



REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR REVIEW
DO NOT USE FOR CONSTRUCTION

SCALE ADJUSTMENT
THIS SHEET IS 1/4" IN LENGTH ON ORIGINAL DRAWING
IF IT IS NOT 1/4" ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY.

SITE PLANS
ROLESVILLE CROSSFIT
850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-28-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

COVER

C-1

SHEET 1 OF 18

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED

EROSION CONTROL S-

STORMWATER MGMT. S-

FLOOD STUDY S-

DATE _____

_____ ENVIRONMENTAL CONSULTANT SIGNATURE

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

SITE PLANS FOR

ROLESVILLE CROSSFIT

850 GRANITE FALLS BLVD
ROLESVILLE, NORTH CAROLINA
PIN: 1759-82-2247

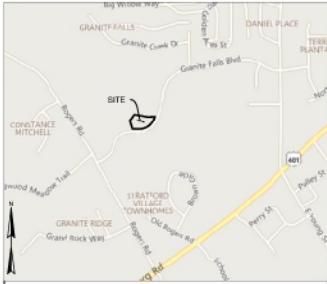
SHEET	TITLE
C-1	COVER
C-2	CALCULATIONS
C-3	EXISTING CONDITIONS
C-4	SITE PLAN
C-5	UTILITY PLAN
C-6	GRADING & STORM DRAINAGE PLAN
C-7	STORMWATER WETLAND DETAILS
C-8	EROSION & SEDIMENT CONTROL PLAN - PHASE 1
C-9	EROSION & SEDIMENT CONTROL PLAN - PHASE 2
C-10	LANDSCAPING PLAN
C-11	LIGHTING PLAN
C-12	SITE DETAILS
C-13	SITE DETAILS
C-14	STORM DRAINAGE DETAILS
C-15	EROSION & SEDIMENT CONTROL DETAILS
C-16	EROSION & SEDIMENT CONTROL DETAILS
C-17	WATER DETAILS
C-18	SEWER DETAILS

DEVELOPER:

MCARN REALTY, LLC
CONTACT: MARK MCARN
403 N CHEATHAM ST
FRANKLINTON, NC 27525
919.632.5374
MCARN@BRASSFIELDCOMMERCIAL.COM

ENGINEER OF RECORD:

FLM ENGINEERING, INC
CONTACT: JON FRAZIER, PE
PO BOX 91727
RALEIGH, NC 27675
919.610.1051
JFRAZIER@FLMENGINEERING.COM



VICINITY MAP

1" = 1000'

ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4849 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTEAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

PROPOSED INFRASTRUCTURE QUANTITIES			
ITEM	OWNERSHIP	DIAMETER / MATERIAL	LENGTH
WATER	PRIVATE	1.5" TYPE K SOFT COPPER	67'
SEWER	PRIVATE	4" SCHED 40 PVC	59'
STORM DRAIN	PRIVATE	8" HDPE	198'
STORM DRAIN	PRIVATE	12" HDPE	274'
STORM DRAIN	PRIVATE	15" HDPE	24'
CURB & GUTTER	PRIVATE	24"	638'
SIDEWALK	PRIVATE	VARIES	473'

CALL 48 HOURS BEFORE YOU DIG



NORTH CAROLINA ONE-CALL CENTER
1-800-632-4949



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1	TOWN OF ROLESVILLE COMMENTS	1/29/2020	FLM

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ROLESVILLE CROSSFIT
850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-28-2019
SCALE:	AS SHOWN
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APPROVED BY:	FLM
PROJECT NO.:	19036

CALCULATIONS

C-2
SHEET 2 OF 18

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

**WETLAND 1
EMERGENCY SPILLWAY DESIGN AND LINING**

UPPER INVERT (ft)	371.00
LOWER INVERT (ft)	367.20
LENGTH (ft)	8.00
CHANNEL SLOPE (ft/ft)	0.500
CHANNEL SECTION	TRIANGULAR
AVG SIDE SLOPE (Z:1)	2.00
BOTTOM WIDTH (ft)	20.00
TOTAL DEPTH (ft)	1.00
WETTED PERIMETER (ft)	20.31
CROSS SECTIONAL AREA (ft ²)	1.41
100-YEAR(24-HOUR DESIGN FLOW (cfs)	6.73
NORMAL DEPTH (ft)	0.97
AVG VELOCITY (ft/sec)	4.77
SHEAR STRESS (lb/ft ²)	2.18
LINER	NAG P300
PERMISSIBLE SHEAR STRESS (lb/ft ²)	8.00
MANING COEFFICIENT (n)	0.034

**BOUYANCY CALCULATIONS
WETLAND**

TOP OF OUTLET STRUCTURE =	370.50	ft
BOTTOM =	366.00	ft
HEIGHT OF RISER =	5.50	ft
ASSUME 6" WALL THICKNESS		
WEIGHT CALCULATIONS		
Wbase = 0' x 0' x 0' =	0.00	cf
Wbase = 0' x 0' x 150' lb/cf =	0.00	lbs
Wump = 4' x 4' x 2' =	32.00	cf
Wump = 48' x 150' lb/cf =	4800.00	lbs
Wbuc = (5 x 5 x 5.5) (4 x 4 x 5) x 150' lb/cf =	8625.00	lbs
TOTAL WEIGHT =	13425.00	lbs
BOUYANCY CALCULATIONS		
Bbase = 0' x 0' x 62.4' lb/cf =	0.00	lbs
Bbuc = (5 x 5 x 5.5) x 62.4' lb/cf	8580.00	lbs
TOTAL BOUYANCY =	8580.00	lbs
FACTOR OF SAFETY =	1.56	

STORM DRAINAGE CALCULATIONS

STRUCTURE NUMBER	Cc	I	A	A	Tc	Q	Q	SLOPE	Dchee	SIZE	Vtull	PIPE LENGTH	UPPER INVERT	LOWER INVERT	HIGHEST ELEVATION	PIPE MATERIAL**	
FROM	TO	RUNOFF COEFFICIENT	10-YEAR INTENSITY (in/hr)	DRAINAGE AREA (sf)	DRAINAGE AREA (ac)	TIME OF CONCENTRATION (min)	FLOW (cfs)	TOTAL FLOW (cfs)	(ft/ft)	(in)	(ft/sec)	(ft)	(ft)	(ft)	(ft)		
CB-1	Y1-2	0.90	7.22	4800	0.11	5.0	0.72	0.72	0.0103	6.5	12	5.0	78.00	374.00	373.20	377.50	HDPE
Y1-2	CB-3	0.90	7.22	6800	0.16	5.0	1.01	1.73	0.0103	9.1	12	5.0	126.00	373.20	371.90	378.25	HDPE
CB-3	CB-4	0.90	7.22	3700	0.08	5.0	0.55	2.28	0.0103	10.1	12	5.0	58.00	371.90	371.30	378.35	HDPE
CB-4	FES-6	0.90	7.22	3800	0.09	5.0	0.57	2.85	0.0417	8.4	12	10.0	12.00	368.00	367.50	378.80	HDPE
J8-6	J8-9	0.90	7.22	6200	0.14	5.0	0.92	0.92	0.0204	6.3	8	5.4	98.00	377.00	375.00	379.85	HDPE
Y1-7	Y1-8	0.90	7.22	1900	0.02	5.0	0.15	0.15	0.0116	3.5	8	4.0	43.00	376.50	376.00	379.25	HDPE
Y1-8	J8-9	0.90	7.22	1900	0.02	5.0	0.15	0.30	0.0323	3.8	8	6.7	31.00	376.00	375.00	379.25	HDPE
J8-9	OUTLET-10	-	-	-	-	-	-	1.22	0.2895	4.3	8	29.1	29.00	375.00	367.50	379.85	HDPE

*LENGTHS ARE OF THE PIPE ONLY AND DO NOT INCLUDE FLARED END SECTIONS OR OTHER END TREATMENT
**DOUBLE WALL HDPE PIPE (SHALL MEET NC PLUMBING CODE, CHAPTER 11 STORM DRAINAGE, LATEST EDITION)

SKIMMER SEDIMENT BASIN DESIGN CALCULATIONS

SKIMMER SEDIMENT BASIN DESIGN							SKIMMER SEDIMENT BASIN EFFICIENCY					SKIMMER***			
BASIN NUMBER	DRAINAGE AREA (ac)	DISTURBED AREA (ac)	REQUIRED VOLUME 1680 CF/AC (cf)	DEPTH (ft)	WIDTH (ft)**	LENGTH (ft)**	VOLUME PROVIDED (cf)**	RUNOFF COEFFICIENT	10-YEAR RAINFALL INTENSITY (in/hr)	FLOW Q10 (cfs)	REQUIRED SURFACE AREA 435 SF/CF5 (sf)	AREA PROVIDED (sf)**	SIZE (in)	ORIFICE RADIUS (in)	ORIFICE DIAMETER (in)
SK-1	0.73	0.67	1206	2	-	-	2508	0.5	7.22	2.64	1146	1548	1.5	0.4	0.7

*DEPTH FROM BOTTOM OF BASIN TO EMERGENCY SPILLWAY ELEVATION

**BASIN SHAPE IS IRREGULAR, VOLUME AND SURFACE AREA TAKEN FROM HYDROCAD MODEL

***SKIMMER SIZED PER SISING CALCULATOR AT WWW.FAIRG.DTHSKIMMER.COM AT A REQUIRED VOLUME DRAWDOWN RATE OF 72 HOURS

TEMPORARY DIVERSION DITCH DESIGN

DITCH NUMBER	RUNOFF COEFFICIENT	10-YEAR RAINFALL INTENSITY (in/hr)	DRAINAGE AREA (ac)	Q (cfs)	LENGTH (ft)	CHANNEL SECTION	BOTTOM WIDTH (ft)	LEFT SIDE SLOPE Z:1 (ft)	RIGHT SIDE SLOPE Z:1 (ft)	CHANNEL DEPTH (ft)	CHANNEL SLOPE (ft/ft)	NORMAL DEPTH (ft)	FREEBOARD (ft)	SHEAR STRESS (lb/ft ²)	VELOCITY (ft/s)	MANNING'S n-VALUE	TEMPORARY LINER
TD-1	0.50	7.22	0.48	1.73	172.00	TRIANGULAR	-	2.00	2.00	1.00	0.047	0.50	0.50	1.45	3.46	0.033	STRAW WITH NET
TD-2	0.50	7.22	0.11	0.40	78.00	TRIANGULAR	-	2.00	2.00	1.00	0.066	0.27	0.73	1.11	2.74	0.033	STRAW WITH NET

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North 811
Carolina
www.811.org
NORTH CAROLINA ONE-CALL CENTER
1-800-632-4949

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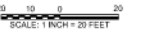


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850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

