



**Special Called Meeting Agenda  
Planning Board  
Tuesday, October 13<sup>th</sup>, 2020  
7:00 PM**

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**Item            Topic**

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Please refer to COVID-19 instructions for this meeting: <https://www.rolesvillenc.gov/agendas-minutes>

If you wish to join us via Zoom to watch a live broadcast of our meeting, please click here: <https://us02web.zoom.us/j/89968482975?pwd=eFhwaUxtZ2NvVnRQTklSWjEyYnpXUT09>  
Meeting ID: 899 6848 2975 Passcode: 567109

1.            Call to order
2.            Pledge of Allegiance
3.            Invocation
4.            UDO TA 20-04 Town Center Zoning District Text Amendment
5.            Adjournment

The Town of Rolesville is committed to providing accessible facilities, programs and services for all people in compliance with the American with Disabilities Act. Should you need assistance or a particular accommodation for this meeting please contact the ADA Coordinator.



# Memo

**To:** Rolesville Planning Board

**From:** Julie Spriggs, GISP, CFM, CZO, Planner II

**Date:** August 20, 2020

**Re:** Item 4. UDO Text Amendment: TA-20-04 Town Center

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## Summary Information

The Planning Board has participated in two joint work sessions with the Board of Commissioners on a text amendment for the Town Center District. Meetings were held on August 25, 2020, and September 22, 2020. The Town's consultant for the Unified Development Ordinance rewrite, Kimley-Horn, presented at both meetings.

On August 25, 2020, Kelley Klepper of Kimley-Horn introduced the project, and gave a presentation on the topics that are included in the text amendment such as a new Mixed-Use Zoning District, amending the Table of Permitted Uses and masonry ordinance, and creating parking, landscaping, buffering, and compatibility requirements, and updating the definitions.

On September 22, 2020, meeting Kelley Klepper of Kimley-Horn continued discussing the proposed text amendment and provided a draft. He reviewed proposed changes to Articles 2, 4, 5, 9, 10, 14, and 16 of the current Unified Development Ordinance.

The Rolesville Comprehensive Plan encourages revisions to the Unified Development Ordinance when the current standards are not following current demands and practices of the community's needs. The proposed text amendment will address such a condition of the UDO and will serve in the public interest. The change is consistent with the Rolesville Comprehensive Plan to create a new zoning district to increase the potential for vertical and horizontal mixed-use in key activity areas across Town and apply form-based code elements in the current zoning language to ensure quality construction standards and design. The determination of consistency is based on the following goals stated in the 2017 Rolesville Comprehensive Plan:

**Goal D1. Enhance existing and build new strong, and livable neighborhoods that support a walkable, mixed-use downtown.**

**Goal D2. Identify and enhance connections between downtown and neighborhoods.**

**Goal D3. Create a vital mix of uses that provide a place for people to live, work, and play while supporting regional employment and office opportunities.**

**Goal D4. Plan a system of open spaces, traffic circulation, public and private parking, and pedestrian infrastructure to ensure users can easily find their way, park, and walk to their destinations.**

**Goal D5. Create a human-scale streetwall and development consistent with a walkable environment. Provide appropriate regulation on the size and form of buildings to create a unique identity for downtown that will attract investment and opportunity.**

### **Planning Staff Recommendation**

Staff recommends approval of the UDO TA 20-04, Town Center Text Amendment, and to make the necessary statutory findings and recommendations to the Town Board of Commissioners.

### **Suggested Planning Board Motion:**

I make a motion to favorably recommend to the Town Board of Commissioners to approve the requested UDO Text Amendment 20-04, Town Center Text Amendment. The request is consistent with the Rolesville Comprehensive Plan to create a new zoning district to increase the potential for vertical and horizontal mixed-use in key activity areas across Town and to apply elements of form-based code in the current zoning language to ensure quality construction standards and design of five stated goals of the Rolesville Comprehensive Plan.

### **Attachments:**

TA 20-04 Ordinance UDO TA 20-04 Town Center

**PROPOSAL TO AMEND  
THE CODE OF ORDINANCES,  
TOWN OF ROLESVILLE, NORTH CAROLINA  
Case Number UDO TA 20-04**

WHEREAS, North Carolina General Statute Section NC Chapter 160A; Article 19, Part, Zoning; Section 160A-381, Grant of power; authorizes local governments by ordinance to regulate and restrict the height, number of stories and size of buildings and other structures, the percentage of lots that may be occupied, the size of yards, courts and other open space, the density of population, the location and use of buildings, structures, and land; and

WHEREAS, the Town of Rolesville Board of Commissioners firmly believes that it is in the public interest to amend the Town's Unified Development Ordinance described below.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN BOARD OF  
COMMISSIONERS OF THE TOWN OF ROLESVILLE, NORTH CAROLINA:**

**SECTION 1. That Article 2: General Administration; Section 2.1 Board of Commissioners; Subsection 2.1 (2), be amended to read as follows:**

- Addition
- Deletion
- ✓ Alteration (additions are *italicized* and deletions are ~~struck through~~)

2.1(2) To review, hear, consider and approve, approve with conditions, or disapprove as appropriate:

- (a) The adoption of an ordinance to amend the Rolesville Official Zoning Map (rezoning); provided, however, the final action by the Town Commissioners shall include the adoption of a statement describing whether its action is consistent with the Comprehensive Plan and any other applicable town-adopted plan(s) and explaining why the Commissioners considers the action taken to be reasonable and in the public interest).
- (b) Applications for special use permits.
- (c) Applications for site plans.
- (d) Applications for master subdivision plans.
- (e) Applications for preliminary subdivision plats.
- (f) Alternative Parking Plans (See Section 10.1.11).**
- (g) Design Alternatives, where permitted in this UDO.**

**SECTION 2. That Article 4: Zoning Districts; Section 4.1 Establishment of Purposes of Districts, subsection 4.1.1 be added to read as follows:**

- ✓ Addition
- Deletion
- Alteration (additions are *italicized* and deletions are ~~struck through~~)

**A. Purpose and Intent. The Town of Rolesville recognizes the importance of compact and urban forms of development centered on a mix of uses, residential and nonresidential, with specific design and development related standards. The Town's adopted comprehensive plan identifies recommended mixed-use neighborhoods, including the Town Center area, each with its representative and unique standards. Standards applicable to development within the Town Center (TC) shall apply to all parcels designated as Town Center (TC) on the Official Zoning Map. Standards are defined in Section 5.11.**

**SECTION 3. That Article 5: Use and Dimensional Standards; Section 5.1 Table of Permitted Uses, be amended to read as follows:**

- Addition
- Deletion
- ✓ Alteration (additions are *italicized* and deletions are ~~struck through~~)

