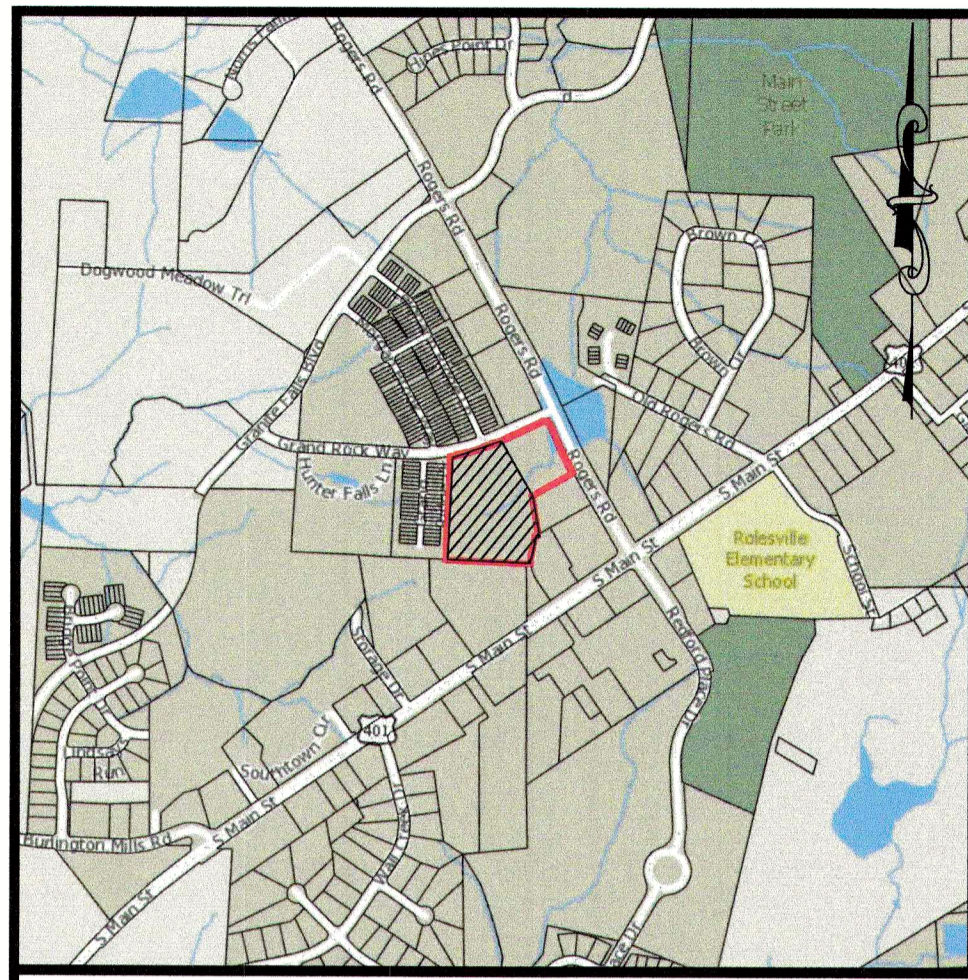


# A-MASTER TEAM TOWNHOMES

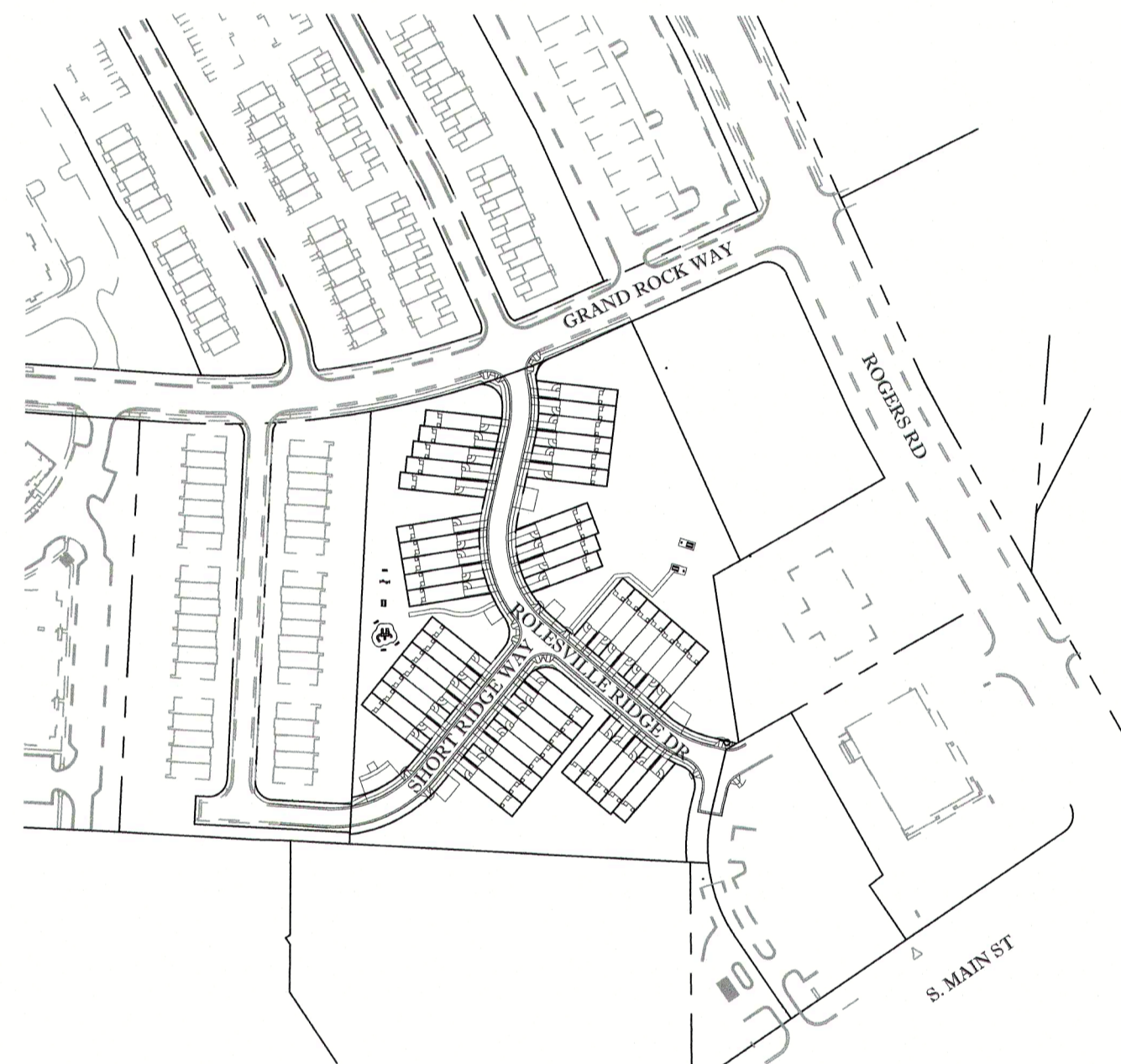
## CONSTRUCTION DOCUMENTS

151 GRAND ROCK WAY  
ROLESVILLE, NORTH CAROLINA 27571

JUNE 22, 2020  
SEPTEMBER 29, 2020  
JANUARY 21, 2021

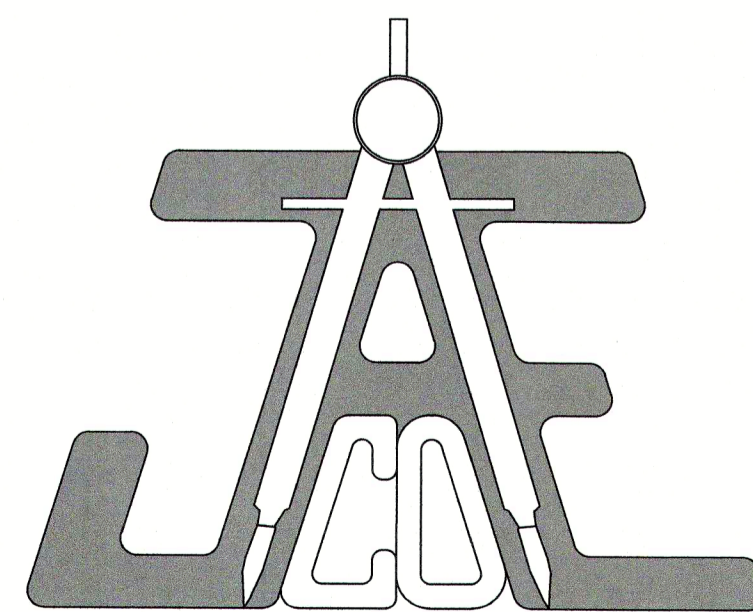


VICINITY MAP  
NOT TO SCALE



**OWNER:**  
**A-MASTER TEAM, LLC**  
6200 FALLS OF NEUSE ROAD; SUITE 10  
RALEIGH, NC 27609  
W. HAROLD PERRY - MANAGER  
E-mail: HALPERRY@REMC.US

**CIVIL ENGINEER:**  
**JAECO**  
Consulting Engineers  
NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
E-mail: info@jaeco.com



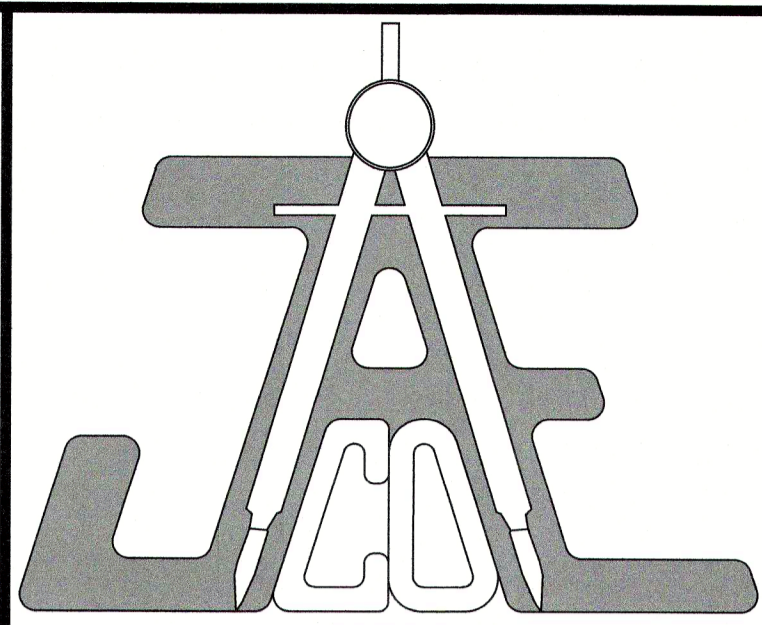
ABBREVIATIONS	
APPLICABLE TO ENTIRE PLAN SET	
AC	ACRE
APPROX	APPROXIMATE
B-B	BACK-TO-BACK
BM	BOOK OF MAPS
CB	CATCH BASIN
CIP	CAST IRON PIPE
CL	CENTERLINE
CO	CLEANOUT
CONC	CONCRETE
COR	CITY OF RALEIGH
CP	COMPUTED POINT
DB	DEED BOOK
DIP	DUCTILE IRON PIPE
DTL	DETAIL
ECM	EX CONC MONUMENT
EIP	EX IRON PIPE
EIR	EX IRON ROD
ELEC	ELECTRIC
ELEV	ELEVATION
EMAG	EX MAG NAIL
EOP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FH	FIRE HYDRANT
FM	FORCE MAIN
FP	FLOODPLAIN
GIS	GEOGRAPHIC INFORMATION SYSTEM
GM	GAS METER
GP	GALVANIZED PIPE
GW	GUY ANCHOR
HB	HOT BOX
HDPE	HIGH DENSITY POLYETHYLENE
IPS	IRON PIPE SET
LF	LINEAR FEET
LP	LIGHT POLE
LOC	LOCATION
MAGS	MAG NAIL SET
MH	MANHOLE
MW	MONITORING WELL
NF	NOW OR FORMERLY
NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
PG	PAGE
PP	POWER POLE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONC PIPE
ROW	RIGHT-OF-WAY
R/W	RIGHT-OF-WAY
RSDM	RALEIGH STREET DESIGN MANUAL
SF	SQUARE FEET
SS	SANITARY SEWER
STD	STANDARD
SWM	STORMWATER MANAGEMENT
TBD	TO BE DETERMINED
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TF	ELECTRIC TRANSFORMER
TP	TELEPHONE PEDESTAL
TYP	TYPICAL
UDO	UNIFIED DEVELOPMENT ORDINANCE
UNK	UNKNOWN
VCP	VITRIFIED CLAY PIPE
WV	WATER VALVE
WLE	WATER LINE ESMT
WM	WATER METER

SPOT KEY	
BC	BOTTOM OF CURB
BR	BOTTOM OF RISER
BW	BOTTOM OF WALL
FFE	FINISHED FLOOR ELEVATION
G	GRADE
HP	HIGH POINT
LP	LOW POINT
TC	TOP OF CURB
TR	TOP OF RISER
TW	TOP OF WALL

SITE DATA TABLE		
ADDRESS	151 GRAND ROCK WAY ROLESVILLE, NC 27571	
WAKE COUNTY PIN	1759.20-70-7093	
PROPOSED ZONING	CO-SUD	
TOTAL TRACT AREA	324,170 SF (7.4419 AC)	
PROPOSED RESIDENTIAL AREA*	261,043 SF (5.9927 AC)	
MAX. ALLOWED UNITS*	59	
PROPOSED UNITS	47	
PARKING CALCULATIONS		
	SPACES	
TOWNHOMES	2 SPACES / 2 BR UNIT * 47 UNITS = 94	
VISITOR	1 SPACE / 4 UNITS * 47 UNITS = 12	
MAIL KIOSK	4 SPACES (INCLUDING 1 ADA VAN) = 4	
<b>TOTAL</b>	<b>110</b>	
<b>PROPOSED</b>	<b>111</b>	
BASE DIMENSIONAL STANDARDS		
FRONT YARD SETBACK	20'	
SIDE YARD SETBACK	15'	
CORNER YARD SETBACK	25'	
REAR YARD SETBACK	35'	
RECREATION & OPEN SPACE		
	REQUIRED	PROVIDED
OPEN SPACE	15% * 261,043 SF = 39,157 SF	42,566 SF
	UNIMPROVED	28,845 SF
RECREATION SPACE	35% * 39,157 = 13,705 SF	13,721 SF
UTILITIES		
WATER	STUBS	49
	PUBLIC LENGTH (SIZE)	1,150 LF (6")
	PRIVATE LENGTH (SIZE)	0 LF
SEWER	STUBS	48
	PUBLIC LENGTH (SIZE)	0 LF
	PRIVATE LENGTH (SIZE)	770 LF (8")

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER
C-1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C-2.0	SITE PLAN
C-3.1	EROSION AND SEDIMENT CONTROL PLAN - PHASE I
C-3.2	EROSION AND SEDIMENT CONTROL PLAN - PHASE II
C-4.1	UTILITY PLAN
C-4.2	ROLESVILLE RIDGE RD PLAN & PROFILE
C-5.0	SHORT RIDGE WAY PLAN & PROFILE
C-6.0	GRADING PLAN
C-7.0	STORMDRAIN & STORMWATER MANAGEMENT PLAN
C-8.1	OUTFALL PROFILES
C-8.2	LANDSCAPE PLAN
C-9.1	POND PLANTING, DETAILS, & PLANT LIST
C-9.2	SITE DETAILS
C-9.3	NCG01 NOTES AND DETAILS
C-9.4	NCG01 NOTES AND DETAILS
C-9.5	EROSION CONTROL DETAILS
C-9.6	STORMDRAIN DETAILS
C-9.7	SANITARY DETAILS
C-9.7	WATER DETAILS

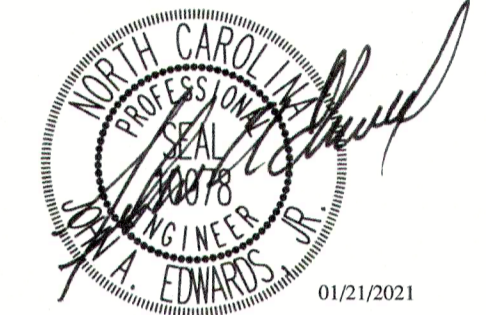
EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT	
<b>APPROVED</b>	
EROSION CONTROL	<input checked="" type="checkbox"/> S- EC-040294-2020
STORMWATER MGMT.	<input checked="" type="checkbox"/> S-
FLOOD STUDY	<input type="checkbox"/> S-
DATE	03/01/2021
ENVIRONMENTAL CONSULTANT SIGNATURE	



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RALEIGH, NC 27609

**Call before you dig.**

### LEGEND



**PLANS NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BY CITY OF RALEIGH**

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.  
City of Raleigh Public Utilities Department Permit # W-3745

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.  
City of Raleigh Public Utilities Department Permit # S-4760(P)

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited or issued. Any modification to this approval once issued will invalidate this approval.