MCARN REALTY LLC

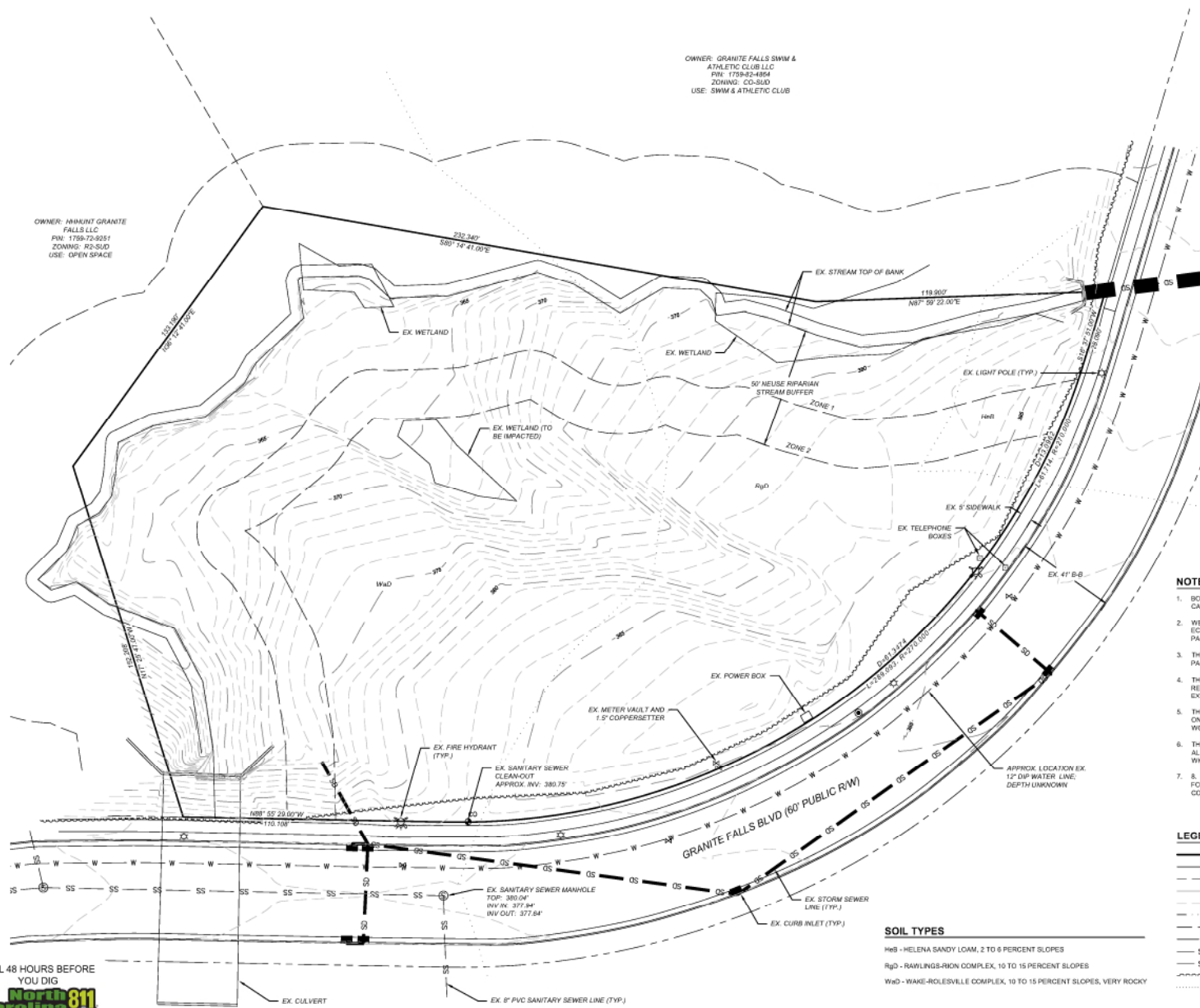
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SCALE:	AS SHOWN
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PROJECT NO.:	19036

EXISTING CONDITIONS

C-3
SHEET 3 OF 18

OWNER: GRANITE FALLS SWM & ATHLETIC CLUB LLC
P/N: 1709-2-484
ZONING: CO-SUD
USE: SWM & ATHLETIC CLUB

OWNER: HINKLEY GRANITE FALLS LLC
P/N: 1709-2-9251
ZONING: R2-SUD
USE: OPEN SPACE



NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY CAWTHORNE, MOSS & PANCERA, PC ON JUNE 26, 2019.
- WETLANDS AND STREAMS SHOWN DELINEATED BY CAROLINA ECOSYSTEMS, INC. AND LOCATED BY CAWTHORNE, MOSS & PANCERA, PC. JURISDICTIONAL DETERMINATION PENDING.
- THERE ARE NO FLOOD PRONE AREAS PRESENT PER FEMA FIRM PANEL NO. 372017500J, EFFECTIVE MAY 2, 2006.
- THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
- THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
- & THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

LEGEND

	EX. PROPERTY LINE
	EX. RIGHT-OF-WAY
	EX. ADJACENT OWNERS
	EX. MAJOR CONTOUR (3')
	EX. MINOR CONTOUR (1')
	EX. CHANNEL/STREAM
	EX. STREAM BUFFER
	EX. WATER LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. TREE LINE
	EX. SOIL LINE

SOIL TYPES

- HeS - HELENA SANDY LOAM, 2 TO 6 PERCENT SLOPES
- RpD - RAWLINGS-RON COMPLEX, 10 TO 15 PERCENT SLOPES
- WpD - WAKE-ROLESVILLE COMPLEX, 10 TO 15 PERCENT SLOPES, VERY ROCKY

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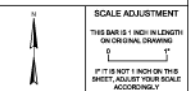
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850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

MCARN REALTY LLC

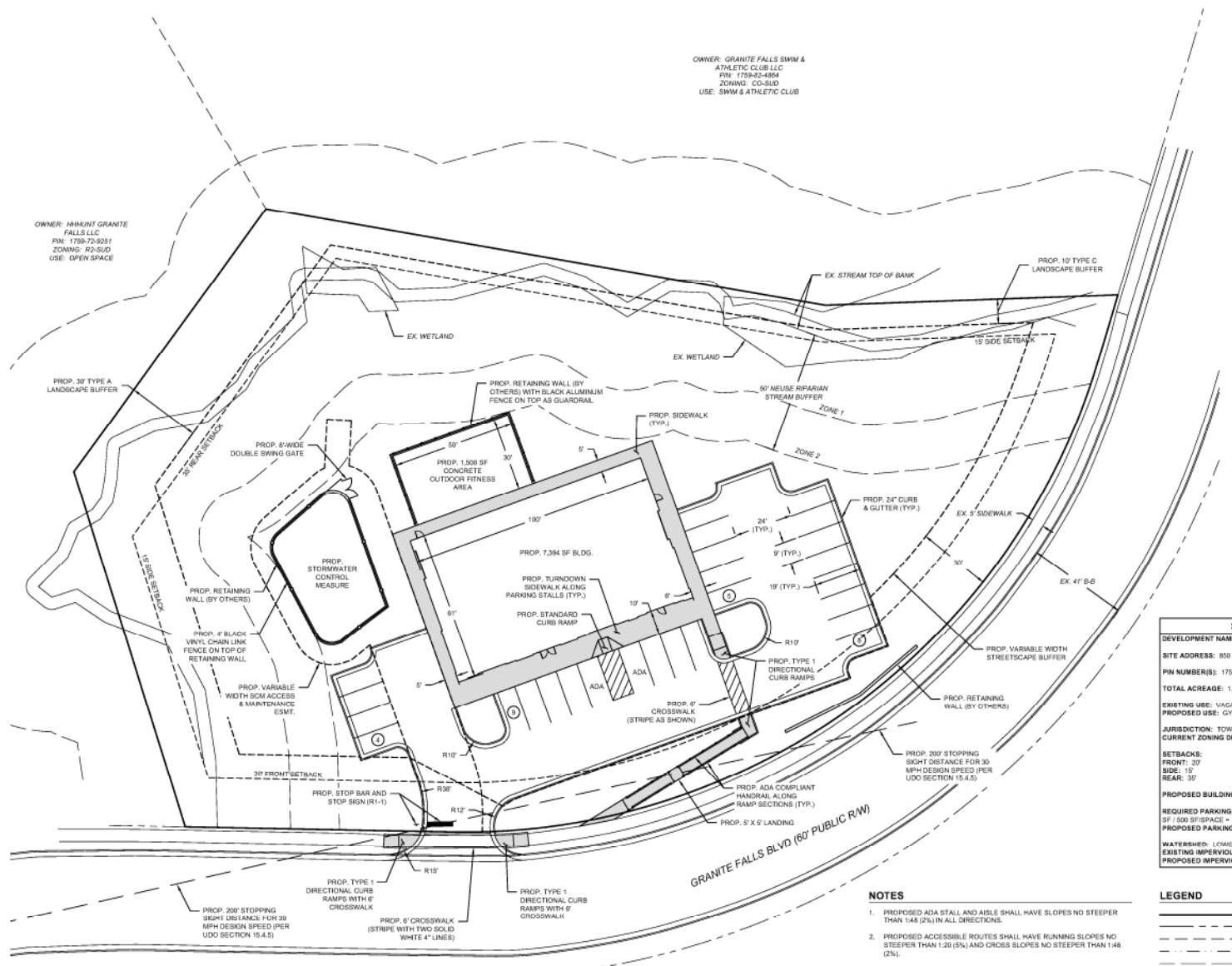
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APPROVED BY:	FLM
PROJECT NO.:	19036

SITE PLAN

C-4
SHEET 4 OF 18

OWNER: GRANITE FALLS SWM & ATHLETIC CLUB LLC
PIN: 1759-02-2247
ZONING: CO-SUD
USE: SWM & ATHLETIC CLUB

OWNER: HINKINT GRANITE FALLS LLC
PIN: 1759-72-9251
ZONING: RD-SUD
USE: OPEN SPACE



SUMMARY INFORMATION

DEVELOPMENT NAME: ROLESVILLE CROSSFIT
 SITE ADDRESS: 850 GRANITE FALLS BLVD, ROLESVILLE, NC 27571
 PIN NUMBER(S): 1759-02-2247
 TOTAL ACREAGE: 1.78 AC
 EXISTING USE: VACANT
 PROPOSED USE: GYM
 JURISDICTION: TOWN OF ROLESVILLE
 CURRENT ZONING DISTRICT: CO-SUD

SETBACKS:
 FRONT: 30'
 SIDE: 10'
 REAR: 30'

PROPOSED BUILDING AREA: 7,394 SF
 REQUIRED PARKING: 1 SPACE PER 500 SF (LOW GENERATOR RETAIL) = 7,394 SF / 500 SF SPACE = 15 SPACES
 PROPOSED PARKING: 28 SPACES (2 ADA, 2 VAN ACCESSIBLE)

WATERSHED: LOWER NEUSE RIVER
 EXISTING IMPERVIOUS AREA: 0 SF (0.00 AC) OR 0%
 PROPOSED IMPERVIOUS AREA: 22,658 SF (0.53 AC) OR 29.8%

- NOTES**
- PROPOSED ADA STALL AND AISLE SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%) IN ALL DIRECTIONS.
 - PROPOSED ACCESSIBLE ROUTES SHALL HAVE RUNNING SLOPES NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
 - DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - RADS ARE 9' UNLESS OTHERWISE NOTED.
 - ADA PARKING SIGNS (R7-B & R7-BA) SHALL BE PLACED ON BUILDING IN FRONT OF EACH ADA PARKING STALL.
 - STRIPING FOR PARKING STALLS AND CROSSWALK SHALL BE AS SHOWN.
 - SOLID WASTE COLLECTION SHALL BE BY ROLL-OUT CARTS CONTRACTED PRIVATELY. ROLL-OUT CARTS WILL BE COLLECTED ONSITE AND NOT AT THE ROAD.

