



Board of Commissioners

Work Session

**March 19, 2024**

**6:00 p.m.**

**AGENDA**

<u>Item</u>	<u>Presenter</u>
1. Habitat for Humanity	Jacquie Ayala
2. McAdams/The Farm	J. Greene/McAdams
3. Consideration of Future of 6.5-Acre Parcel Behind Town Hall	E. Marsh/M. McFarland/M. Gruber
4. Closed Session	
5. Adjourn	



# Memo

**To:** Mayor Currin and Rolesville Town Board  
**From:** Mical McFarland, Community & Economic Development Manager  
**Date:** March 19, 2024  
**Re:** Agenda Item #1 Habitat for Humanity

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## Introduction

Over the past few years, staff have been in communication with Habitat for Humanity of Wake County as they have sought to initiate a housing project here in Rolesville. Habitat has done projects in all municipalities in Wake County with the exception of Rolesville.

As affordable housing has become a topic of interest recently, and as the Town has embarked on an Affordable Housing Plan, staff felt it would be a good idea to have a representative from Habitat provide an introduction to the Town Board on who they are and what they do.

Ms. Jacquie Ayala, Director of Advocacy, is presenting.

## Recommended Action

N/A. For discussion only. To learn more, visit: <https://www.habitatwake.org/>

## Attachments

- An Introduction to Habitat for Humanity of Wake County PowerPoint Presentation



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**for Humanity**<sup>®</sup>  
of Wake County

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# An Introduction to Habitat Wake



## **Mission:**

Seeking to put God's love into action, Habitat for Humanity brings people together to build homes, communities and hope.

## **Vision:**

A world where everyone has a decent place to live.



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**Why affordable  
housing?**

# Housing at the center

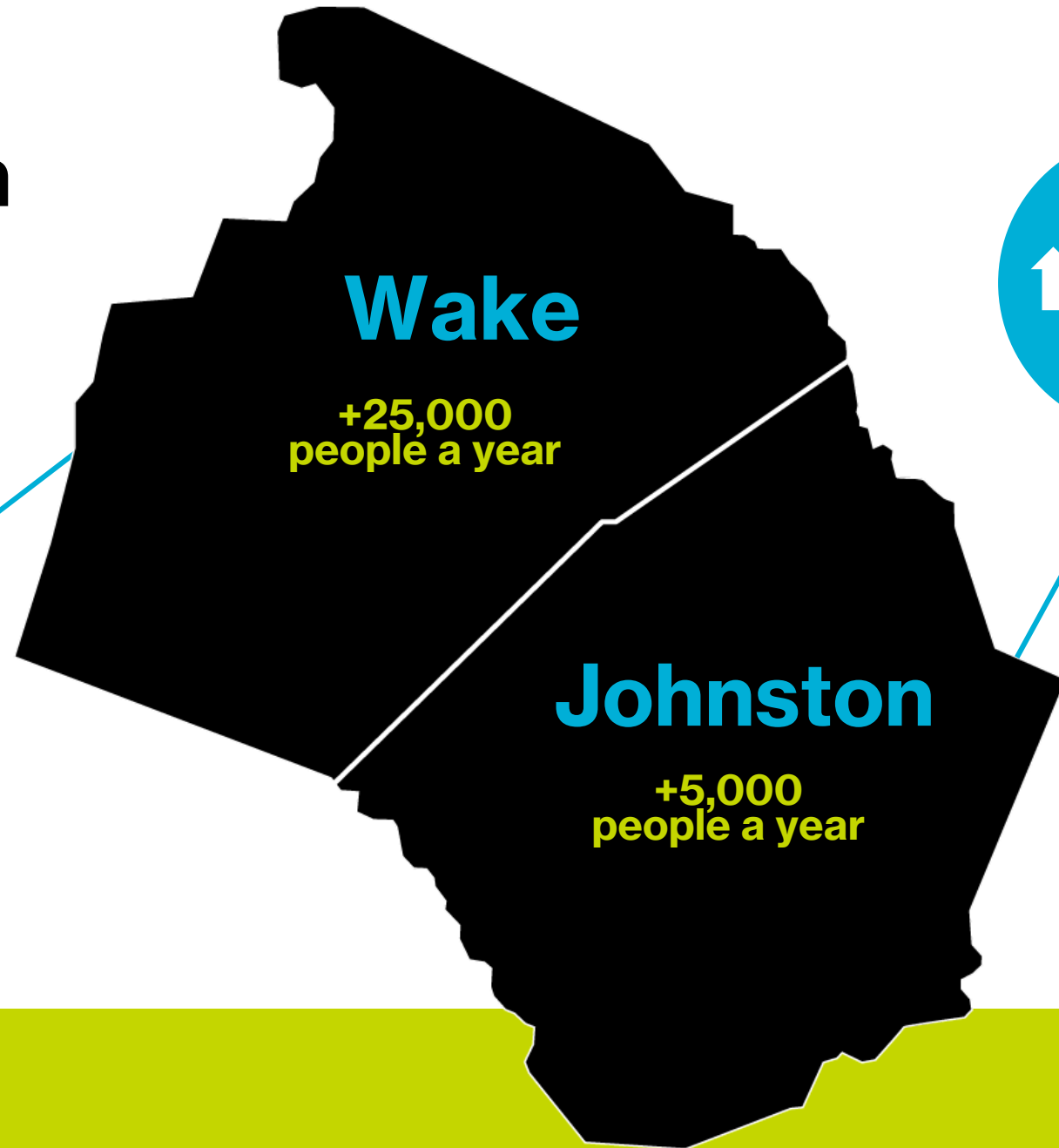


# Raleigh MSA experienced the 2<sup>nd</sup> largest growth of all U.S. metros since 2010

10 YEAR POPULATION GROWTH FOR LARGE MSAS (2010–2019)			10 YEAR POPULATION GROWTH FOR LARGE MSAS (2017–2019)		
MSA	POP GROWTH	POP DIFF	MSA	POP GROWTH	POP DIFF
1 Austin-Round Rock-Georgetown, TX	28.90%	499,581	1 Austin-Round Rock-Georgetown, TX	5.30%	111,608
2 Raleigh-Cary, NC	22.30%	253,402	2 Raleigh-Cary, NC	4.20%	56,550
3 Orlando-Kissimmee-Sanford, FL	21.90%	468,986	3 Phoenix-Mesa-Chandler, AZ	4.00%	189,455
4 Houston-The Woodlands-Sugar Land, TX	18.80%	1,118,905	4 Las Vegas-Henderson-Paradise, NV	3.90%	85,080
5 San Antonio-New Braunfels, TX	18.50%	397,951	5 Jacksonville, FL	3.60%	54,481
6 Dallas-Fort Worth-Arlington, TX	18.50%	1,181,071	6 Orlando-Kissimmee-Sanford, FL	3.60%	90,370
7 Phoenix-Mesa-Chandler, AZ	17.70%	743,999	7 Charlotte-Concord-Gastonia, NC-SC	3.40%	86,510
8 Charlotte-Concord-Gastonia, NC-SC	17.20%	386,762	8 Dallas-Fort Worth-Arlington, TX	3.20%	236,039

# Projected population growth for 2030

↑22%



↑25%





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# How We Fulfill Our Mission

# Innovate

- Acquire, develop, and build
- Use volunteer, staff & contractor labor
- Repair and preserve existing affordable homes
- Provide affordable & sustainable retail options through our ReStores
- Facilitate home mortgages
- Support homeowners with warranty and mortgage servicing



## Innovate

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## Educate

- Help homebuyers through the qualification and approval process, including sweat equity (volunteer hours) and financial education classes
- Educate the community on the need for affordable housing & how to be a part of the solution

## Innovate

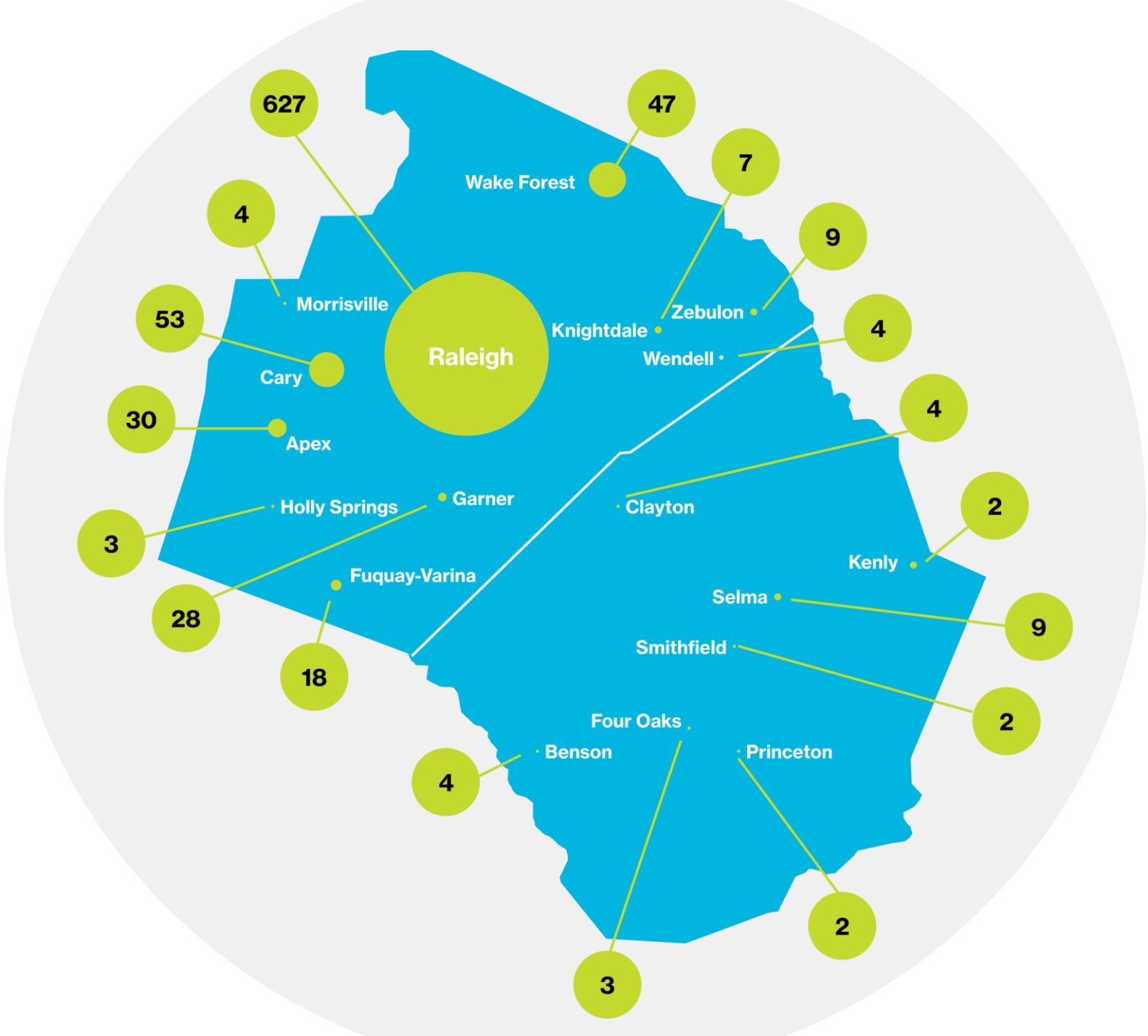
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## Educate

