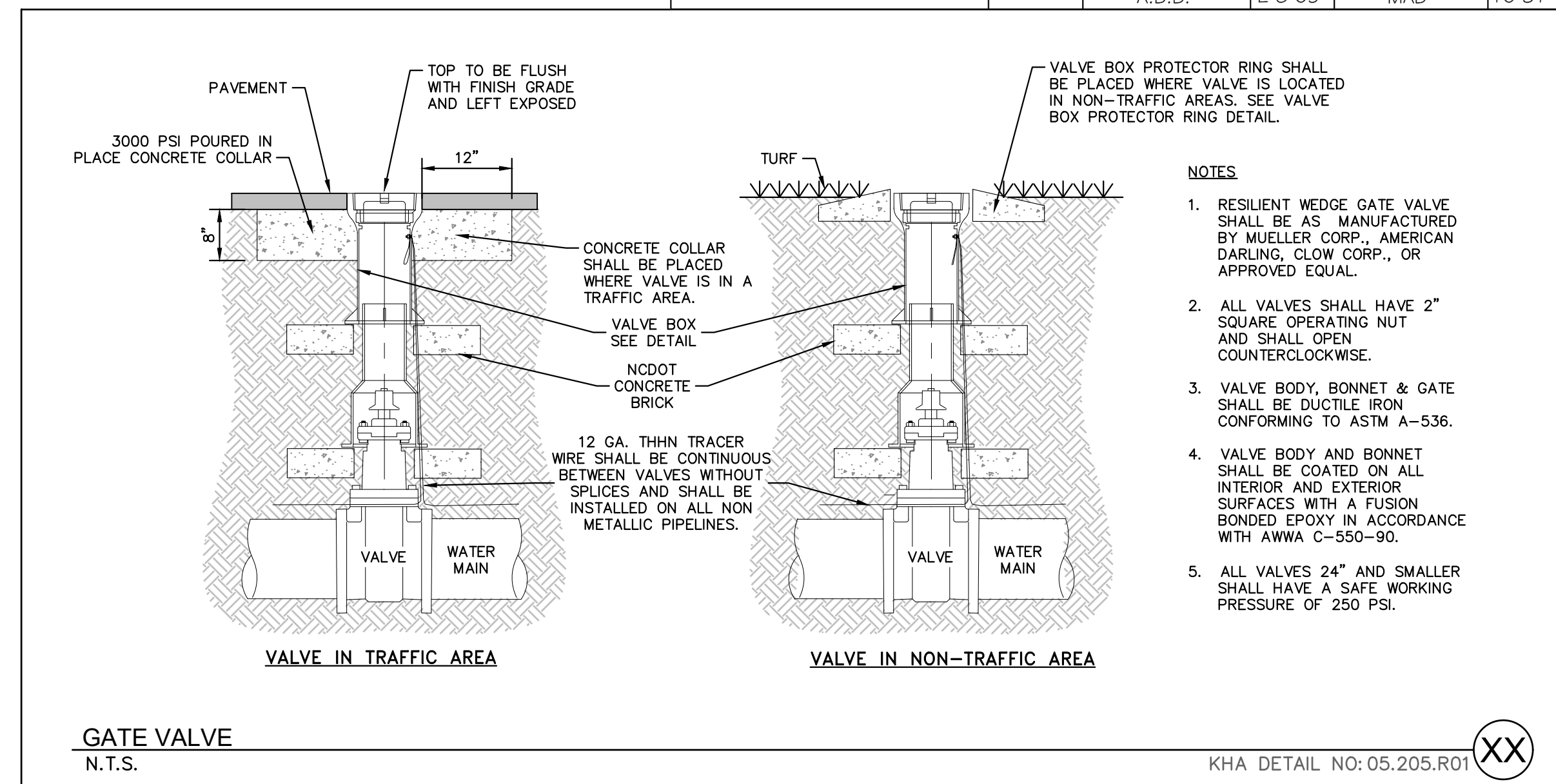
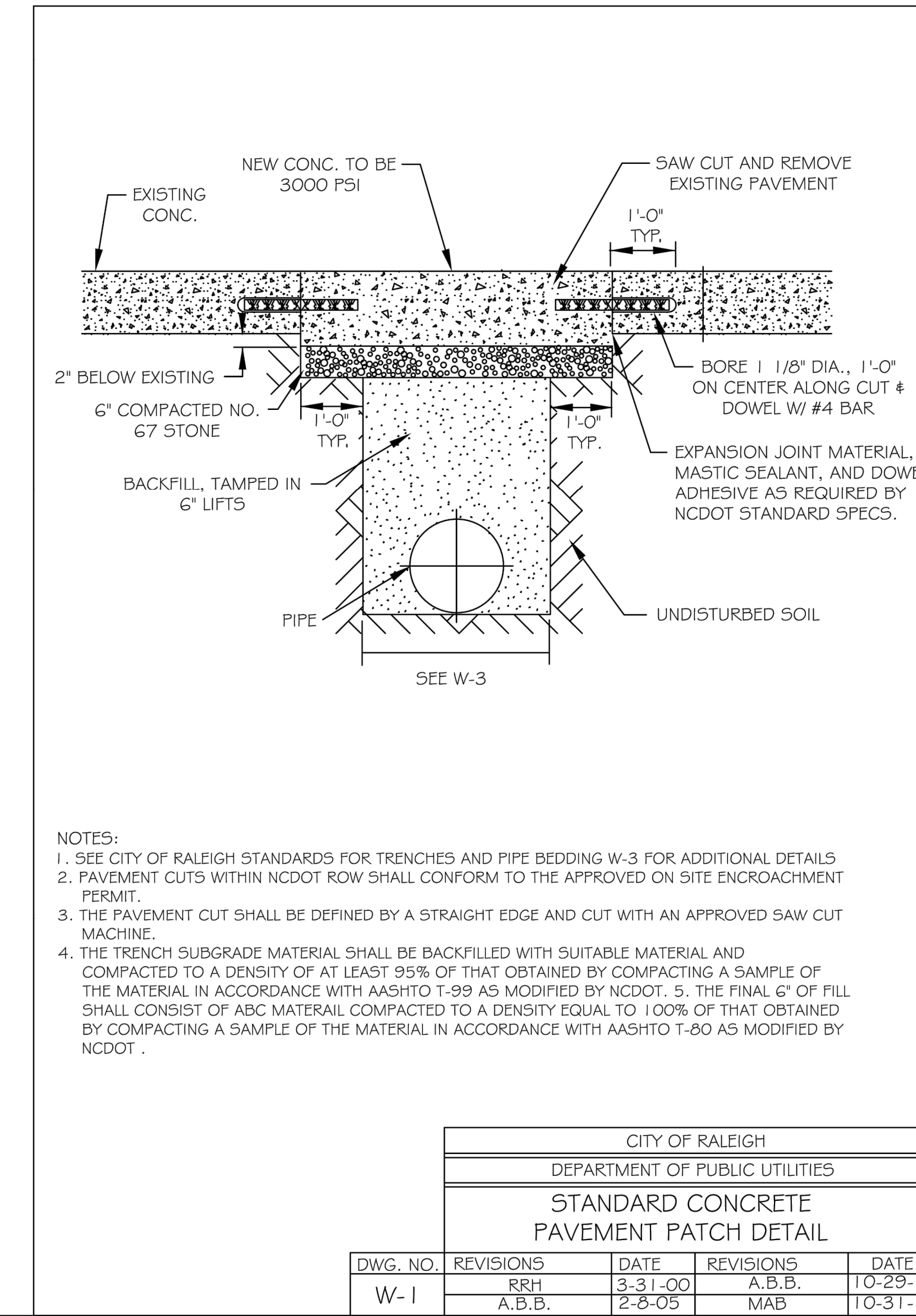
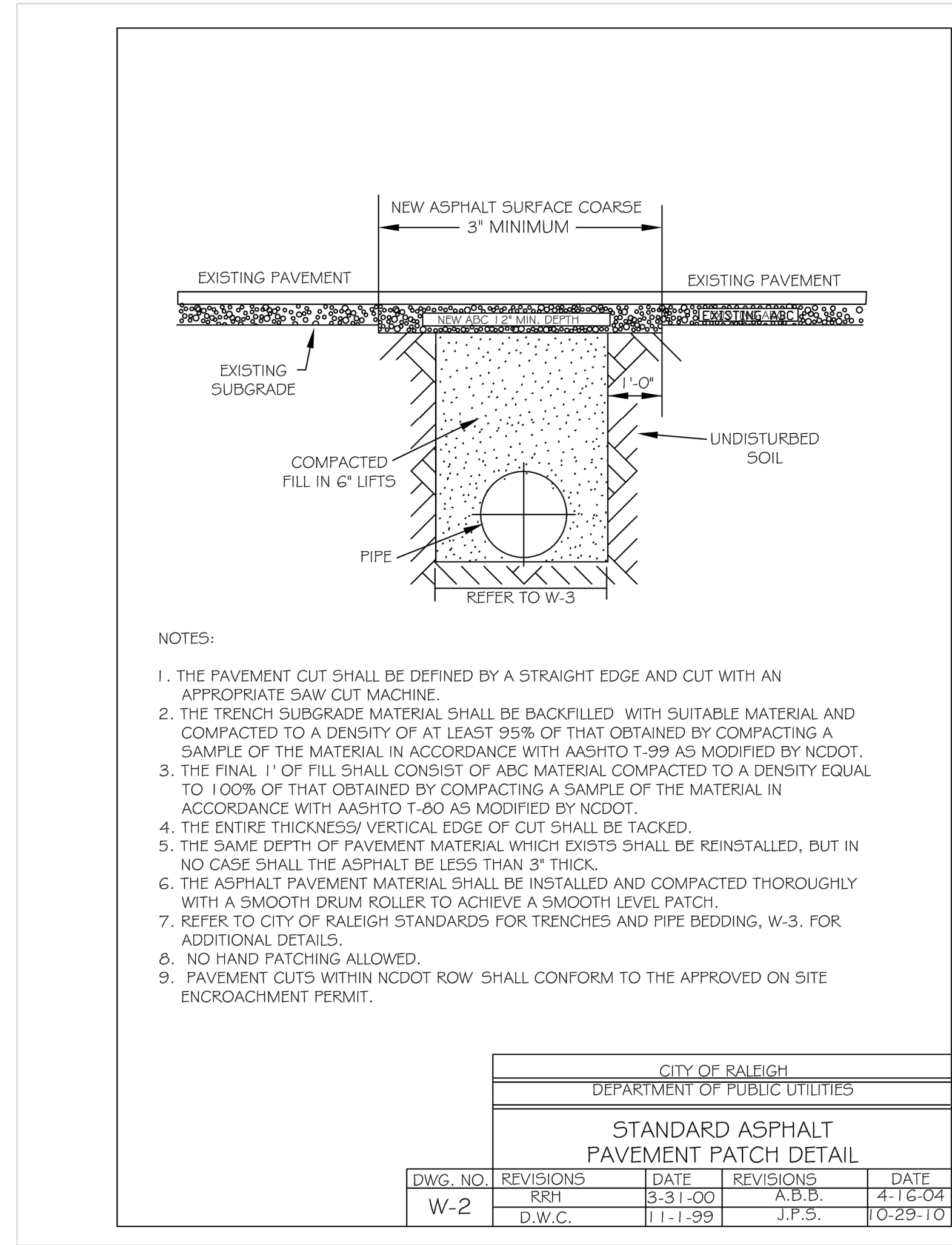
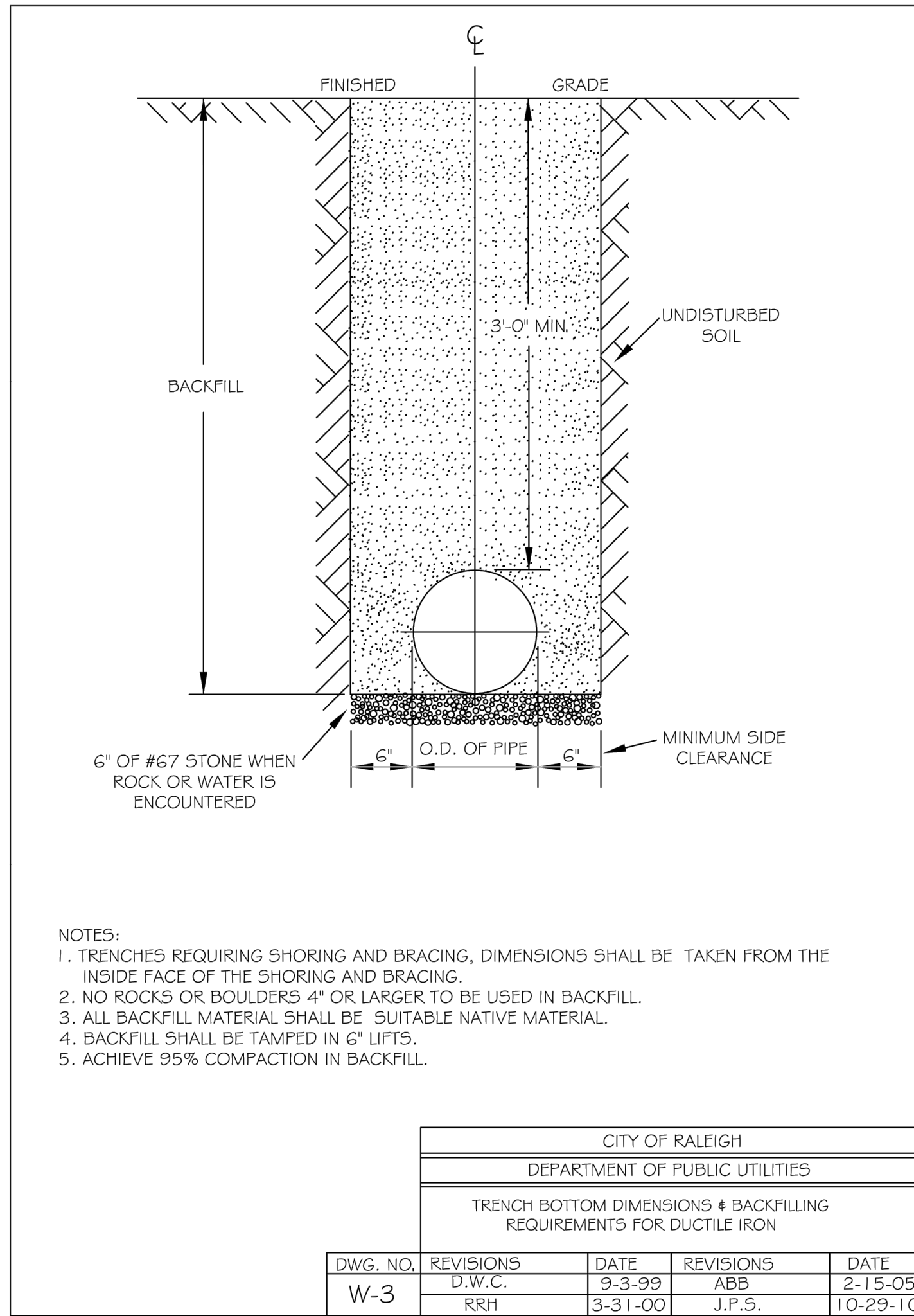
KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
016485000	10/31/2023	AS SHOWN	JAA	JAA	COB