	R80W	R40W	R1	R1-2	R1-D	R2	R2-D	R3	RMH	RuMH	UMH	C	CO	CH	OP	I	<u>TC</u>
Above ground storage of petroleum products (NFPA rules may apply)													S	S		S	
Adult day care															S		
Adult entertainment																S	
Amusement, recreation, and sporting goods manufacturing																X	
Animal hospital or												X	X	S			<u>X</u>

veterinary clinic																
Animal service facility											S	S	S		S	<u>S</u>
Art, dance, or photo studios											S	S	S	S		<u>X</u>
Automobile carwash (use of recycled water only and UDO Article 8 standards)												S	S			
Automobile detailing											X	X	S			
Automobile parts and accessories manufacturing															X	
Automobile repair garages (UDO Article 8)											S	X	S			
Automobile service stations											S	S	S			
Banks											X	X	S	X		<u>X</u>
Bar/tavern/nightclub											S	S	S			<u>S</u>
Barber and Beauty shops											X	X	S	X		<u>X</u>



Dwelling - multi family					S	S	S	S									<u>X</u>
Dwelling - manufactured home									X	X	X						
Dwelling - manufactured home park									X		S						
Drugs, medicines, and cosmetic manufacturing																X	
Eating establishment												X	X	S			<u>X</u>
Eating establishment-no drive thru															X		<u>X</u>
Electronic equipment manufacturing																X	
Electronic gaming operation (see 8.3.10 for additional standards)												S	S	S			
Event venue												S	S	S	S	S	<u>S</u>
Farm machinery assembly, repair, and sales																X	
Farming and trucking	X	X	X		X	X	X		X	X	X						

Food truck												X	X	S		X	<u>X</u>
Food truck uses												X	X	S		X	<u>X</u>
Fitness center												S	S	S	S		<u>S</u>
Funeral home and crematory												X	X	S	X		
Furniture manufacturing																X	
Golf courses and driving range													S	S			
Governmental facilities	S	S	S	S	S	S	S		S	S	S	X	X	S	X		<u>X</u>
Group care homes (defined by §168 for handicap persons, UDO Articles 3 and 16)	X	X	X	X	X	X	X		X	X	X						
Group housing projects (UDO Article 8.3)			S			S	S	S									
Hardware and housewares manufacturing																X	
Home occupations	X	X	X		X	X	X	X	X	X	X		X	S			<u>X</u>





(associated with §160A-385.1)																	
Schools (public and private)	x	x	x		x	x	x		x	x	x		x	s			<u>s</u>
Shopping centers (provided us is listed within this table)												x	x	s			<u>x</u>
Signs	x	x	x	x	x	x	x	x	x	x	x	x	x	s	x	x	<u>x</u>
Storage (provided not visible from street and opaque wall/fence with height of six feet)																x	
Storage (provided not visible from street)												x	x	s	x		<u>s</u>
Uses and buildings customarily accessory to the permitted use (UDO Article 5.5)												x	x	s	x	x	<u>x</u>
Uses in accessory buildings (UDO Article 5.5)	x	x	x	x	x	x	x	s	x	x	x	x	x	s	x	x	<u>x</u>

Temporary uses (with development standards)			S		S	S	S	S	S	S	S	S	S	S	S	X	<u>S</u>
Textiles and cordage manufacturing																X	
Vehicle sales lots (parking areas for vehicles are paved with asphalt or concrete)												X	S				
Wrecker service and vehicle storage												S	S			S	

**SECTION 4. That Article 5: Use and Dimensional Standards; Section 5.11 Town Center (TC) Standards be added to read as follows:**

- ✓ Addition
- Deletion
- Alteration (additions are *italicized* and deletions are struck through)

**5.11. TOWN CENTER (TC) STANDARDS**

- A. Standards. District development standards are defined for the TC district via a district development standards table and apply to all properties within the TC district.**
- B. Measurement of Development Standards. The measurement of development standards included within the TC district are defined in various Sections of this UDO. Each standard within the district development standards table provides a reference to the applicable Section where measurements of the standard are provided. Design alternatives may be requested consistent with Section 2.1(2).**
- C. Permitted Uses. Uses permitted shall be as identified in Table 5.1: Table of Permitted Uses.**
- D. TC District Development Table. District development standards are defined for the TC district via Table 5.11: TC District Development Standards.**

**Table 5.11. TC District Development Standards**

<b><u>STANDARDS</u></b>		<b><u>TC REQUIREMENTS</u></b>
<b><u>Building Height (See Section 16.4)</u></b>		<b><u>Min: Two Stories</u></b> <b><u>Max: Three Stories (By Right)</u></b> <b><u>Five Stories Permitted By Design Alternative, Reviewed By Board Of Commissioners</u></b> <b><u>Maximum 60 Feet In Height With An Interior Sprinkler Or Fire Suppression System Is Required. If No Sprinkler Or Fire Suppression System Is Provided, The Building Shall Not Exceed 35 Feet in Height</u></b> <b><u>Building Heights Above Three Stories Require Additional Compatibility Standards Per Section 16.4</u></b>
<b><u>Density</u></b>		<b><u>20 Units/Acre (Single-Use Residential Building)</u></b> <b><u>(No Density Standard For Upper Story Residential When Part Of A Mixed-Use Building, And / Or Live-Work Unit)</u></b>
<b><u>Building Placement (see Section 16.4) (min/max) *1 *2 *3 *4 see also Streetwalls</u></b>	<b><u>Front/Street</u></b>	<b><u>0'/20'</u></b>
	<b><u>Side</u></b>	<b><u>0'/15'</u></b>
	<b><u>Rear</u></b>	<b><u>0'/45'</u></b>
<b><u>Lot (See Section 16.4)</u></b>	<b><u>Length (min)</u></b>	<b><u>50'</u></b>
	<b><u>Width (min)</u></b>	<b><u>25'</u></b>
	<b><u>Coverage (min/max)</u></b>	<b><u>25% / 100%</u></b>
<b><u>Frontage (See Section 16.3)</u></b>	<b><u>% Requirement</u></b>	<b><u>50%</u></b>
	<b><u>Active Use Areas</u></b>	<b><u>Permitted; Maximum Length: 25' or 75% of Building Frontage (Whichever is Less)</u></b> <b><u>Maximum AUA Depth: 10'</u></b>
	<b><u>Encroachments (Upper Story Only; Only)</u></b>	<b><u>Maximum Length: 50% of Building Frontage</u></b> <b><u>Maximum Encroachment: 6'</u></b> <b><u>Minimum Clearance: 8'</u></b>
	<b><u>Where Clear Of Public Utilities)</u></b>	<b><u>Balconies, Awnings, And Porches Are Permitted Encroachments</u></b>
	<b><u>Entrances</u></b>	<b><u>Front (Primary Street-Facing); Corner Lots May Orient Entrances To The Corner Or Provide An Additional Entrance Oriented To The Secondary Street)</u></b>
<b><u>Landscaping (See Section 14.13)</u></b>		<b><u>Property Perimeter, Parking Perimeter And Vehicle Use Areas) And Service Areas; Foundation Plantings</u></b> <b><u>Permitted Open Space Types: Green, Commons, Square, Plaza</u></b>
<b><u>Building and Site Design</u></b>		

