



Planning Board Regular Meeting
Monday October 26, 2020 - 7:00 PM
502 Southtown Circle, Rolesville, NC 27571

Notice:

Please refer to COVID-19 instructions for this meeting:

<https://www.rolesvillenc.gov/agendas-minutes>

If you wish to join us via Zoom to watch a live broadcast of our meeting, please click here:

<https://us02web.zoom.us/j/82301901800?pwd=SGpsSFJCME9ReVpieWRFUkZBdmVrZz09>

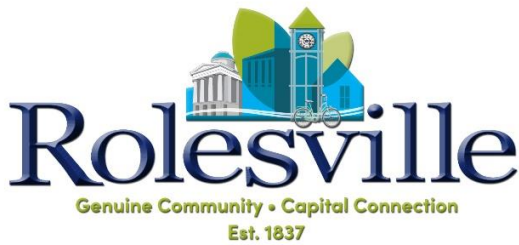
Meeting ID: 823 0190 1800 Passcode: 350071

AGENDA

A. CALL TO ORDER

1. Pledge of Allegiance
2. Invocation
3. Approve the September 28, 2020, Planning Board meeting minutes
4. UDO TA 20-04 Town Center Zoning District Text Amendment continued review
 1. Memo TA 20-04 Town Center
 2. UDO TA 20-04 Town Center Text Amendment 2nd Version
 3. Updated Proposed TC Text Amendment
 4. Comparison Chart
5. Planning Director's report
 - a. Development Activity Report
6. Town Attorney's report
7. Other business
8. Adjournment

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Planning Board Regular Meeting
September 28, 2020- 7:00 PM
502 Southtown Circle, Rolesville, NC 27571

MINUTES

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PRESENT: Mark Powers, Chairman
Frank Pearce, Board Member
Davion Cross, Board Member

Mike Moss, Vice Chairman
Donnie Lawrence, Board Member
Michelle Medley, Town Commissioner/
Planning Board Liaison

Danny Johnson, Planning Director
Julie Spriggs, Planner II

Town Attorney, Dave Neill
Shelly Raby, Development Specialist

ABSENT: Jim Schwartz, Board Member

CALL TO ORDER

Chairman Mark Powers called the meeting to order at 7:00 p.m. At 7:01 a recess was called due to technical difficulties. The meeting was reconvened at 7:29 p.m.

PLEDGE OF ALLEGIANCE

The board collectively recited the Pledge of Allegiance.

INVOCATION

Board Member Moss gave the invocation.

APPROVAL OF MINUTES

Moved by Board Member Frank Pearce and second by Board Member Donnie Lawrence the motion to approve the minutes of August 24, 2020, carried by unanimous vote.

Moved by Board Member Mike Moss and second by Board Member Frank Pearce the motion to approve the Special Joint Work Session meeting minutes of August 25, 2020, carried by unanimous vote.

Important to note, **Chairman of the Board Mark Powers reminded the board he will be asking those who have signed up to speak to keep their comments to three minutes to allow everyone who wishes to speak the same opportunity.*

MA 20-01 Hopper Communities, UDO Map Amendment

Julie Spriggs Town of Rolesville Planner II presented the map amendment information noting the proposal is consistent with the comprehensive plan and with the UDO for maximum density of R3 categories. An addendum was included in the agenda packet from the Transportation Engineer, the original traffic impact analysis called for a higher density than what is being proposed. The recommendation still stands from town staff even though what has been presented has lesser units per acre and lesser density than what was proposed in the original TIA.

The Traffic Impact Analysis was reviewed by Congestion Management- NCDOT noting it met criteria, with further review and analysis as the site develops and recommended the following:

- * Monitor Rolesville and Mitchell Mill Road intersection for signalization
- * Full access intersection and south-bound left turn lane with 100 feet of storage with a taper on Rolesville Road
- * Full access intersection and stop controls on Mitchell Mill Road

Ms. Spriggs shared information from the NC School of Government since we do not review these often

State Statute on Proposed Conditions- Standards- 160A-381

- * Proposed zoning conditions are limited by state and federal legislation and case law
- * Conditions, including building design elements, must be voluntarily consented to by the owners of all the property. The following article was given to the board members for review: <https://canons.sog.unc.edu/can-the-city-tell-me-what-my-new-house-has-to-look-like/>

Beth Trahos -Attorney Nelson Mullins spoke as the representative for Hopper Communities.

- * Shared a map of the proposed area noting the reduction of the project originally proposed from 370 total homes to 297 homes with 120 townhomes included, no more than 15 acres of townhomes.
- * A request was put forth by the neighbors of the surrounding properties and Beth is making good on her promise to ask the board to not connect Hopper Communities to the stub located on Taviston Court from the Woods Crossings neighborhood. The street is existing and was intended to be stubbed out to their property, however, the neighbors would prefer the connection not be made and the owners are okay with not connecting if the town permits. This is not a condition now.

Planning Director Danny Johnson noted Taviston Court was put in with a street stub, he was not sure if they intended it for another phase. Town policy states that when a street

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is stubbed, connectivity is to be encouraged. There is only one access into the Woods Crossing neighborhood, he is hearing the concerns of the property owners of additional traffic however sited safety concerns. Both the Comp Plan and the UDO always recommend connecting stubs. No paper street for the future then left questioning who will pay for it.

Dave Neill- Town Attorney clarified the condition of not connecting the stub would be offered by the property owner. The rezoning would not permit the connection to be made, it would be a limitation. The question is whether that would conform to the ordinance and whether that would still receive the planning staff's recommendation, so the planning board could consider if it would receive their recommendation to pass on to the board of commissioners. The wording of this condition is something he would need to think about to make sure it is correct and makes sense. But essentially, the applicant with their rezoning case as a condition would prohibit the future development of their site with a connection to that stub.

Bill Harrell- Hopper Communities 2403 Medway Drive, Raleigh.

Having met with neighbors 4 times, they have significantly decreased density by over 20%, added type A landscape buffers, increased minimum lot size by 67%, to 10,000 sq. ft, side setbacks, and agreed not to extend Taviston Court from Woods Crossing if permitted by the board of commissioners. This plan is at the very low end of the current UDO's medium density requirements.

Chairman Mark Powers asked about construction phases, and schedules Bill replied at least 2 phases, moving dirt and start construction roughly 1 year out, the first Certificate of Occupancy may be 2 years out. Maybe 5 years to 150th permit issuance depending on market conditions.

Planning Board Member Donnie Lawrence questioned lot sizes and landscaping buffers.

Planning Board Member Davion Cross asked **Planning Director Johnson** for clarification on zoning districts and lot sizes for any developer coming in need to qualify for three out of the five is that correct? RI, RII, RII, or RPUD; and if the only zoning district in this community will be R-III?

a- **Mr. Johnson**, we only have four districts, and yes the R-III or the RPUD are the only options. One of the issues is meeting all of the criteria for the RPUD. **Attorney Trahos** noted that the reason they chose RIII is that they were cautioned the town desired not to have RPUD, so that is why they chose the R-III district.

Mr. Cross asked Mr. Johnson why is the entire subdivision R-III, and does not include some diversity?

a- **Mr. Johnson**, if this was any other district, it would be larger lots. R-I is twenty-thousand square feet, R-II is fifteen-thousand square feet, R-III is ten-thousand square feet for single-family. This is a ten.

Mr. Cross then asked **Mr. Harrell**, why then isn't there an R-I or R-II, why haven't you included that in the subdivision?

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a- **Mr. Harrell** reviewed their options given the town board discouraged their original plan of utilizing an RPUD for zoning. He reviewed an R-I, and R-II does not allow townhomes. R-III does allow townhomes, but it didn't allow single-family homes, which is why they did the text amendment to allow single-family homes in R-III. **Mr. Cross replied**, "I got all that, but I guess what I am getting at is that it came down to your decision to go with all R-III; why don't we have some R-I's and R-II's in there?" Attorney Trahos responded they looked to the comprehensive plan initially what does the town say it wants in this location. Here the plan says we want medium density residential 3-5 units per acre, with twenty-thousand square foot lots which are essentially half-acre lots, or fifteen-thousand square foot lots minimum which are essentially third acre lots, it's hard to achieve the kind of density that is contemplated. Looking across the street, Kalas Falls was approved with lots as small as six- thousand square feet and up the road at the Point, some lots are even as small as four-thousand square feet. We saw the diversity in lot size, we saw the comp plan and thought it made sense to come forward with this request.

Mr. Cross- so if you wanted to add R-I and R-II's, you could?

a- **Attorney Trahos**, so it's a minimum lot size. Bill Harrell also noted that is just a minimum lot size, just a baseline number.

Mr. Johnson pointed out we are not discussing lot sizes, right now the minimum is all lots have to have ten-thousand square feet. This must meet those minimums.

Chairman Powers noted most conditions seem to hinge on the 150th permit issuance. How long until that happens?

a- **Mr. Harrell**, roughly 5 years from today give or take.

Dave Neill- Town Attorney cautioned the board not to read too much into exhibit 1. That is only one way these conditions could be built. Save the location of the greenway which is a general set.

Planning Director Danny Johnson received word from Planning Board Member Jim Schwartz apologizing for not attending this evening, a work matter came up.

COMMENTS FROM PUBLIC IN FAVOR (in person)

Betsy Wilkins No address given, noted as an owner of 25.5 acres of land on Rolesville Rd.

Shelton Moody No address given, noted as a Rolesville Rd. property owner

Sue Scarboro Tucker Wilmington, NC

Ginny Fowler Wheeler 7928 Sutterton Ct. Raleigh. Landowner asking to sell land which has been in the family for 60 years. No young family to keep the farm going. Asked for the same opportunity as other landowners in the community. Property of county residence opposing reside on what was once farmland, and they now want to control

what happens to the land because they live nearby. They believe in free property. Copies of letters brought in support of the change.

COMMENTS FROM PUBLIC IN OPPOSITION (in person)

Gayle Stallings 1512 Rolesville Rd Wake Forest. Opposed to density and a minimum lot size of 10,000 sq. ft. and zoning request. Zoning request is not in the best interest of the community. Public transportation is not currently available to Mitchell Mill or Rolesville Rd. Woodlief Farm is a working farm, adding per UDO section 14.6.6 a buffer is needed for abutting farmland.

Minda Sportsman 3809 Arbor Rose Lane Zebulon. Deny rezoning request. Not consistent with the town's comprehensive plan. Encourage commercial. Please read the public comments submitted this evening.

Vice-Chairman Mike Moss noted he is not in favor at this time of voting for the stub condition. The residents may not see the stub connection as a benefit but cited safety concerns of having another way out if there was an accident or a fire inside their neighborhood. The stubout was put there for a reason. Mr. Powers noted he also had that same concern and he understands the reluctance, but one house fire near the entrance concerns him in regards to first responders. Mr. Cross stated he thought Hopper Communities benefited from the connection. Mr. Moss reiterated if this stub had been intended as a dead end, it would have had a cul de sac. Mr. Powers questioned the timing of this development and Kalas Falls and traffic. Mr. Johnson explained the contributors to the stoplight and the upgrading of the intersection.

Planning Director Danny Johnson reminded the board they have written comments from the website that were printed and placed at your desk before the start of tonight's meeting for your review. We are acknowledging they have been received before deliberations in this meeting. A list of those comments received on our website can be found below.

COMMENTS FROM PUBLIC IN OPPOSITION (received through email)

Lynn Thomas 3813 Taviston Ct. Wake Forest Oppose rezoning

Lesley Klinker 3509 Taviswood Way Wake Forest Oppose rezoning due to density and traffic

Gary Klinker 3509 Taviswood Way Wake Forest Oppose rezoning due to density and traffic

Brenda & Tim Owen 3808 Taviston Ct Wake Forest Opposes rezoning

Regina Hakes 6300 Mitchell Mill Rd. Zebulon Opposes rezoning

Sarah Segard 3804 Taviston Ct. Raleigh Opposes rezoning

Rita Gritzmacher 3805 Arbor Rose Ln. Zebulon Opposes rezoning

Marty Weathers 6228 Mitchell Mill Rd. Zebulon Opposes rezoning

Michele Roerick 3624 Nether Ridge Rd. Zebulon No comment regarding Map Amendment rezoning

Curtis Roerick 3624 Nether Ridge Rd. Zebulon Stated conditional zoning request is not consistent with the Comprehensive Plan and should be denied

Michele Roerick 3624 Nether Ridge Rd. Zebulon Asked to deny this application

Tony & Susan Swift 3504 Taviswood Way Wake Forest Opposes rezoning

Daniel Sportsman 3809 Arbor Rose Ln. Zebulon Opposes rezoning

Tara Seslowe Hooper 3801 Taviston Ct. Raleigh Opposes rezoning

Annette Shore 1636 Rolesville Rd. Wake Forest Opposes rezoning

John Shore 1636 Rolesville Rd. Wake Forest Opposes rezoning

Harrell Stallings 1512 Rolesville Road Wake Forest Opposes rezoning

Betty Woodlief 1501 Rolesville Road Wake Forest Opposes rezoning

Upon a motion by Board Member Mike Moss and second by Board Member Frank Pearce, to recommend approval of MA 20-01 to the town board of commissioners to rezone 1801 Rolesville Road and 6301 Mitchell Mill Road from Wake County residential 30 Zoning District (R30) to Rolesville Residential 3 Conditional Zoning District (R3-CZ) with conditions as presented including the connection to the Taviswood stub. This petition is reasonable and in the public interest and is consistent with the town's comprehensive plan and future land use map, which identifies the area as medium density residential. The motion passed 3 to 1, with Board Member Davion Cross in opposition.

PR 20-01 The Point- Phases 1-10, & 14 Preliminary Subdivision Plat review

-Planner II Julie Spriggs reviewed the staff report and map of the property.

-TRC recommends approval as presented

- Planning Director Johnson noted this is an RPUD and is consistent with the Master Plan. Road improvements include the Quarry Road section. Responsibility predetermined of the TIA to install a traffic light at Quarry Road. DOT evaluation can be triggered in response to the turn arounds and high school traffic during peak times. All covered in the TIA and SUP conditions already spelled out.

- Board Member Cross questioned the RPUD and commercial location (upper right corner of the map).

- Chairman Powers questioned the two ponds along Rolesville Road. The lower pond will be breached and the Upper pond will be upgraded. Will the HOA assume ownership

of the dam? Planning Director Johnson confirmed they would have a responsibility as part of the open space agreement.

- **Vice-Chairman Moss** questioned the greenway trail. Planning Director Johnson confirmed the greenway trail will go under the bypass through an existing tunnel carried over to the northern point. Currently, there is no physical greenway trail, but there is a tunnel under the bypass, to be put in by the builder of this development. Additionally, there will be a greenway that runs parallel to the road and comes back into the subdivision, and brings it up to Young Street.

- **Board Member Cross** asked about the properties located along 401, what is the buffer? Planning Director Johnson noted there is a thoroughfare buffer in the plan. No wall required, just landscaping. Mr. Cross also questioned entrances to the subdivision. Director Johnson pointed out the numerous street stub connectors, noting there will be no access on the bypass, everything has to come in through Rolesville Road.

- **Board Member Lawrence** noted this will connect to the Fowler Road extension in the future and continue to Jonesville Road. Director Johnson confirmed and noted this is what is in our comp plan.

Upon a motion by Board Member Donnie Lawrence and second by Board Member Davion Cross, to recommend approval of the Preliminary Subdivision Plat case PR 20-01 Phases 1-10, and 14 with conditions. The motion passed unanimously.

PR 20-04 The Preserve at Jones Dairy (Central) Preliminary Subdivision Plat review

**For the record Vice Chairman Mike Moss has recused himself from this discussion as he is the surveyor of record for both PR 20-04 and PR 20-02.*

Upon a motion by Board Member Frank Pearce and second by Board Member Davion Cross, Vice Chairman Mike Moss was recused by unanimous vote.

-**Planner II Julie Spriggs** reviewed the staff report and map of the property.

-TRC recommends approval with conditions as presented.

- **Planning Board Member Cross** questioned the lot sizes and commercial use in the proposed community since this is an R PUD.

- **Keith Gettle- Civil Engineer with CAA Engineers** in Raleigh replied and showed where the commercial would be located.

- The smallest lot size would be 6,000 sq ft.
- The largest lot size would 13,682 sq ft.

COMMENTS FROM PUBLIC IN OPPOSITION (in person)

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Betty Freeman 524 Averette Road- Spoke about traffic concerns

George Garcia 524 Averette Road- Ongoing traffic concern regarding Jones Dairy South, Central, and North. The collateral impact is not being considered. This concern is regarding both items 7 and 8. He requests his concerns be entered into the record.

Upon a motion by Board Member Donnie Lawrence and second by Board Member Frank Pearce, to recommend approval of Preliminary Subdivision Plat PR 20-04 the Preserve at Jones Dairy Central with conditions that have been given. The motion passed unanimously.

PR 20-02 The Preserve at Jones Dairy (North) Preliminary Subdivision Plat review

-Planner II Julie Spriggs reviewed the staff report and map of the property.

-TRC recommends approval with conditions as presented.

Upon a motion by Board Member Frank Pearce and second by Board Member Donnie Lawrence, to recommend approval of Preliminary Subdivision Plat PR 20-02 the Preserve at Jones Dairy North with conditions as presented. The motion passed unanimously.

PLANNING DIRECTOR'S REPORT

- 1. Consider scheduling a special meeting for review and recommendation for the proposed Town Center (TC) Zoning Text Amendment**

After a discussion of available dates, Chairman Powers called a Special Meeting scheduled for Tuesday, October 13, 2020, at 7:00 p.m.

- 2. Request for two Planning Board members for the UDO Update Steering Committee.**

Vice-Chairman Mike Moss and Board Member Davion Cross have agreed to participate on the Steering Committee. Dates and Times to be determined at a later time.