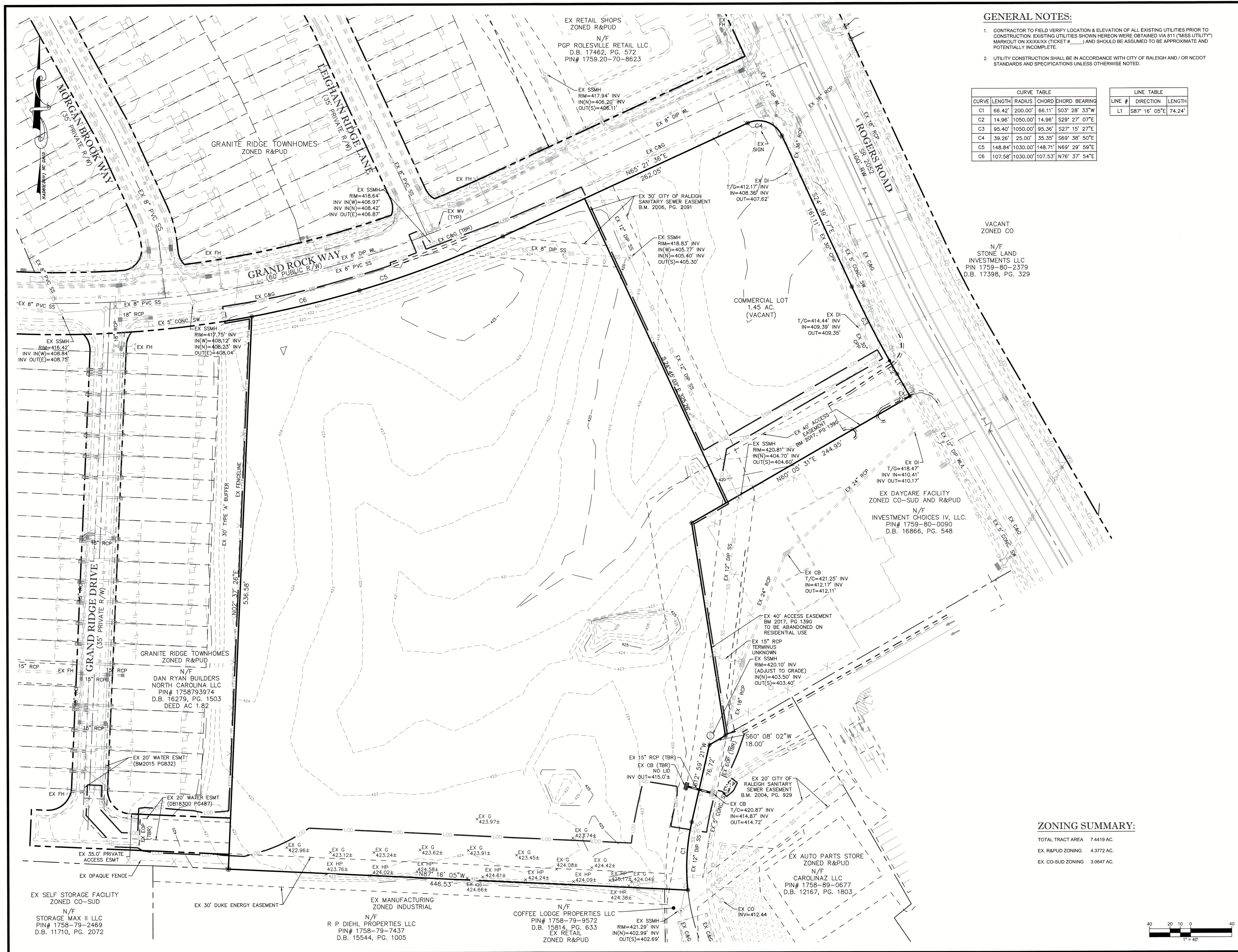
City of Raleigh Development Approval \_\_\_\_\_  
Raleigh Water Review Officer

### COVER

Revisions		
Number	Description	Date
1	PER TRC COMMENTS	09/29/20
2	PER TRC COMMENTS	01/21/21

JAECO #: 362-09  
DRAWING SCALE: N/A  
DRAWN BY: TT  
CHECKED BY: JAE, JR.  
DATE ISSUED: 06/22/2020

**C-0.0**

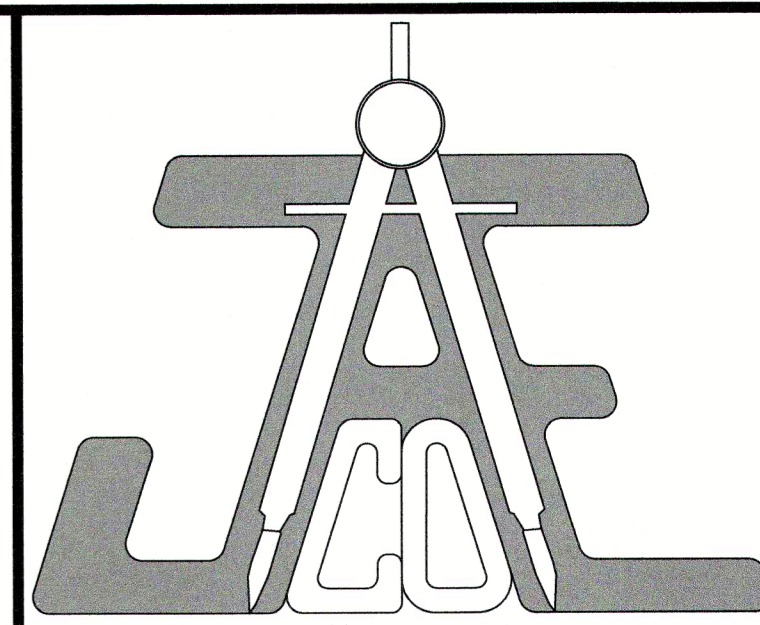


**GENERAL NOTES:**

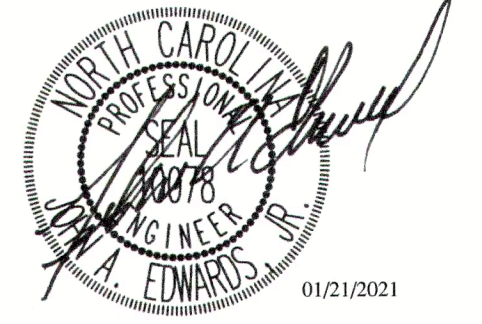
- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED VIA 811 ("MISS UTILITY") MARKOUT ON XXXXXX (TICKET # \_\_\_\_\_) AND SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	66.42'	200.00'	66.11'	S03° 28' 33"W
C2	14.96'	1050.00'	14.96'	S29° 27' 07"E
C3	95.40'	1050.00'	95.36'	S27° 15' 27"E
C4	39.26'	25.00'	35.35'	S69° 38' 50"E
C5	148.84'	1030.00'	148.71'	N69° 29' 59"E
C6	107.58'	1030.00'	107.53'	N76° 37' 54"E

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S87° 16' 05"E	74.24'



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**Call 811 before you dig.**

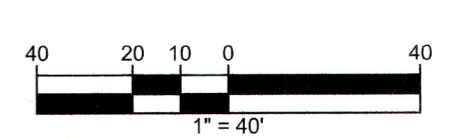
**LEGEND**

- EX PROPERTY LINE
- EX ADJACENT PROPERTY LINE
- EX CENTERLINE
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX FENCE
- EX WATER LINE
- EX SEWER LINE

**EXISTING CONDITIONS & DEMOLITION PLAN**

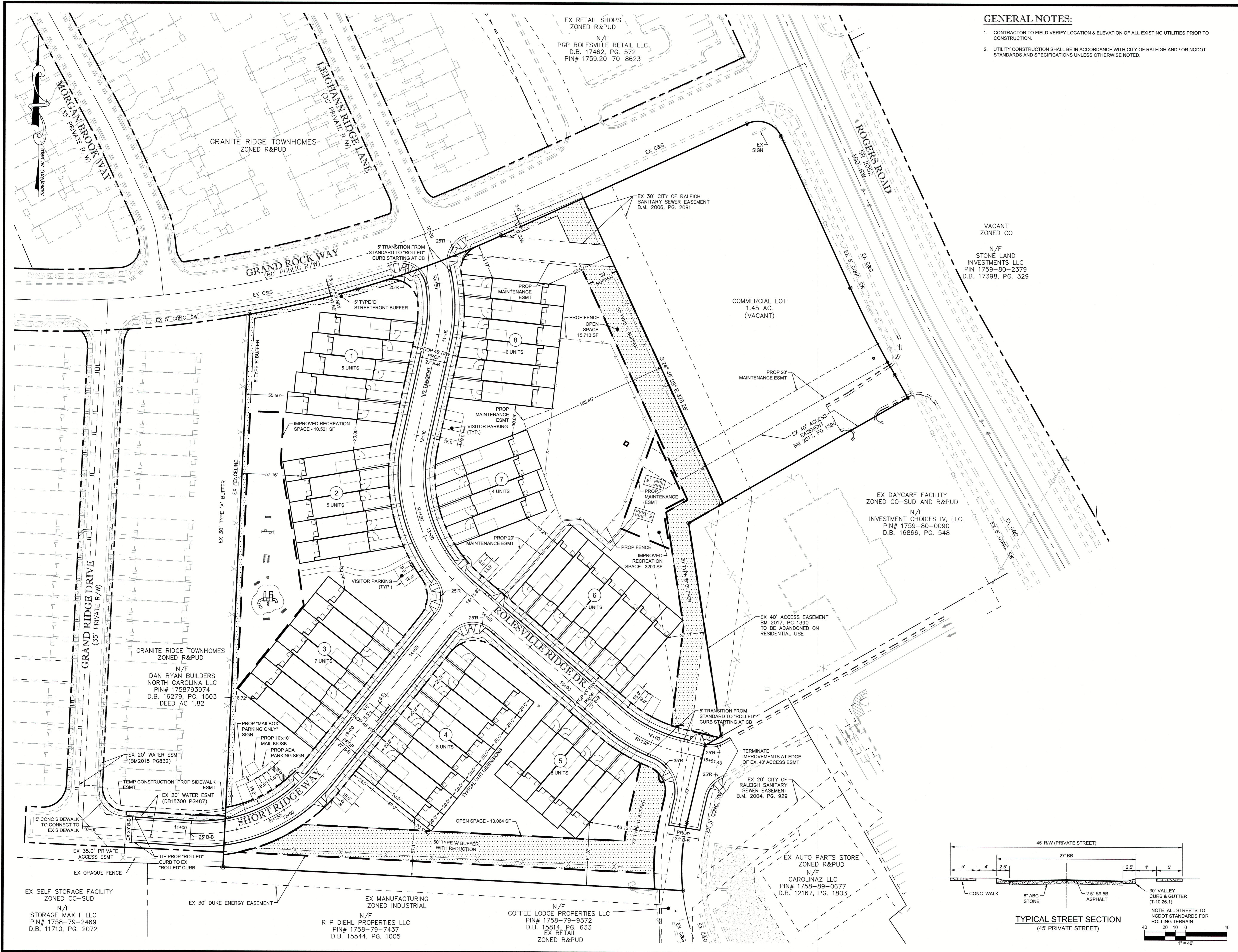
Number	Description	Date
1	PER TRC COMMENTS	09/29/20
2	PER TRC COMMENTS	01/21/21

**ZONING SUMMARY:**  
 TOTAL TRACT AREA 7.4419 AC.  
 EX. R&PUD ZONING 4.3772 AC.  
 EX. CO-SUD ZONING 3.0647 AC.



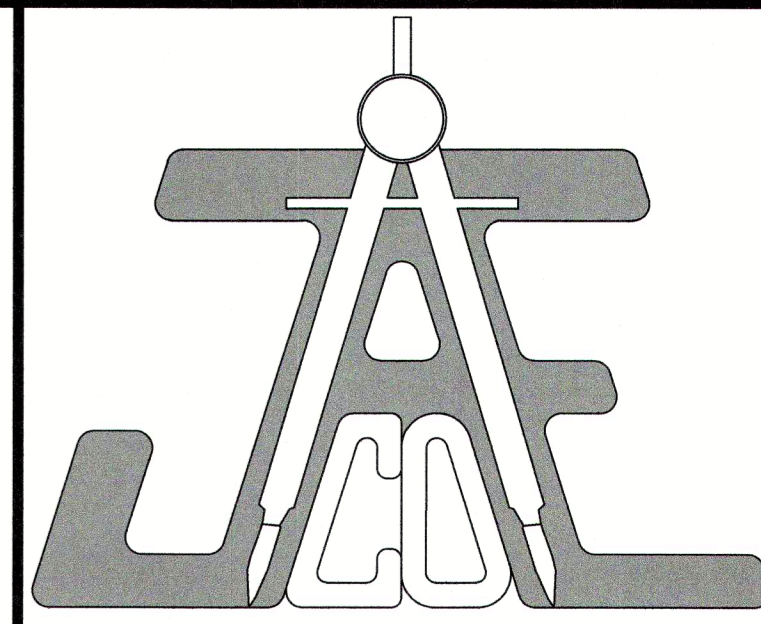
**C-1.0**

JAECO #: 362-09  
 DRAWING SCALE: 1" = 40'  
 DRAWN BY: TT  
 CHECKED BY: JAE, JR.  
 DATE ISSUED: 08/22/2020



**GENERAL NOTES:**

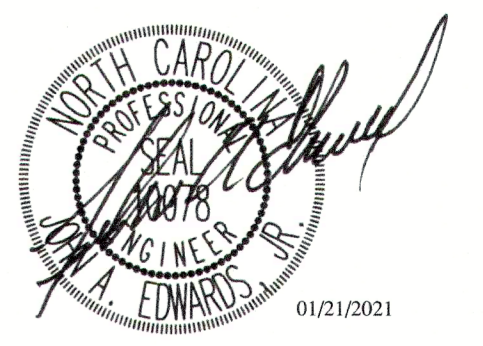
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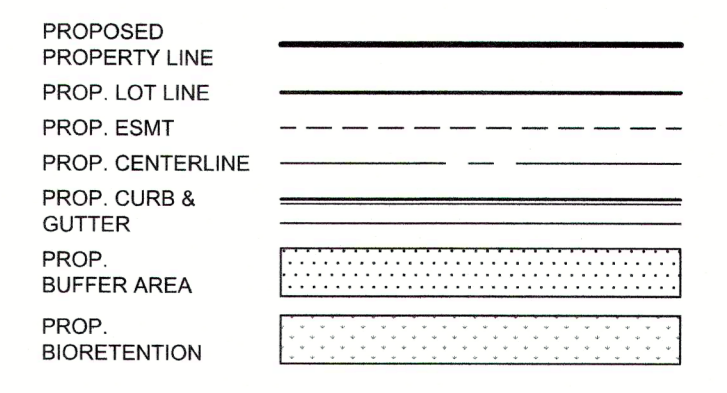


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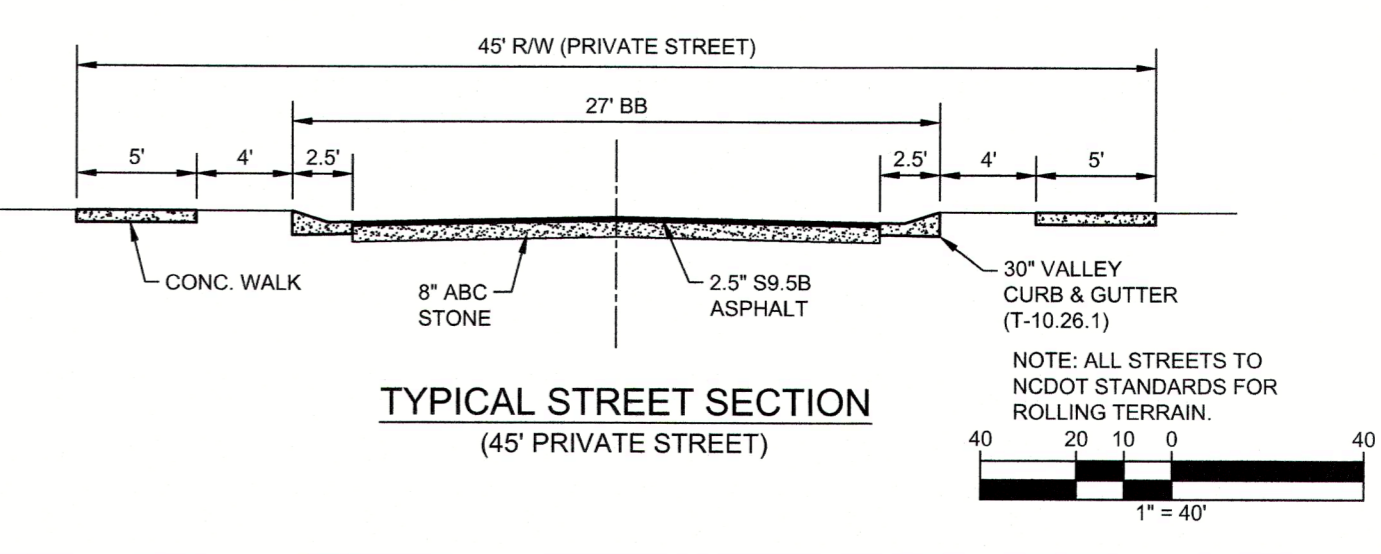
**LEGEND**



**SITE PLAN**

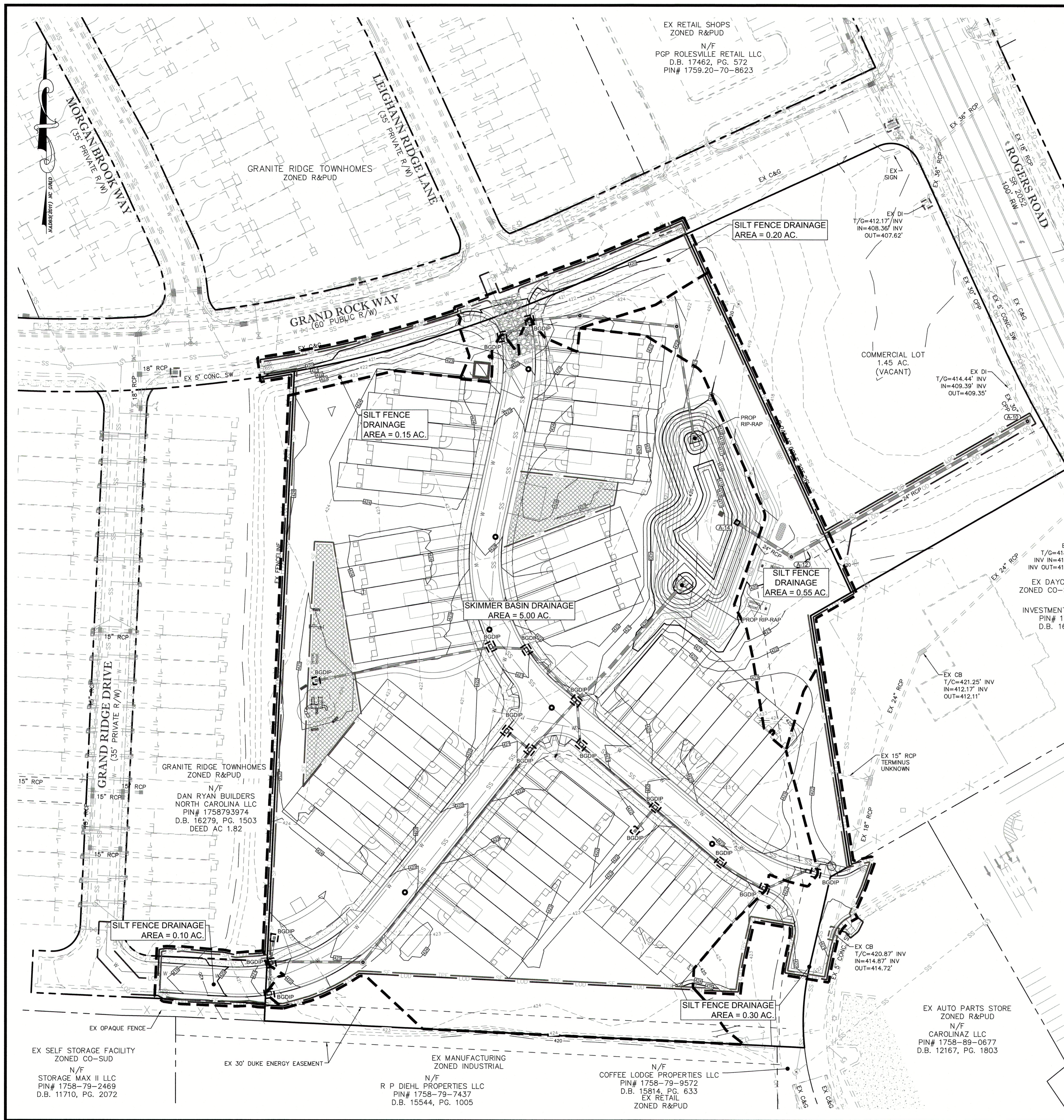
Number	Description	Date
1	PER TRC COMMENTS	09/29/20
2	PER TRC COMMENTS	01/21/21

JAECO #: 362-09  
DRAWING SCALE: AS SHOWN  
DRAWN BY: TT  
CHECKED BY: JAE, JR.  
DATE ISSUED: 06/22/2020



**C-2.0**





**STOCKPILE NOTES**

- DESIGN CRITERIA:
- A. A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL BE SHOWN AROUND ALL PROPOSED STOCKPILES (EROSION CONTROL MEASURES SURROUNDING THE STOCKPILE SHALL BE SHOWN AT THE OUTER LIMIT OF THIS EASEMENT).
  - B. STOCKPILE FOOTPRINTS SHALL BE SETBACK A MINIMUM OF 25' FROM ADJACENT PROPERTY LINES.
  - C. A NOTE SHALL BE PROVIDED ON THE APPROVED PLAN THAT STOCKPILE HEIGHT SHALL NOT EXCEED 35 FEET.
  - D. STOCKPILE SLOPES SHALL BE 2:1 OR FLATTER.
  - E. APPROVED BMPs SHALL BE SHOWN ON A PLAN TO CONTROL ANY POTENTIAL SEDIMENT LOSS FROM A STOCKPILE.
  - F. STOCKPILING MATERIALS ADJACENT TO A DITCH, DRAINAGEWAY, WATERCOURSE, WETLAND, STREAM BUFFER, OR OTHER BODY OF WATER SHALL BE AVOIDED UNLESS AN ALTERNATIVE LOCATION IS DEMONSTRATED TO BE UNAVAILABLE.
  - G. ANY CONCENTRATED FLOW LIKELY TO AFFECT THE STOCKPILE SHALL BE DIVERTED TO AN APPROVED BMP.
  - H. OFF-SITE SPOIL OR BORROW AREAS MUST BE IN COMPLIANCE WITH WAKE COUNTY LDO AND STATE REGULATIONS. ALL SPOIL AREAS OVER AN ACRE ARE REQUIRED TO HAVE AN APPROVED SEDIMENT CONTROL PLAN. DEVELOPER/CONTRACTOR SHALL NOTIFY WAKE COUNTY OF ANY OFFSITE DISPOSAL OF SOIL, PRIOR TO DISPOSAL. FILL OF FEMA FLOODWAYS AND NON-ENCROACHMENT AREAS ARE PROHIBITED EXCEPT AS OTHERWISE PROVIDED BY SUBSECTION 14-19.2 OF THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE (CERTIFICATIONS AND PERMITS REQUIRED).
- MAINTENANCE REQUIREMENTS:
- I. SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEPT IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
  - J. IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
  - K. THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
  - L. ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).