**SANITARY SEWER DETAILS**

**SCOOTER'S ROLESVILLE**  
PREPARED FOR  
**S&S JAVA ENTERPRISES**  
ROLESVILLE NC



Plotted By: Barnes, Michael. Sheet: SCOOTER'S ROLESVILLE Layout: C11.0 WATER DETAILS January 02, 2024 04:17:50pm K:\RAL\DEVELO\6485000-Scoters Rolesville\Plan\Sheet\C11.0 WATER DETAILS.dwg  
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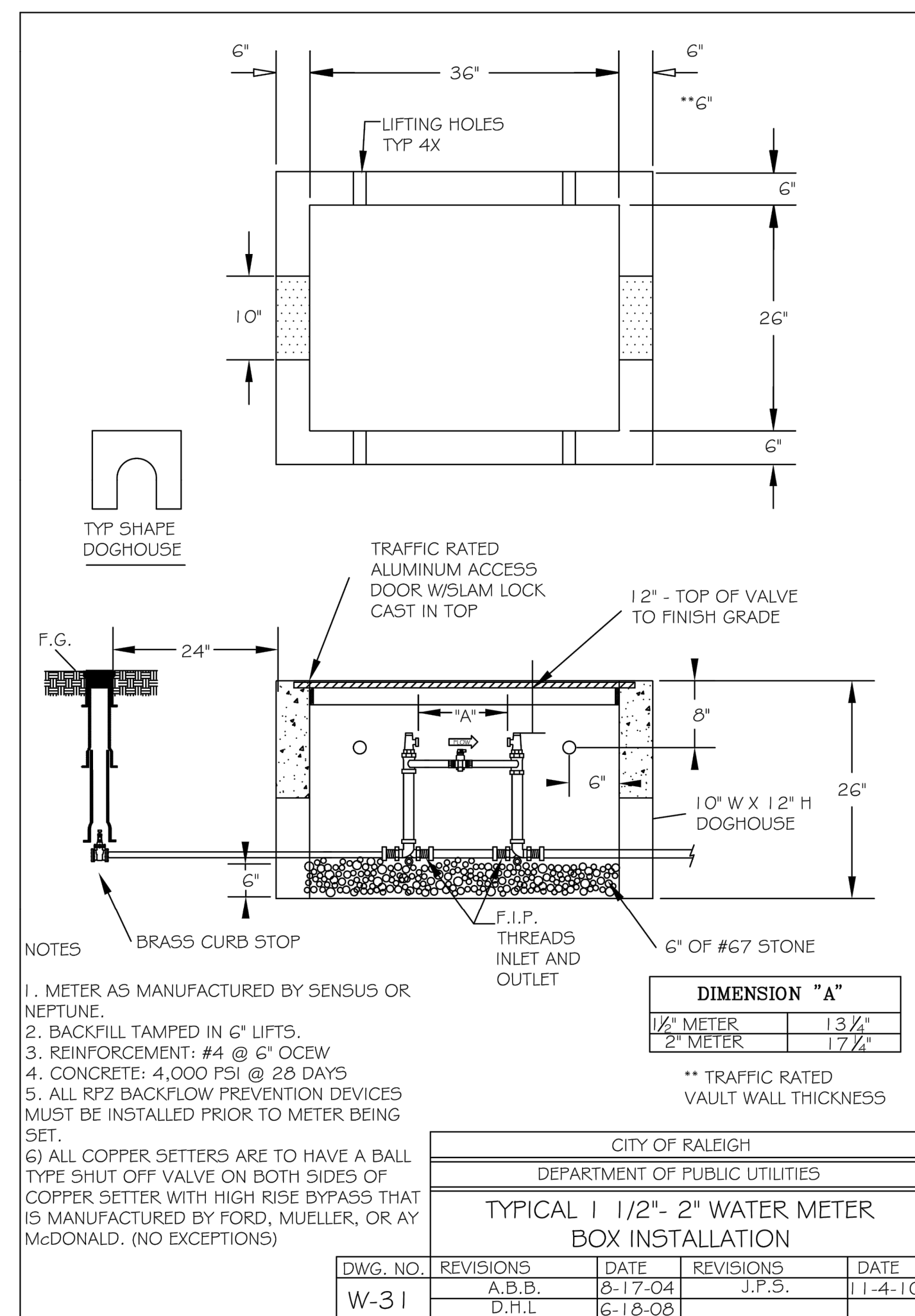
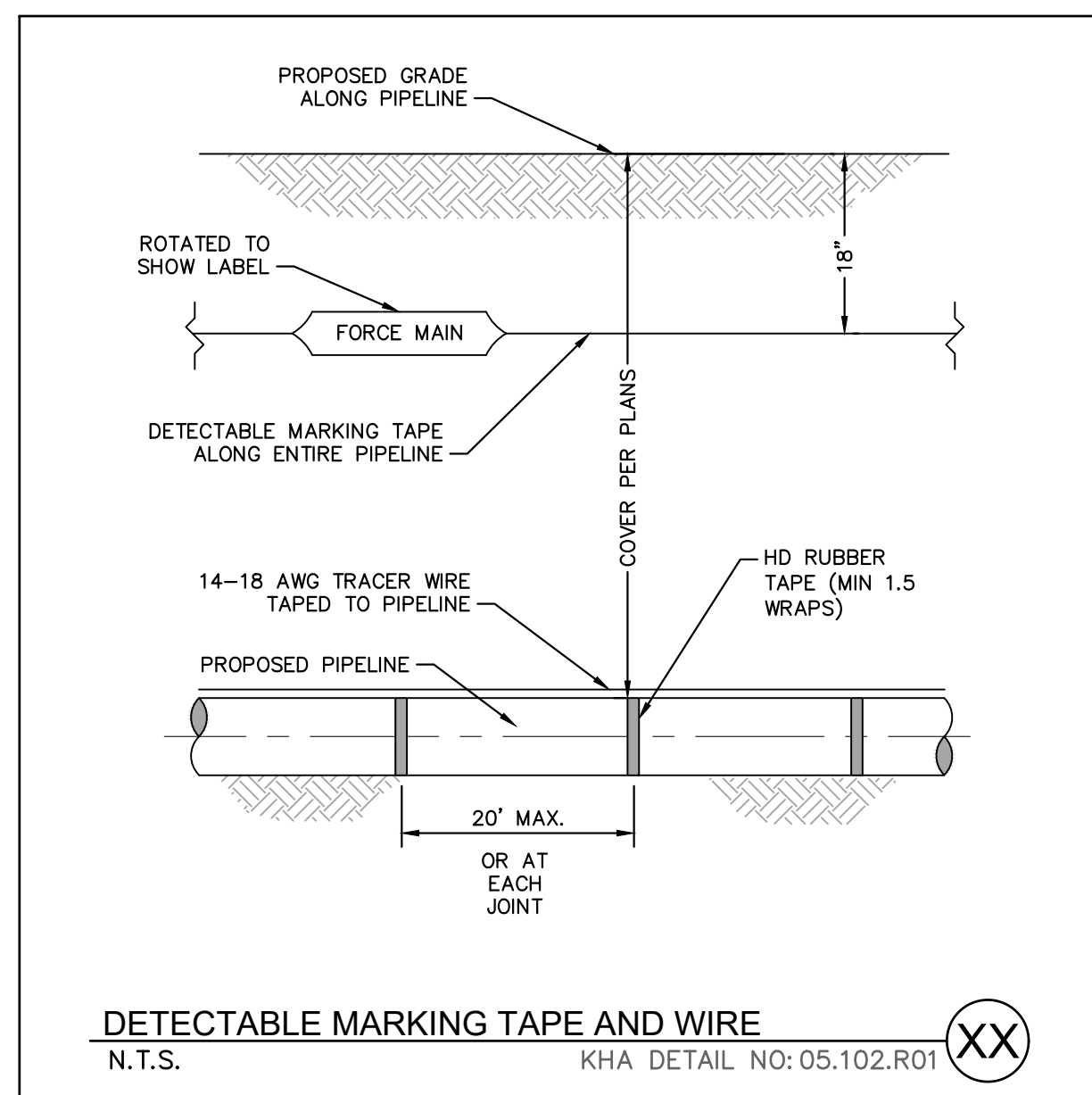
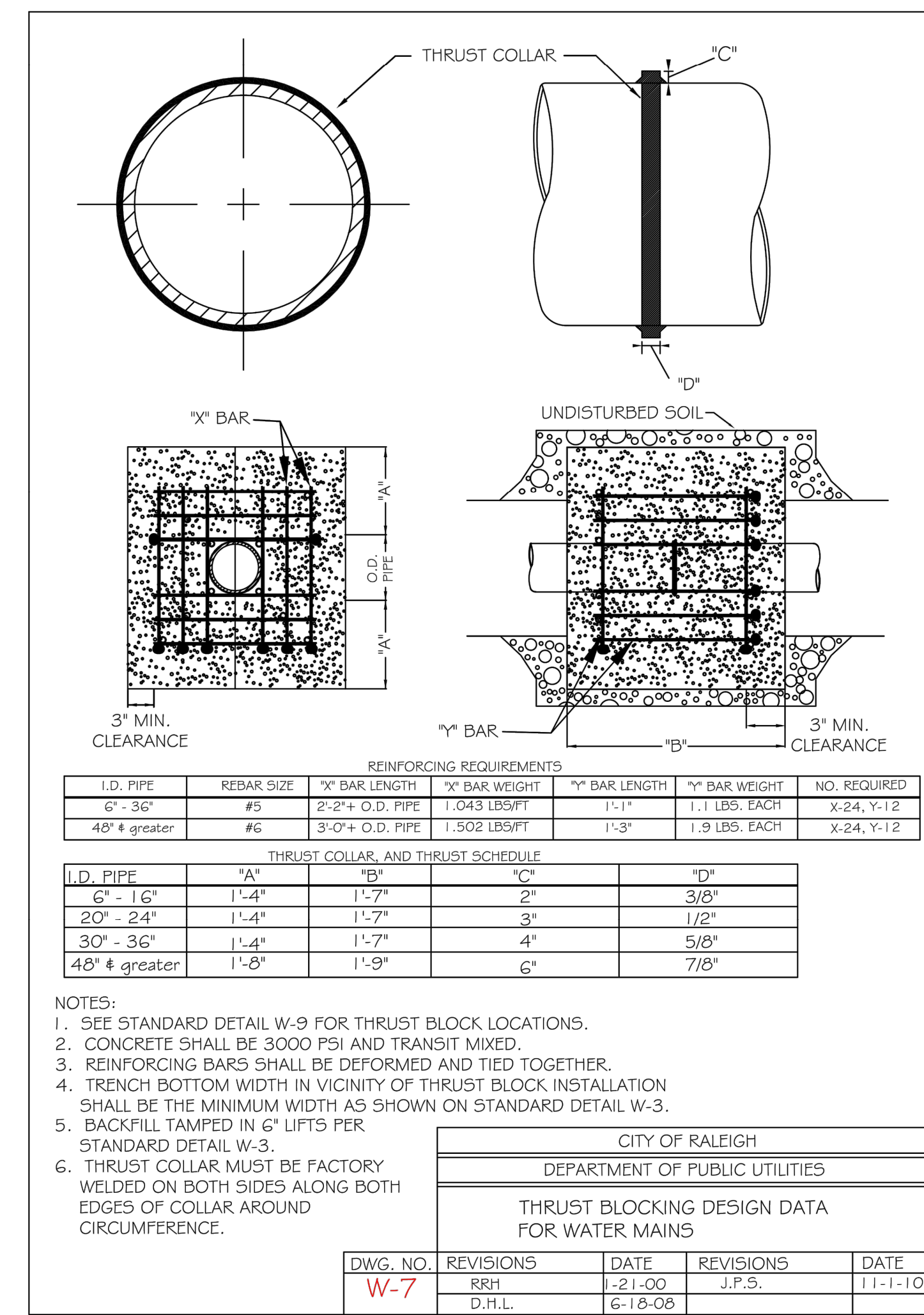
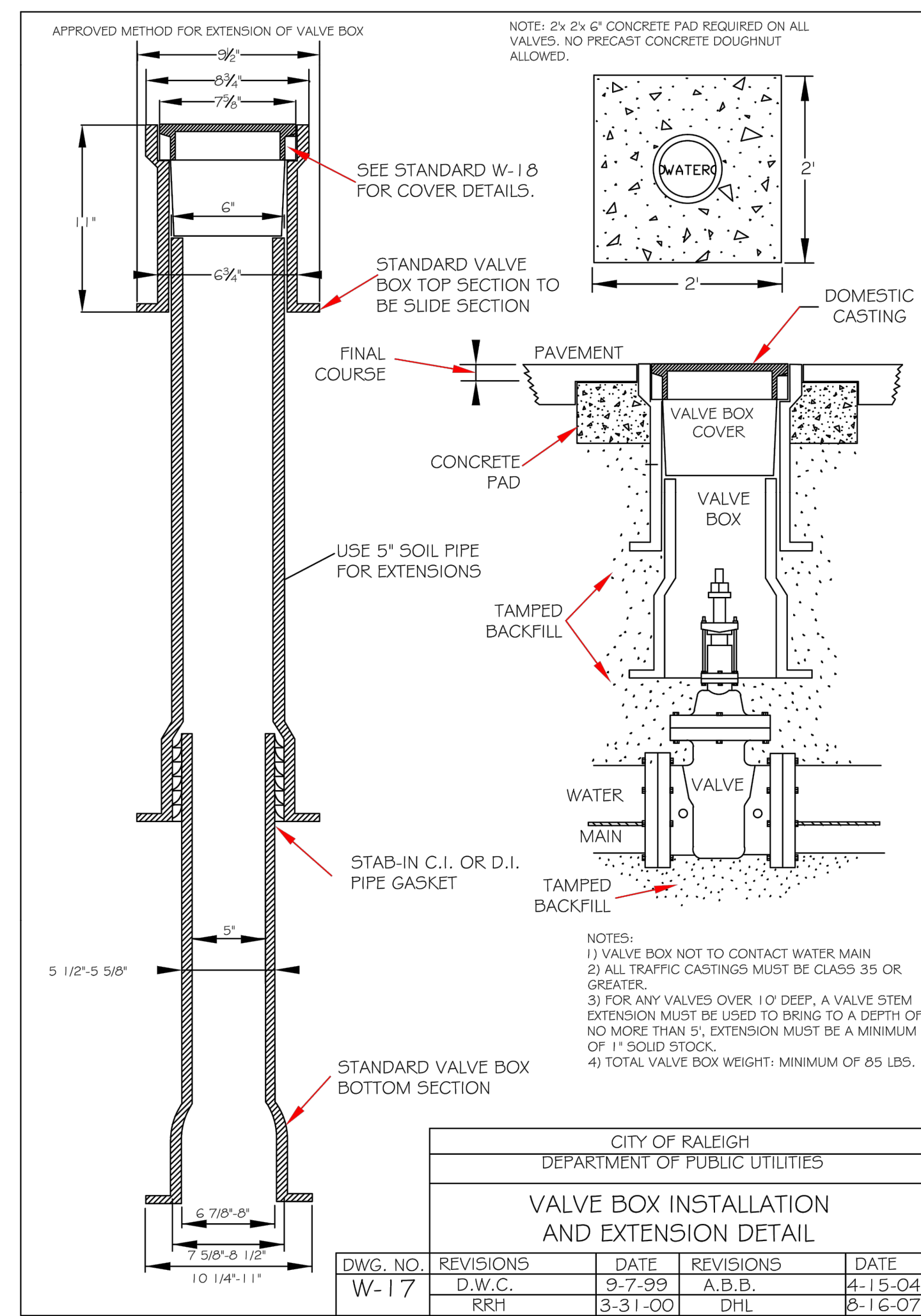
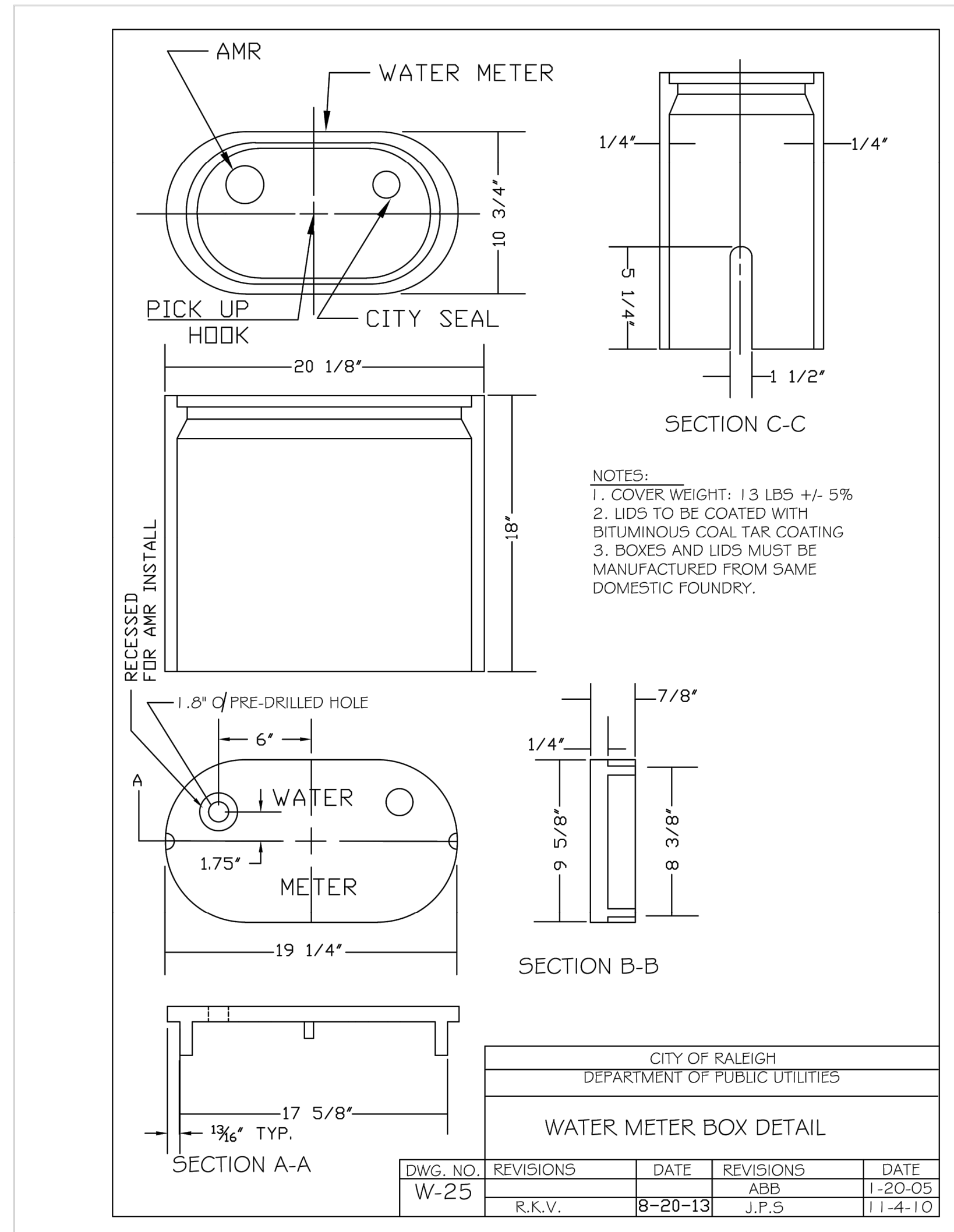
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NORTH CAROLINA NOT FOR CONSTRUCTION		NO. _____ DATE _____	
KHA PROJECT 016485000		DATE 10/31/2023	
SCALE AS SHOWN		DESIGNED BY JAA	
DRAWN BY JAA		CHECKED BY COB	
<b>WATER DETAILS</b>			
SCOOTER'S ROLESVILLE		PREPARED FOR S&S JAVA ENTERPRISES ROLESVILLE NC	
SHEET NUMBER C11.0			