- 3. Review of Approved UDO Text Amendment 20-01 Residential 3 Zoning District adding single-family dwellings as a permitted use by the town council on September 15, 2020**

- 4. Development Activity Report**

TOWN ATTORNEY'S REPORT: None at this time

OTHER BUSINESS:

Planning Board member Frank Pearce brought attention to some concerns raised about the trees in town again.

ADJOURN

There being no more business before the board, upon a motion by Board Member Donnie Lawrence and second by Board Member Davion Cross, the motion to adjourn carried by unanimous vote. The meeting adjourned at 9:57 p.m.

ATTEST:

Mark Powers, Chairman

Shelly Raby, Development Specialist



Memo

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To: Rolesville Planning Board

From: Julie Spriggs, GISP, CFM, CZO, Planner II

Date: October 23, 2020

Re: Item 5. UDO Text Amendment: TA-20-04 Town Center

Summary Information

The Planning Board has participated in two joint work sessions with the Board of Commissioners on a text amendment for the Town Center District. Meetings were held on August 25, 2020, and September 22, 2020. The Town's consultant for the Unified Development Ordinance rewrite, Kimley-Horn, presented at both meetings.

On August 25, 2020, Kelley Klepper of Kimley-Horn introduced the project, and gave a presentation on the topics that are included in the text amendment such as a new Mixed-Use Zoning District, amending the Table of Permitted Uses and masonry ordinance, and creating parking, landscaping, buffering, and compatibility requirements, and updating the definitions.

On September 22, 2020, meeting Kelley Klepper of Kimley-Horn continued discussing the proposed text amendment and provided a draft. He reviewed proposed changes to Articles 2, 4, 5, 9, 10, 14, and 16 of the current Unified Development Ordinance.

On October 13, 2020, the Planning Board met to discuss UDO TA 20-04 Town Center text amendment. Staff was directed to clarify language, provide a comparison chart, and provide an easier to read document format.

Staff met with the consultants from Kimley-Horn and discussed the changes and clarifications asked for by the Planning Board. Provided as your attachments are updates to the text amendment based upon directions given to staff. The ordinance is now color-coded for easier reading. Blue text is the language that has been previously seen in the proposed text amendment. Green text reflects new changes to the text based on

feedback from the Planning Board meeting on October 13, 2020. Red text that is struck through reflects deletions from the text amendment. You also have the ordinance with the same changes provided to you in the formatting style that will be present in the new unified development ordinance. The text from each document is the same, provided in different formats to make it easier to read. The comparison chart is to help show the similarities and differences between the current Town Center Overlay and the proposed Town Center Zoning District.

The Rolesville Comprehensive Plan encourages revisions to the Unified Development Ordinance when the current standards are not following current demands and practices of the community's needs. The proposed text amendment will address such a condition of the UDO and will serve in the public interest. The change is consistent with the Rolesville Comprehensive Plan to create a new zoning district to increase the potential for vertical and horizontal mixed-use in key activity areas across Town and apply form-based code elements in the current zoning language to ensure quality construction standards and design. The determination of consistency is based on the following goals stated in the 2017 Rolesville Comprehensive Plan:

Goal D1. Enhance existing and build new strong and livable neighborhoods that support a walkable, mixed-use downtown.

Goal D2. Identify and enhance connections between downtown and neighborhoods.

Goal D3. Create a vital mix of uses that provide a place for people to live, work, and play while supporting regional employment and office opportunities.

Goal D4. Plan a system of open spaces, traffic circulation, public and private parking, and pedestrian infrastructure to ensure users can easily find their way, park, and walk to their destinations.

Goal D5. Create a human-scale streetwall and development consistent with a walkable environment. Provide appropriate regulation on the size and form of buildings to create a unique identity for downtown that will attract investment and opportunity.

Planning Staff Recommendation

Staff recommends approval of the UDO TA 20-04, Town Center Text Amendment, and to make the necessary statutory findings and recommendations to the Town Board of Commissioners.

Suggested Planning Board Motion:

I make a motion to favorably recommend to the Town Board of Commissioners to approve the requested UDO Text Amendment 20-04, Town Center Text Amendment. The request is consistent with the Rolesville Comprehensive Plan to create a new zoning district to

increase the potential for vertical and horizontal mixed-use in key activity areas across Town and to apply elements of form-based code in the current zoning language to ensure quality construction standards and design of five stated goals of the Rolesville Comprehensive Plan.

Attachments:

TA 20-04 Ordinance UDO TA 20-04 Town Center
UDO Format of Town Center text amendment
Comparison Chart

**PROPOSAL TO AMEND
THE CODE OF ORDINANCES,
TOWN OF ROLESVILLE, NORTH CAROLINA
Case Number UDO TA 20-04**

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WHEREAS, North Carolina General Statute Section NC Chapter 160A; Article 19, Part, Zoning; Section 160A-381, Grant of power; authorizes local governments by ordinance to regulate and restrict the height, number of stories and size of buildings and other structures, the percentage of lots that may be occupied, the size of yards, courts and other open space, the density of population, the location and use of buildings, structures, and land; and

WHEREAS, the Town of Rolesville Board of Commissioners firmly believes that it is in the public interest to amend the Town's Unified Development Ordinance described below.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN BOARD OF
COMMISSIONERS OF THE TOWN OF ROLESVILLE, NORTH CAROLINA:**

SECTION 1. That Article 2: General Administration; Section 2.1 Board of Commissioners; Subsection 2.1 (2), be amended to read as follows:

- Addition
- Deletion
- ✓ Alteration (additions are **blue text** and **green text** and deletions are **struck through**)

2.1(2) To review, hear, consider and approve, approve with conditions, or disapprove as appropriate:

- (a) The adoption of an ordinance to amend the Rolesville Official Zoning Map (rezoning); provided, however, the final action by the Town Commissioners shall include the adoption of a statement describing whether its action is consistent with the Comprehensive Plan and any other applicable town-adopted plan(s) and explaining why the Commissioners considers the action taken to be reasonable and in the public interest).
- (b) Applications for special use permits.
- (c) Applications for site plans.
- (d) Applications for master subdivision plans.
- (e) Applications for preliminary subdivision plats.
- (f) Alternative Parking Plans. Alternative Parking Plans shall be reviewed in accordance with Section 3.6.2, Quasi-Judicial Evidentiary Hearings, and shall include all required items defined in Section 10.1.11: Town Center Parking Requirements.**
- (g) Design Alternatives, where permitted in this UDO. Design Alternatives shall be reviewed in accordance with Section 3.6.2, Quasi-Judicial Evidentiary Hearings.**

SECTION 2. That Article 4: Zoning Districts; Section 4.1 Establishment of Purposes of Districts, subsection 4.1.1 be added to read as follows:

- ✓ Addition
- Deletion
- Alteration (additions are **blue text** and deletions are **struck through**)

A. Purpose and Intent. The Town of Rolesville recognizes the importance of compact and urban forms of development centered on a mix of uses, residential and nonresidential, with specific design and development related standards. The Town's adopted comprehensive plan identifies recommended mixed-use neighborhoods, including the Town Center area, each with its representative and unique standards. Standards applicable to development within the Town Center (TC) shall apply to all parcels designated as Town Center (TC) on the Official Zoning Map. Standards are defined in Section 5.11.

SECTION 3. That Article 5: Use and Dimensional Standards; Section 5.1 Table of Permitted Uses, be amended to read as follows:

- ✓ Addition
- Deletion
- ✓ Alteration (additions are underlined blue text and **green text** and deletions are ~~struck through~~)

[illegible]

Animal hospital or veterinary clinic												X	X	S			<u>X</u>
Animal service facility												S	S	S		S	<u>S</u>
Art, dance, or photo studios												S	S	S	S		<u>X</u>
Automobile carwash (use of recycled water only and UDO Article 8 standards)													S	S			
Automobile detailing												X	X	S			
Automobile parts and accessories manufacturing																X	
Automobile repair garages (UDO Article 8)												S	X	S			
Automobile service stations												S	S	S			
Banks												X	X	S	X		<u>X</u>
Bar/tavern/nightclub												S	S	S			<u>S</u>
Barber and Beauty shops												X	X	S	X		<u>X</u>

Dwelling - multi family					S	S	S	S									<u>X</u>
Dwelling - manufacture d home									X	X	X						
Dwelling - manufacture d home park									X		S						
Drugs, medicines, and cosmetic manufacturin g																X	
Eating establishmen t												X	X	S			<u>X</u>
Eating establishmen t-no drive thru															X		<u>X</u>
Electronic equipment manufacturin g																X	
Electronic gaming operation (see 8.3.10 fo r additional standards)												S	S	S			
Event venue												S	S	S	S	S	<u>S</u>
Farm machinery assembly, repair, and sales																X	
Farming and trucking	X	X	X		X	X	X		X	X	X						

Food truck												X	X	S		X	<u>X</u>
Food truck uses												X	X	S		X	<u>X</u>
Fitness center												S	S	S	S		<u>S</u>
Funeral home and crematory												X	X	S	X		
Furniture manufacturin g																X	
Golf courses and driving range													S	S			
Government al facilities	S	S	S	S	S	S	S		S	S	S	X	X	S	X		<u>X</u>
Group care homes (defined by §168 for handicap persons, UDO Articles 3 and 16)	X	X	X	X	X	X	X		X	X	X						
Group housing projects (UDO Article 8.3)			S			S	S	S									
Hardware and housewares manufacturin g																X	
Home occupations	X	X	X		X	X	X	X	X	X	X		X	S			<u>X</u>

[illegible]

[illegible]

(associated with §160A-385.1)																	
Schools (public and private)	x	x	x		x	x	x		x	x	x		x	s			<u>s</u>
Shopping centers (provided use is listed within this table)												x	x	s			<u>x</u>
Signs	x	x	x	x	x	x	x	x	x	x	x	x	x	s	x	x	<u>x</u>
Storage (provided not visible from street and opaque wall/fence with height of six feet)																x	
Storage (provided not visible from street)												x	x	s	x		<u>s</u>
Uses and buildings customarily accessory to the permitted use (UDO Article 5.5)												x	x	s	x	x	<u>x</u>
Uses in accessory buildings (UDO Article 5.5)	x	x	x	x	x	x	x	s	x	x	x	x	x	s	x	x	<u>x</u>

Temporary uses (with development standards)			S		S	S	S	S	S	S	S	S	S	S	S	X	<u>S</u>
Textiles and cordage manufacturing																X	
Vehicle sales lots (parking areas for vehicles are paved with asphalt or concrete)												X	S				
Wrecker service and vehicle storage												S	S			S	
* See Section 5.11(C)1																	

SECTION 4. That Article 5: Use and Dimensional Standards; Section 5.11 Town Center (TC) Standards be added to read as follows:

✓ Addition

Deletion

Alteration (additions are **blue text** and **green text** and deletions are **struck through**)

5.11. TOWN CENTER (TC) STANDARDS

A. Standards. District development standards are defined for the TC district via a district development standards table and apply to all properties within the TC district.

B. Measurement of Development Standards. The measurement of development standards included within the TC district are defined in various Sections of this UDO. Each standard within the district development standards table provides a reference to the applicable Section where measurements of the standard are provided. Design alternatives may be requested consistent with Section 2.1(2).

C. Permitted Uses. Uses permitted shall be as identified in Table 5.1: Table of Permitted Uses.

- 1. Single-family detached residential is not permitted, except that legally existing single-family detached residential, at the time of this amendment, shall be permitted to remain, consistent with Section 3.10: Vested Rights.**
- D. TC District Development Table. District development standards are defined for the TC district via Table 5.11: TC District Development Standards.**

Table 5.11. TC District Development Standards

STANDARDS		TC REQUIREMENTS
Building Height (See Section 16.4)		Min: Two Stories
		Max: 35 Feet (By Right)
		Five Stories Permitted By Design Alternative, Reviewed By Board Of Commissioners
		Maximum 60 Feet In Height With An Interior Sprinkler Or Fire Suppression System Is Required. If No Sprinkler Or Fire Suppression System Is Provided, The Building Shall Not Exceed 35 Feet in Height
		Building Heights Above 35 Feet Require Additional Compatibility Standards Per Section 14.13.3
Density		20 Units/Acre (Single-Use Residential Building)
		(No Density Standard For Upper Story Residential When Part Of A Mixed-Use Building, And / Or Live-Work Unit)
Building Placement (see Section 16.4) (min/max)*1 *2 *3 *4 see also Streetwalls	Front/Street	0'/20'
	Side	0'/15'
	Rear	0'/45'
Lot (See Section 16.4)	Length (min)	50'
	Width (min)	25'
	Coverage (min/max)	25% / 100%
Frontage (See Section 16.4)	% Requirement	50%
	Active Use Areas	Permitted; Maximum Length: 25' or 75% of Building Frontage (Whichever is Less) Maximum AUA Depth: 10'
	Encroachments (Upper Story Only; Only Where Clear Of Public Utilities)	Maximum Length: 50% of Building Frontage Maximum Encroachment: 6' Minimum Clearance: 8' Balconies, Awnings, And Porches Are Permitted Encroachments
	Entrances	Front (Primary Street-Facing); Corner Lots May Orient Entrances To The Corner Or Provide An

		Additional Entrance Oriented To The Secondary Street)
Landscaping (See Section 14.13)		Property Perimeter, Parking Perimeter And Vehicle Use Areas And Service Areas; Foundation Plantings Permitted Open Space Types: Green, Commons, Square, Plaza
Building and Site Design		
Architectural Standards (see Section 16.4)		Minimum 40% Transparency For The Ground Floor, Minimum 35% For Upper Floors Maximum 30 Square Feet Blank Wall Area Blank Walls Not Permitted Facing Any Public Street Frontage Or Traditional Zoning District
Maximum Single-Use/Building size (excluding residential only structures)		35,000 Square Feet No Size Limits For Mixed-Use Buildings Maximum 50% Of Residential Units May Be Permitted Without Construction Of At Least 25% of the Approved Commercial Component
Maximum Blank Wall (see Section 16.4)		Maximum 50 Square Feet Blank Wall Area Or 15% Of The Total Wall Area (Not to Exceed 50 Square Feet) A Maximum 25' In Length Without A Compliant Design Feature
Minimum Transparency % (by story) (see Section 16.4)		40% Transparency On First Story, 35% Transparency For Each Story Above
Drive-Through Locations		Side Or Rear Only; Not Adjacent To The Primary Street
Street Walls Required (see Section 16.4) *5		Drive-Throughs Parking Areas (Excluding On-Street Parking) Fronting Public Streets May Be Utilized To Meet The Building Frontage Requirements
Rooflines *6		Only Flat And Gable Roofs Are Permitted; Parapets May Extend 36" Above The Roofline; Mansard Roofs Are Prohibited

Table 5.11. Additional Standards:

*1 = Subject to Compatibility/Perimeter Standards provided in Section 14.13.3.

*2 = Measured from the edge of the public right-of-way or existing public sidewalk if not located within the right-of-way.

*3 = Building placement dimensions may be varied administratively, by the Planning Director.

*4 = An administrative exception may be granted for side building placement that utilize fire-rated separation walls within 10 feet of side property lines, per compliance with 601 NCSBC-2018, Table 601 and Table 602.

*5 = Streetwalls shall be constructed of brick, masonry, stone, wrought iron, or other solid decorative materials. Wood, fencing, and chain link are prohibited materials for a streetwall. Streetwalls shall be a minimum of three (3) feet and a maximum of four (four) feet in height. Breaks in streetwalls are permitted to allow for pedestrian or vehicular access, recessed storefront entrance, plazas, or for tree protection. On corner parcels, the corner of the building may be recessed from the front and side property lines on a diagonal. A design alternative, reviewed by the Board of Commissionres, may be requested for a continuous hedge. Streetwalls or combination of streetwalls and canopy trees (no hedge or opaque walls) are required where buildings do not front a public ROW.

*6 = Building rooflines that face a street shall not exceed a linear distance of 35 feet without the introduction of a physical articulation of no less than one (1) foot in the vertical direction.

SECTION 5. That Article 9: Additional Development Standards; Section 9.14 Masonry Ordinance, subsection 9.14.6 be added to read as follows:

✓ Addition

Deletion

Alteration (additions are **blue text** and **green text** and deletions are **struck through**)

- ~~A. The requirement for brick exterior wall construction shall apply to any non-residential structure that is approved after the effective date of this Ordinance. Development within the Town Center district shall be exempt from the masonry ordinance.~~

9.14.6 TOWN CENTER

A. The Town Center district shall require brick exterior wall construction for any nonresidential structure that is approved after the effective date of this Ordinance. The primary façade material used in construction shall compose, as a minimum, seventy-five (75) percent of the non-glass wall surface. For the purpose of this Section, primary façade shall be defined as any façade facing a street right-of-way or drive aisle that serves as a connection; secondary facades shall be defined as any façade which does not face a street right-of-way or drive aisle that serves as a connection. The following standards shall also apply:

- 1. Wood or concrete shake siding is prohibited.**
- 2. Vinyl siding is prohibited.**
- 3. Split or smooth faced concrete block is prohibited.**

4. Metal siding may be permitted up to a maximum five (5) percent of the non-glass wall surface, trim and accents.
5. Exterior insulation finishing system (EIFS) may be permitted on secondary facades.

SECTION 6. That Article 10: Parking and Loading Requirements; Section 10.1 Off-Street Parking Requirements be added to read as follows:

- ✓ Addition
- Deletion
- Alteration (additions are blue text and green text and deletions are struck through)

10.1.11 TOWN CENTER PARKING REQUIREMENTS. The following shall be the allowable range of off-street parking spaces provided for uses within the Town Center District. The following standards shall be applied to uses, as illustrated on a concept plan, site plan or similar document.