**STABILIZATION NOTE**

ANY PORTION OF A SITE UPON WHICH FURTHER LAND-DISTURBING ACTIVITY IS NOT BEING UNDERTAKEN SHALL BE PROVIDED WITH PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION WILL BE APPLIED WITHIN 14 CALENDAR DAYS FROM LAST LAND DISTURBING ACTIVITY. FOR STEEP SLOPES, THAT AREA MUST BE STABILIZED WITHIN 7 CALENDAR DAYS OF TEMPORARILY OR PERMANENTLY SUSPENDING THE LAND DISTURBING ACTIVITY.

VACANT ZONED CO

N/F  
STONE LAND INVESTMENTS LLC  
PIN# 1759-80-2379  
D.B. 17398, PG. 329

N/F  
INVESTMENT CHOICES IV, LLC.  
PIN# 1759-80-0090  
D.B. 16866, PG. 548

EX DAYCARE FACILITY  
ZONED CO-SUD AND R&PUD

EX AUTO PARTS STORE  
ZONED R&PUD  
N/F  
CAROLINAZ LLC  
PIN# 1758-89-0677  
D.B. 12167, PG. 1803

EX SELF STORAGE FACILITY  
ZONED CO-SUD  
N/F  
STORAGE MAX II, LLC  
PIN# 1758-79-2469  
D.B. 11710, PG. 2072

EX MANUFACTURING  
ZONED INDUSTRIAL  
N/F  
R P DIEHL PROPERTIES LLC  
PIN# 1758-79-7437  
D.B. 15544, PG. 1005

EX COFFEE LODGE PROPERTIES LLC  
PIN# 1758-79-9572  
D.B. 15814, PG. 633  
EX RETAIL  
ZONED R&PUD

EX OPAQUE FENCE

EX 30' DUKE ENERGY EASEMENT

EX 15" RCP TERMINUS UNKNOWN

EX 24" RCP

EX 24" RCP

EX 24" RCP

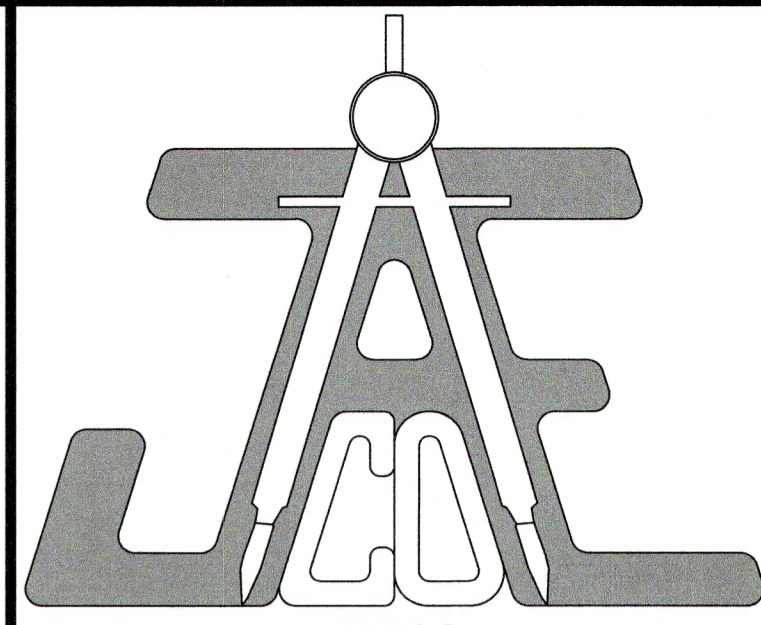
EX 24" RCP

**RIPRAP SCHEDULE**

	ENTRY WIDTH [FT]	WIDTH [FT]	LENGTH [FT]	d <sub>50</sub> [IN]	d <sub>max</sub> [IN]	THICKNESS [IN]
A-16	6	16	12	6	9	18
A-28	4	10	7.5	6	9	18

**PHASE II CONSTRUCTION SEQUENCE:**

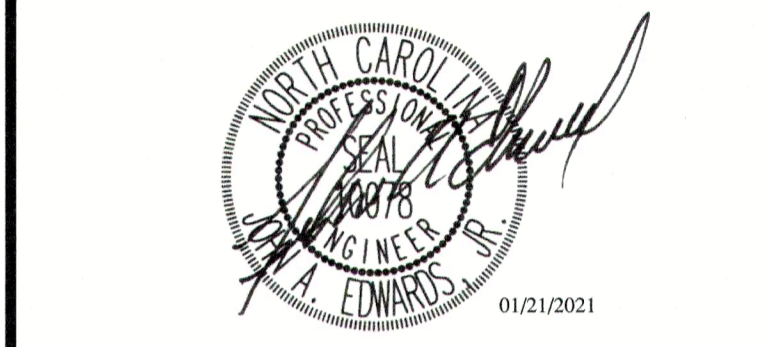
1. CONTINUE ROUGH GRADING, MAINTAIN AND ADJUST GRADES TO ENSURE POSITIVE DRAINAGE TO SKIMMER BASIN.
2. CONSTRUCT RETAINING WALLS ON SITE AS NEEDED TO BRING SITE TO GRADE.
3. INSTALL REMAINING STORMDRAIN, WORKING FROM DOWNSTREAM TO UPSTREAM INSTALLING INLET PROTECTION IMMEDIATELY AFTER EACH INLET IS INSTALLED AS SHOWN ON THE PLAN. DIVERT RUN-OFF TO INLETS AS ROUGH GRADES ARE COMPLETED.
4. INSTALL WATER AND SEWER LINES FROM DOWNSTREAM TO UPSTREAM AS NECESSARY DURING ROUGH GRADING TO AVOID CONFLICTS WITH STORM DRAIN SYSTEM.
5. INSTALL RIP-RAP AT A-16 AND A-28.
6. HULL AWAY ANY EXTRA TOPSOIL AND MATERIAL AS NEEDED TO BALANCE SITE. IF ANY TOPSOIL IS TO REMAIN STOCKPILED PROTECT WITH SILT FENCING AROUND PERIMETER AND REFER TO STOCKPILE NOTES.
7. SUBMIT DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY TO STORMWATER CONTROL. INSPECTIONS THROUGHOUT THE PROJECT.
8. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUEDED AREAS PER GROUND STABILIZATION TIME FRAMES.
9. MAINTAIN SEDIMENT AND EROSION CONTROL DEVICES AFTER EVERY RAIN EVENT GREATER THAN ONE (1) INCH AND ONCE PER WEEK. REMOVE ANY SILT BUILDUP ON ANY SILT FENCING AS NEEDED TO PREVENT BREACH. SEED ANY AREAS OF THE SITE WITHIN 14 DAYS OF COMPLETION OF ANY PHASE OF GRADING IN THAT AREA.
10. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ENVIRONMENTAL CONSULTANT FOR AN INSPECTION.
11. SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE IF THE SKIMMER BASIN CAN BE CONVERTED TO A PERMANENT BIORETENTION POND. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO REMOVAL OF THE BASIN.
12. UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SEDIMENT BASIN SURFACE FOR DRAW DOWN OF WATER IN BASIN FOR MAINTENANCE OR CLOSE OUT UNLESS INFEASIBLE. SEE REQUIREMENTS OF NC001 PERMIT PART II, SECTION G, ITEM (4) ENTITLED "DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT" AND REFER TO WAKE COUNTY "FILTER BAG FOR DEWATERING ACTIVITIES" CONSTRUCTION DETAIL.
13. REMOVE SKIMMER BASIN AND SKIMMER FINE GRADE AREA IN PREPARATION FOR BIORETENTION CONSTRUCTION AND SEEDING.
14. PERFORM SEEDBED PREPARATION, SEED, MULCH AND ASPHALT TACK ANY RESULTING BARE AREAS IMMEDIATELY.
15. INSTALL VELOCITY DISSIPATORS AS SHOWN.
16. WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL CONSULTANT FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVISE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION. NOTE: A MEETING SHOULD ALSO BE SCHEDULED WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE WHEN A BASIN MAY BE CONVERTED FOR STORMWATER USE. SOME MUNICIPALITIES MAY ALSO REQUIRE THIS.
17. IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
18. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.



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**LEGEND**

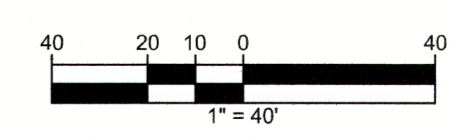
Table with 3 columns: Number, Description, Date. Contains two entries for 'PER TRC COMMENTS' dated 09/29/20 and 01/21/21.

**EROSION AND SEDIMENT CONTROL PLAN - PHASE II**

Table with 3 columns: Number, Description, Date. Contains two entries for 'PER TRC COMMENTS' dated 09/29/20 and 01/21/21.

JAECO # 362-09  
DRAWING SCALE: 1" = 40'  
DRAWN BY: TT  
CHECKED BY: JAE, JR.  
DATE ISSUED: 06/22/2020

**C-3.2**

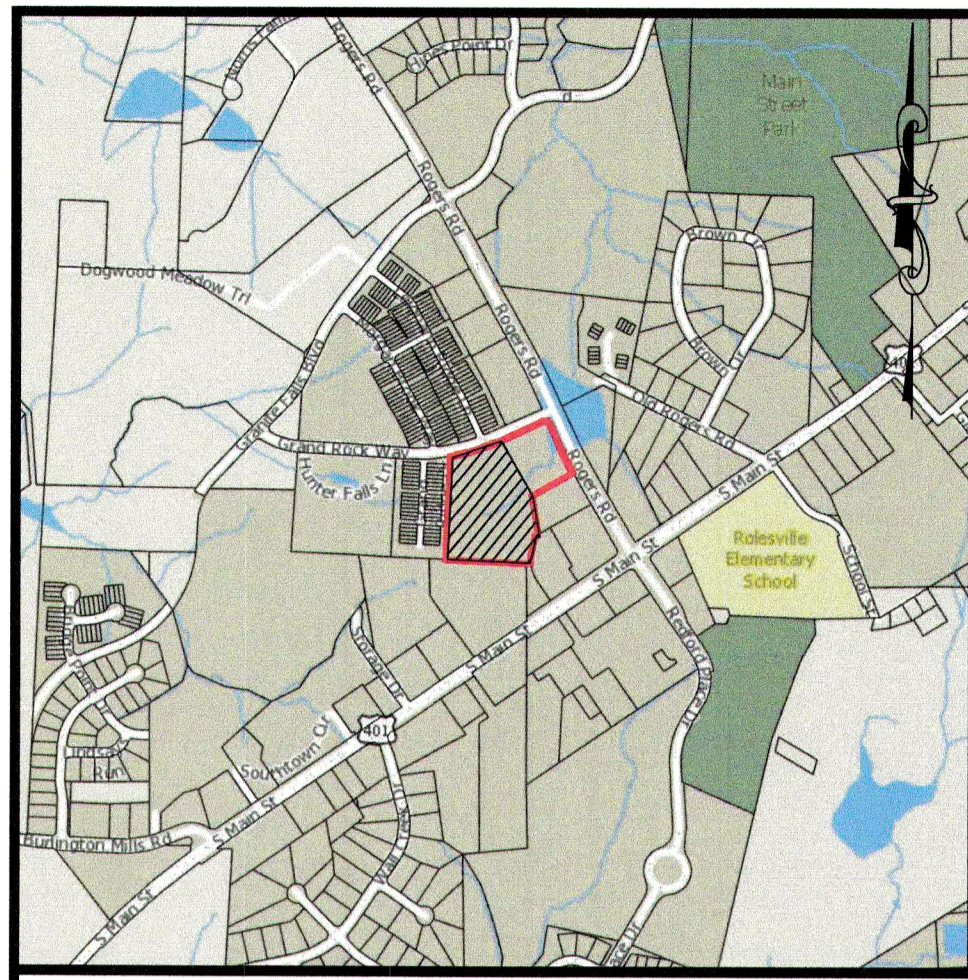


# A-MASTER TEAM TOWNHOMES

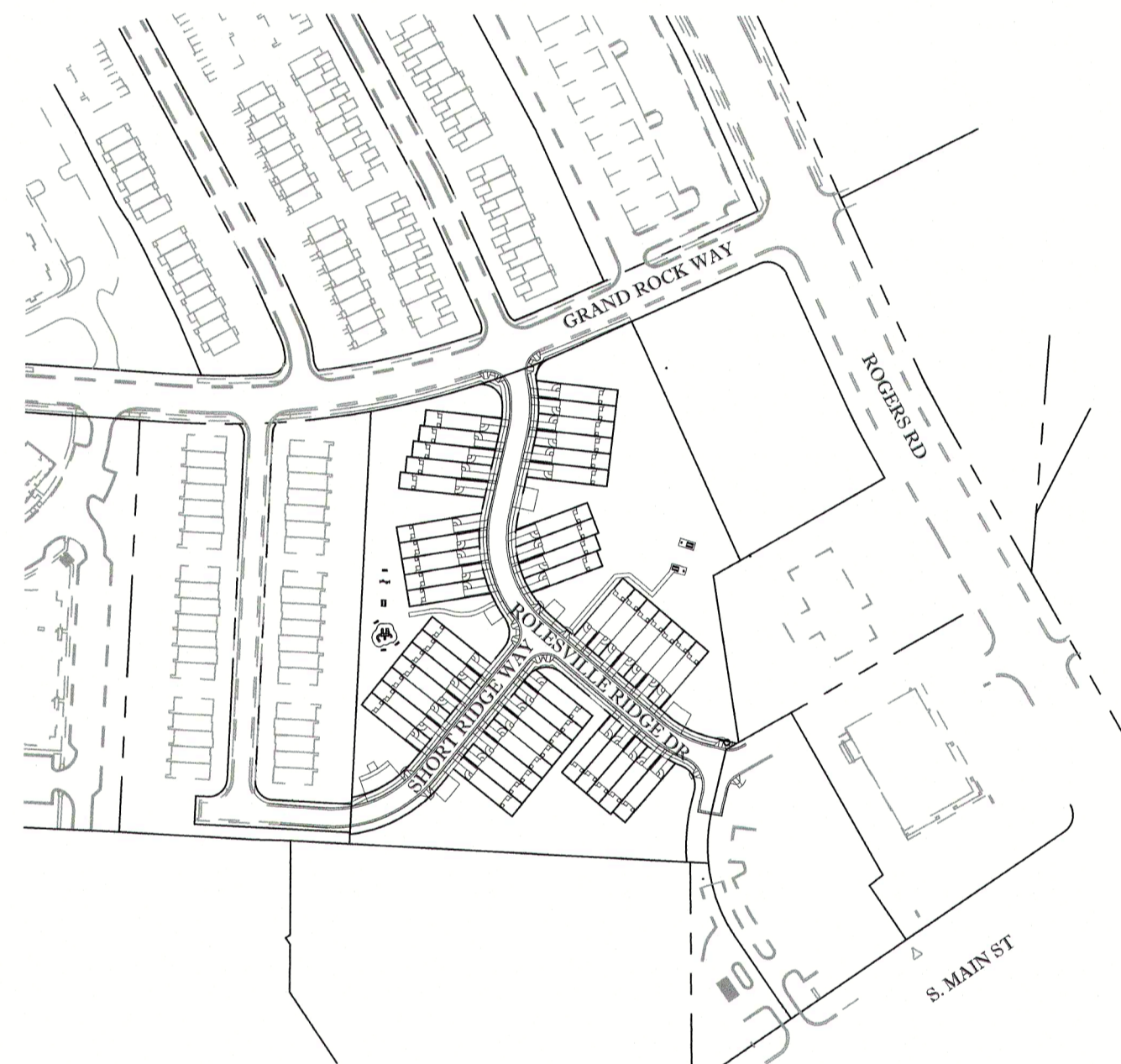
## CONSTRUCTION DOCUMENTS

151 GRAND ROCK WAY  
ROLESVILLE, NORTH CAROLINA 27571

JUNE 22, 2020  
SEPTEMBER 29, 2020  
JANUARY 21, 2021

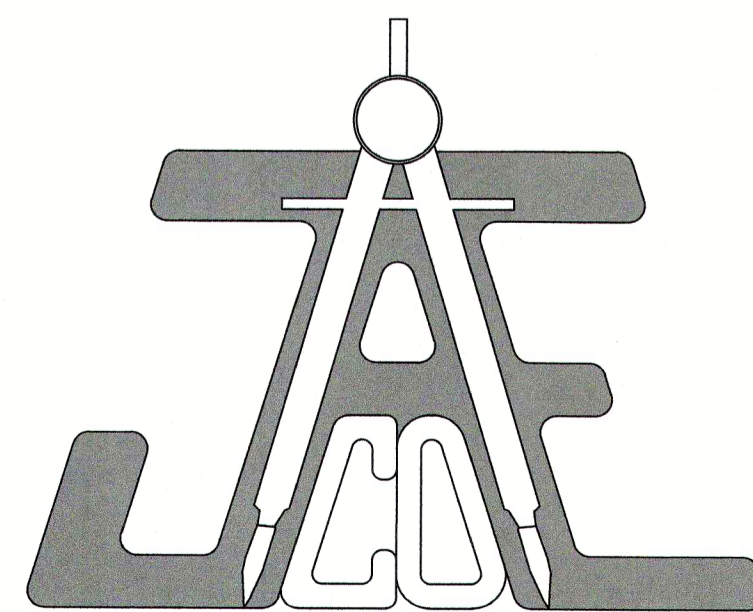


VICINITY MAP  
NOT TO SCALE



**OWNER:**  
**A-MASTER TEAM, LLC**  
6200 FALLS OF NEUSE ROAD; SUITE 10  
RALEIGH, NC 27609  
W. HAROLD PERRY - MANAGER  
E-mail: HALPERRY@REMC.US