LEGEND

---	EX. PROPERTY LINE
---	EX. RIGHT-OF-WAY
---	EX. ADJACENT OWNERS
---	EX. CHANNEL/STREAM
---	EX. STREAM BUFFER
---	PROP. SETBACK LINE
---	PROP. EASEMENT/BUFFER
---	PROP. CHAINLINK FENCE
---	PROP. ADA HANDRAIL/GUARDRAIL

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 NORTH CAROLINA ONE-CALL CENTER
 1-800-632-4949

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OWNER: GRANITE FALLS SWM & ATHLETIC CLUB LLC
 F/W: 1789-72-051
 ZONING: R2-SU2
 USE: SWM & ATHLETIC CLUB

UTILITY NOTES

1. WATER AND SANITARY SEWER SERVICES TO BE COORDINATED WITH THE PLUMBING PLANS.
2. ALL CLEAN-OUTS IN PAVEMENT SHALL BE TRAFFIC-BEARING.
3. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
4. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
5. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
6. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
7. OTHER UTILITIES SUCH AS ELECTRIC AND GAS SHALL BE BY OTHERS.

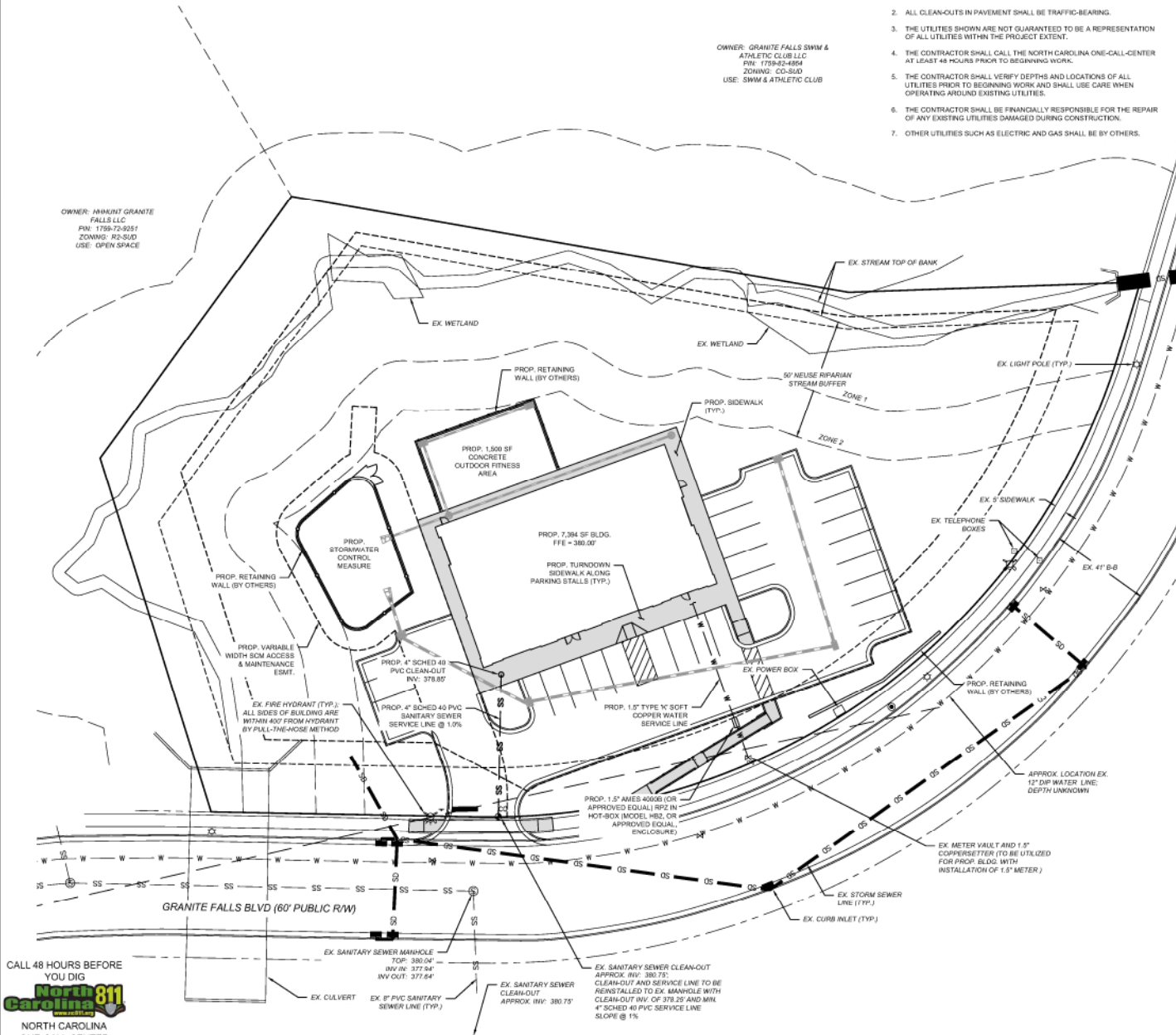
CITY OF RALEIGH UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
 - a. A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IN THE WATER MAIN OR A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DP MATERIALS OR STEEL ENCASUREMENT EXTENDED TO ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DP MATERIALS & A CONCRETE CRADLE HAVING 5" MIN. CLEARANCE (PER CORPUD DETAILS W-1 & S-9).
 - f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
7. INSTALL COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEAN-OUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAWS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWR, USACE & OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND & OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANNE HARTLEY AT (919) 996-5923 OR joanne.hartley@raleighnc.gov FOR MORE INFORMATION.

LEGEND

- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT OWNERS
- EX. CHANNEL/STREAM
- EX. STREAM BUFFER
- EX. WATER LINE
- EX. SANITARY SEWER
- EX. STORM SEWER
- PROP. SETBACK LINE
- PROP. EASEMENT/BUFFER
- PROP. CHAIN LINK FENCE
- PROP. ADA HANDRAIL/GUARDRAIL
- PROP. WATER LINE
- PROP. SANITARY SEWER
- PROP. STORM SEWER

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS



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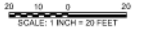


REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR REVIEW
 DO NOT USE FOR CONSTRUCTION



SCALE ADJUSTMENT
 THIS SCALE IS 1"=20 FEET ON ORIGINAL DRAWING
 IF IT IS NOT 1"=20 FEET, ADJUST YOUR SCALE ACCORDINGLY.

SITE PLANS
 ROLESVILLE CROSSFIT
 850 GRANITE FALLS BLVD
 ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-28-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

UTILITY PLAN

C-5
 SHEET 5 OF 19



REVISION HISTORY

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1	TOWN OF ROLESVILLE COMMENTS	1/23/2019	FLM

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SITE PLANS

ROLESVILLE CROSSFIT
850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

MCARN REALTY LLC

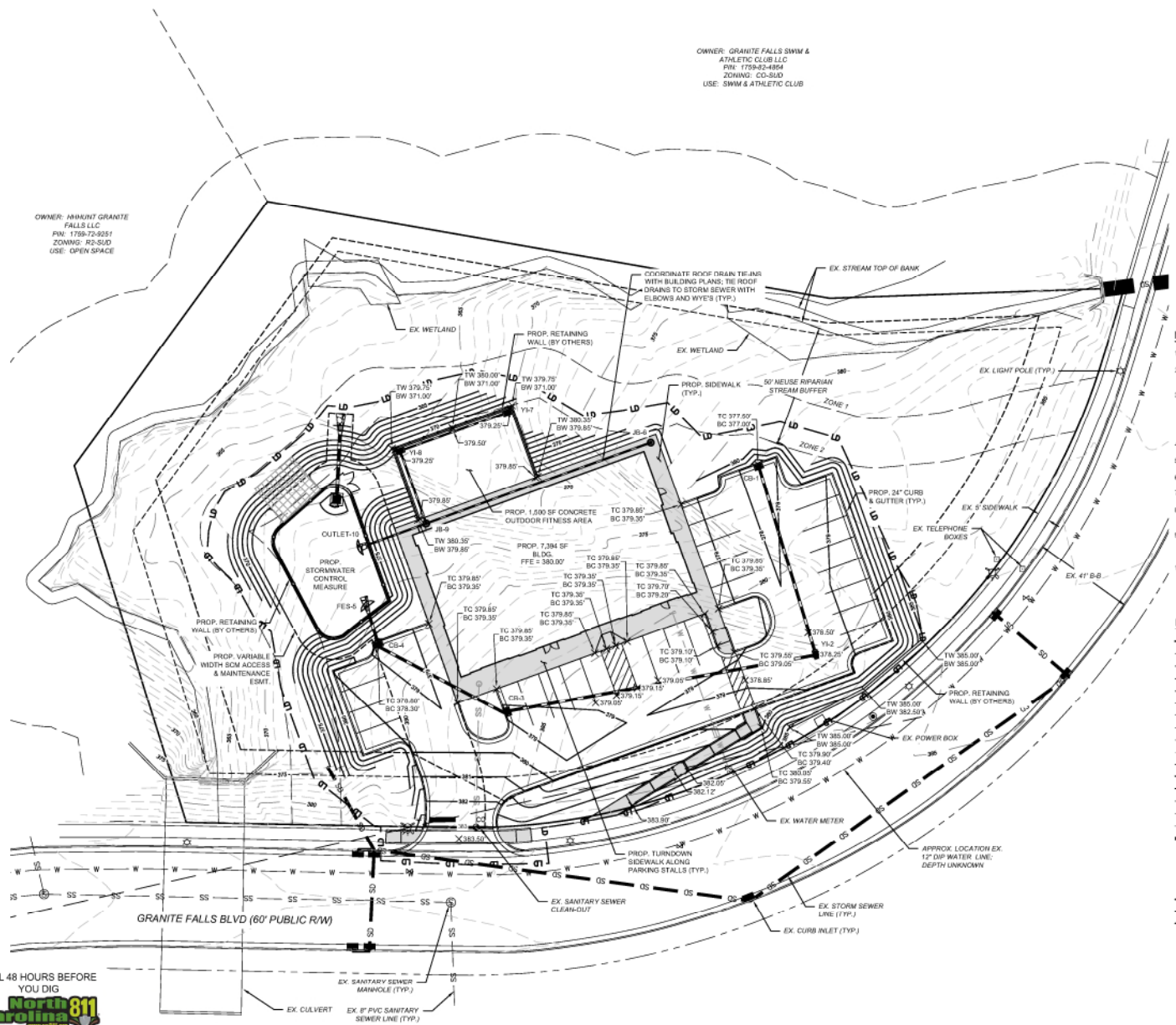
DATE:	10-25-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

GRADING & STORM DRAINAGE PLAN

C-6
SHEET 6 OF 18

OWNER: GRANITE FALLS SWM & ATHLETIC CLUB LLC
FW: 1759-72-9251
ZONING: CO-SUD
USE: SWM & ATHLETIC CLUB

OWNER: ANIKUNT GRANITE FALLS LLC
FW: 1759-72-9251
ZONING: RD-SUD
USE: OPEN SPACE



NOTES

- PROPOSED CONTOURS REPRESENT FINISH GRADES.
- PROPOSED ADA STALL AND ABLE SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%) IN ALL DIRECTIONS.
- PROPOSED ACCESSIBLE ROUTES SHALL HAVE RUNNING SLOPES NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%). PROPOSED ACCESSIBLE RAMP SECTIONS SHALL HAVE RUNNING SLOPES NO STEEPER THAN 1:12 (8.33%) AND CROSS SLOPES TO STEEPER THAN 1:48 (2%) WITH LANDINGS EVERY 2.0' OF ELEVATION CHANGE.
- SLOPES ARE 2H:1V UNLESS OTHERWISE NOTED.
- RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS.
- SEE SHEET C-2 FOR PIPE TABLE.
- ALL HOPE SHALL BE DOUBLE WALL.
- ALL HOPE PIPE AND ROOF DRAIN CONNECTIONS SHALL MEET NC PLUMBING CODE CHAPTER 11 STORM DRAINAGE, LATEST EDITION.
- JUNCTION BOXES JB-4 AND JB-9 SHALL BE ADS NYLOPLAST 24" DRAM BASINS, OR APPROVED EQUAL, WITH SOLID COVER AND CONCRETE POURED IN BOTTOM TO ELIMINATE SLUMP.
- YARD INLETS Y1-7 AND Y18 SHALL BE ADS NYLOPLAST 31" DRAM BASINS, OR APPROVED EQUAL, WITH 24" DROP-IN GRATE AND CONCRETE POURED IN BOTTOM TO ELIMINATE SLUMP.