USES	NUMBER OF REQUIRED OFF-STREET PARKING SPACES	
	MINIMUM REQUIRED	MAXIMUM ALLOWED
MIXED-USE RESIDENTIAL	One and one-quarter Two spaces per dwelling unit ^{*1}	Two and one-half Three spaces per dwelling unit
MIXED-USE NONRESIDENTIAL	Two and one-half Three spaces for each 1,000 square feet of gross floor area	Five spaces for each 1,000 square feet of gross floor area
Notes *1: Includes guest parking		

A. **Town Center Parking.** It is understood that due to its nature, the TC district shall allow for lower off-street parking requirements than traditional zoning districts. Parking within this district may allow for on-street parking, parking structures, and alternative parking plans. The numbers above assume a mixed-use development. For developments not of a mixed-use nature, the standard parking rates per Section 10.1.10 shall apply.

1. **On-Street Parking.** Up to ~~ten~~ five (5) percent of the required off-street parking may be provided through on-street parking. On-street parking shall be located within ~~1,000~~ five-hundred (500) feet walking distance of the building for which it is used, along an improved path, sidewalk, or similar constructed facility, and maybe counted toward the required off-street parking requirements.

2. **Parking Structures.** Parking structures may be permitted but shall require approval by the Board of Commissioners as part of a site plan per the review process defined in Section 2.1 and the standards defined in Section 14.2.1. Parking structures shall utilize the same elements as those found within the principal building. Such features shall not exceed fifty (50) percent of the façade, to allow for increased light and ventilation. Glazing standards are not required.
3. **Shared Parking.** The following shared parking standards shall be required in the TC district. Shared parking shall reduce the overall required minimum off-street parking by fifteen (15) percent. An applicant shall submit a shared parking analysis to the Planning Director as a means of reducing the total number of required off-street parking spaces required. Shared parking analysis, at minimum, shall include and comply with the following:

 - a. Identification of proposed uses within the development.
 - b. Calculation of the fifteen (15) percent shared parking reduction which will be applied, per proposed use.
 - c. Proposed uses served by the shared parking arrangement shall have different peak parking demands or otherwise operate in a manner that the uses sharing parking have access to the required minimum number of off-street parking spaces when in operation. Narrative and calculations shall be prepared by a Professional Engineer or Certified Land Use Planner and provided as part of the shared parking analysis, explaining the merit of the shared parking arrangement.
 - d. Cross access agreements (i.e. legal instruments), if required for the principal property and adjacent properties to ensure shared parking can function, shall be provided to the Planning Director.
 - e. Shared parking arrangements shall be a formal legal instrument and be provided to the Planning Director.
4. **Alternative Parking Plan (APP).** An applicant may propose an alternative parking plan (APP) if off-street parking requirements cannot be met consistent with Section 2.1.2(g). The Board of Commissioners shall accept an APP in place of the parking requirements for a proposed use, only if the below requirements are met:

 - a. A parking study must be submitted that is prepared by a registered Professional Engineer or Certified Land Use Planner.
 - b. The study must include the size, type, and proposed use(s) of the development; anticipated peak parking; anticipated normal parking amounts; and a narrative and data as to why the parking requirements of the proposed development are unique in nature.
 - c. An APP shall be granted only where the narrative and data provided by the registered Professional Engineer or Certified Land Use Planner

clarify the need for the APP, the context of the APP, consequences of the APP, and that the APP will not constitute a public nuisance or detriment to the Town, including but not limited to parking in non-designated areas, blocking of traffic, restriction of access (both vehicular and pedestrian), and public safety.

SECTION 7. That Article 14: Landscape and Appearance Standards; Section 14.13 Town Center Landscaping, Buffering, and Compatibility be added to read as follows:

✓ Addition

Deletion

Alteration (additions are **blue text** and deletions are **struck-through**)

14.13 TOWN CENTER LANDSCAPING, BUFFERING, AND COMPATIBILITY

14.13.1 TOWN CENTER OPEN SPACE

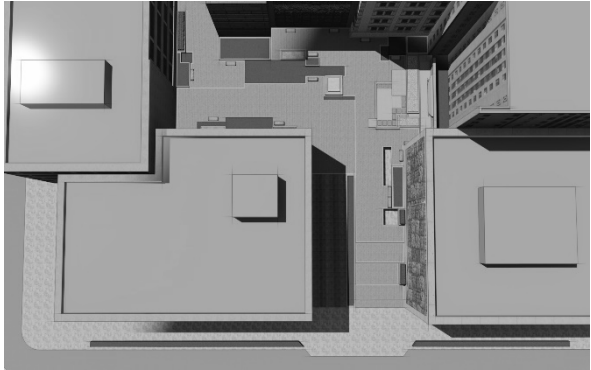
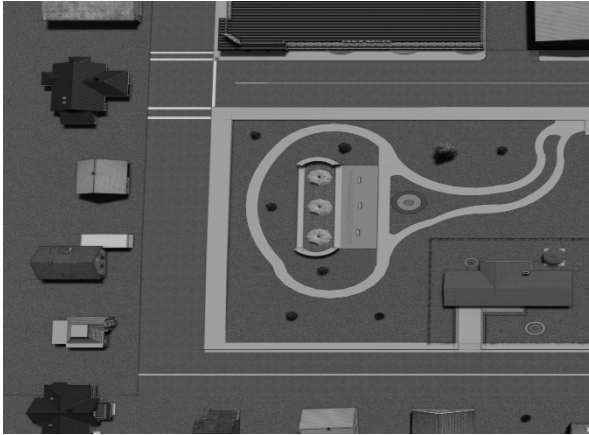
- A. **Intent.** Open space provides and serves the Town Center (TC) district with active and passive recreational opportunities. Open space shall be provided at all levels to ensure an appropriate mix. Stormwater management practices, such as storage and retention facilities, may be integrated into open space types and utilized to meet stormwater requirements for surrounding parcels per this Section.
- B. **Stormwater Features.** Stormwater features may be designed as formal or natural amenities with additional uses other than stormwater management, such as an amphitheater, sports field, or a pond as part of the landscape design. Where stormwater features are used for open space purposes of this Section, stormwater features shall not be fenced and shall not impede public use of the land they occupy. Stormwater features may be counted towards a percent of the required open space based on the criteria noted in Table 14.13.1.2.
- C. **Open Space Size/Acreage.** For the purposes of this Section, open space sizes are identified in Table 14.13.1.1. The sizes may be modified by a design alternative, approved by the Board of Commissioners based on the location, facilities / amenities provided, or similar. The following shall apply:
1. **Mixed-Use and Non-Residential Development:** Shall set aside ten (10) percent of the total development as open spaces uses.
 2. **Residential Development:** Shall set aside one (1) acre for each fifty (50) residential units provided.
- D. **Additional Open Space Standard.** Development or redevelopment shall provide the following: Development shall provide one or more of the open space sizes and corresponding open space types meeting the set-aside standards above. For

development greater than ten (10) acres, at least one (1) medium and at least one (1) large open space size type shall be provided. This standard may be modified by a design alternative, approved by the Board of Commissioners based on the type and size of the open space proposed, provided there is no decrease in open space provided. Open space types and requirements are identified in Table 14.13.1.1 and Table 14.13.1.2.

Table 14.13.1.1. Open Space (Size/Acreage)

Open Space Size	Acreage (range)
Small	0.25 – 1.5
Medium	1.5 – 5.0
Large	5 or greater

Table 14.13.1.2. Open Space Types

Open Space Type	Illustrative
<p>Plaza Description: Plazas are generally small to medium scale; serves as a gathering place for civic, social, and commercial purposes. The Plaza may contain a greater amount of impervious coverage than any other open space type. Typically located in the front or sides of a building or group of buildings; plazas may not be located in the rear of the building or property except as approved as part of a zoning permit.</p> <p>Components: Size: Small, Medium</p> <p>Features: Shade structures, seating/benches, tables, including gaming tables; Special features, such as fountains and public art, are encouraged.</p>	 A 3D architectural rendering of a plaza. It shows a central open area with a paved surface, surrounded by modern buildings. There are some low walls or planters defining the space, and a few small trees or shrubs are visible. The perspective is from a slightly elevated angle, looking down into the plaza.
<p>Pocket Park Description: Pocket parks are generally small in scale; primarily landscaped active or passive recreation and gathering space within a one-quarter mile walking distance of a majority of residents.</p> <p>Components: Size: Small</p> <p>Features: Shade structures, gazebo, seating areas, multi-purpose lawn space, playground/play space, trail; may also be formed around and include an environmental feature such as a stream, creek, or wetland.</p>	 A 3D architectural rendering of a pocket park. It shows a small, rectangular park area with a paved path that winds through it. There are several trees, shrubs, and some small structures or benches. The park is surrounded by buildings and a street. The perspective is from a slightly elevated angle, looking down into the park.

Square

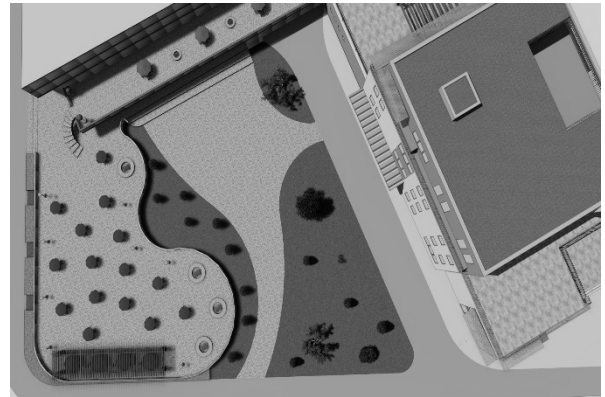
Description:

Squares are small to medium in scale; serve as a more formal open space for gathering for civic, social, and commercial purposes. Squares are typically rectilinear in shape and are bordered on all sides by a vehicular right-of-way (public and/or private), which, together with building frontages, creates its definition and boundaries.

Components:

Size: Small, Medium

Features: Shade structures, gazebo, seating areas, multi-purpose lawn space, playground/play space, sidewalks, or other pedestrian facilities.



Green

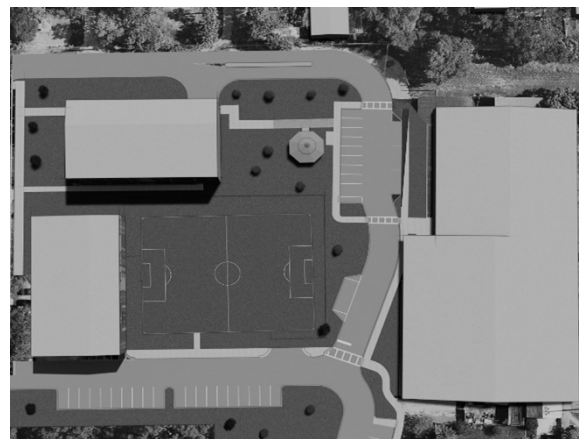
Description:

Greens are generally small to medium scale; provide more informal spaces supporting active or passive recreation for neighborhood residents within walking distance. Typically bounded by streets and/or the fronts of buildings.

Components:

Size: Small, Medium

Features: Shade structures, gazebo, seating areas, multi-purpose lawn space, playground/play space, limited/small scale recreational facilities.



Linear Park

Description:

Linear parks are presumed to be medium to large scale; may also be referred to and used as a greenway; may be formalized based on its function (i.e., multimodal trail/connectivity), typically follow a natural feature including but not limited to a stream, wetland system, or man-made feature natural feature; may also follow streets. Linear Parks may connect other open spaces as well as neighborhoods.



Components:

Size: Medium, Large

Features: Walking trails, sidewalks, environmental features (wetlands, creeks, streams), shade structures, gazebo, seating areas, multi-purpose lawn space, playground/play space. Human-made lakes and stormwater features are included in this type; however, they must be publicly accessible with a trail or sidewalk. A maximum of **twenty-five (25) percent %** of the area of human-made lakes and stormwater features can be counted as open space.

Neighborhood Park

Description:

Neighborhood parks are generally medium to large scale; provides formal and/or informal active and passive recreational activities to residents and the community.

Components:

Size: Medium, Large

Features: Shade structures, gazebo, seating areas, multi-purpose/sports fields, pools and splash pads, great lawn playground/play space, natural environments, and plantings. Human-made lakes and stormwater features are included in this type; however, they must be publicly accessible with a trail or sidewalk. A maximum of **twenty-five (25) percent** ~~%~~ of the area of human-made lakes and stormwater features can be counted as open space.



14.13.2 TOWN CENTER BUFFERING

A. Intent. Perimeter Buffer areas shall consist of a landscaped buffer intended to mitigate and screen the property from adjacent properties and public right-of-way.

B. Perimeter Buffer Area Standards. This Section describes minimum perimeter buffering standards for the TC district.

1. A perimeter buffer (i.e. buffer) area is determined exclusive of any required yard; however, perimeter buffers may be located in required yards.
2. Buffer areas must be located within the outer perimeter of the lot, parallel to and extending to the lot line.
3. Buffers are located and measured from the property line. No buildings, structures, principal or accessory uses are allowed in the buffer. Only the items identified in this Section are permitted within the buffer.

- C. Location.** Perimeter buffers begin at the common property line, immediately abutting the adjacent property. Where there is a perimeter easement (such as a drainage or utility easement) that does not allow for the installation of the buffer, then the required buffer shall be placed as close to the property line, adjacent to the easement, as possible.
- D. Permitted Items Within Buffers.** Required and additional plant materials, fences, walls, and berms are permitted in a buffer.
- E. Plant Material.** Required plant material, including ground cover and lawn grasses, shall be planted within the buffer. Plant material may be planted parallel to the buffer perimeter or may be meandered for aesthetic purposes. Required plant material may not be clustered and shall be planted in accordance with this Section and Article 14: Landscape and Appearance Standards. Buffers may incorporate greater width and additional plant materials. Perimeter buffer types standards are defined and illustrated in this Section.
- F. Fences and Walls.** Required fences and walls shall be installed in accordance with Section 14.6.9: Existing Vegetation, Fences, Walls, and Berms. Required fences and walls shall be inside the buffer, not along the outer perimeter and boundary line. Required plant material shall be installed in front of any required fence, so the required plant material is completely visible from the adjacent property or right-of-way.

Perimeter Buffer Types. The TC district shall require the minimum perimeter buffer defined in Table 14.13.2.

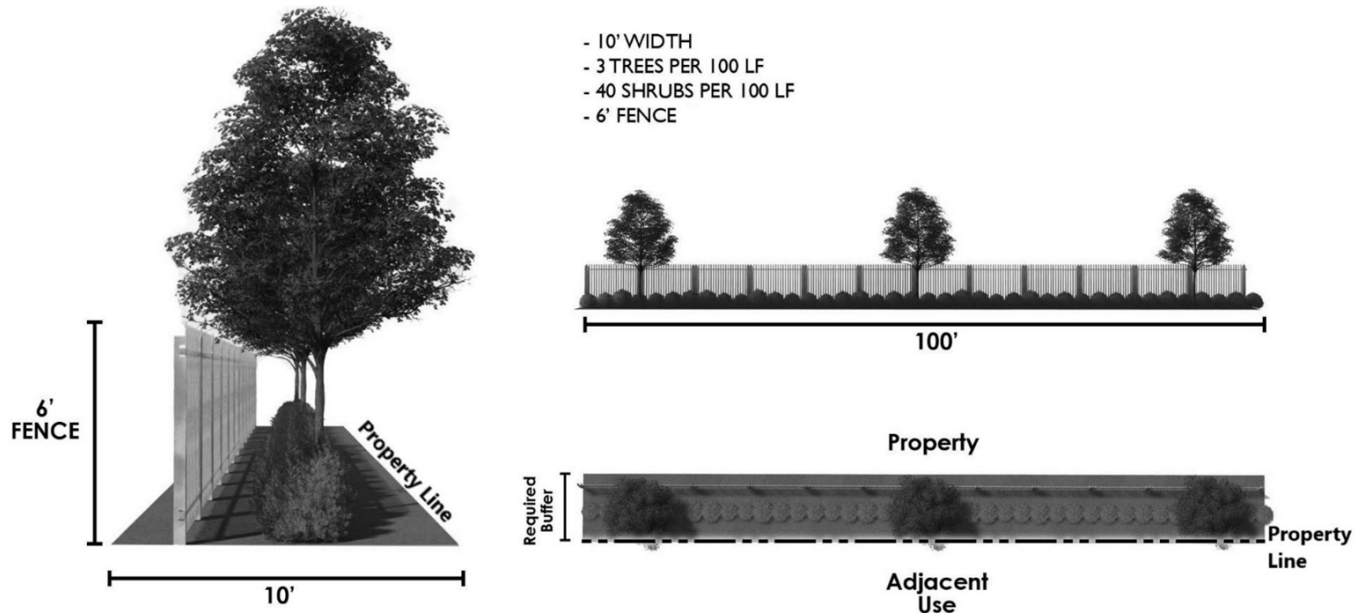
Table 14.13.2. TC Perimeter Buffer Type Table

Standard	Measurement
Minimum Width	10'
Minimum Canopy Trees	3
Minimum Understory Trees	N/R
Minimum Shrubs	40
Minimum Fence	6'
Minimum Wall	N/R
Minimum Berm	N/R
Key: <ul style="list-style-type: none"> N/R = Not Required Notes: <ul style="list-style-type: none"> Measurements provided are per 100 linear feet. Fences and walls are measured in height consistent with this UDO. 	

- **Trees and plants may not be clustered to achieve requirements; a maximum allowable 10' gap may be permitted.**
- **Minimum shrubs may be double staggered.**
- **Canopy trees may be on both sides of a wall as long as a minimum one-half of the required canopy trees are in front.**
- **Required parking area buffers and standard buffers between lots are still required in addition to required buffer types per Article 14.**

TC Perimeter Buffer Illustration. The following image shows an example of a TC perimeter buffer. The image is for illustrative purposes only.