**CIVIL ENGINEER:**  
**JAECO**  
Consulting Engineers  
NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
E-mail: info@jaeco.com



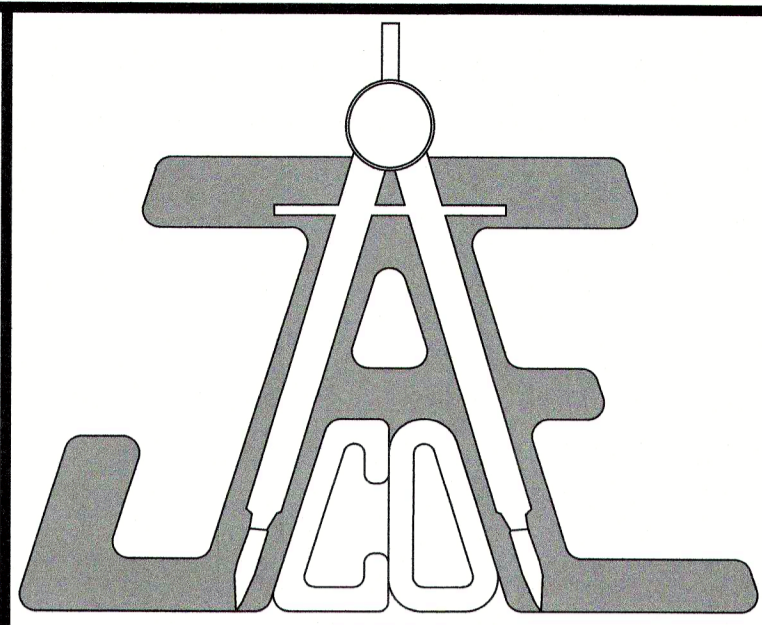
ABBREVIATIONS	
APPLICABLE TO ENTIRE PLAN SET	
AC	ACRE
APPROX	APPROXIMATE
B-B	BACK-TO-BACK
BM	BOOK OF MAPS
CB	CATCH BASIN
CIP	CAST IRON PIPE
CL	CENTERLINE
CO	CLEANOUT
CONC	CONCRETE
COR	CITY OF RALEIGH
CP	COMPUTED POINT
DB	DEED BOOK
DIP	DUCTILE IRON PIPE
DTL	DETAIL
ECM	EX CONC MONUMENT
EIP	EX IRON PIPE
EIR	EX IRON ROD
ELEC	ELECTRIC
ELEV	ELEVATION
EMAG	EX MAG NAIL
EOP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FH	FIRE HYDRANT
FM	FORCE MAIN
FP	FLOODPLAIN
GIS	GEOGRAPHIC INFORMATION SYSTEM
GM	GAS METER
GP	GALVANIZED PIPE
GW	GUY ANCHOR
HB	HOT BOX
HDPE	HIGH DENSITY POLYETHYLENE
IPS	IRON PIPE SET
LF	LINEAR FEET
LP	LIGHT POLE
LOC	LOCATION
MAGS	MAG NAIL SET
MH	MANHOLE
MW	MONITORING WELL
NF	NOW OR FORMERLY
NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
PG	PAGE
PP	POWER POLE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONC PIPE
ROW	RIGHT-OF-WAY
R/W	RIGHT-OF-WAY
RSDM	RALEIGH STREET DESIGN MANUAL
SF	SQUARE FEET
SS	SANITARY SEWER
STD	STANDARD
SWM	STORMWATER MANAGEMENT
TBD	TO BE DETERMINED
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TF	ELECTRIC TRANSFORMER
TP	TELEPHONE PEDESTAL
TYP	TYPICAL
UDO	UNIFIED DEVELOPMENT ORDINANCE
UNK	UNKNOWN
VCP	VITRIFIED CLAY PIPE
WV	WATER VALVE
WLE	WATER LINE ESMT
WM	WATER METER

SPOT KEY	
BC	BOTTOM OF CURB
BR	BOTTOM OF RISER
BW	BOTTOM OF WALL
FFE	FINISHED FLOOR ELEVATION
G	GRADE
HP	HIGH POINT
LP	LOW POINT
TC	TOP OF CURB
TR	TOP OF RISER
TW	TOP OF WALL

SITE DATA TABLE		
ADDRESS	151 GRAND ROCK WAY ROLESVILLE, NC 27571	
WAKE COUNTY PIN	1759.20-70-7093	
PROPOSED ZONING	CO-SUD	
TOTAL TRACT AREA	324,170 SF (7.4419 AC)	
PROPOSED RESIDENTIAL AREA*	261,043 SF (5.9927 AC)	
MAX. ALLOWED UNITS*	59	
PROPOSED UNITS	47	
PARKING CALCULATIONS		
	SPACES	
TOWNHOMES	2 SPACES / 2 BR UNIT * 47 UNITS = 94	
VISITOR	1 SPACE / 4 UNITS * 47 UNITS = 12	
MAIL KIOSK	4 SPACES (INCLUDING 1 ADA VAN) = 4	
<b>TOTAL</b>	<b>110</b>	
<b>PROPOSED</b>	<b>111</b>	
BASE DIMENSIONAL STANDARDS		
FRONT YARD SETBACK	20'	
SIDE YARD SETBACK	15'	
CORNER YARD SETBACK	25'	
REAR YARD SETBACK	35'	
RECREATION & OPEN SPACE		
	REQUIRED	PROVIDED
OPEN SPACE	15% * 261,043 SF = 39,157 SF	42,566 SF
	UNIMPROVED	28,845 SF
RECREATION SPACE	35% * 39,157 = 13,705 SF	13,721 SF
UTILITIES		
WATER	STUBS	49
	PUBLIC LENGTH (SIZE)	1,150 LF (6")
	PRIVATE LENGTH (SIZE)	0 LF
SEWER	STUBS	48
	PUBLIC LENGTH (SIZE)	0 LF
	PRIVATE LENGTH (SIZE)	770 LF (8")

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER
C-1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C-2.0	SITE PLAN
C-3.1	EROSION AND SEDIMENT CONTROL PLAN - PHASE I
C-3.2	EROSION AND SEDIMENT CONTROL PLAN - PHASE II
C-4.1	UTILITY PLAN
C-4.2	ROLESVILLE RIDGE RD PLAN & PROFILE
C-5.0	SHORT RIDGE WAY PLAN & PROFILE
C-6.0	GRADING PLAN
C-7.0	STORMDRAIN & STORMWATER MANAGEMENT PLAN
C-8.1	OUTFALL PROFILES
C-8.2	LANDSCAPE PLAN
C-9.1	POND PLANTING, DETAILS, & PLANT LIST
C-9.2	SITE DETAILS
C-9.3	NCG01 NOTES AND DETAILS
C-9.4	NCG01 NOTES AND DETAILS
C-9.5	EROSION CONTROL DETAILS
C-9.6	STORMDRAIN DETAILS
C-9.7	SANITARY DETAILS
C-9.7	WATER DETAILS

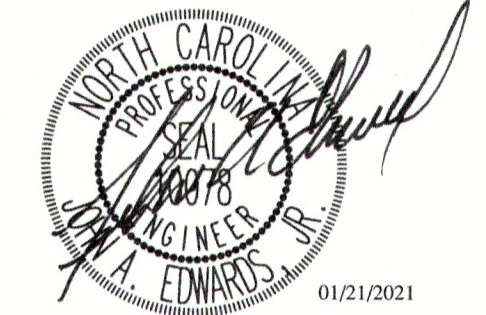
EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT	
<b>APPROVED</b>	
EROSION CONTROL	<input checked="" type="checkbox"/> S- EC-040294-2020
STORMWATER MGMT.	<input checked="" type="checkbox"/> S-
FLOOD STUDY	<input type="checkbox"/> S-
DATE	03/01/2021
ENVIRONMENTAL CONSULTANT SIGNATURE	



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**Call before you dig.**

### LEGEND



**PLANS NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BY CITY OF RALEIGH**

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.  
City of Raleigh Public Utilities Department Permit # W-3745

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.  
City of Raleigh Public Utilities Department Permit # S-4760(P)

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited or issued. Any modification to this approval once issued will invalidate this approval.

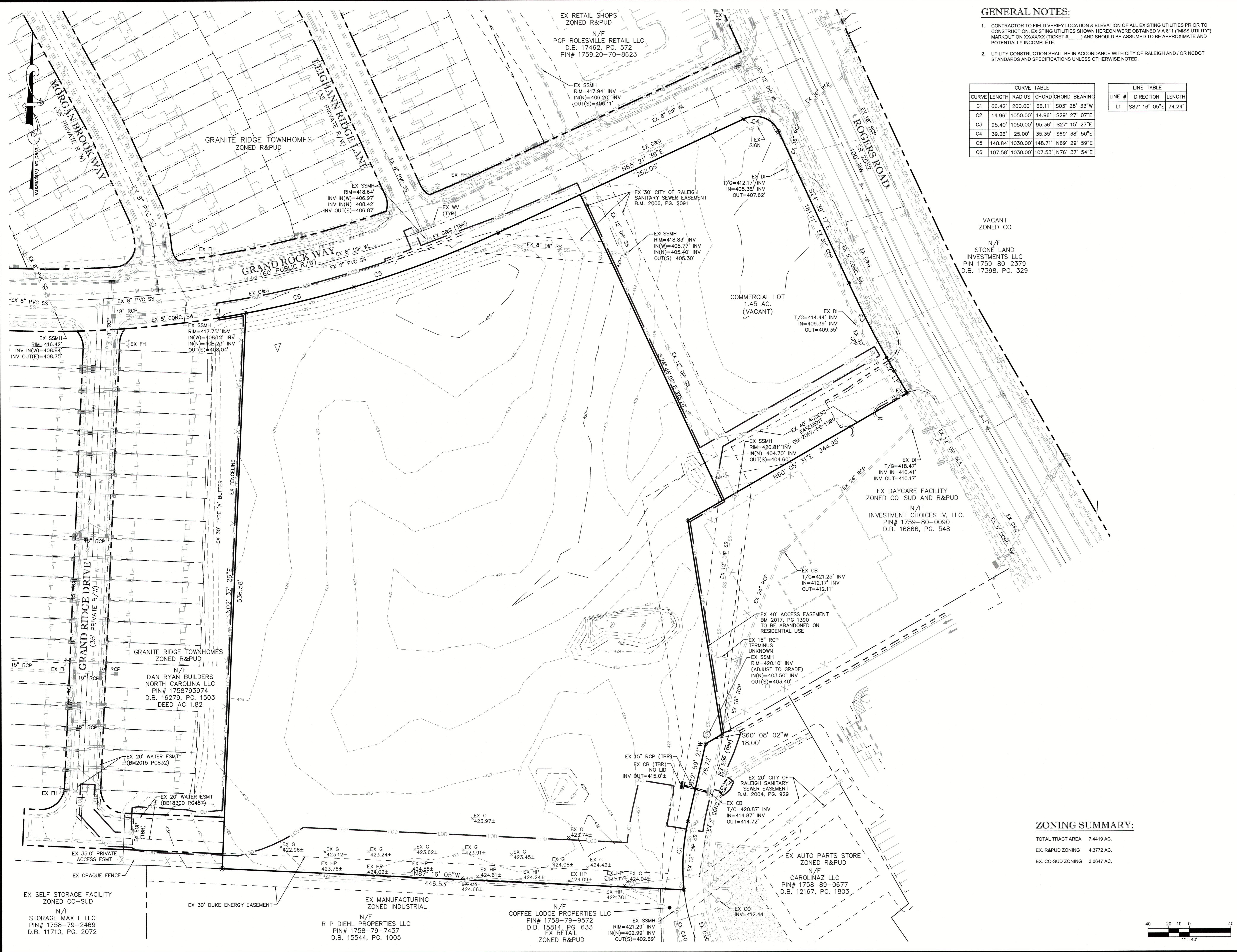
City of Raleigh Development Approval \_\_\_\_\_  
Raleigh Water Review Officer

### COVER

Revisions		
Number	Description	Date
1	PER TRC COMMENTS	09/29/20
2	PER TRC COMMENTS	01/21/21

JAECO #: 362-09  
DRAWING SCALE: N/A  
DRAWN BY: TT  
CHECKED BY: JAE, JR.  
DATE ISSUED: 06/22/2020

**C-0.0**

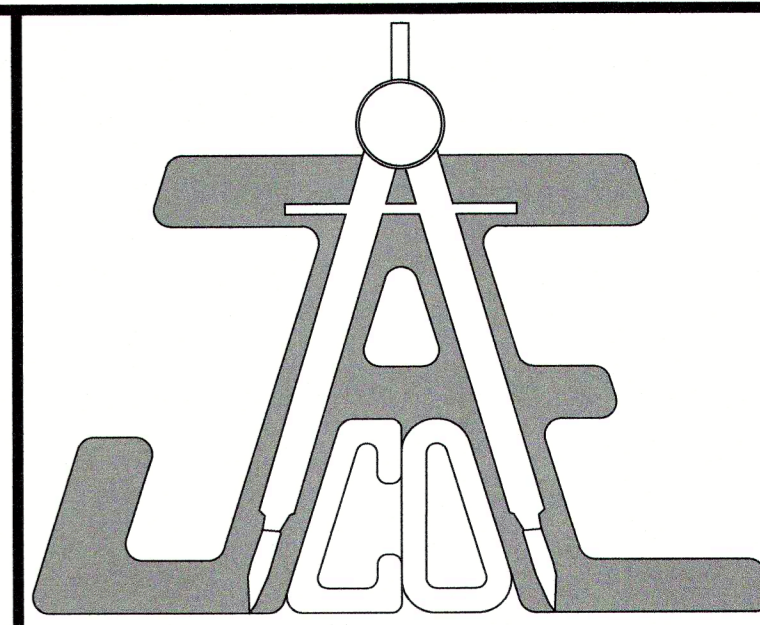


**GENERAL NOTES:**

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED VIA 811 ("MISS UTILITY") MARKOUT ON XXXXXX (TICKET # \_\_\_\_\_) AND SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.

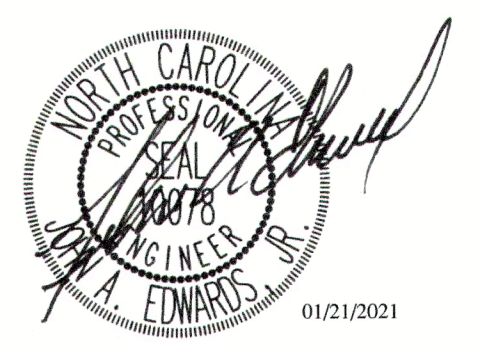
CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	66.42'	200.00'	66.11'	S03° 28' 33"W
C2	14.96'	1050.00'	14.96'	S29° 27' 07"E
C3	95.40'	1050.00'	95.36'	S27° 15' 27"E
C4	39.26'	25.00'	35.35'	S69° 38' 50"E
C5	148.84'	1030.00'	148.71'	N69° 29' 59"E
C6	107.58'	1030.00'	107.53'	N76° 37' 54"E

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S87° 16' 05"E	74.24'



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**Call 811 before you dig.**

**LEGEND**

- EX PROPERTY LINE
- EX ADJACENT PROPERTY LINE
- EX CENTERLINE
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX FENCE
- EX WATER LINE
- EX SEWER LINE

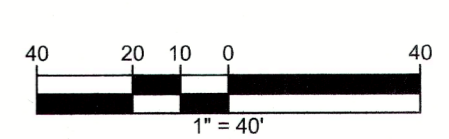
**EXISTING CONDITIONS & DEMOLITION PLAN**

Number	Description	Date
1	PER TRC COMMENTS	09/29/20
2	PER TRC COMMENTS	01/21/21

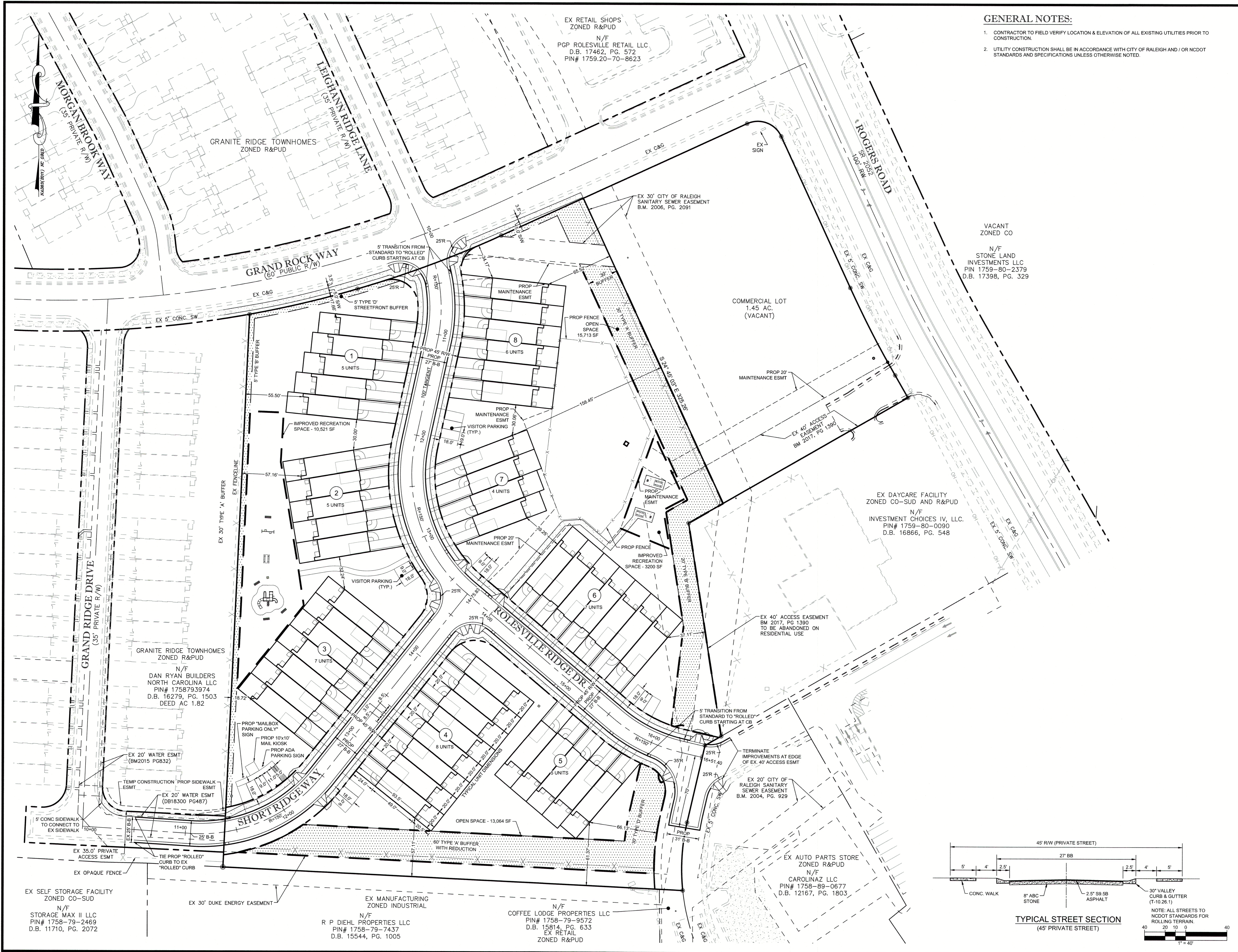
JAECO #: 362-09  
DRAWING SCALE: 1" = 40'  
DRAWN BY: TT  
CHECKED BY: JAE, JR.  
DATE ISSUED: 08/22/2020

**ZONING SUMMARY:**

TOTAL TRACT AREA 7.4419 AC.  
EX. R&PUD ZONING 4.3772 AC.  
EX. CO-SUD ZONING 3.0647 AC.