LEGEND

- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT OWNERS
- EX. CHANNEL/STREAM
- EX. STREAM BUFFER
- W — W EX. WATER LINE
- SS — SS EX. SANITARY SEWER
- SD — SD EX. STORM SEWER
- -325 — EX. MAJOR CONTOUR (5')
- -325 — EX. MINOR CONTOUR (1')
- PROP. SETBACK LINE
- PROP. EASEMENT/BUFFER
- PROP. CHAINLINK FENCE
- PROP. ADA HANDRAIL/GUARDRAIL
- W — W PROP. WATER LINE
- SS — SS PROP. SANITARY SEWER
- PROP. STORM SEWER
- PROP. CURB INLET (CB)
- PROP. YARD INLET
- PROP. FLARED END SECTION
- PROP. JUNCTION BOX
- PROP. LIMIT OF DISTURBANCE
- PROP. MAJOR CONTOUR (5')
- PROP. MINOR CONTOUR (1')
- X TC TOP OF CURB ELEVATION
- X BC BOTTOM OF CURB ELEVATION
- X TW TOP OF WALL ELEVATION
- X BW BOTTOM OF WALL ELEVATION
- X ELEV SPOT ELEVATION

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NOTES

- THE WETLAND MUST BE STABILIZED WITH IN 14 DAYS OF CONSTRUCTION. VEGETATION SHALL BE RESEEDING AND PLANTING SHALL BE COMPLETED WITHIN 30 DAYS OF CONSTRUCTION. PLANTS MAY NEED TO BE WATERED DURING THIS TIME IF THE WEATHER IS DRY. PLANTING SHALL BE COMPLETED BY THE SAME DAY. STABILIZATION MAY BE IN THE FORM OF FINAL VEGETATION PLANTING OR A TEMPORARY MEANS. THE VEGETATION BECOMES ESTABLISHED IF USING A TEMPORARY MEANS. CONTRACTOR SHALL PROVIDE A WET HYDROSEED MIX. CONTRACTOR SHALL SCARIFY THE SOIL TO A MINIMUM OF 1.0 INCH PRIOR TO HYDROSEEDING.
- INLET AND OUTLET CHANNELS SHALL BE PROTECTED FROM SCOUR THAT MAY OCCUR DURING PERIODS OF HIGH FLOW. STANDARD EROSION CONTROL MEASURES SHOULD BE USED.
- THE STORMWATER WETLAND SHOULD BE STAKED AT THE ONSET OF THE PLANTING SEASON. WATER DEPTH IN THE WETLAND SHOULD BE MEASURED TO CORRELATE THE ORIGINAL PLANTING ZONES. AT THIS TIME, IT MAY BE NECESSARY TO MODIFY THE PLANTING PLAN TO REFLECT ALTERED DEPTHS OR THE AVAILABILITY OF WETLAND PLANT STOCK. CONTRACTOR SHALL COORDINATE PLANTING PLANTING ZONES AND WATER DEPTHS WITH THE ENGINEER. SURVEYED PLANTING ZONES SHOULD BE MARKED ON AN AS-BUILT OR RECORD DESIGN PLAN AND LOCATED IN THE FIELD USING STAKES OR FLAG.
- THE WETLAND DRAIN SHOULD BE FULLY OPENED FOR NO MORE THAN 3 DAYS PRIOR TO THE PLANTING DATE. WHICH SHOULD COINCIDE WITH THE DELIVERY DATE FOR THE WETLAND PLANT STOCK TO PRESERVE SOIL MOISTURE AND WORKABILITY.

LEGEND

- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT OWNERS
- EX. CHANNEL/STREAM
- EX. STREAM BUFFER
- EX. MAJOR CONTOUR (5')
- EX. MINOR CONTOUR (1')
- PROP. SETBACK LINE
- PROP. EMBANKMENT/BUFFER
- PROP. STORM SEWER
- PROP. CURB INLET (CB)
- PROP. YARD INLET
- PROP. FLARED END SECTION
- PROP. JUNCTION BOX
- LD LD
- PROP. LIMIT OF DISTURBANCE
- PROP. MAJOR CONTOUR (5')
- PROP. MINOR CONTOUR (1')

- SHALLOW LAND AREA
- SHALLOW WATER AREA
- DEEP POOL AREA

STORMWATER WETLAND MAINTENANCE NOTES

- THE LANDSCAPE PROFESSIONAL MANAGING THE WETLAND MUST UNDERSTAND THE BIOLOGICAL REQUIREMENTS OF THE PLANTS AND MANAGE WATER LEVELS APPROPRIATELY TO PROVIDE FOR THEIR NEEDS.
- ALTHOUGH WETLAND PLANTS REQUIRE WATER FOR GROWTH AND REPRODUCTION, THEY CAN BE KILLED BY DROWNING IN EXCESSIVELY DEEP WATER. USUALLY, INITIAL GROWTH IS BEST WITH TRANSPLANTED PLANTS IN WELLS-CALCULATED SOIL. OCCASIONAL INUNDATION FOLLOWED BY EXPOSURE TO AIR OF THE MAJORITY OF THE VEGETATION ENABLES THE PLANTS TO OBTAIN OXYGEN AND GROW OPTIMALLY. CONVERSELY, FREQUENT SOIL SATURATION IS IMPORTANT FOR WETLAND PLANT SURVIVAL.
- DRAMATIC SHIFTS CAN OCCUR AS PLANT SUCCESSION PROCEEDS. THE PLANT COMMUNITY REFLECTS MANAGEMENT AND CAN INDICATE PROBLEMS OR THE RESULTS OF IMPROVEMENTS. FOR EXAMPLE, A REQUIREMENT OF SUBMERGED AQUATIC PLANTS, SUCH AS PONDWEED (POTAMOGETON SP.), IS LIGHT PENETRATION INTO THE WATER COLUMN. THE DISAPPEARANCE OF THESE PLANTS MAY INDICATE INADEQUATE WATER CLARITY. THE APPEARANCE OF INVASIVE SPECIES OR DEVELOPMENT OF A MONOCULTURE IS ALSO A SIGN OF A PROBLEM WITH THE AQUATIC/SOIL/VEGETATIVE REQUIREMENTS. FOR INSTANCE, MANY INVASIVE SPECIES CAN QUICKLY SPREAD AND TAKE OVER A WETLAND. IF CATTAILS BECOME INVASIVE, THEY CAN BE REMOVED BY A LICENSED AQUATIC PESTICIDE APPLICATOR BY SPRAYING AQUATIC GLYPHOSATE, A SYSTEMIC HERBICIDE, ON THE CATTAILS.
- UNLIKE MAINTENANCE REQUIREMENTS FOR WET OR DRY STORMWATER PONDS, SEDIMENT SHOULD ONLY BE SELECTIVELY REMOVED FROM STORMWATER WETLANDS. PRIMARILY FROM THE FOREBAY. SEDIMENT REMOVAL DISTURBS STABLE VEGETATION COVER AND DISRUPTS FLOWPATHS THROUGH THE WETLAND. THE TOP FEW INCHES OF SEDIMENT SHOULD BE STOCKPILED SO THAT IT CAN BE REPLACED OVER THE SURFACE OF THE WETLAND AFTER THE COMPLETION OF SEDIMENT REMOVAL. TO RE-ESTABLISH THE VEGETATIVE COVER USING ITS OWN SEED BANK. ACCUMULATED SEDIMENT SHOULD BE REMOVED FROM AROUND INLET AND OUTLET STRUCTURES.

OUTLET STRUCTURE NOTES & SPECIFICATIONS

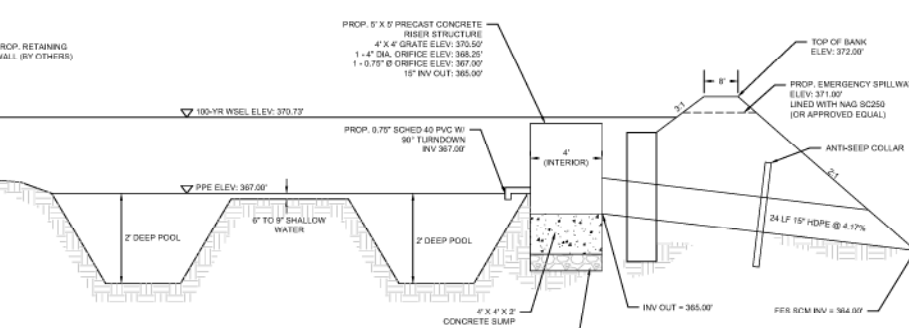
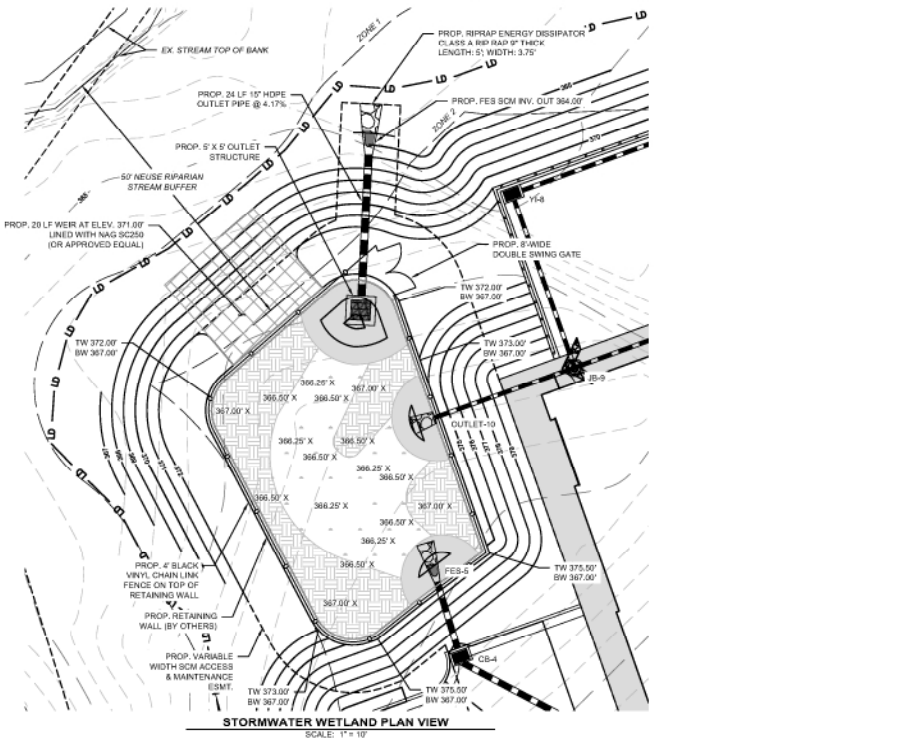
- 18" RCP OUTLET SHALL BE CLASSIFIED MEETING REQUIREMENTS OF ASTM C117. THE PIPE JOINTS SHALL BE MORTAR OR FLEXIBLE PLASTIC TYPE JOINT.
- THE MANHOLE OUTLET RISER SHALL BE 40" OF METAL ASTMA A137. THE MANHOLE JOINTS SHALL BE ANTI-SUCK. RUBBER GASKET JOINTS. MANHOLE JOINTS SHALL BE SECURELY ANCHORED TO PREVENT SEPARATION. CONTRACTOR IS RESPONSIBLE FOR DESIGN OF THE MANHOLE SECTION AND HOISTING SYSTEM.
- WATERPROOF SEAL SHALL BE PROVIDED AT RISER/PIPE INTERFACE. PERFORATED MATERIAL, SUCH AS SAND, GRAVEL, OR CRUSHED STONE SHALL NOT BE USED AS BACKFILL AROUND THE PIPE OR ANTI-SUCK COLLAR. FILL MATERIAL AROUND THE RISER/PIPE INTERFACE SHALL BE PLACED IN 4" LAYERS AND COMPACTED TO THE SAME DENSITY AS THE ADJACENT EMBANKMENT.
- OUTLET STRUCTURE SHALL BE PROVIDED WITH STEPS 1" UP ON CENTER. STEPS SHALL BE IN ACCORDANCE WITH NADOT STD. 840.96.
- CONCRETE ANTI-FLOATATION BLOCK SHALL BE PRECAST DURING FABRICATION IF THE CONCRETE ANTI-FLOATATION BLOCKS CAN'T SEPARATE FROM THE MANHOLE ASSEMBLY THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANCHORING THE ANTI-FLOATATION BLOCK TO THE MANHOLE RISER ASSEMBLY.
- ALL PORTLAND CONCRETE SHALL BE A MINIMUM 3000 PSI (28 DAY) UNLESS OTHERWISE NOTED.
- NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED AROUND EACH JOINT OF THE 18" RCP RISER. IN 2" OF RISER CENTERLINE. JOINT FABRIC SHALL BE AMMOCO STYL 455 POLYPROPYLENE NON-WOVEN NEEDLE PUNCHED OR APPROVED EQUIV. (NON-WOVEN FABRIC).