TC Perimeter Buffer



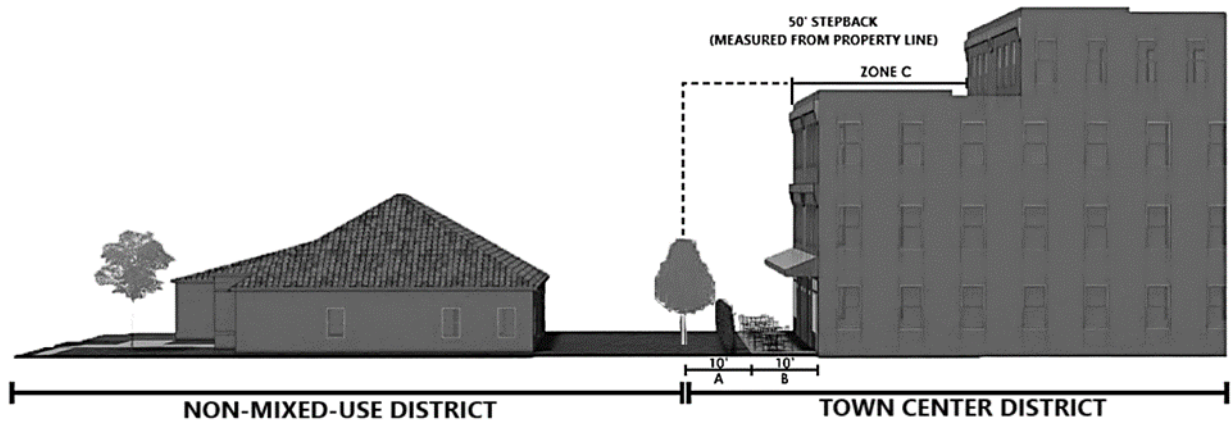
14.13.3 TOWN CENTER COMPATIBILITY

A. **Compatibility Standards.** Recognizing that mixed-use districts feature a unique mixture of uses and that the TC district abuts non-mixed-use districts, this Section intends to promote compatibility between these districts. Note: These standards apply to those uses and buildings located at the perimeter of the TC district and not internal to the district. There are no additional buffering requirements if a public right-of-way of at least **fifty (50) feet** in width separates the uses. This Section identifies "compatibility transition areas" which are intended to provide greater predictability by minimizing potential incompatibilities. The area of compatibility transition areas shall be provided within the TC district. The standards/dimensions provided in this Section may be modified as part of a design alternative, approved by the Board of Commissioners, provided that the intent of this Section is retained **and all requirements of Section 2.1(2)(g) are met**. Furthermore, the standards in this Section may be modified based on the type of lot in which the standard is being applied (i.e., shallow lot).

B. **Compatibility Transition Areas.** Figure 14.13.3 illustrates the locations of the TC district "compatibility transition areas", and a non-mixed-use district. Note: The dimensions noted in these figures are for illustrative purposes only; the specific dimensions and requirements for each area are provided in the following Sections.

A = "Buffer"
 B = "Use Restriction"
 C = "Height and Form"

Fig. 14.13.3. Compatibility Transition Areas Graphic



A: Buffer

- a. **Intent.** Consists of a landscaped buffer intended to buffer and screen the non-mixed-use district from the TC district. No buildings, structures, principal or accessory uses are allowed in the buffer other than permitted in this subsection.
- b. **Location.** It begins at the common property line, immediately abutting the TC district boundary line and the adjacent property.
- c. **Width.** Consists of a minimum **ten (10) feet landscaped buffer, with one (1) canopy tree per thirty (30) linear feet of the boundary line.** ~~and a 4' tall continuous hedge or 3' tall knee wall located at the property boundary line.~~ A **six (6) feet** tall masonry wall may be substituted for the hedge and knee wall as part of a design alternative, approved by the Board of Commissioners. The minimum **ten (10) feet** landscaped buffer shall be maintained.
- d. **Permitted Uses**
 - i. Landscaping
 - ii. Open spaces (plazas, parks, commons)
 - iii. Swales, low-impact/ bioretention facilities.
- e. **Design and Installation**
 - i. Required landscaping in a buffer yard must meet the design and installation requirements of Article 14.

B: Use Restriction

- a. **Intent.** Compatibility Transition Area B shall be occupied by open areas and/or low intensity uses, such as surface parking, alleys, landscaping, active use areas, outdoor dining, and limited service-related structures. Primary uses and accessory uses shall not be permitted in Area B unless expressly permitted in this subsection. If no uses are proposed within Area B, Area B may be combined with Area A for an expanded buffer / green space, including parks, plazas, or similar open spaces.
- b. **Location.** It begins at the edge of the protective yard of Area A and extends towards Area C and / or the primary structure(s).
- c. **Width.** Shall be a minimum of **ten (10)** feet in width.
- d. **Permitted Uses/Activities:**
 - i. Yard – **one (1)** tree every **thirty (30)** linear feet.
 - ii. Garden, park, open space.
 - iii. Outdoor dining.
 - iv. Path, walkway, sidewalk, multi-use recreational trail.

C: Height and Form

- a. **Intent.** Provided to mitigate potential visual nuisances that height may bring and is intended to restrict the height and form of development to decrease the potential impact of new mixed-use multi-story structures on **traditional non-mixed-use** zoning use districts.
- b. **Location.** It begins at the edge of Area B and extends inward.
- c. **Width.** Measures, from the property line, a minimum of **20' thirty (30) feet** inward (subject to the widths of Area A and B). ~~No structure shall be placed within Area A and B except through a design alternative, approved by the Board of Commissioners—~~Area C permits the by-right height.

C. **Form Standards.** The sides and rear facade of the building that faces the **general-use non-mixed-use** district shall meet the architectural requirements of Section ~~4.1.1: Mixed-Use District—Town Center (TC)~~**5.11: Town Center (TC) Standards**, with respect to windows, architectural features, and transparency requirements.

D. **Shallow Lots.** Recognizing that existing lots of record may not meet the proposed lot standards and/or potentially further inhibit and potentially limit a property's development, special considerations may be applied as part of a ~~zoning permit and a corresponding~~ design alternative, approved by the Board of Commissioners. An existing lot of record less than **one-hundred (100)** feet in depth may apply a 0.5x Ratio Effect Compatibility Scale to the Area A, Area B, and Area C standards. The Board of Commissioners, through a design alternative, may allow the combination of Area A and Area B. ~~Permitted Uses and Activities within the reduced Area widths. Design alternatives proposing a~~

~~reduction of Area A, Area B, and or Area C standards of the Ratio Effect Compatibility Scale must provide at a minimum a 10 foot Area A including the required canopy trees with a 6' tall opaque masonry wall and be approved by the Board of Commissioners.~~ Design alternatives proposing a reduction of Area A, Area B, and or Area C must still provide, at a minimum, a ten (10) feet Area A including the required canopy trees with a six (6) feet tall opaque masonry wall and be approved by the Board of Commissioners.

SECTION 8. That Article 16: Definitions; Section 16.4 Town Center District Standards Definitions be added to read as follows:

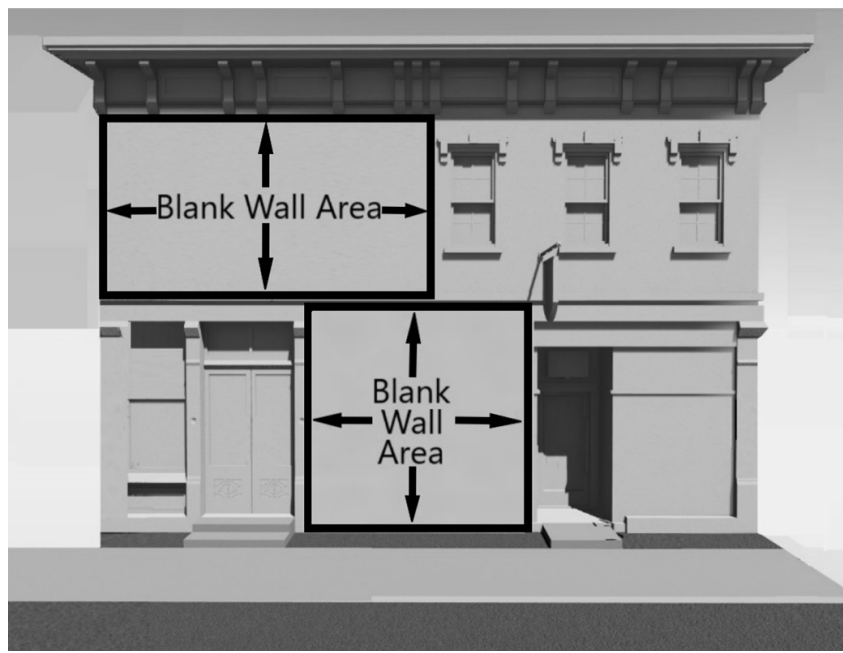
- ✓ Addition
- Deletion
- Alteration (additions are **blue text** and deletions are ~~struck through~~)

16.4 TOWN CENTER DISTRICT STANDARDS DEFINITIONS

The following standards are specific to the Town Center district within the Town of Rolesville. Due to the nature of mixed-use districts, which implement elements of form-based codes, the development standards in this Section have been adopted herein.

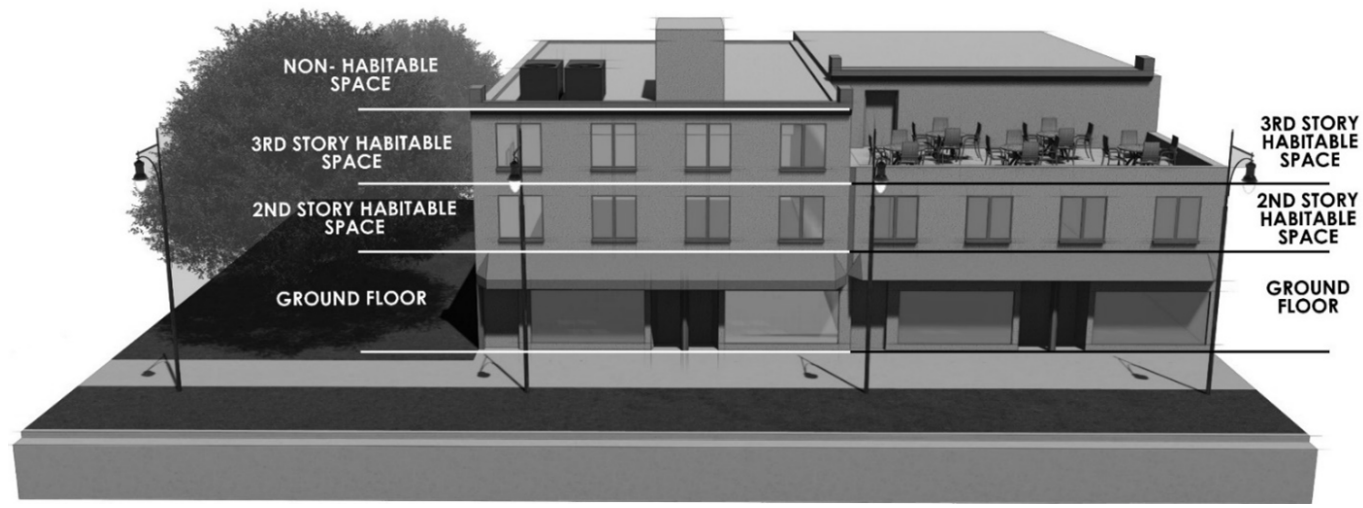
BLANK WALL AREA. Blank Wall Area shall refer to portions of an exterior façade that does not include windows, doors, columns, pilasters, architectural features greater than one (1) foot in-depth, or a substantial material change and is displayed. **A different color or shade of paint shall not be considered a significant material change.** Blank wall area applies in both a vertical and horizontal direction of the building façade and applies to ground floors and upper floors.

Figure 16.4.1. Blank Wall Area



~~**BUILDING HEIGHT:** Building Height shall be defined by stories rather than exclusively expressed in feet within the TC district. However, each story shall also have maximum height limitations described in feet. Height is limited to a maximum story allowance in Table 4.1.1.2: TC District Development Standards.~~

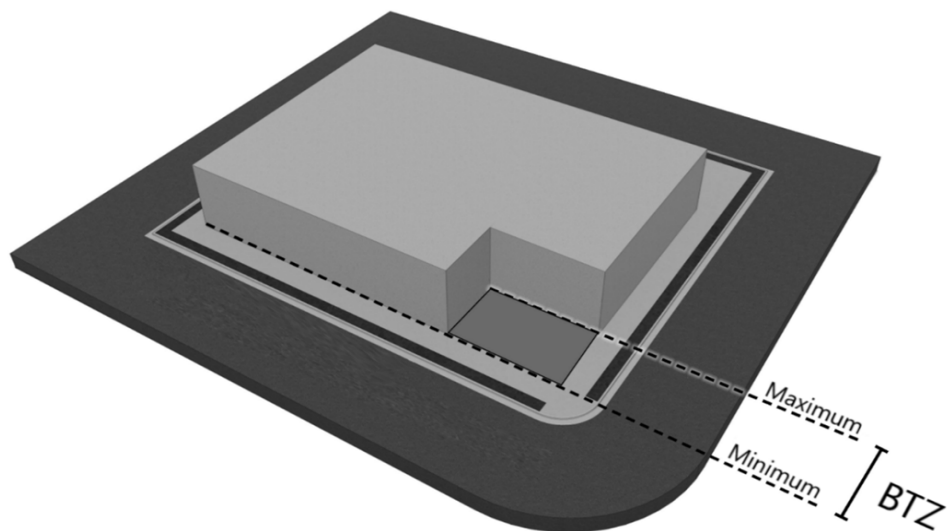
Figure 16.4.2. Building Height



~~**BUILDING HEIGHT STORY:** To calculate the height of a story, the ground floor (i.e., first story) of a structure shall be a maximum of 15 feet. Additional stories shall be a maximum of 12 feet for each individual story. Building heights are limited through Table 4.1.1.2: TC District Development Standards. To allow for a wide variety of building designs, requests to modify the allowable height of stories, so long as the maximum permitted height of the structure is not exceeded, may be permitted through a design alternative. Stories are understood to also include the habitable space of a building, excluding rooflines, architectural features, or similar. If there is habitable space on the rooftop of a structure (i.e. an active eating area, pool, or rooftop lounge), this shall constitute a story as defined in this UDO. Non-habitable rooftop architectural elements such as cornices, porch roofs, turrets, towers, or dormers and are limited to ten (10) feet in height. Non-habitable rooftop structures, such as structures used for sheltering mechanical and electrical equipment, tanks, elevators, and related machinery, shall be limited to fifteen (15) feet in height, not including base floor elevation (B.F.E.).~~

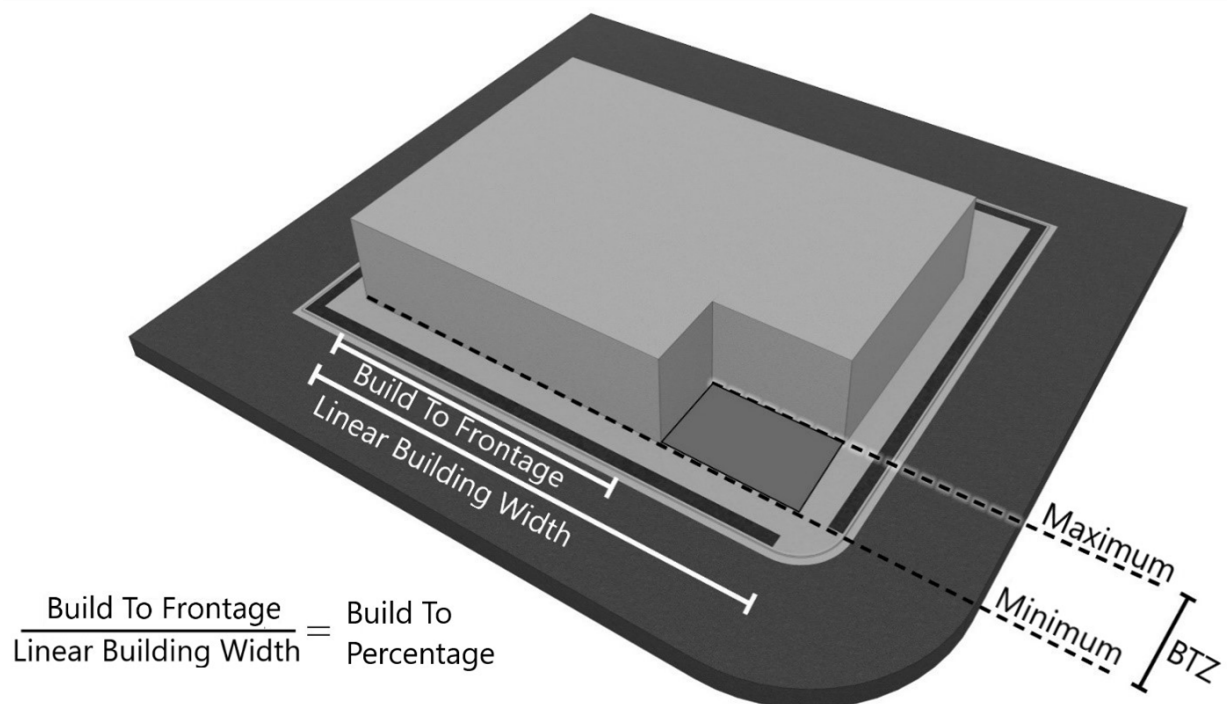
BUILDING PLACEMENT: Building Placement shall define standards for building placement in the form of a Build-To Zone (BTZ). The BTZ shall include a range of distances, expressed as a minimum and maximum setback, and as the range at which construction of a building façade is to occur on the lot, running parallel to the property line, ensuring a uniform façade along the street. The BTZ requirements shall include a front/street, side, and rear.