<u>Architectural Standards (see Section 16.3)</u>	<u>Minimum 40% Transparency For The Ground Floor, Minimum 35% For Upper Floors</u> <u>Maximum 30 Square Feet Blank Wall Area</u> <u>Blank Walls Not Permitted Facing Any Public Street Frontage Or Traditional Zoning District</u>
<u>Maximum Single-Use/Building size (excluding residential only structures)</u>	<u>35,000 Square Feet</u> <u>No Size Limits For Mixed-Use Buildings</u>
<u>Maximum Blank Wall (see Section 16.3)</u>	<u>Maximum 50 Square Feet Blank Wall Area Or 15% Of The Total Wall Area</u> <u>A Maximum 25' In Length Without A Compliant Design Feature</u>
<u>Minimum Transparency % (by story) (see Section 16.3)</u>	<u>40% Transparency On First Story, 35% Transparency For Each Story Above</u>
<u>Drive-Through Locations</u>	<u>Side Or Rear Only; Not Adjacent To The Primary Street</u>
<u>Street Walls Required (see Section 16.3) *5</u>	<u>Drive-Throughs</u> <u>Parking Areas (Excluding On-Street Parking) Fronting Public Streets</u> <u>May Be Utilized To Meet The Building Frontage Requirements</u>
<u>Rooflines *6</u>	<u>Only Flat And Gable Roofs Are Permitted; Parapets May Extend 36" Above The Roofline; Mansard Roofs Are Prohibited</u>

**Table 5.11. Additional Standards:**

**\*1 = Subject to Compatibility/Perimeter Standards provided in Section 14.13.3.**

**\*2 = Measured from the edge of the public right-of-way or existing public sidewalk if not located within the right-of-way.**

**\*3 = Building placement dimensions may be varied administratively, by the Planning Director.**

**\*4 = An administrative exception may be granted for side building placement that utilize fire-rated separation walls within 10 feet of side property lines, per compliance with 601 NCSBC-2018, Table 601 and Table 602.**

**\*5 = Streetwalls shall be constructed of brick, masonry, stone, wrought iron, or other solid decorative materials. Wood, fencing, and chain link are prohibited materials for a streetwall. Streetwalls shall be a minimum of three (3) feet and a maximum of four (four) feet in height. Breaks in streetwalls are permitted to allow for pedestrian or vehicular access, recessed storefront entrance, plazas, or for tree protection. On corner parcels, the corner of the building may be recessed from the front and side property lines on a diagonal. A design alternative, reviewed by the Board of Commissionres, may be requested for a continuous hedge. Streetwalls or combination of streetwalls and canopy trees (no hedge or opaque walls) are required where buildings do not front a public ROW.**

**\*6 = Building rooflines that face a street shall not exceed a linear distance of 35 feet without the introduction of a physical articulation of no less than one (1) foot in the vertical direction.**

**SECTION 5. That Article 9: Additional Development Standards; Section 9.14 Masonry Ordinance, subsection 9.14.1 be amended to read as follows:**

- Addition
- Deletion
- ✓ Alteration (additions are *italicized* and deletions are ~~struck through~~)

A. The requirement for brick exterior wall construction shall apply to any non-residential structure that is approved after the effective date of this Ordinance. *Development within the Town Center district shall be exempt from the masonry ordinance.*

**SECTION 6. That Article 10: Parking and Loading Requirements; Section 10.1 Off-Street Parking Requirements be added to read as follows:**

- ✓ Addition
- Deletion
- Alteration (additions are *italicized* and deletions are ~~struck through~~)

*10.1.11 TOWN CENTER PARKING REQUIREMENTS. The following shall be the allowable range of off-street parking spaces provided for uses within the Town Center District. The following standards shall be applied to uses, as illustrated on a concept plan, site plan or similar document.*

<u><i>USES</i></u>	<u><i>NUMBER OF REQUIRED OFF-STREET PARKING SPACES</i></u>	
	<u><i>MINIMUM REQUIRED</i></u>	<u><i>MAXIMUM ALLOWED</i></u>
<u><i>MIXED-USE RESIDENTIAL</i></u>	<u><i>One and one-quarter space per dwelling unit<sup>*1</sup></i></u>	<u><i>Two and one-half spaces per dwelling unit</i></u>
<u><i>MIXED-USE NONRESIDENTIAL</i></u>	<u><i>Two and one-half spaces for each 1,000 square feet of gross floor area</i></u>	<u><i>Five spaces for each 1,000 square feet of gross floor area</i></u>
<u><i>Notes</i></u> <i>*1: Includes guest parking</i>		

*A. Town Center Parking. It is understood that due to its nature, the TC district shall allow for lower off-street parking requirements than traditional zoning districts. Parking within this district may allow for on-street parking, parking structures, and alternative parking plans. The numbers above assume a mixed-use development. For developments not of a mixed-use nature, the standard parking rates per Section 10.1.10 shall apply.*

*1. On-Street Parking. Up to ten percent of the required off-street parking may be provided through on-street parking. On-street parking shall be located within 1,000 feet walking distance of the building for which it is used, along an*

improved path, sidewalk, or similar constructed facility, and maybe counted toward the required off-street parking requirements.

2. Parking Structures. Parking structures may be permitted but shall require approval by the Board of Commissioners as part of a site plan per the review process defined in Section 2.1 and the standards defined in Section 14.2.1.
  
3. Alternative Parking Plan (APP). An applicant may propose an alternative parking plan (APP) if off-street parking requirements cannot be met. The Board of Commissioners shall accept an APP in place of the parking requirements for a proposed use, only if the below requirements are met:
  - a. A parking study must be submitted that is prepared by a registered Professional Engineer or Certified Land Use Planner.
  - b. The study must include the size, type, and proposed use(s) of the development; anticipated peak parking; anticipated normal parking amounts; and a narrative and data as to why the parking requirements of the proposed development are unique in nature.
  - c. An APP shall be granted only where the narrative and data provided by the registered Professional Engineer or Certified Land Use Planner clarify the need for the APP, the context of the APP, consequences of the APP, and that the APP will not constitute a public nuisance or detriment to the Town, including but not limited to parking in non-designated areas, blocking of traffic, restriction of access (both vehicular and pedestrian), and public safety.

SECTION 7. That Article 14: Landscape and Appearance Standards; Section 14.13 Town Center Landscaping, Buffering, and Compatibility be added to read as follows:

- ✓ Addition
- Deletion
- Alteration (additions are italicized and deletions are ~~struck through~~)

### 14.13 TOWN CENTER LANDSCAPING, BUFFERING, AND COMPATIBILITY

#### 14.13.1 TOWN CENTER OPEN SPACE

- A. Intent. Open space provides and serves the Town Center (TC) district with active and passive recreational opportunities. Open space shall be provided at all levels to ensure an appropriate mix. Stormwater management practices, such as storage and retention facilities, may be integrated into open space types and utilized to meet stormwater requirements for surrounding parcels per this Section.
  
- B. Stormwater Features. Stormwater features may be designed as formal or natural amenities with additional uses other than stormwater management, such as an amphitheater, sports field, or a pond as part of the landscape design. Where stormwater features are used for open space purposes of this Section, stormwater

features shall not be fenced and shall not impede public use of the land they occupy. Stormwater features may be counted towards a percent of the required open space based on the criteria noted in Table 14.13.1.2.