- Help homebuyers through the qualification and approval process, including sweat equity (volunteer hours) and financial education classes
- Educate the community on the need for affordable housing & how to be a part of the solution

## Mobilize

- Advocate for local, state, and federal legislation, policies, and funding to support affordable housing initiatives across the housing continuum.





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# Who We Serve

# Homeownership Program Requirements

- Must live or work in Wake or Johnston counties
- US citizen or permanent resident
- Hasn't owned property in the last three years
- Minimum household income of \$30K and max up to 80% of Area Medium Income (approx. \$75 - 80K)
- Good rental and credit history
- Has \$2,500 available for closing costs
- Willing to attend required meetings and trainings
- Complete 200 hours of sweat equity prior to closing on home
- Complete financial and homeowner education courses

# Habitat Wake Partner Family Journey

**Applicant**

Has applied for our program



**Homebuyer**

Approved into our program and entered into the mortgage qualification process, working on sweat equity hours and other requirements



**Homeowner**

Has closed on a Habitat mortgage and is paying an affordable mortgage



# How does Habitat make homes affordable?

- Our homes are **sold at market value**, but we make homes affordable through financing.
- Homebuyers secure a first mortgage through Habitat:
  - Monthly payment of no more than 30% of their gross monthly income.
  - Includes principal, interest, taxes, insurance and association fees
  - 30-year term at 2% interest.
- Homebuyer also secures a second mortgage with us for the difference between the home purchase price (full appraised value) and the first mortgage amount.
- This second mortgage is set at 0% and has to be repaid when the homeowner sells the home.

# Home Preservation Program

- We work with Rebuilding Together of the Triangle, Resources for Seniors, and local community action agencies to offer no- or low-cost home repairs for eligible homeowners.
- Usually 80% AMI and below
- Includes work like HVAC replacement, roof replacement, accessibility improvements, exterior repairs, and more



# Partner with us!

Jacquie Ayala  
Director of Advocacy  
[jacqueline.ayala@habitat  
wake.org](mailto:jacqueline.ayala@habitatwake.org)  
919-744-2432



# Memo

**To:** Mayor Currin and Rolesville Town Board  
**From:** Mical McFarland, Community & Economic Development Manager  
**Date:** March 19, 2024  
**Re:** Agenda Item #3 Town-owned property (6.48 acres behind Town Hall)

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## **Background**

The Town currently owns 6.48 acres of land located behind Town Hall, addressed as 4950 Burlington Mills Road and identified as Wake County [PIN #1758682706](#). In 2020, the Town had entered into an agreement with Capital Companies Group, the builder of the Barrington Subdivision, to swap the 6.48 acres of land in exchange for a part of Granite Falls Blvd extension to be built. This deal fell through, and the Town is no longer beholden to the agreement.

In 2021, staff brought a recommendation to the Board to put the property on the market to gauge the interest of any prospective buyers.

State Statute provides for several ways public entities and municipalities can dispose of or “sell” real estate. The Town’s attorney described a few methods for the disposal of surplus real property that are most common:

- 1) Negotiated Offer & Upset Bid – Board designates the property for sale. Town lists for sale on website and/or with a broker. Upon receipt of an offer the Town is willing to accept, we publish notice for an upset bid. (This is the most common way.)
- 2) Auction – Board designates property for sale by auction as surplus. Town holds a live auction. (We could also use a procedure that involves an electronic auction service. See 160A-270(c).)
- 3) Sealed Bid – Similar to how the Town handles construction bids. Town notices the opportunity to buy property with a form contract that leaves the price blank. Interested parties submit their high bid in a sealed envelope. All envelopes are opened in public. The highest responsive bid received goes to the Board to accept that high bid or reject all bids.

## **August 2021 Town Board Meeting**

At the August 3, 2021 Town Board meeting, the Board authorized staff to solicit bids for the surplus property for sale at 4950 Burlington Mills Road. At that time, the details of the property included:

- Size: 6.48 acres of wooded, undeveloped land
- Zoning: General Commercial
- Assessed tax value in 2021: \$851,817
- Appraised value of \$1,411,000 (April 23, 2018)

(Another appraisal, ordered by Capital Companies was done on September 27, 2018, with the “extraordinary assumption” that the property is zoned and approved for the development of 96 apartment units by the Town of Rolesville. That appraisal came to \$1,248,000.)

Staff posted the property for sale on the Town’s website beginning in August 2021. After a period of six months receiving little interest, staff listed the property for sale on LoopNet as well, a nationally recognized real estate listing website.

During that time from late 2021 to early 2022, staff received interest from a few parties. One party expressed interest in a housing development. Another party made an offer in line with the assessed tax value at the time, with a relatively long due diligence period. And yet another expressed interest, visited the site, and said they typically offer market rates for properties such as this.

Staff also received continuing interest in some of this land from the adjacent Veterinarian who has been inquiring about the property for some years now and is looking to expand.

Also, during this time, Town staff contacted the UNC School of Government’s Development Finance Institute (DFI) to request a Phase 1 proposal for an assessment of the property, including a site analysis, market analysis, and to make recommendations for development considering different uses such as retail, office, multifamily residential and affordable housing.

The cost for DFI’s phase 1 feasibility study was approximately \$60,000 and would take about 5 months to complete. Afterwards at an additional cost, DFI or another consultant could assist the Town in a competitive solicitation process to identify and negotiate with a development partner.

DFI has worked with the Towns of Garner and Wake Forest to evaluate properties in their respective towns and assist with solicitation of development partners.

Wake Forest SunTrust Site redevelopment project:

<https://www.wakeforestnc.gov/downtown-development/suntrust-site-redevelopment-353-s-white-street>

Downtown Garner project: <https://downtowngarner.com/tag/development/>

## **April 2022 Town Board Meeting**

At the April 19, 2022 Town Board meeting, the property in question was again discussed. At that time, staff sought direction from the Board regarding continued interest in selling the property, a desire to dictate a preferred use, and/or engaging with a consultant to assess the property for redevelopment potential. The consensus of the Board was that there was no rush to sell, and so it was taken off the market. There was also no interest in engaging with a consultant at that time.

There was also some discussion around waiting until the new Burlington Mills Road intersection and the Main Street Project were finished before the Town did anything with the parcel. And there was even a thought to someday combine this property with existing Town Hall to sell as a packaged deal once the new Town Campus was built.

Under this guidance, as potential buyers have contacted staff about the property, they have been told that there is no interest in selling at this time.

## **Update**

Recently, as affordable housing became a priority and the Town decided to hire a consultant to draft an Affordable Housing Plan, this property was seen as possibly being a location where affordable housing could be built.

Yet, there was some interest in waiting until the Housing Plan was complete before moving forward on anything with this parcel. The rationale being that the completed Plan would help inform the Board on strategies for affordable housing throughout town, this parcel included.

More recently, staff have received interest in the property from a Senior Affordable Housing developer.

The current assessed tax value of the property is \$1,107,361.

## **Recommended Action**

N/A. This topic on the March 19, 2024 agenda is for discussion only, yet as inquiries come in regarding this property, staff is seeking to revisit the discussion and is seeking guidance from the Board around a few items:

- Is there a preferred land use for this property. In other words, “what does the Town want to do with this property?”
- If that preferred use involves donating the land, is the Town willing to donate it? (The Town could donate to (i) another government agency; (ii) a non-profit private corporation that will use the property for a public purpose; or (iii) a private corporation qualifying for incentives under North Carolina economic development statute.)
- Is there interest in selling the property, now or in the future?

- Is there interest in assessing the property for redevelopment potential? I.e., does the Town wish to engage a consultant to learn more about what could be developed on the property, and a highest and best use? Funds would need to be added for this effort in the 2024-2025 budget.