Figure 16.4.2. Building Placement



FRONTAGE (BUILD TO PERCENTAGE): Frontage, also referred to as the Build To Percentage (% Requirement), indicates the percentage of the width of the building in relationship to the width of the lot. Frontage dictates what percentage of the linear distance of the façade of a building must be located along the lot width. Active use areas refer to those areas along a frontage that may provide for active uses such as a forecourt, courtyards, outdoor dining, merchandise display, and shared gardens. Active use areas may be used to achieve frontage requirements.

Figure 16.4.3. Frontage



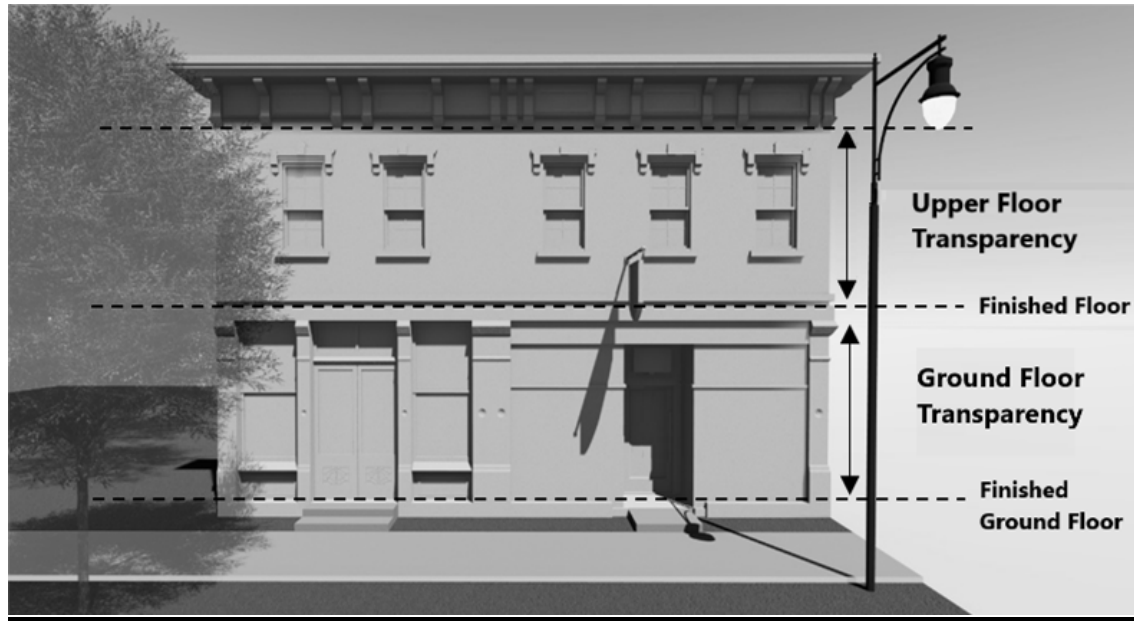
STREETWALLS: A streetwall is a consistent and continuous wall that runs parallel to a building and/or property line, along rights-of-way, or incompatible adjacent uses. Streetwalls provide scale and definition to adjacent rights-of-way and civic spaces.

Figure 16.4.4. Streetwalls



TRANSPARENCY AREA: Transparency Area requirements promote visually appealing building facades. Transparency is the minimum percentage of windows and doors that must make up a ground floor (first story) or upper story façade. A minimum transparency percentage is required for each story of a structure.

Figure 16.4.5. Transparency Area



SECTION 9. Effective Date. This ordinance shall become effective on the date of its adoption by the Board of Commissioners.

Adopted this ____ day of _____, 2020 by the Town of Rolesville Board of Commissioners.

Ronnie I. Currin
Town of Rolesville Mayor

CERTIFICATION

I, _____, Town Clerk for the Town of Rolesville, North Carolina, do hereby certify the foregoing to be a true copy of an ordinance duly adopted at the meeting of the Town Board of Commissioners held on this ____ day of _____, 2020.

In witness whereof, I have hereunto set my hand and caused the seal of the Town of Rolesville to be affixed this ____ day of _____, 2020.

(seal)

Robin Peyton
Town Clerk



[Return to Agenda](#)



ROLESVILLE NEXT

Unified Development Ordinance Update

PROPOSED TOWN CENTER UDO TEXT AMENDMENTS

Prepared By:
Kimley-Horn and Associates



TEXT CHANGE
AMEND UNIFIED DEVELOPMENT ORDINANCE

Editorial Background: The Town's current Town Center standards are adopted within the UDO as an Overlay District as compared to a "standard" zoning district. The standards specific to the Overlay are currently found in UDO Article 7 Overlay District Standards, Section 7.4. Due to current development interest and the schedule for the completion of the revised UDO, the Town is proposing a UDO Text Amendment addressing specifically the Town Center while the rest of the UDO is being revised.

More specifically, the Town is recommending Article 7.4 of the Unified Development Ordinance be stricken in its entirety and the following underlined amendments are proposed. Note, additional sections and portions of the UDO will be proposed for amendment subsequently; however, the below will allow the proposed development to proceed while keeping with the spirit and intent of not only the existing TC Overlay District but also the standards being developed for the revised UDO.

Amendment summary (Note, the Sections listed below reference the Town's current UDO):

- Amend Section 2.1(2). Board of Commissioners
- Create Section 4.1.1. Mixed-Use District – Town Center (TC)
- Amend Section 5.1. Table of Permitted Uses
- Create Section 5.11. Town Center (TC) Standards
- Create Section 9.14.6. Masonry Ordinance, Applicability
- Create 10.1.11. Town Center Parking Requirements
- Create Section 14.13. Town Center Landscaping, Buffering And Compatibility
- Create Section 16.4. Town Center District Standards Definitions

2.1 BOARD OF COMMISSIONERS

2.1(2) To review, hear, consider and approve, approve with conditions, or disapprove as appropriate:

- (a) The adoption of an ordinance to amend the Rolesville Official Zoning Map (rezoning); provided, however, the final action by the Town Commissioners shall include the adoption of a statement describing whether its action is consistent with the Comprehensive Plan and any other applicable town-adopted plan(s) and explaining why the Commissioners considers the action taken to be reasonable and in the public interest).
- (b) Applications for special use permits.
- (c) Applications for site plans.
- (d) Applications for master subdivision plans.
- (e) Applications for preliminary subdivision plats.
- (f) Alternative Parking Plans. Alternative Parking Plans shall be reviewed in accordance with Section 3.6.2, Quasi-Judicial Evidentiary Hearings, and shall include all required items defined in Section 10.1.11: Town Center Parking Requirements.
- (g) Design Alternatives, where permitted in this UDO. Design Alternatives shall be reviewed in accordance with Section 3.6.2, Quasi-Judicial Evidentiary Hearings.

4.1.1 MIXED-USE DISTRICT – TOWN CENTER (TC)

- A. **Purpose and Intent.** The Town of Rolesville recognizes the importance of compact and urban forms of development centered on a mix of uses, residential and nonresidential, with specific design and development related standards. The Town's adopted comprehensive plan identifies recommended mixed-use neighborhoods, including the Town Center area, each with its representative and unique standards. Standards applicable to development within the Town Center (TC) shall apply to all parcels designated as Town Center (TC) on the Official Zoning Map. Standards are defined in Section 5.11.

5.1 TABLE OF PERMITTED USES

Uses allowed in the districts named in this ordinance shall be in accordance with the following table in which "x" signifies that the use is permitted as of right, "s" indicates that the use is a special use which requires approval of the Town Board of Commissioners, and a blank indicates that the use is not permitted in that zoning district. Uses allowed in Special Use Districts shall be in accordance with Section 5.3.

	R80W	R40W	R1	R1-2	R1-D	R2	R2-D	R3	RMH	RuMH	UMH	C	CO	CH	OP	I	TC
Above ground storage of petroleum products (NFPA rules may apply)													S	S		S	
Adult day care															S		
Adult entertainment																S	
Amusement, recreation, and sporting goods manufacturing																X	
Animal hospital or veterinary clinic												X	X	S			<u>X</u>
Animal service facility												S	S	S		S	<u>S</u>
Art, dance, or photo studios												S	S	S	S		<u>X</u>
Automobile carwash (use of recycled water only and UDO Article 8 standards)													S	S			
Automobile detailing												X	X	S			

ROLESVILLE UDO: TOWN CENTER DISTRICT UDO TEXT AMENDMENTS

Automobile parts and accessories manufacturing																	X	
Automobile repair garages (UDO Article 8)												S	X	S				
Automobile service stations												S	S	S				
Banks												X	X	S	X		<u>X</u>	
Bar/tavern/nightclub												S	S	S			<u>S</u>	
Barber and Beauty shops												X	X	S	X		<u>X</u>	
Bed, breakfast, & tourist home																	S	
Bedding and carpet manufacturing																	X	
Bottling and canning plant																	X	
Building materials sales																	X	
Business machine manufacturing																	X	
Churches & places of worship	X	X	X		X	X	X		X									<u>X</u>
Clothing manufacturing																	X	
Clubs (civic & fraternal)	X	X	X		X	X	X		X									<u>X</u>
Commercial commissary												S	S	S		S	<u>S</u>	
Conservation development	S	S	S	S	S	S	X		S									

ROLESVILLE UDO: TOWN CENTER DISTRICT UDO TEXT AMENDMENTS

Construction offices and equipment storage																	X	
Dwelling - single family	X	X	X	X	X	X	X		X	X	X		S	S				<u>X</u>
Dwelling - two family					X		X		X									<u>X</u>
Dwelling - multi family					S	S	S	S										<u>X</u>
Dwelling - manufactured home									X	X	X							
Dwelling - manufactured home park									X		S							
Drugs, medicines, and cosmetic manufacturing																	X	
Eating establishment												X	X	S				<u>X</u>
Eating establishment-no drive thru															X			<u>X</u>
Electronic equipment manufacturing																	X	
Electronic gaming operation (see 8.3.10 for additional standards)												S	S	S				
Event venue												S	S	S	S	S		<u>S</u>
Farm machinery assembly, repair, and sales																	X	
Farming and trucking	X	X	X		X	X	X		X	X	X							
Food truck												X	X	S			X	<u>X</u>
Food truck uses												X	X	S			X	<u>X</u>
Fitness center												S	S	S	S			<u>S</u>

ROLESVILLE UDO: TOWN CENTER DISTRICT UDO TEXT AMENDMENTS

Funeral home and crematory												X	X	S	X		
Furniture manufacturing																X	
Golf courses and driving range													S	S			
Governmental facilities	S	S	S	S	S	S	S		S	S	S	X	X	S	X		<u>X</u>
Group care homes (defined by §168 for handicap persons, UDO Articles 3 and 16)	X	X	X	X	X	X	X		X	X	X						
Group housing projects (UDO Article 8.3)			S			S	S	S									
Hardware and housewares manufacturing																X	
Home occupations	X	X	X		X	X	X	X	X	X	X		X	S			<u>X</u>
Kindergartens, nurseries, day cares	X	X	X		X	X	X		X			X	X	S	X		<u>X</u>
Laundromat (use of recycled water only)												S	S	S			<u>S</u>
Leather product manufacturing (not including the manufacturing of leather)																X	
Library												X	X	S	X		<u>X</u>
Lodging or boarding of transients provided not more than 50	X	X	X		X	X	X		X								<u>S</u>

ROLESVILLE UDO: TOWN CENTER DISTRICT UDO TEXT AMENDMENTS

percent of gross floor area is used																	
 Market and sales of produce and seasonal goods	s	s	s									s	s				<u>s</u>
Medical clinic												x	x	s	x		<u>x</u>
Monument manufacturing																x	
Offices for business and professional service												x	x	s	x	x	<u>x</u>
Paper products manufacturing (not including the manufacture of paper)																x	
Parking lots for vehicles												x	x	s	x		<u>x</u>
Plastic product manufacturing																x	
Printing, graphics, or copy centers												x	x	s		x	<u>s</u>
Public recreational parks & centers	x	x	x	x	x	x	x	s	x	x	x						<u>x</u>
Private recreation facilities part of subdivision or HOA	x	x	x	x	x	x	x		x	x	x						<u>x</u>
Retailing establishments (excluding vehicle sales lots)												x	x	s	s		<u>x</u>

ROLESVILLE UDO: TOWN CENTER DISTRICT UDO TEXT AMENDMENTS

Research laboratories																X	
Rest homes, nursing centers, and assisted living facilities			X		X	X	X	S							S		<u>S</u>
Site specific development plans (associated with §160A-385.1)	S	S	S	S	S	S	S		S	S	S	S	S	S	S	S	<u>S</u>
Schools (public and private)	X	X	X		X	X	X		X	X	X		X	S			<u>S</u>
Shopping centers (provided use is listed within this table)												X	X	S			<u>X</u>
Signs	X	X	X	X	X	X	X	X	X	X	X	X	X	S	X	X	<u>X</u>
Storage (provided not visible from street and opaque wall/fence with height of six feet)																X	
Storage (provided not visible from street)												X	X	S	X		<u>S</u>
Uses and buildings customarily accessory to the permitted use (UDO Article 5.5)												X	X	S	X	X	<u>X</u>
Uses in accessory buildings (UDO Article 5.5)	X	X	X	X	X	X	X	S	X	X	X	X	X	S	X	X	<u>X</u>
Temporary uses (with development standards)			S		S	S	S	S	S	S	S	S	S	S	S	X	<u>S</u>

Textiles and cordage manufacturing																	X	
Vehicle sales lots (parking areas for vehicles are paved with asphalt or concrete)														X		S		
Wrecker service and vehicle storage														S		S		S
* See Section 5.11(C)1																		

5.11. TOWN CENTER (TC) STANDARDS

- A. **Standards.** District development standards are defined for the TC district via a district development standards table and apply to all properties within the TC district.
- B. **Measurement of Development Standards.** The measurement of development standards included within the TC district are defined in various Sections of this UDO. Each standard within the district development standards table provides a reference to the applicable Section where measurements of the standard are provided. Design alternatives may be requested, where permitted, consistent with Section 2.1(2).
- C. **Permitted Uses.** Uses permitted shall be as identified in Table 5.1: Table of Permitted Uses.
1. Single-family detached residential is not permitted, except that legally existing single-family detached residential, at the time of this amendment, shall be permitted to remain, consistent with Section 3.10: Vested Rights.
- D. **TC District Development Table.** District development standards are defined for the TC district via Table 5.11: TC District Development Standards.

ROLESVILLE UDO: TOWN CENTER DISTRICT UDO TEXT AMENDMENTS

Table 5.11. TC District Development Standards

<u>STANDARDS</u>		<u>TC REQUIREMENTS</u>
<u>Building Height (See Section 16.4)</u>		<p>Max: 35 Feet (By Right)</p> <p>60 Feet May Be Permitted By Design Alternative, Reviewed By Board Of Commissioners</p> <p>Maximum 60 Feet In Height With An Interior Sprinkler Or Fire Suppression System Is Required. If No Sprinkler Or Fire Suppression System Is Provided, The Building Shall Not Exceed 35 Feet in Height</p> <p>Building Heights Above 35 Feet Require Additional Compatibility Standards Per Section 14.13.3</p>
<u>Density</u>		<p>20 Units/Acre (Single-Use Residential Building)</p> <p>(No Density Standard For Upper Story Residential When Part Of A Mixed-Use Building, And / Or Live-Work Unit)</p>
<u>Building Placement (See Section 16.4)</u> <u>(Min/Max)*1 *2 *3 *4</u> <u>See Also Streetwalls</u>	<u>Front/Street</u>	<u>0'/20'</u>
	<u>Side</u>	<u>0'/15'</u>
	<u>Rear</u>	<u>0'/45'</u>
<u>Lot (See Section 16.4)</u>	<u>Length (Min)</u>	<u>50'</u>
	<u>Width (Min)</u>	<u>25'</u>
	<u>Coverage (Min / Max)</u>	<u>25% / 100%</u>
<u>Frontage (See Section 16.4)</u>	<u>% Requirement</u>	<u>50%</u>
	<u>Active Use Areas</u>	<p>Permitted; Maximum Length: 25' or 75% of Building Frontage (Whichever is Less)</p> <p>Maximum AUA Depth: 10'</p>
	<u>Encroachments (Upper Story Only; Only Where Clear Of Public Utilities)</u>	<p>Maximum Length: 50% of Building Frontage</p> <p>Maximum Encroachment: 6'</p> <p>Minimum Clearance: 8'</p> <p>Balconies, Awnings, And Porches Are Permitted Encroachments</p>
	<u>Entrances</u>	<p>Front (Primary Street-Facing); Corner Lots May Orient Entrances To The Corner Or Provide An Additional Entrance Oriented To The Secondary Street)</p>
<u>Landscaping (See Section 14.13)</u>		<p>Property Perimeter, Parking Perimeter And Vehicle Use Areas) And Service Areas; Foundation Plantings</p> <p>Permitted Open Space Types: Green, Commons, Square, Plaza</p>

Building and Site Design	
<u>Architectural Standards (See Section 16.4)</u>	<u>Blank Walls Not Permitted Facing Any Public Street Frontage Or Non-Mixed-Use Zoning District</u>
<u>Maximum Single-Use/Single-Tenant Building Size (Excluding Residential Only Structures)</u>	<p><u>35,000 Square Feet</u></p> <p><u>No Size Limits For Mixed-Use Buildings</u></p> <p><u>Maximum 50% Of Residential Units May Be Permitted Without Construction Of At Least 25% of the Approved Commercial Component</u></p>
<u>Maximum Blank Wall (See Section 16.4)</u>	<p><u>Maximum 50 Square Feet Blank Wall Area Or 15% Of The Total Wall Area (Not To Exceed 50 Square Feet)</u></p> <p><u>A Maximum 25' In Length Without A Compliant Design Feature</u></p>
<u>Minimum Transparency % (By Story) (See Section 16.4)</u>	<u>40% Transparency On First Story, 35% Transparency For Each Story Above</u>
<u>Drive-Through Locations</u>	<u>Side Or Rear Only; Not Adjacent To The Primary Street</u>
<u>Streetwalls Required (See Section 16.4) *⁵</u>	<p><u>Drive-Throughs</u></p> <p><u>Parking Areas (Excluding On-Street Parking) Fronting Public Streets May Be Utilized To Meet The Building Frontage Requirements</u></p>
<u>Rooflines *⁶</u>	<u>Only Flat And Gable Roofs Are Permitted; Parapets May Extend 36" Above The Roofline; Mansard Roofs Are Prohibited</u>

Table 5.11. Additional Standards:

*1 = Subject to Compatibility/Perimeter Standards provided in Section 14.13.3.