BERM SPECIFICATIONS

- ALL FILL SOILS FOR BERM SECTION SHALL BE CLEAN, UNPOLLUTED MATERIAL AND COMPACTED TO AT LEAST 90% STANDARD PROCTOR MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT. NO HEAVY MATERIALS SHALL BE USED IN THE EMBANKMENT CONSTRUCTION. SOILS SHALL NOT EXCEED SIGNIFICANT SHrinkswELL OR DISPERSIVE CHARACTERISTICS. THE ON-SITE GEOLOGICAL ENGINEER SHALL APPROVE THE SOILS FOR PLACEMENT WITHIN THE BERM SECTION. THE GEOLOGICAL ENGINEER SHALL ALSO SPECIFY THE METHOD TO BE USED FOR PLACEMENT OF FILL.
- IN ALL FILL AREAS OF THE BERM A SOILS COMPACTION TEST SHALL BE CONDUCTED EACH 1000 SQ. YARD OF FILL.
- A KEY TRENCH IS TO BE PROVIDED IN ALL FILL AREAS. TRENCH TO EXTEND A MINIMUM OF FIVE FEET BELOW EXISTING GRADE. SOILS AND COMPACTION FOR KEY TRENCH SHALL MEET ALL REQUIREMENTS OF IN ABOVE.
- FILL PLACEMENT SHALL NOT EXCEED A MAXIMUM OF 10' LIFTS. EACH LIFT SHALL BE COMPACTED FOR THE ENTIRE EXTENT OF EMBANKMENT. FILL PLACEMENT OF FILL FOR THE BERM SECTION. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND THE SURFACE PROPERLY PREPARED FOR FILL PLACEMENT.
- NO TREES OF ANY TYPE MAY BE LOCATED ON THE BERM SECTION.
- SIDE SLOPES SHALL BE LINED WITH NAG 575 OR APPROVED EQUIV.
- INSTALL ANTI-SUCK COLLAR AT EACH POINT OF OUTLET PIPE. CONCRETE SHALL BE 3000 PSI (28 DAY) AND REINFORCED WITH #4. EACH PIPE SHALL BE MINIMUM BEARING CAPACITY BENEATH COLLAR SHALL BE 2000 PSF.

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STORMWATER WETLAND PLANTING TABLE						
QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING		
SHALLOW WATER PLANTINGS (AREA = 600 SQ. FT.; 50 HERBACEOUS PLANTS PER 200 SQ. FT.; 150 TOTAL PLANTS REQ.)						
30	ACORUS SUBCOORDATUM	SWEETFELDO	4 CU. IN.	2' O.C.		
30	HYDROLEA QUADRIVALVIS	WATERPOD	4 CU. IN.	2' O.C.		
30	IRIS VIRGINICA	BLUE FLAG IRIS	4 CU. IN.	2' O.C.		
30	SAGITTARIA LATIFOLIA	DUCK POTATO	4 CU. IN.	2' O.C.		
30	SALICORNIA PERUVIANA	SEA PINK	4 CU. IN.	2' O.C.		
SHALLOW LAND PLANTINGS (AREA = 745 SQ. FT.; 50 HERBACEOUS PLANTS PER 200 SQ. FT.; 187 TOTAL PLANTS REQ.)						
63	CAREX TENERA	QUILL SEDGE	4 CU. IN.	2' O.C.		
63	HIBISCUS CROCINUS	SCARLET ROSE MALLOW	4 CU. IN.	2' O.C.		
63	LOBELIA ELONGATA	LONGLEAF LOBELIA	4 CU. IN.	2' O.C.		
DEEP POOL						
15	ELEOCHARIS ACICULARIS	NEEDLE SPKERUSH	BARE ROOT	N/A		
15	NYMPHAEA ALBA	YELLOW POND-LILY	BARE ROOT	N/A		



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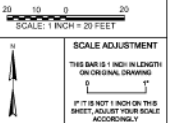


REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

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SITE PLANS
 ROLESVILLE CROSSFIT
 850 GRANITE FALLS BLVD
 ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-28-2019
SCALE:	AS SHOWN
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APPROVED BY:	FLM
PROJECT NO.:	19036

STORMWATER WETLAND DETAILS

C-7
 SHEET 7 OF 18

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

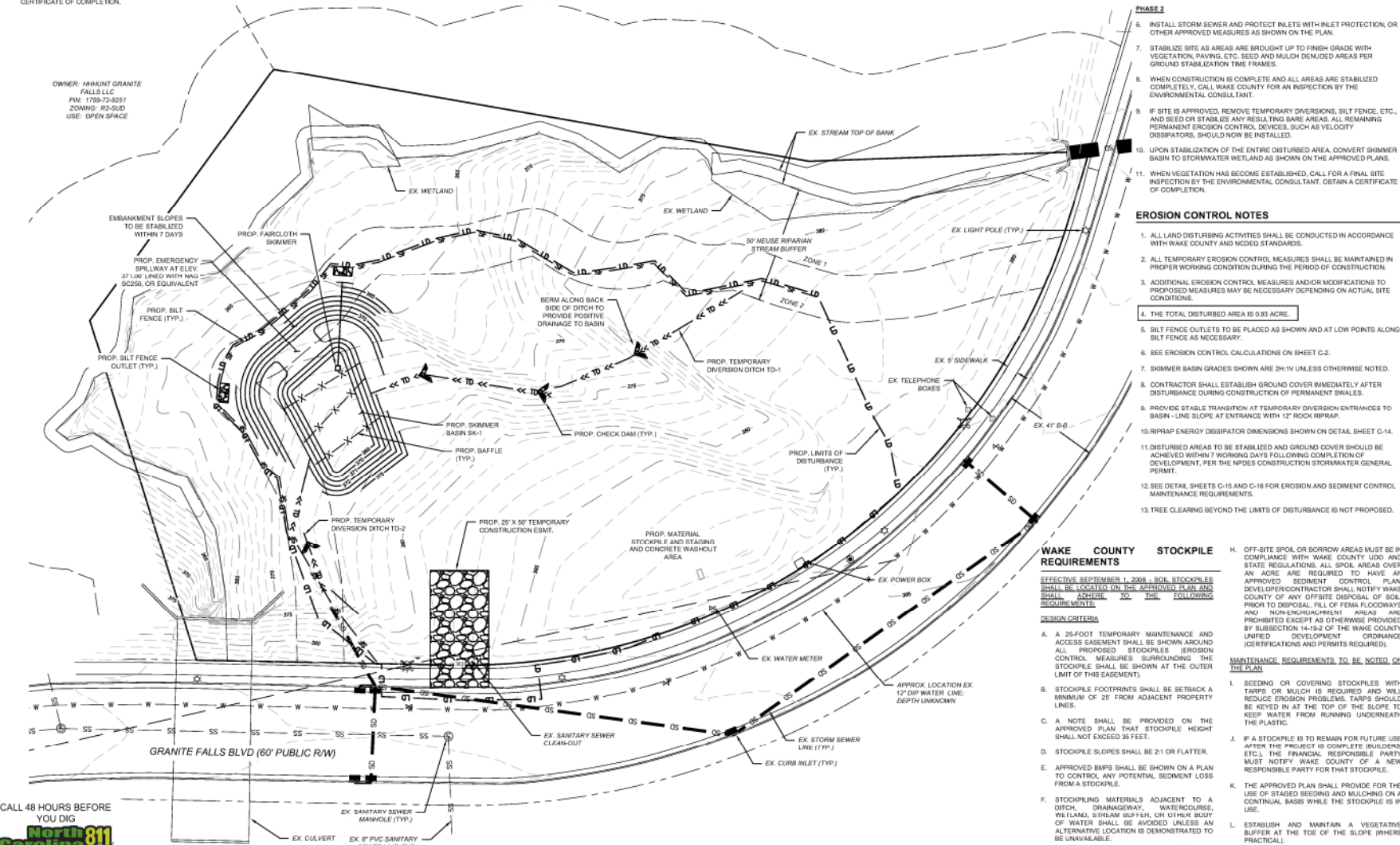
BASIN CONVERSION SEQUENCE:

- SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL ENGINEER / CONSULTANT TO DETERMINE IF A BASIN CAN BE CONVERTED. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO CONVERSION OF THE BASIN.
- DEWATER BASIN(S) VIA SILT BAG. REMOVE ACCUMULATED SEDIMENT. FINE GRADE WETLAND IN PREPARATION FOR PLANTING.
- PERFORM PLANTING PREPARATION. PLANT SEED, MULCH AND ASPHALT TACK ANY REVEALING BARE AREAS IMMEDIATELY.
- INSTALL VELOCITY DISSIPATORS AS REQUIRED ON THE EROSION CONTROL PLAN.
- WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL ENGINEER / CONSULTANT FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVISE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION.

