



Town Board Regular Meeting
June 2, 2020 – 7:00 PM
502 Southtown Circle, Rolesville, NC 27571

Agenda

Please refer to COVID-19 instructions for this meeting: [HERE](#). You are asked to check-in prior to 6:55 p.m. and follow the directions of staff on where you may wait until your agenda item is called.

A. CALL TO ORDER

1. Pledge of Allegiance
2. Invocation
3. Review of Agenda by the Board and Additions/Changes of Items of Business to the Agenda for Consideration.
4. Introduction of New Employees – Julie Spriggs (Planner II) & Valencia Wagner (Intern)
5. Public Invited to be Heard
Comments from the public will be received at this time on items that are not on the agenda or scheduled for a public hearing. A signup sheet for those who wish to speak during the public comments section of the meeting, is located with the Town Clerk. In-person public comments are subject to COVID-19 social distancing protocol. Speaking time may be limited to three (3) minutes at the discretion of the Mayor and/or Governing Board. The opportunity for electronic comment submission is also available and the Town Clerk will compile and read aloud all comments in the meeting that were received electronically prior to the start of the meeting. All comments will be made part of the permanent Official Record as if they were offered in person. To submit public comments electronically and prior to the meeting, complete a [Public Comment Submission Form](#).

B. CONSENT AGENDA

1. Minutes of the May 5, 2020 Town Board Regular Meeting and May 19, 2020 Town Board Regular Meeting.
2. Budget Amendment Ordinance 2020-BA-04: Budget Amendments for FY19-20.
3. City of Raleigh Utility Customer Assistance Program Renewal.
4. GFL Contract Amendment for Recycling.
5. Resolution 2020-R-10: Resolution Accepting Streets According to Powell Bill Certified Statement.
6. Call for Public Hearing for July 7, 2020. Case: ANX20-02 – A Voluntary Annexation Petition Made by David Evans and Wife, 3608 Foxwild Lane.
 - a. Resolution 2020-R-11: Resolution directing the Town Clerk to Investigate the Sufficiency of the Petition.
7. Direct Town Clerk to Investigate the Sufficiency of Voluntary Annexation Case ANX20-3: Hopper Communities – Wheeler Property/Rolesville & Mitchell Mill Roads.

a. Resolution 2020-R-12: Resolution Directing the Town Clerk to Certify to the Sufficiency of Voluntary Annexation Petition under Case ANX20-03.

8. Resolution 2020-R-13: Resolution of Adoption of Greenway Master Plan Design.

C. ITEMS OF BUSINESS

1. Public Hearing: Case SUP19-02. A-Master Team Mixed-Use Master Plan – CO-SUD District (Townhomes/Commercial) and Townhomes Detail Site Plan.

Consider motion and request for adoption of order.

2. Public Hearing: Case SP19-04. Rolesville Crossfit Site Plan.

3. Public Hearing: Economic Development Expenditures

4. Public Hearing: FY2020-2021 Proposed Budget.

Consideration of adoption of FY2020-21 Proposed Budget Ordinance 2020-O-03

Consideration of adoption of Resolution 2020-R-14: Resolution Authorizing the Wake County Department of Revenue to Levy and Collect Property Taxes

Consideration of Adoption of Capital Project Ordinance 2020-O-04: East Young Street Sidewalk #2

Consideration of Adoption of Capital Project Ordinance 2020-O-05: Main Street Vision Plan

D. ADJOURNMENT



Town Board Meeting
May 5, 2020 – 7:00 PM
502 Southtown Circle, Rolesville, NC 27571

Minutes

A. CALL TO ORDER

1. Roll Call – Present:

Mayor Ronnie Currin
Commissioner Jacky Wilson
Commissioner Paul Vilga

Mayor Pro Tem Michelle Medley
Commissioner Sheilah Sutton
Commissioner April Sneed

Also Present:

Town Manager Kelly Arnold
Town Clerk Robin Peyton

Town Attorney Dave Neill

B. ADJOURN TO CLOSED SESSION

Moved by Commissioner Vilga to adjourn to Closed Session Pursuant to North Carolina General Statute § 143-318.11(a)(4) -- To discuss matters relating to the location or expansion of businesses in the Town, including agreement on a tentative list of economic development incentives that may be offered by the Town Board in negotiations. Motion seconded by Commissioner Wilson and carried by unanimous vote. The Board entered Closed Session at 9:43 p.m.

Due to emergency restrictions imposed in response to the COVID-19 pandemic, this Board Meeting will be conducted in an electronic format. Meetings may be viewed live on the Town YouTube channel: <https://www.youtube.com/user/townofrolesville>. For more information on the status of Town Board meetings, including how to submit public comments during COVID-19 social distancing mandates, please visit the Town of Rolesville website: <https://www.rolesvillenc.gov/agendas-minutes>

The Town of Rolesville will make reasonable accommodations for access to Town services, programs, and activities and will make special communication arrangements for persons with disabilities. Please call (919) 556-3506 by noon on the Thursday prior to the meeting to make arrangements.



Town Board Regular Meeting
May 19, 2020 – 7:00 PM
502 Southtown Circle, Rolesville, NC 27571

MINUTES

PRESENT: Ronnie Currin, Mayor
Jacky Wilson, Commissioner
Paul Vilga, Commissioner
Kelly Arnold, Town Manager
Dave Neill, Town Attorney
Michelle Medley, Mayor Pro Tem
Sheilah Sutton, Commissioner
April Sneed, Commissioner
Amy Stevens, Finance Officer
Robin Peyton, Town Clerk

A. CALL TO ORDER

Mayor Currin called the meeting to order at 7:00 PM.

Mayor Currin provided an update on the Town's response to COVID-19.

1. **Pledge of Allegiance.** Mayor Currin led those present in the Pledge of Allegiance.
2. **Invocation:** Commissioner Wilson gave the invocation.
3. **Review of Agenda by the Board and Additions/Changes of Items of Business to the Agenda for Consideration.**
4. **Public Invited to be Heard:** Due to the meeting being closed to the public in response to the COVID-19 pandemic, public comments were requested to be submitted in advance of the meeting to be read aloud by the Town Clerk. No public comments were received:

B. CONSENT AGENDA

1. Call for Public Hearing for June 16, 2020. Case: PR18-02 – Chandler's Ridge Preliminary Subdivision Plat (Conservation Subdivision) and Chandler's Ridge Subdivision Development Agreement.
2. Call for Public Hearing for June 16, 2020. Case: SP20-02 – Rolesville Rural Fire Department site plan. A site plan for an addition to the existing storage building located in Residential 1 (R1) and Town Center Overlay (TC) Zoning Districts located at 104 W. Young St. on a parcel of 1.72 acres. Wake County PIN 1769017022.

Moved by Commissioner Wilson to approve the Consent Agenda as presented; seconded by Commissioner Sutton. Motion carried by unanimous vote.

C. ITEMS OF BUSINESS

1. **Rolesville/Wake Forest Transit Study Update.** The Town Board watched a narrated PowerPoint presentation provided by Mr. Ray Boylston of RLS & Associates. During the presentation, Mr. Boylston outlined the following three service alternatives:
 - a. Option 1: Bus service through Rolesville along Rogers Road to the location of the Sheetz in Wake Forest.
 - b. Option 2: On-demand van service (2 vans) with available scheduling via cell phone.
 - c. Option 3: Uber/Go Wake Microtransit Service (Uber supplemented by Go Wake).

Public input is to be sought followed by a decision by the board(s) further followed by a grant request submittal to CAMPO/TPAC.

2. **2020-20201 Recommended Budget Review.** Town Manager Kelly Arnold presented the proposed FY2020/20201 Town of Rolesville Budget consisting of pre- and existing COVID-19 scenarios. The proposed budget includes a recommended tax reduction from 48 cents to 46 cents. The recommendation is a departure from the recommendation put forth by Wake County of 44 cents, and would allow Rolesville to fund future projects. A public hearing will be held on June 2, 2020 and the deadline for adoption of a budget is July 1, 2020.

D. RECESS TO CLOSED SESSION

I, Commissioner Paul Vilga move that the Board recess to Closed Session, for the following purposes: Pursuant to North Carolina General Statute § 143-318.11(a)(4) – To discuss matters relating to the location or expansion of businesses in the Town, including agreement on a tentative list of economic development incentives that may be offered by the Town Board in negotiations. Motion seconded by Commissioner Wilson and carried by unanimous vote. The Board entered Closed Session at 9:34 p.m.

E. RETURN TO OPEN SESSION

Moved Commissioner Wilson to return to open session; seconded by Commissioner Sneed. Motion carried by unanimous vote. Town Board returned to open session at 9:55 p.m.

It was moved by Commissioner Wilson to adopt the first amendment to the Letter of Intent (LOI) between the Town of Rolesville and Cobblestone Crossing LLC for potential development of town-owned property at Main and Young Streets, for an extended 60 days. The motion was seconded by Commissioner Vilga and carried by unanimous vote.

F. ADJOURN

Moved by Commissioner Sutton to adjourn; seconded by Commissioner Wilson. Motion to adjourn carried by unanimous vote. The meeting adjourned at 10:01 PM.

The Town of Rolesville will make reasonable accommodations for access to Town services, programs, and activities and will make special communication arrangements for persons with disabilities. Please call (919) 556-3506 by noon on the Thursday prior to the meeting to make arrangements.



Memorandum

To: Mayor and Town Board
From: Amy Stevens, Finance Director & Orlando Soto, Chief of Police
Date: May 27, 2020
Re: Budget Ordinance Amendment, Agenda Item #B.2.

RRFD

Ten cents of the Town's property tax rate of forty-eight cents is earmarked for the Rolesville Rural Fire Department. When actual property tax revenues exceed the original revenue projection, the funds transferred to RRFD also exceed the original budget amount. This amendment is an annual adjustment that will remedy that issue, an action taken each fiscal year around this time.

ABC Grant for Camp K.I.D.D.S. (Kidness.Integrity.Decisions.Duty.Service.)

For the past six years, the Rolesville Police Department has held an annual summer camp, which has successfully impacted over 500 students through our partnership with Wake County ABC. The camp allows students to be educated on drug and alcohol resistance, effects of bullying, and the opportunity to understand the consequences of decision making, while under the influence of impairing substances. As we continue in this effort, a grant from the Wake County ABC Board was awarded to the Town in the amount of \$23,107. The requested amendment will reflect the award of that grant.

RHS Camera Grant

The Rolesville Police Department desires to continue its partnership with the Wake County Public School system to make Rolesville High School a more conducive environment for learning and safety. In 2013, Wake County Public Schools constructed Rolesville High School, where 101 surveillance cameras were installed for school security purposes. The existing system has room for improvements, and a grant was sought for the installation of an additional 33 cameras to upgrade the existing system.

The Rolesville Department applied and received a criminal justice improvement grant in conjunction with the North Carolina Crime Commission to aid in this aforementioned project. Federal funding awarded \$ 34,951 for the purchase of the surveillance cameras, which include a combination of indoor and outdoor surveillance cameras. To assist in this project, the Wake County Public School system has agreed to fund the remaining cost of installing and maintaining these new surveillance cameras. As with most zero match grants, authorized funding is made on a reimbursement basis, so the Town of Rolesville would be responsible for the initial purchase of the camera systems, before being reimbursed.

Recommended Action

Approve the ordinance to amend the 2019-2020 fiscal year budget ordinance.

Attachments:

- Ordinance to Amend the 2019-2020 Fiscal Year Budget Ordinance

**AN ORDINANCE TO AMEND THE
2019-2020 FISCAL YEAR BUDGET ORDINANCE**

BE IT ORDAINED, by the Board of Commissioners of the Town of Rolesville, North Carolina that the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2020:

To recognize revenue from property taxes, which was higher than expected, and allocate the portion due to the Rolesville Fire Department.

		<u>Increase</u>
<u>Revenues</u>		
11-301-01	Ad Valorem Taxes	\$60,000
<u>Expenditure</u>		
11-700-53	Rolesville Fire Department	\$60,000

To reflect the receipt of an ABC Board grant for the Camp KIDDS program.

		<u>Increase</u>
<u>Revenues</u>		
11-310-23	Federal/State Grants	\$23,107
<u>Expenditure</u>		
11-510-56	Camp KIDDS (formerly Camp CARE)	\$23,107

To reflect the receipt of a North Carolina Crime Commission grant for surveillance cameras at Rolesville High School.

		<u>Increase</u>
<u>Revenues</u>		
11-310-23	Federal/State Grants	\$34,951
<u>Expenditure</u>		
11-510-81	Equipment & Furniture	\$34,951

This will result in an increase of \$118,058 in both revenues and expenditures of the General Fund.

Adopted this 2nd day of June 2020

Ronnie I. Currin
Town of Rolesville Mayor

Attest: _____
Robin E. Peyton
Town Clerk



Memorandum

To: Mayor and Town Board
From: Amy Stevens, Finance Director
Date: May 26, 2020
Re: City of Raleigh Utility Customer Assistance Program, Agreement Amendment #1, Agenda Item #B.3.

Background

In May 2018, the Town Board approved Rolesville's participation in the City of Raleigh's Utility Customer Assistance Program (UCAP). This program was designed to assist economically distressed utility customers with their monthly water and sewer bills.

Funds for this program were included in the FY18-19 budget, and the Town paid \$2,400 to the City of Raleigh to hold in reserve for the needs of utility customers located within the Rolesville corporate limits.

Update

In early March 2020, the City of Raleigh reported that the Rolesville had its first participant in the UCAP program. Given current economic conditions, a greater need for this program is expected to develop in the near future. The City of Raleigh has proposed a two year extension of the program. At this time, no additional funds are requested.

Should the Town Board choose to extend the Town's participation in this program, staff will seek to proactively publicize the UCAP program in order to increase local participation and ensure that local residents are aware of the support available.

Board Options

The Town Board may 1) continue to participate in the UCAP program and re-evaluate the program again at a later date or 2) terminate its participation and request to have the funds returned.

Recommended Action

Make a motion to approve, and authorize the Town Manager to execute, the Inter-local Agreement for the Utility Customer Assistance Program Amendment #1, which will extend participation for another two years.

Attachments

- Inter-local Agreement for the Utility Customer Assistance Program, which was approved in July 2018
- Proposed Agreement Amendment #1

AGREEMENT FOR
UTILITY CUSTOMER ASSISTANCE PROGRAM

This AGREEMENT FOR UTILITY CUSTOMER ASSISTANCE PROGRAM (hereinafter Agreement) is entered into as of this 17 day of July, 2018, is between the City of Raleigh (the "City") and Town of Rolesville (the "Town"), each of the above being municipal corporations and public bodies politic of the State of North Carolina.

RECITALS:

WHEREAS, the City of Raleigh Public Utilities Department provides water and sewer services to the citizens of Raleigh, Knightdale, Wendell, Rolesville, Garner, Zebulon and Wake Forest, which represent a combined population served of over 530,000 Wake County residents,

WHEREAS, it is widely recognized that water and sewer services are critical and fundamental requirements for the general welfare of a community; but there are no existing local government programs to assist economically distressed utility customers with their monthly water and sewer bills,

WHEREAS, the City and the Town have dedicated funds (\$200,000 and \$2,400 respectively) to fund a Utility Customer Assistance Program (UCAP), which will assist customers who have an identified need with paying their water and sewer bill,

WHEREAS, the City's utility service area incorporates multiple municipal jurisdictions and the County currently administers several social assistance programs for Wake County residents in these areas,

WHEREAS, the Town desires to provide funding to the City to administer and implement the UCAP to Town residents;

NOW THEREFORE, pursuant to Chapter 160A, Article 3 of the North Carolina General Statutes, and in consideration of the mutual goals and promises contained herein and the mutual benefits to result there from, that parties agree to support the UCAP as follows:

I. Implementation of the UCAP

1. The Town will provide the annual funding amount of \$2,400 to the City via electronic transfer or check to fund the UCAP for utility customers in the Rolesville Service area.
2. The Town's funds will be transferred to the City no later than September 1st of 2018 and thereafter no later than August 1st of each year in the designated amount which the Town intends to provide its citizens. The City will acknowledge receipt of the

funding through an email to the Town finance director. Additional funding may be provided by the Town during the year if funds are depleted.

3. Once the Town's UCAP funds have been depleted the City will notify the Town via email that the funds have been depleted.
4. The Town or the City may provide additional funding for the respective UCAP accounts throughout the fiscal year if original funds are depleted.
5. The City will only utilize Town UCAP funds to assist customers in the Town's jurisdiction. The City will only utilize City UCAP funds to assist customers in the City's jurisdiction.
6. The City will provide quarterly reports to the Town regarding the utilization of the funding. Quarterly reports shall include the funding utilized to date, the remaining balance of funds, and a list of customers who have received assistance.
7. Customers desiring to apply for UCAP funds will do so through the Wake County Human Services Department, who is responsible for determining a customer's eligibility for UCAP funds. Criteria for eligibility in the UCAP is as follows:
 - a. Meet income eligibility requirements*
 - b. Have reserves at or below \$2,250
 - c. COR Utility account will be past due, in jeopardy of disconnection or currently disconnected for non-payment
 - d. Be responsible for its COR Utility Bill

*Income eligibility is 130% of the current poverty level (example: One person in HH = \$1,307 max monthly income/ Two people in HH = \$1,759 max monthly income / Three people in HH = \$2,212 max monthly income)
8. If a City or Town customer is determined eligible for the UCAP, City Utility staff will credit the customer account. Once the payment has been applied, City Utility staff will confirm, in writing, with the Customer that the transaction has been completed.
9. Each UCAP transaction shall be one time per fiscal year, per Customer with a value up to \$240, to be credited to the Customer's account. Funds may or may not be sufficient to meet Customer needs and the Customer will be responsible for resolving any outstanding balance to continue service.
10. An annual summary report for the UCAP will be provided by City Utility staff to Town staff. In addition to the information provided in the quarterly reports referenced in paragraph 6 above, the annual report will include the number of applicants from all communities served by the UCAP Program.

11. The Town may, at its sole discretion, may choose to discontinue its participation in the UCAP program at the end of the fiscal year.

II. General Terms and Conditions

1. **Term; termination.** The term of this Agreement shall run from the date of execution of this Agreement by Parties hereto through June 30, 2020. The Parties shall have the right to terminate their participation in this agreement with or without cause upon giving fourteen (14) days electronic and written notice to the party delivered to the following address:

Town of Rolesville: Kelly Arnold, Town Manager
502 Southtown Circle
P.O. Box 250
Rolesville, NC 27571

City of Raleigh Public Utilities Director
One Exchange Plaza, 6th Floor
P.O. Box 590
Raleigh, NC 27602

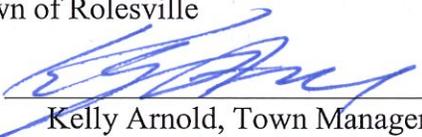
The roles and responsibilities of the withdrawing party shall terminate within 14 days after notice is given by the withdrawing party in accordance with this agreement unless otherwise agreed by in writing by both Parties; except the termination shall not relieve responsibility for payment of the Parties' commitments to the termination date. Any remaining balance in the Town's UCAP fund account after the date of termination will be refunded to the Town within thirty (30) days of the date of termination.

2. **Amendment.** Any amendment to this agreement to be effective must be in writing, signed by the Manager or other authorized representative of the Parties, and executed with the same formality and approvals as the foregoing agreement.
3. **Assignment.** No party shall assign any portion of this agreement or the rights and responsibilities hereunder to another person or entity who is not party to this agreement without prior written consent of the Parties.
4. **Governing Law; Venue.** This Agreement and the rights and obligations of the Parties hereto shall be interpreted, construed and enforced in accordance with the laws of the State of North Carolina and shall be enforced only in its General Court of Justice to the extent that any such actions will lie therein. The venue for any such action relating to this Agreement shall be Wake County Civil Superior Court.
5. **Entire Agreement.** The terms and provisions herein contained constitute the entire agreement by and between the Parties hereto and shall supersede all previous communications, representations or agreements, either oral or written between the Parties hereto with respect to the subject matter hereof.

- 6. **Severability.** If any provision of this Agreement shall be determined to be unenforceable by a court of competent jurisdiction, such determination will not affect any other provision of this Agreement.
- 7. **Counterparts.** This Agreement may be executed in several counterparts, each of which shall be deemed an original.
- 8. **Non-Discrimination Assurances.** In consideration of the signing of this Agreement, the Parties hereto for themselves, their agents, officials, employees and servants agree not to discriminate in any manner on the basis of race, color, creed, national origin, sex, age, handicap, or sexual orientation with reference to the subject matter of this Agreement, no matter how remote. The Parties further agree in all respects to conform to the provisions and intent of City of Raleigh Ordinance 1969-889, as amended. This provision is hereby incorporated into this Agreement for the benefit of the Organizer and its residents, and may be enforced by action for specific performance, injunctive relief, or other remedy as by law provided. This Agreement shall be binding on the successors and assigns of the parties with reference to the subject matter of this Agreement.

IN WITNESS WHEREOF the parties' mutual understandings, the City and the Town and have executed this Agreement under the signatures of their designated Managers, respectively, with proper authorization of their respective governing bodies, as of the date set fourth above.

Town of Rolesville

By: 
 Kelly Arnold, Town Manager

Attest:

By: 
 Robin E. Peyton Town Clerk



The City of Raleigh

By: 
 City Manager

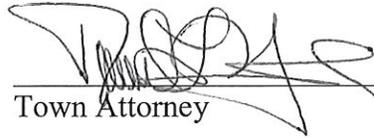
Attest:

By: 
 Gail G. Smith, City Clerk-Treasurer



Approved as to Form:

Jay A. Harricole
City Attorney
rep


Town Attorney

RALEIGH 528199.2

STATE OF NORTH CAROLINA
COUNTY OF WAKE

AGREEMENT AMENDMENT #1

THIS AMENDMENT is entered into by and between the Town of Rolesville, a North Carolina municipal corporation, hereinafter referred to as the “Town”, and the City of Raleigh, a North Carolina municipal corporation, hereinafter referred to as the “City.”

WHEREAS, the City and the Town have entered an Agreement dated the 23rd day of July 2018 (hereafter, the “Agreement”), for Wake County to perform certain administrative functions related to the Utility Customer Assistance Program (UCAP).

WHEREAS, the Agreement amendment terminates on June 30, 2020 and the parties desire to extend the term of the Agreement;

THEREFORE, for and in consideration of the mutual promises to each other, as hereinafter set forth, the parties hereto do mutually agree to amend the Agreement, as follows:

1. Section 1, Term of Agreement is hereby modified to extend the term of the Agreement through and including June 30, 2022. The parties may agree to extend the Agreement for two additional years should funding be awarded to the Utility Customer Assistance Program through a written amendment to this Agreement.
2. Except as specifically changed by this Amendment, all other terms, conditions and other provisions of the Agreement remain in full force and effect.

The remainder of this page remains blank intentionally.

THIS AMENDMENT is entered into this _____ day of June 2020.

IN WITNESS WHEREOF, the parties hereto have agreed and executed this Amendment.

CITY OF RALEIGH

TOWN OF ROLESVILLE

By: _____

By: _____

PRINTED NAME: _____

Kelly Arnold
Town Manager

Title: _____

Date: _____

Date: _____

By: _____

Robin Peyton
Town Clerk

Date: _____

The person responsible for monitoring the contract performance requirements is

_____. _____ Department Head Initials



Memorandum

To: Mayor and Town Board
From: Amy Stevens, Finance Director
Date: May 27, 2020
Re: GFL Contract Amendment, Agenda Item #B.4.

Background

The Town currently contracts with GFL Environmental (owner of Waste Industries) to provide weekly curbside garbage and recycling service to residential units within the Town limits. Under the original contract assigned from Veteran's Waste Service, the cost to provide these services is \$11.45 per household per month. The original 5-year contract began July 1, 2017 and expires June 30, 2022.

About one year ago, GFL requested that their customers share in additional costs for recycling due to challenges with selling in the secondary recycling materials market. Last year, the Town Board approved a contract amendment to provide for an additional \$0.68 per recycling cart per month for the fiscal year beginning July 1, 2019.

GFL is now requesting to increase this additional recycling fee to \$2.20 per recycling cart per month effective July 1, 2020. This action would increase the monthly cost per residence served to \$13.65 per month. The estimated annualized cost to the Town is about \$52,900.

Appropriations to fund this increase are included in the Proposed Budget for FY 2020-21. Due to the change in billing methods, there will be sufficient reserves from solid waste fees to fund this increase for FY 2020-21, without any associated increase in the solid waste fee to residents.

Should GFL expect continued disruption in the recycling markets and anticipate continuing this additional recycling fee into future years, then the fee will need to be re-examined in early 2021. This earlier review will allow time to fully assess the impact on the solid waste fee revenues collected by the Town.

Board Options

Approve the attached contract or have further discussion with GFL regarding the proposal.

Recommended Action

Make a motion to approve the amendment to the Waste Industries contract, effective July 1, 2020.

Attachments

- Letter from GFL
- Contract amendment with GFL / Waste Industries



March 2, 2020

Kelly Arnold
Manager
Town of Rolesville
PO Box 250
Rolesville, North Carolina

Dear Mr. Arnold,

Per our discussion, we have good news in that we still have a contracted processor in Eastern NC that will handle our recyclable materials and has not cut any material from the recyclable mix. Unfortunately, last year, some municipalities had to face the reality of being cut from their processor due to so many facilities closing and continual depressed markets. Some municipalities also had to cut the list of items that the processor would no longer accept.

Having said that, our processing cost per unit will increase from \$.68 each to \$2.20 each to reflect what our analysts show will be an average cost per ton for the upcoming year. This increase is based solely on the cost per ton we are having to pay the processor. This increase will not be instituted until July 1, 2020. We will continue to absorb the difference until that time.

Please let us know if you have any questions or concerns.

Respectfully,

Norma Yanez
Government Contracts Manager

**AMENDMENT OF RESIDENTIAL CURBSIDE SOLID WASTE and RECYCLING
REMOVAL SERVICE AGREEMENT
BETWEEN THE TOWN OF ROLESVILLE AND ALLIANCE CAREERS, LLC dba
VETERANS WASTE SOLUTIONS EFFECTIVE the 1ST DAY of JULY, 2017
ASSIGNED to WASTE INDUSTRIES, LLC on or about MARCH 1, 2018:**

This Amendment of the Contract made between the **Town of Rolesville** and **Waste Industries, LLC**:

In **Section 5: Recycling Waste Collection**, insert the following new paragraph at the end thereof:

“Waste Industries will provide educational material for the citizens to reduce contamination and identify materials that are recyclable in the Town’s recycling program. Waste Industries, LLC will work with Town to distribute, display and/or advertise this educational material.”

All other Terms and Conditions of this section remain the same.

In **Exhibit “B” Contractor’s Proposal**, insert the following new paragraph immediately after the phrase “Bid Information per scope of work”:

Beginning July 1, 2020 through June 30, 2021, in addition to the \$11.45 per customer monthly fee described below, Town will pay \$2.20 per month per recycle cart for estimated processing costs for recyclables. During the spring of 2021, Town will meet with Waste Industries, LLC to review these costs to determine if changes need to be made to this per cart monthly fee or if the fee will continue after June 30, 2021.

All other Terms and Conditions of this section remain the same.

All other Terms and Conditions of the remainder of entire agreement remain the same.

In witness whereof, the Town and Waste Industries, LLC have executed this contract amendment as of this day and year first written:

WASTE INDUSTRIES LLC

TOWN of ROLESVILLE

BY: _____
Travis Hitchcock Vice President

BY: _____

DATE: _____

DATE: _____

This instrument has been pre-audited in the manner required by the Local Government Budget and Fiscal Control Act.

Town Finance Officer



Memorandum

TO: Mayor and Town Board of Commissioners
FROM: Danny Johnson, AICP, Planning Director
DATE: May 27, 2020
RE: Agenda Item B.5 Resolution 2020-R-10 Accepting Streets According to Powell Bill Certified Statement.

Background

Required each year by the Town is a resolution accepting all public street and right-of-ways completed and recorded since the last certification for Powell Bill in 2019. Resolution 2020-R-10 lists all the newly recorded public streets for acceptance by the Town of Rolesville and in association with the Powell Bill Certified Statement.

Relationship to Budget/Goals

None

Town Staff Recommendation

Staff recommends approval of the Resolution 2020-R-10

Recommended Action

Motion to approve RES 202-R-10, Resolution by the Town of Rolesville Mayor and Board of Commissioners to accept the streets and right-of-ways completed between July 1, 2018 and June 30, 2020 in association with the Powell Bill Certified Statement.

Attachment:

RES 2020-R-10, Resolution by the Town of Rolesville Mayor and Board of Commissioners to accept the streets and right-of-ways completed between July 1, 2018 and June 30, 2020 in association with the Powell Bill Certified Statement.

**RES 2020-R-10
RESOLUTION BY THE TOWN OF ROLESVILLE
MAYOR AND BOARD OF COMMISSIONERS
TO ACCEPT THE STREETS AND RIGHT-OF-WAYS
COMPLETED BETWEEN JULY 1, 2018 TO JUNE 30, 2020
IN ASSOCIATION WITH THE POWELL BILL CERTIFIED STATEMENT**

WHEREAS, the Town of Rolesville Mayor and Board of Commissioners have approved preliminary subdivision designs and plats associated with various developments; and

WHEREAS, construction drawings are then submitted to develop and improve the lots, streets, and public right-of-ways; and

WHEREAS, the Town of Rolesville Engineer and municipal staff reviews the construction drawings for compliance with town standards; and

WHEREAS, once construction drawings are approved, the streets and public right-of-ways are inspected by the Town of Rolesville Inspector for compliance involving (but not limited to) thickness, compaction, and quality; and

WHEREAS, after these streets and right-of-ways have been fully inspected and approved, final plats are signed and recorded with the Wake County Register of Deeds Office; and

WHEREAS, the Town of Rolesville participates annually in the State of North Carolina Powell Bill program; and

WHEREAS, this Powell Bill program assists the Town of Rolesville financially in streets that are accepted and maintained by the municipality; and

WHEREAS, the Powell Bill certified statement requires resolution from the elected body officially accepting such streets.

NOW THEREFORE BE IT RESOLVED, the Town of Rolesville Mayor and Board of Commissioners accept the following streets as recorded between July 1, 2018 and June 30, 2020:

<u>Street Name</u>	<u>Book of Map and Page of Record at Register of Deeds</u>
• Brownwich St	BM 2019 – Page 1951-1957
• Pelzer Dr	BM 2019 – Page 1951-1957
• Argentum St	BM 2019 – Page 1951-1957
• Bridge Point Dr (part)	BM 2019 – Page 2048-2049
• Kenton Mill Ct	BM 2019 – Page 2048-2049
• Adkins Ridge Rd (part)	BM 2019 – Page 1078-1080
• Anna Point Ln	BM 2019 – Page 1078-1080
• Hines Point	BM 2019 – Page 1078-1080
• Granite Falls Blvd (part)	BM 2018 – Page 2072

Adopted this the 2nd day of June, 2020

Ronnie I. Currin
Mayor, Town of Rolesville

Attest: _____
Robin E. Peyton
Town of Rolesville Clerk



Memo

To: Mayor and Town Board of Commissioners

From: Danny Johnson, AICP, Planning Director

Date: May 27, 2020

Re: Consent item B.6, ANX 20-02 Voluntary Annexation Petition for property owned by David and Ashby Evans, 3608 Foxwild Lane and Resolution directing the Town Clerk to Investigate the Sufficiency of the Petition.

Summary Information

The Town has received a voluntary annexation petition for 1.972 acres located at 3608 Foxwild Lane into the Town of Rolesville Town Limits. This location is the proposed Chandlers Ridge Subdivision. As provided in G.S. 160A-31, the petition should be investigated by the Town Clerk as to its sufficiency of meeting G.S. 160A-31. The attached resolution directs the Town Clerk to investigate and report back to the Town Board of Commissioners the results of her investigation.

Planning Staff Recommendation

Staff recommends approval of the resolution directing the clerk to investigate a petition received under G.S. 160A-31.

Relationship to Current Budget/Goals

None

Suggested Motion:

Motion to approve a resolution directing the clerk to investigate a petition received under G.S. 160A-31.

Attachments:

ANX 20-02 Resolution 2020-R-11: Resolution directing the Town Clerk to Investigate the Sufficiency of the Petition.

ANX 20-02 3608 Foxwild Lane Annexation Location Map

ANX 20-02 David and Ashby Evans Annexation Petition and Annexation Boundary Map



ANX 20-02
3608 Foxwild Lane

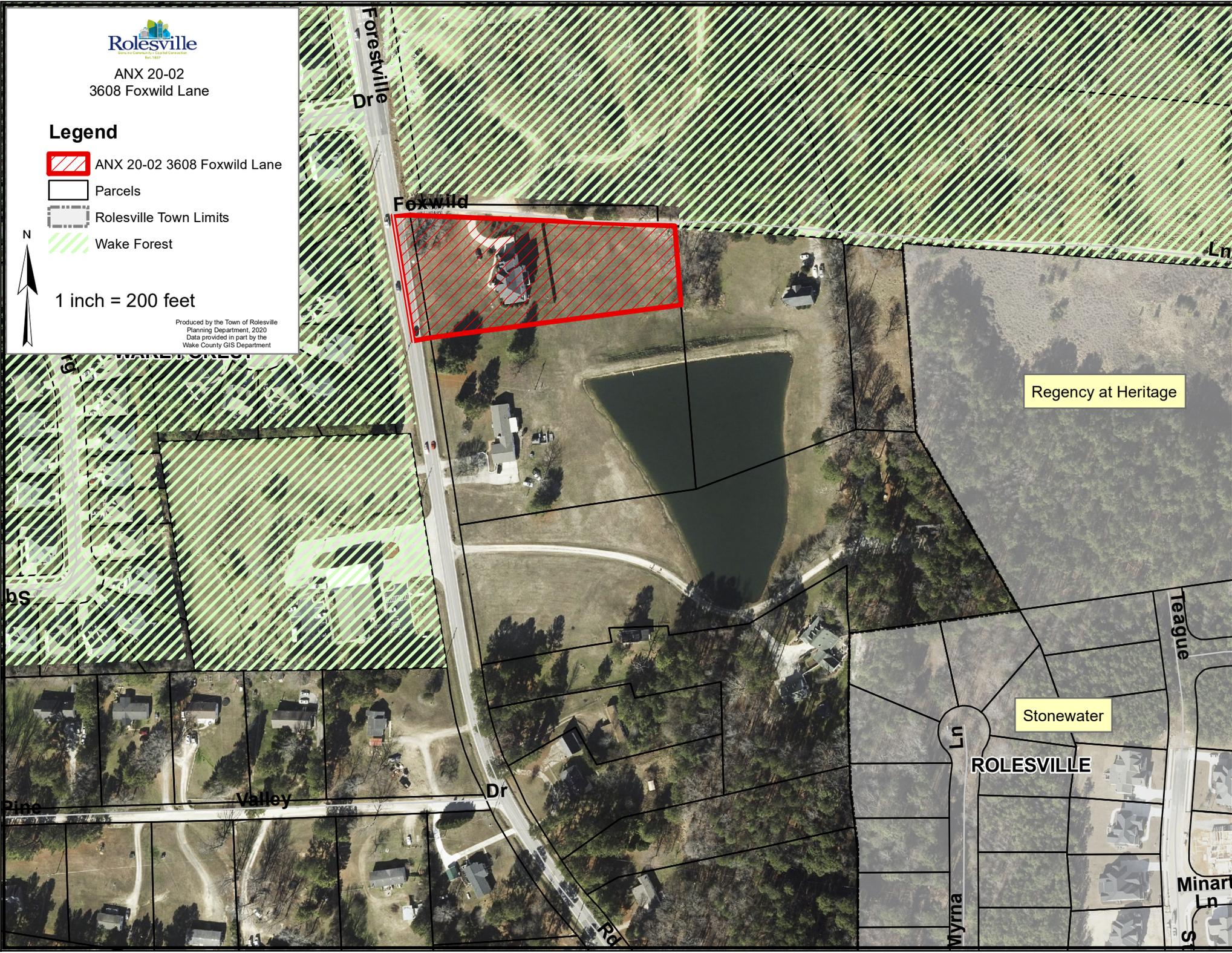
Legend

-  ANX 20-02 3608 Foxwild Lane
-  Parcels
-  Rolesville Town Limits
-  Wake Forest



1 inch = 200 feet

Produced by the Town of Rolesville
Planning Department, 2020
Data provided in part by the
Wake County GIS Department



Regency at Heritage

Stonewater

ROLESVILLE

Teague Ln

Minart Ln

Myrna Ln

Dr

Valley

Pine

Forestville Dr

Foxwild

TOWN OF ROLESVILLE PETITION FOR ANNEXATION

The items below are required in order to complete your application and shall be submitted when the application is filed.

1. A complete copy of the last deed of record for proof of ownership
2. An annexation boundary plat/map for recordation at the Wake County Register of Deeds Office (mylar plat) prepared by a professional land surveyor showing the boundaries of the area or property for annexation into the Town of Rolesville.
3. A complete copy of the written metes and bounds description based on the annexation boundary plat/map.