*2 = Measured from the edge of the public right-of-way or existing public sidewalk if not located within the right-of-way.

*3 = Building placement dimensions may be varied administratively, by the Planning Director.

*4 = An administrative exception may be granted for side building placement that utilize fire-rated separation walls within 10 feet of side property lines, per compliance with 601 NCSBC-2018, Table 601 and Table 602.

*5 = Streetwalls shall be constructed of brick, masonry, stone, wrought iron, or other solid decorative materials. Wood, fencing, and chain link are prohibited materials for a streetwall. Streetwalls shall be a minimum of three (3) feet and a maximum of four (four) feet in height. Breaks in streetwalls are permitted to allow for pedestrian or vehicular access, recessed storefront entrance, plazas, or for tree protection. On corner parcels, the corner of the building may be recessed from the front and side property lines on a diagonal. A design alternative, reviewed by the Board of Commissioners, may be requested for a continuous hedge. Streetwalls or combination of streetwalls and canopy trees (no hedge or opaque walls) are required where buildings do not front a public ROW.

*6 = Building rooflines that face a street shall not exceed a linear distance of 35 feet without the introduction of a physical articulation of no less than one (1) foot in the vertical direction.



DRAFT

9.14 MASONRY ORDINANCE

9.14.6 TOWN CENTER

- A. The Town Center district shall require brick exterior wall construction for any nonresidential structure that is approved after the effective date of this Ordinance. The primary façade material used in construction shall compose, as a minimum, seventy-five (75) percent of the non-glass wall surface. For the purpose of this Section, primary façade shall be defined as any façade facing a street right-of-way or drive aisle that serves as a connection; secondary facades shall be defined as any façade which does not face a street right-of-way or drive aisle that serves as a connection. The following standards shall also apply:
1. Wood or concrete shake siding is prohibited.
 2. Vinyl siding is prohibited.
 3. Split or smooth faced concrete block is prohibited.
 4. Metal siding may be permitted up to a maximum five (5) percent of the non-glass wall surface, trim and accents.
 5. Exterior insulation finishing system (EIFS) may be permitted on secondary facades.

10.1 OFF-STREET PARKING REQUIREMENTS

10.1.11 TOWN CENTER PARKING REQUIREMENTS. The following shall be the allowable range of off-street parking spaces provided for uses within the Town Center District. The following standards shall be applied to uses, as illustrated on a concept plan, site plan or similar document.

USES	NUMBER OF REQUIRED OFF-STREET PARKING SPACES	
	MINIMUM REQUIRED	MAXIMUM ALLOWED
<u>MIXED-USE RESIDENTIAL</u>	<u>2 spaces per dwelling unit^{*1}</u>	<u>3 spaces per dwelling unit</u>
<u>MIXED-USE NONRESIDENTIAL</u>	<u>3 spaces for each 1,000 square feet of gross floor area</u>	<u>5 spaces for each 1,000 square feet of gross floor area</u>
<u>Notes</u> <u>*1: Includes guest parking</u>		

- A. **Town Center Parking.** It is understood that due to its nature, the TC district shall allow for lower off-street parking requirements than traditional zoning districts. Parking within this district may allow for on-street parking, parking structures, and alternative parking

plans. The numbers above assume a mixed-use development. For developments not of a mixed-use nature, the standard parking rates per Section 10.1.10 shall apply.

1. **On-Street Parking.** Up to five (5) percent of the required off-street parking may be provided through on-street parking. On-street parking shall be located within five-hundred (500) feet walking distance of the building for which it is used, along an improved path, sidewalk, or similar constructed facility, and is permitted to be counted toward the required off-street parking requirements.
2. **Parking Structures.** Parking structures may be permitted but shall require approval by the Board of Commissioners as part of a site plan per the review process defined in Section 2.1 and the standards defined in Section 14.2.1. Parking structures shall utilize the same elements as those found within the principal building. Such features shall not exceed fifty (50) percent of the façade, to allow for increased light and ventilation. Glazing standards are not required.
3. **Shared Parking.** The following shared parking standards shall be required in the TC district. Shared parking shall reduce the overall required minimum off-street parking by fifteen (15) percent. An applicant shall submit a shared parking analysis to the Planning Director as a means of reducing the total number of required off-street parking spaces required. Shared parking analysis, at minimum, shall include and comply with the following:
 - a. Identification of proposed uses within the development.
 - b. Calculation of the fifteen (15) percent shared parking reduction which will be applied, per proposed use.
 - c. Proposed uses served by the shared parking arrangement shall have different peak parking demands or otherwise operate in a manner that the uses sharing parking have access to the required minimum number of off-street parking spaces when in operation. Narrative and calculations shall be prepared by a Professional Engineer or Certified Land Use Planner and provided as part of the shared parking analysis, explaining the merit of the shared parking arrangement.
 - d. Cross access agreements (i.e. legal instruments), if required for the principal property and adjacent properties to ensure shared parking can function, shall be provided to the Planning Director.
 - e. Shared parking arrangements shall be a formal legal instrument and be provided to the Planning Director.
4. **Alternative Parking Plan (APP).** An applicant may propose an alternative parking plan (APP) if off-street parking requirements cannot be met, consistent with Section 2.1.2(g). The Board of Commissioners shall accept an APP in place of the

parking requirements for a proposed use, only if the below requirements are met:

- a. A parking study must be submitted that is prepared by a registered Professional Engineer or Certified Land Use Planner.
- b. The study must include the size, type, and proposed use(s) of the development; anticipated peak parking; anticipated normal parking amounts; and a narrative and data as to why the parking requirements of the proposed development are unique in nature.
- c. An APP shall be granted only where the narrative and data provided by the registered Professional Engineer or Certified Land Use Planner clarify the need for the APP, the context of the APP, consequences of the APP, and that the APP will not constitute a public nuisance or detriment to the Town, including but not limited to parking in non-designated areas, blocking of traffic, restriction of access (both vehicular and pedestrian), and public safety.

14.13 TOWN CENTER LANDSCAPING, BUFFERING, AND COMPATIBILITY

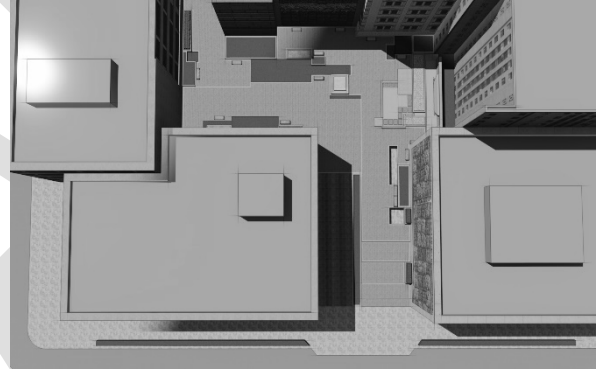
14.13.1 TOWN CENTER OPEN SPACE

- A. Intent.** Open space provides and serves the Town Center (TC) district with active and passive recreational opportunities. Open space shall be provided at all levels to ensure an appropriate mix. Stormwater management practices, such as storage and retention facilities, may be integrated into open space types and utilized to meet stormwater requirements for surrounding parcels per this Section.
- B. Stormwater Features.** Stormwater features may be designed as formal or natural amenities with additional uses other than stormwater management, such as an amphitheater, sports field, or a pond as part of the landscape design. Where stormwater features are used for open space purposes of this Section, stormwater features shall not be fenced and shall not impede public use of the land they occupy. Stormwater features may be counted towards a percent of the required open space based on the criteria noted in Table 14.13.1.2.
- C. Open Space Size/Acreage.** For the purposes of this Section, open space sizes are identified in Table 14.13.1.1. The sizes may be modified by a design alternative, approved by the Board of Commissioners based on the location, facilities / amenities provided, or similar. The following shall apply:
1. Mixed-Use and Non-Residential Development: Shall set aside ten (10) percent of the total development as open spaces uses.
 2. Residential Development: Shall set aside one (1) acre for each fifty (50) residential units provided.
- D. Additional Open Space Standard.** Development or redevelopment shall provide the following: Development shall provide one or more of the open space sizes and corresponding open space types meeting the set-aside standards above. For development greater than ten (10) acres, at least one (1) medium and at least one (1) large open space size type shall be provided. This standard may be modified by a design alternative, approved by the Board of Commissioners based on the type and size of the open space proposed, provided there is no decrease in open space provided. Open space types and requirements are identified in Table 14.13.1.1 and Table 14.13.1.2.

Table 14.13.1.1. Open Space (Size/Acreage)

<u>Open Space Size</u>	<u>Acreage (range)</u>
<u>Small</u>	<u>0.25 – 1.5</u>
<u>Medium</u>	<u>1.5 – 5.0</u>
<u>Large</u>	<u>5 or greater</u>

Table 14.13.1.2. Open Space Types

<u>Open Space Type</u>	<u>Illustrative</u>
<p><u>Plaza</u></p> <p><u>Description:</u> <u>Plazas are generally small to medium scale; serves as a gathering place for civic, social, and commercial purposes. The Plaza may contain a greater amount of impervious coverage than any other open space type. Typically located in the front or sides of a building or group of buildings; plazas may not be located in the rear of the building or property except as approved as part of a zoning permit.</u></p> <p><u>Components:</u> <u>Size: Small, Medium</u></p> <p><u>Features: Shade structures, seating/benches, tables, including gaming tables; Special features, such as fountains and public art, are encouraged.</u></p>	

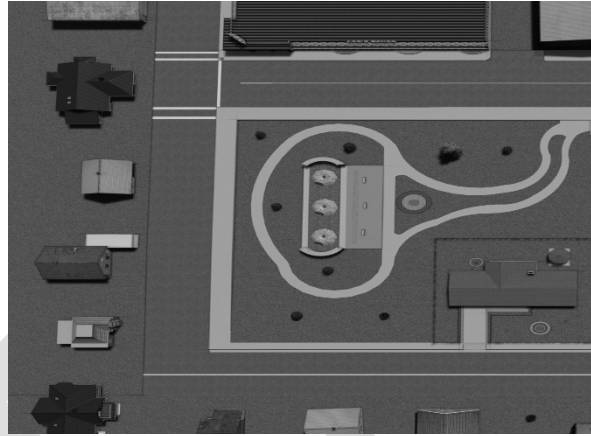
Pocket Park**Description:**

Pocket parks are generally small in scale; primarily landscaped active or passive recreation and gathering space within a one-quarter mile walking distance of a majority of residents.

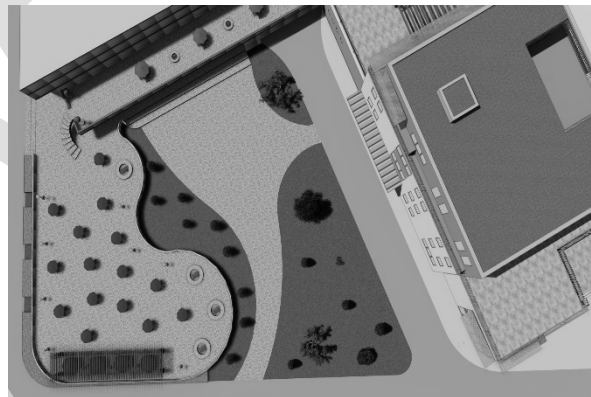
Components:

Size: Small

Features: Shade structures, gazebo, seating areas, multi-purpose lawn space, playground/play space, trail; may also be formed around and include an environmental feature such as a stream, creek, or wetland.

**Square****Description:**

Squares are small to medium in scale; serve as a more formal open space for gathering for civic, social, and commercial purposes. Squares are bordered by a vehicular right-of-way (public and/or private), which, together with building frontages, creates its definition and boundaries.

**Components:**

Size: Small, Medium

Features: Shade structures, gazebo, seating areas, multi-purpose lawn space, playground/play space, sidewalks, or other pedestrian facilities.

Green**Description:**

Greens are generally small to medium scale; provide more informal spaces supporting active or passive recreation for neighborhood residents within walking distance. Typically bounded by streets and/or the fronts of buildings.

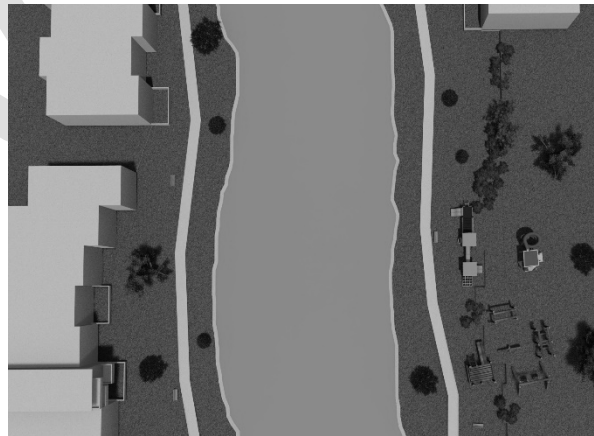
Components:

Size: Small, Medium

Features: Shade structures, gazebo, seating areas, multi-purpose lawn space, playground/play space, limited/small scale recreational facilities.

**Linear Park****Description:**

Linear parks are presumed to be medium to large scale; may also be referred to and used as a greenway; may be formalized based on its function (i.e., multimodal trail/connectivity), typically follow a natural feature including but not limited to a stream, wetland system, or man-made feature natural feature; may also follow streets. Linear Parks may connect other open spaces as well as neighborhoods.

**Components:**

Size: Medium, Large

Features: Walking trails, sidewalks, environmental features (wetlands, creeks,

streams), shade structures, gazebo, seating areas, multi-purpose lawn space, playground/play space. Human-made lakes and stormwater features are included in this type; however, they must be publicly accessible with a trail or sidewalk. A maximum of twenty-five (25) percent of the area of human-made lakes and stormwater features can be counted as open space.

Neighborhood Park

Description:

Neighborhood parks are generally medium to large scale; provides formal and/or informal active and passive recreational activities to residents and the community.

Components:

Size: Medium, Large

Features: Shade structures, gazebo, seating areas, multi-purpose/sports fields, pools and splash pads, great lawn playground/play space, natural environments, and plantings. Human-made lakes and stormwater features are included in this type; however, they must be publicly accessible with a trail or sidewalk. A maximum of twenty-five (25) percent of the area of human-made lakes and stormwater features can be counted as open space.



14.13.2 TOWN CENTER BUFFERING

- A. **Intent.** Perimeter Buffer areas shall consist of a landscaped buffer intended to mitigate and screen the property from adjacent properties and public right-of-way.
- B. **Perimeter Buffer Area Standards.** This Section describes minimum perimeter buffering standards for the TC district.
1. A perimeter buffer (i.e. buffer) area is determined exclusive of any required yard; however, perimeter buffers may be located in required yards.
 2. Buffer areas must be located within the outer perimeter of the lot, parallel to and extending to the lot line.
 3. Buffers are located and measured from the property line. No buildings, structures, principal or accessory uses are allowed in the buffer. Only the items identified in this Section are permitted within the buffer.
- C. **Location.** Perimeter buffers begin at the common property line, immediately abutting the adjacent property. Where there is a perimeter easement (such as a drainage or utility easement) that does not allow for the installation of the buffer, then the required buffer shall be placed as close to the property line, adjacent to the easement, as possible.
- D. **Permitted Items Within Buffers.** Required and additional plant materials, fences, walls, and berms are permitted in a buffer.
- E. **Plant Material.** Required plant material, including ground cover and lawn grasses, shall be planted within the buffer. Plant material may be planted parallel to the buffer perimeter or may be meandered for aesthetic purposes. Required plant material may not be clustered and shall be planted in accordance with this Section and Article 14: Landscape and Appearance Standards. Buffers may incorporate greater width and additional plant materials. Perimeter buffer types standards are defined and illustrated in this Section.
- F. **Fences and Walls.** Required fences and walls shall be installed in accordance with Section 14.6.9: Existing Vegetation, Fences, Walls, and Berms. Required fences and walls shall be inside the buffer, not along the outer perimeter and boundary line. Required plant material shall be installed in front of any required fence, so the required plant material is completely visible from the adjacent property or right-of-way.