If the Town Board is in agreement on a vision/plan for the use of the property at this time (e.g., commercial, mixed-use, affordable housing, etc.), and is ready to accept offers on the property, one recommended next step might be to draft a Request for Proposals, describing the Town's vision and seeking a private-public partnership with a chosen developer.

### **Attachments**

1. The previously approved 2014 Barrington PUD site plan
2. UNC School of Government's Development Finance Institute (DFI) Proposal
3. A recent preliminary sketch drawing from an affordable housing developer



## MEMORANDUM

**To:** Mical McFarland, Community and Economic Development Manager, Town of Rolesville

**From:** Marcia Perritt, Associate Director, Development Finance Initiative

**Date:** March 18, 2022

**Re:** Proposal to Provide Phase 1 Feasibility Analysis services for Town Site

### UNC-Chapel Hill Development Finance Initiative

The UNC Chapel Hill School of Government (SOG) established the Development Finance Initiative (DFI) in 2011 to assist local governments and their partners in North Carolina and beyond with achieving their community economic development goals. The SOG is the largest university-based local government training, advisory, and research organization in the United States. DFI partners with communities to attract private investment for transformative projects by providing specialized finance and real estate development expertise.

### Request for Technical Assistance

The Town of Rolesville requested technical assistance from DFI in February 2022 to evaluate the redevelopment potential of a 6.48-acre town-owned site, located behind the current Town Hall at 4950 Burlington Mills Road, within an area that is a community economic development priority for the Town as outlined in its Main Street Vision Plan. The Town designated the site as surplus property and offered it for sale but has not received any developer interest. DFI is able to assist the Town in evaluating the site's potential to attract private investment for a redevelopment project that could include commercial and/or residential uses.

### Scope of Services

The following Scope of Services outlines activities that DFI would conduct to support the Town of Rolesville in evaluating the redevelopment potential of the town-owned site, herein referred to as the "Project Area", and its ability to attract private investment:

1. Conduct a community scan, which is an analysis of market-relevant demographic and socioeconomic data, as well as a review of current and historic plans, visioning documents, studies, research, development proposals, conceptual renderings, notes from public input sessions, and other materials relevant to the Project Area;



2. Collect and analyze relevant data for a Parcel Analysis to understand current market conditions (sales trends, vacancy, land use, common ownership, and underutilization, pending available data) for the Project Area;
3. Conduct a market analysis to assess the supply and demand for different uses within the Project Area including retail, office, market-rate multifamily residential, and affordable rental housing;
4. Establish guiding public interests for the Project Area, in partnership with Town officials and staff;
5. Conduct a high-level site analysis, examining topography, hydrology, infrastructure, etc. to gain a general understanding of development opportunities and constraints of the Project Area;
6. Provide high-level advising on financing and structuring public participation in the Project Area, if necessary, including use of development finance tools (federal and state tax credits, district designations, etc.); and
7. Make recommendations related to the redevelopment of the Project Area and advise the Town on next steps.

This Scope of Services does not include services that require a licensed broker or licensed attorney to perform. In addition, the scope does not include tasks associated with site planning expertise from architects or engineers, nor does it include site preparation expenses such as land survey, soil samples, and environmental testing (if such services are required, DFI will advise the Town of Rolesville to obtain such services from third parties).

### **Deliverables**

Deliverables include presentations, summaries, and other documentation intended by DFI to be delivered to the Town regarding the above Scope of Services.

### **Timeline**

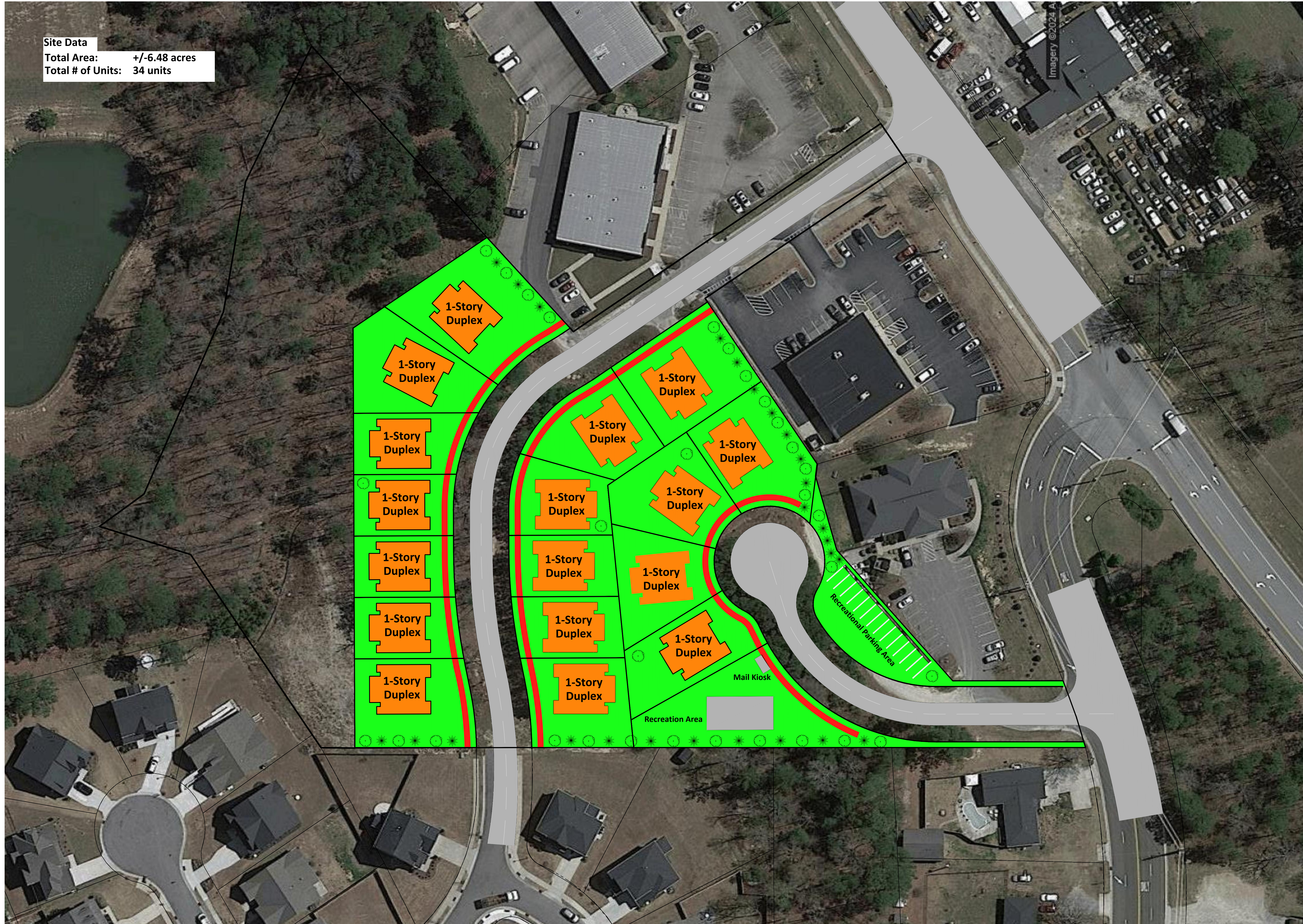
The estimated timeline for the above Scope of Services is 5 months.

### **Fee**

The flat fee for the above Scope of Services is \$58,700. This flat fee is payable over two installments of \$29,350 each. The flat fee accounts for efficiencies gained from utilizing virtual meeting tools rather than in-person meetings. This Scope of Services and associated fee accounts for three in-person site visits.



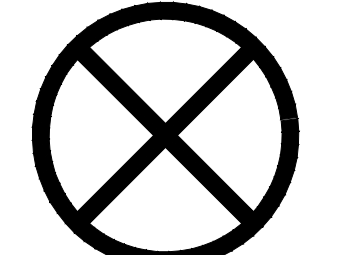
Site Data  
 Total Area: +/-6.48 acres  
 Total # of Units: 34 units



Number	Date	Description	CAD
1			

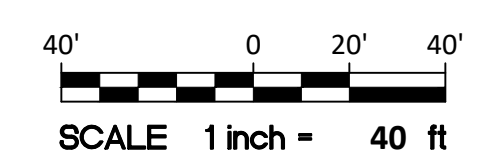
Sketch "A"  
**Rolesville Duplexes**  
 Burlington Mills Road, City of Rolesville, Wake Forest  
 Township, Wake County, North Carolina

Preliminary Drawing



Not for Construction

Horz. Scale: 1" = 40'  
 Vertical Scale: n/o  
 Date: February 01, 2024  
 Project No.: P240004  
 Drawn by: LFH  
 Checked by:  
 Sheet: 1 of 1



P:\Projects\Library\2024\240004 - Rolesville Duplexes\Drawings\240004 - Sketch A - 4950 Burlington Mills Road.dwg, Linetype: Linetype, Plot File: 07\_2024 at 7:26am



UTILITY SPECIFICATIONS

EXISTING CONDITIONS

- INFORMATION ABOUT EXISTING UNDERGROUND FACILITIES AND SUBSURFACE CONDITIONS INDICATED ON THESE DRAWINGS IS NOT BASED ON AN EXHAUSTIVE INVESTIGATION OF SUCH FACILITIES OR CONDITIONS, AND THE ENGINEER MAKES NO WARRANTY TO ANY PARTY REGARDING THEM. EXISTING UTILITY LINE LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE, AND ACTUAL UTILITIES AND CONDITIONS MAY DIFFER FROM THOSE INDICATED. IF DIFFERING UTILITIES OR CONDITIONS EXIST, THEY MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT WORK, AND MAY IMPACT THE PROJECT SCOPE AND TIME REQUIREMENTS.