SECTION 1 - LOCATION

Is the area contiguous with the existing primary corporate limits? Satellite corporate limits is not primary. Yes or No

Note: If the land is contiguous to any existing corporate limits, the proposed annexation boundary will include all intervening right-of-ways for streets, easements, and other areas as stated in North Carolina General Statute §160-131(1).

SECTION 2 - VESTED RIGHTS

NC General Statutes require petitioners of both contiguous and non-contiguous annexations to file a signed statement declaring whether vested rights have been established in accordance with G.S. 160A-385.1 or 153A-344.1 for properties subject to the petition. Do you declare vested rights for the property subject to this petition? Yes or No

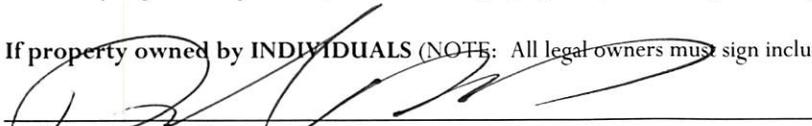
SECTION 3 - PROPERTY DETAILS

PIN Number	Real Estate ID Number	Deed Book Number	Page Number	Acreage To Be Annexed	Wake County Assessed Value
1749661069	0332096	DB 016634	PG 01526	1.82	\$ 608,114
		DB	PG		\$
		DB	PG		\$

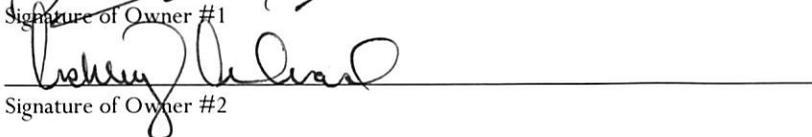
SECTION 4 - SIGNATURES AND VERIFICATION

We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

- If property owned by **INDIVIDUALS** (NOTE: All legal owners must sign including both husband and wife)



Signature of Owner #1



Signature of Owner #2

3-30-20
Date Signed

3/30/20
Date Signed

- If property owned by a **COMPANY OR CORPORATION** (NOTE: The company or corporation must be legally registered with the State of North Carolina – Office of the Secretary of State)

Name of Corporation

Printed Name of Registered Agent

Signature of Registered Agent

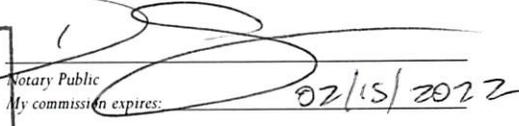
Address, State, Zip of Registered Office:

North Carolina, WAKE County

I, DEVON COREY, a Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instrument. Witness my hand and official seal, this 30 day of MARCH, 2020.

Notary Seal

DEVON COREY
Notary Public
Wake Co., North Carolina
My Commission Expires Feb. 15, 2022


Notary Public
My commission expires: 02/15/2022

I, MICHAEL A. MOSS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION. THAT THE SOURCE OF INFORMATION FOR THE SURVEY IS SHOWN HEREON: THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED; THAT THE RATIO OF PRECISION IS GREATER THAN 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL
 THIS _____ DAY OF _____, 2020.

PROFESSIONAL LAND SURVEYOR (L-3794)

PRELIMINARY

FOR REVIEW PURPOSES ONLY

ROLESVILLE, NORTH CAROLINA
 REVIEW OFFICER
 OF THE TOWN OF ROLESVILLE, CERTIFY
 THAT THE MAP OR PLAT TO WHICH THIS
 CERTIFICATION IS AFFIXED MEETS ALL
 STATUTORY REQUIREMENTS FOR RECORDING.

DATE _____ REVIEW OFFICER _____

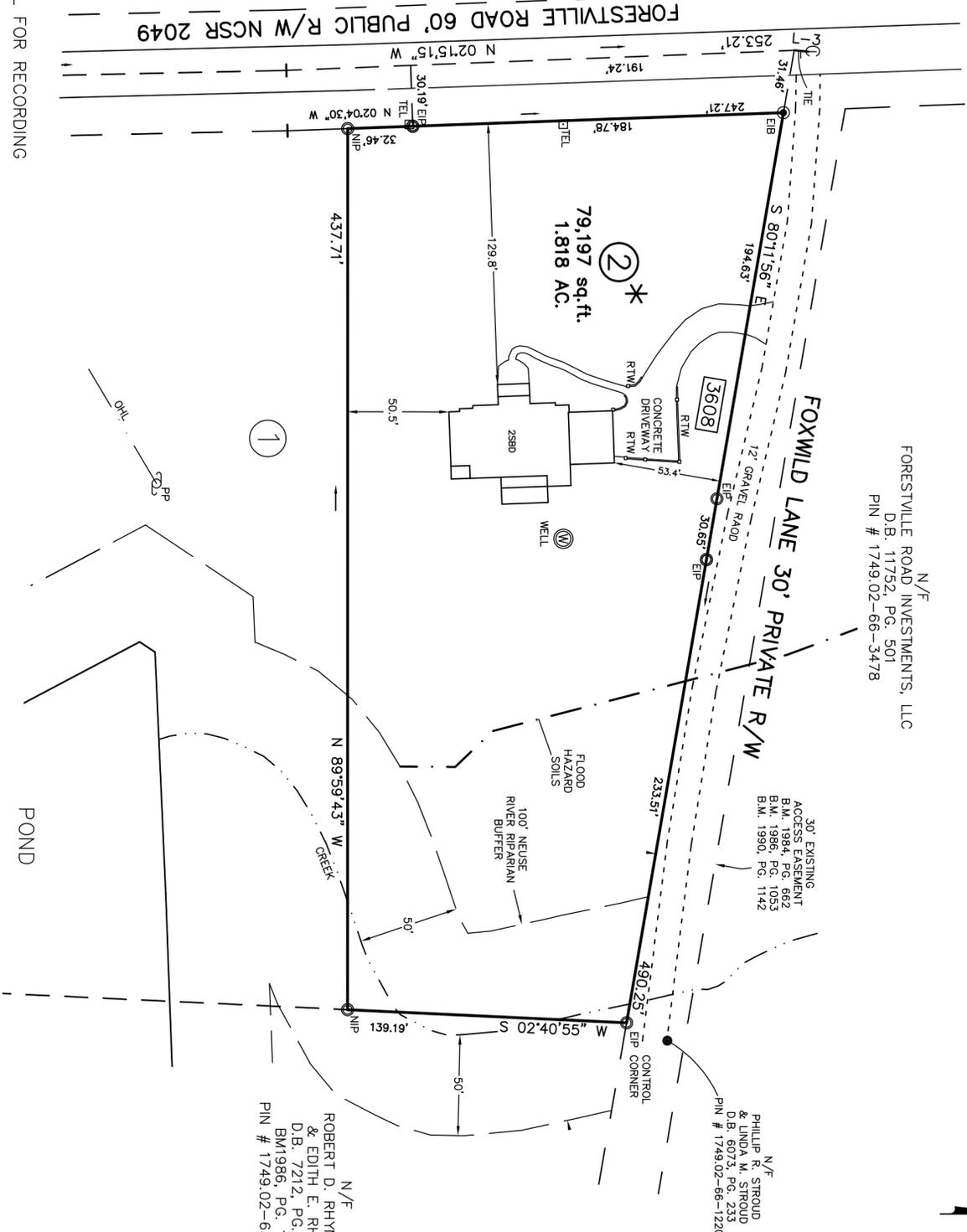
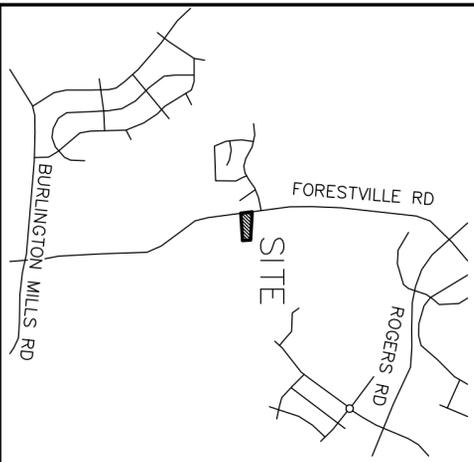
LEGAL DESCRIPTION
 BEGINNING AT AN EXISTING IRON BAR AT THE INTERSECTION OF FORESTVILLE ROAD AND FOXWILD LANE RIGHT OF WAY; LEAVING SAID RIGHT OF WAY THENCE S 80°11'56" E A DISTANCE OF 458.79' TO AN EXISTING IRON PIPE; THENCE N 89°59'43" W A DISTANCE OF 139.19' TO A NEW IRON PIPE; THENCE N 02°04'30" W A DISTANCE OF 437.71' TO A NEW IRON PIPE AT THE RIGHT OF WAY OF FORESTVILLE ROAD; THENCE N 02°04'30" W A DISTANCE OF 32.46' ALONG THE RIGHT OF WAY; THENCE N 02°04'30" W A DISTANCE OF 184.78' TO AN EXISTING IRON BAR; WHICH IS THE POINT OF BEGINNING, HAVING AN AREA OF 79196.87 SQUARE FEET; 1.818 ACRES

LINE TYPE LEGEND

Property Line - Line Surveyed	Right-of-Way
Adjoining Line - Line Not Surveyed	Building Setback
Access Easement	Easement
Buffer	Flood Hazard Soils

LINE TABLE

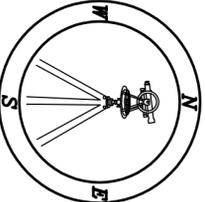
LINE	LENGTH	BEARING
L-3	7.19'	N 05°05'00" E



NOTES:
 AREA COMPUTED BY COORDINATE METHOD OF THIS PROPERTY.
 THIS PROPERTY MAY BE SUBJECT TO NEUSE RIVER SPRAWL BUFFER RULES.
 CALL N.C. DIVISION OF WATER QUALITY TO VERIFY (919-791-4200).
 NO BUILDING IS PERMITTED WITHIN 20' OF A WATERSHED/RIPARIAN WATERSHED BUFFER.
 THERE SHALL BE NO FILING OR THE DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES OR FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) 100 YEAR FLOOD ZONES UNTIL A FLOOD STUDY IS APPROVED BY WAKE COUNTY OR FEMA.
 BEFORE ACQUIRING A BUILDING PERMIT FOR LOTS MARKED BY THE BUILDER'S ENGINEER, THE BUILDER SHALL OBTAIN A PERMIT FROM WAKE COUNTY ENVIRONMENTAL SERVICES (AS APPROPRIATE) MUST CERTIFY THAT ALL FLOOD HAZARD REQUIREMENTS ARE MET.

ANNEXATION MAP FOR
DAVID EVANS
&
ASHBY EVANS
 LOTS 2 REITZ PROPERTY
 3608 FOXWILD LANE
 OWNERS: DAVID BARETTI EVANS
 & ASHBY ATKINS
 REF: D.B. 16634, PAGE 1526
 REF: B.M. 2018, PG. 2268
 TOWN OF ROLESVILLE
 WAKE COUNTY, NORTH CAROLINA
 SCALE 1"=60'
 MARCH 19, 2020
 ZONED R-1
 PIN # 1749.02-66-1069

CERTIFICATE OF APPROVAL FOR RECORDING
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE TOWN OF ROLESVILLE, NORTH CAROLINA AND THAT THIS PLAT HAS BEEN APPROVED BY THE SUBDIVISION ADMINISTRATOR OF THE TOWN OF ROLESVILLE FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS OF



SUBDIVISION ADMINISTRATOR, TOWN OF ROLESVILLE
 ROLESVILLE, NORTH CAROLINA

CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148

**RESOLUTION DIRECTING THE CLERK TO INVESTIGATE A PETITION
RECEIVED UNDER G.S. 160A-31**

Case: ANX 20-02

**Voluntary Annexation Petition for 1.972 Acres, David and Ashby Evans,
3608 Foxwild Lane**

WHEREAS, a petition requesting annexation of an area described in said petition and more particularly described as follows received on June 2, 2020, by the Town of Rolesville Board of Commissioners:

BEGINNING AT AN EXISTING IRON BAR AT THE INTERSECTION OF FORESTVILLE ROAD AND FOXWILD LANE RIGHT OF WAY; LEAVING SAID RIGHT OF WAY THENCE S 80°11'56" E A DISTANCE OF 458.79' TO AN EXISTING IRON PIPE; THENCE S 02°40'55" W A DISTANCE OF 139.19' TO A NEW IRON PIPE; THENCE N 89°59'43" W A DISTANCE OF 467.83' TO A POINT IN THE CENTERLINE OF FORESTVILLE ROAD; THENCE N 02°15'15" W A DISTANCE OF 222.62' ALONG THE CENTERLINE OF FORESTVILLE ROAD; THENCE S 80°11'56" E A DISTANCE OF 31.46' TO AN EXISTING IRON BAR; WHICH IS THE POINT OF BEGINNING, HAVING AN AREA OF 85,890 SQUARE FEET, 1.972 ACRES MORE OR LESS SHOWN ON AN ANNEXATION BOUNDARY MAP, TITLED ANNEXATION MAP FOR DAVID EVANS AND ASHBY EVANS PREPARED BY CAWTHORNE, MOSS & PANCIERA, P. C. RECORDED IN BOOK OF MAPS ____, PAGE ____.

WHEREAS, G.S. 160A-31 provides that the sufficiency of the petition shall be investigated by the Town Clerk before further annexation proceedings may take place; and,

WHEREAS, the Board of Commissioners of the Town of Rolesville deems it advisable to proceed in response to this request for annexation;

NOW, THEREFORE, BE IT RESOLVED, by the Board of Commissioners of the Town of Rolesville that:

The Town Clerk is hereby directed to investigate the sufficiency of the above-described petition and to certify as soon as possible to the Board of Commissioners of the Town of Rolesville the result of her investigation.

Ronnie I. Currin
Mayor, Town of Rolesville

Attest:

Robin E. Peyton
Town Clerk

CERTIFICATE OF SUFFICIENCY

ANX 20-02: David and Ashby Evans

To the Board of Commissioners of the Town of Rolesville, North Carolina:

I, Robin E. Peyton, Town Clerk, do hereby certify that I have investigated the attached petition and hereby make the following findings:

- a. The petition contains an adequate property description of the area(s) proposed for annexation.
- b. The area described in the petition is contiguous to the Town of Rolesville primary corporate limits as required by G.S. 160A-31.
- c. The petition is signed by all owners of real property lying in the area described therein.

In witness whereof, I have hereunto set my hand and affixed the seal of the Town of Rolesville, this 27th day of May 2020.



Robin E. Peyton
Town Clerk



Memo

To: Mayor and Town Board of Commissioners

From: Danny Johnson, AICP, Planning Director

Date: May 27, 2020

Re: Consent item B.7, ANX 20-03 Voluntary Annexation Petition for proposed Hopper Communities Subdivision at 1801 Rolesville Road, 6301 Mitchell Mill Road and Resolution directing the Town Clerk to Investigate the Sufficiency of the Petition.

Summary Information

The Town has received a voluntary annexation petition for 95.362 acres located at 1801 Rolesville Road and 6301 Mitchell Mill Road. As provided in G.S. 160A-31, the petition should be investigated by the Town Clerk as to its sufficiency of meeting G.S. 160A-31. The attached resolution directs the Town Clerk to investigate and report back to the Town Board of Commissioners the results of her investigation.

Planning Staff Recommendation

Staff recommends approval of the resolution directing the clerk to investigate a petition received under G.S. 160A-31.

Relationship to Current Budget/Goals

None

Suggested Motion:

Motion to approve a resolution directing the clerk to investigate a petition received under G.S. 160A-31.

Attachments:

ANX 20-03 Resolution directing the Town Clerk to Investigate the Sufficiency of the Petition.

ANX 20-03 Hopper Communities Annexation Location Map

ANX 20-02 Hopper Communities Annexation Petition and Annexation Bounday Map



ANX 20-03
Hopper Communities

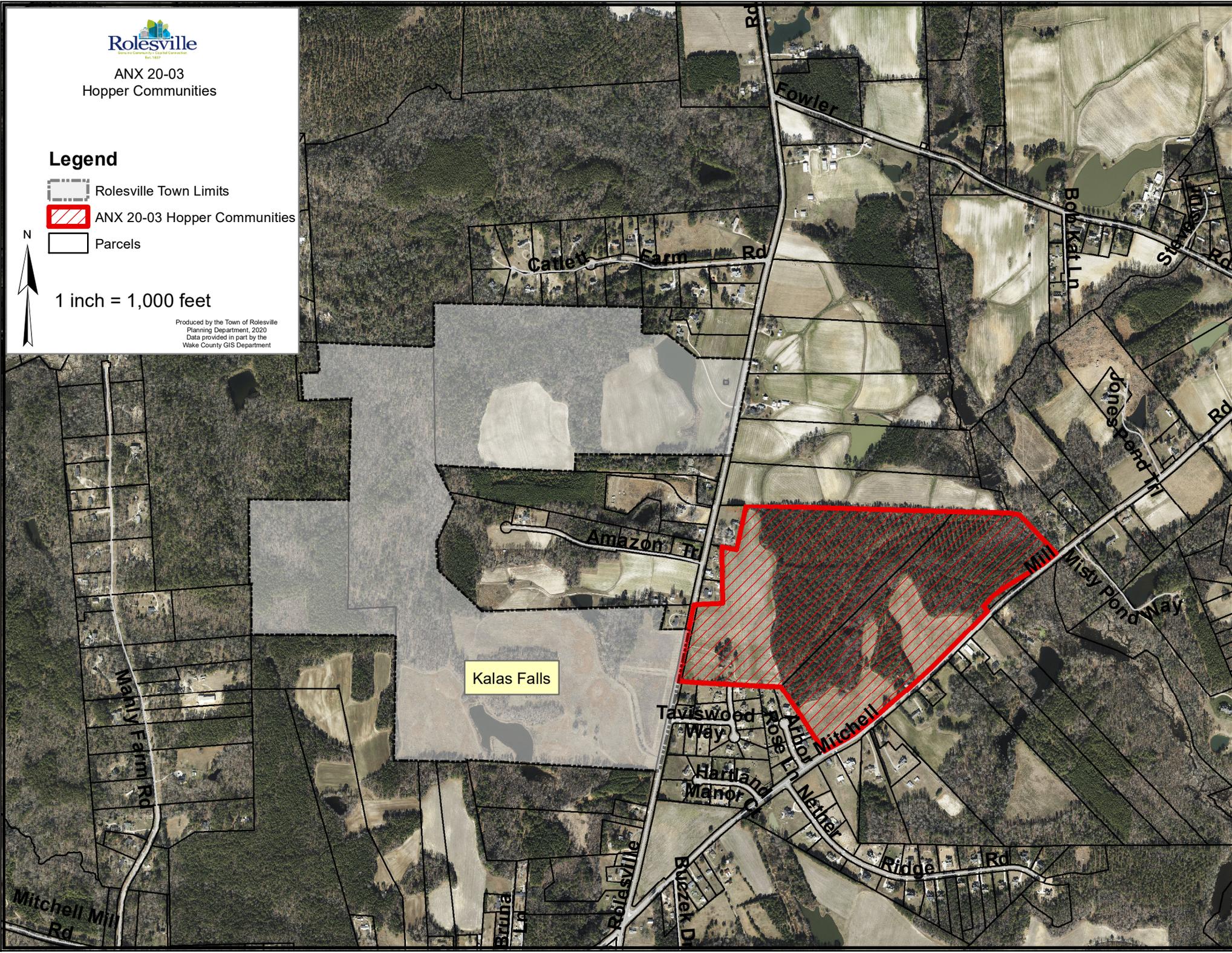
Legend

-  Rolesville Town Limits
-  ANX 20-03 Hopper Communities
-  Parcels



1 inch = 1,000 feet

Produced by the Town of Rolesville
Planning Department, 2020
Data provided in part by the
Wake County GIS Department



TOWN OF ROLESVILLE PETITION FOR ANNEXATION

The items below are required in order to complete your application and shall be submitted when the application is filed.

1. A complete copy of the last deed of record for proof of ownership
2. An annexation boundary plat/map for recordation at the Wake County Register of Deeds Office (mylar plat) prepared by a professional land surveyor showing the boundaries of the area or property for annexation into the Town of Rolesville.
3. A complete copy of the written metes and bounds description based on the annexation boundary plat/map.

SECTION 1 – LOCATION

Is the area contiguous with the existing corporate limits? Yes or No

Note: If the land is contiguous, this annexation will include all intervening right-of-ways for streets, easements, and other areas as stated in North Carolina General Statute §160-131(1)

SECTION 2 – VESTED RIGHTS

NC General Statutes require petitioners of both contiguous and non-contiguous annexations to file a signed statement declaring whether vested rights have been established in accordance with G.S. 160A-385.1 or 153A-344.1 for properties subject to the petition. Do you declare vested rights for the property subject to this petition? Yes or No

SECTION 3 - PROPERTY DETAILS

PIN Number	Real Estate ID Number	Deed Book Number	Page Number	Acreage To Be Annexed	Wake County Assessed Value
1767 58 6083	0044832	DB 9828	PG 902	44.59	\$ 831,243
1767 48 3143	0023177	DB 5456	PG 627	46.8	\$ 961,305
		DB	PG		\$

SECTION 4 - SIGNATURES AND VERIFICATION

We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

- **If property owned by INDIVIDUALS** (NOTE: All legal owners must sign including both husband and wife)

SEE ATTACHED SIGNATURE PAGES
Signature of Owner #1

Date Signed

Signature of Owner #2

Date Signed

- **If property owned by a COMPANY OR CORPORATION** (NOTE: The company or corporation must be legally registered with the State of North Carolina – Office of the Secretary of State)

Name of Corporation

Printed Name of Registered Agent

Signature of Registered Agent

Address, State, Zip of Registered Office:

North Carolina, _____ County

I, _____, a Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instrument. Witness my hand and official seal, this _____ day of _____, 20____.

Notary Seal

Notary Public
My commission expires: _____

We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.



Gary Wheeler

1-9-2020
Date

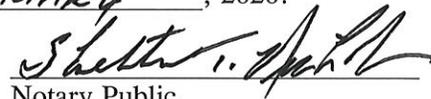
NORTH CAROLINA

COUNTY OF WAKE

I, Shelton T. Nicholson, a Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instruments.

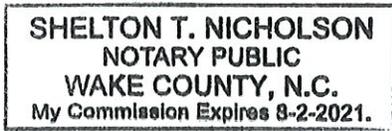
Witness my hand and official seal, this 9 day of JANUARY, 2020.

[Notary Seal]



Notary Public

My commission expires: 8-2-2021



We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

Stephen Wheeler
Stephen Wheeler

1/9/2020
Date

NORTH CAROLINA

COUNTY OF WAKE

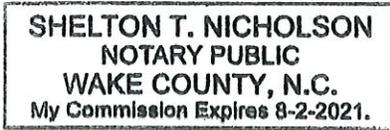
I, Shelton T. Nicholson, a Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instruments.

Witness my hand and official seal, this 9 day of JANUARY, 2020.

[Notary Seal]

Shelton T. Nicholson
Notary Public

My commission expires: 8-2-2021



We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

James Robert Fowler III
James Robert Fowler III

1-10-2020
Date

NORTH CAROLINA

COUNTY OF WAKE

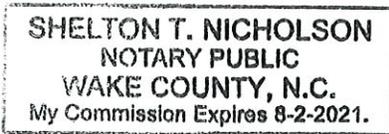
I, *Shelton T. Nicholson*, a Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instruments.

Witness my hand and official seal, this 10 day of JANUARY, 2020.

[Notary Seal]

Shelton T. Nicholson
Notary Public

My commission expires: 8-2-2021



We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

Leigh Fowler
Leigh Fowler

January 10 2020
Date

NORTH CAROLINA

COUNTY OF WAKE

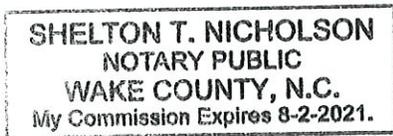
I, Shelton T. Nicholson, a Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instruments.

Witness my hand and official seal, this 10 day of January, 2020.

[Notary Seal]

Shelton T. Nicholson
Notary Public

My commission expires: 8-2-2021



We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

Dana Bright
Dana Bright

1-10-2020
Date

NORTH CAROLINA

COUNTY OF WAKE

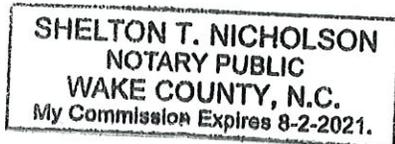
I, Shelton T. Nicholson, a Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instruments.

Witness my hand and official seal, this 10 day of January, 2020.

[Notary Seal]

Shelton T. Nicholson
Notary Public

My commission expires: 8-2-2021



We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

Randy Bright
Randy Bright

1-10-2020
Date

NORTH CAROLINA

COUNTY OF WAKE

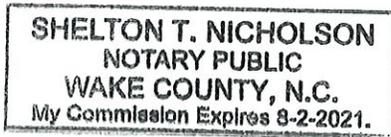
I, *Shelton T. Nicholson*, a Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instruments.

Witness my hand and official seal, this 10 day of JANUARY, 2020.

[Notary Seal]

Shelton T. Nicholson
Notary Public

My commission expires: 8-2-2021



WAKE COUNTY, NC 332
LAURA M RIDDICK
REGISTER OF DEEDS
PRESENTED & RECORDED ON
12/31/2002 AT 11:12:38
STATE OF NORTH CAROLINA
REAL ESTATE EXCISE TAX: \$472
BOOK:009828 PAGE:00902 - 00905

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax: 472.00

Parcel Identifier No. 0044832 Verified by _____ County on the _____ day of _____, 20____
By: _____

Mail/Box to: HOLD FOR THE DOYLE LAW FIRM / BOX 55

This instrument was prepared by: Howard G. Doyle

Brief description for the Index: 44.5919 Acres

THIS DEED made this 30 day of December, 2002 by and between

GRANTOR	GRANTEE
Jane Cate Fowler	Dana F. Bright and husband, Randy L. Bright Giny F. Wheeler and husband, Stephen E. Wheeler 7928 Sutterton Court Raleigh, NC 27615

Enter in appropriate block for each party: name, address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of _____, Wake Forest Township, Wake County, North Carolina and more particularly described as follows:

See attached Exhibit A for complete description

The property hereinabove described was acquired by Grantor by instrument recorded in Book _____ page _____.

A map showing the above described property is recorded in Plat Book _____ page _____.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

(Entity Name)

Jane Cate Fowler (SEAL)
Jane Cate Fowler

By: _____
Title: _____

(SEAL)

By: _____
Title: _____

(SEAL)

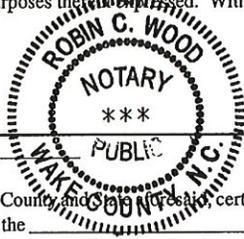
By: _____
Title: _____

(SEAL)

State of North Carolina - County of Wake

I, the undersigned Notary Public of the County and State aforesaid, certify that Jane Cate Fowler personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this 30 day of December, 2002

My Commission Expires: 11/24/2006



Robin C Wood
Notary Public

State of North Carolina - County of _____

I, the undersigned Notary Public of the County and State aforesaid, certify that _____ personally came before me this day and acknowledged that he is the _____ of _____, a North Carolina or _____ corporation/limited liability company/general partnership/limited partnership (strike through the inapplicable), and that by authority duly given and as the act of such entity, he signed the foregoing instrument in its name on its behalf as its act and deed. Witness my hand and Notarial stamp or seal, this _____ day of _____, 20__.

My Commission Expires: _____

Notary Public

State of North Carolina - County of _____

I, the undersigned Notary Public of the County and State aforesaid, certify that _____

Witness my hand and Notarial stamp or seal, this _____ day of _____, 20__.

My Commission Expires: _____

Notary Public

The foregoing Certificate(s) of _____ is/are certified to be correct. This instrument and this certificate are duly registered at the date and time and in the Book and Page shown on the first page hereof.

By: _____ Register of Deeds for _____ County
Deputy/Assistant - Register of Deeds

EXHIBIT A

Grantor conveys a 69.60% interest in the following described property:

BEING all of that tract or parcel of land containing 44.5919 acres as shown on a survey by Precision Surveys, Inc. Entitled "Boundary Survey for: County of Wake" dated September 20, 1998 and recorded in Book of Maps 1998, Page 1776, Wake County Registry, and being all of that tract of land conveyed to Mildred F. Matheny by a deed dated April 3, 1952, recorded in Deed Book 1098, Page 86, said registry.

Laura M Riddick
Register of Deeds
Wake County, NC



Book : 009828 Page : 00902 - 00905

Yellow probate sheet is a vital part of your recorded document.
Please retain with original document and submit for rerecording.



Wake County Register of Deeds
Laura M. Riddick
Register of Deeds

North Carolina - Wake County

The foregoing certificate ___ of Robin C. Wood

____ Notary(ies) Public is (are) certified to be correct. This instrument
and this certificate are duly registered at the date and time and in the book and
page shown on the first page hereof.

Laura M. Riddick, Register of Deeds

By: George W. Parvin
DEPUTY
Assistant/Deputy Register of Deeds

This Customer Group
_____ # of Time Stamps Needed

This Document
_____ New Time Stamp
4 # of Pages

BK5456PG0627

000339

PRESENTED
FOR
REGISTRATION

92 DEC 30 PM 2:09

KENNETH C. WILLIAMS
REGISTER OF DEEDS
WAKE COUNTY

Excise Tax .00

Recording Time, Book and Page

Tax Lot No. 0023177, 0023163, 0023162, 0023155 Parcel Identifier No.

Verified by County on the day of 19
by

Mail after recording to HOWARD G. DOYLE, P.O. BOX 632, ZEBULON, NC 27597

This instrument was prepared by HOWARD G. DOYLE

Brief description for the Index

NORTH CAROLINA GENERAL WARRANTY DEED

THIS DEED made this 30TH day of DECEMBER, 1992, by and between

GRANTOR

GRANTEE

JAMES ROBERT FOWLER, JR. AND WIFE,
JANE CATE FOWLER

GINY F WHEELER,
JILL F BRIGHT, AND
JAMES ROBERT FOWLER, III,
AS TENANTS IN COMMON

7400 FOWLER ROAD
ZEBULON NC 27597

Enter in appropriate block for each party: name, address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of TRACTS 1,2&3 - LITTLE RIVER TRACT 4 - WAKE FOREST Township, WAKE County, North Carolina and more particularly described as follows:

SEE ATTACHED EXHIBIT A FOR COMPLETE DESCRIPTION.

The property hereinabove described was acquired by Grantor by instrument recorded in

A map showing the above described property is recorded in Plat Book page.....

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions hereinafter stated. Title to the property hereinabove described is subject to the following exceptions:

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal or if corporate, has caused this instrument to be signed in its corporate name by its duly authorized officers and its seal to be hereunto affixed by authority of its Board of Directors, the day and year first above written.

.....
(Corporate Name)

BY:

..... President

ATTEST:

..... Secretary (Corporate Seal)

USE BLACK INK ONLY

James Robert Fowler, Jr. (SEAL)
JAMES ROBERT FOWLER, JR.
Jane Cate Fowler (SEAL)
JANE CATE FOWLER
..... (SEAL)
..... (SEAL)



NORTH CAROLINA, WAKE County.

I, a Notary Public of the County and State aforesaid, certify that JAMES ROBERT FOWLER, JR. AND JANE CATE FOWLER Grantor,

personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this 30TH day of DECEMBER 1992.

My commission expires: 11/24/96 *Robin P. Vaughn* Notary Public

SEAL-STAMP

NORTH CAROLINA, County.

I, a Notary Public of the County and State aforesaid, certify that Secretary of

personally came before me this day and acknowledged that a North Carolina corporation, and that by authority duly

given and as the act of the corporation, the foregoing instrument was signed in its name by its Secretary.

President, sealed with its corporate seal and attested by as its Secretary.

Witness my hand and official stamp or seal, this day of 19.....

My commission expires: Notary Public

The foregoing Certificate(s) of *Robin P. Vaughn*

is/are certified to be correct. This instrument and this certificate are duly registered at the date and time and in the Book and Page shown on the first page hereof: KENNETH C. WILKINS

REGISTER OF DEEDS FOR *Wake* COUNTY

BY *Smylee B. Chamberlain* Deputy Assistant - Register of Deeds

EXHIBIT A

TRACT ONE: BEING that certain parcel described in the deed recorded in Book 1091, Page 438, Wake County Registry, reference to which is made for a more particular description.

TRACT TWO: BEING that certain parcel described in the deed recorded in Book 1065, Page 392, Wake County Registry, reference to which is made for a more particular description.

TRACT THREE: BEING those parcels described in the deed recorded in Book 1424, Page 149, Wake County Registry, reference to which is made for a more particular description.

TRACT FOUR: BEING that certain parcel described in the deed recorded in Book 561, Page 255, Wake County Registry and further described as "Second Tract" in the instrument recorded in Book 2162, Page 217, Wake County Registry, reference to those instruments is made for a more particular description.



TIMMONS GROUP

YOUR VISION ACHIEVED THROUGH OURS.

LEGAL DESCRIPTION FOR A 95.362 ACRES IN THE CITY OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

Beginning at an iron pipe found in the Northern 60' R/W line of Mitchell Mill Rd. (SR 2224) and having North Carolina Grid Coordinates (NAD 83 (2011)) of N: 776,723.00 feet, E: 2,164,761.89 feet, and being a common corner between Dana F. Bright, et. al. (DB 9828 PG 902) and Lot 7 of Michell Meadow Subdivision (BM 2001 PG 1814); thence leaving the Northern 60' R/W line of Mitchell Mill Rd. (SR 2224) North 33°49'30" West, 159.25 feet to an iron pipe found;

thence North 33°47'11" West, 508.32 feet to an iron pipe found, a common corner between Dana F. Bright, et. al. (DB 9828 PG 902), Gina F. Wheeler, et. al. (DB 5456 PG 627) and Lot 5 of Michell Meadow Subdivision (BM 2001 PG 1814); thence North 87°02'25" West, 197.32 feet to an iron rebar found; thence North 86°32'54" West, 696.42 feet to a point in the center;

thence North 11°34'57" East, 664.53 feet to a point;
thence North 87°15'14" East, 254.95 feet to an iron rebar found;
thence North 00°24'42" West, 189.05 feet to an iron pipe found;
thence North 01°39'01" West, 298.96 feet to an iron pipe found;
thence South 79°00'56" East, 127.90 feet to a point;
thence North 13°35'03" East, 395.38 feet to an iron rebar found;
thence South 88°19'57" East, 1,796.45 feet to an iron rebar found;
thence South 88°55'44" East, 475.00 feet to a point;
thence the following courses down the center line of Buffalo Creek:
thence North 65°44'16" East, 102.70 feet to a point;
thence South 18°00'04" West, 14.47 feet to a point;
thence South 42°30'53" East, 45.95 feet to a point;
thence South 6°51'48" West, 20.88 feet to a point;
thence South 76°45'14" West, 26.61 feet to a point;
thence South 19°06'03" East, 75.60 feet to a point;
thence South 21°12'02" East, 67.30 feet to a point;
thence South 78°17'04" East, 53.71 feet to a point;
thence South 80°26'04" East, 61.46 feet to a point;
thence South 70°47'08" East, 63.51 feet to a point;
thence South 20°21'33" West, 55.83 feet to a point;
thence South 54°55'18" East, 18.68 feet to a point;
thence South 88°00'51" East, 67.89 feet to a point;
thence South 25°51'48" East, 28.94 feet to a point;
thence South 15°51'51" East, 50.19 feet to a point;
thence South 15°51'51" East, 32.81 feet to a point;
thence the following courses down the center line of Mitchell mill road (S.R. 2224) a 60 foot public right-of-way:

thence with a curve to the right, said curve has a radius of 10,151.02 feet, with chord bearing of South 51°28'46" West, 67.90 feet to a point;

5410 Trinity Rd. Suite 102 | Raleigh, NC 27607

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thence with a curve to the right, said curve has a radius of 20,962.58 feet, with chord bearing of South 50°55'27" West, 151.51 feet to a point;
thence with a curve to the right, said curve has a radius of 9,512.05 feet, with chord bearing of South 50°31'07" West, 393.46 feet to a point;
thence with a curve to the right, said curve has a radius of 8,816.09 feet, with chord bearing of South 45°11'08" West, 301.64 feet to a point;
thence with a curve to the right said curve has a radius of 2,299,367.30 feet, with chord bearing of South 44°29'43" West, 228.79 feet to a point;
thence with a curve to the left, said curve has a radius of 18,151.18 feet, with chord bearing of South 45°19'30" West, 279.12 feet to a point;
thence with a curve to the left, said curve has a radius of 7,283.93 feet, with chord bearing of South 47°55'59" West, 411.59 feet to a point;
thence with a curve to the left, said curve has a radius of 14,402.54 feet, with chord bearing of South 49°50'49" West, 332.72 feet to a point;
thence with a curve to the left, said curve has a radius of 2,123.53 feet, with chord bearing of South 52°13'18" West, 165.22 feet to a point;
thence with a curve to the left, said curve has a radius of 1,515.57 feet, with chord bearing of South 59°21'35" West, 147.34 feet to a point;
thence with a curve to the right, said curve has a radius of 3,285.30 feet, with chord bearing of South 61°15'45" West, 117.29 feet to a point;
thence with a curve to the right, said curve has a radius of 2,666.61 feet, with chord bearing of South 59°23'07" West, 37.74 feet to a point;
thence North 33°49'30" West, 30.36 feet to the point of beginning.