Plotted By: Barnes, Michael Sheet: Scooter's Rolesville Layout: C11.1 WATER DETAILS January 02, 2024 04:17:53pm K:\RAL\_LDEV\016485000-Scooter's Rolesville\Planting\15-CAD Files\Plan\Sheets\C11.1 WATER DETAILS.dwg  
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**NOT FOR CONSTRUCTION**

**WATER DETAILS**

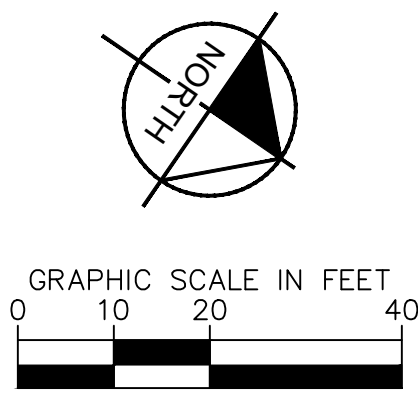
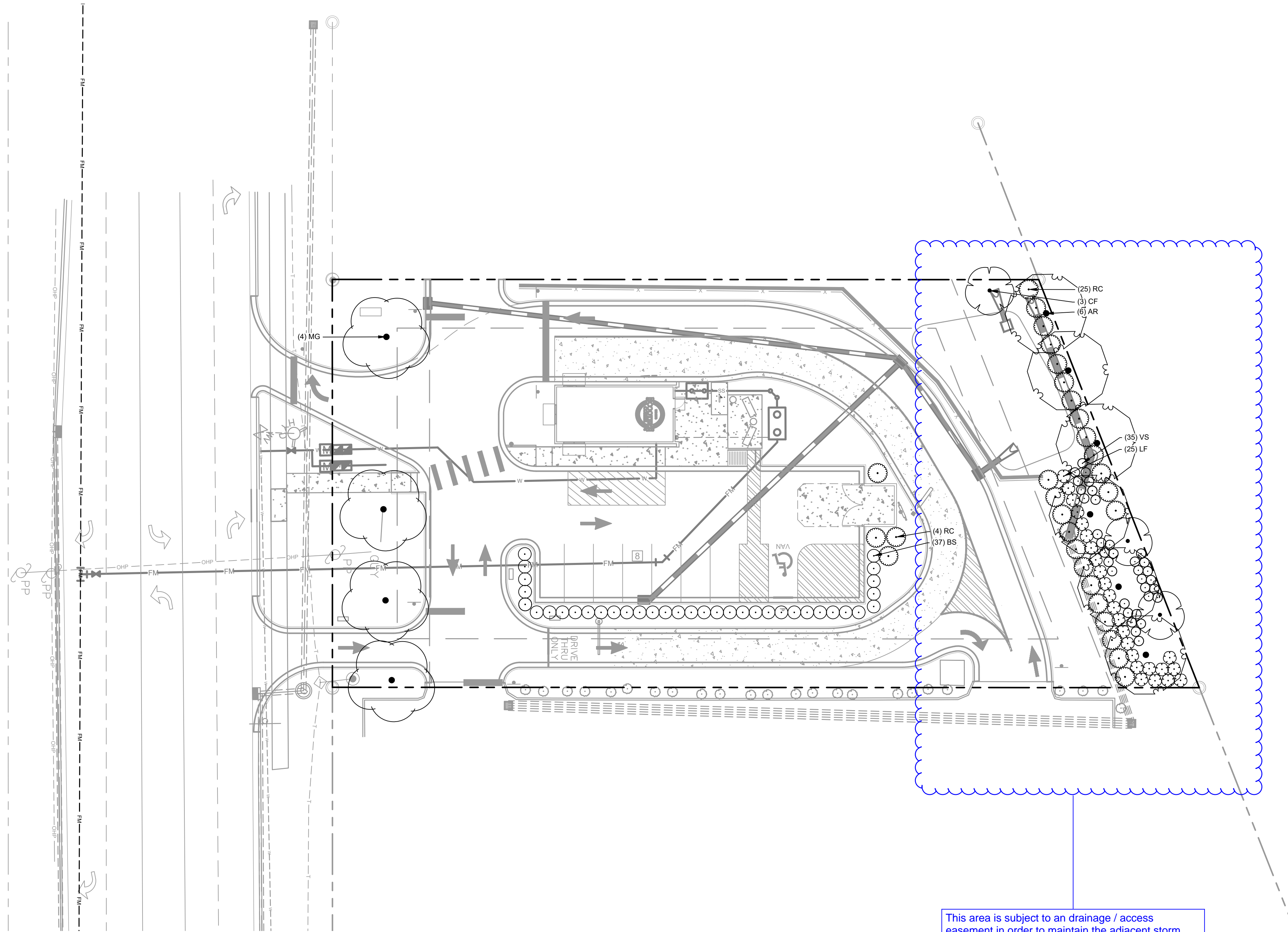
**SCOOTER'S ROLESVILLE**  
 PREPARED FOR  
**S&S JAVA ENTERPRISES**  
 ROLESVILLE, NC