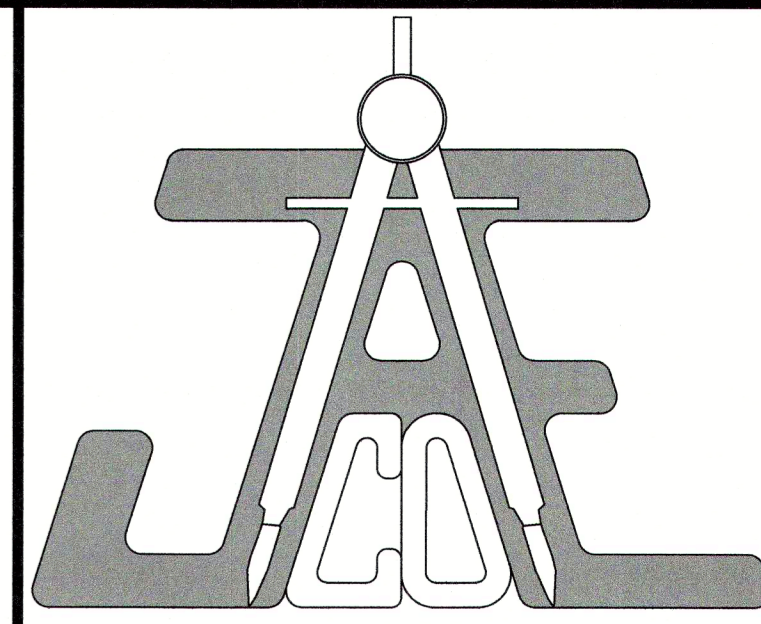


**C-1.0**



**GENERAL NOTES:**

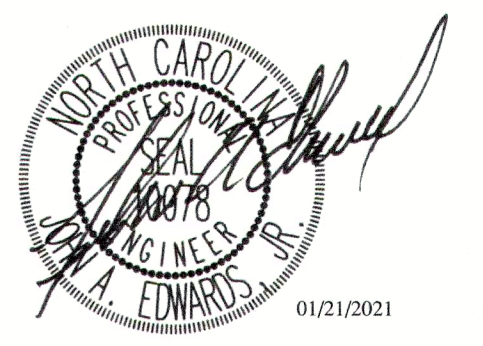
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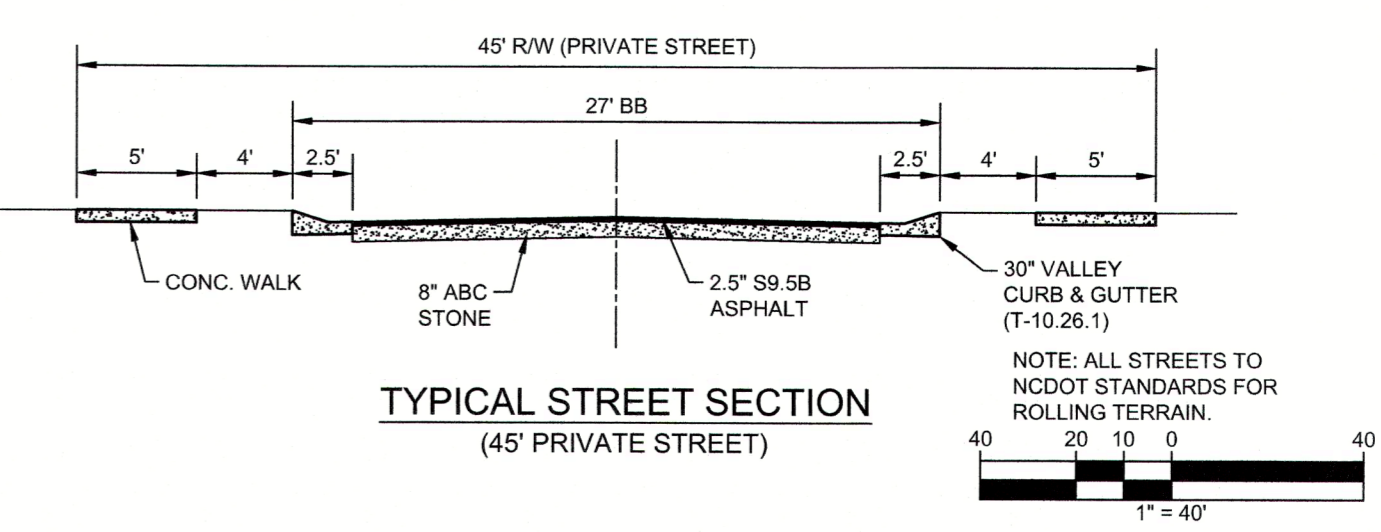
**LEGEND**

PROPOSED PROPERTY LINE	—————
PROP LOT LINE	—————
PROP ESMT	—————
PROP CENTERLINE	—————
PROP CURB & GUTTER	—————
PROP BUFFER AREA	—————
PROP BIORETENTION	—————

**SITE PLAN**

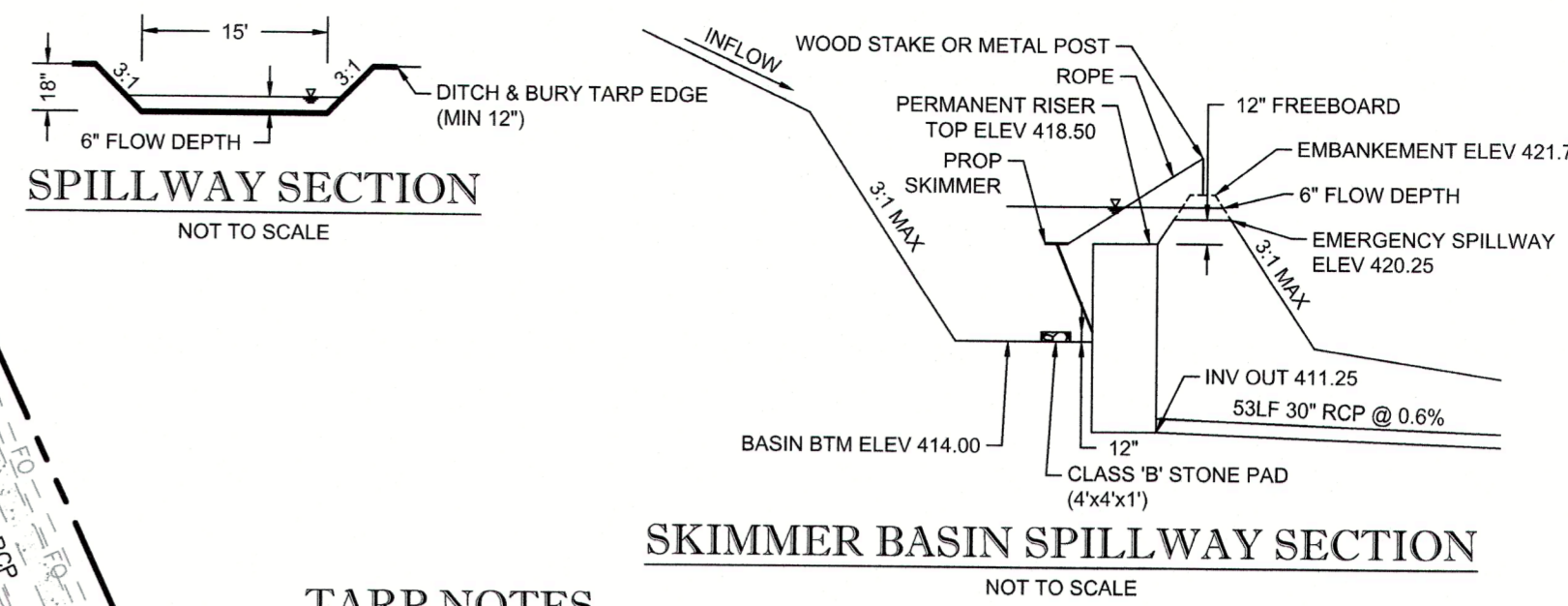
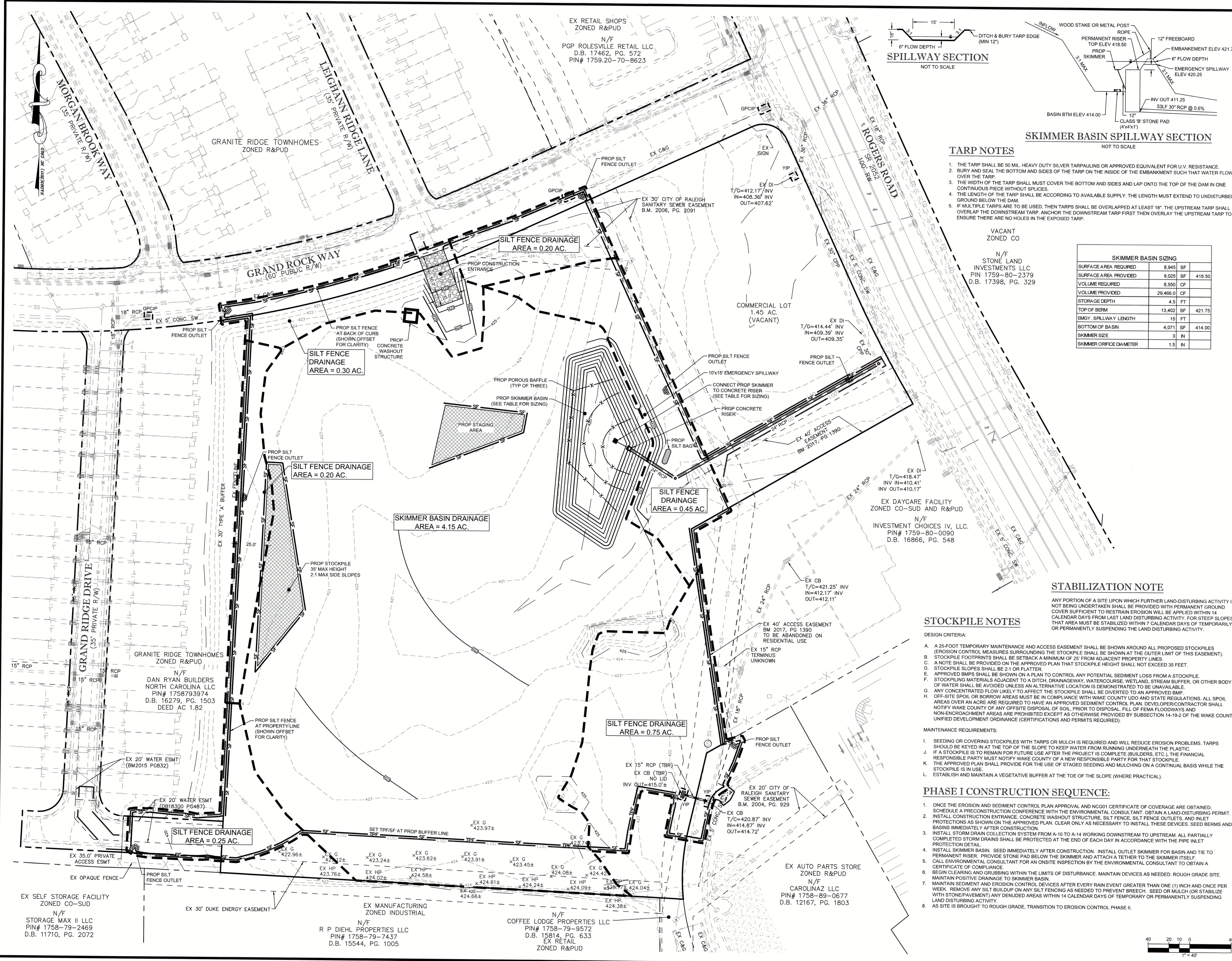
Number	Description	Date
1	PER TRC COMMENTS	09/29/20
2	PER TRC COMMENTS	01/21/21

JAECO #: 362-09  
DRAWING SCALE: AS SHOWN  
DRAWN BY: TT  
CHECKED BY: JAE, JR.  
DATE ISSUED: 06/22/2020



**C-2.0**





**TARP NOTES**

1. THE TARP SHALL BE 50 MIL HEAVY DUTY SILVER TARPULINS OR APPROVED EQUIVALENT FOR U.V. RESISTANCE.
2. BURY AND SEAL THE BOTTOM AND SIDES OF THE TARP ON THE INSIDE OF THE EMBANKMENT SUCH THAT WATER FLOWS OVER THE TARP.
3. THE WIDTH OF THE TARP SHALL COVER THE BOTTOM AND SIDES AND LAP ONTO THE TOP OF THE DAM IN ONE CONTINUOUS PIECE WITHOUT SPICES.
4. THE LENGTH OF THE TARP SHALL BE ACCORDING TO AVAILABLE SUPPLY. THE LENGTH MUST EXTEND TO UNDISTURBED GROUND BELOW THE DAM.
5. IF MULTIPLE TARPS ARE TO BE USED, THEN TARPS SHALL BE OVERLAPPED AT LEAST 18". THE UPSTREAM TARP SHALL COVER THE DOWNSTREAM TARP. ANCHOR THE DOWNSTREAM TARP FIRST THEN OVERLAY THE UPSTREAM TARP TO ENSURE THERE ARE NO HOLES IN THE EXPOSED TARP.

**SKIMMER BASIN SIZING**

SKIMMER BASIN SIZING	REQUIRED	PROVIDED
SURFACE AREA REQUIRED	8,945 SF	9,025 SF
SURFACE AREA PROVIDED	8,945 SF	9,025 SF
VOLUME REQUIRED	8,550 CF	29,466.0 CF
VOLUME PROVIDED	8,550 CF	29,466.0 CF
STORAGE DEPTH	4.5 FT	4.5 FT
TOP OF BERM	13,402 SF	421.75
EMG. SPILLWAY LENGTH	15 FT	414.00
BOTTOM OF BASIN	4,071 SF	414.00
SKIMMER SIZE	3 IN	
SKIMMER ORIFICE DIAMETER	1.5 IN	

**STABILIZATION NOTE**

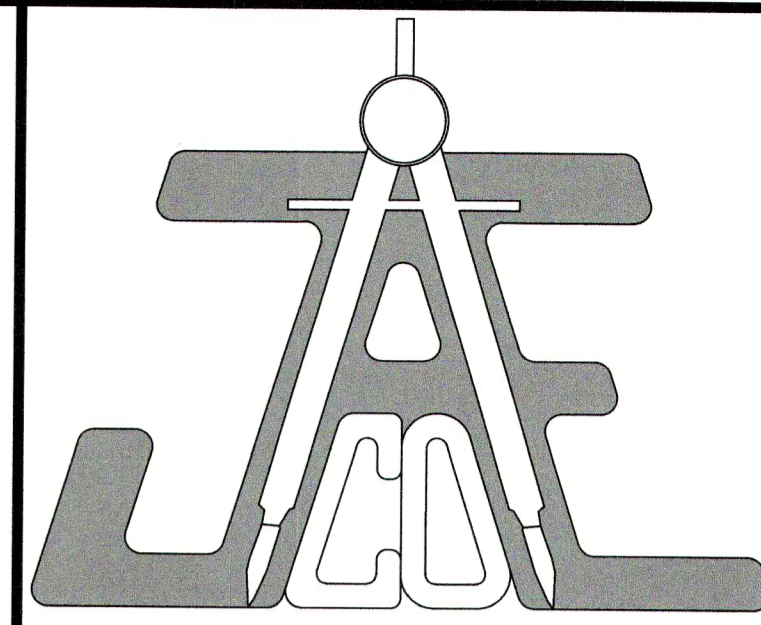
ANY PORTION OF A SITE UPON WHICH FURTHER LAND-DISTURBING ACTIVITY IS NOT BEING UNDERTAKEN SHALL BE PROVIDED WITH PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION WILL BE APPLIED WITHIN 14 CALENDAR DAYS FROM LAST LAND DISTURBING ACTIVITY. FOR STEEP SLOPES, THAT AREA MUST BE STABILIZED WITHIN 7 CALENDAR DAYS OF TEMPORARILY OR PERMANENTLY SUSPENDING THE LAND DISTURBING ACTIVITY.

**STOCKPILE NOTES**

- DESIGN CRITERIA:
- A. A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL BE SHOWN AROUND ALL PROPOSED STOCKPILES (EROSION CONTROL MEASURES SURROUNDING THE STOCKPILE SHALL BE SHOWN AT THE OUTER LIMIT OF THIS EASEMENT).
  - B. STOCKPILE FOOTPRINTS SHALL BE SETBACK A MINIMUM OF 25' FROM ADJACENT PROPERTY LINES.
  - C. A NOTE SHALL BE PROVIDED ON THE APPROVED PLAN THAT STOCKPILE HEIGHT SHALL NOT EXCEED 35 FEET.
  - D. STOCKPILE SLOPES SHALL BE 2:1 OR FLATTER.
  - E. APPROVED BMP'S SHALL BE SHOWN ON A PLAN TO CONTROL ANY POTENTIAL SEDIMENT LOSS FROM A STOCKPILE.
  - F. STOCKPILING MATERIALS ADJACENT TO A DITCH, DRAINAGEWAY, WATERCOURSE, WETLAND, STREAM BUFFER, OR OTHER BODY OF WATER SHALL BE AVOIDED UNLESS AN ALTERNATIVE LOCATION IS DEMONSTRATED TO BE UNAVAILABLE.
  - G. ANY CONCENTRATED FLOW LIKELY TO AFFECT THE STOCKPILE SHALL BE DIVERTED TO AN APPROVED BMP.
  - H. OFF-SITE SOIL OR BORROW AREAS MUST BE IN COMPLIANCE WITH WAKE COUNTY UDO AND STATE REGULATIONS. ALL SPOIL AREAS OVER AN ACRE ARE REQUIRED TO HAVE AN APPROVED SEDIMENT CONTROL PLAN. DEVELOPER/CONTRACTOR SHALL NOTIFY WAKE COUNTY OF ANY OFFSITE DISPOSAL OF SOIL, PRIOR TO DISPOSAL. FILL OF FEMA FLOODWAYS AND UNIFIED DEVELOPMENT AREAS ARE PROHIBITED EXCEPT AS OTHERWISE PROVIDED BY SUBSECTION 14-19-2 OF THE WAKE COUNTY NOTIFIED DEVELOPMENT ORDINANCE (CERTIFICATIONS AND PERMITS REQUIRED).
- MAINTENANCE REQUIREMENTS:
- I. SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEVED IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
  - J. IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
  - K. THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
  - L. ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).