PROTECTION AND SAFETY

- PRIOR TO BEGINNING WORK, AND AS NEEDED DURING THE COURSE OF PROJECT WORK, CONTRACTOR SHALL NOTIFY ALL APPLICABLE UTILITY LOCATION SERVICES AND UTILITY PROVIDERS TO REASONABLY VERIFY THE LOCATION OF ALL KNOWN OR SUSPECTED UTILITIES, IN ACCORDANCE WITH STATE REGULATIONS. CONTRACTOR IS ADVISED THAT SOME UTILITY PROVIDERS DO NOT SUBSCRIBE TO ONE-CALL SERVICES, AND MUST BE CONTACTED SEPARATELY. CONTRACTOR SHALL PROVIDE ADEQUATE MEANS AND METHODS FOR PROTECTION OF ALL EXISTING UTILITIES AND SITE FEATURES WHICH ARE INTENDED TO REMAIN IN SERVICE OR IN PLACE.
- CONTRACTOR SHALL PROVIDE ADEQUATE TRAFFIC CONTROL MEASURES DURING THE COURSE OF PROJECT WORK IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS, THE N.C. SUPPLEMENT TO THE MUTCD, ANY REGULATORY AGENCY REQUIREMENTS, AND PROJECT-SPECIFIC SAFETY CONSIDERATIONS.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY PROGRAMS AND MEASURES ON THE PROJECT SITE OR OTHERWISE RELATING TO THE PROJECT WORK, AND SHALL COMPLY WITH ALL SAFETY CODES AND REGULATIONS APPLICABLE THERETO, FOR THE PROTECTION OF WORKERS, VISITORS, AND THE GENERAL PUBLIC.

COMPLIANCE

- ALL WATER SYSTEM AND SANITARY SEWER WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
  - REQUIREMENTS OF THE CITY OF RALEIGH, INCLUDING THE LATEST EDITION OF CONSTRUCTION STANDARDS AND SPECIFICATIONS, CONSTRUCTION DETAILS, POLICIES AND PROCEDURES, AND FIELD DIRECTIVES BY THE UTILITY INSPECTOR.
  - REGULATIONS OF NCDENR-DIVISION OF WATER QUALITY, INCLUDING NCA 27 REGULATIONS AND MINIMUM DESIGN CRITERIA FOR THE PERMITTING OF GRAVITY SEWERS.
  - REGULATIONS OF NCDENR-PUBLIC WATER SUPPLY, RULES GOVERNING PUBLIC WATER SYSTEMS.
  - STREET RIGHT-OF-WAY ENCROACHMENT PERMIT REQUIREMENTS, AS APPLICABLE.
  - OSHA REQUIREMENTS RELATED TO SAFETY.
  - REQUIREMENTS OF THE N.C. PLUMBING CODE.

NOTIFICATIONS

- NOTIFY THE ENGINEER AT LEAST TWO BUSINESS DAYS PRIOR TO BEGINNING OR RESUMING WATERLINE OR SANITARY SEWER WORK. THE ENGINEER MUST OBSERVE CONNECTIONS, INSTALLATION, BACKFILLING, AND TESTING WORK, IN ORDER TO PROVIDE NECESSARY PROJECT CERTIFICATIONS AND CLOSE-OUT DOCUMENTS.
- NOTIFY THE APPLICABLE UTILITY AND ROADWAY AUTHORITIES IN ACCORDANCE WITH THEIR REQUIREMENTS PRIOR TO BEGINNING UTILITY WORK.
- NOTIFY THE GEOTECHNICAL ENGINEER AND TESTING SERVICE AT LEAST TWO BUSINESS DAYS PRIOR TO BEGINNING OR RESUMING TRENCHING OR BACKFILLING WORK.

TRENCHING AND BACKFILLING

- WHERE ROCK OR OTHER HARD MATERIAL OCCURS AT THE DESIGNED TRENCH BOTTOM, OVEREXCAVATE TRENCH DEPTH 6 INCHES AND REPLACE OVEREXCAVATION MATERIAL WITH #67 STONE BEDDING.
- WHERE THE DESIGNED TRENCH BOTTOM CONSISTS OF UNSUITABLE BEARING SOIL, UNDERCUT TRENCH BOTTOM AND REPLACE UNDERCUT MATERIAL IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- BACKFILL SOIL SHALL BE SUITABLE MATERIAL AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- BACKFILL SOIL SHALL BE PLACED IN LOOSE LIFTS OF 8 INCH MAXIMUM THICKNESS AND COMPACTED TO 98% OF THE SOIL'S MAXIMUM DRY DENSITY, WITHOUT DAMAGING OR DISPLACING PIPE.
- INSTALL MARKING TAPE OR TRACER WIRE OVER UTILITY LINES AS REQUIRED BY THE LOCAL UTILITY AUTHORITY.

STORAGE AND HANDLING

- PIPING, FITTINGS, GASKETS, AND OTHER MATERIALS SHALL BE KEPT CLEAN WHILE BEING STORED AND DURING CONSTRUCTION ACTIVITIES. PIPE BUNDLES SHALL BE STORED ON FLAT SURFACES WITH UNIFORM SUPPORT, AND PROTECTED FROM PROLONGED EXPOSURE TO SUNLIGHT WITH A COVERING ALLOWING AIR FLOW UNDERNEATH. GASKETS SHALL NOT BE EXPOSED TO OIL, GREASE, OZONE, EXCESSIVE HEAT OR DIRECT SUNLIGHT. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR STORAGE AND HANDLING OF ALL MATERIALS.

CLEARANCES

- SANITARY SEWER MAINS AND POTABLE WATER MAINS SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET BETWEEN THE OUTSIDE EDGES OF EACH PIPE.
- WHERE UTILITY AND/OR DRAINAGE LINES CROSS, THE FOLLOWING VERTICAL CLEARANCES SHALL BE PROVIDED FROM THE OUTSIDE EDGES OF EACH PIPE:
  - SANITARY SEWER OVER OR UNDER STORM DRAINAGE: 24 INCHES.
  - POTABLE WATER OVER SANITARY SEWER: 18 INCHES, WITH WATER MAIN JOINTS SPACED AT MAXIMUM EQUIDISTANT LOCATIONS FROM THE POINT OF CROSSING.
  - POTABLE WATER UNDER SANITARY SEWER: 18 INCHES, WITH BOTH PIPELINES CONSTRUCTED OF FERROUS MATERIAL HAVING JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR 10 FEET EACH WAY OF THE POINT OF CROSSING, AND WITH A FULL SECTION OF WATER MAIN PIPE CENTERED AT THE POINT OF CROSSING.
  - POTABLE WATER OVER OR UNDER STORM DRAINAGE: 18 INCHES.
- IF THE SPECIFIED SEPARATIONS CANNOT BE ACHIEVED, CONSULT THE ENGINEER FOR ALTERNATIVES PRIOR TO PIPELINE INSTALLATION.

UTILITY SPECIFICATIONS (cont.)

WATER SYSTEM

- WATER MAIN PIPING SHALL BE DUCTILE IRON PIPE PER AWWA C151, PRESSURE CLASS 350, WITH INTERIOR CEMENT MORTAR LINING AND EXTERIOR BITUMINOUS SEAL JOINTS SHALL BE PUSH-ON TYPE WITH RUBBER GASKETS PER AWWA C111. FITTINGS SHALL BE COMPACT MECHANICAL JOINT DUCTILE IRON PER AWWA C153, PRESSURE CLASS 350.
- PROVIDE ALL WATER SYSTEM MATERIALS IN ACCORDANCE WITH LOCAL WATER AUTHORITY REQUIREMENTS.
- INSTALL WATERLINES TO PROVIDE 36" COVER TO FINISHED GRADE, UNLESS OTHERWISE SHOWN OR APPROVED BY THE ENGINEER AND INSPECTOR.
- ALL WATERLINE BENDS, CROSSES, TEES, AND ENDS SHALL BE RESTRAINED USING CONCRETE BLOCKING OR A MECHANICAL JOINT WEDGE-ACTION RESTRAINT SYSTEM RATED FOR 350 PSI.
- DO NOT OPERATE WATER SYSTEM VALVES WITHOUT PERMISSION OF THE WATER AUTHORITY.
- CONTRACTOR SHALL COORDINATE EXACT FIRE HYDRANT, WATER METER, AND BACKFLOW PREVENTER LOCATIONS WITH WATER AUTHORITY INSPECTOR PRIOR TO INSTALLATION.

BACKFLOW PREVENTION

- BACKFLOW PREVENTER ASSEMBLIES AND ENCLOSURES SHALL CONFORM TO ALL LOCAL WATER AUTHORITY REQUIREMENTS, AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE INITIAL TESTING AND CERTIFICATIONS AS REQUIRED FOR ACCEPTANCE.

FIRE PROTECTION

- WATER MAINS SHALL BE INSTALLED AND MADE OPERATIONAL AS SOON AS PRACTICAL TO PROVIDE ACTIVE FIRE HYDRANT SERVICE DURING BUILDING CONSTRUCTION.
- COORDINATE TYPE AND LOCATION OF HYDRANTS, FIRE DEPARTMENT CONNECTIONS, AND OTHER FIRE PROTECTION SYSTEM COMPONENTS WITH LOCAL FIRE CODE OFFICIAL PRIOR TO INSTALLATION.