**811**  
 Know what's below.  
 Call before you dig.

SDP-23-07

SHEET NUMBER  
**C11.1**

Plotted By: Barnes, Michael. Sheet Set: SCOOTER'S ROLESVILLE Layout.L10.LANDSCAPE PLAN January 02, 2024 04:21:16pm. K:\RAL\_LDEV\016485000-Scoters Rolesville Planning\15\_CAD Files\PlanSheets\L10.LANDSCAPE PLAN.dwg  
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**LANDSCAPE NOTES:**

- ALL LANDSCAPED AREAS ARE TO RECEIVE A MINIMUM OF 3" OF TOPSOIL. DO NOT MOUND MULCH AGAINST ROOT FLARES.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
- ANY DISTURBED GRASS AREA IS TO BE REPLANTED. ALL SLOPES 3:1 OR GREATER SHALL BE SEEDED WITH SLOPE MASTER NO-MOW MIX OR OWNER APPROVED EQUAL.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE WARRANTY PERIOD.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR WARRANTY PERIOD. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES, AND SHALL BE STATE STANDARD OR BETTER.
- ALL INVASIVE / EXOTIC SPECIES AND PROHIBITED TREE SPECIES SHALL BE REMOVED FROM SITE, INCLUDING ROOT BALLS TO THE EXTENT POSSIBLE WITH NO DAMAGE TO ADJACENT EXISTING TREES.
- CONTRACTOR TO DESIGN BUILD SYSTEM AND VERIFY ALL PRODUCTS WITH LANDSCAPE ARCHITECT.
- TREE SUPPORT MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS "ESTABLISHED" (AS APPROVED BY THE LANDSCAPE ARCHITECT).
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL UTILITIES ARE ADEQUATELY SCREENED WITH THE REQUIRED PLANTING MATERIAL AND VERIFY PLANT SPECIES WITH LANDSCAPE ARCHITECT.
- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.

**LANDSCAPE REQUIREMENTS**

PERIMETER BUFFER REQUIREMENTS 6.2.2.1		
Type 3 Perimeter Buffer: 136 lf	Required	Provided
Width	25 feet	Provided
Canopy Trees	4 canopy trees per 100 linear feet = 6 canopy trees	6 Canopy Trees
Understory Trees	2 understory trees per 100 linear feet = 3 understory trees	3 Understory Trees
Shrubs	60 shrubs per 100 linear feet = 82 shrubs	83 shrubs
STREET BUFFER 6.2.2.2		
Street Buffer: 126 lf	Required	Provided
Width	30 feet	Provided
Street Tree	1 per 40 linear feet = 4 street trees	4 Street Trees
PARKING LANDSCAPING 6.2.4.4		
Parking Perimeter	Required	Provided
Shrubs	Continuous row of shrubs within 5 feet of the parking lot edge	Provided

**NOTES:**

- ESTABLISH SOD IN ALL DISTURBED AREAS. SEE SPECIFICATIONS FOR MORE INFORMATION.
- ALL AREAS WITH PROPOSED LANDSCAPE MATERIAL SHALL RECEIVE A MINIMUM THREE (3) INCHES OF SHREDDED HARDWOOD MULCH. SEE LANDSCAPE PLAN FOR MULCH BOUNDARY LINES. SEE LANDSCAPE DETAILS FOR TYPICAL MULCH AREA DIMENSIONS.

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This area is subject to a drainage / access easement in order to maintain the adjacent storm water management facility. The required landscaping will be unable to fit in the area as shown. It is recommended that the applicant install a fence instead of the proposed plantings to minimize the negative effects of development upon the adjacent owner.

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	HEIGHT
<b>PERIMETER BUFFER TREES</b>							
	CF	3	CORNUS FLORIDA	FLOWERING DOGWOOD	5 GAL	2" CAL. MIN	8' MIN.
	MG	4	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	5 GAL	3" CAL.	10-12' MIN
<b>STREET BUFFER TREES</b>							
	AR	6	ACER RUBRUM	RED MAPLE	5 GAL	3" CAL.	10-12' MIN
<b>PERIMETER BUFFER SHRUBS</b>							
	LF	26	LEUCOTHOE FONTANESIANA	DROOPING LEUCOTHOE	5 GAL	24" HT.	
	RC	29	RHODODENDRON CATAWBIENSE	MOUNTAIN ROSEBAY	5 GAL	24" HT.	
	VS	35	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	5 GAL	24" HT.	
<b>PARKING PERIMETER SHRUBS</b>							
	BS	37	BUXUS SEMPERVIRENS	COMMON BOXWOOD	5 GAL	24" HT.	

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TOWN COMMENTS  
 REVISIONS  
 DATE  
 BY

**LANDSCAPE PLAN**

**SCOOTER'S ROLESVILLE**  
 PREPARED FOR  
**S&S JAVA ENTERPRISES**  
 ROLESVILLE NC

KHA PROJECT  
 016485000  
 DATE  
 10/31/2023  
 SCALE AS SHOWN  
 DESIGNED BY JAA  
 DRAWN BY JAA  
 CHECKED BY COB

SHEET NUMBER  
**L1.0**





Plotted By: Barnes, Michael, Sheet Set: SCOOTER'S ROLESVILLE, Layout: L2.1, LANDSCAPE NOTES, January 02, 2024, 04:21:24pm, K:\RAL\_LDE\016485000-Scooters Rolesville\Planning\P15\_CAD Files\Plant\Sheet\L2.0 LANDSCAPE DETAILS.dwg  
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### GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

#### A. SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS SPECIFIED HEREIN.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.

#### B. PROTECTION OF EXISTING STRUCTURES

1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN UNLESS THE WORK REQUIRES NOTHING MORE THAN A DIRECT APPLICATION OF DOT DESIGN STANDARDS, INDEX 600. IF A DIRECT APPLICATION OF INDEX 600 IS PROPOSED, THE CONTRACTOR SHALL SUBMIT IN WRITING A STATEMENT INDICATING THE STANDARD INDEX AND PAGE NUMBER NO LESS THAN 10 BUSINESS DAYS PRIOR TO START OF CONSTRUCTION. WHEN A DIRECT APPLICATION OF DOT STANDARD INDEX 600 IS NOT ACCEPTABLE A PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER WHO HAS SUCCESSFULLY COMPLETED ADVANCED TRAINING IN MAINTENANCE OF TRAFFIC, AS DEFINED BY DOT FOR APPROVAL BY THE COUNTY ENGINEER'S REPRESENTATIVE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION FURNISHED BY THE OWNER OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA. LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERE TO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

#### C. PROTECTION OF EXISTING PLANT MATERIALS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC.. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF THREE HUNDRED DOLLARS (\$300) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

#### D. MATERIALS

##### 1. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

##### 2. PLANT MATERIALS

- a. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL PLANTS SHALL BE DETERMINED BY THE STATE DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER, WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE.
- b. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- c. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE, NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

##### E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW.
2. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
  - a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER. REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND HAVE A PH BETWEEN 5.5 AND 7.0.
  - b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
3. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

##### F. WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.  
\* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

##### G. FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

\* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

##### H. MULCH

1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANTS CROWN (BASE), MULCH SHALL BE FLORIMULCH<sup>®</sup>, EUCALYPTUS MULCH, OR SIMILAR SUSTAINABLY HARVESTED MULCH UNLESS SPECIFIED OTHERWISE.
2. PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT (Ø MINIMUM) PLANTED UNDER THIS CONTRACT.

##### I. DIGGING AND HANDLING

1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
2. BALLED AND BURLAPPED (B&B), AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS

CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
4. PROTECTION OF PALMS: ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

##### J. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
4. RPG= "ROOTS PLUS GROWER" CONTAINER PRODUCTS SHALL BE USED WHERE SPECIFIED.

##### K. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

##### L. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

##### M. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

##### N. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

##### O. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL STATE OFFICIAL (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMESTONE AND LIMESTONE SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMESTONE OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACK FILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.
8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.
10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
13. TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST, IN ACCORDANCE WITH ANSI A-300.
14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" OF THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
16. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER (AS ALLOWED BY JURISDICTIONAL AUTHORITY).

##### P. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.

2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
4. SODDING

- a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- b. THE SOD SHALL BE CERTIFIED TO MEET STATE REQUIREMENTS & SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
- c. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZER INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
6. LAWN MAINTENANCE

- a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADEING IF NECESSARY).
- b. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

##### Q. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

##### R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

##### S. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

##### T. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

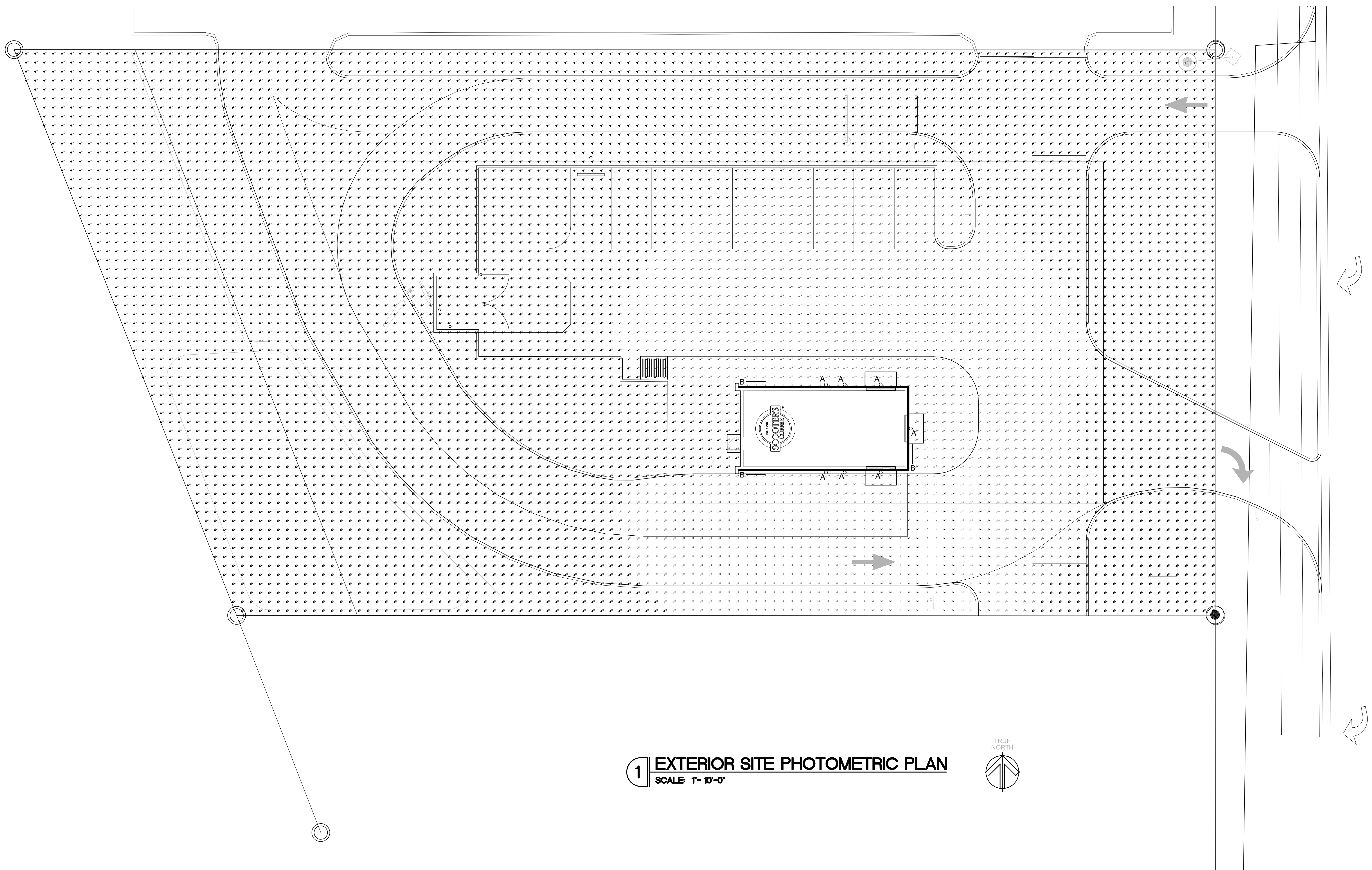
### 1 TYPICAL LANDSCAPE SPECIFICATIONS

KHA PROJECT 016485000		DATE 10/31/2023		SCALE AS SHOWN		DESIGNED BY JAA		DRAWN BY JAA		CHECKED BY COB	
LANDSCAPE NOTES										NC	
SCOOTER'S ROLESVILLE PREPARED FOR S&S JAVA ENTERPRISES ROLESVILLE										REVISIONS	
Kimley»Horn										TOWN COMMENTS	
© 2023 KIMLEY-HORN AND ASSOCIATES, INC. #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601										01/02/2024 IMDB	
										DATE	
										BY	