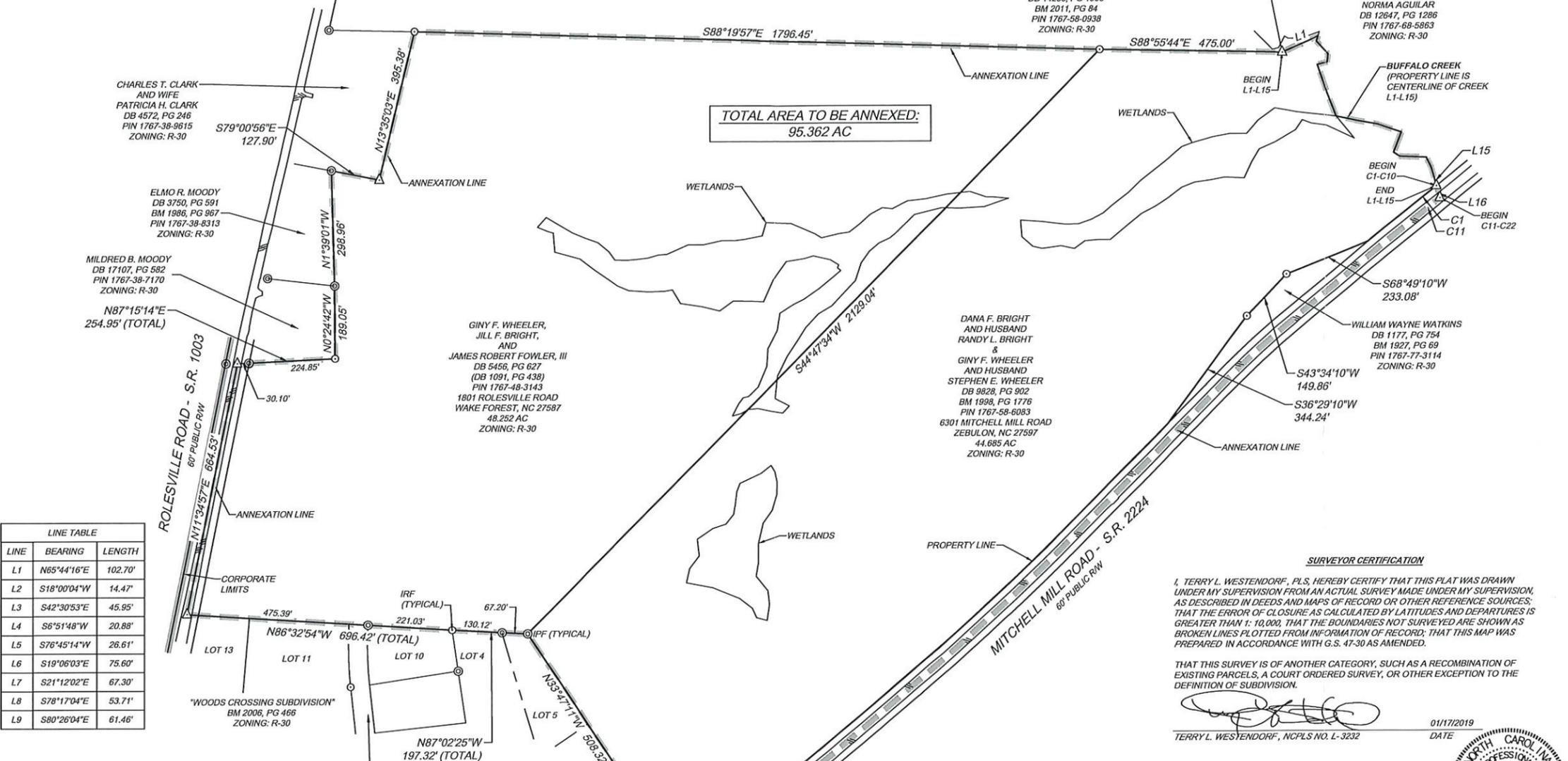
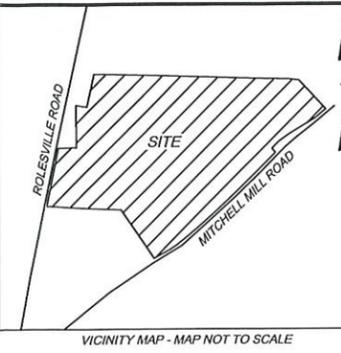
Containing 95.362 acres, more or less.

Y:\902143398-Wheeler Tract\DWG\Annexation Plat\3398-9021-Annexation Plat.dwg | Plotted on 1/17/2020 9:23 AM | by Mike Mills

ANNEXED AREA DESCRIPTION:
 BEGINNING AT AN IRON PIPE FOUND IN THE NORTHERN 60' R/W LINE OF MITCHELL MILL RD. (SR 2224) AND HAVING NORTH CAROLINA GRID COORDINATES (NAD 83 (2011)) OF N 778.753 00 FEET, E 2,164,761.89 FEET, AND BEING A COMMON CORNER BETWEEN DANA F. BRIGHT, ET AL. (DB 8528 PG 902) AND LOT 7 OF MITCHELL MEADOW SUBDIVISION (BM 2001 PG 1814); THENCE LEAVING THE NORTHERN 60' R/W LINE OF MITCHELL MILL RD. (SR 2224) NORTH 33°49'30" WEST, 159.25 FEET TO AN IRON PIPE FOUND; THENCE NORTH 33°41'1" WEST, 58.33 FEET TO AN IRON PIPE FOUND, A COMMON CORNER BETWEEN DANA F. BRIGHT, ET AL. (DB 8528 PG 902), GINA F. WHEELER, ET AL. (DB 5456 PG 627) AND LOT 5 OF MITCHELL MEADOW SUBDIVISION (BM 2001 PG 1814); THENCE NORTH 87°02'25" WEST, 197.32 FEET TO AN IRON REBAR FOUND; THENCE NORTH 86°32'54" WEST, 596.42 FEET TO A POINT IN THE CENTER; THENCE NORTH 11°34'57" EAST, 664.53 FEET TO A POINT; THENCE NORTH 87°10'14" EAST, 54.59 FEET TO AN IRON REBAR FOUND; THENCE NORTH 00°24'42" WEST, 189.05 FEET TO AN IRON PIPE FOUND; THENCE NORTH 01°39'01" WEST, 298.98 FEET TO AN IRON PIPE FOUND; THENCE SOUTH 79°00'56" EAST, 127.90 FEET TO A POINT; THENCE NORTH 13°30'31" EAST, 395.38 FEET TO AN IRON REBAR FOUND; THENCE SOUTH 88°19'27" EAST, 1,786.45 FEET TO AN IRON REBAR FOUND; THENCE SOUTH 88°55'44" EAST, 475.00 FEET TO A POINT; THENCE THE FOLLOWING COURSES DOWN THE CENTER LINE OF BUFFALO CREEK:
 THENCE NORTH 65°44'16" EAST, 102.70 FEET TO A POINT; THENCE SOUTH 18°00'04" WEST, 14.47 FEET TO A POINT; THENCE SOUTH 42°30'53" EAST, 45.95 FEET TO A POINT; THENCE SOUTH 6°51'48" WEST, 20.88 FEET TO A POINT; THENCE SOUTH 76°45'14" WEST, 26.61 FEET TO A POINT; THENCE SOUTH 19°30'30" WEST, 228.79 FEET TO A POINT; THENCE SOUTH 21°12'02" EAST, 67.30 FEET TO A POINT; THENCE SOUTH 67°10'4" EAST, 53.71 FEET TO A POINT; THENCE SOUTH 60°26'04" EAST, 61.46 FEET TO A POINT; THENCE SOUTH 79°47'08" EAST, 63.51 FEET TO A POINT; THENCE SOUTH 20°21'31" WEST, 55.83 FEET TO A POINT; THENCE SOUTH 54°55'18" EAST, 16.83 FEET TO A POINT; THENCE SOUTH 88°09'51" EAST, 97.89 FEET TO A POINT; THENCE SOUTH 25°51'48" EAST, 28.94 FEET TO A POINT; THENCE SOUTH 15°51'51" EAST, 50.19 FEET TO A POINT; THENCE SOUTH 15°51'51" EAST, 32.81 FEET TO A POINT; THENCE THE FOLLOWING COURSES DOWN THE CENTER LINE OF MITCHELL MILL ROAD (S.R. 2224) A 60' FOOT PUBLIC RIGHT-OF-WAY:
 THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 10,151.02 FEET, WITH CHORD BEARING OF SOUTH 51°28'46" WEST, 67.90 FEET TO A POINT; THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 20,962.58 FEET, WITH CHORD BEARING OF SOUTH 50°55'27" WEST, 151.51 FEET TO A POINT; THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 9,512.05 FEET, WITH CHORD BEARING OF SOUTH 50°31'07" WEST, 393.46 FEET TO A POINT; THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 8,816.09 FEET, WITH CHORD BEARING OF SOUTH 45°11'38" WEST, 301.64 FEET TO A POINT; THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 2,299.367 30 FEET, WITH CHORD BEARING OF SOUTH 44°24'43" WEST, 228.79 FEET TO A POINT; THENCE WITH A CURVE TO THE LEFT, SAID CURVE HAS A RADIUS OF 18,151.18 FEET, WITH CHORD BEARING OF SOUTH 45°19'30" WEST, 279.12 FEET TO A POINT; THENCE WITH A CURVE TO THE LEFT, SAID CURVE HAS A RADIUS OF 2,123.53 FEET, WITH CHORD BEARING OF SOUTH 47°55'59" WEST, 411.59 FEET TO A POINT; THENCE WITH A CURVE TO THE LEFT, SAID CURVE HAS A RADIUS OF 14,402.54 FEET, WITH CHORD BEARING OF SOUTH 49°54'49" WEST, 332.72 FEET TO A POINT; THENCE WITH A CURVE TO THE LEFT, SAID CURVE HAS A RADIUS OF 2,299.367 30 FEET, WITH CHORD BEARING OF SOUTH 47°55'59" WEST, 411.59 FEET TO A POINT; THENCE WITH A CURVE TO THE LEFT, SAID CURVE HAS A RADIUS OF 1,515.57 FEET, WITH CHORD BEARING OF SOUTH 52°13'18" WEST, 165.22 FEET TO A POINT; THENCE WITH A CURVE TO THE LEFT, SAID CURVE HAS A RADIUS OF 1,515.57 FEET, WITH CHORD BEARING OF SOUTH 52°13'18" WEST, 165.22 FEET TO A POINT; THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 3,285.30 FEET, WITH CHORD BEARING OF SOUTH 59°21'35" WEST, 147.34 FEET TO A POINT; THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 3,285.30 FEET, WITH CHORD BEARING OF SOUTH 61°15'54" WEST, 117.29 FEET TO A POINT; THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 2,666.61 FEET, WITH CHORD BEARING OF SOUTH 59°23'07" WEST, 37.74 FEET TO A POINT; THENCE NORTH 33°49'30" WEST, 30.36 FEET TO THE POINT OF BEGINNING.
 CONTAINING 95.362 ACRES, MORE OR LESS.

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	10181.34'	80.68'	40.34'	0°27'15"	S51°30'53"W	80.68'
C2	20992.91'	146.94'	73.47'	0°24'04"	S50°55'51"W	146.94'
C3	2299397.52'	226.56'	113.28'	0°00'20"	S44°29'43"W	226.56'
C4	18120.85'	278.40'	139.20'	0°52'49"	S45°19'30"W	278.40'
C5	7253.61'	409.88'	204.99'	3°14'15"	S47°56'03"W	409.82'
C6	14372.21'	332.26'	166.14'	1°19'28"	S49°50'50"W	332.25'
C7	2093.21'	162.48'	81.28'	4°26'51"	S52°12'44"W	162.44'
C8	1485.25'	143.85'	71.98'	5°32'58"	S59°22'11"W	143.80'
C9	3315.62'	118.47'	59.24'	2°02'50"	S61°15'40"W	118.46'
C10	2696.93'	39.78'	19.89'	0°50'42"	S59°22'14"W	39.78'

- SURVEY NOTES:**
- PER THE FEMA FLOODPLAIN MAPS, THE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE X, PER FIRM MAP NO. 3720176600J PANEL 1766, EFFECTIVE DATE MAY 2, 2006.
 - HORIZONTAL CONTROL IS BASED ON NC STATE GRID, NAD83 (2011) AS DETERMINED BY GPS. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
 - NOT ALL IMPROVEMENTS LOCATED ON THE PROPERTY HAVE BEEN SHOWN.
 - AREA COMPUTATION IS BY THE COORDINATE METHOD.
 - THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A TITLE SEARCH.
 - RIGHT-OF-WAY AND PROPERTY BOUNDARY INFORMATION IS BASED ON REFERENCES AS SHOWN HEREON.



LINE TABLE		
LINE	BEARING	LENGTH
L1	N65°44'16"E	102.70'
L2	S18°00'04"W	14.47'
L3	S42°30'53"E	45.95'
L4	S6°51'48"W	20.88'
L5	S76°45'14"W	26.61'
L6	S19°06'03"E	75.60'
L7	S21°12'02"E	67.30'
L8	S78°17'04"E	53.71'
L9	S80°26'04"E	61.46'

LINE TABLE		
LINE	BEARING	LENGTH
L10	S70°47'08"E	63.51'
L11	S20°21'33"W	55.83'
L12	S54°55'18"E	18.68'
L13	S88°00'51"E	67.89'
L14	S25°51'48"E	28.94'
L15	S15°51'51"E	50.19'
L16	S15°51'51"E	32.81'
L17	N33°49'30"W	30.36'

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C11	10151.02'	67.90'	33.95'	0°23'00"	S51°28'46"W	67.90'
C12	20962.58'	151.52'	75.76'	0°24'51"	S50°55'27"W	151.51'
C13	9512.05'	393.48'	196.77'	2°22'13"	S50°31'07"W	393.46'
C14	8816.09'	301.66'	150.84'	1°57'38"	S45°11'08"W	301.64'
C15	2299367.06'	228.79'	114.39'	0°00'21"	S44°29'43"W	228.79'
C16	18151.18'	279.12'	139.56'	0°52'52"	S45°19'30"W	279.12'
C17	7283.93'	411.64'	205.88'	3°14'17"	S47°55'59"W	411.59'
C18	14402.54'	332.73'	166.37'	1°19'25"	S49°50'49"W	332.72'
C19	2123.53'	165.27'	82.67'	4°27'33"	S52°13'18"W	165.22'
C20	1515.57'	147.40'	73.76'	5°34'21"	S59°21'35"W	147.34'
C21	3285.30'	117.30'	58.66'	2°02'45"	S61°15'45"W	117.29'
C22	2666.61'	37.74'	18.87'	0°48'40"	S59°23'07"W	37.74'

SURVEYOR CERTIFICATION
 I, TERRY L. WESTENDORF, PLS, HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, AS DESCRIBED IN DEEDS AND MAPS OF RECORD OR OTHER REFERENCE SOURCES; THAT THE ERROR OF CLOSURE AS CALCULATED BY LATITUDES AND DEPARTURES IS GREATER THAN 1:10,000, THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION OF RECORD; THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.
 THAT THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS A RECOMBINATION OF EXISTING PARCELS, A COURT ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.
 TERRY L. WESTENDORF, NCPLS NO. L-3232
 01/17/2019 DATE



**ANNEXATION PLAT
 PREPARED FOR
 HOPPER COMMUNITIES**

WAKE FOREST TWP	WAKE COUNTY, NC
DATE: JANUARY 17, 2020	SCALE: 1" = 200'
SHEET 1 OF 1	J.N.: 43398
DRAWN BY: MM	CHECK BY: TLW
FIELD EDIT BY:	
MAP CHECKED BY: MM, JANUARY 15, 2020	
REVISED:	

TIMMONS GROUP

THIS DRAWING PREPARED AT THE
 RALEIGH OFFICE
 5410 TRINITY ROAD, SUITE 102, | RALEIGH, NC 27607
 TEL 919.866.4951 FAX 919.859.5663 www.timmons.com
 NORTH CAROLINA LICENSE NUMBER: C-1928
 Infrastructure
 Residential
 Site Development
 Technology

**RESOLUTION DIRECTING THE CLERK TO INVESTIGATE A PETITION
RECEIVED UNDER G.S. 160A-31**

Case: ANX 20-03

**Voluntary Annexation Petition for 95.362 Acres, 1801 Rolesville Road, and
6301 Mitchell Mill Road**

WHEREAS, a petition requesting annexation of an area described in said petition and more particularly described as follows received on June 2, 2020, by the Town of Rolesville Board of Commissioners:

Beginning at an iron pipe found in the Northern 60' R/W line of Mitchell Mill Rd. (SR 2224) and having North Carolina Grid Coordinates (NAD 83 (2011)) of N: 776,723.00 feet, E: 2,164,761.89 feet, and being a common corner between Dana F. Bright, et. al. (DB 9828 PG 902) and Lot 7 of Mitchell Meadow Subdivision (BM 2001 PG 1814); thence leaving the Northern 60' R/W line of Mitchell Mill Rd. (SR 2224) North 33°49'30" West, 159.25 feet to an iron pipe found; thence North 33°47'11" West, 508.32 feet to an iron pipe found, a common corner between Dana F. Bright, et. al. (DB 9828 PG 902), Gina F. Wheeler, et. al. (DB 5456 PG 627) and Lot 5 of Mitchell Meadow Subdivision (BM 2001 PG 1814); thence North 87°02'25" West, 197.32 feet to an iron rebar found; thence North 86°32'54" West, 696.42 feet to a point in the center; thence North 11°34'57" East, 664.53 feet to a point; thence North 87°15'14" East, 254.95 feet to an iron rebar found; thence North 00°24'42" West, 189.05 feet to an iron pipe found; thence North 01°39'01" West, 298.96 feet to an iron pipe found; thence South 79°00'56" East, 127.90 feet to a point; thence North 13°35'03" East, 395.38 feet to an iron rebar found; thence South 88°19'57" East, 1,796.45 feet to an iron rebar found; thence South 88°55'44" East, 475.00 feet to a point; thence the following courses down the center line of Buffalo Creek; thence North 65°44'16" East, 102.70 feet to a point; thence South 18°00'04" West, 14.47 feet to a point; thence South 42°30'53" East, 45.95 feet to a point; thence South 6°51'48" West, 20.88 feet to a point; thence South 76°45'14" West, 26.61 feet to a point; thence South 19°06'03" East, 75.60 feet to a point; thence South 21°12'02" East, 67.30 feet to a point; thence South 78°17'04" East, 53.71 feet to a point; thence South 80°26'04" East, 61.46 feet to a point; thence South 70°47'08" East, 63.51 feet to a point; thence South 20°21'33" West, 55.83 feet to a point; thence South 54°55'18" East, 18.68 feet to a point; thence South 88°00'51" East, 67.89 feet to a point; thence South 25°51'48" East, 28.94 feet to a point; thence South 15°51'51" East, 50.19 feet to a point; thence South 15°51'51" East, 32.81 feet to a point; thence the following courses down the center line of Mitchell mill road (S.R. 2224) a 60 foot public right-of-way; thence with a curve to the right, said curve has a radius of 10,151.02 feet, with chord bearing of South 51°28'46" West, 67.90 feet to a point; thence with a curve to the right, said curve has a radius of 20,962.58 feet, with chord bearing of South 50°55'27" West, 151.51 feet to a point; thence with a curve to the right, said curve has a radius of 9,512.05 feet, with chord bearing of South 50°31'07" West, 393.46 feet to a point; thence with a curve to the right, said curve has a radius of 8,816.09 feet, with chord bearing of South 45°11'08" West, 301.64 feet to a point; thence with a curve to the right said curve has a radius of 2,299,367.30 feet, with chord bearing of South 44°29'43" West, 228.79 feet to a point; thence with a curve to the left, said curve has a radius of 18,151.18 feet, with chord bearing of South 45°19'30" West, 279.12 feet to a point; thence with a curve to the left, said curve has a radius of 7,283.93 feet, with chord bearing of South 47°55'59" West, 411.59 feet to a point; thence with a curve to the left, said curve has a radius of 14,402.54 feet, with chord bearing of South 49°50'49" West, 332.72 feet to a point; thence with a curve to the left, said curve has a radius of 2,123.53 feet, with chord bearing of South 52°13'18" West, 165.22 feet to a point; thence with a curve to the left, said curve has a radius of 1,515.57 feet, with chord bearing of South 59°21'35" West, 147.34 feet to a point; thence with a curve to the right, said curve has a radius

of 3,285.30 feet, with chord bearing of South 61°15'45" West, 117.29 feet to a point; thence with a curve to the right, said curve has a radius of 2,666.61 feet, with chord bearing of South 59°23'07" West, 37.74 feet to a point; thence North 33°49'30" West, 30.36 feet to the point of beginning, having an area of 95.362 acres more or less shown on an annexation boundary map titles Annexation Plat Prepared For Hopper Communities, Prepared by Timmons Group, recorded in Book of Maps _____. Page _____.

WHEREAS, G.S. 160A-31 provides that the sufficiency of the petition shall be investigated by the Town Clerk before further annexation proceedings may take place; and,

WHEREAS, the Board of Commissioners of the Town of Rolesville deems it advisable to proceed in response to this request for annexation;

NOW, THEREFORE, BE IT RESOLVED, by the Board of Commissioners of the Town of Rolesville that:

The Town Clerk is hereby directed to investigate the sufficiency of the above-described petition and to certify as soon as possible to the Board of Commissioners of the Town of Rolesville the result of her investigation.

Ronnie I. Currin
Mayor, Town of Rolesville

Attest:

Robin E. Peyton
Town Clerk



Memorandum

To: Mayor & Town Board
CC: Kelly Arnold, Town Manager
From: JG Ferguson, Parks & Recreation Director
Date: May 28, 2020
Re: Greenway Wayfinding

Staff and the subcommittee of the Parks and Recreation Advisory Board worked together to come up with the proposed design concept for the greenway wayfinding signs. A lot of thought went into the design to ensure that it is consistent with the Town's current branding.

The proposed signs will use the black pole similar to the pole currently used for the Town's wayfinding program. The colors for the bracket (blue) and blade (green) will be color matched to the approved colors in the branding guide. The copper finial closely resembles the element from the clock tower in front of Town Hall. In addition to keeping with the Town's branding, we also wanted to blend the design with our neighboring communities, Wake Forest and Raleigh, where we either currently connect or will connect to in the future.

Once we have the concept design approved by Town Board, we can move forward with the creation of standards and specifications that can be included in all development agreements. This will ensure that developers who are required to install greenway signage as part of their development agreement, have the necessary information to move ahead with installation in a timely manner.

Once implemented, these standards will ensure that the greenway has consistent signage throughout the entire system in addition to assisting staff in the coming budget year as we move forward with the greenway wayfinding program.

On Wednesday, May 27, 2020 the Parks and Recreation Advisory Board unanimously approved to recommend this design be approved by the Town Board.

Attachments:

Concept of greenway wayfinding signs
Examples of Raleigh and Wake Forest signs



RESOLUTION NO. 2020-R-13
RESOLUTION Adopting Greenway Wayfinding design

Whereas, the Town of Rolesville seeks to create a design standard for greenway wayfinding that can be utilized for existing and future greenways; and

Whereas, the concept drawing for the greenway wayfinding is in alignment with the Town brand, using colors and fonts consistent with the branding guide; and

Whereas, the Greenway Wayfinding is instrumental in the beautification of the Towns greenways; and

Whereas, the Greenway Wayfinding creates a cohesive link with neighboring communities; and

Whereas, the Greenway Wayfinding is in alignment with the Town's current transportation wayfinding.

NOW, THEREFORE, BE IT RESOLVED, that the Town of Rolesville intends to adopt the concept design for greenway wayfinding.

The preceding resolution, having been submitted to a vote, received the following vote and was duly adopted the ___ day of _____, 2020.

Ayes: _____

Noes: _____

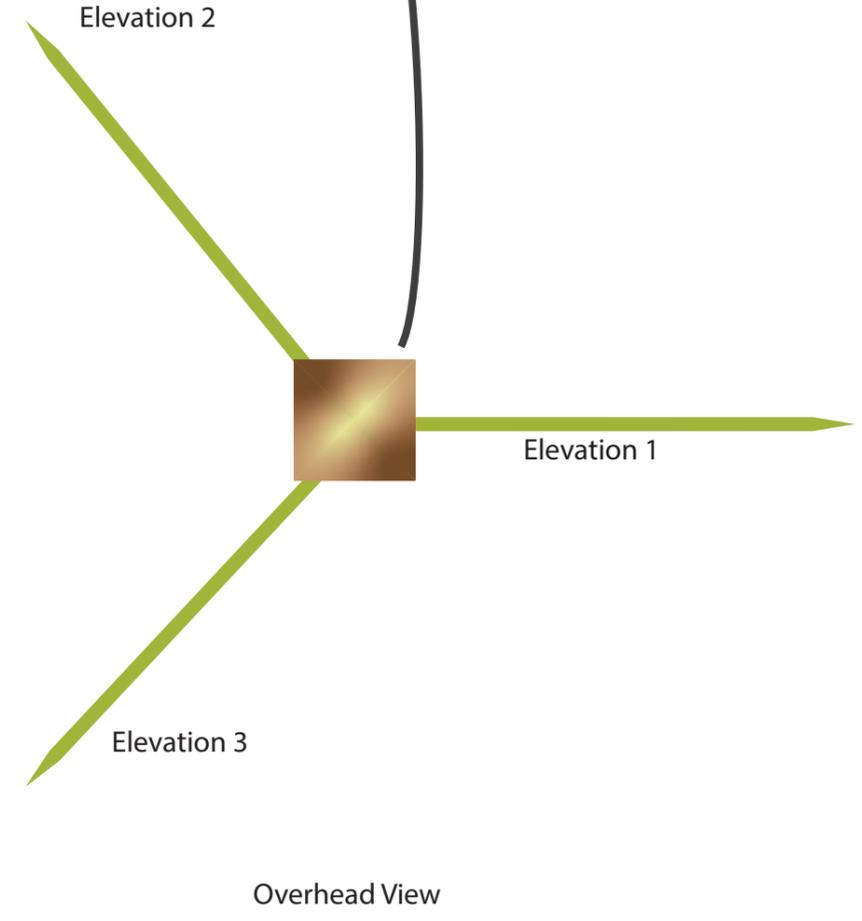
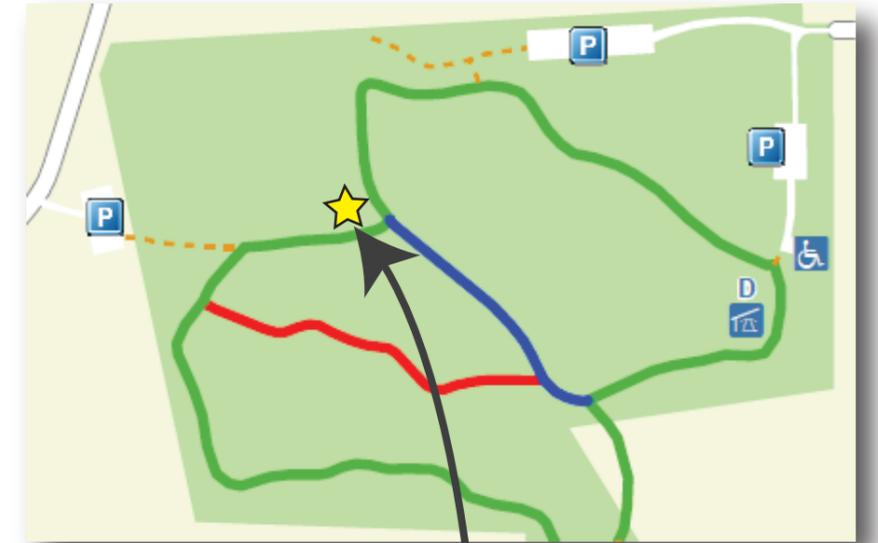
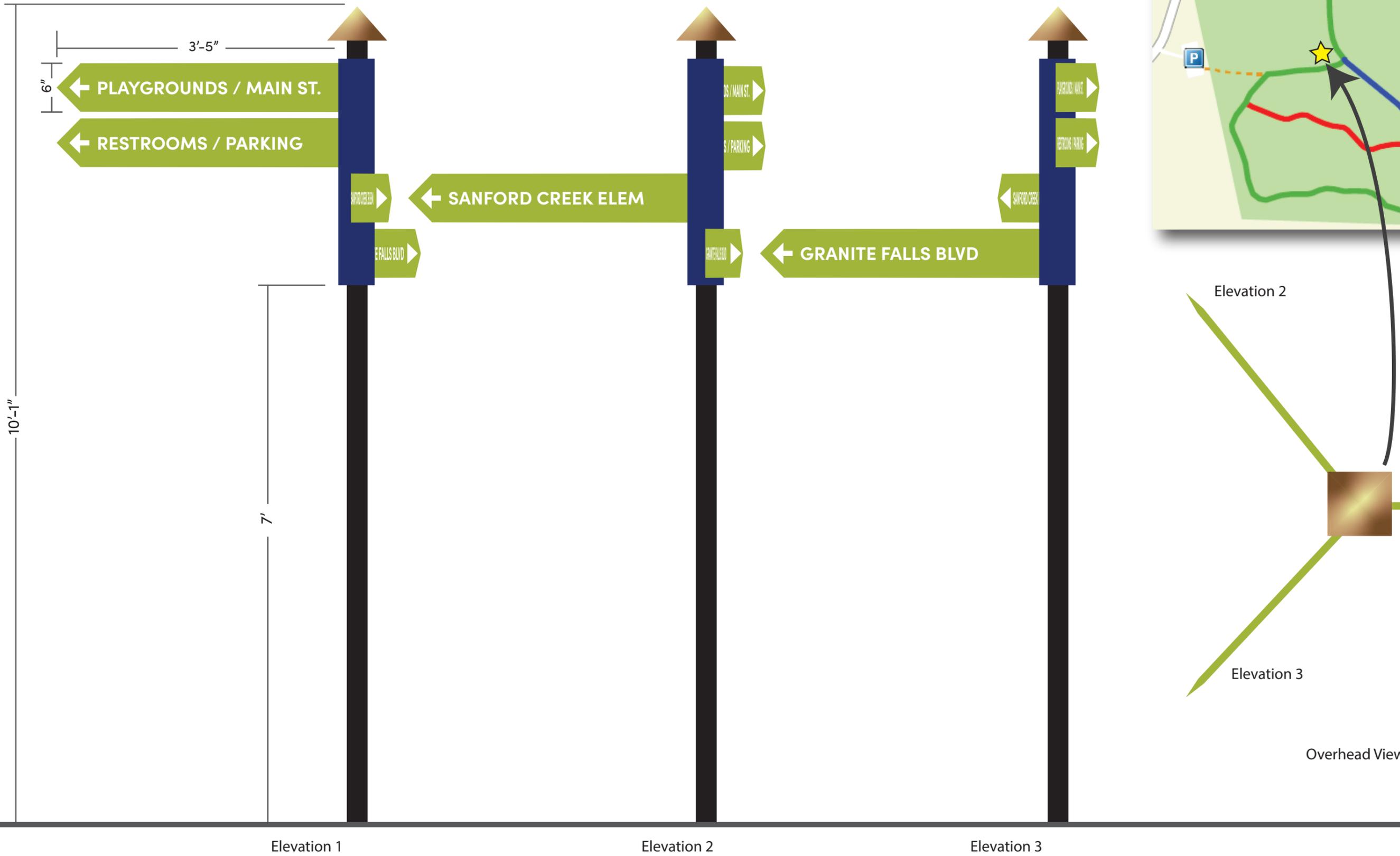
Absent or Excused: _____

Ronnie I. Currin, Mayor

ATTEST:

Robin E. Peyton, Town Clerk

[SEAL]

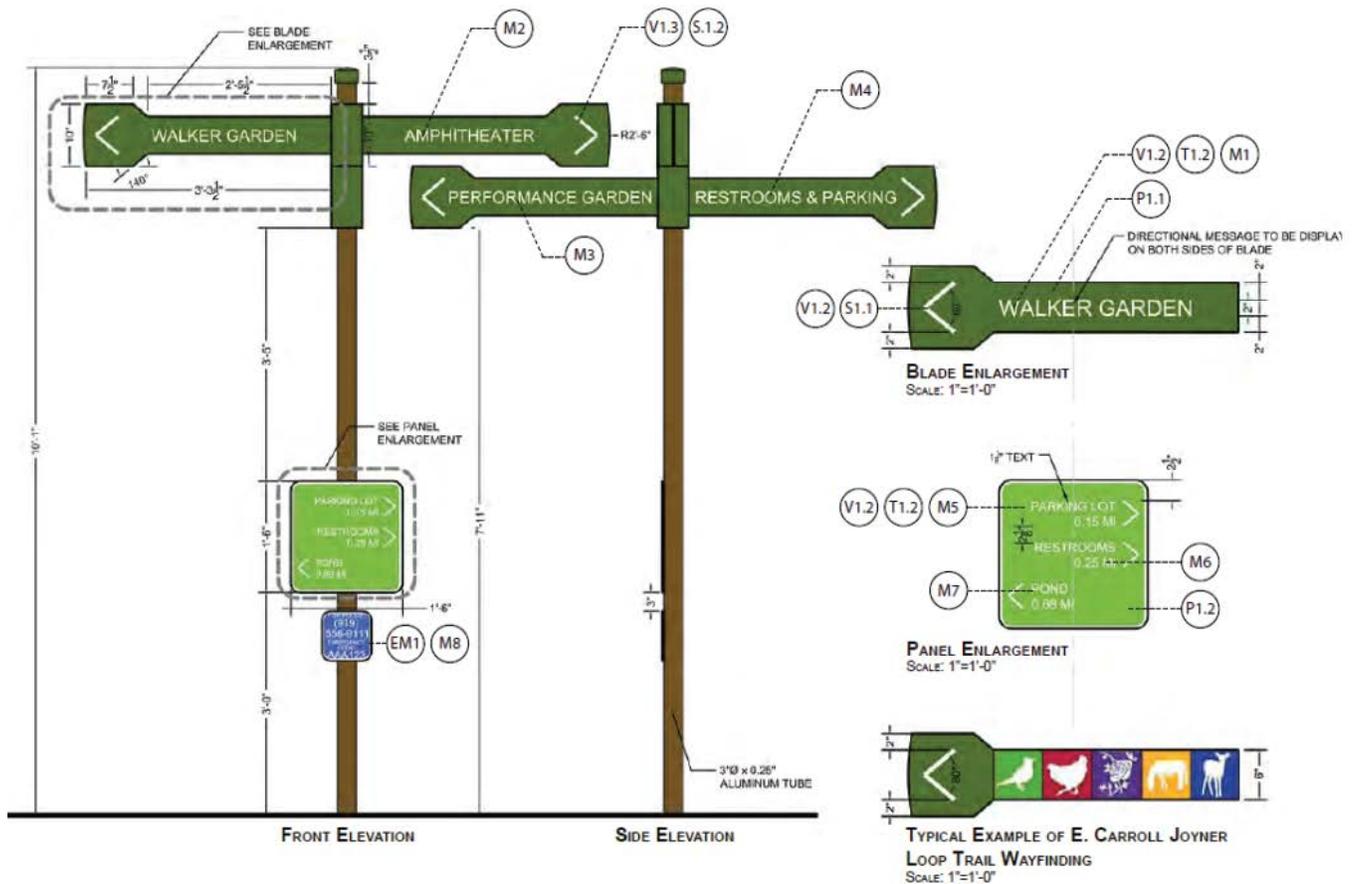


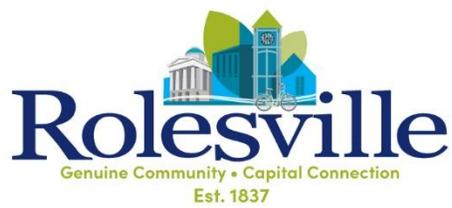
Overhead View

RALEIGH SIGN EXAMPLE



WAKE FOREST SIGN EXAMPLE





Memorandum

TO: Mayor and Town Board of Commissioners
FROM: Danny Johnson, AICP, Planning Director
DATE: May 27, 2020
RE: Agenda Item C.1.

Public Hearing (quasi-judicial) on Case: Special Use Permit 19-02, A Master Team Mixed-use Master Plan and Townhouse Site Plan for a proposed 1.45-acre commercial parcel on Rogers Rd and 47 townhomes on a total area of 5.99 acres, located on the corner of Rogers Road and Grand Rock Way.