SANITARY SEWER

- SANITARY SEWER MAIN PIPING SHALL BE DUCTILE IRON PIPE PER AWWA C151, PRESSURE CLASS 350, WITH INTERIOR EPOXY LINING AND EXTERIOR BITUMINOUS SEAL JOINTS SHALL BE PUSH-ON TYPE WITH RUBBER GASKETS PER AWWA C111.
- SANITARY SEWER MAIN PIPING SHALL BE PVC PIPE PER ASTM D3034, SDR 35. JOINTS SHALL BE PUSH-ON TYPE WITH RUBBER GASKETS PER ASTM F477.
- SANITARY SEWER MAINS SHALL BE INSTALLED WITH 36 INCHES MINIMUM COVER TO FINISHED GRADE, EXCEPT AS OTHERWISE SPECIFIED.
- SANITARY SEWER SERVICE LINES AND CLEANOUTS SHALL BE INSTALLED IN ACCORDANCE WITH THE N.C. PLUMBING CODE, AND HAVE 24 INCHES MINIMUM COVER TO FINISHED GRADE. SERVICE LINES SHALL MAINTAIN MAXIMUM SERVICE DEPTH USING A 2.1% SLOPE UNLESS OTHERWISE SPECIFIED.
- SERVICE PIPE AND FITTINGS WITHIN PUBLIC STREET RIGHTS-OF-WAY SHALL BE CAST IRON WITH GASKETED JOINTS, AND IN OTHER AREAS SHALL BE SCHEDULE 40 PVC WITH SOLVENT WELDED JOINTS, EXCEPT ALL CLEANOUTS SHALL BE FITTED WITH THREADED BRONZE PLUGS.
- SERVICE LINE CLEANOUTS IN VEHICULAR AREAS SHALL BE TRAFFIC BEARING CLEANOUTS.

CONNECTIONS

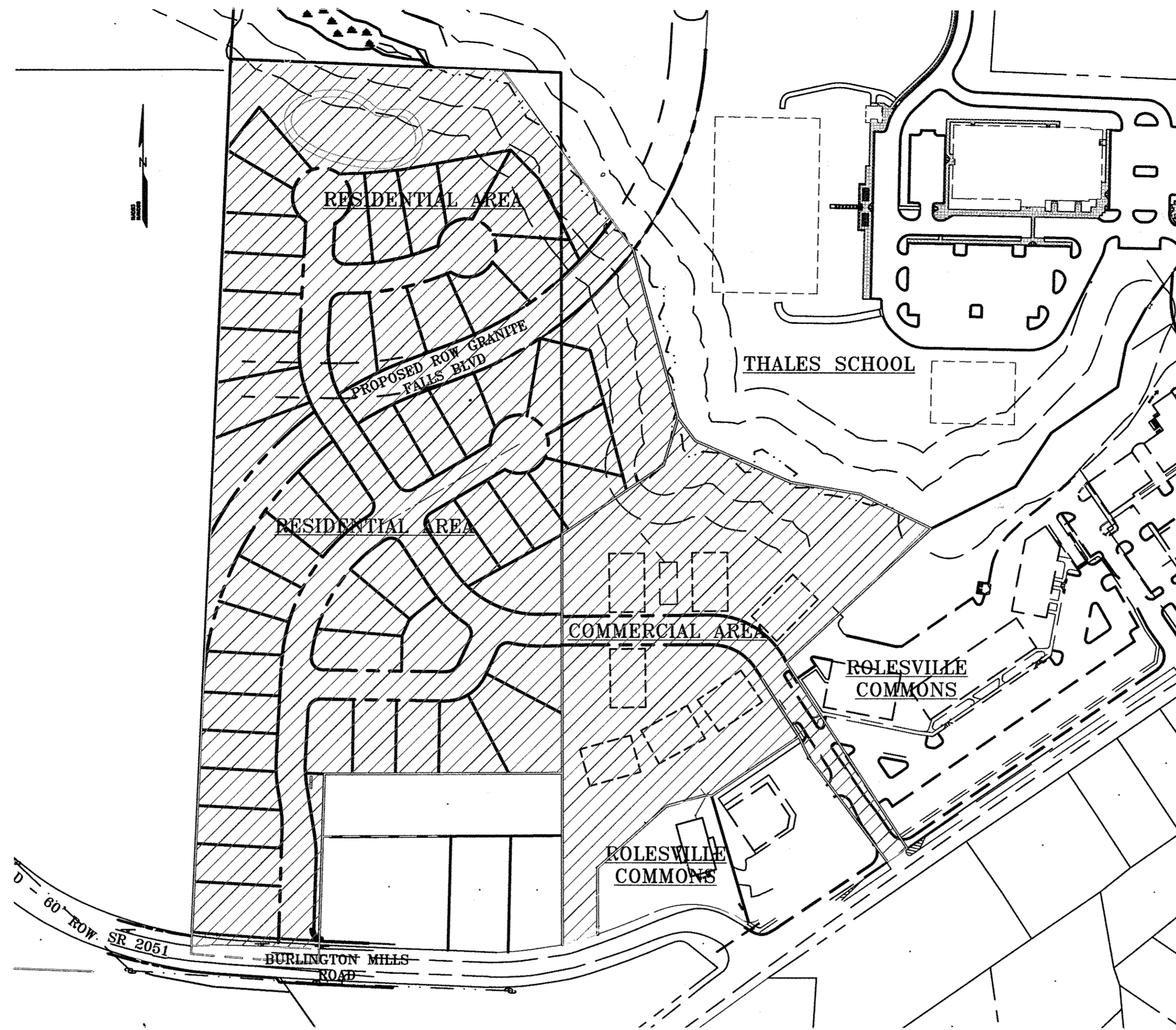
- FOR CONNECTIONS TO EXISTING UTILITY AND DRAINAGE LINES, CONTRACTOR SHALL VERIFY EXISTING PIPE SIZE AND MATERIAL, AND PROVIDE APPROPRIATE CONNECTION FITTINGS.
- ANY CONNECTION TO EXISTING UTILITIES, OR ANY UTILITY SERVICE INTERRUPTION, SHALL BE FIRST COORDINATED WITH THE GOVERNING UTILITY AUTHORITY AND PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THAT AUTHORITY.
- SITE UTILITY CONTRACTOR SHALL EXTEND WATER AND SANITARY SEWER SERVICES TO WITHIN 5 FEET OF THE POINT OF BUILDING PENETRATION FOR EACH UTILITY.
- BUILDING PLUMBER SHALL PROVIDE TRANSITION MATERIALS AND FITTINGS, AND MAKE PROPER CONNECTIONS TO SITE UTILITY STUB-OUTS FOR ALL WATER AND SANITARY SEWER SERVICES.
- SITE UTILITY CONTRACTOR SHALL EXTEND ROOF DRAINAGE PIPING TO WITHIN 5 FEET OF DOWNSPOUT LOCATIONS, FOR EXTENSION AND CONNECTION TO DOWNSPOUTS BY OTHERS.

TESTING AND ACCEPTANCE

- THE GEOTECHNICAL ENGINEER SHALL PROVIDE MATERIAL AND DENSITY TESTING DURING THE COURSE OF THE WORK. PRIOR TO PLACEMENT OF ANY BASE OR PAVEMENT, CONTRACTOR SHALL PROVIDE PROOF-ROLLING OF ALL TRENCH AREAS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- PRIOR TO ANY SANITARY SEWER OR WATER SYSTEM IMPROVEMENTS BEING PLACED INTO SERVICE:
  - CONTRACTOR SHALL SUCCESSFULLY TEST ALL WATER MAINS FOR WATER LEAKAGE AND WATER QUALITY IN ACCORDANCE WITH CITY OF RALEIGH AND NCDENR REQUIREMENTS.
  - CONTRACTOR SHALL SUCCESSFULLY TEST ALL SANITARY SEWER MAINS FOR DEFLECTION AND LEAKAGE, AND TEST ALL SANITARY MANHOLES FOR LEAKAGE, IN ACCORDANCE WITH CITY OF RALEIGH AND NCDENR REQUIREMENTS.
  - CONTRACTOR SHALL PERFORM VIDEO INSPECTION OF INSTALLED SANITARY SEWER MAINS AND PROVIDE DOCUMENTATION PER LOCAL REQUIREMENTS.
  - CONTRACTOR SHALL PROVIDE TO ENGINEER A SET OF MARKED UP DRAWINGS SHOWING UTILITY CHANGES, DIMENSIONAL ADJUSTMENTS, DISCOVERED SUBSURFACE UTILITIES, AND OTHER AS-BUILT INFORMATION.
  - CONTRACTOR SHALL PROVIDE DOCUMENTATION OF ALL TESTING RESULTS TO ENGINEER.
  - ALL IMPROVEMENTS SHALL PASS FINAL INSPECTION BY ENGINEER AND THE UTILITY AUTHORITY.
  - ENGINEER SHALL SUBMIT ALL CERTIFICATIONS AND OTHER CLOSE-OUT DOCUMENTS TO APPLICABLE LOCAL AND STATE AUTHORITIES.

OTHER

- CONTRACTOR SHALL PROVIDE PRIMARY COORDINATION WITH UTILITY SERVICE PROVIDERS FOR BUILDING UTILITY SERVICES. THIS WORK SHALL INCLUDE MAKING APPLICATIONS FOR SERVICE, COORDINATING AND SCHEDULING WORK BY OTHERS, VERIFYING ROUTINGS AND EQUIPMENT LOCATIONS, FURNISHING AND INSTALLING CONDUIT AND PADS, AND RELATED WORK AS NEEDED.
- CONTRACTOR SHALL PROVIDE PROPER RESTORATION AND CLEAN-UP OF ALL AREAS DISTURBED BY UTILITY CONSTRUCTION.