Schedule								
Symbol	Label	QTY	Manufacturer	Catalog	Number Lamps	Lamp Output	LLF	Input Power
	A	7	RAB LIGHTING INC.	SLIM12Y/D10	1	2006	0.75	15
	B	130		NF/SP-PROW-120-24V-3000K	1	180	0.8	2.89861

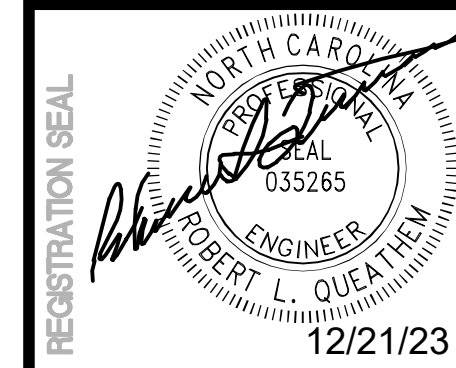
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.3 fc	15.3 fc	0.0 fc	N/A	N/A



**1 EXTERIOR SITE PHOTOMETRIC PLAN**  
SCALE: 1" = 10'-0"



**U.S. HWY 401  
(A.K.A. SOUTH MAIN STREET)**



**ROBERT L. QUEATHEM**  
ENGINEER  
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REV	DATE	DESCRIPTION	BY
1	12/15/23	EXTERIOR REVISION	ANG
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TITLE:  
**EXTERIOR SITE  
PHOTOMETRIC  
PLAN**

PROJECT ADDRESS:  
306 S. MAIN ST.  
ROLESVILLE, NC 27571  
FRANCHISEE & STORE NUMBER:  
SCOOTER'S COFFEE #562  
P&S JAVA ENTERPRISES, INC.

KIOSK PROTOTYPE:  
4.1 PROTOTYPE  
MAY 2022  
ISSUE DATE:  
08/14/2023  
PROJECT NO.  
230522  
DRAWN BY:  
JDK  
CHECKED BY:  
SAH

SHEET NO.  
**E3.1**

SCOOTER'S COFFEE LIGHTING SCHEDULE										
FIXTURE INFORMATION					LAMP(S) ELECTRICAL CHARACTERISTICS					NOTES
TAG	QTY.	MANUFACTURE	DESCRIPTION	MODEL NUMBER	MOUNTING	QTY.	VOLTS	WATTS	LAMP BASE TYPE	
A	7	RAB	EXTERIOR WALL SCONCE	SLIM12Y	WALL	1	120	12	INTEGRATED	0-10V (120V/277V)
A2	0	RAB	EXTERIOR WALL SCONCE	SLIM18Y	WALL	1	120	18	INTEGRATED	0-10V (120V/277V)
B	131'	NOVA FLEX	LED STRIP LIGHT	NF/SP-PROW-120-24V-3000K	SURFACE	1	120	2.9W/FT	INTEGRATED	0-10V
EM1	4	BEST LIGHTING	MR-16 SEMI-RECESSED THERMOPLASTIC EMERGENCY UNIT.	RMR-16-LED	WALL	1	120	(2) 3.3W	MR-16	N/A
EM2	1	BEST LIGHTING	LED DECORATIVE OUTDOOR DIE-CAST AC/EMERGENCY UNIT.	DBEL-ACEM-HL-B-SDI-CW-PC	WALL	1	120	3	INTEGRATED	N/A
T1	8	AEL	LED 2x4	CB2435MM	RECESSED	1	120/277	40	INTEGRATED	N/A
EX1	1	BEST LIGHTING	LED EXIT SIGN/EMERGENCY UNIT COMBO	LEDXTEU-2-R-W	CEILING	1	120/277	3	INTEGRATED	N/A
FL	2	KITCHLER	GROUND MOUNT LED FLAG POLE LIGHT FIXTURE	NSP 10 TO 15 - 16209	STANCHION GROUND	1	120/277	3	INTEGRATED	N/A
PL	SEE NOTE	LITHONIA LIGHTING	LED POLE LIGHT FIXTURE w/FULL CUT-OFF SHIELDING	KAD LED 60C 700 40K R4 MVOLT	POLE	1	120/277	-	INTEGRATED	N/A

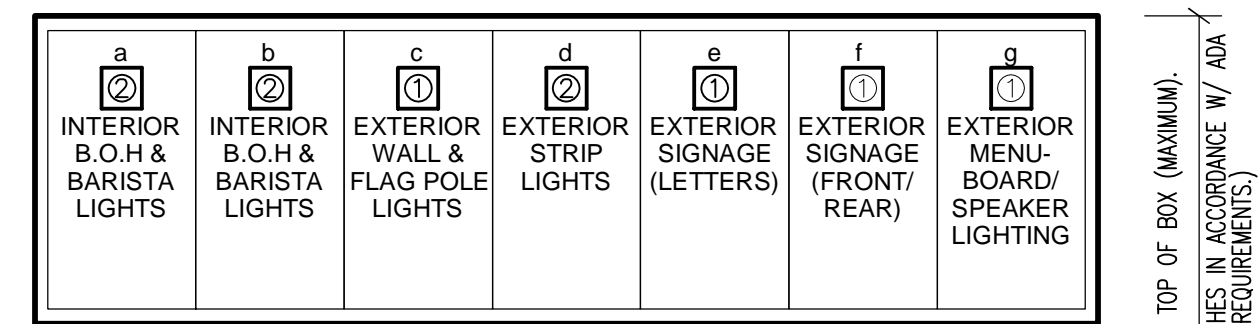
NOTES:

- CONTRACTOR TO CONSULT WITH LIGHTING MANUFACTURE TO PROVIDE U.L. LABELING TO REFLECT ACTUAL LAMP WATTAGE USED, NOT MAXIMUM FIXTURE WATTAGE
- RECESSED FIXTURES INSTALLED IN AN INSULATED CEILING SHALL BE I.C. RATED
- "EXIST" DENOTES EXISTING TO REMAIN

LIGHTING CONTROL DEVICE SCHEDULE							
CALLOUT	SYMBOL	MANUFACTURE MODEL NUMBER	UNOBSTRUCTED RATED COVERAGE	MOUNTING	WATTAGE VOLTAGE	TIME DELAY	DESCRIPTION
OCCUPANCY SENSOR SWITCH	Ⓢ	nLIGHT WSX-PDT	---	WALL	LINE	---	LINE VOLTAGE SWITCH DUAL TECHNOLOGY SENSOR
DIMMER SWITCH	Ⓢ	ACUITY CONTROLS sPDMRD	---	WALL	LINE	---	LINE VOLTAGE PUSH BUTTON SWITCH POD ON/OFF
TOGGLE SWITCH	Ⓢ	HUBBEL #1221	---	WALL	LOW	---	

NOTES:

- SENSOR REQUIRES POWER PACK (INSTALL IN ACCESSIBLE LOCATION)
- SWIVEL MOUNTING BRACKET INCLUDED
- ELECTRICAL CONTRACTOR SHALL COORDINATE COMPATIBILITY OF LIGHT FIXTURES AND LIGHTING CONTROL DEVICES/ SYSTEM WITH CONTROL SYSTEM SUPPLIER PRIOR TO ORDERING/ROUGH-IN
- VERIFY POWER REQUIREMENT FOR CEILING SENSOR. IF IT REQUIRES CONTINUOUS HOT, PULL UNDIMMED WIRE FROM AHEAD OF DIMMER SWITCH TO CEILING SENSOR FOR SENSOR OPERATING, AND RUN DIMMED LINE THROUGH SENSOR FOR ON/OFF CONTROL. CONFIRM WITH VENDOR PRIOR TO ORDERING SENSOR TO ENSURE COMPATIBILITY.



LEGEND  
 ① SINGLE POLE SWITCH.  
 ② SINGLE POLE DIMMER SWITCH

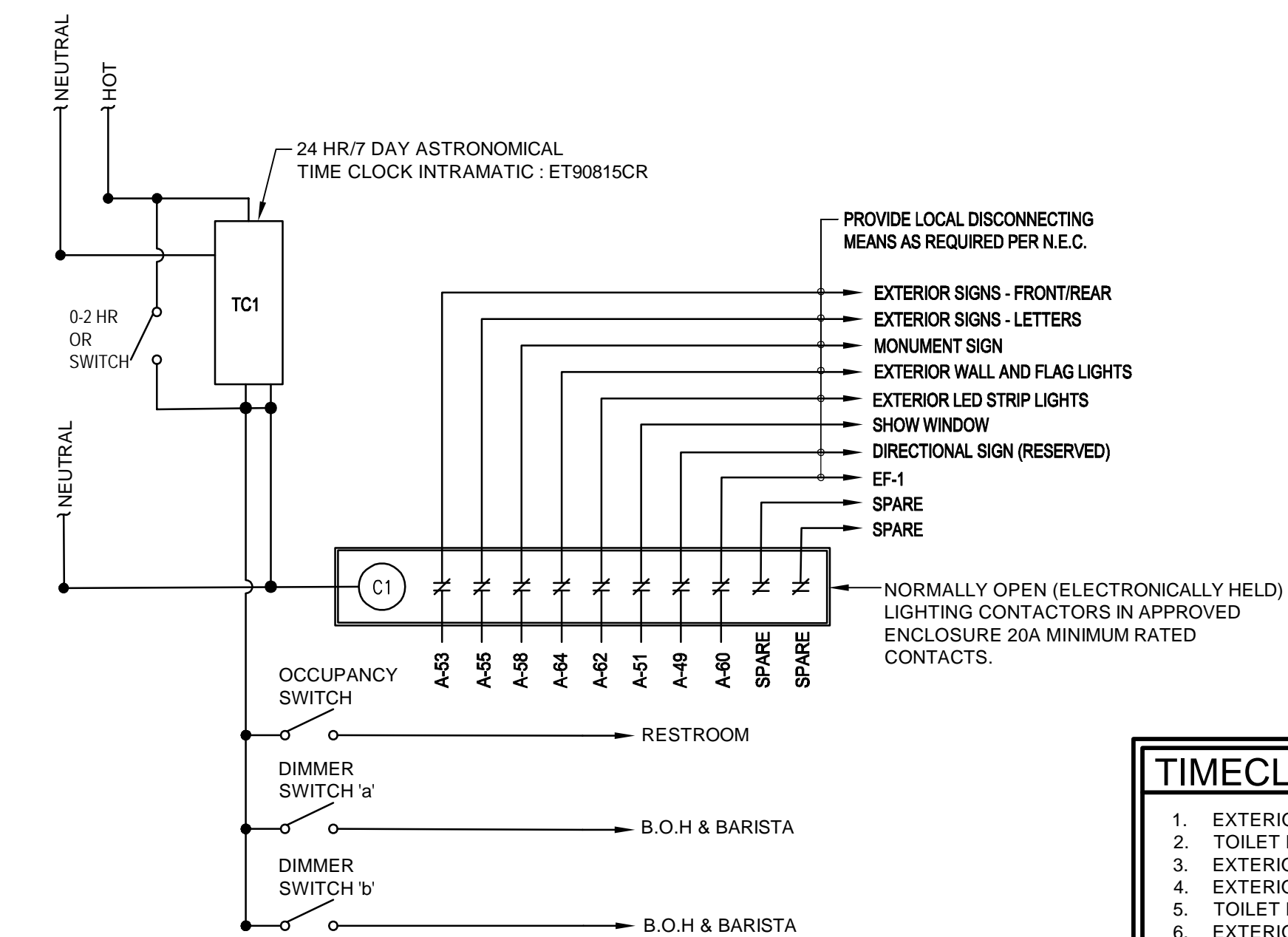
**JURISDICTIONAL NOTE**

PER LDO SECTION 6.6.G.10, FULL CUT-OFF LIGHTING SHALL BE PROVIDED IN LOADING AREAS.

BUILDING FACADE AND ACCENT LIGHTING SHALL BE SELECTED, LOCATED, AIMED AND SHIELDED SO THAT LIGHT IS DIRECTED ONLY ONTO THE BUILDING FACADE AND SPILLOVER LIGHT IS NEGLIGIBLE.

LIGHTING DESIGN SHALL BE COORDINATED WITH THE LANDSCAPE PLAN TO ENSURE THAT VEGETATION GROWTH WILL NOT SUBSTANTIALLY IMPAIR THE INTENDED ILLUMINATION.