Background

Summary Information

Acreage: 7.44

Current Zoning: Commercial Outlying Special Use Zoning District (CO-SUD)

Owner: A-Master Team, LLC, Wake County PIN's 1759707093

Developer: A-Master Team, LLC,

Existing Conditions

The properties is within Rolesville's Town's corporate limits. The current zoning is Commercial Outlying Special Use Zoning District (CO-SUD). The land to the south is zoned in the Industrial (I) Zoning District, Residential and Planned Unit Development (R&PUD) Zoning District, and Commercial Outlying Zoning District (CO) with a mix of retail commercial uses. The land to the west of the site is zoned in the Residential and Planned Unit Development (R&PUD) Zoning District and is townhouses in Granite Ridge. To the east are vacant parcels in the Commercial Outlying Zoning District (CO). North is townhouses in Granite Ridge and commercial mixed-use in the Rolesville Plaza located in the Residential and Planned Unit Development (R&PUD) zoning district.

The applicant requests a Special Use Permit for a mixed-use master plan as proved in Rolesville Unified Development Ordinance under Section 8.3.12. This section requires a special use permit granted for the residential uses in the Commercial Outlying Zoning District submitted to the Town Board as provided in the Town's UDO as a quasi-judicial public hearing case.

Commercial Outlying Special Use Zoning District and Section 8.3.12.

The UDO specifies for a special use permit option in the Commercial Outlying Zoning District provisions to allow single-family, townhouses, and multi-family dwellings as per Section 8.3.12. The following is the portion of this section:

"8.3.12 Use: Single-family dwellings, townhouses, and multi-family dwellings as a special use in CO and CH districts.

8.3.12.1 Requirements:

- (a) *An overall concept site plan for the proposed development of the properties within the CO or CH zoning district that identifies areas for either non-residential or residential use, with total gross acreage for each area identified; however, such concept site plan need not include both residential and non-residential use areas. Areas identified for residential use where more than one dwelling type is to be permitted shall be divided into sections, with gross acreages, designating the dwelling type allowed in each section. A residential use area may be designated for only one dwelling type. Any such residential use areas shall be permitted with the maximum density of residential units per gross acreage based upon the dwelling type designated therein as follows:
 - (1) *Single-family shall not exceed six (6) dwelling units per acre.*
 - (2) *Townhouse shall not exceed ten (10) dwelling units per acre.*
 - (3) *Multi-family shall not exceed sixteen (16) dwelling units per acre.**
- (b) *The overall concept site plan shall be approved as provided in Section 5.3 for the special use permit."*

Summary of A-Masters Mixed-Unit Master Plan and Site Plan for Townhouses

The proposed Commercial Mixed Use Master Plan has proposed 47 Townhouses under the Section standard of the CO-SUD zoning district subject to Section 9.3.12. The proposed overall density will allow 59 residential units of the 5.99 acres proposed for residential use. The townhouse portion proposed is 47 units with a balance of 12 dwelling units as reserve allocation for the commercial parcel to allow the second story or above multi-family units over the first-floor commercial building as provided in Section 9.3.12.

2002 Thoroughfare Plan and Traffic Impact Analysis (TIA)

The 2002 Thoroughfare Plan calls for Rogers Road as a four-lane with center turn lane major highway. Roger Road improvements installed for this portion of Rogers Road comply with the 2002 Thoroughfare Plan. Granite Rock Way is not shown on the 2002 Thoroughfare plan but has all the existing 60-foot right-of-way and 31 foot back to back curb street improvements installed to Town standards. No additional road improvements are required for this proposed development.

Traffic Impact Analysis (TIA)

The professional project engineer prepared an analysis for the Traffic Impact Analysis for the proposed mixed-use master plan and the site plan for the Townhouse portion of the Master Plan. The report results were the proposed development will generate less than the required standard for peak-hour morning or afternoon of fewer than 100 vehicles per hour and less than the daily trip generation of 1,000 vehicles that would require a Traffic Impact Analysis under Section 9.11 of the UDO. Therefore, no traffic impact analysis is required for this proposed development. The report is included in the attachments.

Neighborhood Meeting

A neighborhood meeting was held on August 26, 2019, at 6:00 pm at Rolesville Community Center. Three persons attended, and a summary report of the meeting is included in the attachments. The owner of the Coffee Lodge sent an email requesting that the proposed Townhouses private street not connect to the existing private street drive to South Main Street. Based on the current town policy of requiring connectivity to adjoining property, and this existing private drive ends at the property line, the proposed site plan provides the required connection. The Traffic Impact Analysis report did not require a TIA Study due to the limited amount of traffic generated from the proposed development and will have a limited amount of travel use coming from the proposed development. So staff recommendation is to have the connection to South Main Street.

If, after hearing the evidence presented at the public hearing, the Town Board desires to remove the connection to South Main Street's existing private drive, the applicant has an alternative site plan. The alternative site plan offered for the townhouse's private street connect to the existing driveway of AutoZone, CVS, and Rolesville Creek Learning Center and not connecting to the proposed private street to South Main St existing private street. The Wake County Fire Marshall's Office recommends this alternative connection if the desired by the Town Board of Commissioners.

Planning Staff Recommendation

The Technical Review Committee has reviewed the proposed Special Use Permit Mixed-Use Master Plan and proposed townhouse site plan for A-Master Team, LLC, and the committee recommends approval. The Planning Staff recommendation is to approve the Special Use Permit for SUP 19-02 A-Master Team, LLC, special use permit, and townhouse site plan. All the requirements, provisions, and standards of the Rolesville Unified Development Ordinance have been met for this proposed special use permit and townhouse site plan.

Board Options

- Approved the Special Use Permit and townhouse site plan based on the information presented at the public hearing.
- Approved the Special Use Permit or townhouse site plan with modifications in consideration of the information presented at the public hearing.
- Denied the Special Use Permit or the townhouse site plan based on the information presented at the public hearing with the stated reason for denial.

Suggested Town Board motion

I move to approve public hearing Case SUP 19-02, A-Master Team, LLC, Mixed-Use Master Plan, and Townhouse Site Plan based on the evidence and testimony received at the hearing to determine the findings of fact.

Attachments

SUP 19-02 Location Map

SUP 19-02 Special Use Permit Application

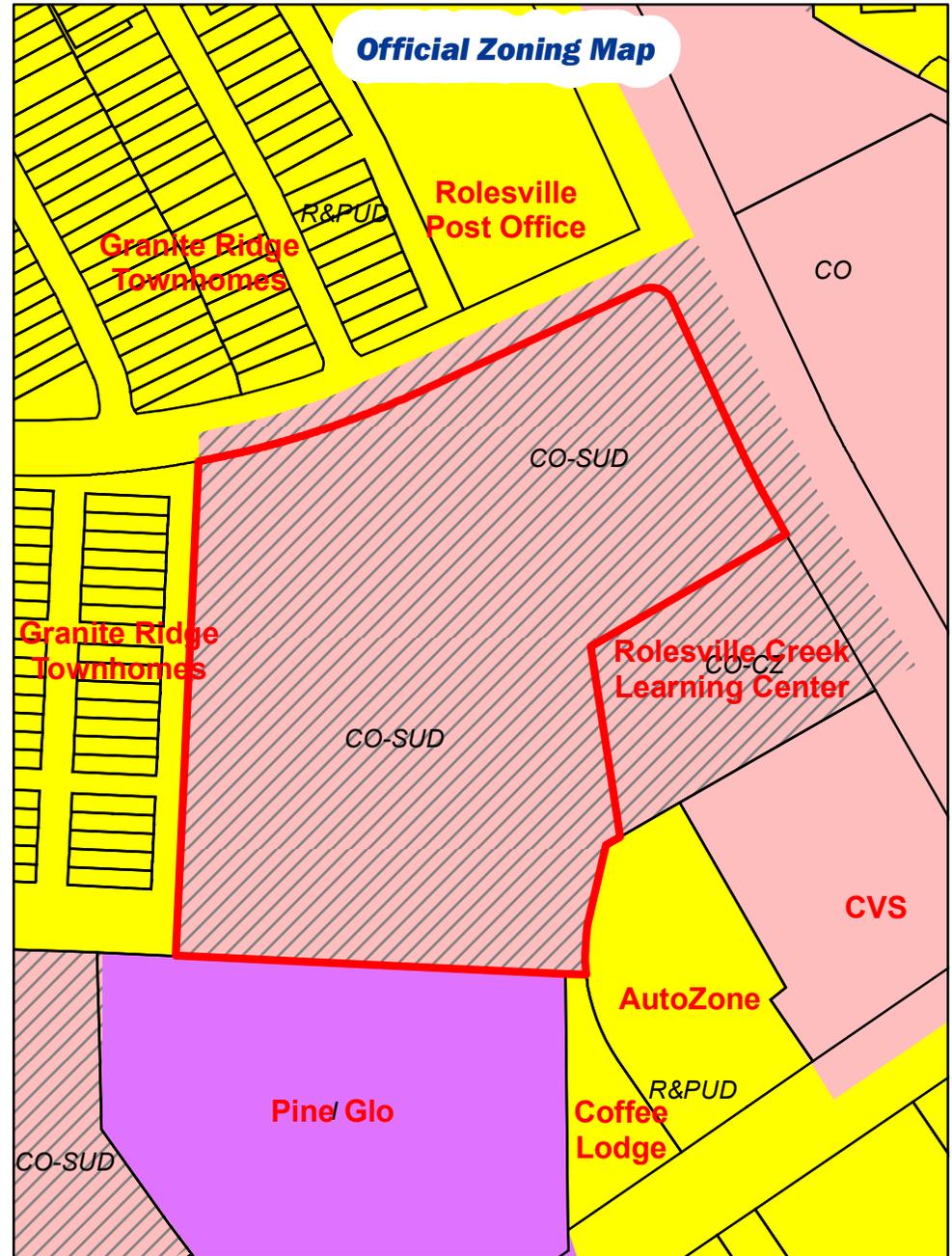
SUP 19-02 Special Use Permit for Mixed-Use Master Plan and Townhouse Site Plan

SUP 19-02 A-Master Team, LLC, Traffic Impact Analysis Letter

SUP 19-02 A-Master Team, LLC, Neighborhood Meeting Summary

SUP 19-02 A-Master Team Townhomes Site Plan - No Connection to S Main St

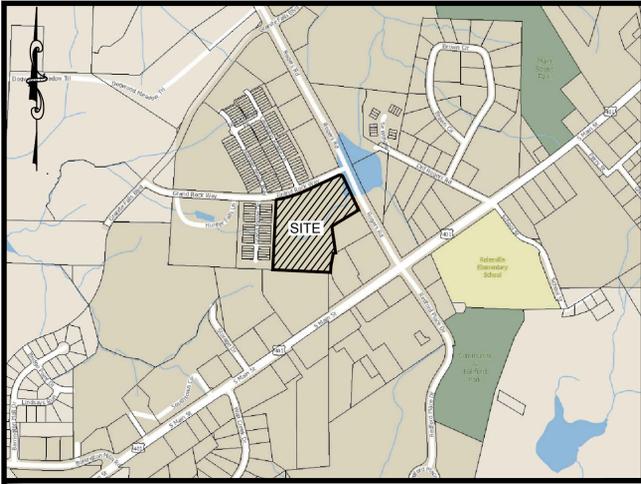
SUP 19-02 Mixed-Use Master Plan & Townhomes Site Plan Request



 A-Master Team Site Location



1 in = 200 ft



VICINITY MAP
(NOT TO SCALE)

A-MASTER TEAM TOWNHOMES

SUP 19-02

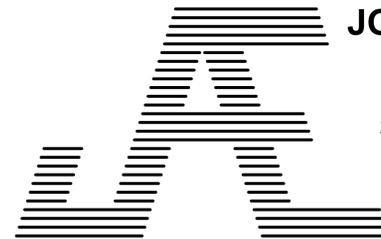
151 GRAND ROCK WAY
ROLESVILLE, NORTH CAROLINA

MAY 14, 2019
 REVISED: JUNE 18, 2019
 REVISED: JULY 30, 2019
 REVISED: FEBRUARY 26, 2020

OWNER/DEVELOPER:

A-MASTER TEAM, LLC
 6200 FALLS OF NEUSE ROAD, STE. 10
 RALEIGH, NC 27609
 W. HAROLD PERRY - MANAGER
 HALPERRY@REMC.US

CIVIL ENGINEER:



JOHN A. EDWARDS & COMPANY
 CONSULTING ENGINEERS
 NC LICENSE F-0289
 333 WADE AVENUE, RALEIGH NC 27605
 PHONE: (919) 828-4428
 FAX: (919) 828-4711
 EMAIL: INFO@JAECO.COM

SITE SUMMARY:

SITE ADDRESS	151 GRAND ROCK WAY
WAKE CO PIN	1759.20-70-7093
PROPOSED ZONING	CO-SUD
TOTAL TRACT AREA	324,170 S.F. (7.4419 AC.)

INDEX

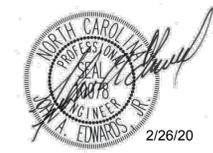
- COVER SHEET
- C-1 EXISTING CONDITIONS
- C-2 OVERALL CONCEPT SITE PLAN
- C-3 PRELIMINARY SITE PLAN
- C-4 PRELIMINARY UTILITY PLAN
- A-1 EXAMPLE TOWNHOME ELEVATIONS



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

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333 Wade Ave., Raleigh, N.C. 27605
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Fax: (919) 828-4711
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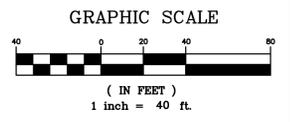
www.jaeco.com



Project
**A-MASTER TEAM
TOWNHOMES SUP
ROLESVILLE, NC**

Client
**A-MASTER TEAM, LLC
RALEIGH, NC**

Approvals
EXISTING CONDITIONS DATA
OWNER: A-MASTER TEAM, LLC
6200 FALLS OF NEUSE ROAD
SUITE 10
RALEIGH, NC 27609
ADDRESS: 151 GRAND ROCK WAY
ROLESVILLE, NC 27571
PIN: 1759-20-70-7093
ZONING: CO-SUD, R&PUD
TRACT AREA: 324,170 S.F. (7.4419 AC.)
CURRENT LAND USE: VACANT
REFERENCE: DB 15814, PG. 633
BM 2017, PG. 1390
WAKE COUNTY REGISTRY



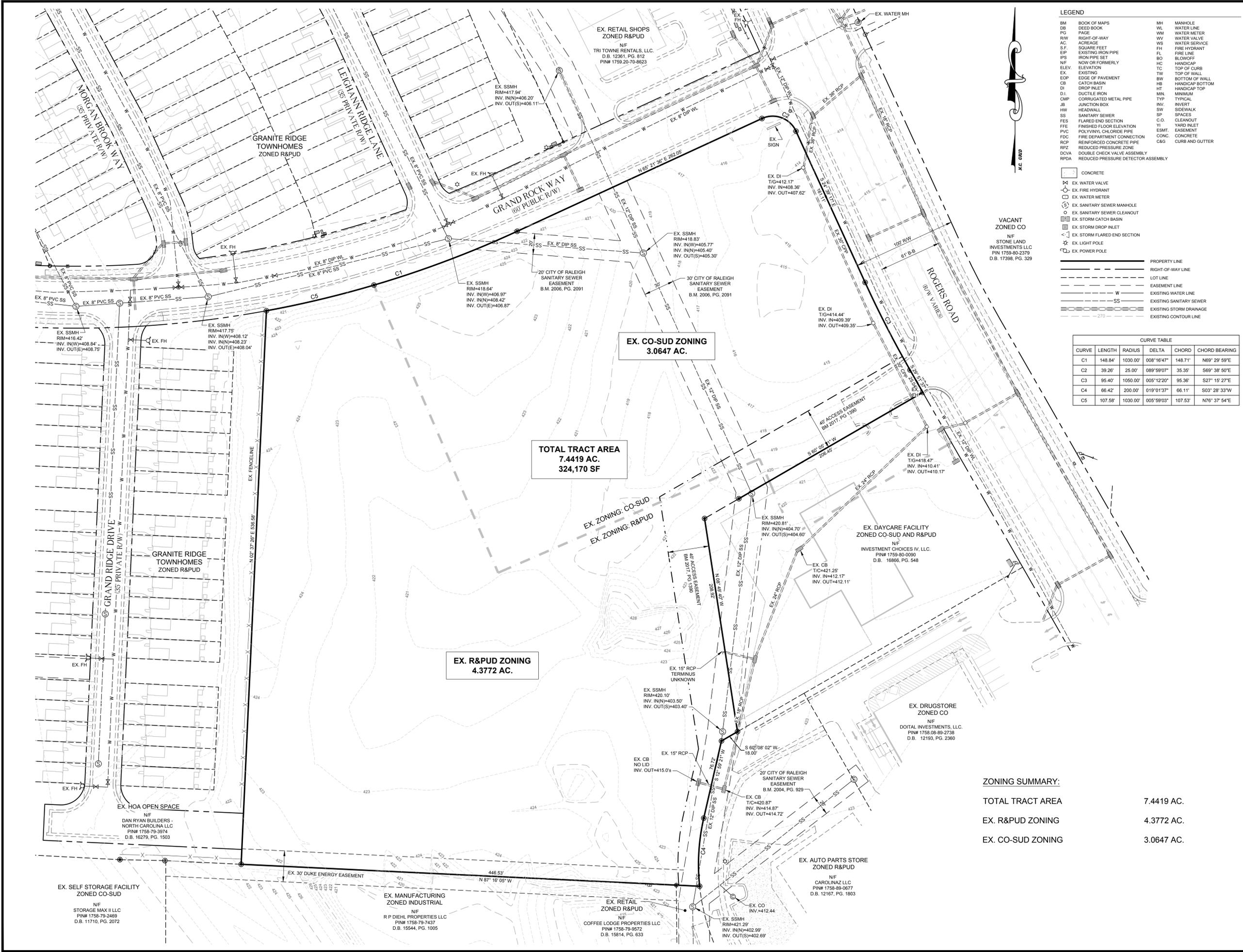
Drawing Title
**EXISTING
CONDITIONS**

Revisions

Number	Description	Date
1	PER TOWN OF ROLESVILLE COMMENTS	6/18/19
2	PER TOWN OF ROLESVILLE COMMENTS	7/30/19
3	STREET NAMES & LOT DIMENSIONS	2/26/20

Drawing Scale 1" = 40'
Drawn By RT
Checked By JAE, JR.
Date Issued 05/14/19

C-1



LEGEND

BM	BOOK OF MAPS	MH	MANHOLE
DB	DEED BOOK	WL	WATER LINE
PG	PAGE	WM	WATER METER
RW	RIGHT-OF-WAY	WV	WATER VALVE
AC	ACREAGE	WS	WATER SERVICE
S.F.	SQUARE FEET	FH	FIRE HYDRANT
EIP	EXISTING IRON PIPE	FL	FIRE LINE
IP	IRON PIPE SET	BO	BLOWOFF
NIF	NOW OR FORMERLY	HC	HANDICAP
ELEV.	ELEVATION	TC	TOP OF CURB
EX	EXISTING	TW	TOP OF WALL
EOP	EDGE OF PAVEMENT	BW	BOTTOM OF WALL
CB	CATCH BASIN	HB	HANDICAP BOTTOM
DI	DROP INLET	HT	HANDICAP TOP
D.I.	DUCTILE IRON	MIN.	MINIMUM
CMP	CORRUGATED METAL PIPE	TYP	TYPICAL
JB	JUNCTION BOX	INV	INVERT
HW	HEADWALL	SW	SIDEWALK
SS	SANITARY SEWER	SP	SPACES
FES	FINISHED END SECTION	C.O.	CLEANOUT
FTE	FINISHED FLOOR ELEVATION	YI	YARD INLET
PVC	POLYVINYL CHLORIDE PIPE	ESMT.	EASEMENT
FDC	FIRE DEPARTMENT CONNECTION	CONC.	CONCRETE
RCP	REINFORCED CONCRETE PIPE	C&G	CURB AND GUTTER
RPZ	REDUCED PRESSURE ZONE		
DCVA	DOUBLE CHECK VALVE ASSEMBLY		
RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY		

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	148.84'	1030.00'	008°16'47"	148.71'	N69°29'59"E
C2	39.26'	25.00'	089°59'07"	35.35'	S69°38'50"E
C3	95.40'	1050.00'	005°12'20"	95.36'	S27°15'27"E
C4	66.42'	200.00'	019°01'37"	66.11'	S03°28'33"W
C5	107.58'	1030.00'	005°59'03"	107.53'	N76°37'54"E

**EX. CO-SUD ZONING
3.0647 AC.**

**TOTAL TRACT AREA
7.4419 AC.
324,170 SF**

**EX. R&PUD ZONING
4.3772 AC.**

ZONING SUMMARY:

TOTAL TRACT AREA	7.4419 AC.
EX. R&PUD ZONING	4.3772 AC.
EX. CO-SUD ZONING	3.0647 AC.

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TOWNHOMES SUP
ROLESVILLE, NC

A-MASTER TEAM, LLC
RALEIGH, NC

OVERALL CONCEPT SITE PLAN

Revisions		
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Checked By JAE, JR.
Date Issued 05/14/19

C-2

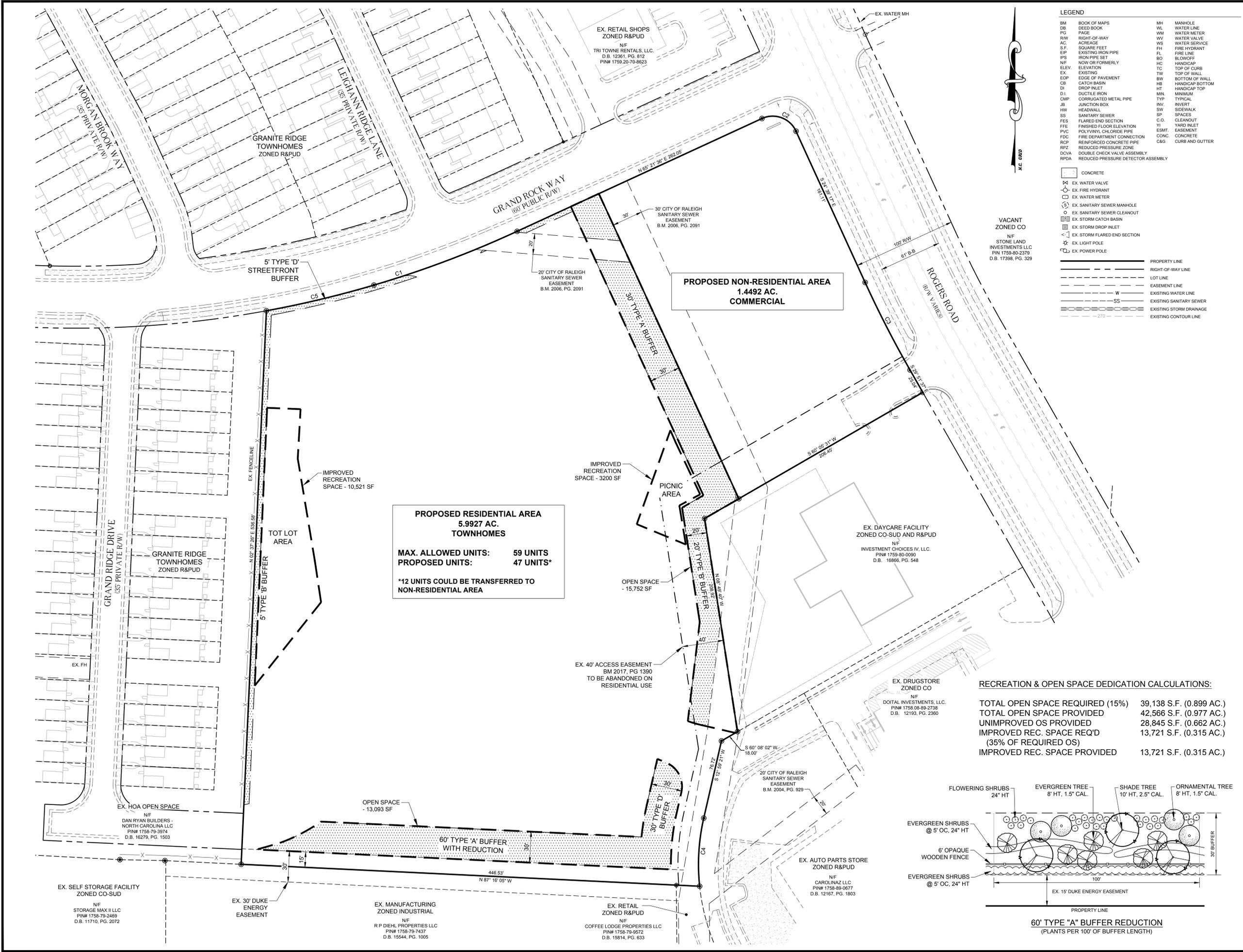
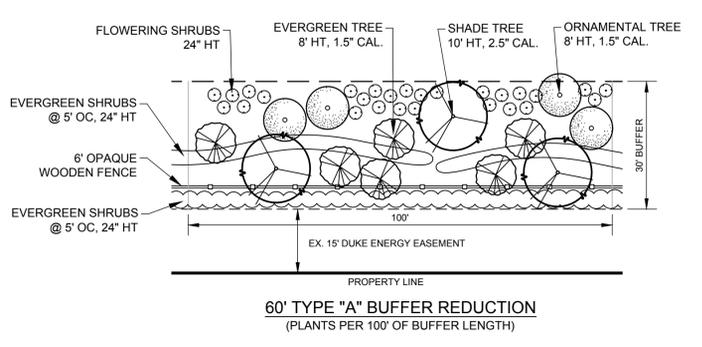
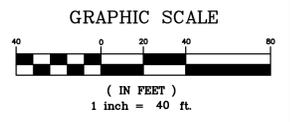
LEGEND

BM	BOOK OF MAPS	MH	MANHOLE
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RPZ	REDUCED PRESSURE ZONE		
DCVA	DOUBLE CHECK VALVE ASSEMBLY		
RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY		

CONCRETE	PROPERTY LINE
EX. WATER VALVE	RIGHT-OF-WAY LINE
EX. WATER METER	EXISTING WATER LINE
EX. SANITARY SEWER MANHOLE	EXISTING SANITARY SEWER
EX. SANITARY SEWER CLEANOUT	EXISTING STORM DRAINAGE
EX. STORM CATCH BASIN	EXISTING CONTOUR LINE
EX. STORM DROP INLET	
EX. STORM FLARED END SECTION	
EX. LIGHT POLE	
EX. POWER POLE	

RECREATION & OPEN SPACE DEDICATION CALCULATIONS:

TOTAL OPEN SPACE REQUIRED (15%)	39,138 S.F. (0.899 AC.)
TOTAL OPEN SPACE PROVIDED	42,566 S.F. (0.977 AC.)
UNIMPROVED OS PROVIDED	28,845 S.F. (0.662 AC.)
IMPROVED REC. SPACE REQ'D (35% OF REQUIRED OS)	13,721 S.F. (0.315 AC.)
IMPROVED REC. SPACE PROVIDED	13,721 S.F. (0.315 AC.)



PROPOSED RESIDENTIAL AREA
5.9927 AC.
TOWNHOMES

MAX. ALLOWED UNITS: 59 UNITS
PROPOSED UNITS: 47 UNITS*

*12 UNITS COULD BE TRANSFERRED TO NON-RESIDENTIAL AREA

PROPOSED NON-RESIDENTIAL AREA
1.4492 AC.
COMMERCIAL

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JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

www.jaeco.com



**A-MASTER TEAM
TOWNHOMES SUP
ROLESVILLE, NC**

A-MASTER TEAM, LLC
RALEIGH, NC

Approvals

Client

Approval

LEGEND

BM	BOOK OF MAPS	MH	MANHOLE
DB	DEED BOOK	WL	WATER LINE
PG	PAGE	WM	WATER METER
R/W	RIGHT-OF-WAY	WV	WATER VALVE
AC	ACREAGE	WS	WATER SERVICE
S.F.	SQUARE FEET	FI	FIRE HYDRANT
EX	EXISTING	FL	FIRE LINE
IFP	IRON PIPE SET	BO	BLOWOFF
NF	NOW OR FORMERLY	HC	HANDICAP
ELEV.	ELEVATION	TC	TOP OF CURB
EX.	EXISTING	TW	TOP OF WALL
EQP	EDGE OF PAVEMENT	BW	BOTTOM OF WALL
CB	CATCH BASIN	HB	HANDICAP BOTTOM
DI	DROP INLET	HT	HANDICAP TOP
D.I.	DUCTILE IRON	MIN	MINIMUM
CMP	CORRUGATED METAL PIPE	TYP	TYPICAL
JB	JUNCTION BOX	INV	INVERT
HW	HEADWALL	SW	SIDEWALK
SS	SANITARY SEWER	SP	SPACES
FES	FLARED END SECTION	C.O.	CLEANOUT
FFE	FINISHED FLOOR ELEVATION	YI	YARD INLET
PVC	POLYVINYL CHLORIDE PIPE	ESMT	EASEMENT
FDC	FIRE DEPARTMENT CONNECTION	CONC.	CONCRETE
RCP	REINFORCED CONCRETE PIPE	C&G	CURB AND GUTTER
RPZ	REDUCED PRESSURE ZONE		
DCVA	DOUBLE CHECK VALVE ASSEMBLY		
RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY		

CONCRETE	EX. POWER POLE
NEW WATER VALVE	NEW WATER VALVE
EX. WATER VALVE	NEW WATER REDUCER
EX. FIRE HYDRANT	NEW FIRE HYDRANT
EX. WATER METER	NEW WATER METER
EX. SANITARY SEWER MANHOLE	NEW SANITARY SEWER MANHOLE
EX. SANITARY SEWER CLEANOUT	NEW SANITARY SEWER CLEANOUT
EX. STORM CATCH BASIN	NEW STORM CATCH BASIN
EX. STORM DROP INLET	NEW STORM DROP INLET
EX. STORM FLARED END SECTION	NEW STORM FLARED END SECTION
EX. LIGHT POLE	

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	LOT LINE
---	EASEMENT LINE
---	EXISTING WATER LINE
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---	EXISTING STORM DRAINAGE
---	NEW WATER LINE
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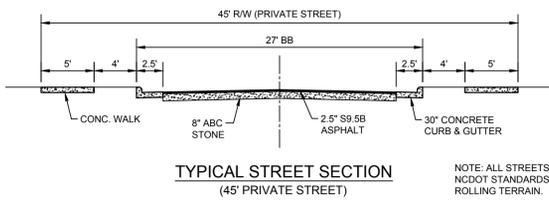
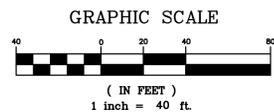
CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	148.84'	1030.00'	008°16'47"	148.71'	N69°29'59"E
C2	39.26'	25.00'	089°59'07"	35.35'	S69°38'50"E
C3	95.40'	1050.00'	005°12'20"	95.38'	S27°15'27"E
C4	66.42'	200.00'	019°01'37"	66.11'	S03°28'33"W
C5	107.58'	1030.00'	005°59'03"	107.53'	N76°37'54"E

PARKING SUMMARY:

PARKING REQUIRED	94 (2 PER 2BR DU)
TOWNHOMES (ALL 2 BR)	12 (1 PER 4 DU'S)
VISITOR	4 SPACES (1 HC VAN)
MAIL KIOSK	110 SPACES
TOTAL REQUIRED	
PARKING PROVIDED	111 SPACES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ROLESVILLE AND / OR NCDOT STANDARDS AND SPECIFICATIONS.



NOTE: ALL STREETS TO NCDOT STANDARDS FOR ROLLING TERRAIN.

Drawing Scale 1" = 40'

Drawn By RT

Checked By JAE, JR.

Date Issued 05/14/19

C-3



X:\Projects\A Master Team (682)\09 Townhomes1 - Preliminary\362-09 Civil Base.dwg, 2/26/2020 2:51:35 PM



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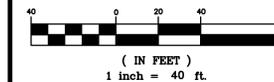
A-MASTER TEAM
TOWNHOMES SUP
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Approvals

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GRAPHIC SCALE



PRELIMINARY SITE PLAN

Number	Description	Date
1	PER TOWN OF ROLESVILLE COMMENTS	6/18/19
2	PER TOWN OF ROLESVILLE COMMENTS	7/30/19
3	STREET NAMES & LOT DIMENSIONS	2/26/20

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Drawn By RT
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C-3

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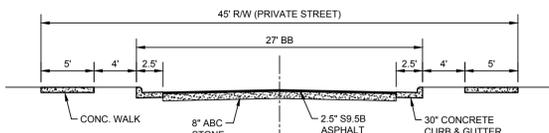
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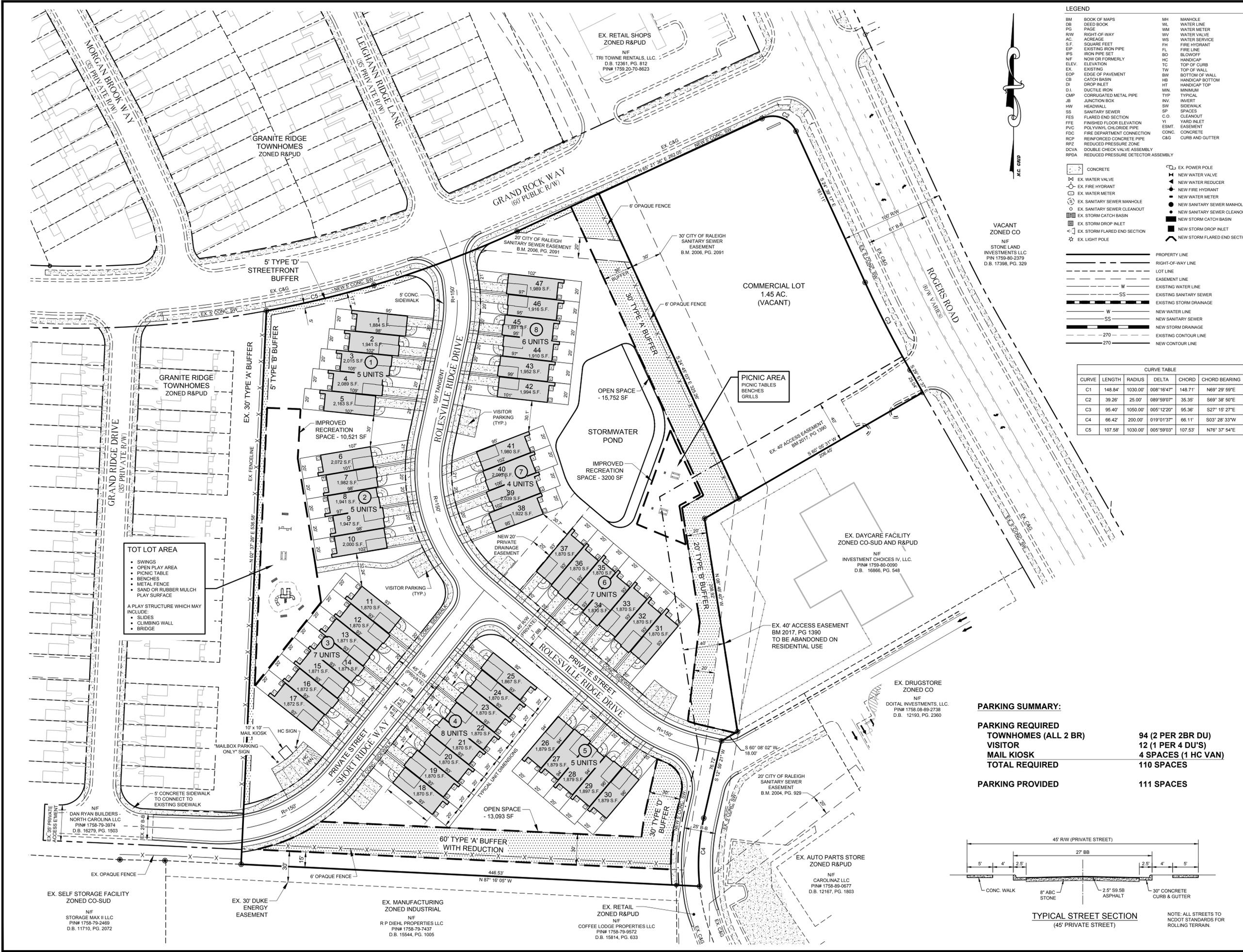
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MAIL KIOSK	4 SPACES (1 HC VAN)
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TYPICAL STREET SECTION
(45' PRIVATE STREET)

NOTE: ALL STREETS TO NCDOT STANDARDS FOR ROLLING TERRAIN.