LEGEND

- | | | | |
|-----|------------------------|-----|---------------------------------|
| --- | EX. PROPERTY LINE | --- | PROP. LIMIT OF DISTURBANCE |
| --- | EX. RIGHT-OF-WAY | --- | PROP. MAJOR CONTOUR (5') |
| --- | EX. ADJACENT OWNERS | --- | PROP. MINOR CONTOUR (1') |
| --- | EX. CHANNEL/STREAM | --- | PROP. SILT FENCE |
| --- | EX. SHREAM BUFFER | --- | PROP. FAIRCLOTH SKIMMER |
| --- | EX. WATER LINE | --- | PROP. SLOPE PROTECTION |
| --- | EX. SANITARY SEWER | --- | PROP. CONSTRUCTION ENTRANCE |
| --- | EX. STORM SEWER | --- | PROP. SILT FENCE OUTLET |
| --- | EX. MAJOR CONTOUR (5') | --- | PROP. TEMPORARY DIVERSION DITCH |
| --- | EX. MINOR CONTOUR (1') | --- | PROP. BAFFLE |

OWNER: GRANITE FALLS SWIM & ATHLETIC CLUB LLC
 P.O. 1799-72-9551
 ZONING: CO-SUD
 USE: SWIM & ATHLETIC CLUB



WAKE COUNTY CONSTRUCTION SEQUENCE

- SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT. OBTAIN A LAND-DISTURBING PERMIT.
- INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SKIMMER SEDIMENT BASIN OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS AND BASIN IMMEDIATELY AFTER CONSTRUCTION.
- CALL WAKE COUNTY FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
- BEGIN ROUGH GRADING.
- INSTALL STORM SEWER AND PROTECT INLETS WITH INLET PROTECTION, OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, ETC. SEED AND MULCH EXPOSED AREAS PER GROUND STABILIZATION TIME FRAMES.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL WAKE COUNTY FOR AN INSPECTION BY THE ENVIRONMENTAL CONSULTANT.
- IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, ETC., AND SEED OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
- UPON STABILIZATION OF THE ENTIRE DISTURBED AREA, CONVERT SKIMMER BASIN TO STORMWATER WETLAND AS SHOWN ON THE APPROVED PLANS.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.

EROSION CONTROL NOTES

- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH WAKE COUNTY AND NCDEQ STANDARDS.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED IN PROPER WORKING CONDITION DURING THE PERIOD OF CONSTRUCTION.
- ADDITIONAL EROSION CONTROL MEASURES AND/OR MODIFICATIONS TO PROPOSED MEASURES MAY BE NECESSARY DEPENDING ON ACTUAL SITE CONDITIONS.
- THE TOTAL DISTURBED AREA IS 9.93 ACRES.
- SILT FENCE OUTLETS TO BE PLACED AS SHOWN AND AT LOW POINTS ALONG SILT FENCE AS NECESSARY.
- SEE EROSION CONTROL CALCULATIONS ON SHEET C-2.
- SKIMMER BASIN GRADES SHOWN ARE 2H:1V UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ESTABLISH GROUND COVER IMMEDIATELY AFTER DISTURBANCE DURING CONSTRUCTION OF PERMANENT SWALES.
- PROVIDE STABLE TRANSITION AT TEMPORARY DIVERSION ENTRANCES TO BASIN - LINE SLOPE AT ENTRANCE WITH 12" ROCK RIPRAP.
- RECAP ENERGY DISSIPATOR DIMENSIONS SHOWN ON DETAIL SHEET C-14.
- DISTURBED AREAS TO BE STABILIZED AND GROUND COVER SHOULD BE ACHIEVED WITHIN 7 WORKING DAYS FOLLOWING COMPLETION OF DEVELOPMENT, PER THE WAKE COUNTY CONSTRUCTION STORMWATER GENERAL PERMIT.
- SEE DETAIL SHEETS C-15 AND C-16 FOR EROSION AND SEDIMENT CONTROL MAINTENANCE REQUIREMENTS.
- TREE CLEARING BEYOND THE LIMITS OF DISTURBANCE IS NOT PROPOSED.

WAKE COUNTY STOCKPILE REQUIREMENTS

- EFFECTIVE SEPTEMBER 1, 2008 - SOIL STOCKPILES SHALL BE LOCATED ON THE APPROVED PLAN AND SHALL ADHERE TO THE FOLLOWING REQUIREMENTS:
- DESIGN CRITERIA**
- A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL BE SHOWN AROUND ALL PROPOSED STOCKPILES (EROSION CONTROL MEASURES SURROUNDING THE STOCKPILE SHALL BE SHOWN AT THE OUTER LIMIT OF THIS EASEMENT).
 - STOCKPILE FOOTPRINTS SHALL BE SETBACK A MINIMUM OF 25' FROM ADJACENT PROPERTY LINES.
 - A NOTE SHALL BE PROVIDED ON THE APPROVED PLAN THAT STOCKPILE HEIGHT SHALL NOT EXCEED 35 FEET.
 - STOCKPILE SLOPES SHALL BE 2:1 OR FLATTER.
 - APPROVED BMPs SHALL BE SHOWN ON A PLAN TO CONTROL ANY POTENTIAL SEDIMENT LOSS FROM A STOCKPILE.
 - STOCKPILING MATERIALS ADJACENT TO A DITCH, DRAINAGEWAY, WATER COURSE, WETLAND, STREAM BUFFER, OR OTHER BODY OF WATER SHALL BE AVOIDED UNLESS AN ALTERNATIVE LOCATION IS DEMONSTRATED TO BE UNAVAILABLE.
 - ANY CONCENTRATED FLOW LIKELY TO AFFECT THE STOCKPILE SHALL BE DIVERTED TO AN APPROVED BMP.

- OFF-SITE SPOIL OR BORROW AREAS MUST BE IN COMPLIANCE WITH WAKE COUNTY LDD AND STATE REGULATIONS. ALL SPOIL AREAS OVER AN ACRE ARE REQUIRED TO HAVE AN APPROVED SEDIMENT CONTROL PLAN. DEVELOPER/CONTRACTOR SHALL NOTIFY WAKE COUNTY OF ANY OFFSITE DISPOSAL OF SOIL, PRIOR TO DISPOSAL, FILL OF FEMA FLOODWAYS AND NON-ENHANCEMENT AREAS ARE PROHIBITED EXCEPT AS OTHERWISE PROVIDED BY SUBSECTION 14-192 OF THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE (CERTIFICATIONS AND PERMITS REQUIRED).
- MAINTENANCE REQUIREMENTS TO BE NOTED ON THE PLAN**
- SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEPT IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
- IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDINGS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
- THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
- ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).

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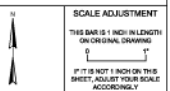
REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR REVIEW
 DO NOT USE FOR CONSTRUCTION

SCALE: 1" = 20 FEET



SITE PLANS

ROLESVILLE CROSSFIT
 850 GRANITE FALLS BLVD
 ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-29-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

EROSION & SEDIMENT CONTROL PLAN - PHASE 1

C-8
 SHEET 8 OF 19

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BASIN CONVERSION SEQUENCE:

- SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL ENGINEER / CONSULTANT TO DETERMINE IF A BASIN CAN BE CONVERTED. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO CONVERSION OF THE BASIN.
- DEWATER BASINS VIA SILT BAGS. REMOVE ACCUMULATED SEDIMENT. FINE GRADE WETLAND IN PREPARATION FOR PLANTING.
- PERFORM PLANTING PREPARATION, PLANT/SEED, MULCH AND ASPHALT TACK ANY RESULTING BARE AREAS IMMEDIATELY.
- INSTALL VELOCITY DISSIPATORS AS REQUIRED ON THE EROSION CONTROL PLAN.
- WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL ENGINEER / CONSULTANT FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVISE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION.

LEGEND

- | | | | |
|-------|------------------------|-----|------------------------------|
| --- | EX. PROPERTY LINE | --- | PROP. RETRACK LINE |
| --- | EX. RIGHT-OF-WAY | --- | PROP. EASEMENT/BUFFER |
| --- | EX. ADJACENT OWNERS | --- | PROP. CHAINLINK FENCE |
| --- | EX. CHANNEL/STREAM | --- | PROP. ADA HANDRAIL/GUARDRAIL |
| --- | EX. STREAM BUFFER | --- | PROP. WATER LINE |
| W W | EX. WATER LINE | --- | PROP. SANITARY SEWER |
| SS SS | EX. SANITARY SEWER | --- | PROP. STORM SEWER |
| SD SD | EX. STORM SEWER | --- | PROP. CURB INLET (CBI) |
| --- | EX. MAJOR CONTOUR (5') | --- | PROP. YARD INLET |
| --- | EX. MINOR CONTOUR (1') | --- | PROP. FLARED END SECTION |
| | | --- | PROP. JUNCTION BOX |
| | | --- | PROP. LIMIT OF DISTURBANCE |
| | | --- | PROP. MAJOR CONTOUR (5') |
| | | --- | PROP. MINOR CONTOUR (1') |
| | | --- | PROP. SILT FENCE |
| | | --- | PROP. FAIRCLOTH SKIMMER |
| | | --- | PROP. SLOPE PROTECTION |
| | | --- | PROP. CONSTRUCTION ENTRANCE |
| | | --- | PROP. SILT FENCE OUTLET |
| | | --- | PROP. INLET PROTECTION |
| | | --- | PROP. BAFFLE |

OWNER: GRANITE FALLS SWIM & ATHLETIC CLUB LLC
 P.O. 1798-02-0104
 ZONING: CC-SUD
 USE: SWIM & ATHLETIC CLUB

WAKE COUNTY CONSTRUCTION SEQUENCE

- SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT. OBTAIN A LAND-DISTURBING PERMIT.
- INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SKIMMER SEDIMENT BASIN OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. REED TEMPORARY DIVERSIONS AND BASIN IMMEDIATELY AFTER CONSTRUCTION.
- CALL WAKE COUNTY FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
- BEGIN ROUGH GRADING.
- INSTALL STORM SEWER AND PROTECT INLETS WITH INLET PROTECTION, OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, ETC. SEED AND MULCH DESIGNATED AREAS PER GROUND STABILIZATION TIME FRAMES.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL WAKE COUNTY FOR AN INSPECTION BY THE ENVIRONMENTAL CONSULTANT.
- IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, ETC., AND SEED OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
- UPON STABILIZATION OF THE ENTIRE DISTURBED AREA, CONVERT SKIMMER BASIN TO STORMWATER WETLAND AS SHOWN ON THE APPROVED PLANS.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.

EROSION CONTROL NOTES

- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH WAKE COUNTY AND NCDDE STANDARDS.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED IN PROPER WORKING CONDITION DURING THE PERIOD OF CONSTRUCTION.
- ADDITIONAL EROSION CONTROL MEASURES AND/OR MODIFICATIONS TO PROPOSED MEASURES MAY BE NECESSARY DEPENDING ON ACTUAL SITE CONDITIONS.
- THE TOTAL DISTURBED AREA IS 9.93 ACRE.
- SILT FENCE OUTLETS TO BE PLACED AS SHOWN AND AT LOW POINTS ALONG SILT FENCE AS NECESSARY.
- SEE EROSION CONTROL CALCULATIONS ON SHEET C-2.
- SKIMMER BASIN GRADES SHOWN ARE 2H:1V UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ESTABLISH GROUND COVER IMMEDIATELY AFTER DISTURBANCE DURING CONSTRUCTION OF PERMANENT SWALES.
- PROVIDE STABLE TRANSITION AT TEMPORARY DIVERSION ENTRANCES TO BASIN - LINE SLOPE AT ENTRANCE WITH 12" ROCK RIPRAP.
- RE/RAP ENERGY DISSIPATOR DIMENSIONS SHOWN ON DETAIL SHEET C-14.
- DISTURBED AREAS TO BE STABILIZED AND GROUND COVER SHOULD BE ACHIEVED WITHIN 7 WORKING DAYS FOLLOWING COMPLETION OF DEVELOPMENT, PER THE WAKE COUNTY CONSTRUCTION STORMWATER GENERAL PERMIT.
- SEE DETAIL SHEETS C-15 AND C-16 FOR EROSION AND SEDIMENT CONTROL MAINTENANCE REQUIREMENTS.
- TREE CLEARING BEYOND THE LIMITS OF DISTURBANCE IS NOT PROPOSED.