**3 SWITCH BANK DETAIL**  
 SCALE: N.T.S.

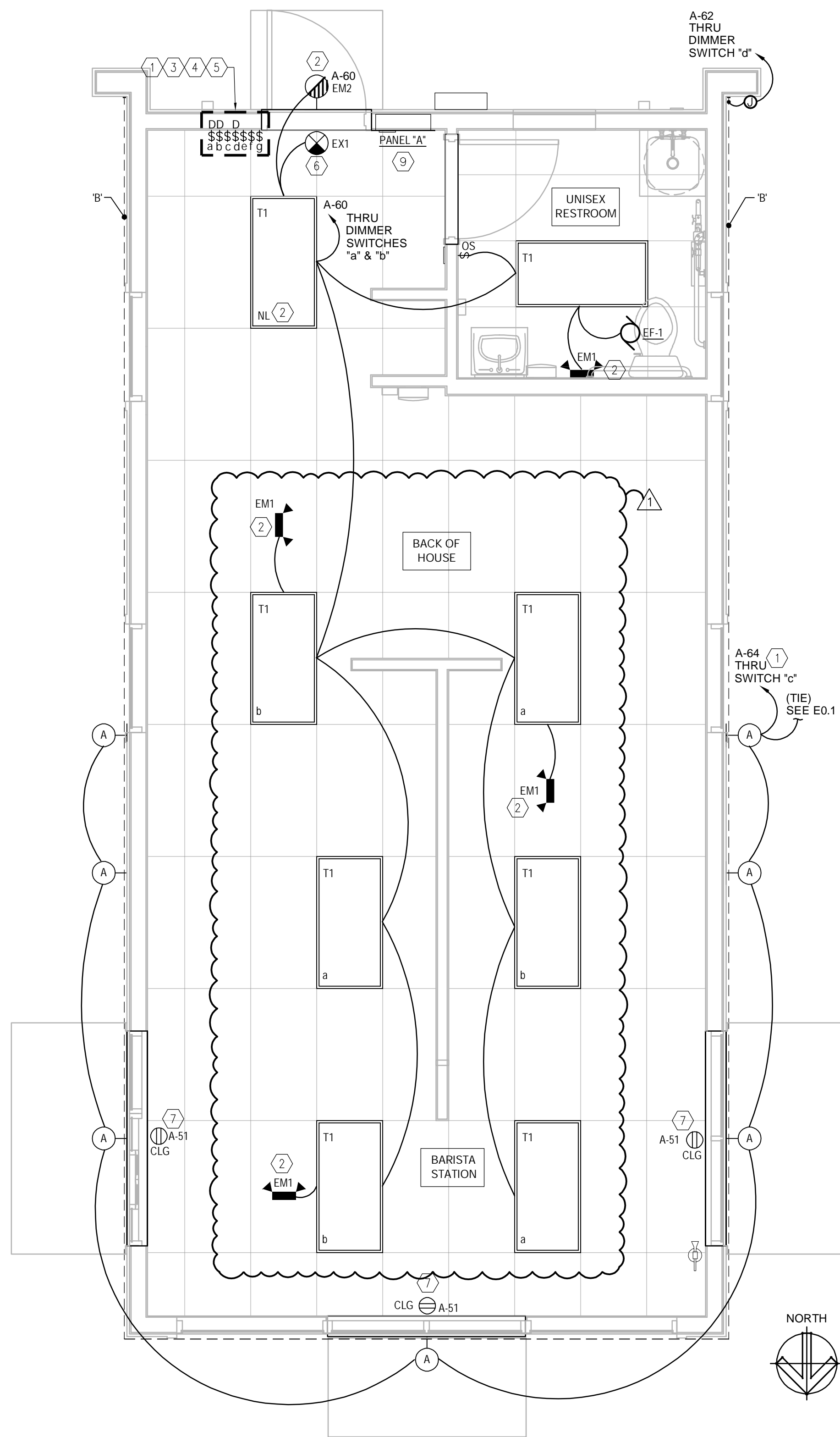


**2 TIME CLOCK DIAGRAM**  
 SCALE: NOT TO SCALE

**TIMECLOCK SEQUENCE OF OPERATION**

- EXTERIOR SIGN SHALL TURN ON AT 4:30AM.
- TOILET EXHAUST SHALL TURN ON AT 5AM.
- EXTERIOR SIGN SHALL TURN OFF 30- MINUTES AFTER SUNRISE.
- EXTERIOR SIGNAGE SHALL TURN ON 30-MINUTES BEFORE SUNSET.
- TOILET EXHAUST SHALL SHUT OFF AT 10PM.
- EXTERIOR SIGNAGE SHALL TURN OFF AT 10:30PM.

ALL TIMES ARE ADJUSTABLE.



**1 ELECTRICAL LIGHTING PLAN**  
 SCALE: 3/8" = 1'-0"

**LIGHTING GENERAL NOTES**

- ELECTRICAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BASE BID. IN CASE OF ANY DISCREPANCIES WITH EXISTING FIELD CONDITIONS, ELECTRICAL CONTRACTOR SHALL VERIFY THE EXACT DIFFERENCE FOR POSSIBLE REVISIONS TO THIS DOCUMENT.
- INSTALL RECESSED LUMINAIRES USING ACCESSORIES AND FIRE STOPPING MATERIALS TO MEET REGULATORY REQUIREMENTS FOR FIRE RATING.
- COORDINATE ALL EXTERIOR BUILDING MOUNTED LIGHT FIXTURES WITH ARCHITECTURAL BUILDING ELEVATIONS FOR HEIGHTS AND LOCATIONS.
- PROVIDE EXIT SIGNS FOR ALL EXISTS DESIGNATED BY THE CODE STUDY PLAN. REFER TO ARCHITECTURAL CODE PLANS FOR LOCATIONS AND REQUIREMENTS.
- CONDUIT AND WIRING SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE THE NUMBER OF CONDUCTOR REQUIRED FOR HOT-LEGS, NEUTRAL AND GROUNDING AT EACH DEVICE FOR PROPER BRANCH CIRCUITING SHOWN FOR EACH AREA OR ROOM.
- ALL EMERGENCY/EXIT FIXTURES AND ARE TO BE PROVIDED WITH MINIMUM 90 MIN EMERGENCY BATTERY BACK-UP. BYPASS ENERGY MANAGEMENT SYSTEM WHERE REQUIRED.
- WHEN REQUIRED, IT IS THE OWNER'S RESPONSIBILITY TO CONTRACT WITH A COMMISSIONING AUTHORITY TO COMPLY WITH LOCAL CODES.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DISCIPLINES DRAWINGS. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECTS AND ENGINEERS PRIOR TO FINAL BID CLOSING.

**GENERAL NOTE**

PROVIDE STRUCTURE ENGINEERING LETTER OF APPROVAL FOR SEISMIC INSTALLATION SUPPORT PRIOR TO INSTALLATION AND AT COMMISSIONING STAGE. ALL EQUIPMENT SEISMIC SUPPORT AND INSTALLATION METHOD MUST BE SUBMITTED TO STRUCTURE ENGINEERING APPROVAL PRIOR TO INSTALLATION.

**LIGHTING CONTROL EXEMPTION**

PER IECC 505.2.2 ADDITIONAL CONTROLS...  
 505.2.2.1 LIGHT REDUCTION CONTROLS EXEMPTION #5: SPACES THAT USE LESS THAN 0.6 WATTS PER SQUARE FOOT (6.5 W/m<sup>2</sup>).  
 (8 FIXTURES X 40-WATTS) 320 / TOTAL SQ/FT 680 = 0.47 Watts per square foot

**AUTOMATIC CONTROL EXEMPTION**

PER IECC 505.2.2 ADDITIONAL CONTROLS...  
 505.2.2.2 AUTOMATIC LIGHTING SHUTOFF BUILDINGS LARGER THAN 5,000 SQUARE FEET (465m<sup>2</sup>) SHALL BE EQUIPPED WITH AN AUTOMATIC LIGHTING CONTROL DEVICE.  
 TOTAL BUILDING 680 SQFT = < 5,000 SQFT = NO AUTO CONTROL REQUIRED

**LIGHTING PLAN KEYED NOTES**

- PROVIDE DIMMING SWITCH ON WALL FOR EXTERIOR LED STRIP LIGHTING. COORDINATE EXACT LOCATION WITH OWNER/ ARCHITECT PRIOR TO INSTALLATION.
- NITE-LITE/EMERGENCY EGRESS LIGHT SHALL BE CIRCUITED TO UNSWITCHED LEG OF LOCAL LIGHT CIRCUIT.
- PROVIDE LIGHT SWITCH ON WALL FOR EXTERIOR WALL/ SITE FIXTURE. COORDINATE EXACT LOCATION WITH OWNER/ ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE SWITCH ON WALL FOR ILLUMINATED MONUMENT SIGN AND BUILDING SIGNS COORDINATE EXACT LOCATION WITH OWNER/ ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE SWITCH ON WALL FOR ILLUMINATED MENU BOARD/ SPEAKER. COORDINATE EXACT LOCATION WITH OWNER/ ARCHITECT PRIOR TO INSTALLATION. VERIFY EXACT POWER REQUIREMENTS PRIOR TO ROUGH-IN.
- EXIT LIGHT SHALL BE CIRCUITED TO UNSWITCHED LEG OF LOCAL LIGHT CIRCUIT. PROVIDE CHEVRONS AS NEEDED.
- SHOW WINDOWS RECEPTACLE TO BE INSTALLED PER N.E.C. 210.62 & 220.14(G).



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REV	DATE	DESCRIPTION	BY	ANG
1	12/15/23	EXTERIOR REVISION		
2				
3				
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TITLE:  
**ELECTRICAL LIGHTING PLAN & DETAILS**

PROJECT ADDRESS:  
 306 S. MAIN ST.  
 ROLESVILLE, NC 27571

FRANCHISEE & STORE NUMBER:  
 SCOOTER'S COFFEE #562  
 P&S JAVA ENTERPRISES, INC.

KIOSK PROTOTYPE:  
 4.1 PROTOTYPE  
 MAY 2022

ISSUE DATE:  
 08/14/2023

PROJECT NO.  
 230522

DRAWN BY:  
 -

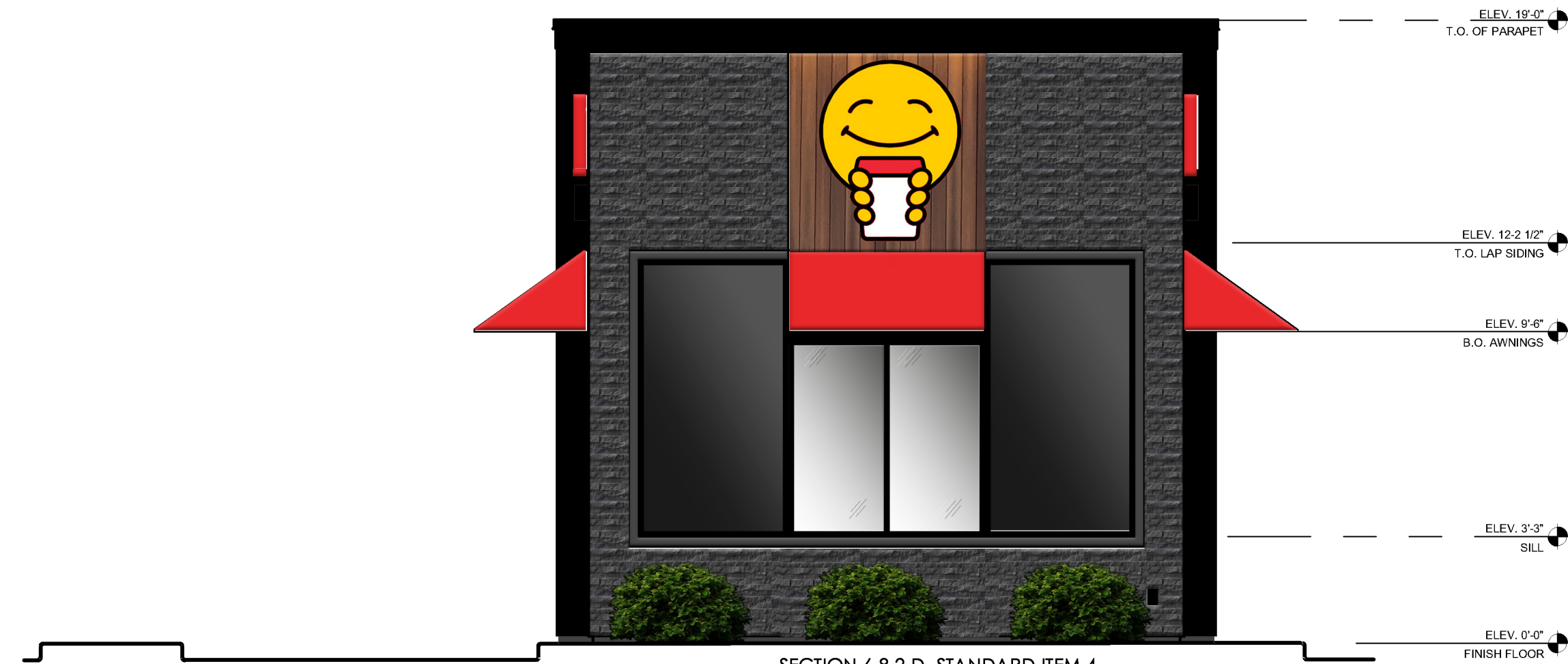
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SHEET NO.  
**E2.1**