C. Open Space Size/Acreage. For the purposes of this Section, open space sizes are identified in Table 14.13.1.1. The sizes may be modified by a design alternative, approved by the Board of Commissioners based on the location, facilities / amenities provided, or similar. The following shall apply:

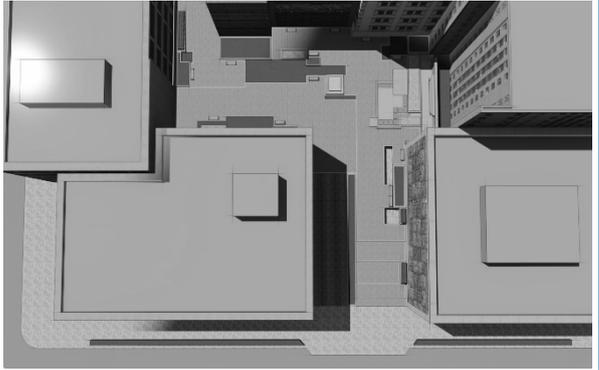
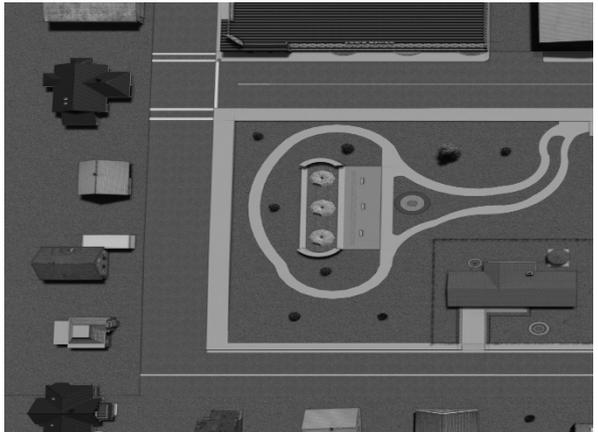
1. Mixed-Use and Non-Residential Development: Shall set aside ten (10) percent of the total development as open spaces uses.
2. Residential Development: Shall set aside one (1) acre for each fifty (50) residential units provided.

D. Additional Open Space Standard. Development or redevelopment shall provide the following: Development shall provide one or more of the open space sizes and corresponding open space types meeting the set-aside standards above. For development greater than ten (10) acres, at least one (1) medium and at least one (1) large open space size type shall be provided. This standard may be modified by a design alternative, approved by the Board of Commissioners based on the type and size of the open space proposed, provided there is no decrease in open space provided. Open space types and requirements are identified in Table 14.13.1.1 and Table 14.13.1.2.

Table 14.13.1.1. Open Space (Size/Acreage)

<u>Open Space Size</u>	<u>Acreage (range)</u>
<u>Small</u>	<u>0.25 – 1.5</u>
<u>Medium</u>	<u>1.5 – 5.0</u>
<u>Large</u>	<u>5 or greater</u>

**Table 14.13.1.2. Open Space Types**

<u>Open Space Type</u>	<u>Illustrative</u>
<p><u>Plaza</u> <u>Description:</u> <u>Plazas are generally small to medium scale; serves as a gathering place for civic, social, and commercial purposes. The Plaza may contain a greater amount of impervious coverage than any other open space type. Typically located in the front or sides of a building or group of buildings; plazas may not be located in the rear of the building or property except as approved as part of a zoning permit.</u></p> <p><u>Components:</u> <u>Size: Small, Medium</u></p> <p><u>Features: Shade structures, seating/benches, tables, including gaming tables; Special features, such as fountains and public art, are encouraged.</u></p>	
<p><u>Pocket Park</u> <u>Description:</u> <u>Pocket parks are generally small in scale; primarily landscaped active or passive recreation and gathering space within a one-quarter mile walking distance of a majority of residents.</u></p> <p><u>Components:</u> <u>Size: Small</u></p> <p><u>Features: Shade structures, gazebo, seating areas, multi-purpose lawn space, playground/play space, trail; may also be formed around and include an environmental feature such as a stream, creek, or wetland.</u></p>	

## Square

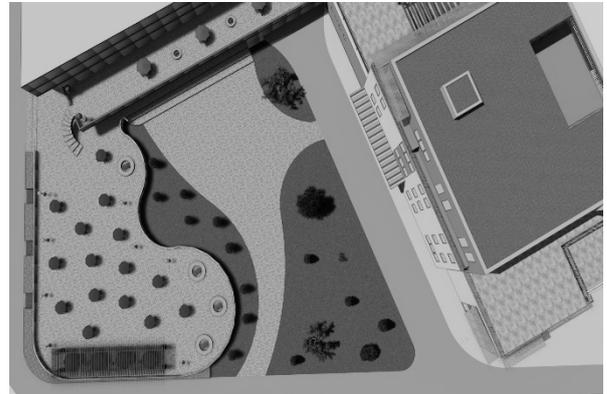
### Description:

Squares are small to medium in scale; serve as a more formal open space for gathering for civic, social, and commercial purposes. Squares are typically rectilinear in shape and are bordered on all sides by a vehicular right-of-way (public and/or private), which, together with building frontages, creates its definition and boundaries.

### Components:

Size: Small, Medium

Features: Shade structures, gazebo, seating areas, multi-purpose lawn space, playground/play space, sidewalks, or other pedestrian facilities.



## Green

### Description:

Greens are generally small to medium scale; provide more informal spaces supporting active or passive recreation for neighborhood residents within walking distance. Typically bounded by streets and/or the fronts of buildings.

### Components:

Size: Small, Medium

Features: Shade structures, gazebo, seating areas, multi-purpose lawn space, playground/play space, limited/small scale recreational facilities.



### Linear Park

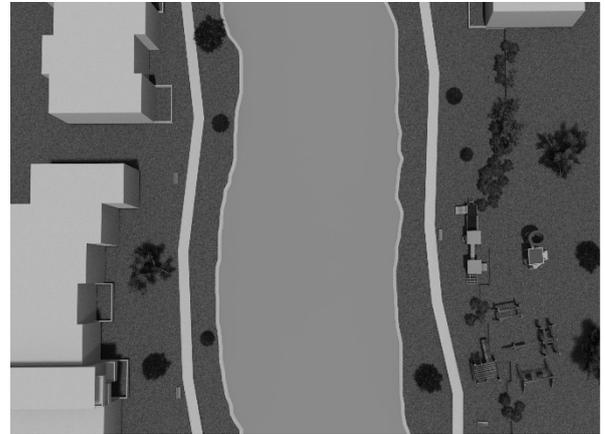
#### Description:

Linear parks are presumed to be medium to large scale; may also be referred to and used as a greenway; may be formalized based on its function (i.e., multimodal trail/connectivity), typically follow a natural feature including but not limited to a stream, wetland system, or man-made feature natural feature; may also follow streets. Linear Parks may connect other open spaces as well as neighborhoods.

#### Components:

Size: Medium, Large

Features: Walking trails, sidewalks, environmental features (wetlands, creeks, streams), shade structures, gazebo, seating areas, multi-purpose lawn space, playground/play space. Human-made lakes and stormwater features are included in this type; however, they must be publicly accessible with a trail or sidewalk. A maximum of 25% of the area of human-made lakes and stormwater features can be counted as open space.