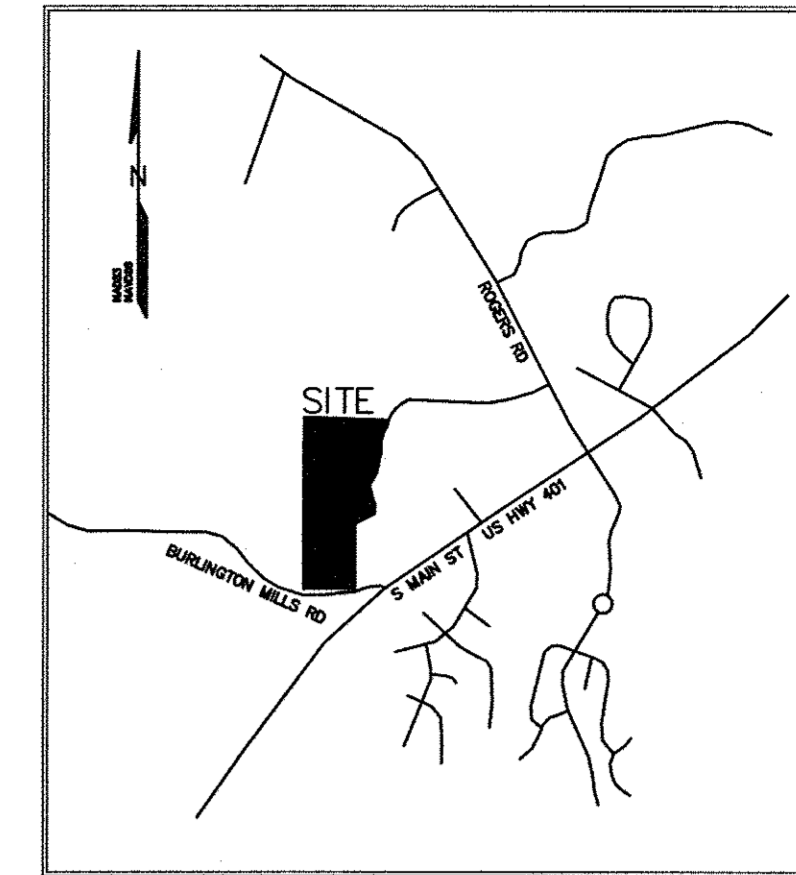


# MATTINGLY SUBDIVISION MAJOR SUBDIVISION - PRELIMINARY

## ROLESVILLE, North Carolina

SITE DATA:

OWNER/DEVELOPER:	LLOYDS OF ROLESVILLE 2008 SOUTH MAIN STREET WAKE FOREST, NC 27587 PHONE: 919-554-8775 CONTACT: LLOYD MATTINGLY	MAXIMUM BUILDING HEIGHT:	35'
APPLICANT/DEVELOPER:	CIVIL CONSULTANTS, INC. 3708 LYCKAN PARKWAY SUITE 201 DURHAM, NC 27707 PHONE: 919-490-1645 CONTACT: KEITH GETTLE, P.E.	MINIMUM RESIDENTIAL LOT SIZE REQUIRED:	R1 20,000 SF
PROJECT:	PLANNED UNIT DEVELOPMENT (R&PUD)	MINIMUM RESIDENTIAL LOT SIZE PROPOSED:	R&PUD 8000 SF
PIN:	1758-68-2706 (6.48 AC) CO 1758-59-6055 (17.96 AC) R1 1758-69-0358 (2.93 AC) R1	EXISTING IMPERVIOUS SURFACE:	TBD
PROPOSED ZONING:	R&PUD	PROPOSED IMPERVIOUS SURFACE:	TBD
RIVER BASIN:	NEUSE RIVER BASIN	COMMERCIAL PARKING:	FLEX/OFFICE (4) BUILDING 6000 SF = 24,000 SF 1 SPACE PER 500 SF (24,000 / 500) = 48 PROVIDED 56 PROVIDED
NO. OF LOTS:	50 RESIDENTIAL LOTS	MEDICAL/OFFICE (3) @ 6000 SF = 18,000 SF 4.5 / 1000 = 81 SPACES 81 PROVIDED	
PROJECT DENSITY:	RESIDENTIAL 2.5 UNITS/ACRE	OPEN SPACE REQUIRED:	RESIDENTIAL = 19.7 AC (10%) 19.7AC-1.26 (ROW)=18.44AC TOTAL = 18.54AC X10% = 1.84 AC 50% ACRES USEABLE = .92AC
RESIDENTIAL BUILDING SETBACKS REQUIRED:	25' FRONT 0-10' AGGREGATE SIDE 25' REAR	OPEN SPACE PROVIDED:	6.08 ACRES TOTAL (31%) 4.27 ACRES IN BUFFER 0.75 WALKWAY, OPEN AREA
COMMERCIAL BUILDING SETBACKS PROVIDED:	20' FRONT 15' SIDE 35' REAR		



VICINITY MAP  
NTS

DRAWING INDEX:

- C1 COVER SHEET
- C2 EXISTING CONDITIONS & DEMOLITION PLAN
- C3 SITE PLAN
- C4 UTILITY PLAN
- C5 BUFFER PLAN

LEGEND

	NEW	EXISTING
DRAINAGE STRUCTURE	■ □ ○ △	□ ○ □ △
SANITARY SEWER MANHOLE	⊙	⊙
SANITARY SEWER CLEANOUT	⊙	⊙
WATER VALVE	⊙	⊙
FIRE HYDRANT	⊙	⊙
OVERHEAD UTILITY LINE	OH	OH
UNDERGROUND ELECTRIC LINE	E	EX
UNDERGROUND TELECOM/DATA LINE	TD	XTD
FIBER OPTIC CABLE	FO	XFO
GAS LINE	G	XG
STORM DRAINAGE PIPE	SD	XSD
SANITARY SEWER LINE	SS	XSS
WATER LINE	W	XW
SURFACE ELEVATION CONTOUR	400	400
SURFACE SPOT ELEVATION	356.44	356.44
CLEARING LIMIT/TREE LINE	~	~
LIMIT OF DISTURBANCE	- - -	- - -
ELECTRICAL TRANSFORMER PAD	⊞	⊞
TYPICAL KEYED NOTE LABEL	1	1

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MATTINGLY SUBDIVISION

ROLESVILLE, NORTH CAROLINA

COVER SHEET

REV.	DATE	DESCRIPTION	BY
1	1-13-14	PER TOWN REVIEW	KFG
2	4-21-14	PER TOWN REVIEW	KFG

DATE:	OCTOBER 2, 2013
HORIZONTAL SCALE:	1" = 80'
VERTICAL SCALE:	1" = 2'
PROJECT MANAGER:	KFG
DRAWN BY:	KFG
PROJECT NO.:	20023
DRAWING NAME:	20023.DWG

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SHEET NO.

C1





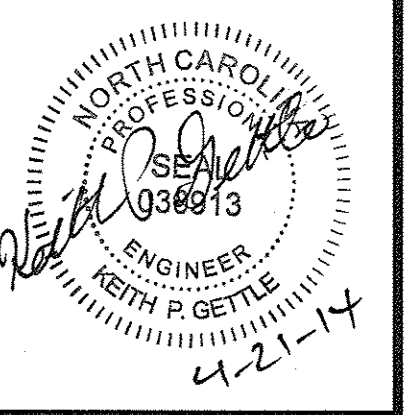


KEY KEYED NOTES - SITE PLAN

- 1 CONCRETE CURB AND GUTTER, SEE DETAILS AND SITE NOTES.
- 2 STANDARD CONCRETE WALK, 5' WIDE UNLESS OTHERWISE NOTED, SEE DETAIL.
- 3 TURN-DOWN CONCRETE WALK, 6' WIDE UNLESS OTHERWISE NOTED, SEE DETAIL.
- 4 HANDICAP RAMP, SEE DETAIL.
- 5 LONGITUDINAL CURB TRANSITION (BULLNOSE), SEE DETAIL.
- 6 STANDARD-DUTY BITUMINOUS PAVING, SEE DETAIL. USE FOR ALL PARKING SPACES.
- 7 HEAVY-DUTY BITUMINOUS PAVING, SEE DETAIL. USE FOR ALL DRIVE AISLES AND SERVICE LANES.
- 8 WHEEL STOP, SEE DETAIL. SET 24" FROM EDGE OF PARKING SPACE.
- 9 4" WIDE PARKING SPACE STRIPING. SEE SITE NOTES FOR PAINT SPECIFICATION.
- 10 UNIVERSAL HANDICAPPED SYMBOL AND HANDICAPPED ACCESS AISLE STRIPING. SEE DETAILS, AND SEE SITE NOTES FOR PAINT SPECIFICATION.
- 11 HANDICAPPED PARKING SIGNS ON POST, SEE DETAILS. INSTALL ONE R7-8 AND ONE R7-8D SIGN AT EACH HANDICAPPED PARKING SPACE, AND ADD A "VAN ACCESSIBLE" SIGN AT EACH VAN SPACE.
- 12 HANDICAP ACCESSIBLE PASSENGER LOADING ZONE SIGN, SEE DETAIL.
- 13 BICYCLE PARKING, SEE DETAIL.
- 14 CONCRETE DUMPSTER PAD AND ENCLOSURE WITH GATE AND PROTECTIVE BOLLARDS, SEE DETAILS.
- 15 MONUMENT SIGN BY OTHERS, PROVIDE ELECTRICAL SERVICE IN CONDUIT PER OWNER REQUIREMENTS.
- 16 TIE IN TO EXISTING PAVEMENT, SEE SITE NOTES FOR REQUIREMENTS.
- 17 TIE IN TO EXISTING CURB AND GUTTER OR SIDEWALK, SEE SITE NOTES FOR REQUIREMENTS.
- 18 CONCRETE PAVING TYPE 1, SEE DETAIL.
- 19 PAINTED STOP BAR, 12" WIDE, SOLID WHITE. SEE SITE NOTES FOR PAINT SPECIFICATION.
- 20 PAINTED DRIVE AISLE DIRECTIONAL ARROWS, 8" WIDE, SOLID WHITE. SEE SITE NOTES FOR PAINT SPECIFICATION.
- 21 PAINTED CROSSWALK, USING 6" WIDE, WHITE DIAGONAL BARS. SEE SITE NOTES FOR PAINT SPECIFICATION.
- 22 PAINTED "NO PARKING FIRE LANE" MARKINGS IN ACCORDANCE WITH LOCAL REQUIREMENTS-SEE NOTES FOR PAINT SPECIFICATION.
- 23 BUILDING FOOTPRINT. SEE SITE NOTES FOR LIMITATIONS ON USE OF FOOTPRINT INFORMATION AS SHOWN.
- 24 30" NCDOT-STANDARD STOP SIGN, MOUNTED ON GALVANIZED STEEL POST.
- 25 HANDICAP ACCESSIBLE PASSENGER LOADING ZONE SIGN, SEE DETAIL.
- 26 SPEED / UNLOADING TABLE w/5' WIDE CONCRETE WALKWAY, SEE DETAIL.
- 27 STANDARD CONCRETE WALK, 6' WIDE WITH TURN-DOWN AT EACH END, SEE DETAILS.
- 28 MODULAR BLOCK WALL, WITH 4' HIGH BLACK VINYL COATED CHAINLINK FENCE ALONG TOP OF WALL.
- 29 USPS MAILBOX KIOSK