- TOT LOT AREA**
- SWINGS
 - OPEN PLAY AREA
 - PICNIC TABLE
 - BENCHES
 - METAL FENCE
 - SAND OR RUBBER MULCH PLAY SURFACE
- A PLAY STRUCTURE WHICH MAY INCLUDE:
- SLIDES
 - CLIMBING WALL
 - BRIDGE

EX. SELF STORAGE FACILITY
ZONED CO-SUD
NIF
STORAGE MAX II LLC
PIN# 1758-79-2489
D.B. 11710, PG. 2072

EX. 30' DUKE ENERGY EASEMENT

EX. MANUFACTURING ZONED INDUSTRIAL
NIF
R P DIEHL PROPERTIES LLC
PIN# 1758-79-7437
D.B. 15544, PG. 1005

EX. RETAIL ZONED R&PUD
NIF
COFFEE LODGE PROPERTIES LLC
PIN# 1758-79-9572
D.B. 15814, PG. 633

EX. DRUGSTORE ZONED CO
NIF
DOITAL INVESTMENTS, LLC
PIN# 1758-08-2736
D.B. 12193, PG. 2360

EX. AUTO PARTS STORE ZONED R&PUD
NIF
CAROLINAZ LLC
PIN# 1758-69-0977
D.B. 12167, PG. 1803

EX. DAYCARE FACILITY ZONED CO-SUD AND R&PUD
NIF
INVESTMENT CHOICES IV, LLC
PIN# 1758-80-0090
D.B. 16866, PG. 548

COMMERCIAL LOT
1.45 AC.
(VACANT)

EX. RETAIL SHOPS ZONED R&PUD
NIF
TRI TOWNE RENTALS, LLC.
D.B. 12361, PG. 812
PIN# 1759-20-70-8623

GRANITE RIDGE TOWNHOMES ZONED R&PUD

GRANITE RIDGE TOWNHOMES ZONED R&PUD

VACANT ZONED CO
NIF
STONE LAND INVESTMENTS LLC
PIN# 1758-80-2379
D.B. 17398, PG. 329

30' CITY OF RALEIGH SANITARY SEWER EASEMENT
B.M. 2006, PG. 2091

20' CITY OF RALEIGH SANITARY SEWER EASEMENT
B.M. 2006, PG. 2091

5' TYPE 'D' STREETFRONT BUFFER

EX. 30' TYPE 'A' BUFFER

EX. 5' CONC. SIDEWALK



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Project
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TOWNHOMES SUP
ROLESVILLE, NC**

Client
**A-MASTER TEAM, LLC
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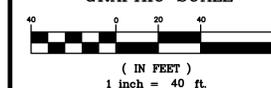
Approved

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for obtaining the Public Works Department's approval of the proposed work with the PUBLIC UTILITIES DEPARTMENT at least 10 business days prior to beginning any of this construction. FAILURE TO NOTIFY BOTH City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure. FAILURE TO CALL for Inspection: Install a Downstream Plug, have Permitted Plans on the site, or any other violation of CITY OF RALEIGH STANDARDS will result in a Fine and Possible Exclusion from future work in the CITY OF RALEIGH.

GRAPHIC SCALE



**PRELIMINARY
UTILITY PLAN**

Revisions		
Number	Description	Date
1	PER TOWN OF ROLESVILLE COMMENTS	6/18/19
2	PER TOWN OF ROLESVILLE COMMENTS	7/30/19
3	STREET NAMES & LOT DIMENSIONS	2/26/20

Drawing Scale 1" = 40'
Drawn By RT
Checked By JAE, JR.
Date Issued 05/14/19

NOTES:

- PROPOSED PRIVATE SANITARY SEWER TO BE 8" PVC.
- PROPOSED PUBLIC WATER LINE TO BE 6" DIP.
- 4" PVC SANITARY SEWER SERVICE WITH C.O. LOCATED ON EACH LOT.
- 3/4" COPPER WATER SERVICE & 5/8" METER TO SERVE EACH LOT.
- 30' PUBLIC CITY OF RALEIGH WATERLINE EASEMENT AND 5' CITY OF RALEIGH WATERLINE EASEMENT TO EACH METER AND FIRE HYDRANT TO BE RECORDED.



LEGEND

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EP	EXISTING IRON PIPE	FL	FIRE LINE
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RPOA	REDUCED PRESSURE DETECTOR ASSEMBLY		

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Project

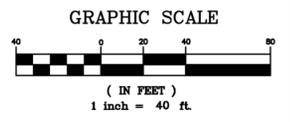
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 RALEIGH, NC

Approval

Key	Botanical Name	Common Name	Qty
SHADE TREES			
Ar	Acer rubrum 'October Glory'	October Glory Red Maple	10
As	Acer saccharum 'Legacy'	Legacy Sugar Maple	8
Lt	Liriodendron tulipifera	Tulip Poplar	2
Ns	Nyssa sylvatica	Black Gum	4
Pc	Pistachia chinensis	Chinese Pistache	6
Qn	Quercus nuttallii	Nuttall Oak	12
Tc	Tilia cordata 'Greenspire'	Greenspire Linden	4
Zs	Zelkova serrata 'Village Green'	Village Green Zelkova	7
EVERGREEN TREES			
Cj	Cryptomeria japonica 'Yoshino'	Yoshino Cryptomeria	3
Cl	Callitropsis leylandii	Leyland Cypress	22
Io	Ilex opaca 'Tinga'	Tinga American Holly	3
Mg	Magnolia grandiflora 'Kay Parris'	Kay Parris Magnolia	7
ORNAMENTAL TREES			
Ag	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	3
Cc	Cercis canadensis	Eastern Red Bud	8
Cf	Cornus florida 'Cherokee Princess'	Cherokee Princess Dogwood	6
Hc	Hosalecia carolina 'Jersey Belle'	Jersey Belle Carolina Silverbell	5
Li	Lagerstroemia Whit II 'Dynamite'	Dynamite Crape Myrtle	8
Py	Prunus yedoensis 'Yoshino'	Yoshino Cherry	6
SHRUBS			
Az	Azalea x indica 'Formosa'	Formosa Azalea	19
IcB	Ilex cornuta 'Burfordii' 'Nana'	Dwf. Burford Holly	152
Ig	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	24
Lc	Loropetalum chinense 'Ruby'	Ruby Loropetalum	53
Lj	Ligustrum japonicum 'Recurvifolium'	Wax Leaf Ligustrum	30
Mc	Myrica cerifera	Wax Myrtle	100
POL	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel	109
Vd	Viburnum davidii	David Viburnum	9



LANDSCAPE PLAN

Revisions		
Number	Description	Date

Drawing Scale 1" = 40'
 Drawn By RT
 Checked By JAE, JR
 Date Issued 05/14/19



30' TYPE 'A' BUFFER - TREE QUANTITIES

DECIDUOUS	EVERGREEN	ORNAMENTAL
(2) Lt	(12) Cl	(3) Ag
(4) Ns	(3) Io	(2) Cc
(3) Pc	(4) Mg	(5) Hc

30' TYPE 'A' BUFFER - OPAQUE BUFFER REQUIRED

20' TYPE 'B' BUFFER - SEMI-OPAQUE BUFFER REQUIRED

30' STREETFRONT TYPE 'D' BUFFER 1 TREE / 40' REQUIRED

60' TYPE 'A' BUFFER - TREE QUANTITIES

DECIDUOUS	EVERGREEN	ORNAMENTAL
(3) Ar	(3) Cj	(3) Cc
(3) Pc	(10) Cl	(3) Cf
(2) Qn	(3) Mg	

LEGEND

POSSIBLE TREE SAVE AREAS LOCATED IN THE IMPROVED RECREATION SPACE. TREES TO BE REMOVED TO ALLOW FULL USE OF THE PLAYGROUND AND PICNIC AREA. HEALTH AND PROXIMITY TO PROPOSED STRUCTURES WILL ALSO BE CONSIDERED.

0.4 AC.

X:\Projects\A-Master Team (20210517)\Townhomes1 - Preliminary Landscape Rendering\2021-05-19 Landscape Plan-rendering-bama.dwg, 3/20/2021 10:45:51 AM

February 4, 2020

A Master Team LLC
Attn: Hal Perry
6200 Falls Of Neuse Road
Suite 102
Raleigh, NC 27609

Subject: **Trip Generation Letter**
Rogers Road Townhomes
Rolesville, North Carolina

Dear Mr. Perry:

This letter provides an estimate of the trip generation for the proposed townhome development located in the southwest quadrant of the intersection of Rogers Road and Grand Rock Way in Rolesville, North Carolina. The proposed development is anticipated to consist of 47 townhomes on the western portion of the site and a 1.45 acre commercial tract on the eastern portion of the site. Based on coordination with the site team, a maximum of a 7,000 sq. ft. of commercial development or a 2,500 sq. ft. restaurant may be on the commercial lot. Access to the site is proposed via one (1) full movement site driveway along Grand Rock Way, a connection to Grand Ridge Drive, and a connection to the existing CVS driveway. Refer to the attachments for the proposed site plan.

Trip Generation

The proposed development is anticipated to consist of 47 townhomes on the western portion of the site and a 1.45 acre commercial tract on the eastern portion of the site. Based on coordination with the site team, a maximum of a 7,000 sq. ft. of commercial development or a 2,500 sq. ft. restaurant may be on the commercial lot. It was determined that the shopping center land use would provide the most conservative results for the total trip generation purpose of the proposed site. Please refer to the attachments for the trip generation results including the highest restaurant generator, fast-food with drive-through.

Average weekday daily, AM, and PM peak hour trips for the proposed development were estimated using methodology contained within the ITE *Trip Generation Manual*, 10th Edition utilizing the most recent North Carolina Department of Transportation (NCDOT) Congestion Management rates vs. equation spreadsheet. Due to limited ITE data for shopping centers less than 10,000 sq. ft., rates were used for the shopping center LUC during the weekday AM peak hour. This is expected to provide conservative results because many smaller retailers are not open during typical weekday AM peak hours. Due to the limited retail weekday AM trips, weekday PM rates were applied to daily traffic to provide the most accurate estimation of real world operations of the proposed site. Refer to Table 1 on the following page for a summary of the trip generation summary.

Table 1: Site Trip Generation Summary

Land Use (ITE Code)	Intensity	Weekday Daily Traffic (vpd)	Weekday AM Peak Hour Trips (vph)		Weekday PM Peak Hour Trips (vph)	
			Enter	Exit	Enter	Exit
Multi-Family Housing (Low-Rise) (220)	47 dwellings	310	5	18	19	11
Shopping Center (820)	7,000 sq. ft.	990	4*	3*	36	40
Total Vehicle Trips		1,300	9	21	55	51
Internal Capture Trips (PM: 23%)		-300**	--	--	-12	-12
Pass-By Trips: Shopping Center (PM: 34%)		-260**	--	--	-10	-10
Added Vehicle Trips		740	9	21	33	29

* Due to limited ITE data for shopping centers less than 10,000 sq. ft., rates were used for the shopping center LUC during the weekday AM peak hour.

** Due to limited weekday AM trips, weekday PM rates were applied to daily traffic to provide the most accurate estimation of real world operations of the proposed site.

As shown in Table 1, it is estimated that the site is expected to have approximately 1,300 trips during a typical 24-hour weekday period. Of the daily site trips, it is anticipated that 30 total trips (9 entering and 21 exiting) will occur during the weekday AM peak hour and 106 total trips (55 entering and 51 exiting) will occur during the weekday PM peak hour.

Internal capture is the consideration for trips that will be made within the site between land uses, so the vehicle technically never leaves the internal site, but can still be considered as a trip to that specific land use. Because internal capture trips would not be expected to leave the internal site, they are not expected to generate added trips to the roadway network. Internal capture typically only considers trips between residential, office, and retail/restaurant land uses. Based on NCDOT methodology, the National Cooperative Highway Research Program (NCHRP) Report was utilized to determine internal capture volumes. Based on the results of the NCHRP Report, internal capture is expected to account for approximately 24 trips (12 entering and 12 exiting) during the weekday PM. It should be noted that the internal capture trips were balanced, as it is likely that these trips would enter and exit in the same hour.

Pass-by trips were also taken into consideration in this study. Pass-by trips are made by the traffic already using the adjacent roadway, entering the site as an intermediate stop on their way to another destination, and would not be considered as new trips to the roadway network. Pass-by percentages are applied to site trips after

adjustments for internal capture. Pass-by trips are expected to account for approximately 20 trips (10 entering and 10 exiting) during the weekday PM peak hour. The pass-by trips were also balanced, as it is likely that these trips would enter and exit in the same hour.

The total new, added site trips are the calculated site trips after the reduction for pass-by trips and internal capture. Added site trips are expected to generate approximately 740 trips during a typical 24-hour weekday period. Of the daily site trips, it is anticipated that 30 total added trips (9 entering and 21 exiting) will occur during the weekday AM peak hour and 62 total added trips (33 entering and 29 exiting) will occur during the weekday PM peak hour.

It should be noted that the Town of Rolesville threshold warranting a Traffic Impact Analysis (TIA) is 1,000 or more new trips per day or 100 or more new trips during the peak hour. New trips can be defined as any added trips to the surrounding roadway network that would not have otherwise existed. Based on the Town’s ordinance, only added vehicle trips are considered; therefore, the reduction in internal capture and pass-by trips was calculated prior to comparing trip generation values to Town thresholds.

Findings and Summary

Based on the trip generation results, it is expected that the proposed Rogers Road Townhomes development will have a minimal impact on the surrounding roadway network. The peak hour trip generation potential for this proposed development is less than the threshold to require a traffic impact study (100 vehicles per hour or 1,000 new vehicles per day) based on the Town’s ordinance. It should be noted that new trips were assumed to only include trips added to the surrounding roadway network; therefore, pass-by trips and trips from internal capture were removed from the added trip total.

If you should have any questions, please feel free to contact me at (919) 872-5115.

Sincerely,



Joshua Reinke, P.E.
Transportation Manager
Ramey Kemp & Associates, Inc.

NC Corporate License # C-0910

Attachments: Trip Generation Summary with Restaurant

Table 1: Site Trip Generation Summary

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			Enter	Exit	Enter	Exit
Multi-Family Housing (Low-Rise) (220)	47 dwellings	310	5	18	19	11
Fast-Food Restaurant with Drive-Through (934)	2,500 sq. ft.	1,180	51	49	43	39
Total Vehicle Trips		1,490	56	67	62	50
Internal Capture Trips (PM: 23%)		-340*	--	--	-13	-13
Pass-By Trips: Fast-Food (AM: 49%, PM: 50%)		-590	-25	-25	-16	-16
Added Vehicle Trips		560	31	42	33	21

* Due to limited weekday AM trips, weekday PM rates were applied to daily traffic to provide the most accurate estimation of real world operations of the proposed site.



**JOHN A. EDWARDS
& COMPANY**

*Consulting Engineers
And Land Surveyors*

333 Wade Avenue
Raleigh, NC 27605
(919) 828-4428
(919) 828-4711 fax
info@jaeco.com
www.jaeco.com

July 22, 2019

Dear Property Owner:

By way of this letter, the Town of Rolesville want to officially notify you of a proposed special use permit for development adjacent to your property. The applicant will hold a neighborhood meeting on August 13, 2019 from 6:00pm to 7:30 pm.

The applicant will receive your comments at this meeting and then present proposed special use permit for development to the Town Board of Commissioners for consideration. The Planning Board will most likely review and consider this case on August 26, 2019 at 7:00 pm at Rolesville Town Hall (502 Southtown Circle).

This case involves a request to construct 47 townhomes off Grand Rock Way. Site Plan is included.

The Town of Rolesville encourages you to attend these meetings and submit your input. The more involved citizens are in our government, the more trusted, transparent, and efficient the municipality will be.

Town Board of Commissioners are the elected body that will make the final determination and decision on this proposal.

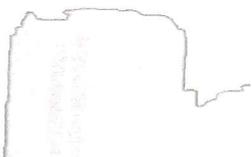
After consideration by the neighborhood meeting by the applicant, a public hearing will be held by the Town Board of Commissioners on a future date. You will receive another similar notification about the date, time, and location of this public hearing. These hearings may be administrative, legislative, or quasi-judicial (depending upon the North Carolina State Statute requirements), but you will still have the opportunity to be heard once again.

If you should have any questions, then you may contact Johnny Edwards at (919) 828-4428 or Johnny@jaeco.com.

Sincerely,



John A. Edwards Jr.
John Edwards & Company



Owner	Mail Address 1	Mail Address 2	Mail Address 3
STORAGE MAX II LLC	417 S MAIN ST	ROLESVILLE NC 27571-9664	
BROWN, DANIEL MAURICE BROWN, BRITTANY	1001 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
WILLIAMS, XIOMARA	1003 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
BALKUS, TIMOTHY BRIAN	1005 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
PRUNER, SUSANA PRUNER, IVETT	1007 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
FORD, CHRISTINA D	1009 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
SVENSON, DANIEL SVENSON, DONNA	1015 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
WALTS, EDWARD	1964 MUIRFIELD WAY SE	PALM BAY FL 32909-6827	
HICKS, MARJORIE	1019 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
CLARK, QUINTASHA	1021 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
PASSARELLI, WILLIAM J	1023 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
DAN RYAN BUILDERS - NORTH CAROLINA LLC	64 THOMAS JOHNSON DR STE 110	FREDERICK MD 21702-4735	
BANGANSHAKA, JOSEPPPE	1000 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
OHMAN, JOHAN	1002 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
GAINES, ARETHA S	1004 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
DOBROV, IVAN	1006 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
MARCUS, ROBERT H	1008 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
HOLLOWAY, ROY D HOLLOWAY, MARTHA LAURA	1014 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
MERCADO, JULIO MERCADO, MELISSA	1016 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
ZIEVERINK, FRANCES	408 GREEN TURRET DR	ROLESVILLE NC 27571-9487	
ALVAREZ, LISSETTE STEPHANIE	1020 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
HILL, SAMUEL HILL, PENNY	1022 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
R P DIEHL PROPERTIES LLC	1424 HUNTING RIDGE RD	RALEIGH NC 27615-7024	
COFFEE LODGE PROPERTIES LLC	5416 THORNBURG DR	WAKE FOREST NC 27587-9693	
CAROLINAZ LLC	1310 S TRYON ST STE 104	CHARLOTTE NC 28203-4233	
DOITAL INVESTMENTS LLC	ATTN: STORE ACCOUNTING	1 CVS DR # MC2320	WOONSOCKET RI 02895-6146
JOHNSON, TIFFANY C	1025 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
MORROW, BRADFORD JAMES MORROW, AVERY LEE	1027 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
QUINN, DONNA J.	1033 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
BURKI, ERIC S	1035 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
AJAYI, MOYOSORE	338 COPELAND ST APT 41	QUINCY MA 02169-4051	
PITTMAN, RONALD WAYNE PITTMAN, JACQUELINE R	1039 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
BROWN, HANNAH BETHEL	1041 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
HINTON-OWEN, ROSALIND	1043 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
GEREMINA, LISA	1045 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
BROCK, CARMETRICE BROCK, SAMUEL A	215 MORGAN BROOK WAY	ROLESVILLE NC 27571-9380	
HANCOCK, BRIAN	211 MORGAN BROOK WAY	ROLESVILLE NC 27571-9380	
WINSTON, ANGELA M	213 MORGAN BROOK WAY	ROLESVILLE NC 27571-9380	
KAN, ERIC LOUIE, PEGGY	183 WASHINGTON AVE	RUTHERFORD NJ 07070-1151	
GRANITE RIDGE COMMUNITY ASSN INC	PPM	11010 RAVEN RIDGE RD	RALEIGH NC 27614-8837
HUGHES, AISHIA M	217 MORGAN BROOK WAY	ROLESVILLE NC 27571-9380	
JOHNSON, HARVEY JOHNSON, ALFREDA	1024 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
CARPENTER, ANGELO ANTONIO JR CARPENTER, ADRIAN PREDDY	1026 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
RUSSELL, LOREEN C	1032 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
BRUSCHI, OLUWAGBEMISOLA T BRUSCHI, EMMANUEL	1034 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
COOPER, DAVID A ANTONIO-COOPER, CHARIS SAN	1036 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
OLURINMADE, OLUWAKEMI A OLURINMADE, OLUMIDE A	4005 VALLONIA DR	CARY NC 27519-6624	
GURRAM, ANANDA NAINI, SUSHMITHA	108 UTLEY BLUFFS DR	HOLLY SPRINGS NC 27540-4452	
HOWARD, CHARLENE M	1042 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
RIVERS, ALEXANDER JAMES	1044 GRAND RIDGE DR	ROLESVILLE NC 27571-9527	
DESTEFANO, RONALD	206 MORGAN BROOK WAY	ROLESVILLE NC 27571-9381	
THORPE, LUCY M	208 MORGAN BROOK WAY	ROLESVILLE NC 27571-9381	
BREEDING, MARY ELIZABETH BREEDING, MATTHEW WAYNE	216 MORGAN BROOK WAY	ROLESVILLE NC 27571-9381	
HARVEY, NAKEIA T	214 MORGAN BROOK WAY	ROLESVILLE NC 27571-9381	
KING, THOMAS WADE ISHAM, RICHARD MICHAEL	212 MORGAN BROOK WAY	ROLESVILLE NC 27571-9381	
DAURITY, REBECCA P	210 MORGAN BROOK WAY	ROLESVILLE NC 27571-9381	
STEVENS, LEE R STEVENS, DEBORAH L	204 MORGAN BROOK WAY	ROLESVILLE NC 27571-9381	
JOHNSON, RANELL M JOHNSON, SHENIKA M	202 MORGAN BROOK WAY	ROLESVILLE NC 27571-9381	
GRANITE RIDGE COMMUNITY ASSN INC	PPM	11010 RAVEN RIDGE RD	RALEIGH NC 27614-8837
GRANT, JACQUELINE	107 LEIGHANN RIDGE LN	ROLESVILLE NC 27571-9374	
PROGRESS RESIDENTIAL BORROWER 8 LLC	PO BOX 4090	SCOTTSDALE AZ 85261-4090	
FORSBURG, SUSAN A	117 LEIGHANN RIDGE LN	ROLESVILLE NC 27571-9374	
DORAN, PATRICIA L	113 LEIGHANN RIDGE LN	ROLESVILLE NC 27571-9374	
DAUGHTERY, HEATHER J	111 LEIGHANN RIDGE LN	ROLESVILLE NC 27571-9374	
SAGIR, YOSSEF BRAVERMAN, TATYANA	6098 ELMBRIDGE DR	SAN JOSE CA 95129-3009	
ALEXANDER, LEON	105 LEIGHANN RIDGE LN	ROLESVILLE NC 27571-9374	
SULLIVAN, DARRYL A SULLIVAN, KIMBERLY L	103 LEIGHANN RIDGE LN	ROLESVILLE NC 27571-9374	
GRANITE RIDGE COMMUNITY ASSN INC	PPM	11010 RAVEN RIDGE RD	RALEIGH NC 27614-8837
CANINO, CHRISTOPHER CANINO, PATRICIA	110 LEIGHANN RIDGE LN	ROLESVILLE NC 27571-9373	
SWANSON, ERIC	112 LEIGHANN RIDGE LN	ROLESVILLE NC 27571-9373	
SMITH, DONALD E	116 LEIGHANN RIDGE LN	ROLESVILLE NC 27571-9373	
SANTIAGO, JORGE L GONZA FERNANDEZ, MARGARITA	114 LEIGHANN RIDGE LN	ROLESVILLE NC 27571-9373	
GRANITE RIDGE COMMUNITY ASSN INC	PPM	11010 RAVEN RIDGE RD	RALEIGH NC 27614-8837
HEMINGWAY, FELICIA N	102 LEIGHANN RIDGE LN	ROLESVILLE NC 27571-9373	
GARDINER, SUSAN M	108 LEIGHANN RIDGE LN	ROLESVILLE NC 27571-9373	
PROGRESS RESIDENTIAL BORROWER 7, LLC	PO BOX 4090	SCOTTSDALE AZ 85261-4090	
CASSIDY, HEATHER ANN	104 LEIGHANN RIDGE LN	ROLESVILLE NC 27571-9373	
PGP ROLESVILLE RETAIL LLC	PO BOX 17119	CHAPEL HILL NC 27516-7119	
INVESTMENT CHOICES IV, LLC	PO BOX 58067	RALEIGH NC 27658-8067	
MARLOWE, WOODROW	PO BOX 36	CLARKTON NC 28433-0036	
STONE LAND INVESTMENTS LLC	1536 HERITAGE GARDEN ST	WAKE FOREST NC 27587-4359	
LEN PROPERTIES LLC	3614 FORWARD WAY	RALEIGH NC 27614-7627	
RATHER, HENRY L JR RATHER, SUSAN	1536 HERITAGE GARDEN ST	WAKE FOREST NC 27587-4359	

A MASTER TEAM NEIGHBORHOOD MEETING
SIGN-IN SHEET

Name	Address	Phone #	E-Mail
Susan Gardiner	108 Leighann Ridge Lane	336-549-4410	smgteach@yahoo.com
Mike McRay	412 S. Main St. Raleigh NC 27687	(919) 991-3285	coffeeandgerme@gmail.com
Roselind Dixon	1043 Grand Ridge	919-559-1685	rozhowen@gmail.com

COMMENT SHEET

Name

Comment

Susan
Gardiner

Where will all the animals that live in the pine forest go?

Where are people to walk their dogs?

The pine forest is much prettier to look at than townhomes.

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Richardson, Caroline

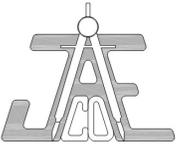
From: Johnny Edwards <johnny@JAECO.COM>
Sent: Tuesday, November 19, 2019 8:40 AM
To: Richardson, Caroline
Subject: [External] FW: Coffee Lodge Townhome Project Comments A-Master Team

Follow Up Flag: Follow up
Flag Status: Completed

CAUTION: External email. Do not click links or open attachments unless you verify. Send all suspicious email as an attachment to report.spam@nc.gov

Caroline
See forwarded e-mail for comments from the owner of the Coffee Lodge

Johnny Edwards, PE, PLS
CEO



JAECO
Consulting Engineers and Land Surveyors
333 Wade Ave, Raleigh NC 27605
ph(919)828-4428, fax(919)828-4711

From: Michael McRoy [mailto:coffeelodgemm@gmail.com]
Sent: Monday, November 18, 2019 11:15 PM
To: Johnny Edwards
Subject: Coffee Lodge Townhome Project Comments

Hello Johnny, Please forward my comments regarding the townhome project at 141 Grand Rock Way, Rolesville, NC 27571 to the members of the Rolesville Planning Board.

My name is Mike McRoy, and I am the owner/operator of the Coffee Lodge located at 412 S. Main St. Rolesville, NC 27571. I would like to voice my OPPOSITION to the construction of a subdivision connector street linking Grand Rock Way to US 401 via the street located beside the Coffee Lodge and Autozone. While I am in support of the townhome project for residential housing behind the Coffee Lodge I feel any connector street linking US 401 to Grand Rock Way or behind Autozone / CVS will greatly affect the success of the Coffee Lodge and the safety of the community for several reasons.

1. The location of the Coffee Lodge was carefully selected 11 years ago according to several standards necessary for the success of a coffee shop. Most importantly in this selection process is a location where traffic does not restrict access to and from the business during the morning commute or onto the thoroughfare street towards town. Coffee shops must also be located on the right side of a thoroughfare street heading towards an urban area. Quick egress out of the Coffee Lodge parking lot is important for the next customer to move forward and receive their coffee in order to quickly continue on their morning commuter route. The property behind the Coffee Lodge was zoned CO when we selected our location. Business plans at that time were to develop this parcel into a retail commercial development where peak hours of operation (9am -5pm) and low traffic volume would have a limited effect on the morning coffee shop rush between 6 am - 10 am. 70% of most coffee shop revenue is earned before 10 am. Rezoning this tract of land to residential may fulfill

affordable housing needs for the town, however a connector street which greatly increases traffic beside the Coffee Lodge will cause significant harm to our business possibly leading to its closure.

2. NCDOT Highway requirements for subdivision connector streets onto any thoroughfare street require 34' Face to Face (FF) Curb Width. US 401 is a thoroughfare. This is important because it allows for an incoming lane and both a left turn lane and right turn lane out onto the thoroughfare street for safety and accessibility. This is required for all newly constructed streets in NC. The street beside the Coffee Lodge has a 28' FF Curb Width. Not enough room for the necessary lanes needed for quick access onto the US 401 thoroughfare.

3. "No Cut Thru" signs have already been necessary at the entrances of CVS and the Coffee Lodge due to the large number of commuters who try to avoid the stop light at Rogers Rd. and US 401. The signs were installed after the Rolesville Police Dept. spent months warning and ticketing commuters. While these signs may have some effect for the law abiding citizen there are many commuters who ignore all vehicle and traffic laws when running late and in a hurry. I witness cut thru traffic on a daily basis beside the Coffee Lodge. Constructing a road that links the Coffee Lodge with CVS will produce a major cut thru for commuters wishing to avoid the traffic light at Rogers Rd. and US 401. The curve in this backstreet cut thru will also produce dangerous vehicle visibility concerns for children / pedestrians / bicyclists / residents of the newly constructed townhomes and customers of the Coffee Lodge, AutoZone, CVS, and the Rolesville Creek daycare. Traffic turning right onto US 401 from Rogers Rd. will begin to cut thru the Rolesville Creek daycare parking lot when the right turn lane backs up past the CVS entrance in order to zoom behind CVS and Autozone and beside the Coffee Lodge. Imagine the number of commuters who will use this cut thru once they learn it is open.

4. The Site Plan for CVS currently has One Way Only direction behind the CVS leading towards the drive thru pharmacy window. Construction of this road will create an open flow of traffic using the cut thru in both directions to avoid the stop light at Rogers Rd. and US 401, thus creating driving hazards for CVS customers and Rolesville Creek parents.

5. The Coffee Lodge parking lot will be restricted for customers trying to leave the parking lot should more than 3 cars back up at the stop sign waiting to access onto US 401. A single car turning left could create an enormous back up since there is not enough room for both left and right turn lanes. This is where the lack of a 34' FF Curb Width is most important. Remember the road beside the Coffee Lodge has a 28' FF Curb Width.

6. The connector street through the townhomes to US 401 will also most likely become a major cut thru street for the several hundred townhomes and condos already built and occupied off Grand Rock Way. Why would a commuter drive to Rogers Rd. (turn rt.), navigate the stop light at Rogers Rd. and US 401 (turn rt.), and then proceed down US 401? That is three sides of a square. Turning onto this new street and popping out beside the Coffee Lodge to access US 401 is only one side of the square and will be a tremendous short cut. This will also compromise the safety and peace of the residents and children who live along this new street from the first day they move into their homes.

7. Grand Rock Way is designed to handle the traffic volume coming from the townhomes and condos built along this road. These townhomes / condos also connect to the newly constructed Granite Falls Blvd. designed to handle even heavier traffic volumes. Why do 47 townhomes at 141 Grand Rock Way need a back entrance / exit onto US 401? A street that will jeopardize the safety of children / pedestrians / bicyclists / townspeople / consumers / etc.

8. A CUL-DE-SAC built at the end of the new street into the townhomes rather than a connection of these three streets is the ANSWER. A cul-de-sac would provide a safer space for children in the townhomes to ride bikes and play. A cul-de-sac would provide more green space around the end of the street. A cul-de-sac would

eliminate the street connection and all of the problems I listed above. A cul-de-sac makes perfect sense. CONNECTIVITY does not.

9. A CUT THRU COMMUTER designed street should not be more important than the success of your local businesses or the safety of your residents!

Sincerely, Mike McRoy



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

www.jaeco.com

Seals

Project

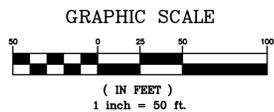
A-MASTER TEAM
TOWNHOMES SUP
ROLESVILLE, NC

Client

A-MASTER TEAM, LLC
RALEIGH, NC

Approvals

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ROLESVILLE AND / OR NCDOT STANDARDS AND SPECIFICATIONS.



Drawing Title

PRELIMINARY SITE PLAN

Revisions		
Number	Description	Date
1	PER TOWN OF ROLESVILLE COMMENTS	6/18/19
2	PER TOWN OF ROLESVILLE COMMENTS	7/30/19

Drawing Scale 1" = 50'
Drawn By RT
Checked By JAE, JR.
Date Issued 11/29/19

C-3

- LEGEND**
- | | | | |
|-------|------------------------------------|-------|-----------------|
| BM | BOOK OF MAPS | MH | MANHOLE |
| DB | DEED BOOK | WL | WATER LINE |
| PG | PAGE | WM | WATER METER |
| R/W | RIGHT-OF-WAY | WV | WATER VALVE |
| AC | ACREAGE | WS | WATER SERVICE |
| S.F. | SQUARE FEET | FL | FIRE HYDRANT |
| EIP | EXISTING IRON PIPE | FL | FIRE LINE |
| IPS | IRON PIPE SET | BO | BLOWOFF |
| NIF | NOW OR FORMERLY | HC | HANDICAP |
| ELEV. | ELEVATION | TC | TOP OF CURB |
| EX. | EXISTING | TW | TOP OF WALL |
| EQP | EDGE OF PAVEMENT | BW | BOTTOM OF WALL |
| CB | CATCH BASIN | HB | HANDICAP BOTTOM |
| DI | DROP INLET | HT | HANDICAP TOP |
| D.I. | DUCTILE IRON | MIN | MINIMUM |
| CMP | CORRUGATED METAL PIPE | TYP | TYPICAL |
| JB | JUNCTION BOX | INV | INVERT |
| HW | HEADWALL | SW | SIDEWALK |
| SS | SANITARY SEWER | SP | SPACES |
| FES | FLARED END SECTION | C.O. | CLEANOUT |
| FFE | FINISHED FLOOR ELEVATION | YI | YARD INLET |
| PVC | POLYVINYL CHLORIDE PIPE | ESMT | EASEMENT |
| FDC | FIRE DEPARTMENT CONNECTION | CONC. | CONCRETE |
| RCP | REINFORCED CONCRETE PIPE | C&G | CURB AND GUTTER |
| RPZ | REDUCED PRESSURE ZONE | | |
| DCVA | DOUBLE CHECK VALVE ASSEMBLY | | |
| RPDA | REDUCED PRESSURE DETECTOR ASSEMBLY | | |
-
- | | | | |
|--|------------------------------|--|------------------------------|
| | CONCRETE | | EX. POWER POLE |
| | EX. WATER VALVE | | NEW WATER VALVE |
| | EX. FIRE HYDRANT | | NEW WATER REDUCER |
| | EX. WATER METER | | NEW FIRE HYDRANT |
| | EX. SANITARY SEWER MANHOLE | | NEW WATER METER |
| | EX. SANITARY SEWER CLEANOUT | | NEW SANITARY SEWER MANHOLE |
| | EX. STORM CATCH BASIN | | NEW SANITARY SEWER CLEANOUT |
| | EX. STORM DROP INLET | | NEW STORM CATCH BASIN |
| | EX. STORM FLARED END SECTION | | NEW STORM DROP INLET |
| | EX. LIGHT POLE | | NEW STORM FLARED END SECTION |
-
- | | |
|--|---------------------------|
| | PROPERTY LINE |
| | RIGHT-OF-WAY LINE |
| | LOT LINE |
| | EASEMENT LINE |
| | EXISTING WATER LINE |
| | EXISTING SANITARY SEWER |
| | EXISTING STORM DRAINAGE |
| | NEW WATER LINE |
| | NEW SANITARY SEWER |
| | NEW STORM DRAINAGE |
| | EXISTING CONTOUR LINE 270 |
| | NEW CONTOUR LINE 270 |



PARKING SUMMARY:

PARKING REQUIRED
TOWNHOMES (ALL 2 BR) 94 (2 PER 2BR DU)
VISITOR 12 (1 PER 4 DU'S)
MAIL KIOSK 4 SPACES (1 HC VAN)
TOTAL REQUIRED 110 SPACES

PARKING PROVIDED 111 SPACES

- TOT LOT AREA**
- SWINGS
 - OPEN PLAY AREA
 - PICNIC TABLE
 - BENCHES
 - METAL FENCE
 - SAND OR RUBBER MULCH PLAY SURFACE
- A PLAY STRUCTURE WHICH MAY INCLUDE:
- SLIDES
 - CLIMBING WALL
 - BRIDGE

X:\Projects\A-Master Team (202109) Townhomes1 - Preliminary\0502-09 No Construction Coffee Lodge Exhibit.dwg, 10/20/20 12:50 PM



Memorandum

TO: Mayor and Town Board of Commissioners
FROM: Danny Johnson, AICP, Planning Director
DATE: May 27, 2020
RE: Agenda Item C. 2.

Public hearing (quasi-judicial) on Case: SP 19-04, Rolesville Crossfit site plan review for a one-story commercial building on a total of 1.78 acres, located at 850 Granite Falls Blvd and zoned Commercial Outlying Special Use District (CO-SUD).

Background

A request for a site plan approval (quasi-judicial) for 7,394 square foot, one-story commercial building, located at 850 Granite Falls Blvd for a total site of 1.78 acres zoned Commercial Outlying Special Use District (CO-SUD). The site plan shows proposed building intend for a fitness center facility with the required parking spaces, driveways, sidewalks, water and sewer services, lighting, landscaping, and exterior building views for development of the site.

2017 Rolesville Comprehensive Plan

The Future Land Use Map, adopted with the 2017 Comprehensive Plan, classifies these parcels for commercial use.

Traffic Impact Analysis (TIA)

The professional project engineer prepared an analysis for the Traffic Impact Analysis for the proposed fitness center site. The report results were the proposed development will generate less than the required standard for peak-hour morning or afternoon of fewer than 100 vehicles per hour and less than the daily trip generation of 1,000 vehicles that would require a Traffic Impact Analysis under Section 9.11 of the UDO. Therefore, no traffic impact analysis is required for this proposed development.

Neighborhood Meeting

A neighborhood meeting was held on February 27, 2020 at 7:00 pm at the current crossfit facility at 6440 Rogers Rd. Three persons attended and a summary report of the meeting is included in the attachments.