### Neighborhood Park

#### Description:

Neighborhood parks are generally medium to large scale; provides formal and/or informal active and passive recreational activities to residents and the community.

#### Components:

Size: Medium, Large

Features: Shade structures, gazebo, seating areas, multi-purpose/sports fields, pools and



splash pads, great lawn playground/play space, natural environments, and plantings. Human-made lakes and stormwater features are included in this type; however, they must be publicly accessible with a trail or sidewalk. A maximum of 25% of the area of human-made lakes and stormwater features can be counted as open space.

#### 14.13.2 TOWN CENTER BUFFERING

- A. Intent. Perimeter Buffer areas shall consist of a landscaped buffer intended to mitigate and screen the property from adjacent properties and public right-of-way.
- B. Perimeter Buffer Area Standards. This Section describes minimum perimeter buffering standards for the TC district. A perimeter buffer (i.e. buffer) area is determined exclusive of any required yard; however, perimeter buffers may be located in required yards. Buffer areas must be located within the outer perimeter of the lot, parallel to and extending to the lot line. Buffers are located and measured from the property line. No buildings, structures, principal or accessory uses are allowed in the buffer. Only the items identified in this Section are permitted within the buffer.
- C. Location. Perimeter buffers begin at the common property line, immediately abutting the adjacent property. Where there is a perimeter easement (such as a drainage or utility easement) that does not allow for the installation of the buffer, then the required buffer shall be placed as close to the property line, adjacent to the easement, as possible.
- D. Permitted Items Within Buffers. Required and additional plant materials, fences, walls, and berms are permitted in a buffer.
- E. Plant Material. Required plant material, including ground cover and lawn grasses, shall be planted within the buffer. Plant material may be planted parallel to the buffer perimeter or may be meandered for aesthetic purposes. Required plant material may not be clustered and shall be planted in accordance with this Section and Article 14: Landscape and Appearance Standards. Buffers may incorporate greater width and additional plant materials. Perimeter buffer types standards are defined and illustrated in this Section.
- F. Fences and Walls. Required fences and walls shall be installed in accordance with Section 14.6.9: Existing Vegetation, Fences, Walls, and Berms. Required fences

and walls shall be inside the buffer, not along the outer perimeter and boundary line. Required plant material shall be installed in front of any required fence, so the required plant material is completely visible from the adjacent property or right-of-way.

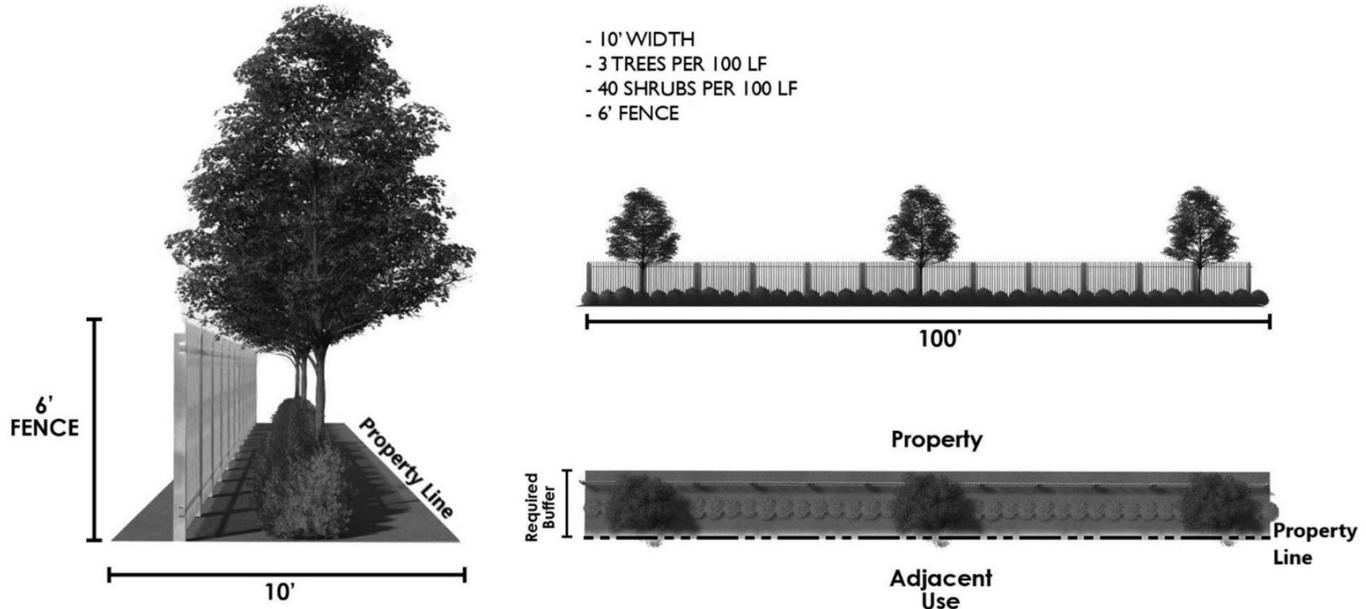
Perimeter Buffer Types. The TC district shall require the minimum perimeter buffer defined in Table 14.13.2.

Table 14.13.2. TC Perimeter Buffer Type Table

<u>Standard</u>	<u>Measurement</u>
<u>Minimum Width</u>	<u>10'</u>
<u>Minimum Canopy Trees</u>	<u>3</u>
<u>Minimum Understory Trees</u>	<u>N/R</u>
<u>Minimum Shrubs</u>	<u>40</u>
<u>Minimum Fence</u>	<u>6'</u>
<u>Minimum Wall</u>	<u>N/R</u>
<u>Minimum Berm</u>	<u>N/R</u>
<p><u>Key:</u></p> <ul style="list-style-type: none"> <li>• <u>N/R = Not Required</u></li> </ul> <p><u>Notes:</u></p> <ul style="list-style-type: none"> <li>• <u>Measurements provided are per 100 linear feet.</u></li> <li>• <u>Fences and walls are measured in height consistent with this UDO.</u></li> <li>• <u>Trees and plants may not be clustered to achieve requirements; a maximum allowable 10' gap may be permitted.</u></li> <li>• <u>Minimum shrubs may be double staggered.</u></li> <li>• <u>Canopy trees may be on both sides of a wall as long as a minimum one-half of the required canopy trees are in front.</u></li> <li>• <u>Required parking area buffers and standard buffers between lots are still required in addition to required buffer types per Article 14.</u></li> </ul>	

TC Perimeter Buffer Illustration. The following image shows an example of a TC perimeter buffer. The image is for illustrative purposes only.

TC Perimeter Buffer



14.13.3 TOWN CENTER COMPATIBILITY

A. Compatibility Standards. Recognizing that mixed-use districts feature a unique mixture of uses and that the TC district abuts non-mixed-use districts, this Section intends to promote compatibility between these districts. Note: These standards apply to those uses and buildings located at the perimeter of the TC district and not internal to the district. There are no additional buffering requirements if a public right-of-way of at least 50' in width separates the uses. This Section identifies "compatibility transition areas" which are intended to provide greater predictability by minimizing potential incompatibilities. The area of compatibility transition areas shall be provided within the TC district. The standards/dimensions provided in this Section may be modified as part of a design alternative, approved by the Board of Commissioners, provided that the intent of this Section is retained. Furthermore, the standards in this Section may be modified based on the type of lot in which the standard is being applied (i.e., shallow lot).