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 919-460-1048 PHONE  
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MATTINGLY SUBDIVISION  
 ROLESVILLE, NORTH CAROLINA  
 SITE PLAN

REV.	DATE	DESCRIPTION	BY
1	1-13-14	PER TOWN COMMENT	KFG
2	4-21-14	PER TOWN COMMENT	KFG

DATE: OCTOBER 2, 2013  
 HORIZONTAL SCALE: 1" = 50'  
 VERTICAL SCALE: 1" = 2'  
 PROJECT MANAGER: KFG  
 DRAWN BY: KFG  
 PROJECT NO: 20023  
 DRAWING NAME: 20023.DWG

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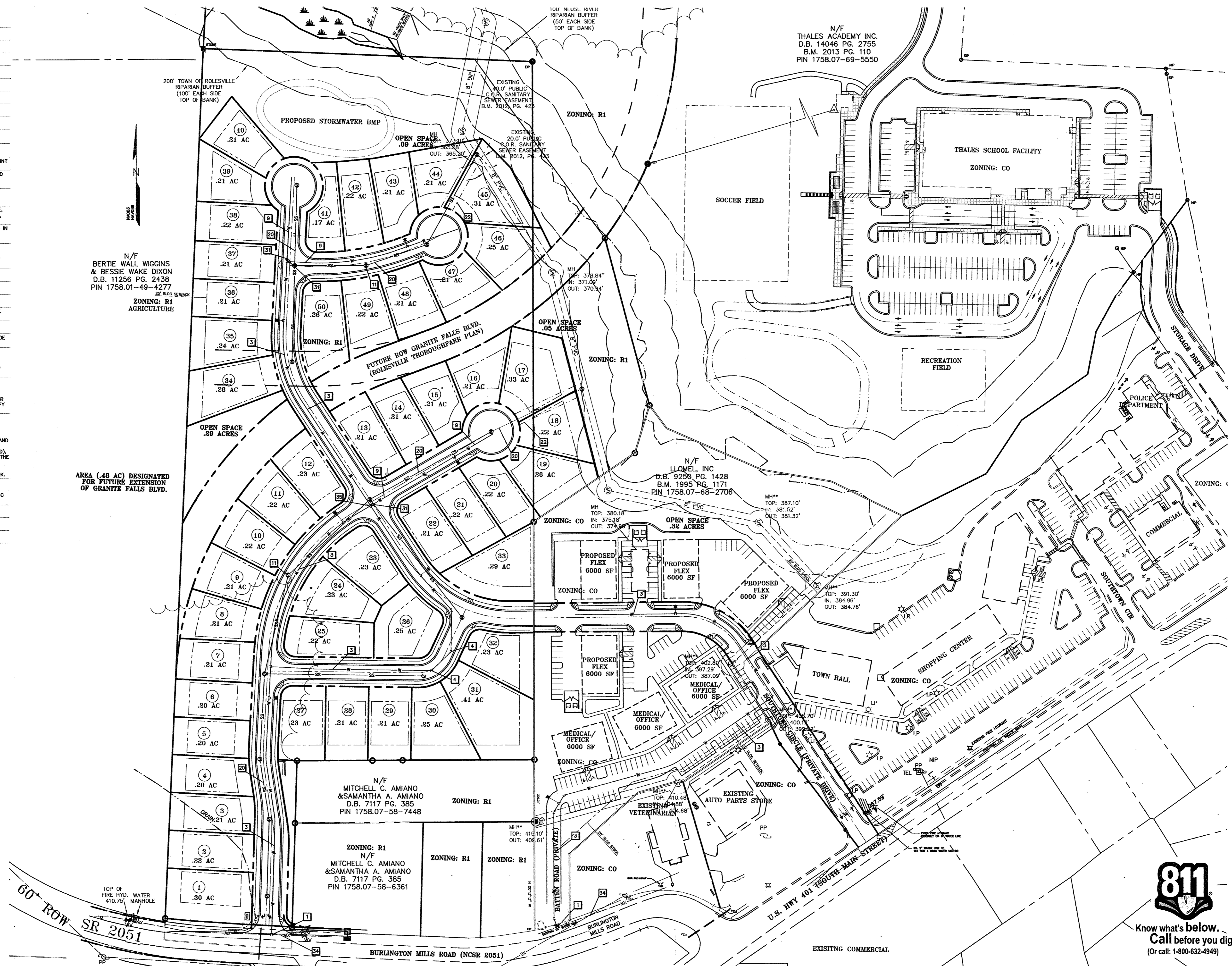
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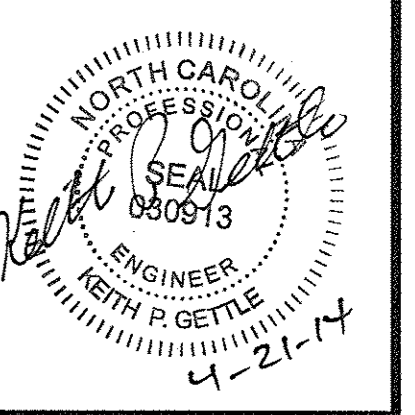