Technical Review Committee and Planning Staff Recommendations

Town of Rolesville

PO Box 250 / Rolesville, North Carolina 27571 / RolesvilleNC.gov / 919.556.3506

The Technical Review Committee has reviewed the proposed Site Plan and recommends approval as presented. The Planning Staff recommendation is to approve the Rolesville Crossfit Site Plan as shown subject to the evidence and testimony presented at the public hearing.

Suggested Town Board motion

I move to approve public hearing Case SP 19-04, Rolesville Crossfit Site Plan with the evidence and testimony received at the hearing to determine the findings of fact.

Attachments

SP 19-04 Location-Zoning Map

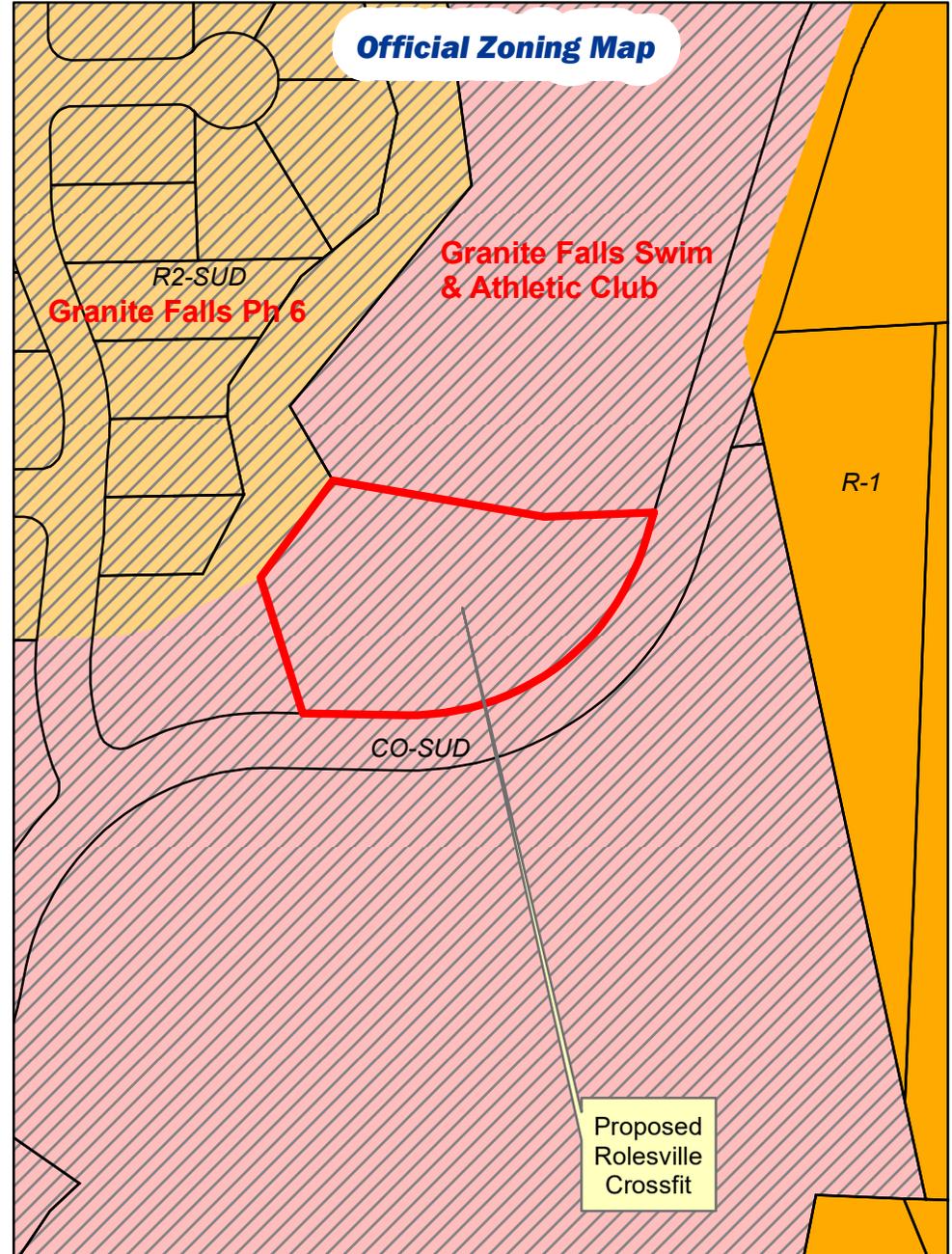
SP 19-04 Site Plan Application

SP 19-04 Proposed Site Plan

SP 19-04 Rolesville Crossfit Generation Letter

SP 19-04 Rolesville Crossfit Neighborhood Meeting Summary

SP 19-04 Rolesville Crossfit Site Plan Request



 Site Plan location



1 in = 200 ft



Case No. SP19-04

Date 8/30/19

Application

Contact Information

Property Owner McArn Realty, LLC

Address 403 N Cheatham St City/State/Zip Franklinton, NC 27525

Phone 919.632.5374 Email mcarn@brassfieldcommercial.com

Developer Same

Contact Name _____

Address _____ City/State/Zip _____

Phone _____ Email _____

Property Information

Address 850 Granite Falls Blvd

Wake County PIN(s) 1759-82-2247

Current Zoning District CO-SUD Requested Zoning District Same

Total Acreage 1.77 Requested Special Use Crossfit gym

Owner Signature

I hereby certify that the information contained herein is true and completed. I understand that if any item is found to be otherwise after evidentiary hearing before the Town Board of Commissioners, that the action of the Board may be invalidated.

Signature Mark McArn Date 8/30/19

STATE OF NORTH CAROLINA

COUNTY OF Franklin

I, a Notary Public, do hereby certify that Mark McArn

personally appeared before me this day and acknowledged the due execution of the foregoing instrument. This the 30th day of August 2019.

My commission expires 04-09-2020.

Signature Julia Thomps Seal



Town of Rolesville Planning

PO Box 250 / Rolesville, North Carolina 27571 / RolesvilleNC.gov / 919.554.6517



Application

Applicant Statement

Provide justification for each statement. If necessary, attach a separate sheet.

1. The proposed development and/or use will not materially endanger public health or safety.

~~The proposed development is a low generator retail use. The site will be designed and constructed according to applicable local, state, and federal requirements. Thus, the proposed use will not materially endanger public health or safety.~~

2. The proposed development and/or use will not substantially injure the value of adjoining property.

~~Development of the property is anticipated to increase the value of the property and thus, is not anticipated to substantially injure the value of adjoining property.~~

3. The proposed development and/or use will be in harmony with the scale, bulk, coverage, density, and character of the surrounding area.

~~Within the CO District, the principal use of land is for those service and retail purposes that are properly located near residential areas and which cater to the everyday needs of residential neighborhoods. As a health club, the proposed crossfit gym will provide an alternative fitness option for the neighborhood as a complimentary use to the neighboring Granite Falls Swim and Athletic Club. The development will occupy only approximately 27% built upon area of the site while preserving existing stream buffer and other natural features. Thus, the development will be in harmony with the scale, bulk, coverage, density, and character of the neighborhood in which it is located.~~

4. The proposed development and/or use will generally conform to Rolesville's Comprehensive Plan and other adopted plans.

~~A rezoning is not requested, thus the proposed development will generally conform with the Comprehensive plan and other official plans adopted by the Town.~~

5. The proposed development and /or use is appropriately located with respect to transportation facilities, water and sewer supply, fire and police protection, and similar facilities.

~~The proposed development and/or use is appropriately located with respect to transportation facilities being on Granite Falls Blvd. Public water and sewer supply are located along Granite Falls Blvd. The site is located one (1) mile from the Rolesville Fire Department, EMS, and Police Department.~~

6. The proposed development will not cause undue traffic congestion or create a traffic hazard.

~~Traffic generated by the site is anticipated to be less than 100 AM or PM peak hour trips and less than 1,000 trips per day. Thus, the proposed development will not cause undue traffic congestion or create a traffic hazard~~

7. The proposed development and/or use comply with all applicable requirements of the Unified Development Ordinance.

~~The proposed development and use comply with all applicable requirements of this ordinance.~~

OWNER: GRANITE FALLS SWM & ATHLETIC CLUB LLC
 F/W: 1789-72-051
 ZONING: R2-SU2
 USE: SWM & ATHLETIC CLUB

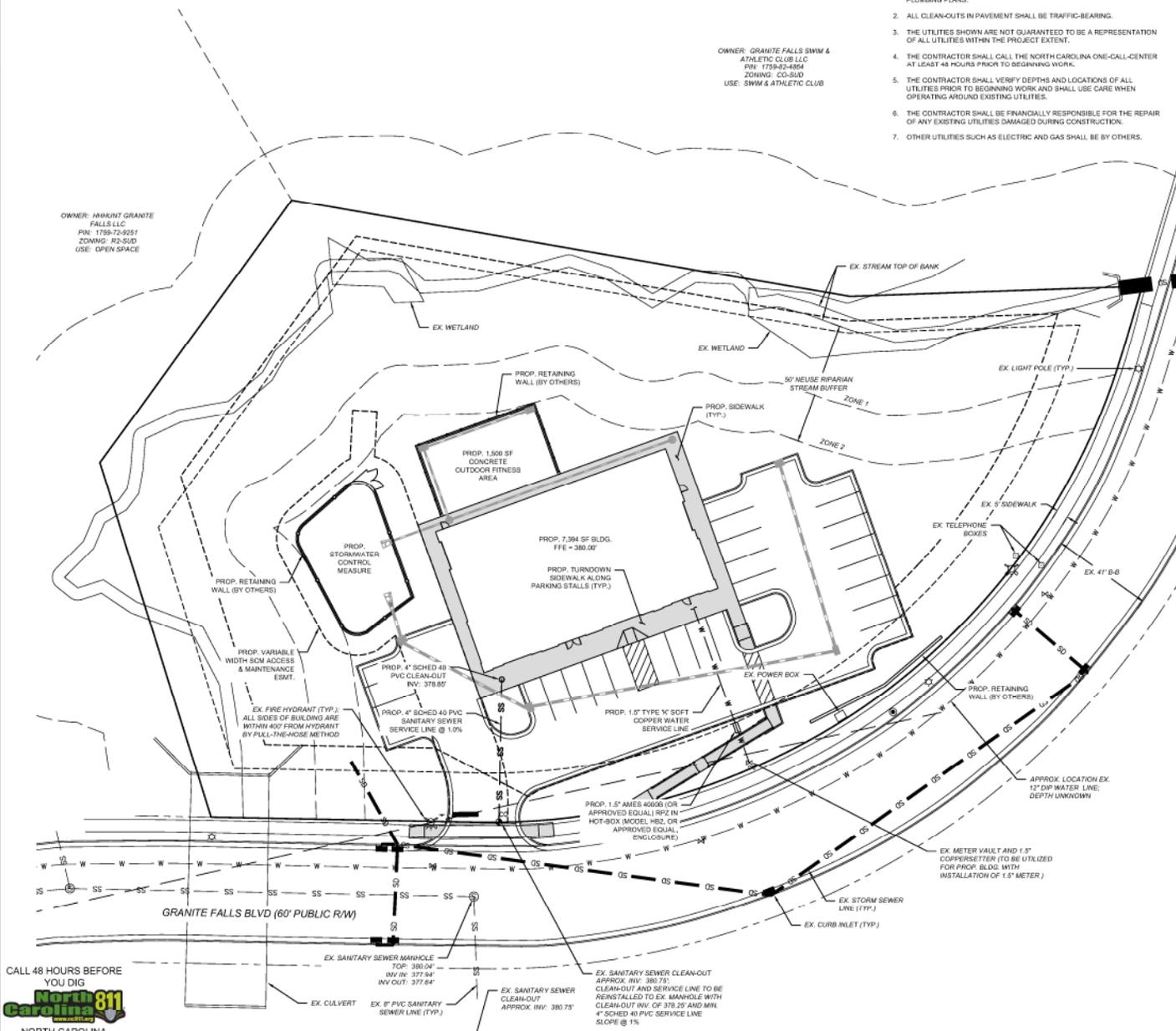
OWNER: HINKLEY GRANITE FALLS LLC
 F/W: 1789-72-051
 ZONING: R2-SU2
 USE: OPEN SPACE

UTILITY NOTES

1. WATER AND SANITARY SEWER SERVICES TO BE COORDINATED WITH THE PLUMBING PLANS.
2. ALL CLEAN-OUTS IN PAVEMENT SHALL BE TRAFFIC-BEARING.
3. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
4. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
5. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
6. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
7. OTHER UTILITIES SUCH AS ELECTRIC AND GAS SHALL BE BY OTHERS.

CITY OF RALEIGH UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
 - a. A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IN THE WATER MAIN OR A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DP MATERIALS OR STEEL ENCASUREMENT EXTENDED TO ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d. 5.0 MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DP MATERIALS & A CONCRETE CRADLE HAVING 5" MIN. CLEARANCE (PER CORPUD DETAILS W-1 & S-9).
 - f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
7. INSTALL COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEAN-OUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAWS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWR, USACE & OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND & OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANNE HARTLEY AT (919) 996-5923 OR joanne.hartley@raleighnc.gov FOR MORE INFORMATION.



LEGEND

- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT OWNERS
- EX. CHANNEL/STREAM
- EX. STREAM BUFFER
- W — EX. WATER LINE
- SS — SS — EX. SANITARY SEWER
- SD — SD — EX. STORM SEWER
- PROP. SETBACK LINE
- PROP. EASEMENT/BUFFER
- PROP. CHAIN LINK FENCE
- PROP. ADA HANDRAIL/GUARDRAIL
- PROP. WATER LINE
- SS — SS — PROP. SANITARY SEWER
- PROP. STORM SEWER

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS



POST OFFICE BOX 91727
 RALEIGH, NORTH CAROLINA 27675
 PHONE: 919.910.1951
 FIRM NO. LICENSE NUMBER C-4222

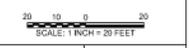


REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR REVIEW
 DO NOT USE FOR CONSTRUCTION



SITE PLANS
 ROLESVILLE CROSSFIT
 850 GRANITE FALLS BLVD
 ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-28-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

UTILITY PLAN

C-5
 SHEET 5 OF 19

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 1-800-632-4949

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1	TOWN OF ROLESVILLE COMMENTS	1/23/2019	FLM

ORIGINAL PLAN SIZE: 24" X 36"

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SCALE ADJUSTMENT
THIS SCALE IS 1"=10' IN LENGTH ON ORIGINAL DRAWING
IF IT IS NOT 1"=10' ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY.

SITE PLANS

ROLESVILLE CROSSFIT
850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

MCARN REALTY LLC

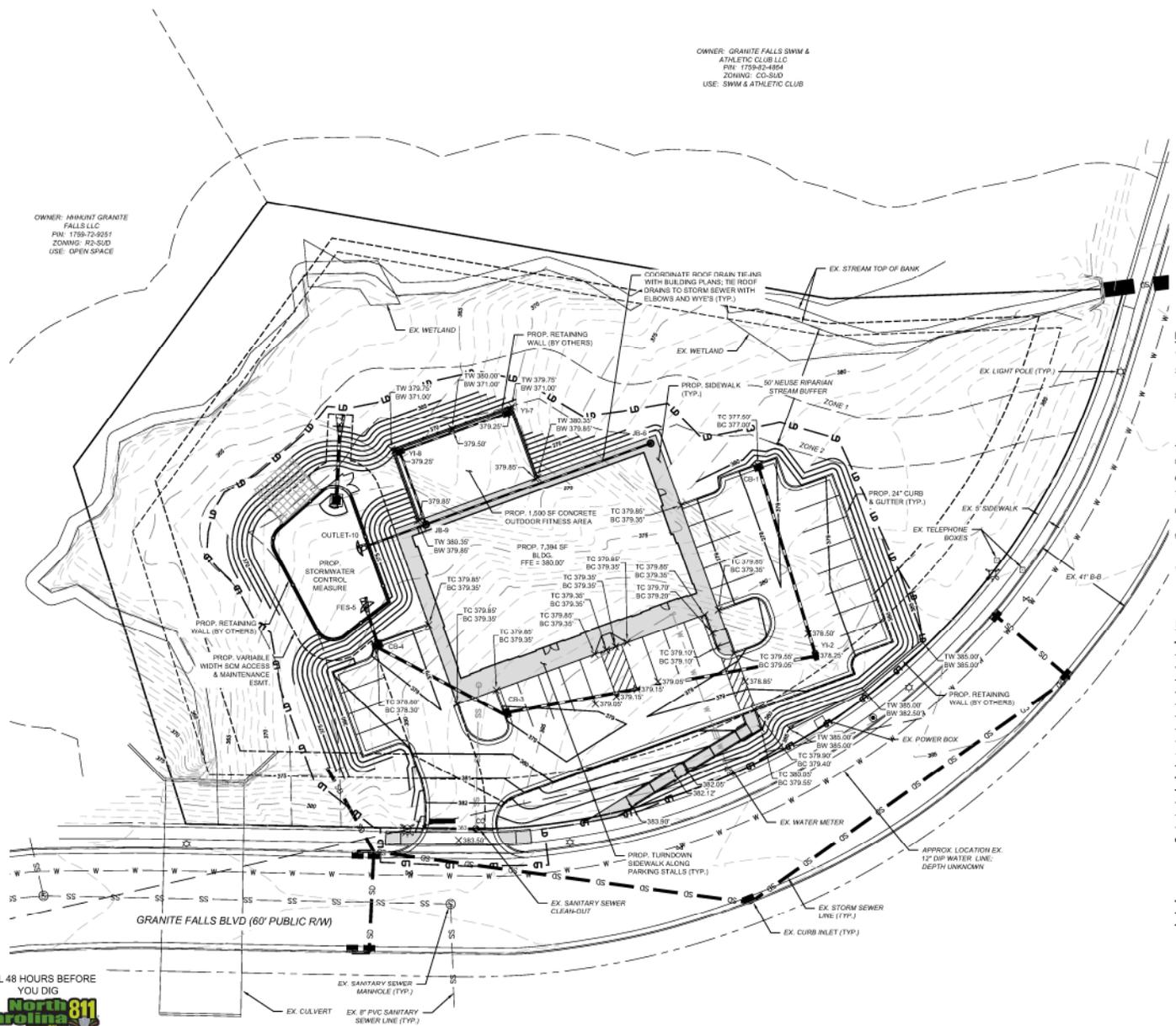
DATE:	10-25-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

GRADING & STORM DRAINAGE PLAN

C-6
SHEET 6 OF 18

OWNER: GRANITE FALLS SWM & ATHLETIC CLUB LLC
FHW: 1709-2-484
ZONING: CO-SUD
USE: SWM & ATHLETIC CLUB

OWNER: HINKLEY GRANITE FALLS LLC
FHW: 1709-72-051
ZONING: RD-SUD
USE: OPEN SPACE



NOTES

- PROPOSED CONTOURS REPRESENT FINISH GRADES.
- PROPOSED ADA STALL AND ABLE SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%) IN ALL DIRECTIONS.
- PROPOSED ACCESSIBLE ROUTES SHALL HAVE RUNNING SLOPES NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%). PROPOSED ACCESSIBLE RAMP SECTIONS SHALL HAVE RUNNING SLOPES NO STEEPER THAN 1:12 (8.33%) AND CROSS SLOPES TO STEEPER THAN 1:48 (2%) WITH LANDINGS EVERY 2.0' OF ELEVATION CHANGE.
- SLOPES ARE 2H:1V UNLESS OTHERWISE NOTED.
- RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS.
- SEE SHEET C-2 FOR PIPE TABLE.
- ALL HOPE SHALL BE DOUBLE WALL.
- ALL HOPE PIPE AND ROOF DRAIN CONNECTIONS SHALL MEET NC PLUMBING CODE CHAPTER 11 STORM DRAINAGE, LATEST EDITION.
- JUNCTION BOXES JB-4 AND JB-9 SHALL BE ADS NYLOPLAST 24" DRAM BASINS, OR APPROVED EQUAL, WITH SOLID COVER AND CONCRETE POURED IN BOTTOM TO ELIMINATE SLUMP.
- YARD INLETS Y1-7 AND Y18 SHALL BE ADS NYLOPLAST 31" DRAM BASINS, OR APPROVED EQUAL, WITH 24" DROP-IN GRATE AND CONCRETE POURED IN BOTTOM TO ELIMINATE SLUMP.

LEGEND

- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT OWNERS
- EX. CHANNEL/STREAM
- EX. STREAM BUFFER
- W — W — EX. WATER LINE
- SS — SS — EX. SANITARY SEWER
- SD — SD — EX. STORM SEWER
- -325 — EX. MAJOR CONTOUR (5')
- -325 — EX. MINOR CONTOUR (1')
- PROP. SETBACK LINE
- PROP. EASEMENT/BUFFER
- PROP. CHAINLINK FENCE
- PROP. ADA HANDRAIL/GUARDRAIL
- W — W — PROP. WATER LINE
- SS — SS — PROP. SANITARY SEWER
- PROP. STORM SEWER
- PROP. CURB INLET (CB)
- PROP. YARD INLET
- PROP. FLARED END SECTION
- PROP. JUNCTION BOX
- PROP. LIMIT OF DISTURBANCE
- PROP. MAJOR CONTOUR (5')
- PROP. MINOR CONTOUR (1')
- X TC — TOP OF CURB ELEVATION
- X BC — BOTTOM OF CURB ELEVATION
- X TW — TOP OF WALL ELEVATION
- X BW — BOTTOM OF WALL ELEVATION
- X ELEV — SPOT ELEVATION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

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NOTES

1. THE WETLAND MUST BE STABILIZED WITH IN 14 DAYS OF CONSTRUCTION. VEGETATION SHALL BE RE-INSTALLED AS SOON AS POSSIBLE. PLANTS CAN BE PLANTED AND THE WETLAND BROUGHT ONLINE WITHIN 14 DAYS. PLANTS MAY NEED TO BE WATERED DURING THIS TIME IF THE WEATHER IS NOT SUITABLE. ON THE SAME DAY STABILIZATION MAY BE IN THE FORM OF FINAL VEGETATION PLANTINGS OR A TEMPORARY MEANS. THE VEGETATION BECOMES ESTABLISHED IF USING A TEMPORARY MEANS, CONTRACTOR SHALL PROVIDE A NET HYDROSEED MIX. CONTRACTOR SHALL SCARIFY THE SOIL TO A HALF-INCH DEPTH TO HYDROSEEDING.
2. INLET AND OUTLET CHANNELS SHALL BE PROTECTED FROM SCOUR THAT MAY OCCUR DURING PERIODS OF HIGH FLOW. STANDARD EROSION CONTROL MEASURES SHOULD BE USED.
3. THE STORMWATER WETLAND SHOULD BE STAKED AT THE ONSET OF THE PLANTING SEASON. WATER DEPTHS IN THE WETLAND SHOULD BE MEASURED TO CORRELATE THE ORIGINAL PLANTING ZONES. AT THIS TIME, IT MAY BE NECESSARY TO MODIFY THE PLANTING PLAN TO REFLECT ALTERED DEPTHS OR THE AVAILABILITY OF WETLAND PLANT STOCK. CONTRACTOR SHALL COORDINATE PLANTING ZONES AND WATER DEPTHS WITH THE ENGINEER. SURVEYED PLANTING ZONES SHOULD BE MARKED ON A 1/4" X 1/4" RECORD DESIGN PLAN AND LOCATED IN THE FIELD USING STAKES OR FLAGS.
4. THE WETLAND DRAIN SHOULD BE FULLY OPENED FOR NO MORE THAN 3 DAYS PRIOR TO THE PLANTING DATE, WHICH SHOULD COINCIDE WITH THE DELIVERY DATE FOR THE WETLAND PLANT STOCK TO PRESERVE SOIL MOISTURE AND WORKABILITY.
5. NURSERY STOCK SHALL BE TRANSPORTED FROM LOCAL AQUATIC PLANT NURSERIES. THE OPTIMAL PERIOD FOR TRANSPORTING EXTENDS FROM EARLY APRIL TO MID-JUNE SO THAT THE WETLAND PLANTS WILL HAVE A FULL GROWING SEASON TO BUILD THE ROOT RESERVE NEEDED TO SURVIVE THE WINTER. HOWEVER, SOME SPECIES MAY BE PLANTED SUCCESSFULLY IN LATE FALL. CONTRACTOR SHALL CONTACT NURSERY WELL IN ADVANCE OF CONSTRUCTION TO ENSURE THAT THEY WILL HAVE THE DESIRED SPECIES AVAILABLE.
6. POST-NURSERY CARE OF WETLAND PLANTS IS VERY IMPORTANT IN THE INITIAL PERIOD DELIVERY OF THE PLANTS AND THEIR SUBSEQUENT INSTALLATION BECAUSE THEY ARE PRONE TO DESICCATION. STOCK SHOULD BE FREQUENTLY WATERED AND SHADED.
7. SLOTTED OUTLET STRUCTURE SHALL BE USED. IF SLOTTED IS WITHIN 6" OF PIPE ELEVATION, A CLAY LINER WILL NOT BE REQUIRED. OTHERWISE, INSTALLATION OF A 4" CLAY LINER WILL BE REQUIRED. CLAY LINER SHALL HAVE A MINIMUM 10% PERCENTAGE PASSING THE #20 SIEVE AND A MAX PERMEABILITY OF 1 X 10⁻¹⁰ CM/SEC. ACCEPTABLE ALTERNATIVES INCLUDE A 30-MIL POLYURETHANE OR BENTONITE LINER.
8. GRADES SHOWN REPRESENT FINISH GRADE ELEVATIONS. TO ACHIEVE FINISH GRADE ELEVATION, INSTALL 4" OF TOPSOIL, SOIL COMPACT AND OTHER ATTRIBUTES OF THE FIRST CONSTRUCTION. THE SOIL SHALL BE ANALYZED BY A SOIL SCIENTIST AND/OR LANDSCAPE ARCHITECT DURING CONSTRUCTION. AMENDMENTS SHALL BE MADE AS NECESSARY.
9. PROVIDE PLANTS PER TABLE ON THIS SHEET. GRASS STRUCTURE AND PERMITS FULL SLOPES SHALL BE PLANTED WITH NON-CLIMBING, TERN GRASS, TREES AND WOODY SHRUBS NOT ALLOWED.
10. CATTAILS SHALL NOT BE PLANTED IN WETLAND.

OUTLET STRUCTURE NOTES & SPECIFICATIONS

1. 18" RCP OUTLET SHALL BE CLASS B RCP MEETING REQUIREMENTS OF ASTM C754. THE PIPE JOINTS SHALL BE MORTAR OR FLEXIBLE PLASTIC TYPE JOINT.
2. THE MANHOLE OUTLET RISER SHALL BE 4" OF 304 STAINLESS STEEL. THE MANHOLE JOINTS SHALL BE 4" OF 304 STAINLESS STEEL. JOINTS SHALL BE SECURELY ANCHORED TO PREVENT SEPARATION. CONTRACTOR IS RESPONSIBLE FOR DESIGN OF THE MANHOLE SECTION AND JOINTING SYSTEM.
3. WATERPROOF SEAL SHALL BE PROVIDED AT RISER/BARRIER INTERFACE. PERFORATED MATERIAL, SUCH AS SAND, GRAVEL, OR CRUSHED STONE SHALL NOT BE USED AS BACKFILL AROUND THE PIPE OR ANTI-SLEEP COLLAR. FILL MATERIAL AROUND THE PERFORATED STRUCTURE SHALL BE PLACED IN 4" LAYERS AND COMPACTED TO THE SAME DENSITY AS THE ADJACENT EMBANKMENT.
4. OUTLET STRUCTURE SHALL BE PROVIDED WITH STEPS 1'-2" ON CENTER. STEPS SHALL BE IN ACCORDANCE WITH NCDOT STD. 840.96.
5. CONCRETE ANTI-FLOATATION BLOCK SHALL BE PRECAST DURING FABRICATION IF THE CONCRETE ANTI-FLOATATION BLOCKS CANNOT SEPARATE FROM THE MANHOLE ASSEMBLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANCHORING THE ANTI-FLOATATION BLOCK TO THE MANHOLE RISER ASSEMBLY.
6. ALL PORTLAND CONCRETE SHALL BE A MINIMUM 3000 PSI (OR DAY UNLESS OTHERWISE NOTED).
7. NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED AROUND EACH JOINT OF THE 18" RCP BARRIER. 1/2" OF 100% STRENGTH CENTERLINE FABRIC SHALL BE AROUND STYLE 4855 POLYPROPYLENE NON-WOVEN NEEDLE PUNCHED OR APPROVED EQUAL, (NON-WOVEN FABRIC).

BERM SPECIFICATIONS

1. ALL FILL SOILS FOR BERM SECTION SHALL BE CLEAN, UNPOLLUTED MATERIAL AND COMPACTED TO AT LEAST 98% STANDARD PROCTOR MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT. NO BLENDED MATERIALS SHALL BE USED IN THE EMBANKMENT CONSTRUCTION. SOILS SHALL NOT EXCEED SIGNIFICANT SHrinkswell OR DISPERsIVE CHARACTERISTICS. THE ON-SITE GEOTECHNICAL ENGINEER SHALL APPROVE THE SOILS FOR PLACEMENT WITHIN THE BERM SECTION. THE GEOTECHNICAL ENGINEER SHALL ALSO SPECIFY THE METHOD TO BE USED FOR PLACEMENT OF FILL.
2. IN ALL FILL AREAS OF THE BERM, A SOILS COMPACTION TEST SHALL BE CONDUCTED EACH 1000 SQ. FT. OF FILL.
3. A KEY TRENCH IS TO BE PROVIDED IN ALL FILL AREAS. TRENCH TO EXTEND A MINIMUM OF FIVE FEET BELOW EXISTING GRADE. SOILS AND COMPACTION FOR KEY TRENCH SHALL MEET ALL REQUIREMENTS OF 6B ABOVE.
4. FILL PLACEMENT SHALL NOT EXCEED A MAXIMUM OF 6" LIFTS. EACH LIFT SHALL BE COMPACTED FOR THE ENTIRE EXTENT OF EMBANKMENT. REUSE PLACEMENT OF FILL FOR THE BERM SECTION. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND THE SURFACE PROPERLY PREPARED FOR FILL PLACEMENT.
5. NO TREES OF ANY TYPE MAY BE LOCATED ON THE BERM SECTION.
6. SIDE SLOPES SHALL BE LINED WITH NAG 475, OR APPROVED EQUAL.
7. INSTALL ANTI-SLEEP COLLAR AT MIDPOINT OF OUTLET PIPE. CONCRETE SHALL BE 3000 PSI (OR DAY) AND REINFORCED WITH 6" U.S. 4 BAR. EACH INCH MINIMUM BEARING CAPACITY BENEATH COLLAR SHALL BE 2000 PSF.

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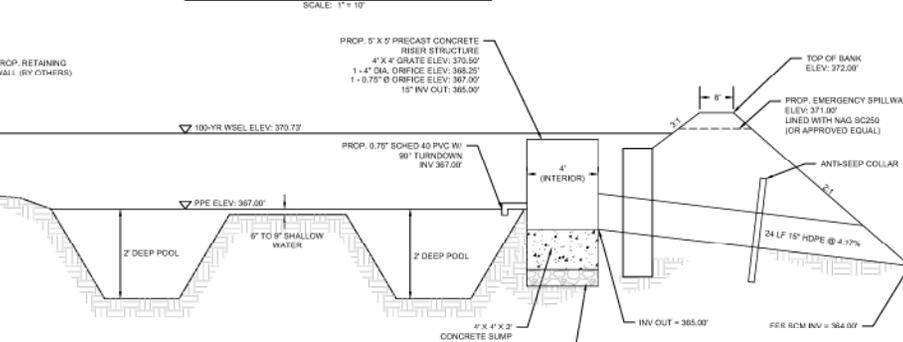
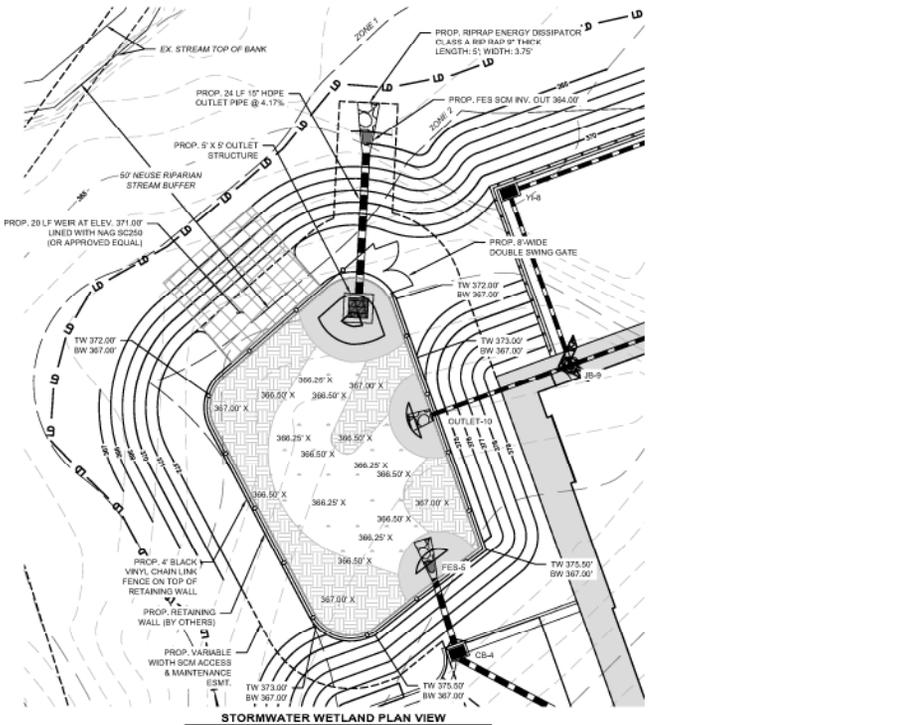
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- EX. MAJOR CONTOUR (5')
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- PROP. EMBANKMENT/BUFFER
- PROP. STORM SEWER
- PROP. CURB INLET (CB)
- PROP. YARD INLET
- PROP. FLARED END SECTION
- PROP. JUNCTION BOX
- PROP. LIMIT OF DISTURBANCE
- PROP. MAJOR CONTOUR (5')
- PROP. MINOR CONTOUR (1')

- SHALLOW LAND AREA
- SHALLOW WATER AREA
- DEEP POOL AREA

STORMWATER WETLAND MAINTENANCE NOTES

1. THE LANDSCAPE PROFESSIONAL MANAGING THE WETLAND MUST UNDERSTAND THE BIOLOGICAL REQUIREMENTS OF THE PLANTS AND MANAGE WATER LEVELS APPROPRIATELY TO PROVIDE FOR THEIR NEEDS.
2. ALTHOUGH WETLAND PLANTS REQUIRE WATER FOR GROWTH AND REPRODUCTION, THEY CAN BE KILLED BY DROWNING IN EXCESSIVELY DEEP WATER. USUALLY, INITIAL GROWTH IS BEST WITH TRANSPARENT OR ANTE IN WET, WELL-LIGHTED SOIL. OCCASIONAL INUNDATION FOLLOWED BY EXPOSURE TO AIR OF THE MAJORITY OF THE VEGETATION ENABLES THE PLANTS TO OBTAIN OXYGEN AND GROW OPTIMALLY. CONVERSELY, FREQUENT SOIL SATURATION IS IMPORTANT FOR WETLAND PLANT SURVIVAL.
3. DRAMATIC SHIFTS CAN OCCUR AS PLANT SUCCESSION PROCEEDS. THE PLANT COMMUNITY REFLECTS MANAGEMENT AND CAN INDICATE PROBLEMS OR THE RESULTS OF IMPROVEMENTS. FOR EXAMPLE, A REQUIREMENT OF SUBMERGED AQUATIC PLANTS, SUCH AS PONDWEED (POTAMOGETON SP.), IS LIGHT PENETRATION INTO THE WATER COLUMN. THE DISAPPEARANCE OF THESE PLANTS MAY INDICATE INADEQUATE WATER CLARITY. THE APPEARANCE OF INVASIVE SPECIES OR DEVELOPMENT OF A MONOCULTURE IS ALSO A SIGN OF A PROBLEM WITH THE AQUATIC SOIL/VEGETATIVE REQUIREMENTS. FOR INSTANCE, MANY INVASIVE SPECIES CAN QUICKLY SPREAD AND TAKE OVER A WETLAND. IF CATTAILS BECOME INVASIVE, THEY CAN BE REMOVED BY A LICENSED AQUATIC PESTICIDE APPLICATOR BY SPRAYING AQUATIC GLYPHOSATE, A SYSTEMIC HERBICIDE, ON THE CATTAILS.
4. UNLIKE MAINTENANCE REQUIREMENTS FOR WET OR DRY STORMWATER PONDS, SEDIMENT SHOULD ONLY BE SELECTIVELY REMOVED FROM STORMWATER WETLANDS, PRIMARILY FROM THE FOREBAY. SEDIMENT REMOVAL DISTURBS STABLE VEGETATION COVER AND DISRUPTS FLOWPATHS THROUGH THE WETLAND. THE TOP FEW INCHES OF SEDIMENT SHOULD BE STOCKPILED SO THAT IT CAN BE REPLACED OVER THE SURFACE OF THE WETLAND AFTER THE COMPLETION OF SEDIMENT REMOVAL. TO RE-ESTABLISH THE VEGETATIVE COVER USING ITS OWN SEED BANK, ACCUMULATED SEDIMENT SHOULD BE REMOVED FROM AROUND INLET AND OUTLET STRUCTURES.