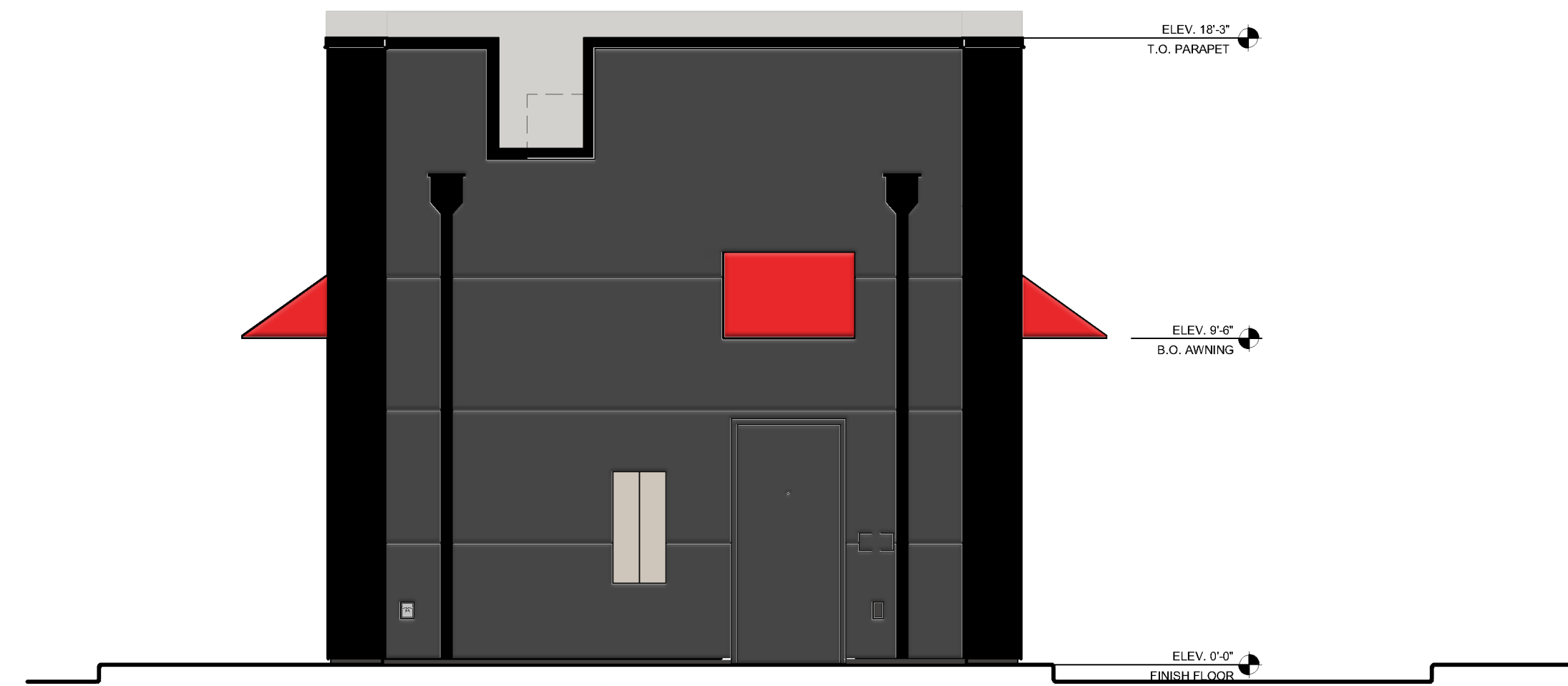




**4 DRIVE THRU SIDE EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 FRONT EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 BACK EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 SIDE EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

MATERIAL PERCENTAGES		
DRIVE THRU SIDE EXTERIOR ELEVATION		
TOTAL WALL AREA	723 SQ. FT.	100%
STUCCO - INKWELL	0 SQ. FT.	0%
STUCCO - SKYLINE STEEL	1441 SQ. FT.	199%
CARBON LEDGE STONE	252 SQ. FT.	35%
FIBERON COMPOSITE CLADDING	147 SQ. FT.	20%
FENESTRATION	95 SQ. FT.	13%
TRIMS	74 SQ. FT.	10%

MATERIAL PERCENTAGES		
FRONT EXTERIOR ELEVATION		
TOTAL WALL AREA	347 SQ. FT.	100%
STUCCO - INKWELL	0 SQ. FT.	0%
STUCCO - SKYLINE STEEL	0 SQ. FT.	0%
CARBON LEDGE STONE	162 SQ. FT.	47%
FIBERON COMPOSITE CLADDING	36 SQ. FT.	10%
FENESTRATION	113 SQ. FT.	33%
TRIMS	36 SQ. FT.	10%

MATERIAL PERCENTAGES		
BACK EXTERIOR ELEVATION		
TOTAL WALL AREA	357 SQ. FT.	100%
STUCCO - INKWELL	250 SQ. FT.	70%
STUCCO - SKYLINE STEEL	0 SQ. FT.	0%
CARBON LEDGE STONE	0 SQ. FT.	0%
FIBERON COMPOSITE CLADDING	0 SQ. FT.	0%
DOOR	24 SQ. FT.	7%
TRIMS	83 SQ. FT.	23%

MATERIAL PERCENTAGES		
SIDE EXTERIOR ELEVATION		
TOTAL WALL AREA	723 SQ. FT.	100%
STUCCO - INKWELL	0 SQ. FT.	0%
STUCCO - SKYLINE STEEL	144 SQ. FT.	20%
CARBON LEDGE STONE	252 SQ. FT.	35%
FIBERON COMPOSITE CLADDING	147 SQ. FT.	20%
FENESTRATION	95 SQ. FT.	13%
TRIMS	74 SQ. FT.	10%



**FREDERICK J. GOGLIA**  
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REV	DATE	DESCRIPTION
1	12/15/23	EXTERIOR REVISION
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TITLE: **EXTERIOR COLOR ELEVATIONS**

PROJECT ADDRESS:  
306 S. MAIN ST.  
ROLESVILLE, NC 27571

FRANCHISEE & STORE NUMBER:  
SCOOTER'S COFFEE #562  
P&S JAVA ENTERPRISES, INC.

KIOSK PROTOTYPE:  
4.1 PROTOTYPE  
MAY 2022

ISSUE DATE:  
08/14/2023

PROJECT NO.  
230522

DRAWN BY:  
ANG, MD

CHECKED BY:  
MD

SHEET NO.

**A2.0**

MATERIAL PERCENTAGES		
FRONT EXTERIOR ELEVATION		
TOTAL WALL AREA	347 SQ. FT.	100%
STUCCO - INKWELL	0 SQ. FT.	0%
STUCCO - SKYLINE STEEL	0 SQ. FT.	0%
CARBON LEDGE STONE	162 SQ. FT.	47%
FIBERON COMPOSITE CLADDING	36 SQ. FT.	10%
FENESTRATION	113 SQ. FT.	33%
TRIMS	36 SQ. FT.	10%

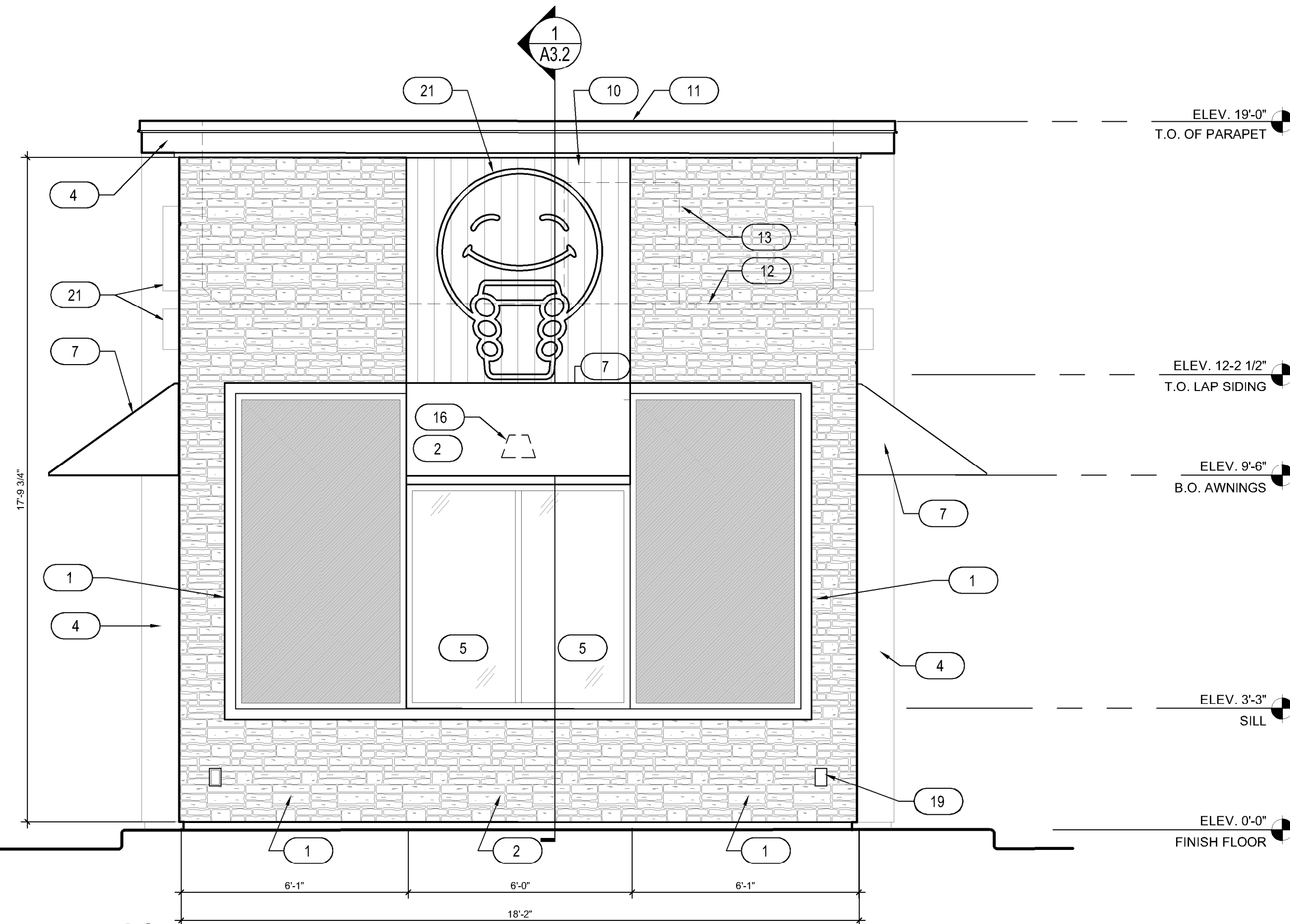
MATERIAL PERCENTAGES		
SIDE EXTERIOR ELEVATION		
TOTAL WALL AREA	723 SQ. FT.	100%
STUCCO - INKWELL	0 SQ. FT.	0%
STUCCO - SKYLINE STEEL	144 SQ. FT.	20%
CARBON LEDGE STONE	252 SQ. FT.	35%
FIBERON COMPOSITE CLADDING	147 SQ. FT.	20%
FENESTRATION	95 SQ. FT.	13%
TRIMS	74 SQ. FT.	10%

BLANK WALL SPACE

1.1	47.4 SQ FT
1.2	48.8 SQ FT
1.3	48.6 SQ FT
2.1	48.5 SQ FT
2.2	48.8 SQ FT
2.3	47.4 SQ FT
3.1	N/A PER CODE

1 FRONT EXTERIOR ELEVATION

SCALE: 3/8" = 1'-0"

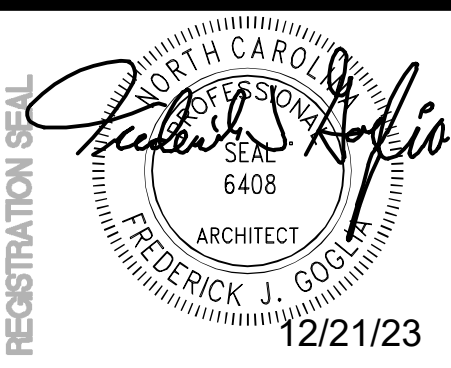


2 SIDE EXTERIOR ELEVATION

SCALE: 3/8" = 1'-0"

KEYNOTES

- CARBON LEDGE STONE BY REALSTONE SYSTEMS
- STUCCO - COLOR: SHERWIN WILLIAMS SW1015 SKYLINE STEEL
- 3 1/2" TRIM - COLOR: SHERWIN WILLIAMS SW2848 ROYCROFT PEWTER
- METAL FASCIA - DARK BRONZE
- INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
- QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE
- AWNING BY OTHERS - COLOR: RED
- INSULATED HOLLOW METAL DOOR & FRAME, PAINT SHERWIN WILLIAMS SW6992
- WIDE ANGLE PEEP HOLE, BY DOOR MANUFACTURER
- FIBERON COMPOSITE CLADDING
- PARAPET CAP FLASHING - DARK BRONZE
- LINE OF ROOF BEYOND
- AIR CONDENSER, SEE MECHANICAL DRAWINGS
- ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3
- MAILBOX BY GC BLACK
- WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
- SES PANEL, SEE ELECTRICAL DRAWINGS
- ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
- HOSE BIBB, SEE PLUMBING DRAWINGS
- PROPOSED SIGNAGE BY OTHERS, UNDER SEPARATE PERMIT
- CONNECT DOWNSPOUTS TO UNDERGROUND PIPING, REF. CIVIL
- SPANDREL GLASS
- NEW SECURITY CAMERA
- CUSTOMER PROVIDED SIGN PANELS. PANELS TO BE MOUNTED TO FASCIA BY GC (WHEN PROVIDED) IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS (NON-CORROSIVE)
- STUCCO - COLOR: SHERWIN WILLIAMS SW6993 INKWELL EGGSHELL FINISH
- STUCCO REVEAL



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 ARCHITECT, NCARB, RDI  
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1	12/15/23	EXTERIOR REVISION	ANG
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TITLE: EXTERIOR ELEVATIONS

PROJECT ADDRESS:  
 306 S. MAIN ST.  
 ROLESVILLE, NC 27571  
 FRANCHISE & STORE NUMBER:  
 SCOOTER'S COFFEE #562  
 P&S JAVA ENTERPRISES, INC.