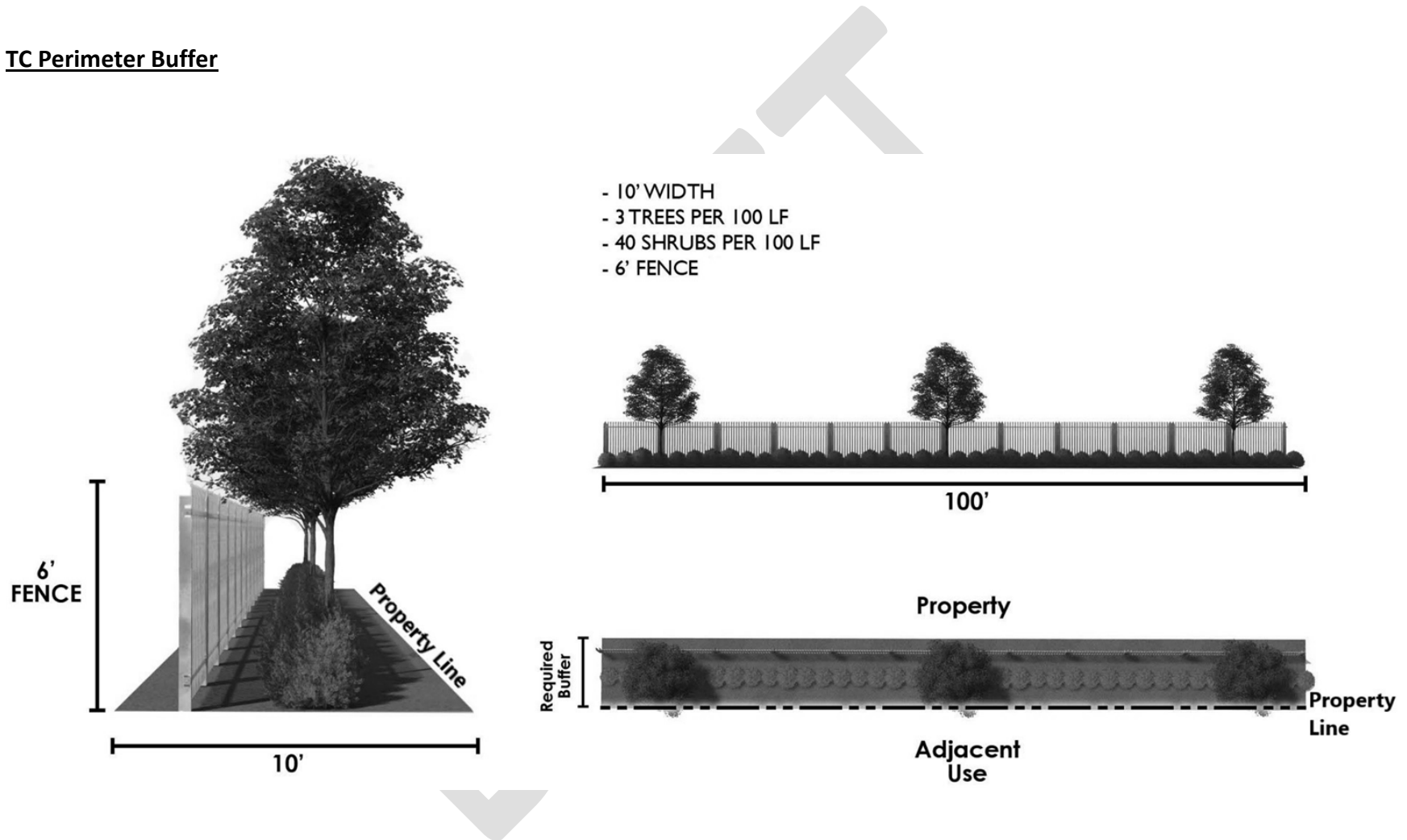
Perimeter Buffer Types. The TC district shall require the minimum perimeter buffer defined in Table 14.13.2.

Table 14.13.2. TC Perimeter Buffer Type Table

<u>Standard</u>	<u>Measurement</u>
<u>Minimum Width</u>	<u>10'</u>
<u>Minimum Canopy Trees</u>	<u>3</u>
<u>Minimum Understory Trees</u>	<u>N/R</u>
<u>Minimum Shrubs</u>	<u>40</u>
<u>Minimum Fence</u>	<u>6'</u>
<u>Minimum Wall</u>	<u>N/R</u>
<u>Minimum Berm</u>	<u>N/R</u>
<u>Key:</u> <ul style="list-style-type: none"> <u>N/R = Not Required</u> <u>Notes:</u> <ul style="list-style-type: none"> <u>Measurements provided are per 100 linear feet.</u> <u>Fences and walls are measured in height consistent with this UDO.</u> <u>Trees and plants may not be clustered to achieve requirements; a maximum allowable 10' gap may be permitted.</u> <u>Minimum shrubs may be double staggered.</u> <u>Canopy trees may be on both sides of a wall as long as a minimum one-half of the required canopy trees are in front.</u> <u>Required parking area buffers and standard buffers between lots are still required in addition to required buffer types per Article 14.</u> 	

TC Perimeter Buffer Illustration. The following image shows an example of a TC perimeter buffer. The image is for illustrative purposes only.

TC Perimeter Buffer



14.13.3 TOWN CENTER COMPATIBILITY

A. **Compatibility Standards.** Recognizing that mixed-use districts feature a unique mixture of uses and that the TC district abuts non-mixed-use districts, this Section intends to promote compatibility between these districts. Note: These standards apply to those uses and buildings located at the perimeter of the TC district and not internal to the district. There are no additional buffering requirements if a public right-of-way of at least fifty (50) feet in width separates the uses. This Section identifies "compatibility transition areas" which are intended to provide greater predictability by minimizing potential incompatibilities. The area of compatibility transition areas shall be provided within the TC district. The standards/dimensions provided in this Section may be modified as part of a design alternative, approved by the Board of Commissioners, provided that the intent of this Section is retained and all requirements of Section 2.1(2)(g) are met. Furthermore, the standards in this Section may be modified based on the type of lot in which the standard is being applied (i.e., shallow lot).

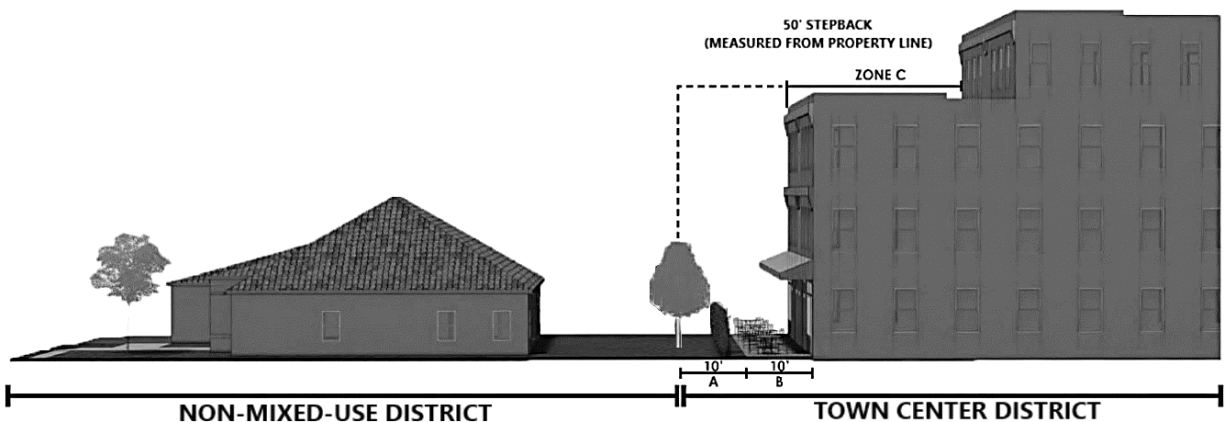
B. **Compatibility Transition Areas.** Figure 14.13.3 illustrates the locations of the TC district "compatibility transition areas", and a non-mixed-use district. Note: The dimensions noted in these figures are for illustrative purposes only; the specific dimensions and requirements for each area are provided in the following Sections.

A = "Buffer"

B = "Use Restriction"

C = "Height and Form"

Figure 14.13.3. Compatibility Transition Areas Graphic



A: Buffer

- a. **Intent.** Consists of a landscaped buffer intended to buffer and screen the non-mixed-use district from the TC district. No buildings, structures, principal or accessory uses are allowed in the buffer other than permitted in this subsection.
- b. **Location.** It begins at the common property line, immediately abutting the TC district boundary line and the adjacent property.
- c. **Width.** Consists of a minimum ten (10) feet landscaped buffer, with one (1) canopy tree per thirty (30) linear feet of the boundary line. A six (6) feet tall masonry wall may be substituted for the hedge and knee wall as part of a design alternative, approved by the Board of Commissioners. The minimum ten (10) feet landscaped buffer shall be maintained.
- d. **Permitted Uses**
 - i. Landscaping
 - ii. Open spaces (plazas, parks, commons)
 - iii. Swales, low-impact/ bioretention facilities.
- e. **Design and Installation**
 - i. Required landscaping in a buffer yard must meet the design and installation requirements of Article 14.

B: Use Restriction

- a. **Intent.** Compatibility Transition Area B shall be occupied by open areas and/or low intensity uses, such as surface parking, alleys, landscaping, active use areas, outdoor dining, and limited service-related structures. Primary uses and accessory uses shall not be permitted in Area B unless expressly permitted in this subsection. If no uses are proposed within Area B, Area B may be combined with Area A for an expanded buffer / green space, including parks, plazas, or similar open spaces.
- b. **Location.** It begins at the edge of the protective yard of Area A and extends towards Area C and / or the primary structure(s).
- c. **Width.** Shall be a minimum of ten (10) feet in width.
- d. **Permitted Uses/Activities:**
 - i. Yard – One (1) tree every Thirty (30) linear feet.
 - ii. Garden, park, open space.
 - iii. Outdoor dining.
 - iv. Path, walkway, sidewalk, multi-use recreational trail.

C: Height and Form

- a. **Intent.** Provided to mitigate potential visual nuisances that height may bring and is intended to restrict the height and form of development to decrease the potential impact of new mixed-use multi-story structures on non-mixed-use zoning districts.
- b. **Location.** It begins at the edge of Area B and extends inward.

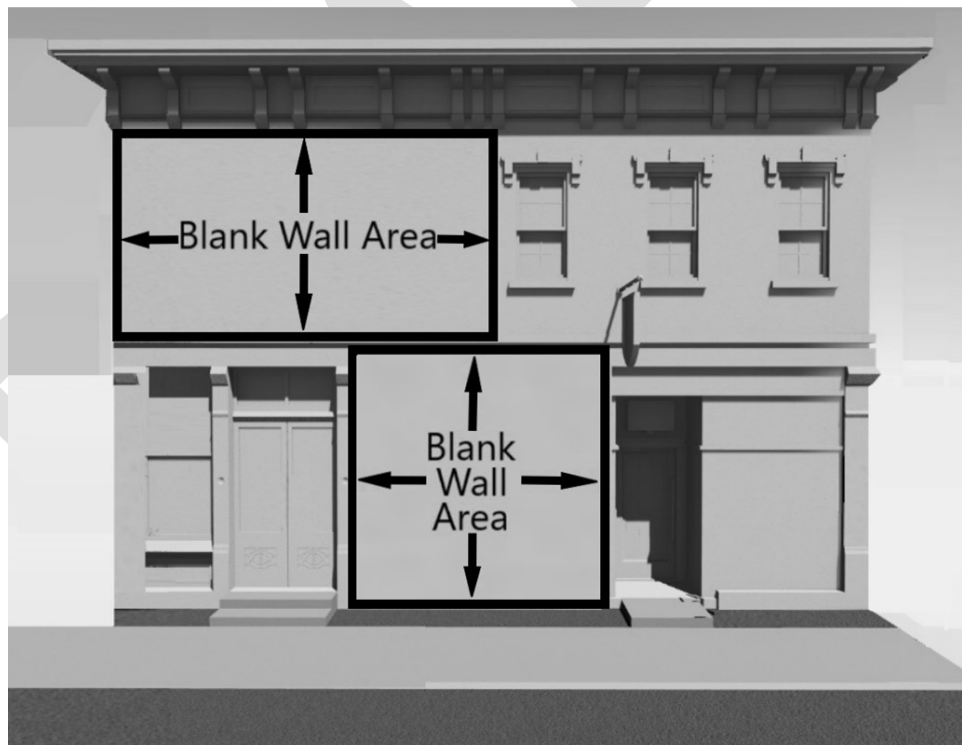
- c. **Width.** Measures, from the property line, a minimum of thirty (30) feet inward (subject to the widths of Area A and B). Area C permits the by-right height.
- C. **Form Standards.** The sides and rear facade of the building that faces the non-mixed-use district shall meet the architectural requirements of Section 5.11: Town Center (TC) Standards, with respect to windows, architectural features, and transparency requirements.
- D. **Shallow Lots.** Recognizing that existing lots of record may not meet the proposed lot standards and/or potentially further inhibit and potentially limit a property's development, special considerations may be applied as part of a design alternative, approved by the Board of Commissioners. An existing lot of record less than one-hundred (100) feet in depth may apply a 0.5x Ratio Effect Compatibility Scale to the Area A, Area B, and Area C standards. The Board of Commissioners, through a design alternative, may allow the combination of Area A and Area B. Design alternatives proposing a reduction of Area A, Area B, and or Area C must still provide, at a minimum, a ten (10) feet Area A including the required canopy trees with a six (6) feet tall opaque masonry wall and be approved by the Board of Commissioners.

16.4 TOWN CENTER DISTRICT STANDARDS DEFINITIONS

The following standards are specific to the Town Center district within the Town of Rolesville. Due to the nature of mixed-use districts, which implement elements of form-based codes, the development standards in this Section have been adopted herein.

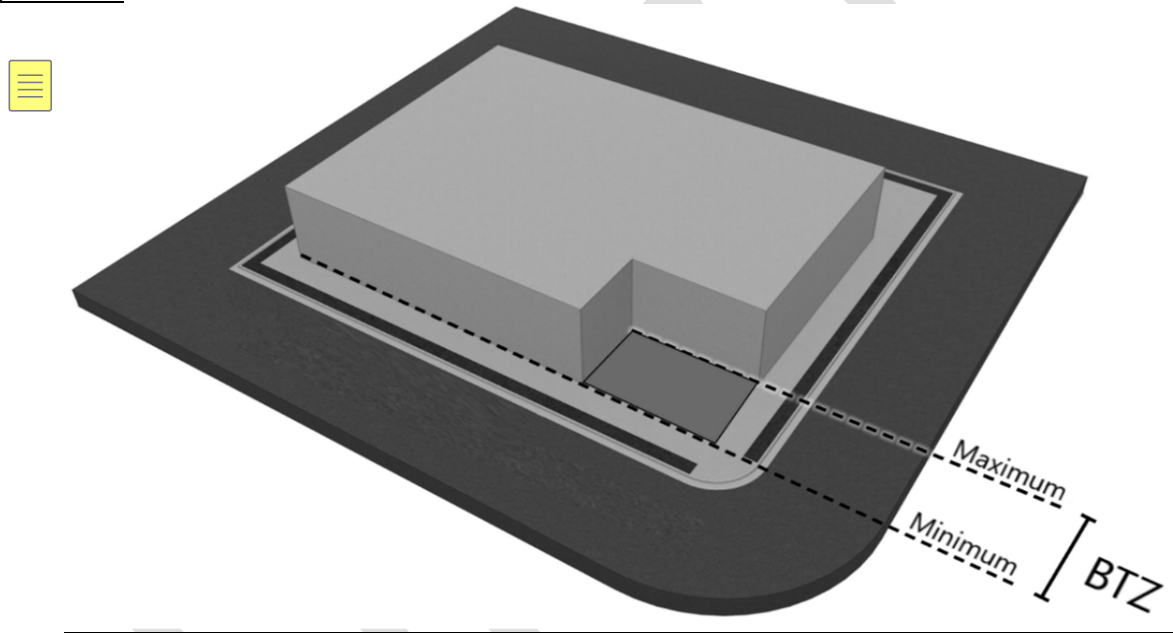
BLANK WALL AREA. Blank Wall Area shall refer to portions of an exterior façade that does not include windows, doors, columns, pilasters, architectural features greater than one (1) foot in-depth, or a substantial material change and is displayed. A different color or shade of paint shall not be considered a significant material change. Blank wall area applies in both a vertical and horizontal direction of the building façade and applies to ground floors and upper floors.

Figure 16.4.1. Blank Wall Area



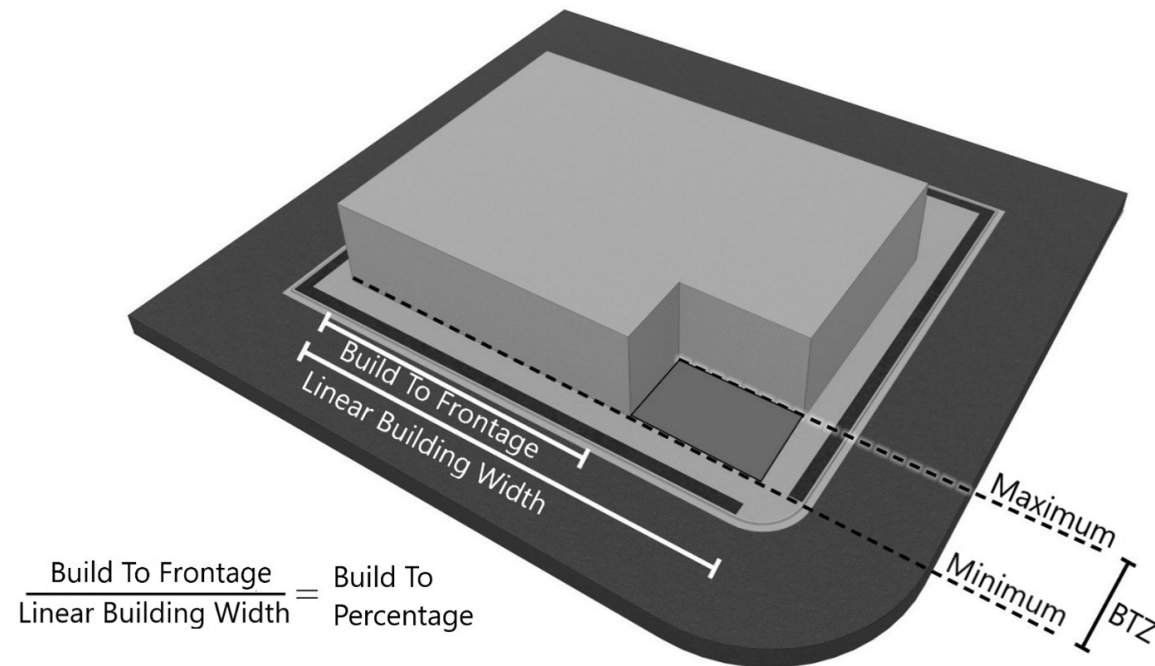
BUILDING PLACEMENT: Building Placement shall define standards for building placement in the form of a Build-To Zone (BTZ). The BTZ shall include a range of distances, expressed as a minimum and maximum setback, and as the range at which construction of a building façade is to occur on the lot, running parallel to the property line, ensuring a uniform façade along the street. The BTZ requirements shall include a front/street, side, and rear.