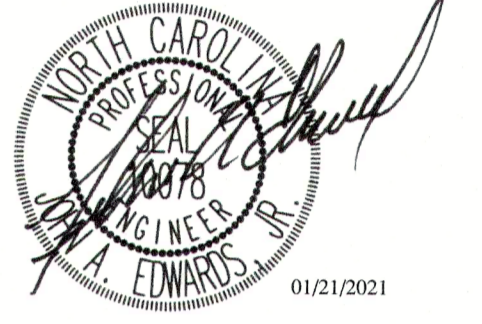
**PHASE I CONSTRUCTION SEQUENCE:**

1. ONCE THE EROSION AND SEDIMENT CONTROL PLAN APPROVAL AND NCG01 CERTIFICATE OF COVERAGE ARE OBTAINED, SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT, OBTAIN A LAND-DISTURBING PERMIT.
2. INSTALL CONSTRUCTION ENTRANCE, CONCRETE WASHOUT STRUCTURE, SILT FENCE, SILT FENCE OUTLETS, AND INLET BASINS IMMEDIATELY AFTER CONSTRUCTION.
3. INSTALL STORM DRAIN COLLECTION SYSTEM FROM A-10 TO A-14 WORKING DOWNSTREAM TO UPSTREAM. ALL PARTIALLY COMPLETED STORM DRAINS SHALL BE PROTECTED AT THE END OF EACH DAY IN ACCORDANCE WITH THE PIPE INLET PROTECTION DETAIL.
4. INSTALL SKIMMER BASIN. SEED IMMEDIATELY AFTER CONSTRUCTION. INSTALL OUTLET SKIMMER FOR BASIN AND TIE TO PERMANENT RISER. PROVIDE STONE PAD BELOW THE SKIMMER AND ATTACH A TETHER TO THE SKIMMER ITSELF.
5. CALL ENVIRONMENTAL CONSULTANT FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
6. BEGIN CLEARING AND GRUBBING WITHIN THE LIMITS OF DISTURBANCE. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE. MAINTAIN POSITIVE DRAINAGE TO SKIMMER BASIN.
7. MAINTAIN SEDIMENT AND EROSION CONTROL DEVICES AFTER EVERY RAIN EVENT GREATER THAN ONE (1) INCH AND ONCE PER WEEK. REMOVE ANY SILT BUILDUP ON ANY SILT FENCING AS NEEDED TO PREVENT BREACH. SEED OR MULCH (OR STABILIZE WITH STONE/PAVEMENT) ANY DENuded AREAS WITHIN 14 CALENDAR DAYS OF TEMPORARILY OR PERMANENTLY SUSPENDING LAND DISTURBING ACTIVITY.
8. AS SITE IS BROUGHT TO ROUGH GRADE, TRANSITION TO EROSION CONTROL PHASE II.



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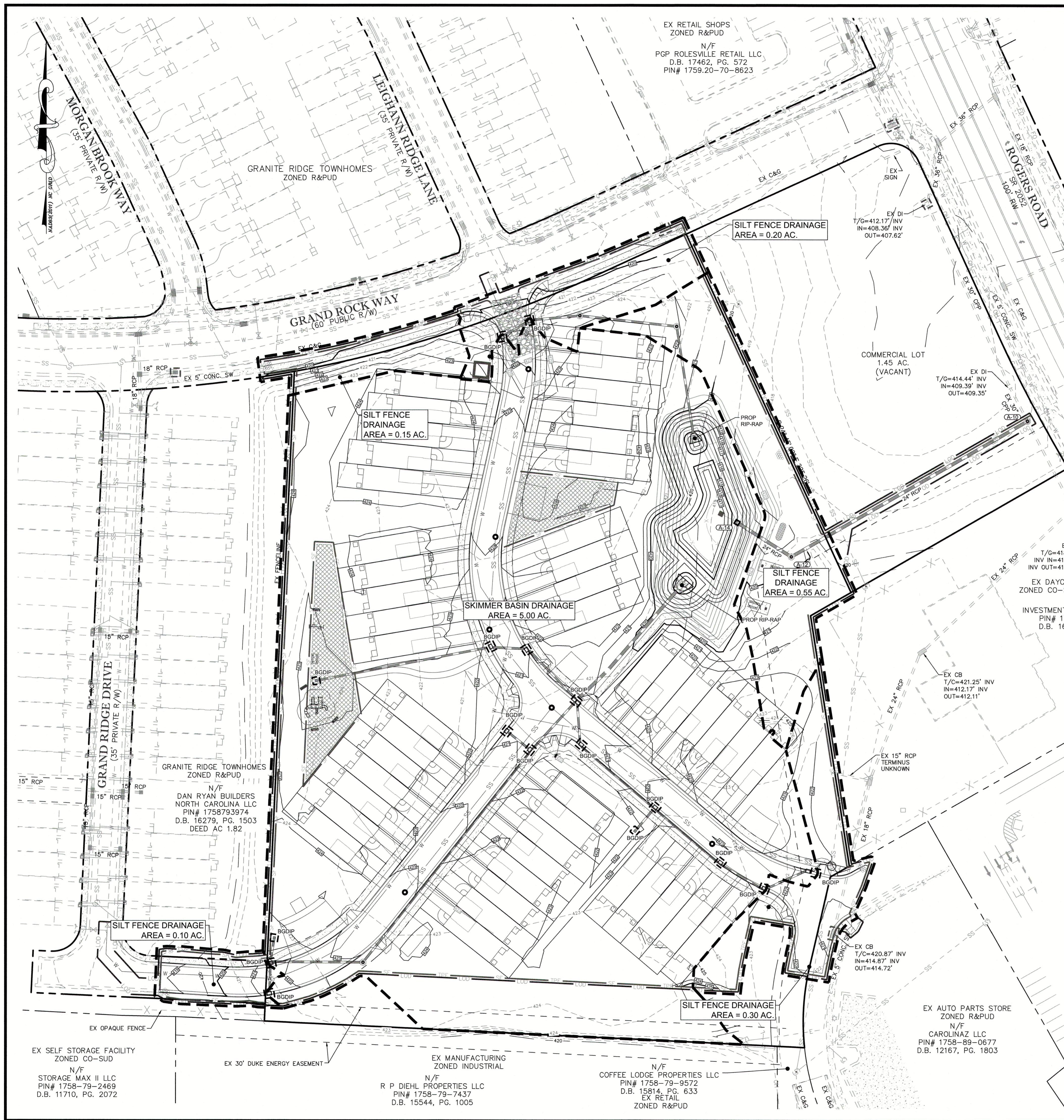
**LEGEND**

**EROSION AND SEDIMENT CONTROL PLAN - PHASE I**

Number	Description	Date
1	PER TRC COMMENTS	09/28/20
2	PER TRC COMMENTS	01/21/21

JAECO # 362-09  
DRAWING SCALE: 1" = 40'  
DRAWN BY: TT  
CHECKED BY: JAE, JR.  
DATE ISSUED: 06/22/2020

**C-3.1**



**STOCKPILE NOTES**

- DESIGN CRITERIA:
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  - F. STOCKPILING MATERIALS ADJACENT TO A DITCH, DRAINAGEWAY, WATERCOURSE, WETLAND, STREAM BUFFER, OR OTHER BODY OF WATER SHALL BE AVOIDED UNLESS AN ALTERNATIVE LOCATION IS DEMONSTRATED TO BE UNAVAILABLE.
  - G. ANY CONCENTRATED FLOW LIKELY TO AFFECT THE STOCKPILE SHALL BE DIVERTED TO AN APPROVED BMP.
  - H. OFF-SITE SPOIL OR BORROW AREAS MUST BE IN COMPLIANCE WITH WAKE COUNTY LDO AND STATE REGULATIONS. ALL SPOIL AREAS OVER AN ACRE ARE REQUIRED TO HAVE AN APPROVED SEDIMENT CONTROL PLAN. DEVELOPER/CONTRACTOR SHALL NOTIFY WAKE COUNTY OF ANY OFFSITE DISPOSAL OF SOIL, PRIOR TO DISPOSAL. FILL OF FEMA FLOODWAYS AND NON-ENCROACHMENT AREAS ARE PROHIBITED EXCEPT AS OTHERWISE PROVIDED BY SUBSECTION 14-19.2 OF THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE (CERTIFICATIONS AND PERMITS REQUIRED).
- MAINTENANCE REQUIREMENTS:
- I. SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEPT IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
  - J. IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
  - K. THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
  - L. ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).

**STABILIZATION NOTE**

ANY PORTION OF A SITE UPON WHICH FURTHER LAND-DISTURBING ACTIVITY IS NOT BEING UNDERTAKEN SHALL BE PROVIDED WITH PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION WILL BE APPLIED WITHIN 14 CALENDAR DAYS FROM LAST LAND DISTURBING ACTIVITY. FOR STEEP SLOPES, THAT AREA MUST BE STABILIZED WITHIN 7 CALENDAR DAYS OF TEMPORARILY OR PERMANENTLY SUSPENDING THE LAND DISTURBING ACTIVITY.

VACANT ZONED CO

N/F  
STONE LAND INVESTMENTS LLC  
PIN# 1759-80-2379  
D.B. 17398, PG. 329

EX DAYCARE FACILITY  
ZONED CO-SUD AND R&PUD

N/F  
INVESTMENT CHOICES IV, LLC.  
PIN# 1759-80-0090  
D.B. 16866, PG. 548

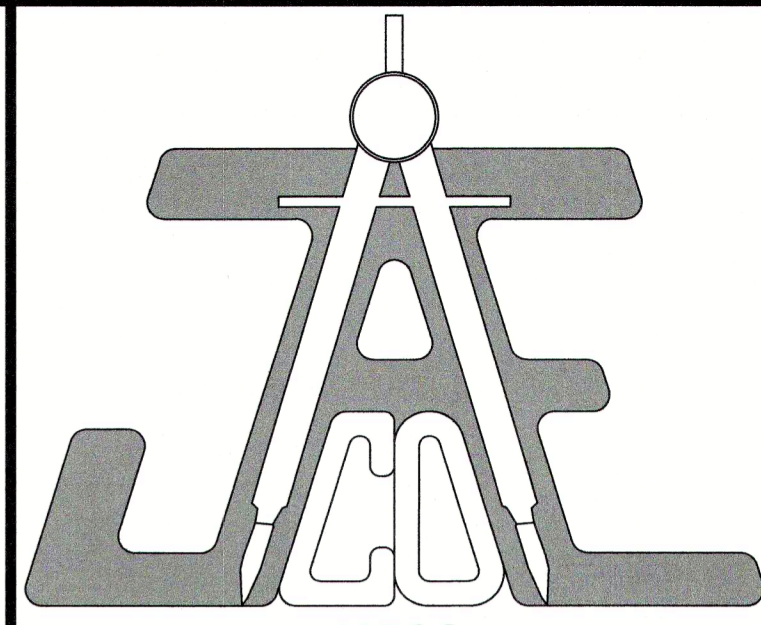
EX AUTO PARTS STORE  
ZONED R&PUD  
N/F  
CAROLINAZ LLC  
PIN# 1758-89-0677  
D.B. 12167, PG. 1803

**RIPRAP SCHEDULE**

	ENTRY WIDTH [FT]	WIDTH [FT]	LENGTH [FT]	d <sub>50</sub> [IN]	d <sub>max</sub> [IN]	THICKNESS [IN]
A-16	6	16	12	6	9	18
A-28	4	10	7.5	6	9	18

**PHASE II CONSTRUCTION SEQUENCE:**

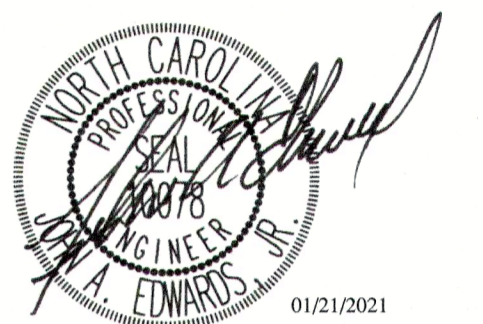
1. CONTINUE ROUGH GRADING, MAINTAIN AND ADJUST GRADES TO ENSURE POSITIVE DRAINAGE TO SKIMMER BASIN.
2. CONSTRUCT RETAINING WALLS ON SITE AS NEEDED TO BRING SITE TO GRADE.
3. INSTALL REMAINING STORMDRAIN, WORKING FROM DOWNSTREAM TO UPSTREAM INSTALLING INLET PROTECTION IMMEDIATELY AFTER EACH INLET IS INSTALLED AS SHOWN ON THE PLAN. DIVERT RUN-OFF TO INLETS AS ROUGH GRADES ARE COMPLETED.
4. INSTALL WATER AND SEWER LINES FROM DOWNSTREAM TO UPSTREAM AS NECESSARY DURING ROUGH GRADING TO AVOID CONFLICTS WITH STORM DRAIN SYSTEM.
5. INSTALL RIP-RAP AT A-16 AND A-28.
6. HULL AWAY ANY EXTRA TOPSOIL AND MATERIAL AS NEEDED TO BALANCE SITE. IF ANY TOPSOIL IS TO REMAIN STOCKPILED PROTECT WITH SILT FENCING AROUND PERIMETER AND REFER TO STOCKPILE NOTES.
7. SUBMIT DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY TO STORMWATER CONTROL. INSPECTIONS THROUGHOUT THE PROJECT.
8. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUEDED AREAS PER GROUND STABILIZATION TIME FRAMES.
9. MAINTAIN SEDIMENT AND EROSION CONTROL DEVICES AFTER EVERY RAIN EVENT GREATER THAN ONE (1) INCH AND ONCE PER WEEK. REMOVE ANY SILT BUILDUP ON ANY SILT FENCING AS NEEDED TO PREVENT BREACH. SEED ANY AREAS OF THE SITE WITHIN 14 DAYS OF COMPLETION OF ANY PHASE OF GRADING IN THAT AREA.
10. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ENVIRONMENTAL CONSULTANT FOR AN INSPECTION.
11. SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE IF THE SKIMMER BASIN CAN BE CONVERTED TO A PERMANENT BIORETENTION POND. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO REMOVAL OF THE BASIN.
12. UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SEDIMENT BASIN SURFACE FOR DRAW DOWN OF WATER IN BASIN FOR MAINTENANCE OR CLOSE OUT UNLESS INFEASIBLE. SEE REQUIREMENTS OF NC001 PERMIT PART II, SECTION G, ITEM (4) ENTITLED "DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT" AND REFER TO WAKE COUNTY "FILTER BAG FOR DEWATERING ACTIVITIES" CONSTRUCTION DETAIL.
13. REMOVE SKIMMER BASIN AND SKIMMER FINE GRADE AREA IN PREPARATION FOR BIORETENTION CONSTRUCTION AND SEEDING.
14. PERFORM SEEDBED PREPARATION, SEED, MULCH AND ASPHALT TACK ANY RESULTING BARE AREAS IMMEDIATELY.
15. INSTALL VELOCITY DISSIPATORS AS SHOWN.
16. WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL CONSULTANT FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVICE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION. NOTE: A MEETING SHOULD ALSO BE SCHEDULED WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE WHEN A BASIN MAY BE CONVERTED FOR STORMWATER USE. SOME MUNICIPALITIES MAY ALSO REQUIRE THIS.
17. IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
18. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.



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RALEIGH, NC 27609

**Call 800 before you dig.**

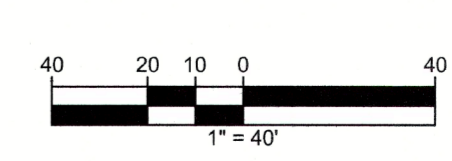
**LEGEND**

**EROSION AND SEDIMENT CONTROL PLAN - PHASE II**

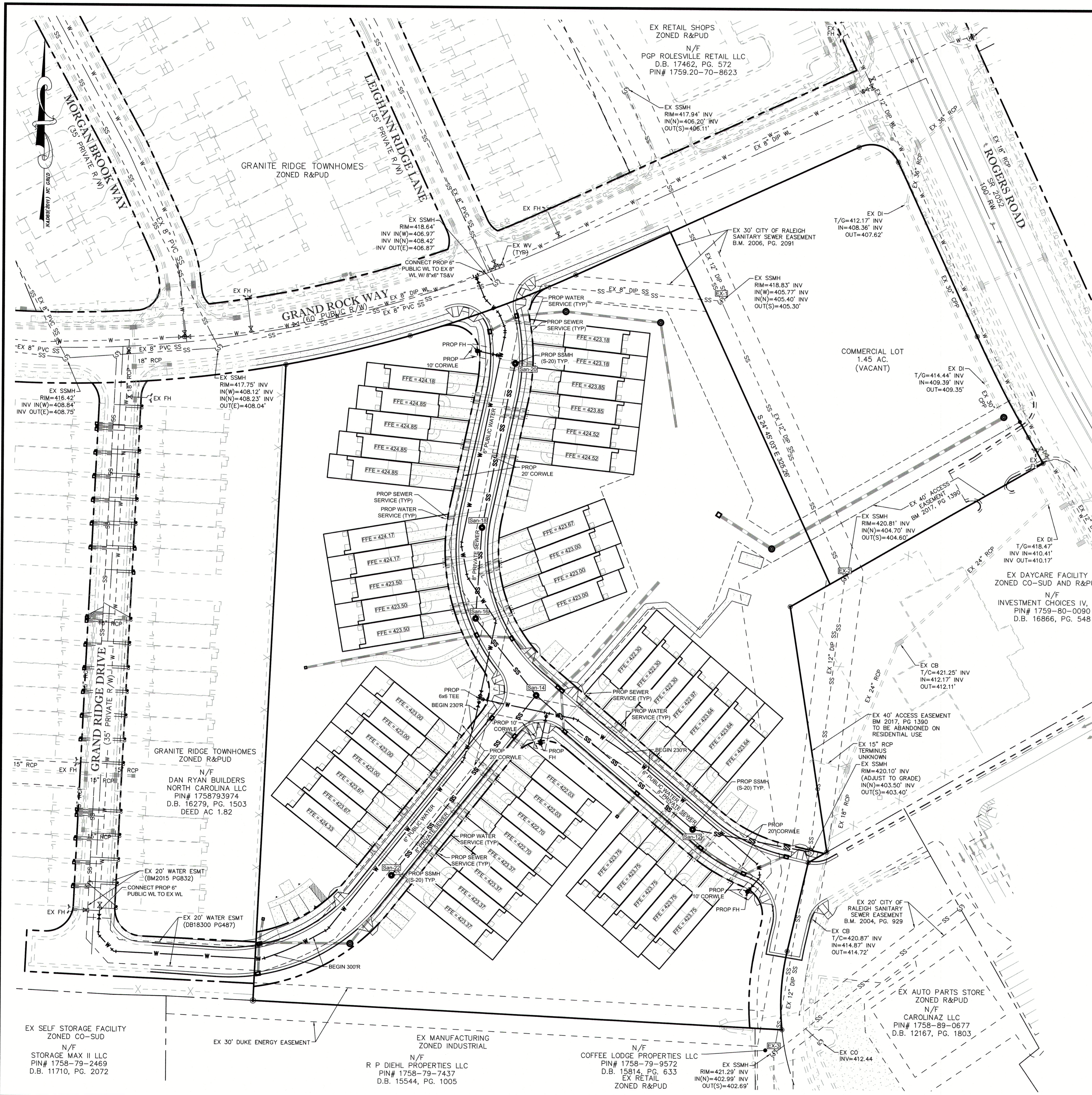
Revisions

Number	Description	Date
1	PER TRC COMMENTS	09/29/20
2	PER TRC COMMENTS	01/21/21

JAECO # 362-09  
DRAWING SCALE: 1" = 40'  
DRAWN BY: TT  
CHECKED BY: JAE, JR.  
DATE ISSUED: 06/22/2020



**C-3.2**

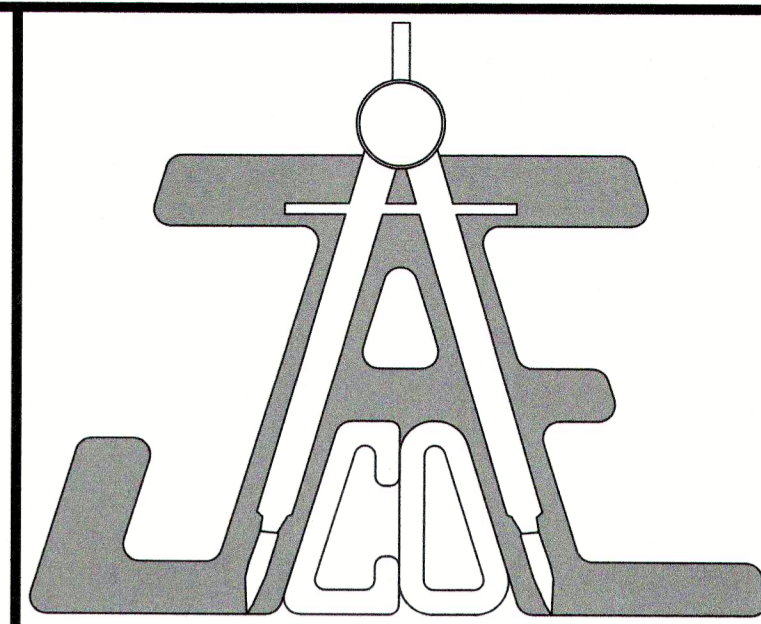


**STANDARD UTILITY NOTES (as applicable):**

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
  - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
  - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
  - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
  - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
  - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
- All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Developer shall provide 15 days advance notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 3/4" copper water service with 5/8" meter located within private ROW. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install 4" PVC sewer service @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverley at (919) 996-2334 or Stephen.calverley@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanne Hartley at (919) 996-5923 or joanne.hartley@raleighnc.gov for more information.