STORMWATER WETLAND PLANTING TABLE				
QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHALLOW WATER PLANTINGS (AREA = 600 SQ. FT.; 50 HERBACEOUS PLANTS PER 200 SQ. FT.; 150 TOTAL PLANTS REQ.)				
30	ACORUS SUBCORDATUS	SWEETFLAG	4 CU. IN.	2' O.C.
30	HYDROLEA QUADRIVALVIS	WATERPOD	4 CU. IN.	2' O.C.
30	IRIS VIRGINICA	BLUE FLAG IRIS	4 CU. IN.	2' O.C.
30	SAGITTARIA LATIFOLIA	DUCK POTATO	4 CU. IN.	2' O.C.
30	SALURJURIS CERNUIS	LEARD'S TAIL	4 CU. IN.	2' O.C.
SHALLOW LAND PLANTINGS (AREA = 745 SQ. FT.; 50 HERBACEOUS PLANTS PER 200 SQ. FT.; 187 TOTAL PLANTS REQ.)				
63	CAREX TENERA	QUILL SEDGE	4 CU. IN.	2' O.C.
63	HIBISCUS CoccINEUS	SCARLET ROSE MALLOW	4 CU. IN.	2' O.C.
63	LOBELIA ELONGATA	LONGLEAF LOBELIA	4 CU. IN.	2' O.C.
DEEP POOL				
15	ELEOCHARIS ACICULARIS	NEEDLE SPIKERUSH	BARE ROOT	N/A
15	NUPHAR LUTEA SSP. ADVENA	YELLOW POND-LILY	BARE ROOT	N/A



POST OFFICE BOX 91727
RALEIGH, NORTH CAROLINA 27675
PHONE: 919.910.1051
FIRM NO. LICENSE NUMBER C-4222



REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR REVIEW
DO NOT USE FOR CONSTRUCTION



SITE PLANS
ROLESVILLE CROSSFIT
850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-28-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

STORMWATER WETLAND DETAILS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

C-7
SHEET 7 OF 18

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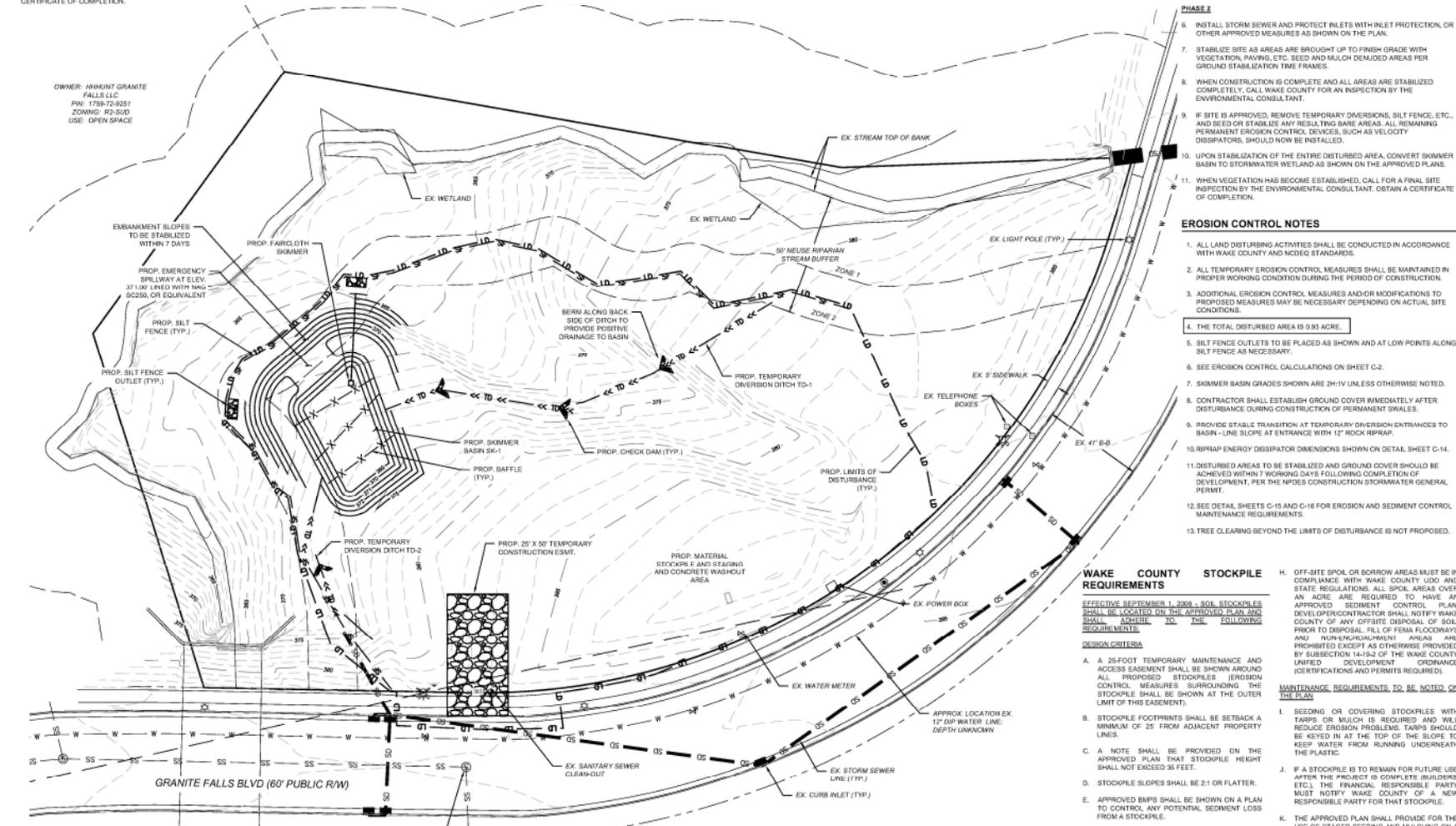
BASIN CONVERSION SEQUENCE:

- SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL ENGINEER / CONSULTANT TO DETERMINE IF A BASIN CAN BE CONVERTED. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO CONVERSION OF THE BASIN.
- DEWATER BASIN(S) VIA SILT BAG. REMOVE ACCUMULATED SEDIMENT. FINE GRADE WETLAND IN PREPARATION FOR PLANTING.
- PERFORM PLANTING PREPARATION. PLANT SEED, MULCH AND ASPHALT TACK ANY REVEALING BARE AREAS IMMEDIATELY.
- INSTALL VELOCITY DISSIPATORS AS REQUIRED ON THE EROSION CONTROL PLAN.
- WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL ENGINEER / CONSULTANT FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVISE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION.

LEGEND

- | | | | |
|-----|------------------------|-----|---------------------------------|
| --- | EX. PROPERTY LINE | --- | PROP. LIMIT OF DISTURBANCE |
| --- | EX. RIGHT-OF-WAY | --- | PROP. MAJOR CONTOUR (5') |
| --- | EX. ADJACENT OWNERS | --- | PROP. MINOR CONTOUR (1') |
| --- | EX. CHANNEL/STREAM | --- | PROP. SILT FENCE |
| --- | EX. SHREAM BUFFER | --- | PROP. FAIRCLOTH SKIMMER |
| --- | EX. WATER LINE | --- | PROP. SLOPE PROTECTION |
| --- | EX. SANITARY SEWER | --- | PROP. CONSTRUCTION ENTRANCE |
| --- | EX. STORM SEWER | --- | PROP. SILT FENCE OUTLET |
| --- | EX. MAJOR CONTOUR (5') | --- | PROP. TEMPORARY DIVERSION DITCH |
| --- | EX. MINOR CONTOUR (1') | --- | PROP. BAFFLE |

OWNER: GRANITE FALLS SWIM & ATHLETIC CLUB LLC
 P.O. 1799-72-9551
 ZONING: CO-SUD
 USE: SWIM & ATHLETIC CLUB



WAKE COUNTY CONSTRUCTION SEQUENCE

- SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT. OBTAIN A LAND-DISTURBING PERMIT.
- INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SKIMMER SEDIMENT BASIN OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS AND BASIN IMMEDIATELY AFTER CONSTRUCTION.
- CALL WAKE COUNTY FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
- BEGIN ROUGH GRADING.
- INSTALL STORM SEWER AND PROTECT INLETS WITH INLET PROTECTION, OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, ETC. SEED AND MULCH EXPOSED AREAS PER GROUND STABILIZATION TIME FRAMES.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL WAKE COUNTY FOR AN INSPECTION BY THE ENVIRONMENTAL CONSULTANT.
- IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, ETC., AND SEED OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
- UPON STABILIZATION OF THE ENTIRE DISTURBED AREA, CONVERT SKIMMER BASIN TO STORMWATER WETLAND AS SHOWN ON THE APPROVED PLANS.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.

EROSION CONTROL NOTES

- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH WAKE COUNTY AND NCDDE STANDARDS.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED IN PROPER WORKING CONDITION DURING THE PERIOD OF CONSTRUCTION.
- ADDITIONAL EROSION CONTROL MEASURES AND/OR MODIFICATIONS TO PROPOSED MEASURES MAY BE NECESSARY DEPENDING ON ACTUAL SITE CONDITIONS.
- THE TOTAL DISTURBED AREA IS 9.93 ACRES.
- SILT FENCE OUTLETS TO BE PLACED AS SHOWN AND AT LOW POINTS ALONG SILT FENCE AS NECESSARY.
- SEE EROSION CONTROL CALCULATIONS ON SHEET C-2.
- SKIMMER BASIN GRADES SHOWN ARE 2H:1V UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ESTABLISH GROUND COVER IMMEDIATELY AFTER DISTURBANCE DURING CONSTRUCTION OF PERMANENT SWALES.
- PROVIDE STABLE TRANSITION AT TEMPORARY DIVERSION ENTRANCES TO BASIN - LINE SLOPE AT ENTRANCE WITH 12" ROCK RIPRAP.
- RECAP ENERGY DISSIPATOR DIMENSIONS SHOWN ON DETAIL SHEET C-14.
- DISTURBED AREAS TO BE STABILIZED AND GROUND COVER SHOULD BE ACHIEVED WITHIN 7 WORKING DAYS FOLLOWING COMPLETION OF DEVELOPMENT, PER THE WAKE COUNTY CONSTRUCTION STORMWATER GENERAL PERMIT.
- SEE DETAIL SHEETS C-15 AND C-16 FOR EROSION AND SEDIMENT CONTROL MAINTENANCE REQUIREMENTS.
- TREE CLEARING BEYOND THE LIMITS OF DISTURBANCE IS NOT PROPOSED.

WAKE COUNTY STOCKPILE REQUIREMENTS

- EFFECTIVE SEPTEMBER 1, 2008 - SOIL STOCKPILES SHALL BE LOCATED ON THE APPROVED PLAN AND SHALL ADHERE TO THE FOLLOWING REQUIREMENTS:
- DESIGN CRITERIA**
- A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL BE SHOWN AROUND ALL PROPOSED STOCKPILES (EROSION CONTROL MEASURES SURROUNDING THE STOCKPILE SHALL BE SHOWN AT THE OUTER LIMIT OF THIS EASEMENT).
 - STOCKPILE FOOTPRINTS SHALL BE SETBACK A MINIMUM OF 25' FROM ADJACENT PROPERTY LINES.
 - A NOTE SHALL BE PROVIDED ON THE APPROVED PLAN THAT STOCKPILE HEIGHT SHALL NOT EXCEED 35 FEET.
 - STOCKPILE SLOPES SHALL BE 2:1 OR FLATTER.
 - APPROVED BMPs SHALL BE SHOWN ON A PLAN TO CONTROL ANY POTENTIAL SEDIMENT LOSS FROM A STOCKPILE.
 - STOCKPILING MATERIALS ADJACENT TO A DITCH, DRAINAGEWAY, WATER COURSE, WETLAND, STREAM BUFFER, OR OTHER BODY OF WATER SHALL BE AVOIDED UNLESS AN ALTERNATIVE LOCATION IS DEMONSTRATED TO BE UNAVAILABLE.
 - ANY CONCENTRATED FLOW LIKELY TO AFFECT THE STOCKPILE SHALL BE DIVERTED TO AN APPROVED BMP.

- OFF-SITE SPOIL OR BORROW AREAS MUST BE IN COMPLIANCE WITH WAKE COUNTY LDD AND STATE REGULATIONS. ALL SPOIL AREAS OVER AN ACRE ARE REQUIRED TO HAVE AN APPROVED SEDIMENT CONTROL PLAN. DEVELOPER/CONTRACTOR SHALL NOTIFY WAKE COUNTY OF ANY OFFSITE DISPOSAL OF SOIL, PRIOR TO DISPOSAL, FILL OF FEMA FLOODWAYS AND NON-ENHANCEMENT AREAS ARE PROHIBITED EXCEPT AS OTHERWISE PROVIDED BY SUBSECTION 14-192 OF THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE (CERTIFICATIONS AND PERMITS REQUIRED).
- MAINTENANCE REQUIREMENTS TO BE NOTED ON THE PLAN**
- SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEPT IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
- IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDINGS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
- THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
- ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS



POST OFFICE BOX 91727
 RALEIGH, NORTH CAROLINA 27675
 PHONE: 919.810.1051
 FIRM NO. LICENSE NUMBER C-4222



REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR REVIEW
 DO NOT USE FOR CONSTRUCTION

SCALE: 1" = 20 FEET



SITE PLANS

ROLESVILLE CROSSFIT
 850 GRANITE FALLS BLVD
 ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-25-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

EROSION & SEDIMENT CONTROL PLAN - PHASE 1

C-8
 SHEET 8 OF 19

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North Carolina 811
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 1-800-632-4949

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LEGEND

- | | | | |
|-------|------------------------|-----|------------------------------|
| --- | EX. PROPERTY LINE | --- | PROP. RETRACK LINE |
| --- | EX. RIGHT-OF-WAY | --- | PROP. EASEMENT/BUFFER |
| --- | EX. ADJACENT OWNERS | --- | PROP. CHAINLINK FENCE |
| --- | EX. CHANNEL/STREAM | --- | PROP. ADA HANDRAIL/GUARDRAIL |
| --- | EX. STREAM BUFFER | --- | PROP. WATER LINE |
| W W | EX. WATER LINE | --- | PROP. SANITARY SEWER |
| SS SS | EX. SANITARY SEWER | --- | PROP. STORM SEWER |
| SD SD | EX. STORM SEWER | --- | PROP. CURB INLET (CBI) |
| --- | EX. MAJOR CONTOUR (5') | --- | PROP. YARD INLET |
| --- | EX. MINOR CONTOUR (1') | --- | PROP. FLARED END SECTION |
| | | --- | PROP. JUNCTION BOX |
| | | --- | PROP. LIMIT OF DISTURBANCE |
| | | --- | PROP. MAJOR CONTOUR (5') |
| | | --- | PROP. MINOR CONTOUR (1') |
| | | --- | PROP. SILT FENCE |
| | | --- | PROP. FAIRCLOTH SKIMMER |
| | | --- | PROP. SLOPE PROTECTION |
| | | --- | PROP. CONSTRUCTION ENTRANCE |
| | | --- | PROP. SILT FENCE OUTLET |
| | | --- | PROP. INLET PROTECTION |
| | | --- | PROP. BAFFLE |

OWNER: GRANITE FALLS SWIM & ATHLETIC CLUB LLC
 P.O. 1798-02-0004
 ZONING: CC-SUD
 USE: SWIM & ATHLETIC CLUB

WAKE COUNTY CONSTRUCTION SEQUENCE

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- PHASE 2**
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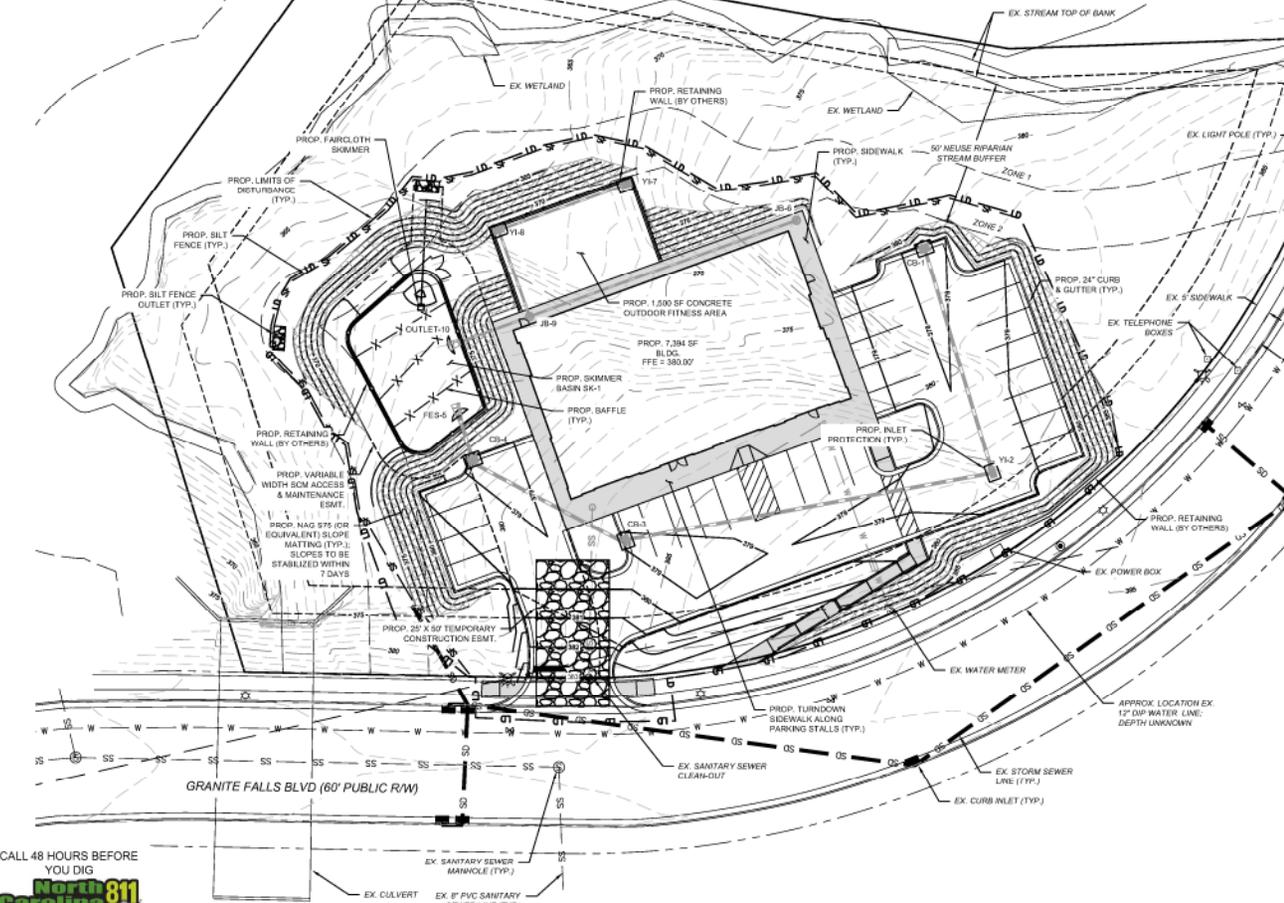
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MAINTENANCE REQUIREMENTS TO BE NOTED ON THE PLAN

- SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEPT IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
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- ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

OWNER: HINKLEY GRANITE FALLS LLC
 P.O. 1798-72-0051
 ZONING: R2-SUD
 USE: OPEN SPACE



CALL 48 HOURS BEFORE YOU DIG
North Carolina 811
 NORTH CAROLINA ONE-CALL CENTER
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 RALEIGH, NORTH CAROLINA 27675
 PHONE: 919.910.1051
 FIRM NO. LICENSE NUMBER C-4222



REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR REVIEW
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SCALE: 1" = 20 FEET



SITE PLANS

ROLESVILLE CROSSBLT
 850 GRANITE FALLS BLVD
 ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-25-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

EROSION & SEDIMENT CONTROL PLAN - PHASE 2

C-9
 SHEET 9 OF 19

PLANT LIST					
REV	SCIENTIFIC NAME	COMMON NAME	QUAN	CAL	HT
CANOPY TREES					
LM	ULMUS PARVIFOLIA	CHINESE ELM	5	2.6"	10'
QR	QUERCUS RUBRA	RED OAK	4	2.6"	10'
UNDERSTORY TREES					
CF	CORNUS FLORIDA	NATIVE DOGWOOD	9	1.0"	8'
CC	CERISIA CANADENSIS	REDBUD	9	1.0"	8'
SHRUBS					
IC	ILEX CORNUTA	CARSSA HOLLY	80	3 GAL.	24"

OWNER: GRANITE FALLS SWIM & ATHLETIC CLUB LLC
 PIN: 1759-82-4084
 ZONING: CO-SUD
 USE: SWIM & ATHLETIC CLUB

OWNER: HIKKUNT GRANITE FALLS LLC
 PIN: 1759-72-9251
 ZONING: RD-SUD
 USE: OPEN SPACE

LANDSCAPING REQUIREMENTS

- VEHICULAR USE AREAS ONLY:**
- NO PORTION OF THE VOA SHALL BE FURTHER THAN 80' FROM THE TRUNK OF A LARGE TREE
 - ALL VIAS MUST BE SCREENED FROM THE OFF-SITE VIEW WITH A CONTINUOUS EVERGREEN HEDGE
- STREETSCAPE:**
- ONE (1) CANOPY TREE AND TWO (2) UNDERSTORY TREES PER 40 LF OF FRONTAGE
 - 325 LF OF FRONTAGE TO BE REVEGETATED - 8 CANOPY TREES AND 16 UNDERSTORY TREES REQUIRED
 - 8 CANOPY TREES AND 16 UNDERSTORY TREES PROVIDED

LEGEND

- EX PROPERTY LINE
- EX RIGHT-OF-WAY
- EX ADJACENT OWNERS
- EX CHANNEL/STREAM
- EX STREAM BUFFER
- EX WATER LINE
- EX SANITARY SEWER
- EX STORM SEWER
- EX TREE LINE
- PROP. SETBACK LINE
- PROP. EASEMENT/BUFFER
- PROP. CHAINLINK FENCE
- PROP. ADA HANDRAIL/GUARDRAIL
- PROP. WATER LINE
- PROP. SANITARY SEWER
- PROP. STORM SEWER
- PROP. TREE LINE
- PROP. CANOPY TREE (LM)
- PROP. CANOPY TREE (QR)
- PROP. UNDERSTORY TREE (CF)
- PROP. UNDERSTORY TREE (CC)
- PROP. EVERGREEN SHRUB (IC)
- PROP. SITE LIGHTING LUMINAIRE

NOTES

- ALL NEW PLANTINGS SHALL MEET THE REQUIREMENTS OF THE TOWN OF ROLESVILLE LIMITED DEVELOPMENT ORDINANCE (LDO) ARTICLE 14, LANDSCAPE AND APPEARANCE STANDARDS.
- ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE GRADED AND SEED/AS AS INDICATED IN SPECIFICATIONS.
- ALL TREE PLANTINGS SHALL BE MULCHED WITH 4" CLEAN, PINE STRAW MULCH.
- ALL PLANT BEDS TO BE EDGED WITH TYPICAL "V"-CHANNEL" EDGE.
- A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
- CONTRACTOR TO UTILIZE ALL ON-SITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THIS PROJECT.
- ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH 75 SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONERS SHALL BE PULVERIZED PINE BARK, PEAT MOSS OR SHREDDED COMPOSTED LEAVES.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
- CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
- ALL PLANTS ARE TO BE THOROUGHLY WATERED IN THE SAME DAY AS PLANTED.
- THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
- REMOVE ALL STRAPPING AND TWINE FROM ROOT BALL. REMOVE WIRE BASKET AND BURLAP FROM TOP 10' OF ROOT BALL BEFORE BACKFILL AROUND BALL IS COMPLETED.
- ALL TREES WHICH ARE SMOOTH BARKED AT THE TIME OF PLANTING AND HAVE MORE THAN 2" OF ALL TREE WRAPPING SHALL EXTEND FROM THE TOP OF THE BACKFILL TO THE LOWEST BRANCHES.
- ALL TREES, WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
- LANDSCAPING SHOWN MEETS QUANTITY REQUIREMENTS. ALL INSTALLATION AND MAINTENANCE SHALL BE PER TOWN OF ROLESVILLE LDO.
- ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
- ALL TREES SHALL BE LOCATED A MINIMUM OF 15' FROM SITE LIGHTING LUMINAIRES.
- TREE CLEARING BEYOND THE LIMITS OF DISTURBANCE IS NOT PROPOSED.
- WHERE PROPOSED VEGETATION IS NOT SHOWN IN BUFFER AREAS, EXISTING VEGETATION SHALL REMAIN AND SHALL BE USED TO MEET BUFFER PLANTING REQUIREMENTS. IF, UPON INSPECTION BY THE TOWN OF ROLESVILLE, THE EXISTING VEGETATION DOES NOT MEET THE BUFFER PLANTING REQUIREMENTS, ADDITIONAL VEGETATION SHALL BE PLANTED TO MEET THE REQUIREMENTS.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS



POST OFFICE BOX 91727
 RALEIGH, NORTH CAROLINA 27675
 PHONE: 919.910.1051
 FIRM NC LICENSE NUMBER C-4222

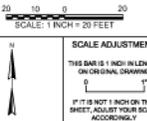


REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR REVIEW
 DO NOT USE FOR CONSTRUCTION



SITE PLANS

ROLESVILLE CROSSFIT
 850 GRANITE FALLS BLVD
 ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-25-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

LANDSCAPING PLAN

C-10
 SHEET 10 OF 18

CALL 48 HOURS BEFORE YOU DIG
North Carolina 811
 NORTH CAROLINA ONE-CALL CENTER
 1-800-632-4949

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LUMINAIRE SCHEDULE				
SYMBOL	DESCRIPTION*	LAMP	HEIGHT (FT)**	QUANTITY
—	AMERICAN ELECTRIC® (1) ATR2 SERIES 91W LED 700MA	(1) LED	18	4
D	WSR LED ARCHITECTURAL WALL SCOOGE	(1) LED	14	5

CALCULATION SUMMARY				
PARKING AREAS	AVERAGE	MAX	MIN	AVG/MIN
	2.18	5.01	0.62	3.52

LEGEND

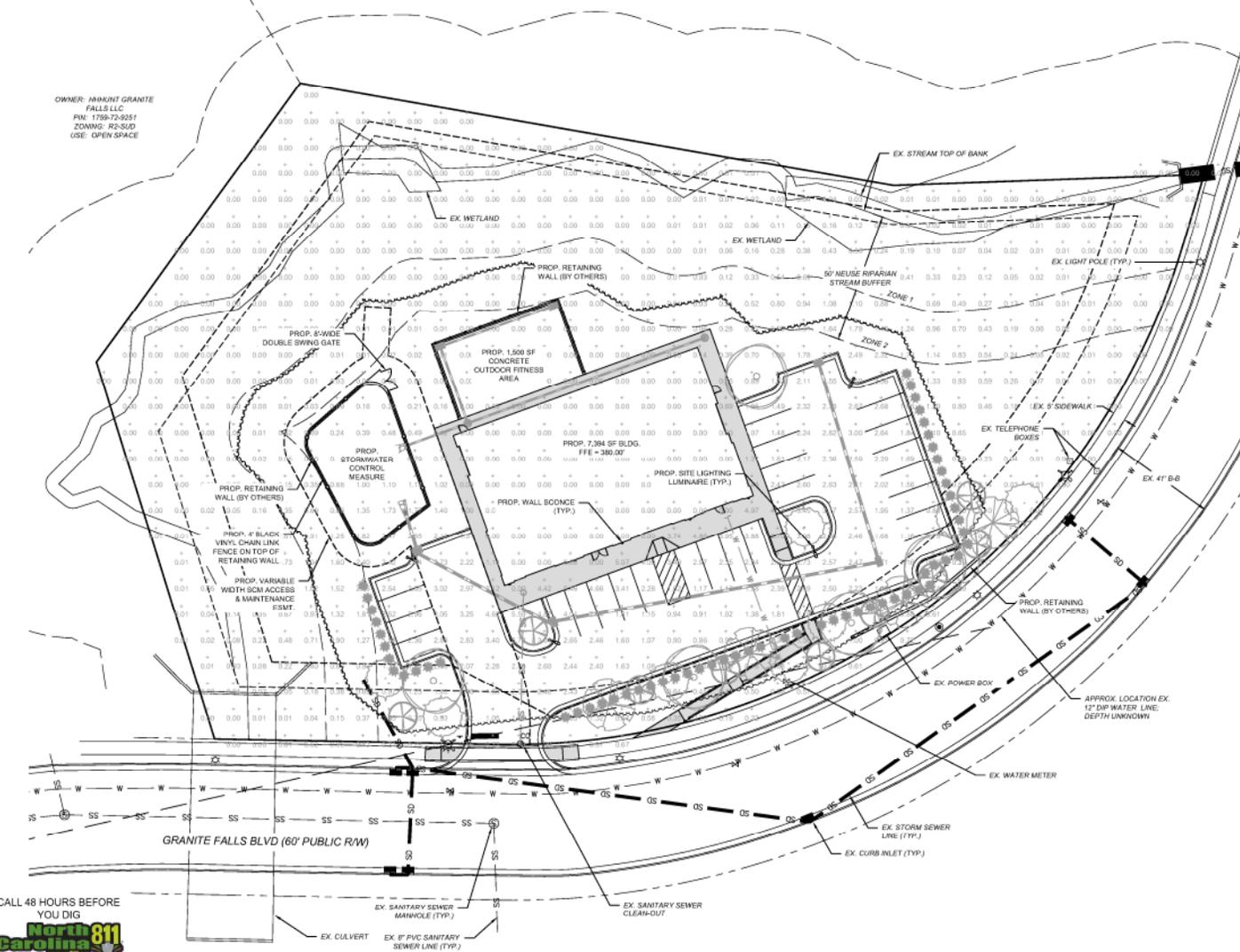
---	EX. PROPERTY LINE
---	EX. RIGHT-OF-WAY
---	EX. ADJACENT OWNERS
---	EX. CHANNEL/STREAM
---	EX. STREAM BUFFER
---	EX. WATER LINE
SS	EX. SANITARY SEWER
SD	EX. STORM SEWER
---	PROP. SETBACK LINE
---	PROP. EASEMENT/BUFFER
---	PROP. CHAINLINK FENCE
---	PROP. ADA HANDRAIL/GUARDRAIL
---	PROP. WATER LINE
SS	PROP. SANITARY SEWER
SD	PROP. STORM SEWER
---	PROP. SITE LIGHTING LUMINAIRE
---	PROP. FOOT CANDLES

NOTES

- ALL SITE LIGHTING SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF ROLESVILLE UNIFIED DEVELOPMENT ORDINANCE (UDO) ARTICLE 14, SECTION 14.8, EXTERIOR LIGHTING.
- THE PARKING AREA SHALL HAVE A MINIMUM LIGHT LEVEL OF 0.2 FOOT CANDLE, A MAXIMUM LIGHT LEVEL OF 9 FOOT CANDLES, AN AVERAGE OF 1.9 - 2.9 FOOT CANDLES, AND A MAXIMUM AVG/MIN UNIFORMITY OF 6 PER THE "MEDIUM" HORIZONTAL ILLUMINATION STANDARDS FOR GENERAL PARKING AND PEDESTRIAN AREAS.
- THE MAXIMUM LIGHT LEVEL AT ANY RESIDENTIAL PROPERTY LINE SHALL BE 0.3 MAINTAINED FOOT CANDLE AND AT ANY COMMERCIAL PROPERTY LINE SHALL BE 1.0 MAINTAINED FOOT CANDLE.
- THE INTENT OF THIS DRAWING IS TO SHOW FOOT CANDLE LEVELS BASED ON FIXTURES SHOWN. LIGHT LEVELS MAY VARY BASED ON ACTUAL FIXTURES INSTALLED.
- THIS IS A SITE LIGHTING CALCULATION PLAN ONLY AND DOES NOT PROVIDE ELECTRICAL CONNECTIONS FOR FIXTURES SHOWN. SITE DEVELOPERS, OWNERS, BUILDERS, AND GENERAL CONTRACTORS ARE RESPONSIBLE FOR COORDINATING WITH ELECTRICAL CONTRACTOR OR POWER COMPANY FOR POWER CONNECTIONS FOR ALL FIXTURES.
- ALL OTHER LIGHTING SHALL BE BY OWNER.
- LIGHT POLES SHALL BE BLACK FIBERGLASS AND FIXTURES SHALL BE BLACK AND AS NOTED IN THE LUMINAIRE SCHEDULE AND THE DETAIL ON SHEET C-12.

OWNER: GRANITE FALLS SWIM & ATHLETIC CLUB LLC
 PIN: 1759-82-4084
 ZONING: CO-SUD
 USE: SWIM & ATHLETIC CLUB

OWNER: HINKLEY GRANITE FALLS LLC
 PIN: 1759-72-9251
 ZONING: RD-SUD
 USE: OPEN SPACE



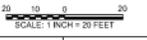
POST OFFICE BOX 91727
 RALEIGH, NORTH CAROLINA 27675
 PHONE: 919.910.1051
 FIRM NC LICENSE NUMBER C-4222



REVISION HISTORY			
REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR REVIEW
 DO NOT USE FOR CONSTRUCTION



SITE PLANS
 ROLESVILLE CROSSFIT
 850 GRANITE FALLS BLVD
 ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-28-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

LIGHTING PLAN

C-11
 SHEET 11 OF 18

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

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 1-800-632-4949

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REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR REVIEW
DO NOT USE FOR CONSTRUCTION

SCALE ADJUSTMENT
THIS SHEET IS NOT TO SCALE UNLESS INDICATED OTHERWISE.
IF IT IS NOT 1"=10' ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY.