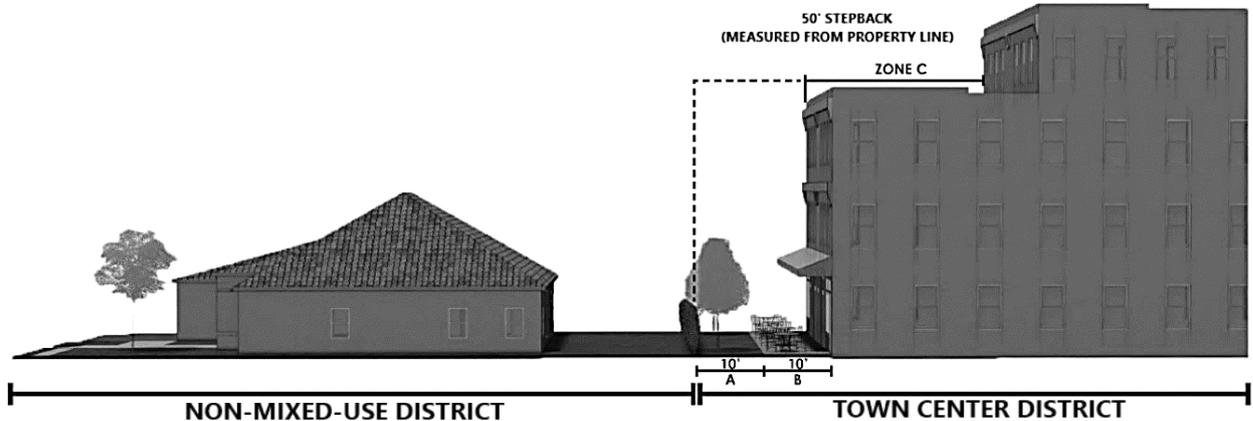
B. Compatibility Transition Areas. Figure 14.13.3 illustrates the locations of the TC district "compatibility transition areas", and a non-mixed-use district. Note: The dimensions noted in these figures are for illustrative purposes only; the specific dimensions and requirements for each area are provided in the following Sections.

A = "Buffer"

B = "Use Restriction"

C= "Height and Form"

Fig. 14.13.3. Compatibility Transition Areas Graphic



A: Buffer

- a. Intent. Consists of a landscaped buffer intended to buffer and screen the non-mixed-use district from the TC district. No buildings, structures, principal or accessory uses are allowed in the buffer other than permitted in this subsection.
- b. Location. It begins at the common property line, immediately abutting the TC district boundary line and the adjacent property.
- c. Width. Consists of a minimum 10' landscaped buffer, with 1 canopy tree per 30 linear feet of the boundary line, and a 4' tall continuous hedge or 3' tall knee wall located at the property boundary line. A 6' tall masonry wall may be substituted for the hedge and knee wall as part of a design alternative, approved by the Board of Commissioners. The minimum 10' landscaped buffer shall be maintained.
- d. Permitted Uses
  - i. Landscaping
  - ii. Open spaces (plazas, parks, commons)
  - iii. Swales, low-impact/ bioretention facilities.
- e. Design and Installation
  - i. Required landscaping in a buffer yard must meet the design and installation requirements of Article 14.

B: Use Restriction

- a. Intent. Compatibility Transition Area B shall be occupied by open areas and/or low intensity uses, such as surface parking, alleys, landscaping, active use areas, outdoor dining, and limited service-related structures. Primary uses and accessory uses shall not be permitted in Area B unless expressly permitted in this subsection. If no uses are proposed within Area

- B, Area B may be combined with Area A for an expanded buffer / green space, including parks, plazas, or similar open spaces.*
- b. Location. It begins at the edge of the protective yard of Area A and extends towards Area C and / or the primary structure(s).*
- c. Width. Shall be a minimum of 10 feet in width.*
- d. Permitted Uses/Activities:*
  - i. Yard - 1 tree every 30 linear feet.*
  - ii. Garden, park, open space.*
  - iii. Outdoor dining.*
  - iv. Path, walkway, sidewalk, multi-use recreational trail.*

**C: Height and Form**

- a. Intent. Provided to mitigate potential visual nuisances that height may bring and is intended to restrict the height and form of development to decrease the potential impact of new mixed-use multi-story structures on traditional zoning use districts.*
- b. Location. It begins at the edge of Area B and extends inward.*
- c. Width. Measures, from the property line, a minimum of 20' inward (subject to the widths of Area A and B). No structure shall be placed within Area A and B except through a design alternative, approved by the Board of Commissioners Area C permits the by-right height.*

*C. Form Standards. The sides and rear facade of the building that faces the general use district shall meet the architectural requirements of Section 4.1.1: Mixed-Use District – Town Center (TC), with respect to windows, architectural features, and transparency requirements.*

*D. Shallow Lots. Recognizing that existing lots of record may not meet the proposed lot standards and/or potentially further inhibit and potentially limit a property's development, special considerations may be applied as part of a zoning permit and a corresponding design alternative, approved by the Board of Commissioners. An existing lot of record less than 100 feet in depth may apply a 0.5x Ratio Effect Compatibility Scale to the Area A, Area B, and Area C standards. The Board of Commissioners, through a design alternative, may allow the combination of Area A and Area B Permitted Uses and Activities within the reduced Area widths. Design alternatives proposing a reduction of Area A, Area B, and or Area C standards of the Ratio Effect Compatibility Scale must provide at a minimum a 10 foot Area A including the required canopy trees with a 6' tall opaque masonry wall and be approved by the Board of Commissioners.*

SECTION 8. That Article 16: Definitions; Section 16.4 Town Center District Standards Definitions be added to read as follows:

- ✓ Addition
- Deletion

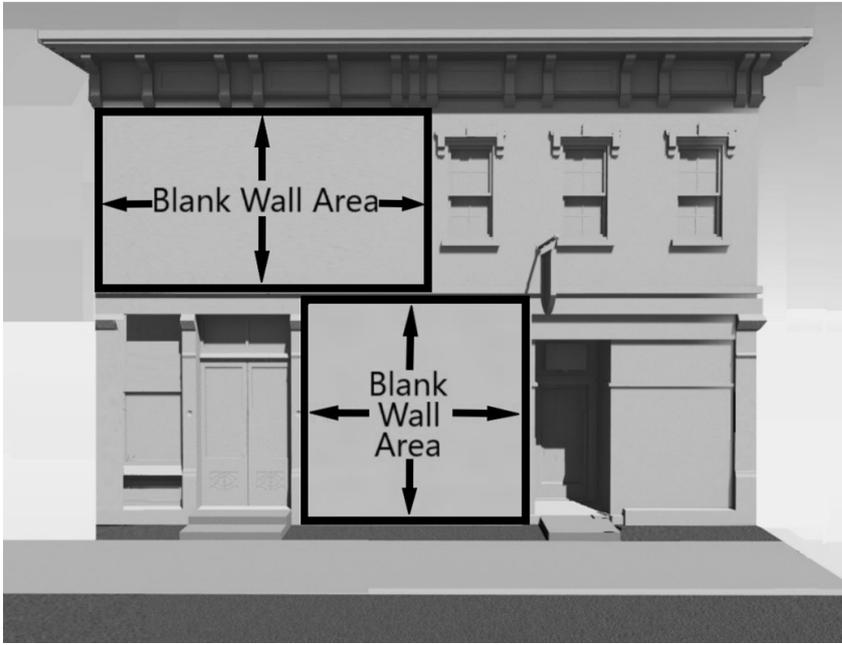
Alteration (additions are *italicized* and deletions are ~~struck through~~)