**GENERAL NOTES:**

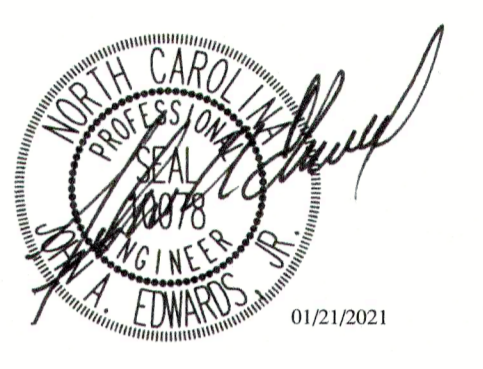
- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- PROPOSED PRIVATE SANITARY SEWER TO BE 8" PVC.
- PROPOSED PUBLIC WATER LINE TO BE 6" DIP.
- 20' PUBLIC CITY OF RALEIGH WATERLINE EASEMENT AND 5' CITY OF RALEIGH WATERLINE EASEMENT TO EACH METER AND FIRE HYDRANT TO BE RECORDED.



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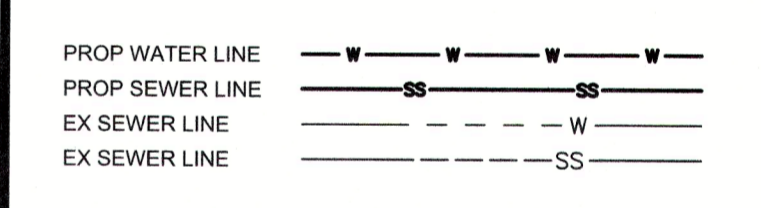


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**LEGEND**



**PLANS NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BY CITY OF RALEIGH**

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The Material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-3745

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-4760(P)

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval  
Raleigh Water Review Officer

**UTILITY PLAN**

Number	Description	Date
1	PER TRC COMMENTS	09/29/20
2	PER TRC COMMENTS	01/21/21

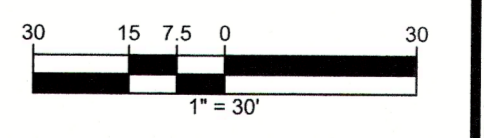
JAECO # 362-09  
DRAWING SCALE: AS SHOWN  
DRAWN BY: TT  
CHECKED BY: JAE, JR.  
DATE ISSUED: 06/22/2020

**ATTENTION CONTRACTORS:**

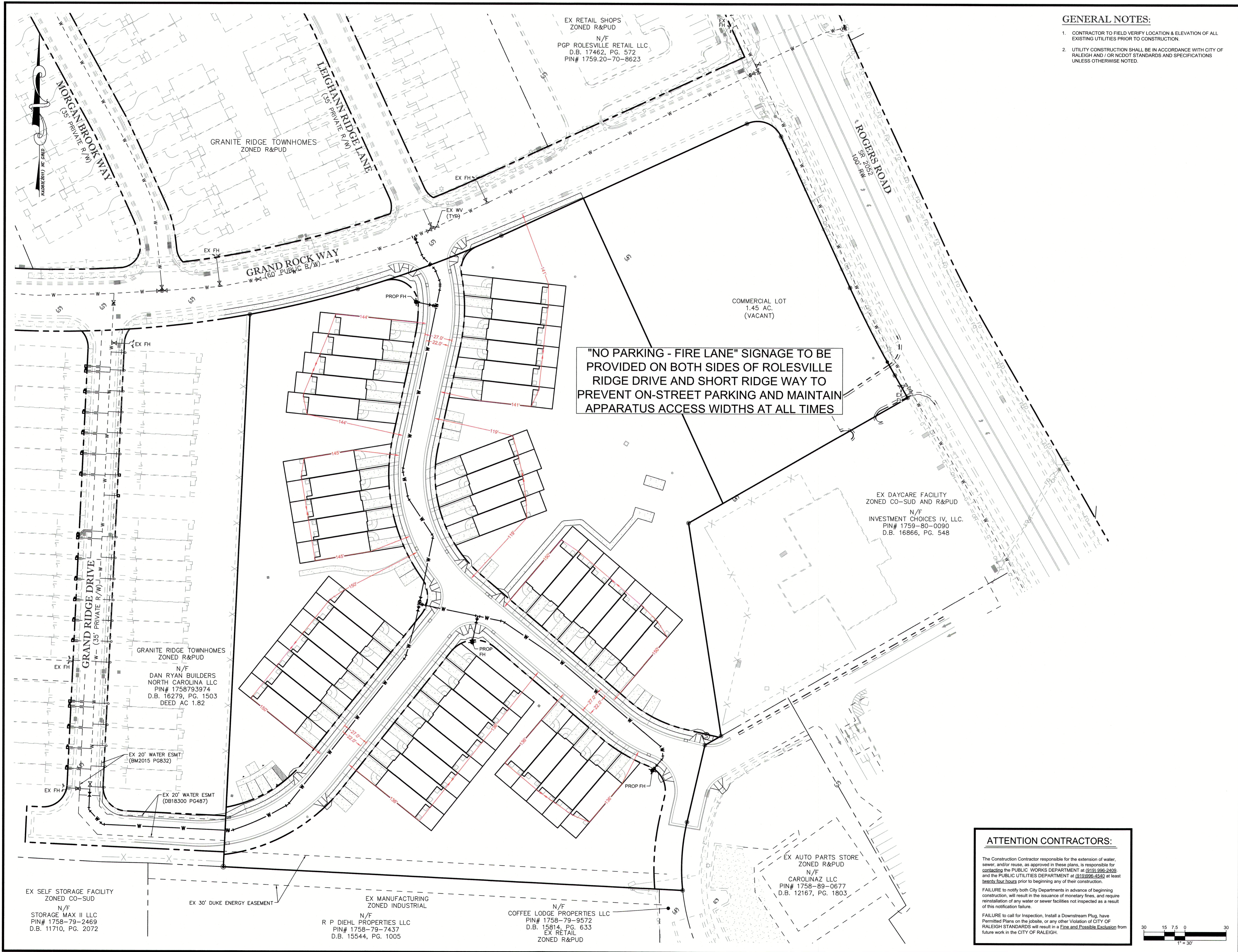
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-2400 and the PUBLIC UTILITIES DEPARTMENT at (919) 996-4540 at least **ten (10) business days** prior to beginning any of their construction.

FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

FAILURE to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other violation of CITY OF RALEIGH STANDARDS will result in a Fine and Possible Exclusion from future work in the CITY OF RALEIGH.

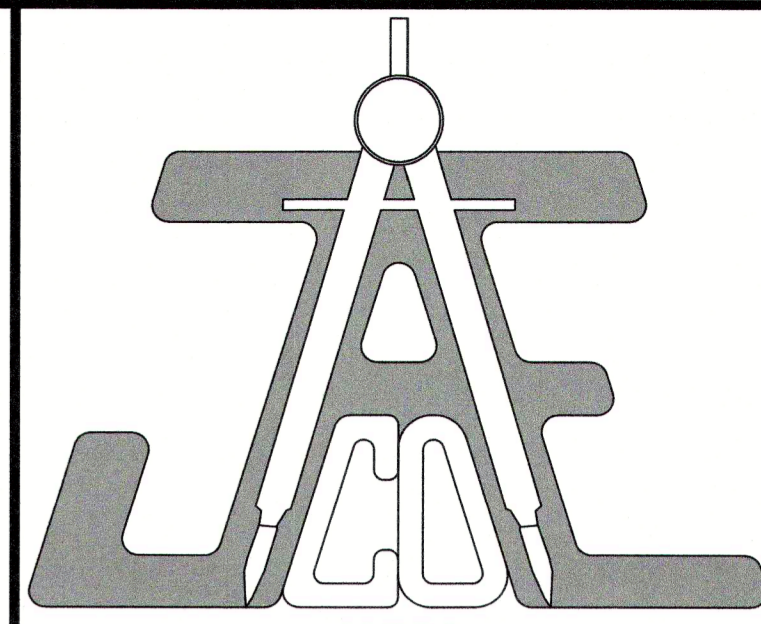


**C-4.0**



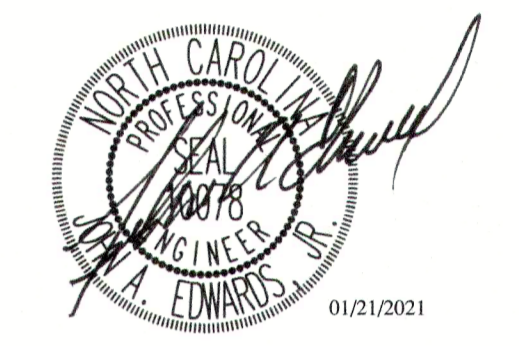
**GENERAL NOTES:**

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.



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**LEGEND**

**FIRE ACCESS PLAN**

Number	Description	Date
1	PER TRC COMMENTS	09/29/20
2	PER TRC COMMENTS	01/21/21

JAECO #: 362-09  
DRAWING SCALE: AS SHOWN  
DRAWN BY: TT  
CHECKED BY: JAE, JR.  
DATE ISSUED: 06/22/2020

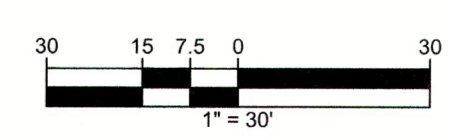
**C-4.1**

**ATTENTION CONTRACTORS:**

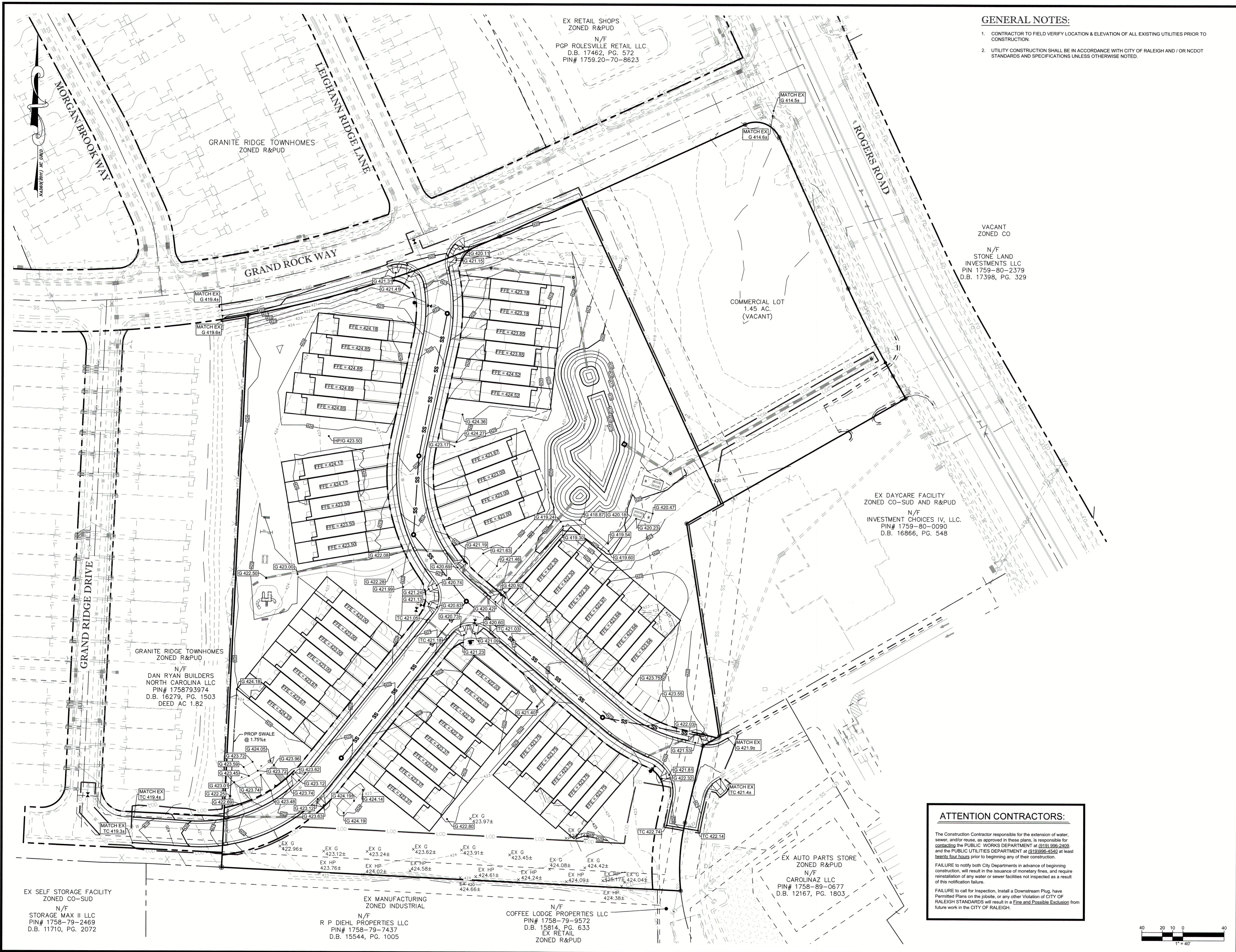
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-2409 and the PUBLIC UTILITIES DEPARTMENT at (919) 996-5452 at least **twenty-four hours** prior to beginning any of their construction.

FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

FAILURE to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of CITY OF RALEIGH STANDARDS will result in a **Fine and Possible Exclusion** from future work in the CITY OF RALEIGH.

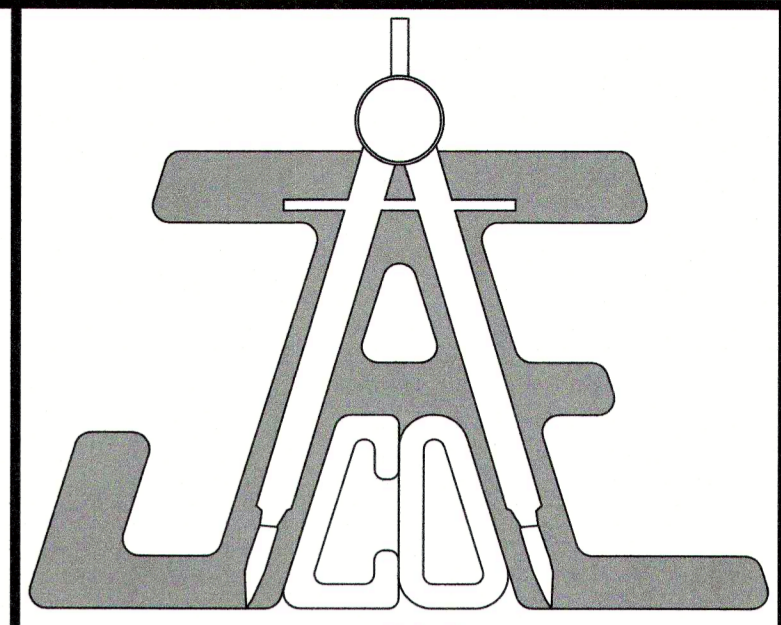


**"NO PARKING - FIRE LANE" SIGNAGE TO BE PROVIDED ON BOTH SIDES OF ROLESVILLE RIDGE DRIVE AND SHORT RIDGE WAY TO PREVENT ON-STREET PARKING AND MAINTAIN APPARATUS ACCESS WIDTHS AT ALL TIMES**



**GENERAL NOTES:**

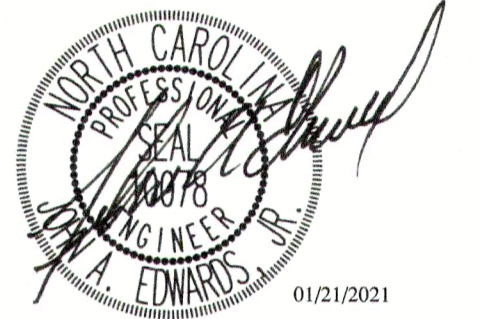
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**LEGEND**

- EX MAJOR CONTOUR ——— XXX ———
- W/ ELEV LABEL
- EX MINOR CONTOUR - - - - - XXX - - - - -
- W/ ELEV LABEL
- PROP MAJOR CONTOUR ——— 000 ———
- W/ ELEV LABEL
- PROP MINOR CONTOUR - - - - - 000 - - - - -
- W/ ELEV LABEL
- SPOT ELEVATION

**ATTENTION CONTRACTORS:**

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-2499 and the PUBLIC UTILITIES DEPARTMENT at (919) 996-4540 at least **twenty-four hours** prior to beginning any of their construction.