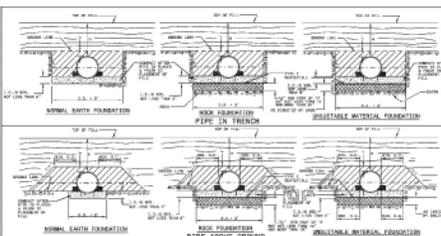
SITE PLANS
ROLESVILLE CROSSFIT
850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

MCARN REALTY LLC

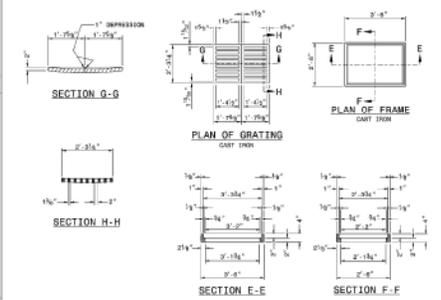
DATE:	10-25-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

STORM DRAINAGE DETAILS

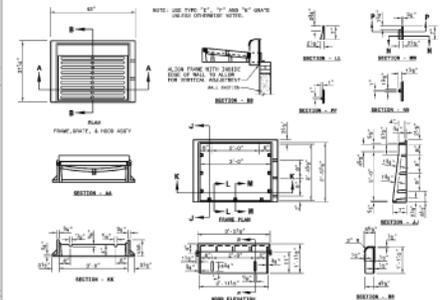
C-14
SHEET 14 OF 18



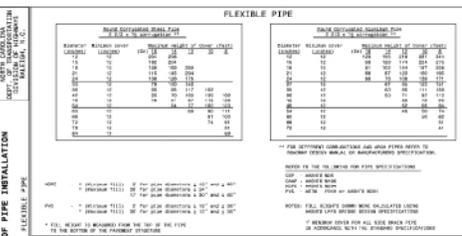
METHOD OF PIPE INSTALLATION
FLEXIBLE PIPE
300.01



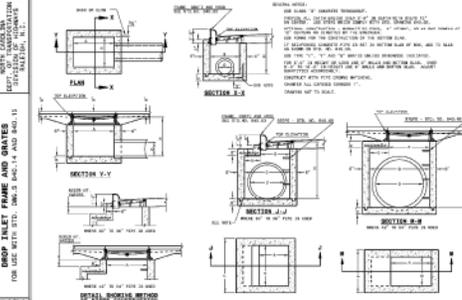
300.02



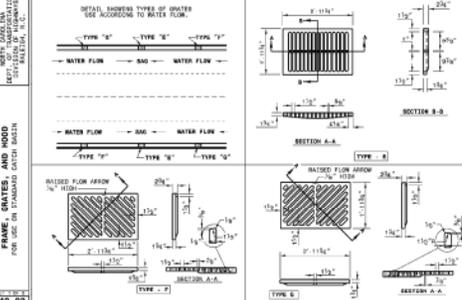
300.03



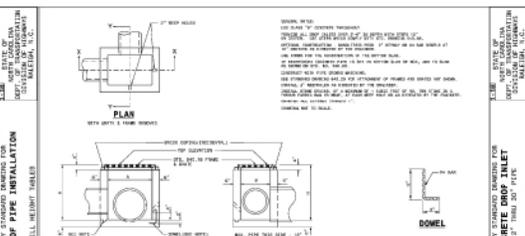
METHOD OF PIPE INSTALLATION
RIGID PIPE
300.01



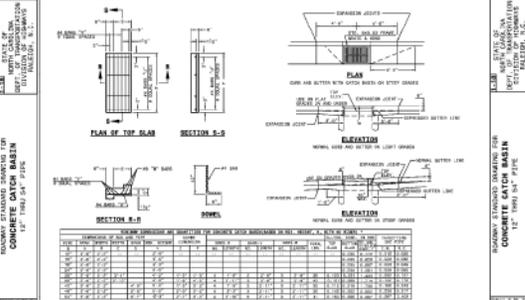
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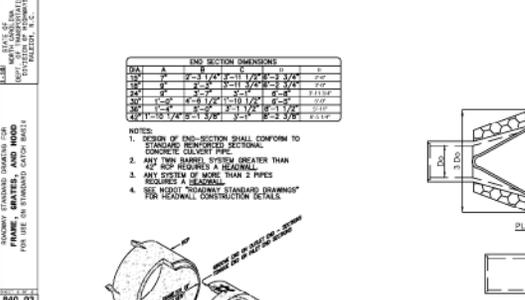
300.03



METHOD OF PIPE INSTALLATION
CONCRETE DROP INLET
340.14



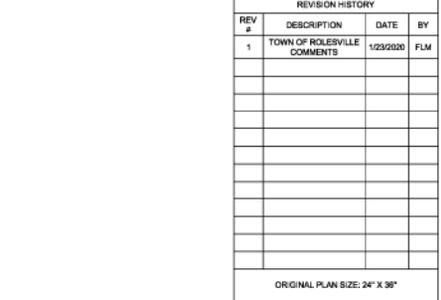
340.02



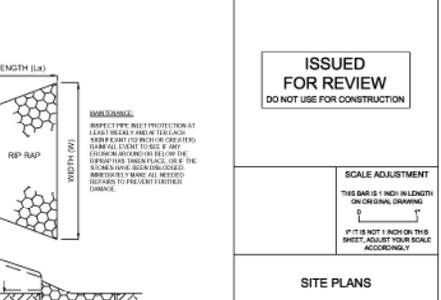
340.03



METHOD OF PIPE INSTALLATION
RIPRAP ENERGY DISSIPATOR
340.14



340.02



340.03

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North Carolina 811
www.nc811.com
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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

FLMENGINEERING

March 6, 2020

Danny Johnson, AICP
Planning Director
Town of Rolesville
502 Southtown Circle
Rolesville, NC 27571

**Reference: Rolesville Crossfit
Trip Generation Estimate**

Dear Mr. Johnson:

Per the Town of Rolesville Unified Development Ordinance (UDO) section 9.11.2 (A), a Traffic Impact Analysis is required at the time of application of any zoning map amendment (rezoning), special use permit, site plan, and/or preliminary subdivision plat if:

- (1) the proposed development, or phase of development, or contiguous tracts under the same ownership, would accommodate or could be expected to generate 100 or more added vehicle trips to or from the site during the peak traffic hour (based on the proposed development or the adjacent roads and intersections); or
- (2) the proposed development, or phases of development, or contiguous tracts under the same ownership, would accommodate or could be expected to generate 1,000 or more added vehicle trips to or from the site during a 24-hour period (based on the proposed development or the adjacent roads and intersections).

The proposed Rolesville Crossfit building is 7,394 square feet. Using the Trip Generation Handbook, 9th Edition, published by the Institute of Transportation Engineers (ITE), the estimated trips produced by Rolesville Crossfit based on the Health/Fitness Club land use are as follows:

AM peak hour = less than 15 trips (refer to the attached data plot)

PM peak hour = less than 40 trips (refer to the attached data plot)

Daily trips = 32.93 trips per 1,000 square feet of gross floor area = 32.93 trips x 7,394 = 243 trips

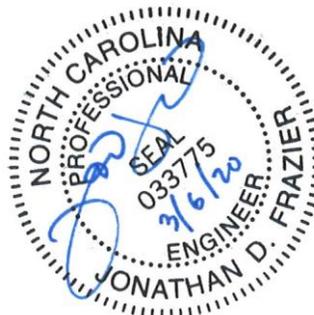
The expected vehicle trips are below the minimum requirements set forth by the Town of Rolesville UDO, and therefore, no traffic impact analysis is required.

Please let me know if you have any questions or need any additional information.

Sincerely,



Jon D. Frazier, PE, LEED AP
Principal
919.610.1051
jfrazier@flmengineering.com



Attachments: AM and PM peak hour data plots

Health/Fitness Club (492)

Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday,
A.M. Peak Hour of Generator

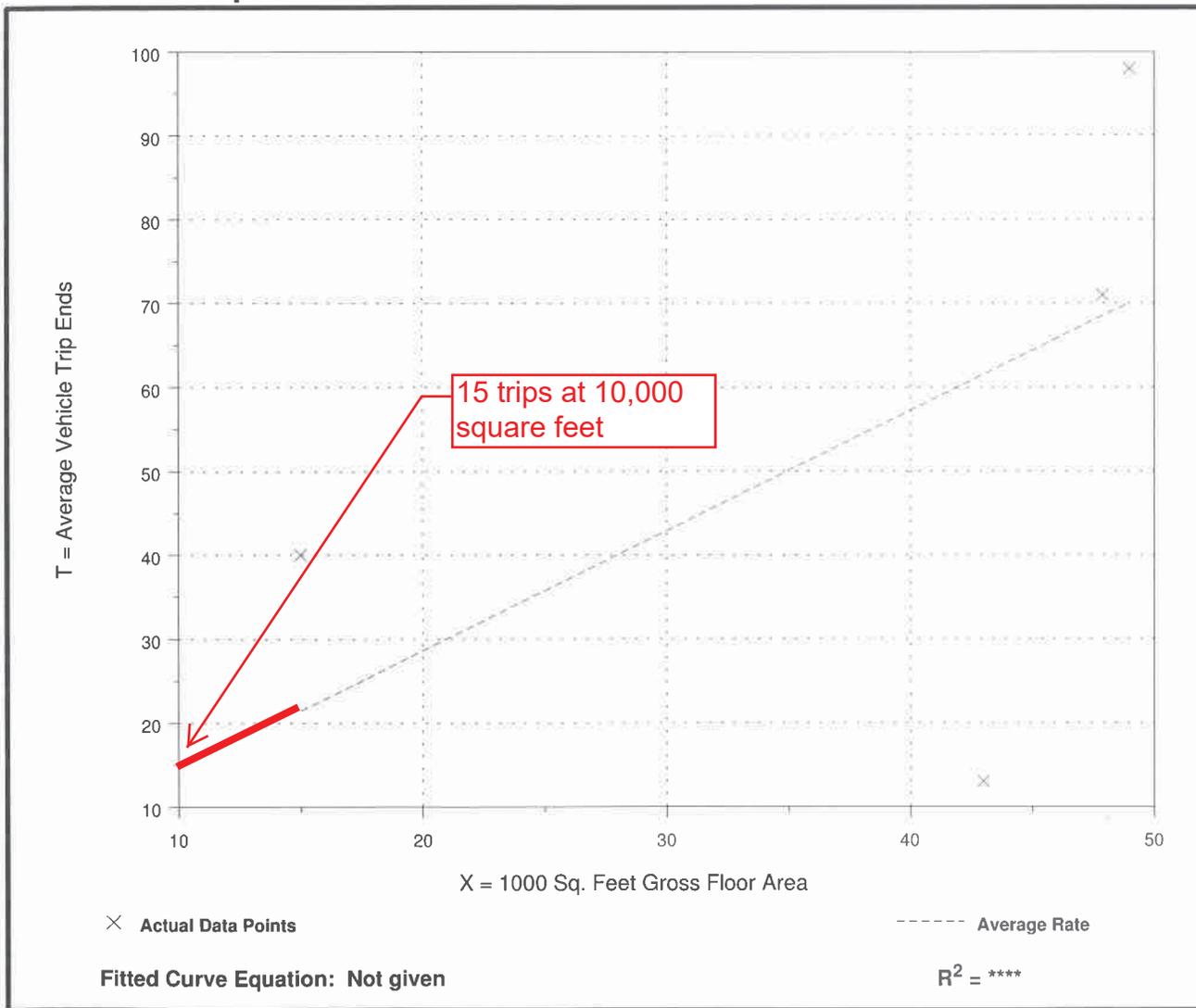
Number of Studies: 4
 Average 1000 Sq. Feet GFA: 39
 Directional Distribution: 47% entering, 53% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
1.43	0.30 - 2.67	1.42

Data Plot and Equation

Caution - Use Carefully - Small Sample Size



Health/Fitness Club (492)

Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday,
P.M. Peak Hour of Generator

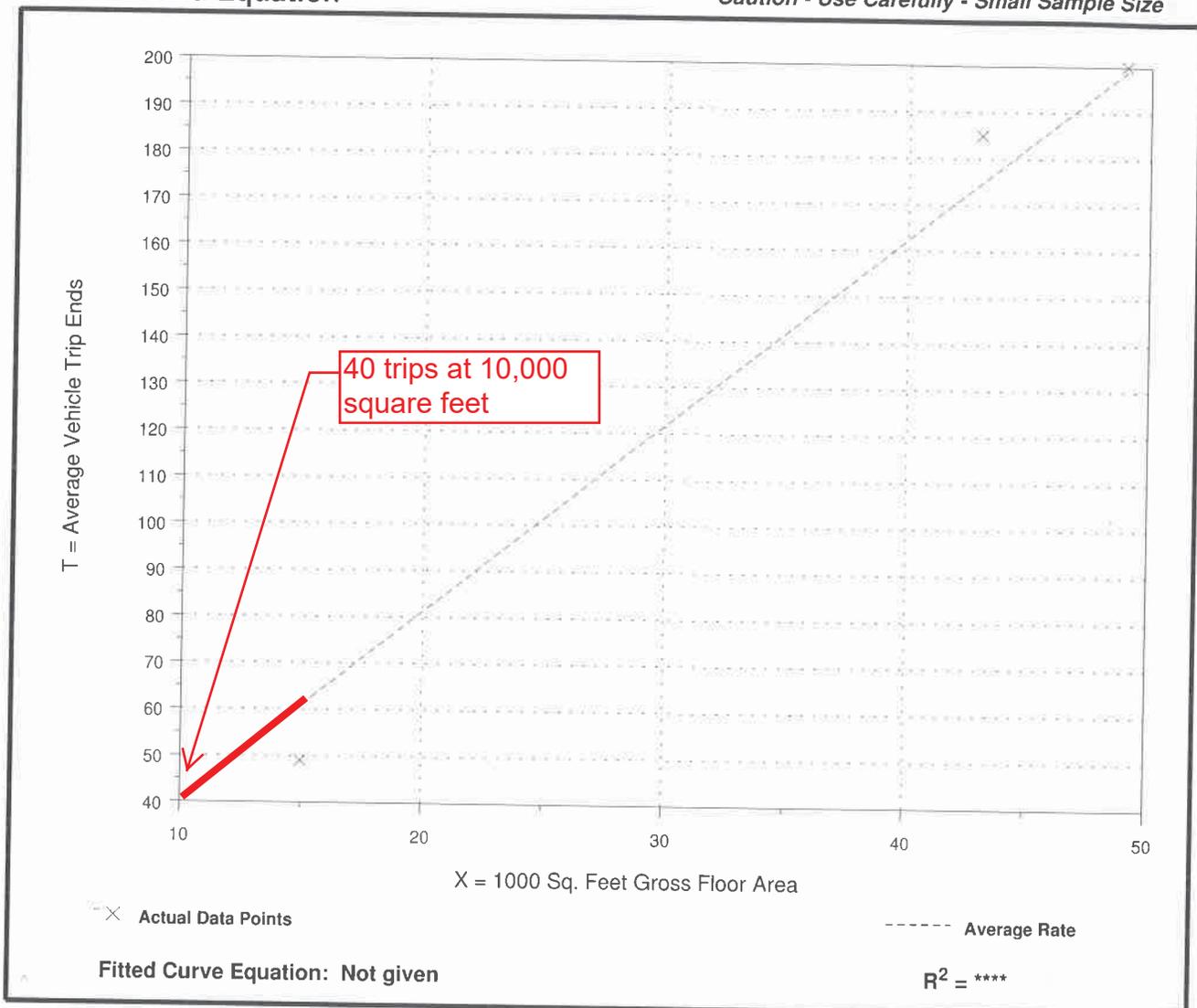
Number of Studies: 3
 Average 1000 Sq. Feet GFA: 36
 Directional Distribution: 51% entering, 49% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
4.06	3.27 - 4.30	2.02

Data Plot and Equation

Caution - Use Carefully - Small Sample Size



Rolesville Crossfit Neighborhood Meeting Summary

On Thursday, February 27, 2020, a neighborhood meeting was held to inform neighbors of the proposed Rolesville Crossfit. The notification sent to the neighbors is attached along with the list of neighbors notified. The neighbors that attended the meeting are shown on the attached sign-in sheet. The attendees that represented the development team included: Jon Frazier, FLM Engineering and Mark McArn, McArn Realty.

The questions asked at the meeting along with the development team responses are listed below:

Q: How does the size of the new building compare to the existing location?

A: The existing space is approximately 3,000 square feet. The new building will have more floor space (approximately 4,500 square feet) and more conditioned space (bathrooms and a foyer).

Q: What is the timing for the development?

A: After approvals and permits are obtained, construction will begin.

FLMENGINEERING

February 17, 2020

**Reference: Rolesville CrossFit
Neighborhood Meeting Notification**

Dear Neighbor:

We are writing to notify you of a neighborhood meeting to present and discuss the proposed Rolesville CrossFit to be located at 850 Granite Falls Blvd. The proposed site plan is attached for your reference. The neighborhood meeting will be held on Thursday, February 27th, at 7:00 PM at the current Rolesville CrossFit at 6440 Rogers Rd in Rolesville.

We look forward to your attendance.

Sincerely,



Jon D. Frazier, PE, LEED AP
Principal
919.610.1051
jfrazier@flmengineering.com

1759824864
GRANITE FALLS SWIM & ATHLETIC CLUB
LLC
6200 FALLS OF NEUSE RD STE 102
RALEIGH NC 27609-3563

1759812642
BIG BEAR PROPERTIES LLC
1512 OBRIEN CIR
WAKE FOREST NC 27587-3833

1759822247
MCARN REALTY LLC
403 N CHEATHAM ST
FRANKLINTON NC 27525-1104

1759729354
HHHUNT GRANITE FALLS LLC
1401 SUNDAY DR STE 109
RALEIGH NC 27607-5173

1759729251
HHHUNT GRANITE FALLS LLC
1401 SUNDAY DR STE 109
RALEIGH NC 27607-5173

1759729452
HHHUNT HOMES RALEIGH-DURHAM LLC
1401 SUNDAY DR STE 109
RALEIGH NC 27607-5173



Memorandum

To: Mayor and Town Board
From: Amy Stevens, Finance Director
Date: May 28, 2020
Re: Proposed Budget Fiscal Year 2020-2021 Public Hearing, Agenda Item #C.4.

Annual Budget

On May 19, 2020, the Town Manager presented the Mayor & Town Board of Commissioners with a balanced Proposed Budget for Fiscal Year 2020-2021. In accordance with North Carolina General Statutes, tonight the Town Board will hold a public hearing on this Proposed Budget in order to receive comment from the public.

Should the Town Board wish to adopt the budget tonight, the motion should reflect any desired changes.

Capital Project Ordinances

In addition to the usual annual budget ordinance and order to collect property taxes, two capital project ordinances are included in this packet:

- **E Young Street Sidewalk #2:** The existing capital project ordinance needs to be updated to reflect the receipt of funds from the North Carolina General Assembly in FY 2019-20 in the amount of \$190,000. This will increase the total budget for the project to \$690,000.
- **Main Street Vision Plan:** This capital project has been funded by annual appropriations. However, preliminary engineering and design work is extending through multiple budget years. Therefore, it is recommended that the original appropriations be redirected to a capital project ordinance. No new funds are being added, it is only a restatement of previous appropriations so that the funds may continue to be spent into future budget years.

A status report on the Town's capital project ordinances is also attached. It includes projects closed in FY2019-20, active projects, and the projects listed above.

Board Options

The Town Board can adopt a balanced budget tonight, or it can continue its discussion and adopt a budget at a subsequent meeting, but no later than July 1, 2020.

Recommended Action

Make a motion to adopt:

- The Budget Ordinance for the Fiscal Year Lasting from July 1, 2020 through June 30, 2021
[amended to include \$_____ for _____]
- The Resolution Authorizing the Wake County Department of Revenue to Levy and Collect Property Taxes
- The Capital Project Ordinance for the East Young Street Sidewalk #2
- The Capital Project Ordinance for the Main Street Vision Plan

Attachments:

- Public hearing presentation slides
- Capital Project Ordinances – Status Update
- Budget Ordinance for the Fiscal Year Lasting from July 1, 2020 through June 30, 2021
- Resolution Authorizing the Wake County Department of Revenue to Levy and Collect Property Taxes
- Capital Project Ordinance for East Young Street Sidewalk #2
- Capital Project Ordinance for Main Street Vision Plan



Economic Development Expenditures

PUBLIC HEARING



Proposed Budget Fiscal Year 2020-2021

PUBLIC HEARING

Strategic Plan

Vision

Genuine community thrives in Rolesville as we seek to build a place that is focused on walkability, with connections to parks, greenways, and gathering spaces.



Community Connection

FOSTER OPPORTUNITIES TO BUILD CONNECTIONS AND CREATE CIVIC LIFE



Mindful Growth

PROMOTE DEVELOPMENT WHILE MAINTAINING A SMALL TOWN CHARACTER



Planned Investment

BUILD COMMUNITY ASSETS TO MEET GROWING NEEDS



Organizational Excellence

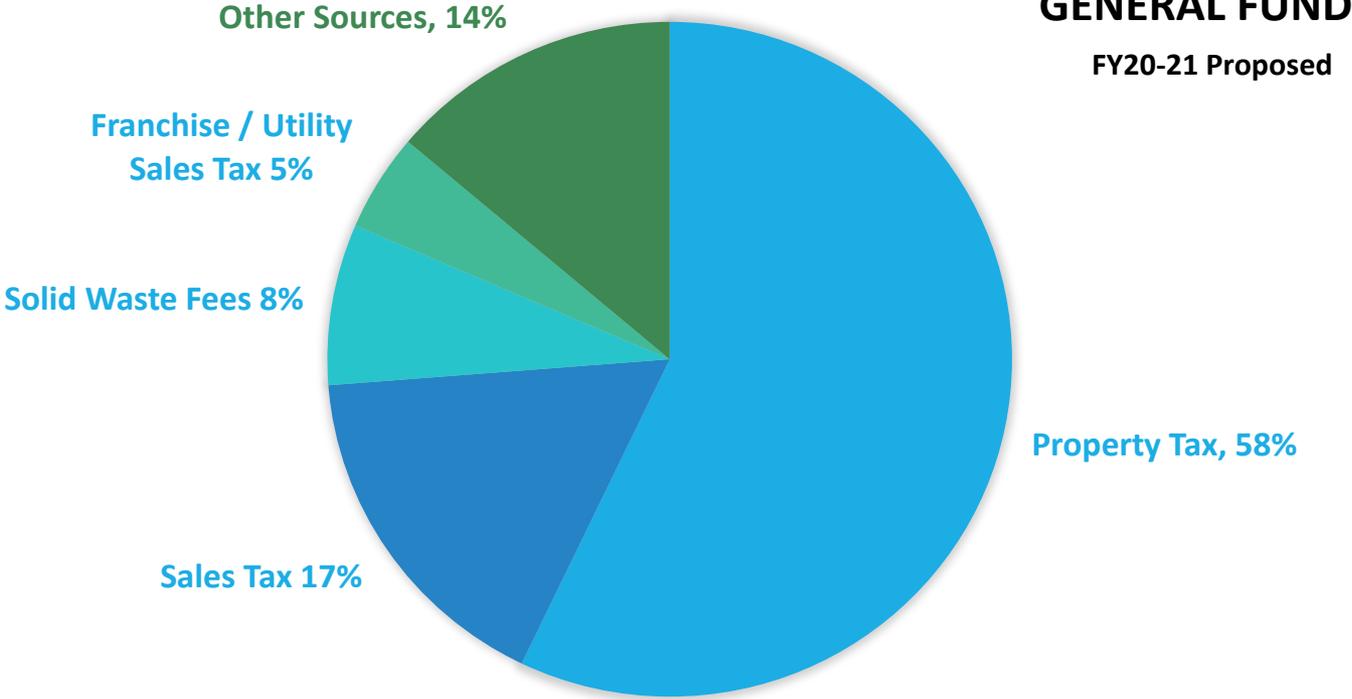
ENSURE RESOURCES ARE USED FOR THE GREATEST BENEFIT



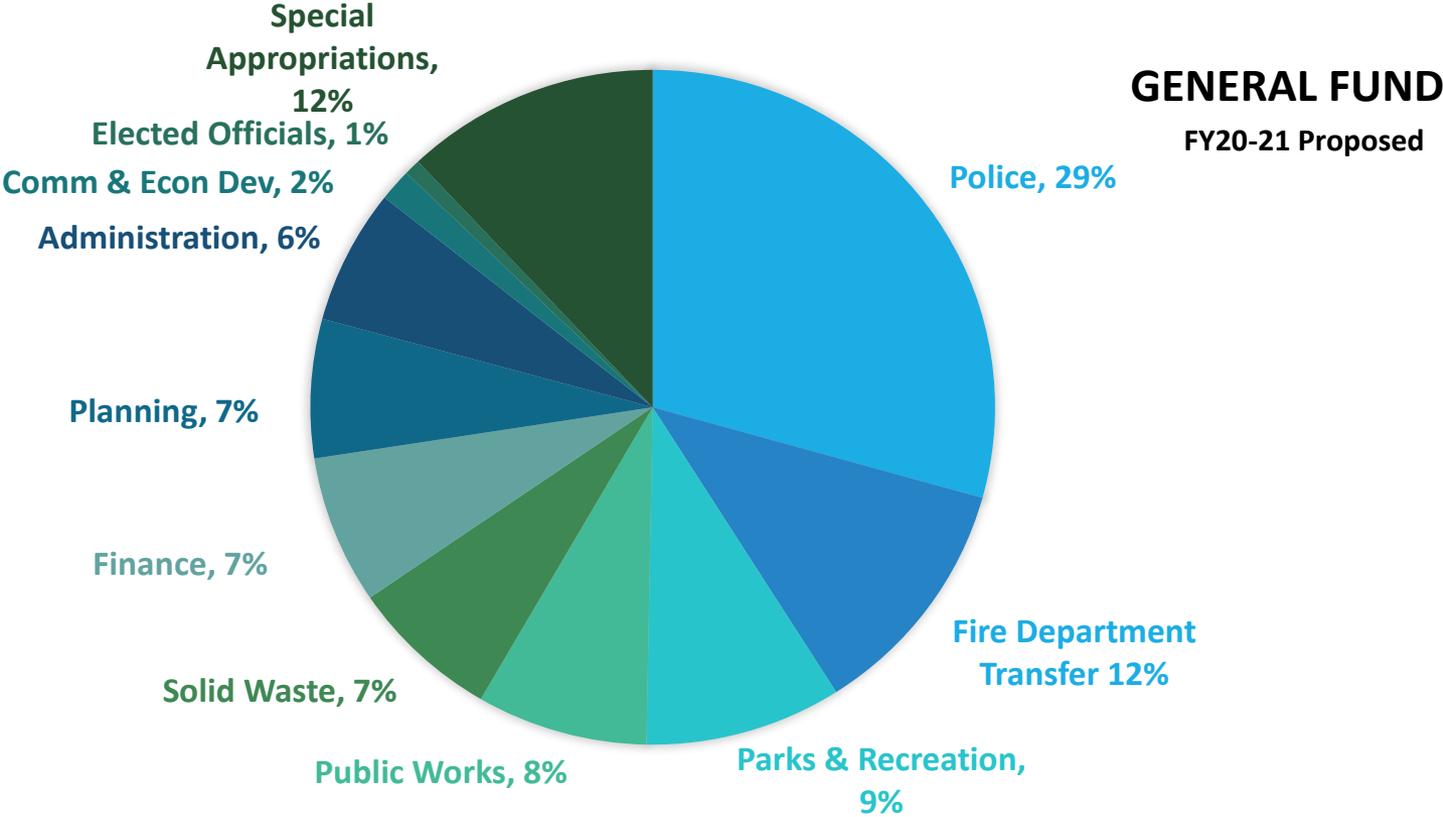
Total Budget

	FY2019-20	FY2020-21	%CHG
General Fund	\$8,641,755	\$9,528,136	10%
Utility Reserve Fund	-	-	
Capital Projects Fund	1,910,500	1,955,000	
Interfund Transfers	<u>(225,000)</u>	<u>(500,000)</u>	
Grand Total	\$10,327,255	\$10,983,136	5.5%

General Fund Revenues



General Fund Expenditures



Revenue Highlights

Property Tax

- Current = \$0.48 per \$100 valuation
- Proposed = \$0.46 per \$100 valuation
- Revenue neutral = \$0.44 per \$100 valuation

Fees & Charges

- No significant changes in amounts
- Solid waste fee remains \$22 per month

Monitor Closely



General Fund Highlights

Technology & Equipment

- Board room recording system
- Financial software
- Police server and vehicle replacement
- eCrash software



Appearance

- Wayfinding signage
- Street sweeping



Economic Development

- Partnership with Rolesville Chamber of Commerce



Land Use

- Community Transportation Plan update
- Unified Development Ordinance update



Capital Improvement Program

Main Street Vision Plan

- Main Street from Burlington Mills Road to Young Street
- Realignment of Burlington Mills Road



Streets, Sidewalks, & Stormwater

- Rogers Road
- Stormwater mapping



Parks

- The Farm
- Mill Bridge Nature Park



Public Safety

- Police building expansion



Employees & Benefits

Additional Personnel (delayed hire)

- Customer Support Specialist
- PT Evidence Specialist
- Assistant to the Town Manager
- Planner I



Employee Pay & Benefits

- Performance Coaching program
- 3% pay increase, effective November 2020
- New health insurance provider
- Accelerated retirement system contribution increase



CAPITAL PROJECT ORDINANCES - STATUS UPDATE

June 2020

Budget

Actual / To Date

E Young Street Sidewalk #1

The construction of a sidewalk on East Young Street from Perry Street to Virginia Water Drive. Original capital project ordinance was adopted in July 2017. The project was closed July 2019.

Expenditures

Engineering & Construction	\$650,000	\$621,146
----------------------------	-----------	-----------

Revenues

Street fees	\$650,000	\$621,146
-------------	-----------	-----------

Granite Falls Boulevard Extension

The construction of Granite Falls Boulevard, from Rogers Road to Grand Rock Way. Original capital project ordinance was adopted May 2017. The project will be closed June 2020.

Expenditures

Engineering & Construction	\$2,020,000	\$2,005,390
----------------------------	-------------	-------------

Revenues

Street fees	\$1,176,000	\$1,057,819
Street fees-in-lieu	474,000	577,571
General Fund transfer	<u>370,000</u>	<u>370,000</u>
	\$2,020,000	\$2,005,390

E Young Street Sidewalk #2

The construction of a sidewalk on East Young Street from just north of Louisburg Road to Quarry Road. Original capital project ordinance was adopted November 2017. The project remains active.

Expenditures

Engineering & Construction	\$690,000	\$333,485
----------------------------	-----------	-----------

Revenues

Street fees	\$250,000	\$143,485
NC DOT local project funds	250,000	0
NC General Assembly funds	<u>190,000</u>	<u>190,000</u>
	\$690,000	\$333,485

Main Street Vision Plan

Includes the realignment of Burlington Mills Road near South Main Street and pedestrian and street improvements along South Main Street between Burlington Mills Road and Young Street. Original capital project ordinance was adopted June 2020 *[proposed]*. The project remains active.

Expenditures

Engineering	\$972,256	\$346,573
-------------	-----------	-----------

Revenues

Street fees	\$510,000	\$62,817
Reimbursements	87,256	87,256
General Fund transfer	<u>375,000</u>	<u>196,500</u>
	\$972,256	\$346,573

**BUDGET ORDINANCE
FOR THE FISCAL YEAR LASTING FROM
JULY 1, 2020 THROUGH JUNE 30, 2021**

WHEREAS, the Board of Commissioners were presented a proposed budget on May 19, 2020; and

WHEREAS, the Board of Commissioners held a public hearing on the proposed budget on June 2, 2020, which was duly advertised in the Raleigh News & Observer newspaper; and

WHEREAS, the Board of Commissioners held a public hearing on June 2, which was duly advertised in the Raleigh News & Observer newspaper, for the purpose of economic development expenditures for small business recruitment, marketing, and strategic plan implementation.

NOW THEREFORE BE IT ORDAINED by the Board of Commissioners of the Town of Rolesville, North Carolina:

Section 1. The following amounts are hereby appropriated in the General Fund for the operation of the Town government for fiscal year beginning July 1, 2020 and ending June 30, 2021:

General Fund Revenues		\$9,528,136
General Fund Expenditures		\$9,528,136
Elected officials	\$72,500	
Administration	\$614,770	
Finance	\$677,495	
Community & Economic Development	\$146,660	
Planning	\$633,870	
Police	\$2,794,645	
Public Works	\$1,445,550	
Parks & Recreation	\$885,700	
RRFD Contribution	\$1,111,300	
Special Appropriations	\$1,145,646	

Section 2. The following amounts are hereby appropriated in the Capital Projects Fund for the fiscal year beginning July 1, 2020 and ending June 30, 2021:

Capital Projects Fund Revenues	\$1,955,000
Capital Projects Fund Expenditures	\$1,955,000

Section 3. The following amounts are hereby appropriated for the fiscal year beginning July 1, 2020 and ending June 30, 2021 from the Capital Reserve Fund established for the purpose of park and recreation development. The source of funds for this Capital Reserve Fund are impact fees levied upon new construction, as outlined in the schedule of fees and charges.

Park Fees Fund Balance Appropriation	\$475,000
--------------------------------------	-----------

Section 4. The following amounts are hereby appropriated for the fiscal year beginning July 1, 2020 and ending June 30, 2021 from the Capital Reserve Fund established for the purpose of street improvements and expansions. The source of funds for this Capital Reserve Fund are impact fees levied upon new construction, as outlined in the schedule of fees and charges.

No appropriation

Section 5. The following amounts are hereby appropriated for the fiscal year beginning July 1, 2020 and ending June 30, 2021 from the Capital Reserve Fund established for the water system. The source of funds for this Capital Reserve Fund are impact fees levied upon new construction, as outlined in the schedule of fees and charges.

No appropriation

Section 6. The following amounts are hereby appropriated for the fiscal year beginning July 1, 2020 and ending June 30, 2021 from the Capital Reserve Fund established for the wastewater system. The source of funds for this Capital Reserve Fund are impact fees levied upon new construction, as outlined in the schedule of fees and charges.

No appropriation

Section 7. There is hereby levied a tax at the rate of forty-six cents (\$0.46) per one hundred dollars (\$100) valuation of property as listed for taxes as of January 1, 2020, for the purpose of raising General Fund property tax revenues. A vehicle fee of \$20 is also hereby established and is levied on all vehicles registered within the corporate limits.

Section 8. The individual fees and charges listed within the schedule of fees and charges are authorized and approved in the amounts set forth in the schedule.

Section 9. The Town Manager is hereby authorized to transfer appropriations within a fund as contained herein under the following conditions:

- a. The budget officer may transfer up to \$5,000 between objects of expenditures within a department with an official report on such transfers done at least quarterly at a regularly scheduled meeting of the Town Board of Commissioners.
- b. The budget officer may transfer amounts up to \$5,000 between departments of the same fund with an official report on such transfers done at least quarterly at a regularly meeting of the Town Board of Commissioners.
- c. The budget officer may not transfer any amount between funds without an official amendment of the budget ordinance.

Section 10. Copies of this budget ordinance shall be furnished to the Town Clerk, the Budget Officer, and Finance Officer to be kept on file by them for their direction in the disbursement of funds.

Adopted this 2nd day of June 2020

Ronnie I. Currin
Town of Rolesville Mayor

Attest: _____
Robin E. Peyton
Town Clerk

**RESOLUTION AUTHORIZING THE WAKE COUNTY DEPARTMENT OF REVENUE
TO LEVY AND COLLECT PROPERTY TAXES**

WHEREAS, the Town of Rolesville Budget Officer prepared a budget for the 2020-21 fiscal year; and

WHEREAS, that budget was presented to the Mayor and Board of Commissioners on May 19, 2020; and

WHEREAS, a public hearing was held on June 2, 2020; and

WHEREAS, the Town Board of Commissioners approved the budget on June 2, 2020 with a tax rate of \$0.46 per the \$100 assessed value, a vehicle fee of \$20 per registered vehicle, and a solid waste fee of \$264 per year per residential household.

NOW THEREFORE LET IT BE RESOLVED, by the Town of Rolesville Mayor and Board of Commissioners that:

1. Wake County Department of Revenue and Revenue Administrator is hereby authorized, empowered, and commanded to levy and collect taxes set forth in the tax records filed in the Office of the Wake County Revenue Administrator in the amounts and from the taxpayers likewise therein set forth; and
2. That this resolution bestows the Wake County Revenue Administrator with full and sufficient authority to levy and collect any real and/or personal property taxes on behalf of the Town of Rolesville.

Adopted this 2nd day of June 2020

Ronnie I. Currin
Town of Rolesville Mayor

Attest: _____
Robin E. Peyton
Town Clerk

**CAPITAL PROJECT ORDINANCE
FOR THE TOWN OF ROLESVILLE**

BE IT ORDAINED by the Board of Commissioners of the Town of Rolesville, North Carolina that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following capital project ordinance is hereby adopted:

Section 1. The project authorized is the construction of sidewalk on East Young Street from just north of Louisburg Road to Quarry Road. The project will be financed by impact fees, funds from the North Carolina Department of Transportation, and funds from the North Carolina General Assembly.

Section 2. This capital project ordinance amends the previous capital project ordinance of November 9, 2017 in order to reflect the receipt of funds from the NC General Assembly.

Section 3. The officers of this unit are hereby directed to proceed with the capital project within the terms of the budget contained herein.

Section 4. The following amounts are appropriated for the project:

Engineering & Construction	\$690,000
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Section 5. The following revenues are anticipated to be available to complete this project:

Capital Reserve Fund for street improvements	\$250,000
NC DOT local project funds	250,000
NC General Assembly funds	<u>190,000</u>
	\$690,000

Section 6. The Finance Officer is hereby directed to maintain within the Capital Project Fund sufficient specific detailed accounting records. The Finance Officer is directed to include an analysis of past and future costs and revenues on this capital project in the annual budget submission made to the Board.

Section 7. Copies of this capital project ordinance shall be furnished to the Town Clerk, the Budget Officer, and Finance Officer for direction in carrying out this project.

Adopted this 2nd day of June 2020

Ronnie I. Currin
Town of Rolesville Mayor

Attest: _____
Robin E. Peyton
Town Clerk

**CAPITAL PROJECT ORDINANCE
FOR THE TOWN OF ROLESVILLE**

BE IT ORDAINED by the Board of Commissioners of the Town of Rolesville, North Carolina that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following capital project ordinance is hereby adopted:

Section 1. The project authorized is the implementation of the Main Street Vision Plan including the realignment of Burlington Mills Road near South Main Street and pedestrian and street improvements along South Main Street between Burlington Mills Road and Young Street.

Section 2. Previous funding was provided for through annual appropriations, now authorized for continued use. The amounts shown represent previous annual appropriations made during the lifetime of this project. No new appropriations are being made.

Section 3. The officers of this unit are hereby directed to proceed with the capital project within the terms of the budget contained herein.

Section 4. The following amounts are appropriated for the project:

	<u>FY18-19</u>	<u>FY19-20</u>	<u>Total</u>
Engineering	\$400,000	\$572,256	\$972,256

Section 5. The following revenues are anticipated to be available to complete this project:

	<u>FY18-19</u>	<u>FY19-20</u>	<u>Total</u>
Capital Reserve for street fees	\$200,000	\$310,000	\$510,000
Reimbursements		87,256	87,256
General Fund transfer	<u>200,000</u>	<u>175,000</u>	<u>375,000</u>
	\$400,000	\$572,256	\$972,256

Section 6. The Finance Officer is hereby directed to maintain within the Capital Project Fund sufficient specific detailed accounting records. The Finance Officer is directed to include an analysis of past and future costs and revenues on this capital project in the annual budget submission made to the Board.

Section 7. Copies of this capital project ordinance shall be furnished to the Town Clerk, the Budget Officer, and the Finance Officer for direction in carrying out this project.

Adopted this 2nd day of June 2020

Ronnie I. Currin
Town of Rolesville Mayor

Attest: _____
Robin E. Peyton
Town Clerk