#### **16.4 TOWN CENTER DISTRICT STANDARDS DEFINITIONS**

**The following standards are specific to the Town Center district within the Town of Rolesville. Due to the nature of mixed-use districts, which implement elements of form-based codes, the development standards in this Section have been adopted herein.**

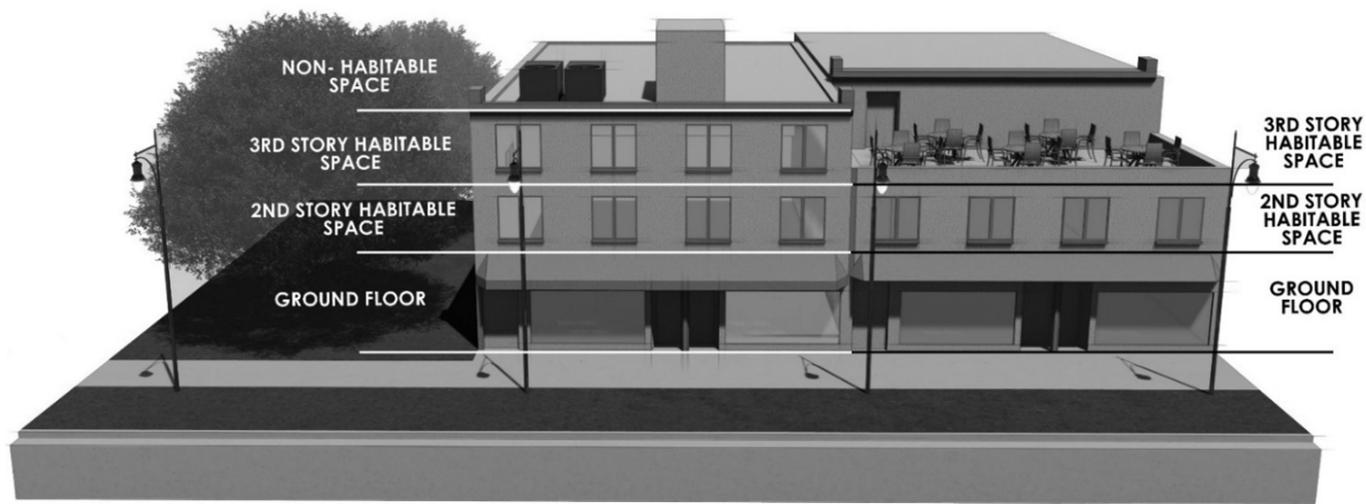
**BLANK WALL AREA. Blank Wall Area shall refer to portions of an exterior façade that does not include windows, doors, columns, pilasters, architectural features greater than one (1) foot in-depth, or a substantial material change and is displayed. Paint shall not be considered a significant material change. Blank wall area applies in both a vertical and horizontal direction of the building façade and applies to ground floors and upper floors.**

**Figure 16.4.1. Blank Wall Area**



**BUILDING HEIGHT: Building Height shall be defined by stories rather than exclusively expressed in feet within the TC district. However, each story shall also have maximum height limitations described in feet. Height is limited to a maximum story allowance in Table 4.1.1.2: TC District Development Standards.**

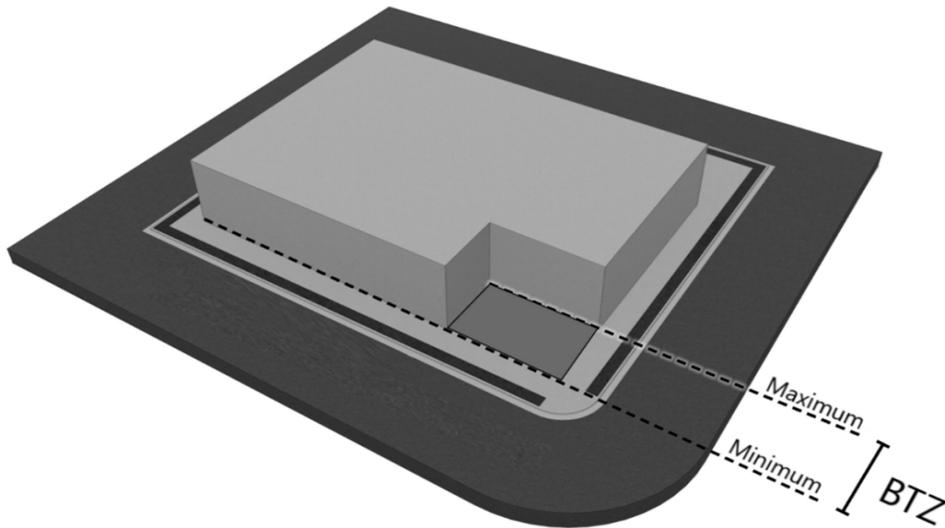
**Figure 16.4.2. Building Height**



**BUILDING HEIGHT STORY:** *To calculate the height of a story, the ground floor (i.e., first story) of a structure shall be a maximum of 15 feet. Additional stories shall be a maximum of 12 feet for each individual story. Building heights are limited through Table 4.1.1.2: TC District Development Standards. To allow for a wide variety of building designs, requests to modify the allowable height of stories, so long as the maximum permitted height of the structure is not exceeded, may be permitted through a design alternative. Stories are understood to also include the habitable space of a building, excluding rooflines, architectural features, or similar. If there is habitable space on the rooftop of a structure (i.e. an active eating area, pool, or rooftop lounge), this shall constitute a story as defined in this UDO. Non-habitable rooftop architectural elements such as cornices, porch roofs, turrets, towers, or dormers and are limited to ten (10) feet in height. Non-habitable rooftop structures, such as structures used for sheltering mechanical and electrical equipment, tanks, elevators, and related machinery, shall be limited to fifteen (15) feet in height, not including base floor elevation (B.F.E.).*