Figure 16.4.2. Building Placement



FRONTAGE (BUILD TO PERCENTAGE): Frontage, also referred to as the Build To Percentage (% Requirement), indicates the percentage of the width of the building in relationship to the width of the lot. Frontage dictates what percentage of the linear distance of the façade of a building must be located along the lot width. Active use areas refer to those areas along a frontage that may provide for active uses such as a forecourt, courtyards, outdoor dining, merchandise display, and shared gardens. Active use areas may be used to achieve frontage requirements.

Figure 16.4.3. Frontage



STREETWALLS: A streetwall is a consistent and continuous wall that runs parallel to a building and/or property line, along rights-of-way, or incompatible adjacent uses. Streetwalls provide scale and definition to adjacent rights-of-way and civic spaces.

Figure 16.4.4. Streetwalls



TRANSPARENCY AREA: Transparency Area requirements promote visually appealing building facades. Transparency is the minimum percentage of windows and doors that must make up a ground floor (first story) or upper story façade. A minimum transparency percentage is required for each story of a structure.

Figure 16.4.5. Transparency Area



Town Center Overlay		Town Center Zoning District	
Building Size			
No more than 15,000 square feet (on first floor)		Single-Use 35,000 square feet maximum No maximum for mixed-use	
Building Height			
Maximum 35 feet		Maximum 35 feet without sprinklers, Max 60 feet with sprinklers	
Maximum 45 feet if additional 10 foot setback		Maximum 60 feet with sprinklers	
Minimum 15 feet		Minimum 2 stories	
Encourage at least 2 stories		No matching provision	
Maximum hieght for steeple/tower 75 feet		No matching provision	
Building Setbacks			
Commercial and Mixed-Use 0 - 5 feet		0 - 20 Feet	
Community/Institutional 5 - 15 feet		0 - 20 Feet	
Religious/Residential 10-25 feet		0 - 20 Feet	
Adjustments allowed up to 10 feet		No matching provision	
Parking			
Parallel parking on-street encouraged		Parallel parking on-street encouraged 10%	
Shared parking is encouraged		Shared parking is encouraged	
Off-street parking on side and rear		No matching provision	
1/3 of frontage or 65 feet whichever is less		No matching provision	
Uses			
Apparel shops		x	
Shoe stores		x	
Gift shops		x	
Video stores		x	
News dealers		x	
Book stores		x	
Antique shops		x	
Barber shops		x	
Beauty shops		x	
Dry cleaners		x	

Town Center Overlay		Town Center Zoning District	
Shoe repair	x		
Fabric shops	x		
Tailoring	x		
Bakeries	x		
Convenience stores	x		
Grocery stores	x		
Restaurants	x		
Delicatessens	x		
Ice cream shops	x		
Banks	x		
Professional offices	x		
Medical offices	x		
Schools	s		
Public libraries	x		
Day care centers	x		
Post offices	x		
Police and fire stations	x		
Community centers	x		
Houses of worship	x		
Retirement centers	s		
Independent and assisted living facilities	s		
Skilled nursing facilities	s		
All residential uses allowed		No new single-family detached at PB request	
Live-work units	x		

Mixed-Use	
Encourage First floor office/retail, residential upper	No matching provision

Design Standards	
Compatible with other buildings	Compatibility transition areas
Brick facades with elemental accents	Mostly brick facades with elemental accents
Minimum 75% non-glass wall surface	Minimum 40% transparency ground floor, 35% upper floors
Trim and accent areas may have brighter colors	Trim and accent areas may have brighter colors
No neon tubing	No neon tubing

Town Center Overlay		Town Center Zoning District	
Low reflectance, non-metallic roof colors		Only flat and Gable Roofs, 35 linear feet without physical articulation	
No high intensity, metallic, black, fluorescent façade colors		No high intensity, metallic, black, fluorescent façade colors	
Multiple storefronts shall be unified architecturally		Multiple storefronts shall be unified architecturally	
Windows, doors, arcades 40% of street façade on first story		Minimum 40% transparency ground floor, 35% upper floors	
Blank walls prohibited adjacent to streets		Blank walls prohibited adjacent to streets and traditional zoning districts	
Walls visible from ROW - min. 2 accent elements every 10 feet		Maximum 25 feet without compliant design feature	
Recessed windows with sills, shutters, framing and trim		No matching provision	
Awnings on first and upper floors where appropriate		No matching provision	
Awnings must complement architectural style and colors		No matching provision	
Lighting attached to exterior shall be compatible architecturally		Lighting attached to exterior shall be compatible architecturally	
Facades shall be lit from exterior with shielded or recessed lights		Facades shall be lit from exterior with shielded or recessed lights	
Low pressure sodium, fluorescent mercury vapor prohibited		No matching provision	
All mechanical equipment screened from public ROW		All mechanical equipment screened from public ROW	
6 ft wide sidewalk access along primary access road		No matching provision	
6 ft grassy strip buffer to sidewalk		No matching provision	
At least one main entrance of each building to open to sidewalk		Front entrance, corner lots may orient entrance to the corner	
Commercial and mixed-use first story at grade with sidewalk		No matching provision	
Dumpsters shall be screened from view with acceptable materials		Dumpsters shall be screened from view with acceptable materials	
Open Space			
No matching provision		New Standards	
Buffering			
No matching provision		New Standards	



SEPTEMBER 2020 ACTIVITY DEVELOPMENT REPORT

[Return to Agenda](#)

HIGHLIGHTS

1. MA 20-01 Hopper Communities, UDO Map Amendment
APPROVED 09.28.2020
2. PR 20-01 The Point – Phases 1-10, & 14 Preliminary Subdivision Plat
RECOMMENDED BY THE PLANNING BOARD 09.28.2020
3. PR 20-04 The Preserve at Jones Dairy (Central) Preliminary Subdivision Plat
RECOMMENDED BY THE PLANNING BOARD 09.28.2020
4. PR 20-02 The Preserve at Jones Dairy (North) Preliminary Subdivision Plat
RECOMMENDED BY THE PLANNING BOARD 09.28.2020

For more information or assistance,
Please contact:
Shelly Raby, Planning Development Specialist
Phone: 919-554-6517
shelly.raby@rolesville.nc.gov

The Town of Rolesville is committed to providing accessible facilities, programs and services for all people in compliance with the Americans with Disabilities Act. Should you need assistance or a particular accommodation please contact the ADA Coordinator.

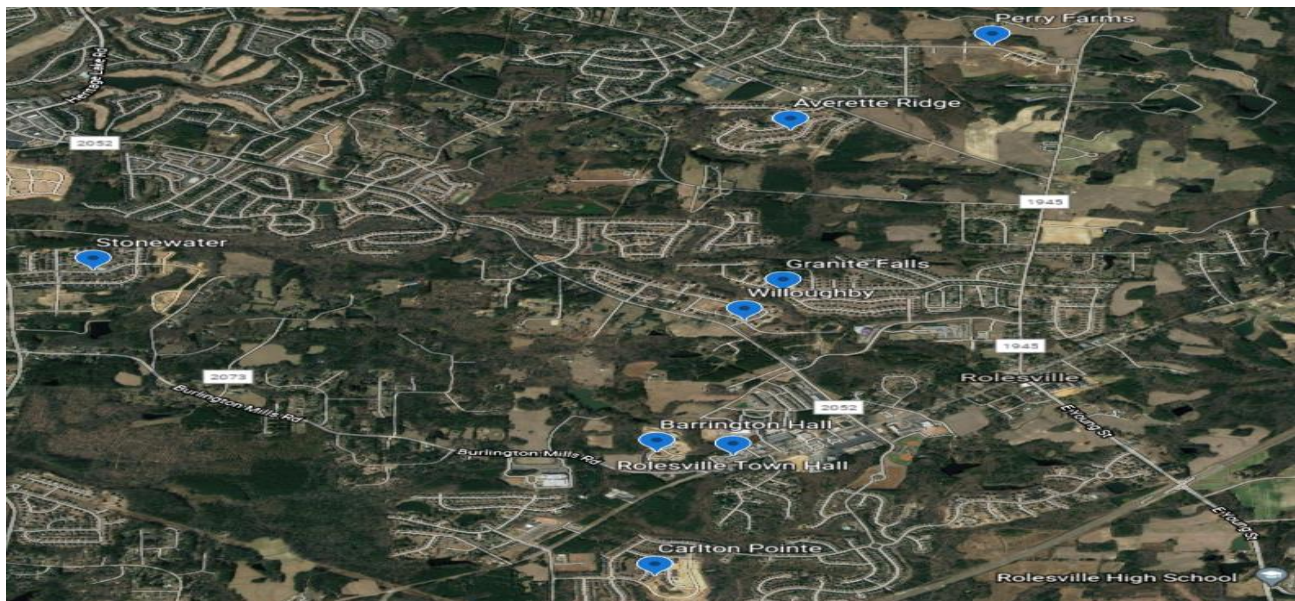
Developments

CURRENT RESIDENTIAL DEVELOPMENTS WITH PERMITS ISSUED Summary of Activity by Subdivision

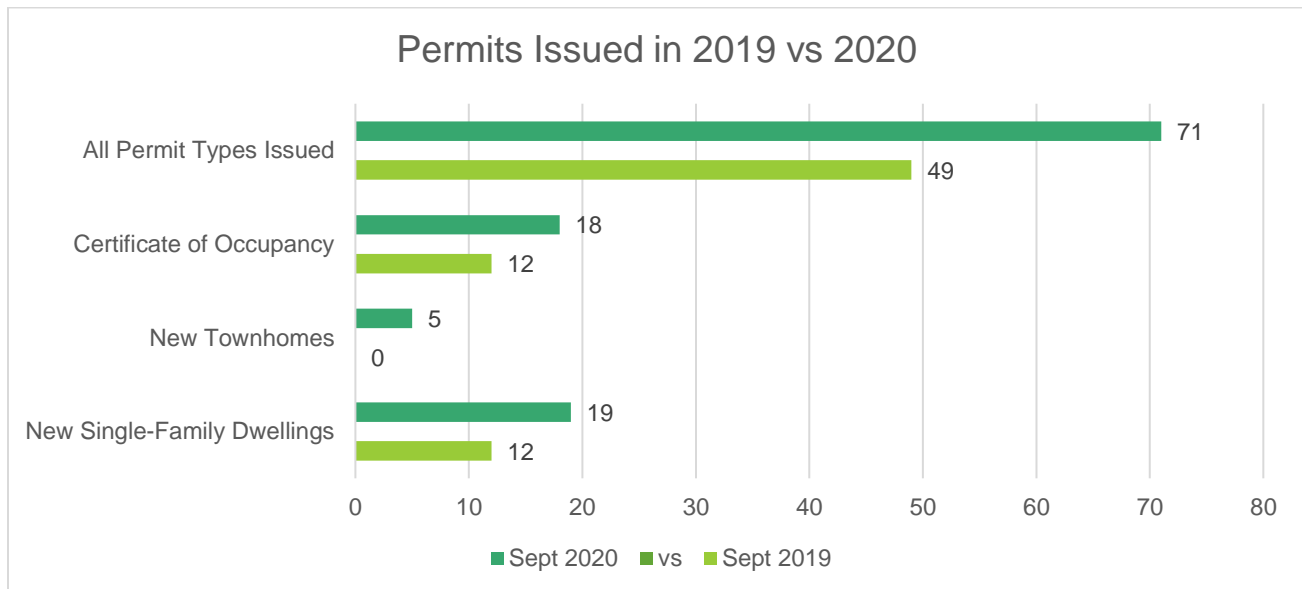
Subdivision	Total Buildable Lots	Total Permits Issued Per Development	Un-permitted Lots Remaining	Permits Issued in September	Permits Issued YTD
Averette Ridge	159	139	17	3	12
Barrington	33	32	1		6
Carlton Pointe	271	258	13	1	19
Granite Falls	101	68	33	8	24
Perry Farms	41	40	1	1	5
Stonewater	208	182	26	3	30
Willoughby	88	78	10	2	11
TOTAL	901	797	101	18	107

Barrington Townhomes	32	18	14	5	18
TOTAL	32	18	14	5	18

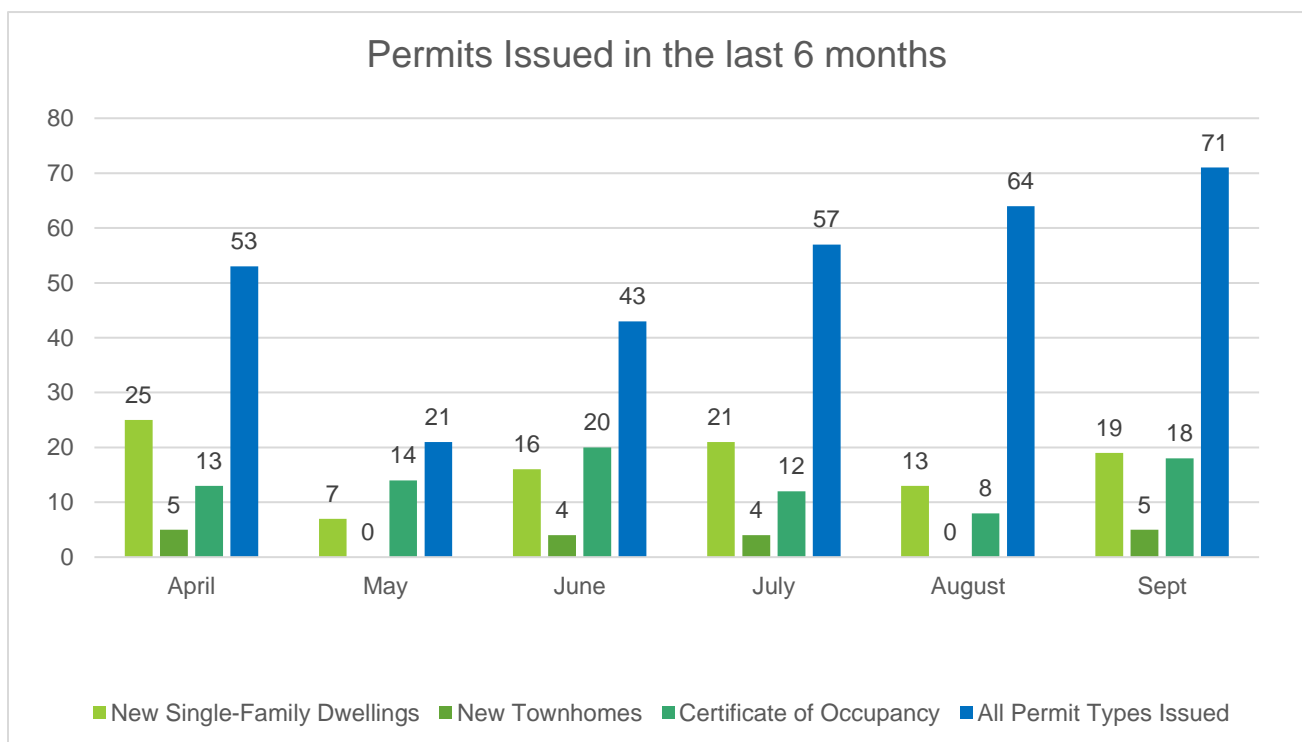
Non-Subdivision				1	
TOTAL Residential Permits Issued	933	815	115	24	130



Permitting Activity



The Town of Rolesville has experienced an overall **increase** in permitting activity compared to this time last year.



Development Projects in Review

Detailed information regarding these projects can be found by clicking on the link provided <https://www.rolesvillenc.gov/planning/development-projects>

Commercial/ Other

Carlton Pointe Green Way Trail	Rolesville CrossFit	C4 Investments
101 and 115 Redford Place Drive	1200 Granite Falls Blvd.	515 S. Main St.
Carolina Legacy Volleyball	Rural Fire Dept. Addition	

Residential

A-Master Team Townhomes- 47 Proposed New Townhomes

Chandlers Ridge- 90 Proposed New Single- Family Homes

Elizabeth Springs- 89 Proposed New Single- Family Homes & 98 Proposed New Townhomes

Kalas Falls- 484 Proposed New Single- Family Homes & 108 Proposed New Townhomes

Preserve at Jones Dairy Road Central- 261 Proposed New Single- Family Homes & 173 Proposed New Townhomes

Preserve at Jones Dairy Road North- 141 Proposed New Single- Family Homes & 65 Proposed New Townhomes

Preserve at Jones Dairy Road South- 221 Proposed New Single- Family Homes

Regency at Heritage- 27 Proposed New Single- Family Homes

The Point- 483 Proposed New Single- Family Homes & 324 Proposed New Townhomes

The Townes at Carlton Pointe- 130 Proposed New Townhomes