WAKE COUNTY STOCKPILE REQUIREMENTS

EFFECTIVE SEPTEMBER 1, 2008 - SOIL STOCKPILES SHALL BE LOCATED ON THE APPROVED PLAN AND SHALL ADHERE TO THE FOLLOWING REQUIREMENTS:

DESIGN CRITERIA

- A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL BE SHOWN AROUND ALL PROPOSED STOCKPILES (EROSION CONTROL MEASURES SURROUNDING THE STOCKPILE SHALL BE SHOWN AT THE OUTER LIMIT OF THIS EASEMENT).
- STOCKPILE FOOTPRINTS SHALL BE SETBACK A MINIMUM OF 25' FROM ADJACENT PROPERTY LINES.
- A NOTE SHALL BE PROVIDED ON THE APPROVED PLAN THAT STOCKPILE HEIGHT SHALL NOT EXCEED 35 FEET.
- STOCKPILE SLOPES SHALL BE 2:1 OR FLATTER.
- APPROVED BMPs SHALL BE SHOWN ON A PLAN TO CONTROL ANY POTENTIAL SEDIMENT LOSS FROM A STOCKPILE.
- STOCKPILING MATERIALS ADJACENT TO A DITCH, DRAINAGEWAY, WATER COURSE, WETLAND, STREAM BUFFER, OR OTHER BODY OF WATER SHALL BE AVOIDED UNLESS AN ALTERNATIVE LOCATION IS DEMONSTRATED TO BE UNAVAILABLE.
- ANY CONCENTRATED FLOW LIKELY TO AFFECT THE STOCKPILE SHALL BE DIVERTED TO AN APPROVED BMP.

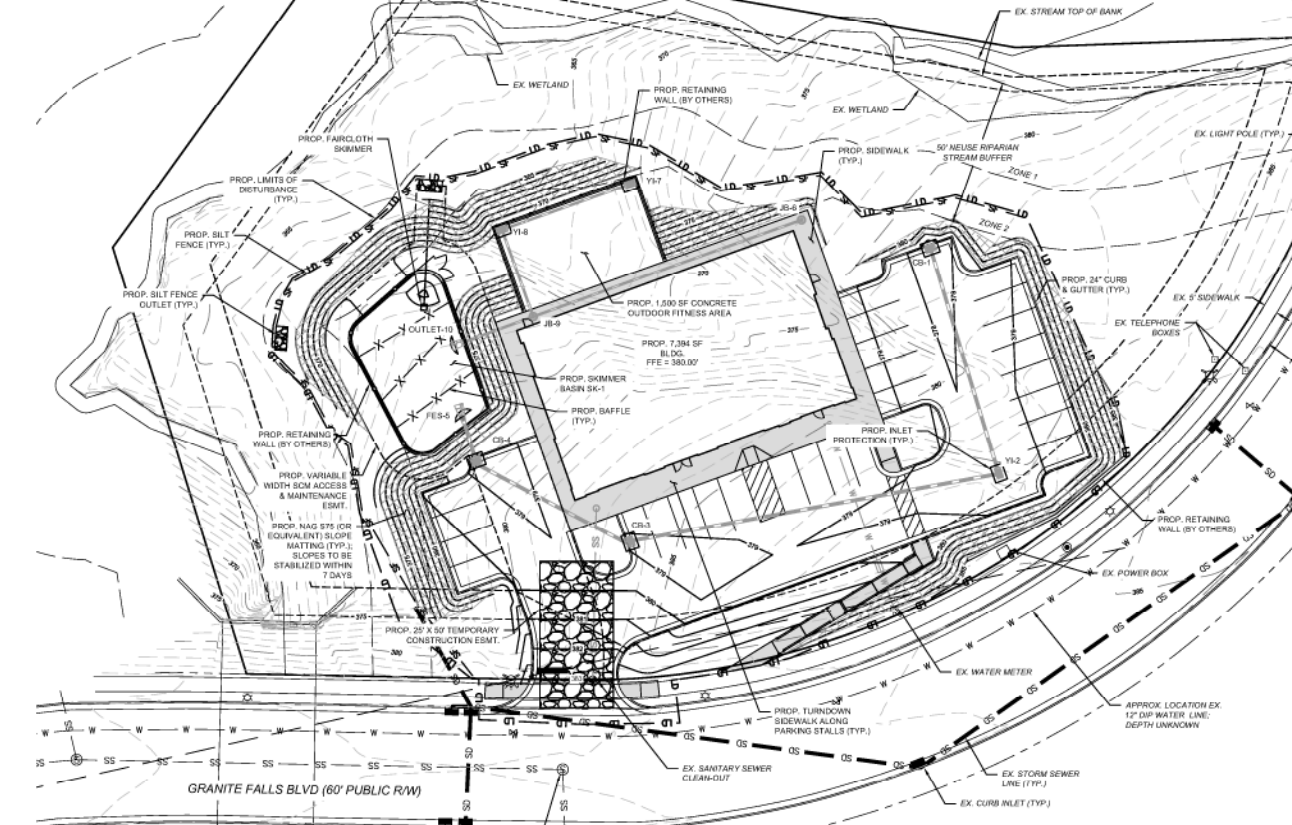
- OFF-SITE SPOIL OR BORROW AREAS MUST BE IN COMPLIANCE WITH WAKE COUNTY LDD AND STATE REGULATIONS. ALL SPOIL AREAS OVER AN ACRE ARE REQUIRED TO HAVE AN APPROVED SEDIMENT CONTROL PLAN. DEVELOPER/CONTRACTOR SHALL NOTIFY WAKE COUNTY OF ANY OFFSITE DISPOSAL OF SOIL, PRIOR TO DISPOSAL, FILL OR FEMA FLOODWAYS AND NEIGHBORHOOD AREAS ARE PROHIBITED EXCEPT AS OTHERWISE PROVIDED BY SUBSECTION 14-192 OF THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE (CERTIFICATIONS AND PERMITS REQUIRED).

MAINTENANCE REQUIREMENTS TO BE NOTED ON THE PLAN

- SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEPT IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
- IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDINGS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
- THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
- ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

OWNER: HINKLEY GRANITE FALLS LLC
 P.O. 1798-72-0051
 ZONING: RD-SUD
 USE: OPEN SPACE



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 FIRM NO. LICENSE NUMBER C-4222



REVISION HISTORY

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1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

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SCALE: 1" = 20 FEET



SITE PLANS

ROLESVILLE CROSSBIT
 850 GRANITE FALLS BLVD
 ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-25-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

EROSION & SEDIMENT CONTROL PLAN - PHASE 2

C-9

SHEET 9 OF 19

PLANT LIST					
REV	SCIENTIFIC NAME	COMMON NAME	QUAN	CAL	HT
CANOPY TREES					
LM	ULMUS PARVIFOLIA	CHINESE ELM	5	2.6"	10'
QR	QUERCUS RUBRA	RED OAK	4	2.6"	10'
UNDERSTORY TREES					
CF	CORNUS FLORIDA	NATIVE DOGWOOD	9	1.0"	8'
CC	CERISIA CANADENSIS	REDBUD	9	1.0"	8'
SHRUBS					
IC	ILEX CORNUTA	CARISSA HOLLY	80	3 GAL.	24"

OWNER: GRANITE FALLS SWIM & ATHLETIC CLUB LLC
 PIN: 1759-82-4084
 ZONING: CO-SUD
 USE: SWIM & ATHLETIC CLUB

OWNER: HIKKUNT GRANITE FALLS LLC
 PIN: 1759-72-9251
 ZONING: RD-SUD
 USE: OPEN SPACE

LANDSCAPING REQUIREMENTS

- VEHICULAR USE AREAS ONLY:**
- NO PORTION OF THE VOA SHALL BE FURTHER THAN 80' FROM THE TRUNK OF A LARGE TREE
 - ALL VIAS MUST BE SCREENED FROM THE OFF-SITE VIEW WITH A CONTINUOUS EVERGREEN HEDGE
- STREETSCAPE:**
- ONE (1) CANOPY TREE AND TWO (2) UNDERSTORY TREES PER 40 LF OF FRONTAGE
 - 325 LF OF FRONTAGE TO BE REVEGETATED - 8 CANOPY TREES AND 16 UNDERSTORY TREES REQUIRED
 - 8 CANOPY TREES AND 16 UNDERSTORY TREES PROVIDED

LEGEND

- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT OWNERS
- EX. CHANNEL/STREAM
- EX. STREAM BUFFER
- W W EX. WATER LINE
- SS SS EX. SANITARY SEWER
- SD SD EX. STORM SEWER
- EX. TREE LINE
- PROP. SETBACK LINE
- PROP. EASEMENT/BUFFER
- PROP. ADA HANDRAIL/GUARDRAIL
- PROP. WATER LINE
- PROP. SANITARY SEWER
- PROP. STORM SEWER
- PROP. TREE LINE
- PROP. CANOPY TREE (LM)
- PROP. CANOPY TREE (QR)
- PROP. UNDERSTORY TREE (CF)
- PROP. UNDERSTORY TREE (CC)
- PROP. EVERGREEN SHRUB (IC)
- PROP. SITE LIGHTING LUMINAIRE

NOTES

- ALL NEW PLANTINGS SHALL MEET THE REQUIREMENTS OF THE TOWN OF ROLESVILLE LIMITED DEVELOPMENT ORDINANCE (LDO) ARTICLE 14, LANDSCAPE AND APPEARANCE STANDARDS.
- ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE GRADED AND SEED/AS AS INDICATED IN SPECIFICATIONS.
- ALL TREE PLANTINGS SHALL BE MULCHED WITH 4" CLEAN, PINE STRAW MULCH.
- ALL PLANT BEDS TO BE EDGED WITH TYPICAL "V"-CHANNEL EDGE.
- A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
- CONTRACTOR TO UTILIZE ALL ON-SITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THIS PROJECT.
- ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH 75 SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONERS SHALL BE PULVERIZED PINE BARK, PEAT MOSS OR SHREDDED COMPOSTED LEAVES.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
- CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
- ALL PLANTS ARE TO BE THOROUGHLY WATERED IN THE SAME DAY AS PLANTED.
- THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
- REMOVE ALL STRAPPING AND TWINE FROM ROOT BALL. REMOVE WIRE BASKET AND BURLAP FROM TOP 10' OF ROOT BALL BEFORE BACKFILL AROUND BALL IS COMPLETED.
- ALL TREES WHICH ARE SMOOTH BARKED AT THE TIME OF PLANTING AND HAVE MORE THAN 2" OF ALL TREE WRAPPING SHALL EXTEND FROM THE TOP OF THE BACKFILL TO THE LOWEST SET TREE BRANCHES.
- ALL TREES, WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
- LANDSCAPING SHOWN MEETS QUANTITY REQUIREMENTS. ALL INSTALLATION AND MAINTENANCE SHALL BE PER TOWN OF ROLESVILLE LDO.
- ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
- ALL TREES SHALL BE LOCATED A MINIMUM OF 15' FROM SITE LIGHTING LUMINAIRES.
- TREE CLEARING BEYOND THE LIMITS OF DISTURBANCE IS NOT PROPOSED.
- WHERE PROPOSED VEGETATION IS NOT SHOWN IN BUFFER AREAS, EXISTING VEGETATION SHALL REMAIN AND SHALL BE USED TO MEET BUFFER PLANTING REQUIREMENTS. IF, UPON INSPECTION BY THE TOWN OF ROLESVILLE, THE EXISTING VEGETATION DOES NOT MEET THE BUFFER PLANTING REQUIREMENTS, ADDITIONAL VEGETATION SHALL BE PLANTED TO MEET THE REQUIREMENTS.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS



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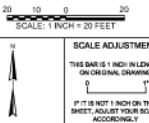