KEY KEYED NOTES - UTILITY PLAN

- 1 CONNECT TO EXISTING 12" WATERLINE BY CUTTING IN A 12" X 8" MJ TEE.
- 2 8" X 6" MJ TEE WITH RESTRAINT.
- 3 8" DIAMETER DUCTILE IRON WATERLINE.
- 4 45, 90, 22.5 OR 11.25 DEGREE MJ BEND AND RESTRAINT.
- 5 8" X 6" MJ TEE WITH RESTRAINT.
- 6 6" GATE VALVE WITH VALVE BOX AND CONCRETE COLLAR.
- 7 8" GATE VALVE WITH VALVE BOX AND CONCRETE COLLAR.
- 8 6" GATE VALVE WITH VALVE BOX, AND FIRE HYDRANT ASSEMBLY.
- 9 8" DIAMETER DUCTILE IRON WATERLINE.
- 10 2" WATER SERVICE TAP AND CLASS 200 PVC SERVICE LINE, AND 2" METER ASSEMBLY IN METER BOX, FOR DOMESTIC SERVICE.
- 11 4"-6" DIA PRECAST SANITARY SEWER MANHOLE - SEE COR DETAIL S-20
- 12 4" PVC CLASS 200 WATER SERVICE LINE WITH DUCTILE IRON RESTRAINED JOINT FITTINGS DESIGNED FOR USE ON PVC PIPE.
- 13 3" BACKFLOW PREVENTER DEVICE LOCATED IN AN INSULATED ABOVE-GROUND ENCLOSURE. DEVICE SHALL BE AN AMES C500 COLT 3000GV, OR APPROVED CITY OF RALEIGH EQUAL.
- 14 2" WATER SERVICE TAP AND 2" METER ASSEMBLY IN METER BOX, FOR LANDSCAPE IRRIGATION SERVICE. IRRIGATION SYSTEM BY OTHERS.
- 15 BACKFLOW PREVENTER DEVICE IN AN INSULATED ABOVE-GROUND ENCLOSURE. FOR LANDSCAPE IRRIGATION SERVICE. DEVICE SHALL BE A 2" AMES 4000R, REDUCED-PRESSURE PRINCIPLE ASSEMBLY. IRRIGATION SYSTEM BY OTHERS.
- 16 8" BACKFLOW PREVENTER DEVICE - AMES C500 RPDA "N" STYLE INSTALLED IN AN ABOVE GROUND HEATED ENCLOSURE (ASSE 1060)
- 17 6" DUCTILE IRON WATER LINE FOR FIRE PROTECTION SPRINKLER SYSTEM.
- 18 FIRE DEPARTMENT CONNECTION AND SIGN. VERIFY LOCATION WITH ARCHITECT AND FIRE OFFICIAL.
- 19 4" PVC SANITARY SEWER LATERAL.
- 20 8" DIAMETER DUCTILE IRON PUBLIC SANITARY SEWER MAIN. SEE SHEET FOR PROFILE.
- 21 CONNECT TO EXISTING SANITARY MANHOLE USING NEW FLEXIBLE BOOT. CORE-DRILL MANHOLE AND INSTALL BOOT PER INSPECTOR'S REQUIREMENTS.
- 22 4" PVC PUBLIC SANITARY SEWER WITH 20" WIDE CITY OF RALEIGH EASEMENT.
- 23 4" PVC SANITARY SEWER CLEANOUT SPACED AT A MAXIMUM OF 75'.
- 24 4" PVC PRIVATE SANITARY SEWER WITH 20" WIDE PRIVATE EASEMENT. PROVIDE 4" PVC CLEANOUTS AT A MINIMUM SPACING OF 75 FEET.
- 25 UNDERGROUND ELECTRIC SERVICE LINE AND PAD-MOUNTED TRANSFORMER (SHOWN SCHEMATICALLY). CONTRACTOR SHALL MAKE APPLICATION FOR ELECTRIC SERVICE. COORDINATE INSTALLATION, AND PROVIDE ALL MATERIALS AND WORK NOT PROVIDED BY THE ELECTRIC COMPANY. VERIFY ROUTING AND LOCATIONS WITH ARCHITECT AND SERVICE PROVIDER.
- 26 ELECTRIC METER LOCATION ON BUILDING (SHOWN SCHEMATICALLY). VERIFY LOCATION WITH ARCHITECT AND SERVICE PROVIDER.
- 27 GAS SERVICE LINE AND METER (SHOWN SCHEMATICALLY). SIZING AND INSTALLATION BY GAS COMPANY. CONTRACTOR SHALL MAKE APPLICATION FOR GAS SERVICE, AND SHALL COORDINATE LINE AND METER INSTALLATION. VERIFY ROUTING AND LOCATIONS WITH ARCHITECT AND SERVICE PROVIDER.
- 28 TELEPHONE AND INTERNET SERVICE LINES (SHOWN SCHEMATICALLY). CONTRACTOR SHALL MAKE APPLICATIONS FOR SERVICE. COORDINATE INSTALLATION BY SERVICE PROVIDERS. VERIFY ROUTINGS, LOCATIONS, AND TERMINATION DETAILS WITH ARCHITECT AND SERVICE PROVIDERS.
- 29 PROVIDE ADEQUATE TRAFFIC CONTROL AND SAFETY MEASURES FOR PUBLIC AND WORKER SAFETY DURING THE PROGRESS OF THE WORK. CONFORM TO STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE NORTH CAROLINA SUPPLEMENT TO THE MUTCD, AND REQUIREMENTS OF THE ROADWAY AND MUNICIPAL AUTHORITIES.
- 30 PAVEMENT OUT AND PATIO AS NEEDED FOR UTILITY LINE INSTALLATION. CONFORM TO ALL RIGHT-OF-WAY ENCROACHMENT CONDITIONS FOR THE WORK.
- 31 8"x6" REDUCER
- 32 1" WATER SERVICE TAP & 1" METER ASSEMBLY IN METER BOX, FOR DOMESTIC SERVICE AND 2" PVC CLASS 200, WATER LINE TO FIELD HOUSE.
- 33 6" PVC PRIVATE SANITARY SEWER LATERAL.
- 34 APPROXIMATE LOCATION OF EXISTING WATER MAIN.
- 35 8"x6" MJ CROSS RESTRAINT



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MATTINGLY SUBDIVISION  
 ROLESVILLE, NORTH CAROLINA  
 UTILITY PLAN

REV.	DATE	DESCRIPTION	BY	KPG
1	1-13-14	PER TOWN COMMENT		

DATE: OCTOBER 2, 2013  
 HORIZONTAL SCALE: 1" = 80'  
 VERTICAL SCALE: 1" = 4'  
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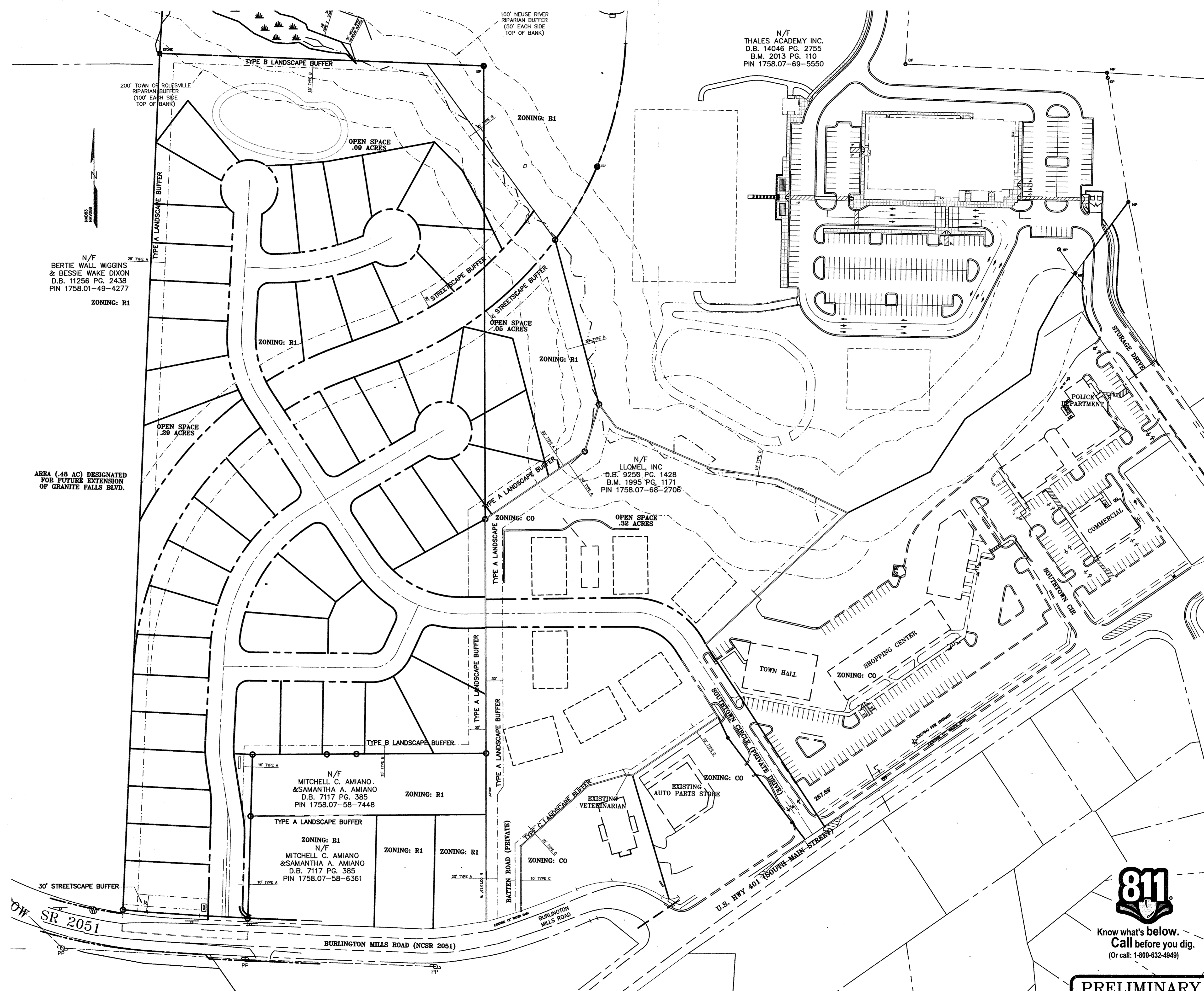
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CONTRACTOR'S RECORD DRAWING MARKUP OF AS-BUILT CHANGES DURING CONSTRUCTION.  
 CONTRACTOR'S INITIALS: \_\_\_\_\_

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N/F  
BERTIE WALL WIGGINS  
& BESSIE WAKE DIXON  
D.B. 11256 PG. 2438  
PIN 1758.01-49-4277  
ZONING: R1

AREA (.48 AC) DESIGNATED  
FOR FUTURE EXTENSION  
OF GRANITE FALLS BLVD.

N/F  
THALES ACADEMY INC.  
D.B. 14046 PG. 2755  
B.M. 2013 PG. 110  
PIN 1758.07-69-5550

N/F  
LLOMEL, INC  
D.B. 9256 PG. 1428  
B.M. 1995 PG. 1171  
PIN 1758.07-68-2706

N/F  
MITCHELL C. AMIANO  
& SAMANTHA A. AMIANO  
D.B. 7117 PG. 385  
PIN 1758.07-58-7448

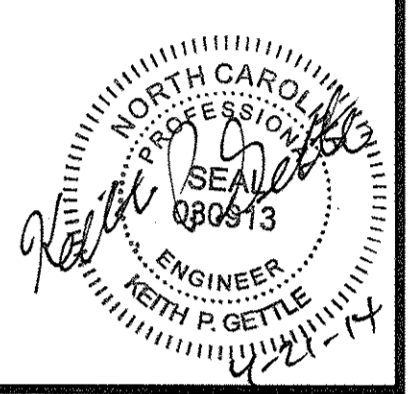
N/F  
MITCHELL C. AMIANO  
& SAMANTHA A. AMIANO  
D.B. 7117 PG. 385  
PIN 1758.07-58-6361



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MATTINGLY SUBDIVISION  
ROLESVILLE, NORTH CAROLINA  
BUFFER PLAN

REV.	DATE	DESCRIPTION

DATE: OCTOBER 2, 2013  
HORIZONTAL SCALE: 1"=80'  
VERTICAL SCALE: 1"=2'  
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DRAWN BY: KPG  
PROJECT NO: 20023  
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