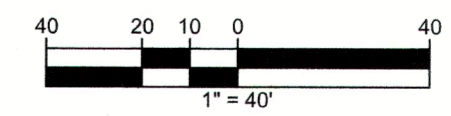
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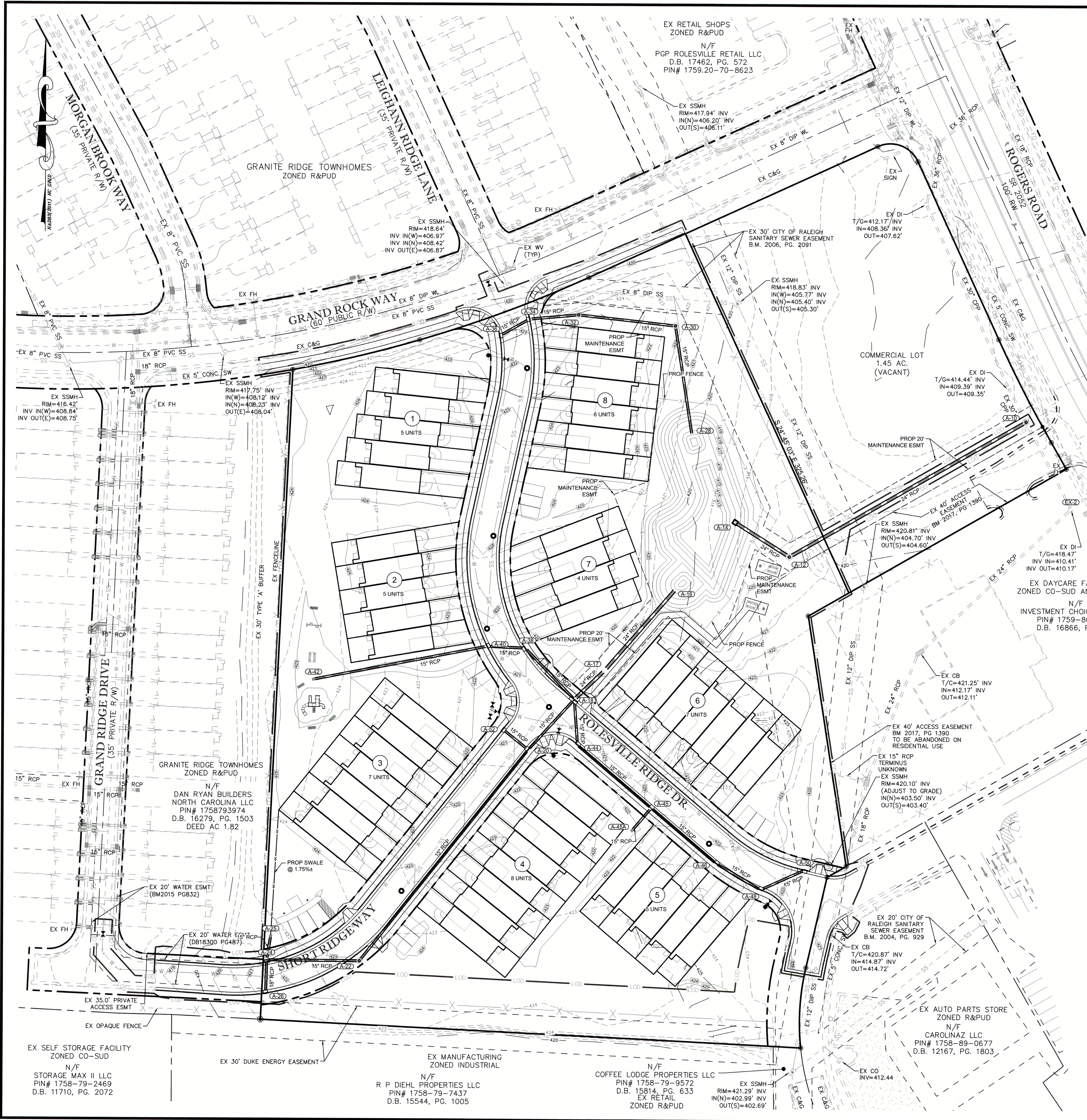
**GRADING PLAN**

Revisions		
Number	Description	Date
1	PER TRC COMMENTS	09/29/20
2	PER TRC COMMENTS	01/21/21

JAECO #: 382-09  
DRAWING SCALE: 1" = 40'  
DRAWN BY: TT  
CHECKED BY: JAE, JR.  
DATE ISSUED: 06/22/2020



**C-5.0**

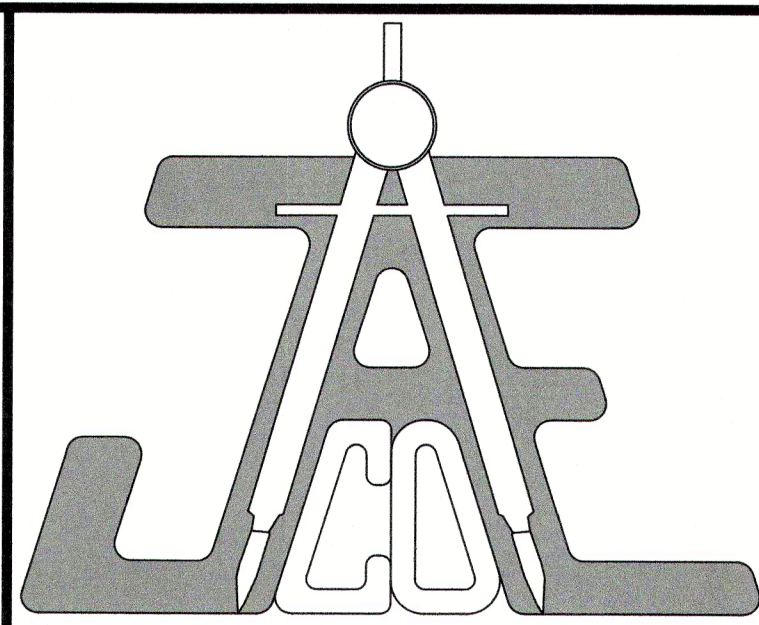


**GENERAL NOTES:**

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2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.

**STRUCTURE TABLE**

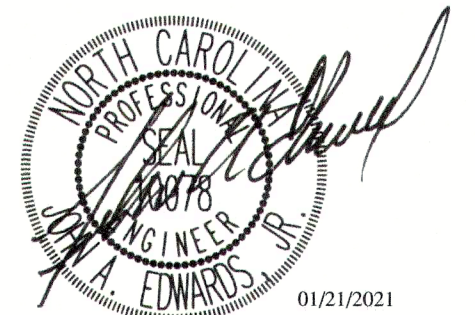
STRUCTURE ID	TYPE	STD. DETAIL	RIM	INVERT IN (U/S STR.)	INVERT OUT (D/S STR.)	PIPE OUT
A-10	DOGHOUSE MH	SW-10.05	416.96	409.61 (EX-2) 409.95 (A-12)	409.61 (EX-1)	32.25LF 30" @ 0.68%
A-12	MH	SW-10.05	419.36	411.20 (A-14)	411.10 (A-10)	224.85LF 24" RCP @ 0.51%
A-14	4"x4" RISER	SEE SHEET C-9.5	418.50		411.50 (A-12)	52.94LF 24" RCP @ 0.57%
A-16	FES			414.25 (A-17)		
A-17	MH	SW-10.05	420.71	414.80 (A-18)	414.70 (A-16)	87.00LF 24" RCP @ 0.52%
A-18	CB	SW-10.01 W/4530 GRATE (DOUBLE)	420.90	415.75 (A-20) 415.75 (A-44) 415.75 (A-38)	415.00 (A-17)	34.84LF 24" RCP @ 0.57%
A-20	CB	SW-10.01 W/4530 GRATE	421.18	416.15 (A-22) 416.15 (A-52)	416.05 (A-18)	56.34LF 15" RCP @ 0.53%
A-22	MH	SW-10.05	423.44	417.40 (A-24)	417.30 (A-20)	223.13LF 15" RCP @ 0.52%
A-24	CB	SW-10.01 W/4530 GRATE	421.95	417.90 (A-26) 417.90 (A-25)	417.80 (A-22)	76.43LF 15" RCP @ 0.52%
A-25	YI	SW-10.03	422.25		418.25 (A-24)	19.95LF 15" RCP @ 1.75%
A-26	CB	SW-10.01 W/4530 GRATE	421.72		418.05 (A-24)	27.54LF 15" RCP @ 0.54%
A-28	FES			414.75 (A-30)		
A-30	MH	SW-10.05	422.10	415.80 (A-32)	415.70 (A-28)	89.36LF 15" RCP @ 1.06%
A-32	MH	SW-10.05	422.31	416.70 (A-34)	416.60 (A-30)	80.39LF 15" RCP @ 1.00%
A-34	CB	SW-10.01	421.01	417.25 (A-36)	417.15 (A-32)	40.54LF 15" RCP @ 1.11%
A-36	CB	SW-10.01	421.34		417.55 (A-34)	28.44LF 15" RCP @ 1.05%
A-38	CB	SW-10.01 W/4530 GRATE	421.54	416.40 (A-40)	416.30 (A-18)	58.47LF 15" RCP @ 0.94%
A-40	CB	SW-10.01 W/4530 GRATE	421.86	416.80 (A-42)	416.70 (A-38)	31.80LF 15" RCP @ 0.94%
A-42	YI	SW-10.03	422.50		418.25 (A-40)	145.68LF 15" RCP @ 1.00%
A-44	CB	SW-10.01 W/4530 GRATE	421.02	416.05 (A-45)	415.95 (A-18)	37.82LF 15" RCP @ 0.53%
A-45	CB	SW-10.01 W/4530 GRATE	422.58	416.55 (A-46) 416.55 (A-45A)	416.45 (A-44)	79.97LF 15" RCP @ 0.50%
A-45A	YI	SW-10.03	421.40		417.00 (A-45)	24.48LF 15" RCP @ 1.84%
A-46	CB	SW-10.01 W/4530 GRATE	423.19	417.00 (A-48)	416.90 (A-45)	70.54LF 15" RCP @ 0.50%
A-48	CB	SW-10.01	422.81	417.35 (A-50)	417.25 (A-46)	42.45LF 15" RCP @ 0.59%
A-50	CB	SW-10.01	422.18		418.00 (A-48)	40.35LF 15" RCP @ 1.61%
A-52	CB	SW-10.01 W/4530 GRATE	421.05		416.59 (A-20)	27.07LF 15" RCP @ 1.63%



**JAE CO**  
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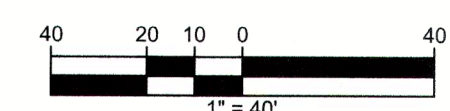
**Call 811 before you dig.**

**LEGEND**

**STORMDRAIN & STORMWATER MANAGEMENT PLAN**

Revisions		
Number	Description	Date
1	PER TRC COMMENTS	09/29/20
2	PER TRC COMMENTS	01/21/21

JAE CO #: 362-09  
DRAWING SCALE: 1" = 40'  
DRAWN BY: TT  
CHECKED BY: JAE, JR.  
DATE ISSUED: 06/22/2020



**C-6.0**

**STANDARD UTILITY NOTES (as applicable):**

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
  - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
  - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
  - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
  - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
  - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
  - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- All necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Developer shall provide 15 days advance notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 3/4" copper water service with 5/8" meter located within private ROW. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install 4" PVC sewer service @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverley at (919) 996-2334 or Stephen.calverley@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information.



**Rolesville Ridge Dr. Plan**  
HORIZONTAL SCALE: 1" = 30'

**GENERAL NOTES:**

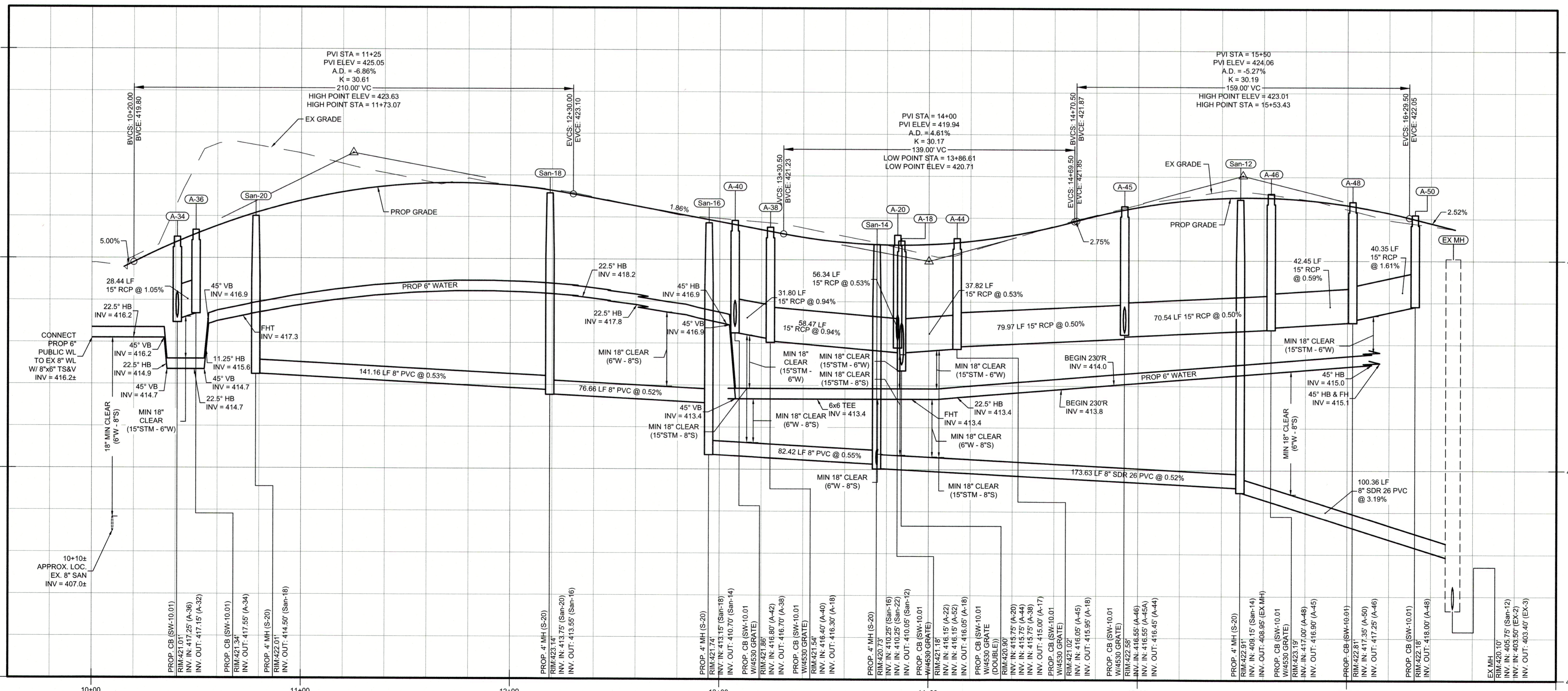
- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- PROPOSED PRIVATE SANITARY SEWER TO BE 8" PVC.
- PROPOSED PUBLIC WATER LINE TO BE 6" DIP.
- 30' PUBLIC CITY OF RALEIGH WATERLINE EASEMENT AND 5' CITY OF RALEIGH WATERLINE EASEMENT TO EACH METER AND FIRE HYDRANT TO BE RECORDED.

**ATTENTION CONTRACTORS:**

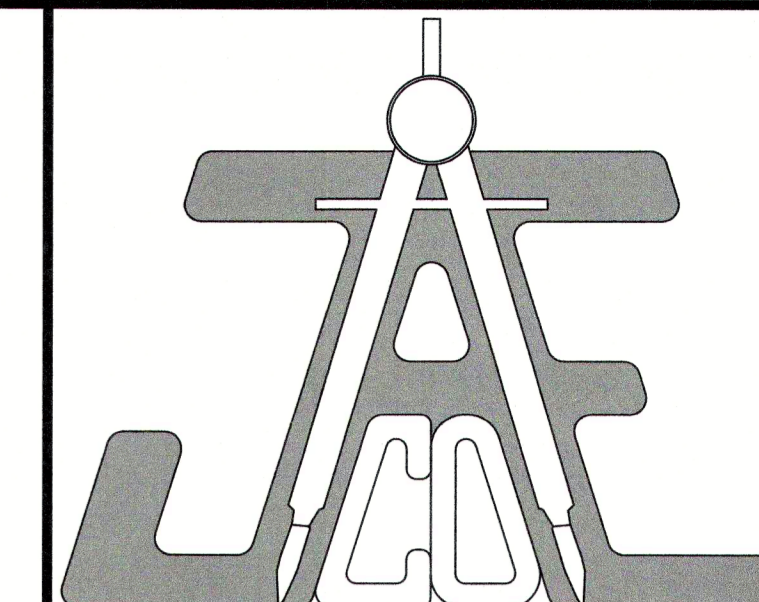
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-2400 and the PUBLIC UTILITIES DEPARTMENT at (919) 996-2540 at least four business days prior to beginning any of their construction.

FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

FAILURE to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of CITY OF RALEIGH STANDARDS will result in a Fine and Possible Exclusion from future work in the CITY OF RALEIGH.



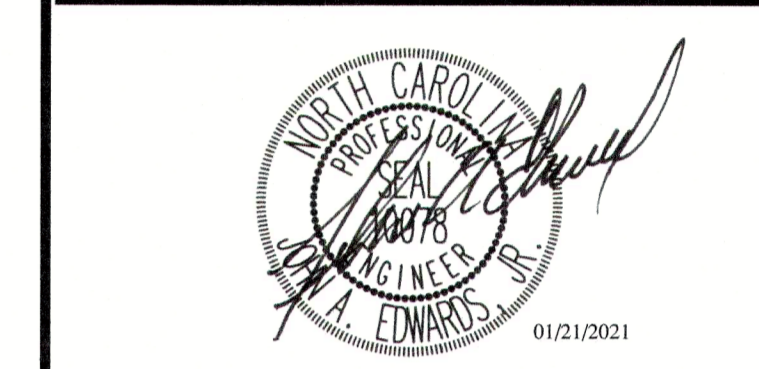
**Rolesville Ridge Dr. Profile**  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 3'



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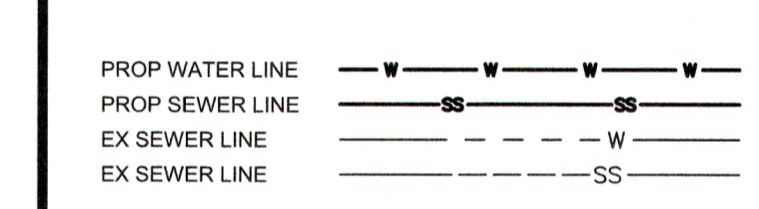


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**LEGEND**



**PLANS NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BY CITY OF RALEIGH**

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-3745

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-4760(P)

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

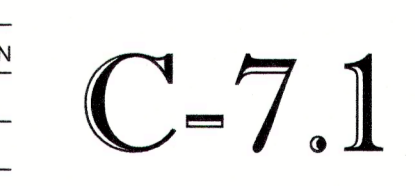
Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval Raleigh Water Review Officer

**ROLESVILLE RIDGE RD PLAN & PROFILE**

Number	Description	Date
1	PER TRC COMMENTS	09/29/20
2	PER TRC COMMENTS	01/21/21

JAECO #: 362-09  
DRAWING SCALE: AS SHOWN  
DRAWN BY: TT  
CHECKED BY: JAE, JR.  
DATE ISSUED: 06/22/2020



**C-7.1**