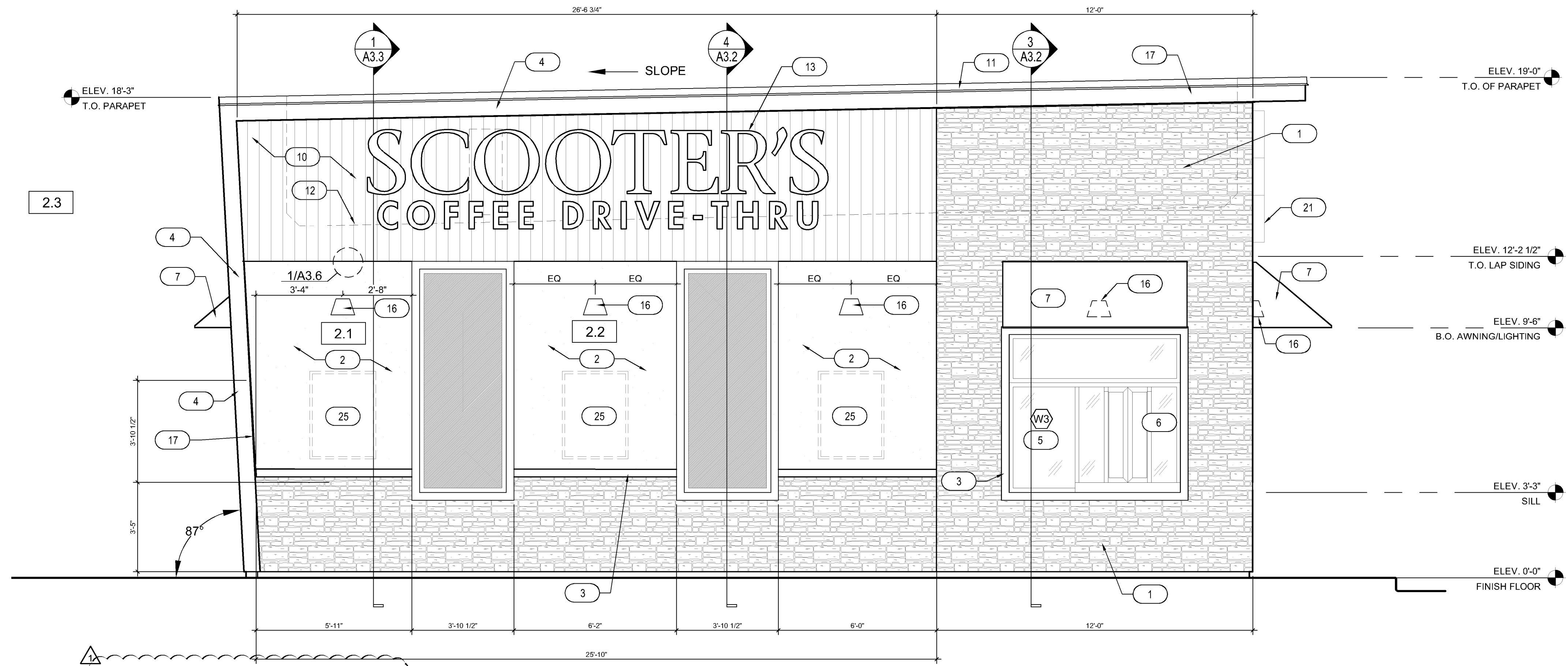
KIOSK PROTOTYPE:  
 4.1 PROTOTYPE  
 MAY 2022  
 ISSUE DATE:  
 08/14/2023  
 PROJECT NO.  
 230522  
 DRAWN BY:  
 NES, ANG  
 CHECKED BY:  
 SW

SHEET NO.

A2.1



- KEYNOTES**
- CARBON LEDGE STONE BY REALSTONE SYSTEMS
  - STUCCO - COLOR: SHERWIN WILLIAMS SW1015 SKYLINE STEEL
  - 3 1/2" TRIM - COLOR: SHERWIN WILLIAMS SW2848 ROYCROFT PEWTER
  - METAL FASCIA - DARK BRONZE
  - INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
  - QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE
  - AWNING BY OTHERS - COLOR: RED
  - INSULATED HOLLOW METAL DOOR & FRAME, PAINT SHERWIN WILLIAMS SW6992
  - WIDE ANGLE PEEP HOLE, BY DOOR MANUFACTURER
  - FIBERON COMPOSITE CLADDING
  - PARAPET CAP FLASHING - DARK BRONZE
  - LINE OF ROOF BEYOND
  - AIR CONDENSER, SEE MECHANICAL DRAWINGS
  - ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3
  - MAILBOX BY GC BLACK
  - WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
  - LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
  - SES PANEL, SEE ELECTRICAL DRAWINGS
  - ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
  - HOSE BIBB, SEE PLUMBING DRAWINGS
  - PROPOSED SIGNAGE BY OTHERS, UNDER SEPARATE PERMIT
  - CONNECT DOWNSPOUTS TO UNDERGROUND PIPING, REF. CIVIL
  - SPANDREL GLASS
  - NEW SECURITY CAMERA
  - CUSTOMER PROVIDED SIGN PANELS. PANELS TO BE MOUNTED TO FASCIA BY GC (WHEN PROVIDED) IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS (NON-CORROSIVE)
  - STUCCO - COLOR: SHERWIN WILLIAMS SW6993 INKWELL EGGSHELL FINISH
  - STUCCO REVEAL



**1 SIDE EXTERIOR ELEVATION**  
SCALE: 3/8" = 1'-0"

**BLANK WALL SPACE**

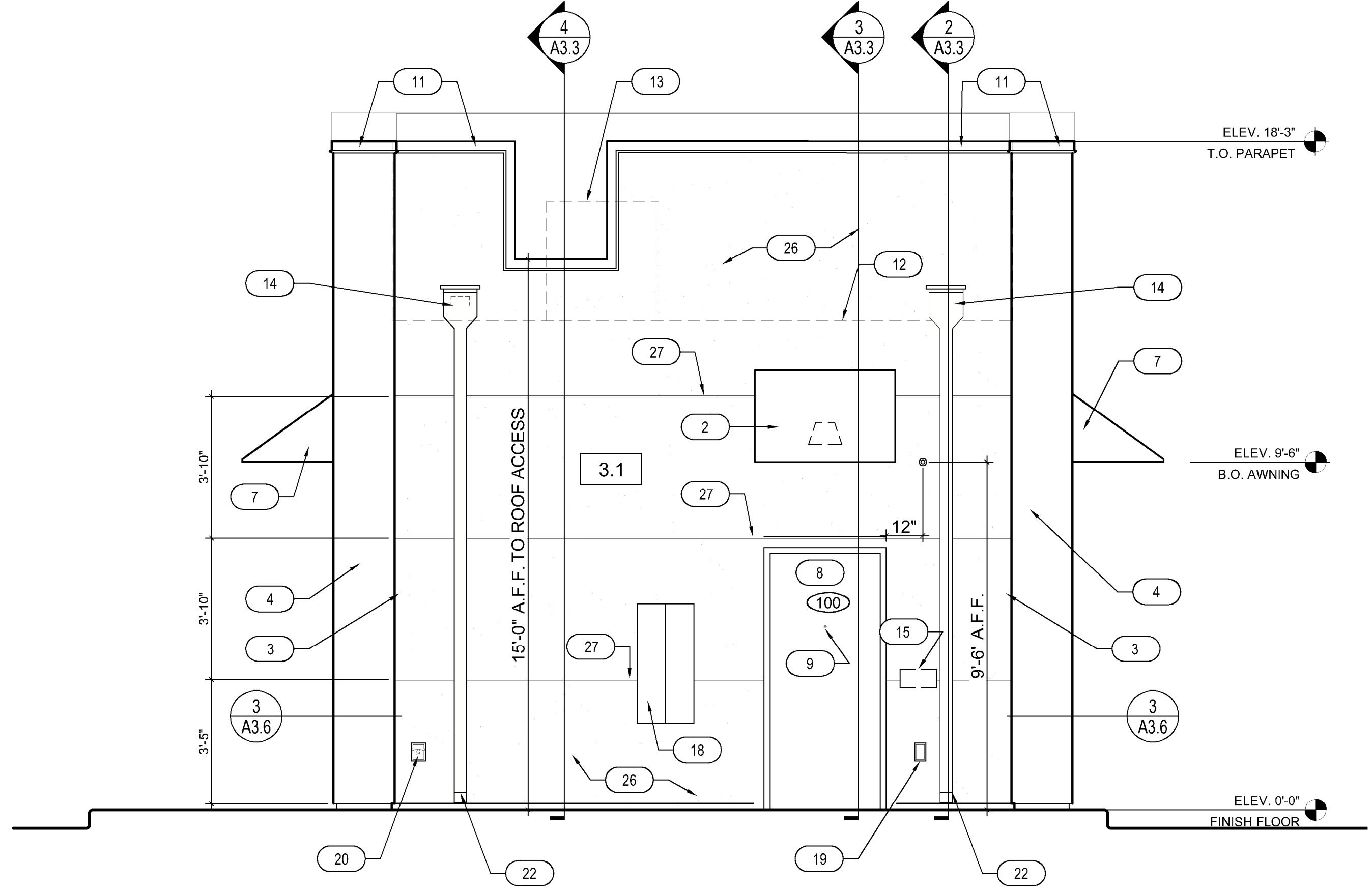
1.1	47.4 SQ FT
1.2	48.8 SQ FT
1.3	48.6 SQ FT
2.1	48.5 SQ FT
2.2	48.8 SQ FT
2.3	47.4 SQ FT
3.1	N/A PER CODE

**MATERIALPERCENTAGES**  
DRIVE THRU SIDE EXTERIOR ELEVATION

TOTAL WALL AREA	723 SQ. FT.	100%
STUCCO - INKWELL	0 SQ. FT.	0%
STUCCO - SKYLINE STEEL	1441 SQ. FT.	199%
CARBON LEDGE STONE	252 SQ. FT.	35%
FIBERON COMPOSITE CLADDING	147 SQ. FT.	20%
FENESTRATION	95 SQ. FT.	13%
TRIMS	74 SQ. FT.	10%

**MATERIALPERCENTAGES**  
BACK EXTERIOR ELEVATION

TOTAL WALL AREA	357 SQ. FT.	100%
STUCCO - INKWELL	250 SQ. FT.	70%
STUCCO - SKYLINE STEEL	0 SQ. FT.	0%
CARBON LEDGE STONE	0 SQ. FT.	0%
FIBERON COMPOSITE CLADDING	0 SQ. FT.	0%
DOOR	24 SQ. FT.	7%
TRIMS	83 SQ. FT.	23%



**2 BACK EXTERIOR ELEVATION**  
SCALE: 3/8" = 1'-0"

REV	DATE	DESCRIPTION	BY	ANG
1	12/15/23	EXTERIOR REVISION		
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TITLE:  
**EXTERIOR ELEVATIONS**

PROJECT ADDRESS:  
306 S. MAIN ST.  
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FRANCHISEE & STORE NUMBER:  
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KIOSK PROTOTYPE:  
4.1 PROTOTYPE  
MAY 2022

ISSUE DATE:  
08/14/2023

PROJECT NO.  
230522

DRAWN BY:  
NES, ANG

CHECKED BY:  
SW

SHEET NO.

**A2.2**