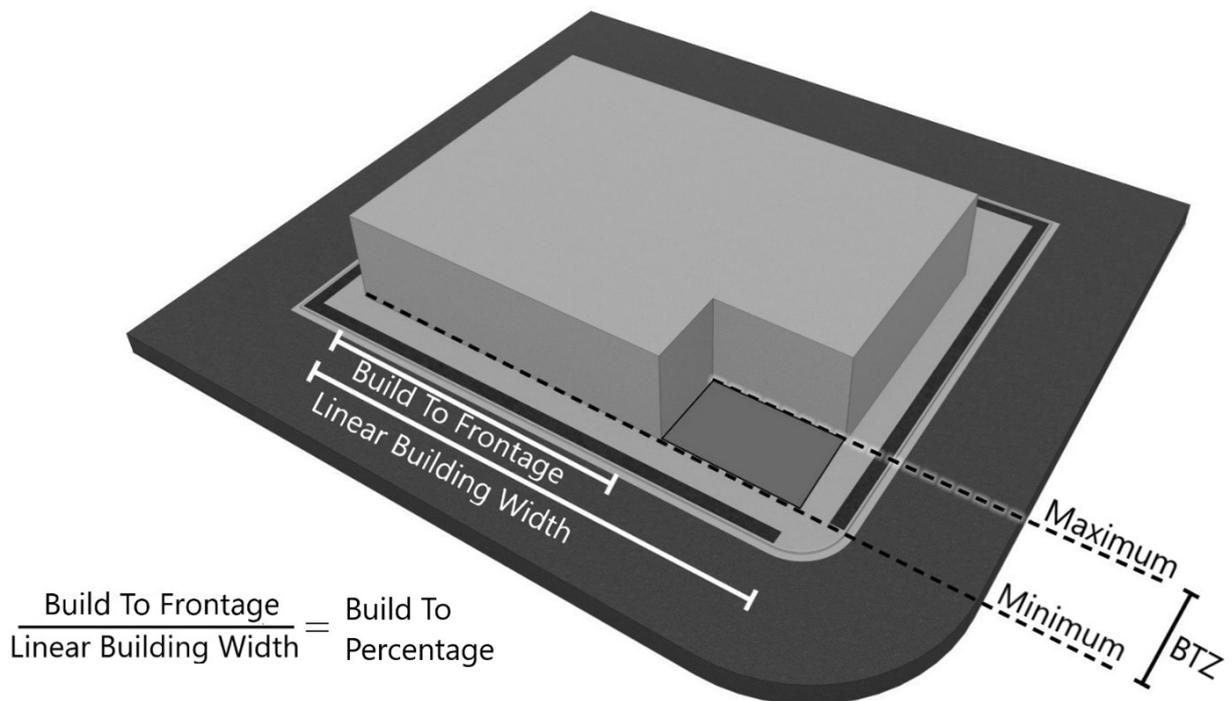
**BUILDING PLACEMENT:** *Building Placement shall define standards for building placement in the form of a Build-To Zone (BTZ). The BTZ shall include a range of distances, expressed as a minimum and maximum setback, and as the range at which construction of a building façade is to occur on the lot, running parallel to the property line, ensuring a uniform façade along the street. The BTZ requirements shall include a front/street, side, and rear.*

**Figure 16.4.3. Building Placement**



**FRONTAGE (BUILD TO PERCENTAGE):** *Frontage, also referred to as the Build To Percentage (% Requirement), indicates the percentage of the width of the building in relationship to the width of the lot. Frontage dictates what percentage of the linear distance of the façade of a building must be located along the lot width. Active use areas refer to those areas along a frontage that may provide for active uses such as a forecourt, courtyards, outdoor dining, merchandise display, and shared gardens. Active use areas may be used to achieve frontage requirements.*

**Figure 16.4.4. Frontage**



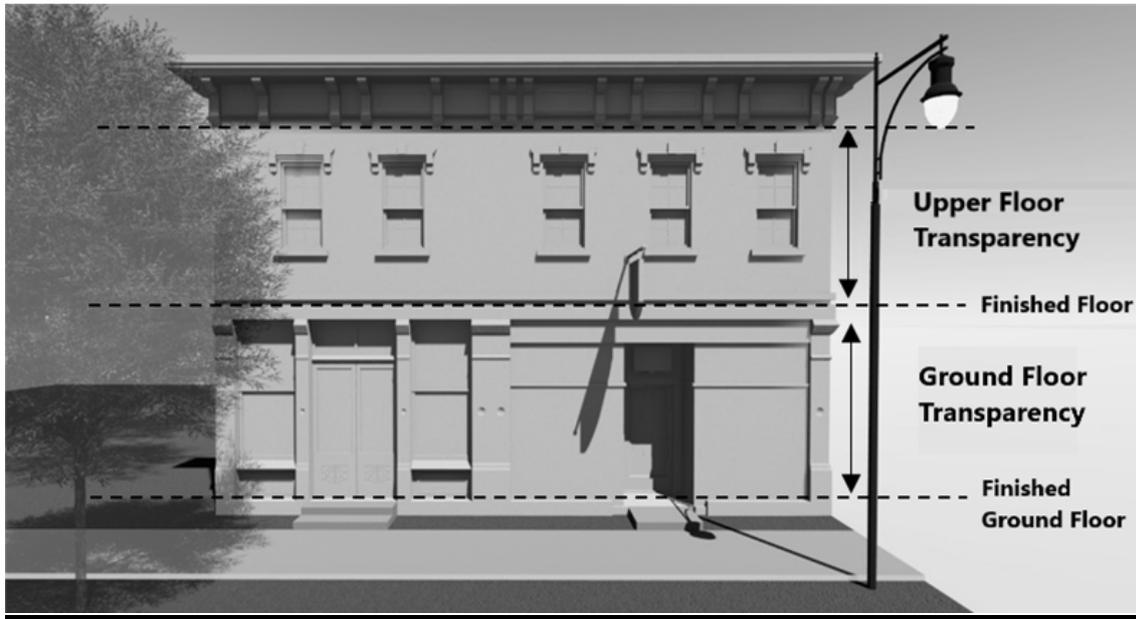
**STREETWALLS: A streetwall is a consistent and continuous wall that runs parallel to a building and/or property line, along rights-of-way, or incompatible adjacent uses. Streetwalls provide scale and definition to adjacent rights-of-way and civic spaces.**

**Figure 16.4.5. Streetwalls**



**TRANSPARENCY AREA: Transparency Area requirements promote visually appealing building facades. Transparency is the minimum percentage of windows and doors that must make up a ground floor (first story) or upper story façade. A minimum transparency percentage is required for each story of a structure.**

**Figure 16.4.6. Transparency Area**



**SECTION 9. Effective Date.** This ordinance shall become effective on the date of its adoption by the Board of Commissioners.

Adopted this \_\_\_ day of \_\_\_\_\_, 2020 by the Town of Rolesville Board of Commissioners.

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Ronnie I. Currin  
Town of Rolesville Mayor

**CERTIFICATION**

I, \_\_\_\_\_, Town Clerk for the Town of Rolesville, North Carolina, do hereby certify the foregoing to be a true copy of an ordinance duly adopted at the meeting of the Town Board of Commissioners held on this \_\_\_ day of \_\_\_\_\_, 2020.

In witness whereof, I have hereunto set my hand and caused the seal of the Town of Rolesville to be affixed this \_\_\_ day of \_\_\_\_\_, 2020.

(seal)

\_\_\_\_\_  
Robin Peyton  
Town Clerk