REVISION HISTORY

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1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

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SITE PLANS

ROLESVILLE CROSSFIT
 850 GRANITE FALLS BLVD
 ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-25-2019
SCALE:	AS SHOWN
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PROJECT NO.:	19036

LANDSCAPING PLAN

C-10
 SHEET 10 OF 18

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LUMINAIRE SCHEDULE				
SYMBOL	DESCRIPTION*	LAMP	HEIGHT (FT)**	QUANTITY
—	AMERICAN ELECTRIC® (1) AT82 SERIES 91W LED 700MA	(1) LED	18	4
D	WSR LED ARCHITECTURAL WALL SCOOGE	(1) LED	14	5

CALCULATION SUMMARY				
PARKING AREAS	AVERAGE	MAX	MIN	AVG/WM
	2.18	5.01	0.62	3.52

LEGEND

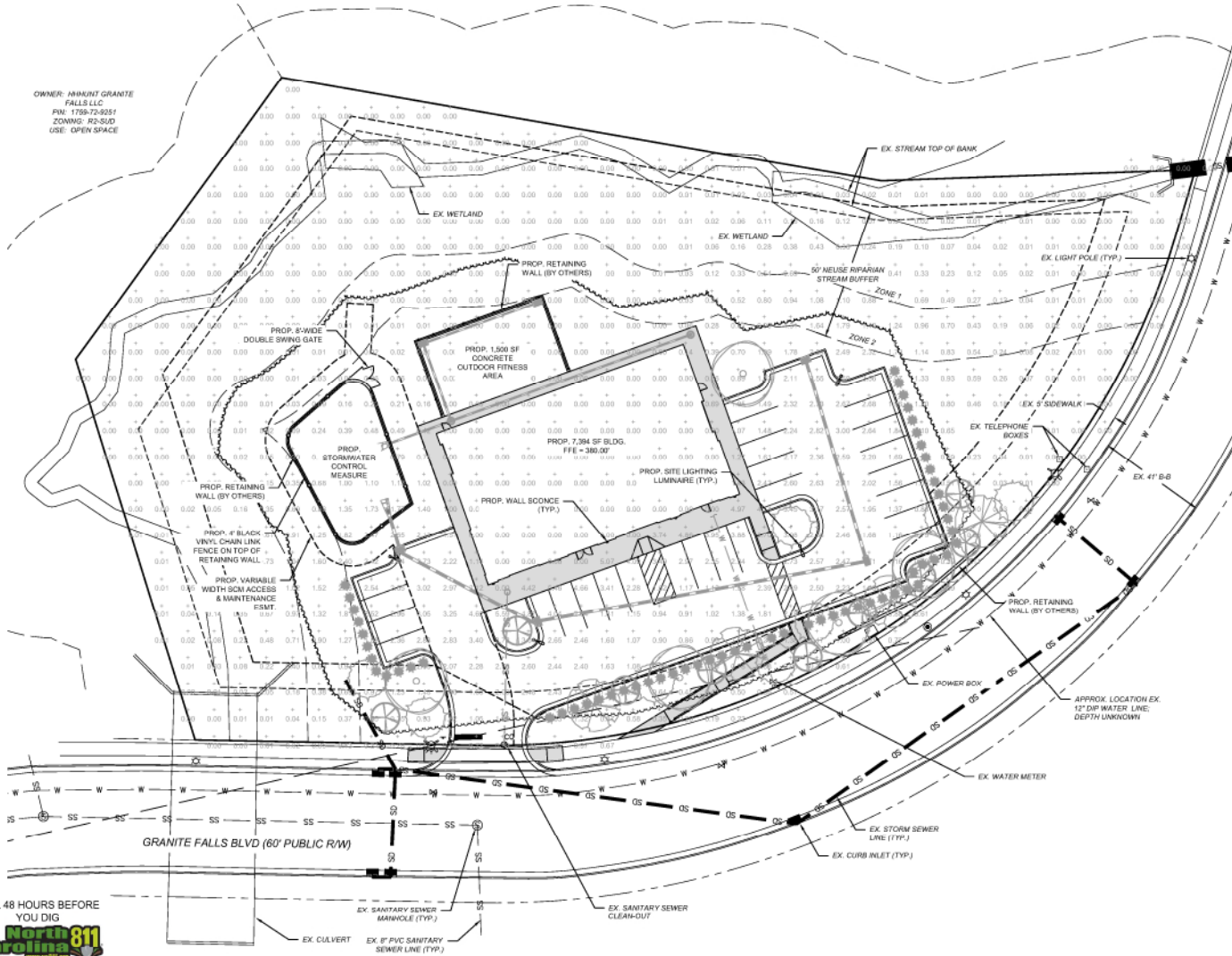
---	EX. PROPERTY LINE
---	EX. RIGHT-OF-WAY
---	EX. ADJACENT OWNERS
---	EX. CHANNEL/STREAM
---	EX. STREAM BUFFER
---	EX. WATER LINE
SS	EX. SANITARY SEWER
SD	EX. STORM SEWER
---	PROP. SETBACK LINE
---	PROP. EASEMENT/BUFFER
---	PROP. CHAINLINK FENCE
---	PROP. ADA HANDRAIL/GUARDRAIL
---	PROP. WATER LINE
SS	PROP. SANITARY SEWER
SD	PROP. STORM SEWER
---	PROP. SITE LIGHTING LUMINAIRE
---	PROP. FOOT CANDLES

NOTES

- ALL SITE LIGHTING SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF ROLESVILLE UNIFIED DEVELOPMENT ORDINANCE (UDO) ARTICLE 14, SECTION 14.8, EXTERIOR LIGHTING.
- THE PARKING AREA SHALL HAVE A MINIMUM LIGHT LEVEL OF 0.2 FOOT CANDLE, A MAXIMUM LIGHT LEVEL OF 9 FOOT CANDLES, AN AVERAGE OF 1.9 - 2.9 FOOT CANDLES, AND A MAXIMUM AVGMIN UNIFORMITY OF 6 PER THE "MEDIUM" HORIZONTAL ILLUMINATION STANDARDS FOR GENERAL PARKING AND PEDESTRIAN AREAS.
- THE MAXIMUM LIGHT LEVEL AT ANY RESIDENTIAL PROPERTY LINE SHALL BE 0.3 MAINTAINED FOOT CANDLE AND AT ANY COMMERCIAL PROPERTY LINE SHALL BE 1.0 MAINTAINED FOOT CANDLE.
- THE INTENT OF THIS DRAWING IS TO SHOW FOOT CANDLE LEVELS BASED ON FIXTURES SHOWN. LIGHT LEVELS MAY VARY BASED ON ACTUAL FIXTURES INSTALLED.
- THIS IS A SITE LIGHTING CALCULATION PLAN ONLY AND DOES NOT PROVIDE ELECTRICAL CONNECTIONS FOR FIXTURES SHOWN. SITE DEVELOPERS, OWNERS, BUILDERS, AND GENERAL CONTRACTORS ARE RESPONSIBLE FOR COORDINATING WITH ELECTRICAL CONTRACTOR OR POWER COMPANY FOR POWER CONNECTIONS FOR ALL FIXTURES.
- ALL OTHER LIGHTING SHALL BE BY OWNER.
- LIGHT POLES SHALL BE BLACK FIBERGLASS AND FIXTURES SHALL BE BLACK AND AS NOTED IN THE LUMINAIRE SCHEDULE AND THE DETAIL ON SHEET C-12.

OWNER: GRANITE FALLS SWIM & ATHLETIC CLUB LLC
 P/N: 1759-82-4084
 ZONING: CO-SUD
 USE: SWIM & ATHLETIC CLUB

OWNER: INKUNT GRANITE FALLS LLC
 P/N: 1759-72-9251
 ZONING: RD-SUD
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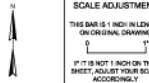
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SITE PLANS
 ROLESVILLE CROSSFIT
 850 GRANITE FALLS BLVD
 ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-28-2019
SCALE:	AS SHOWN
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PROJECT NO.:	19036

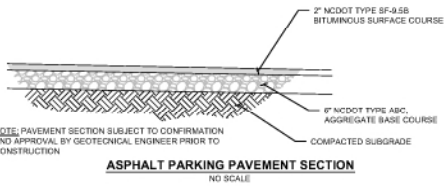
LIGHTING PLAN

C-11
 SHEET 11 OF 18

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

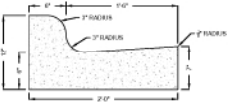
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ASPHALT PARKING PAVEMENT SECTION
NO SCALE

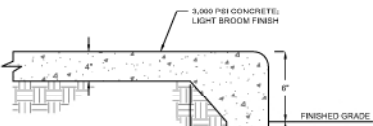
NOTE: PAVEMENT SECTION SUBJECT TO CONFIRMATION AND APPROVAL BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION



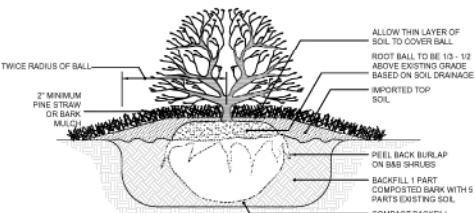
STANDARD 24\"/>

- NOTES:**
1. CONCRETE SHALL BE 3000 PSI.
 2. CONTRACTION JOINTS SHALL BE SPACED AT 10' INTERVALS OR 15' INTERVALS WHEN A MACHINE IS USED.
 3. EXPANSION JOINTS SHALL BE SPACED AT 50' INTERVALS.
 4. FINISH ALL CONCRETE WITH CURING COMPOUND.
 5. FOLLOW ALL APPLICABLE A.C.I. REQUIREMENTS.
 6. VALLEY CURB SHALL ONLY BE USED FOR APPROVED APPLICATIONS.

24\"/>

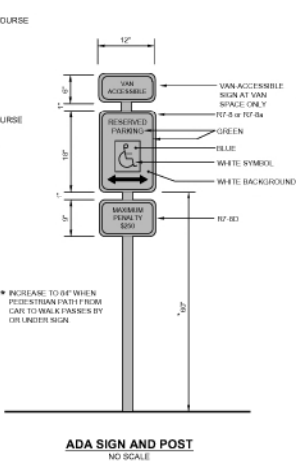


TURNDOWN SIDEWALK
NO SCALE



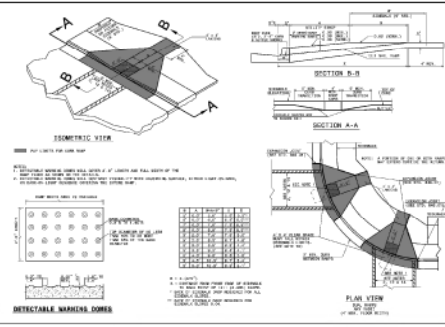
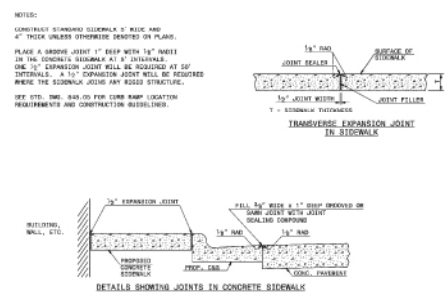
- NOTE:**
1. ALL SHRUB/EVERGREEN BEDS SHALL BE RAISED 6\"/>
 2. ALL SHRUB/EVERGREEN BEDS IN PARKING ISLANDS ONLY SHALL BE RAISED 12\"/>

TYP. SHRUB/EVERGREEN PLANTING DETAIL
NO SCALE



ADA SIGN AND POST
NO SCALE

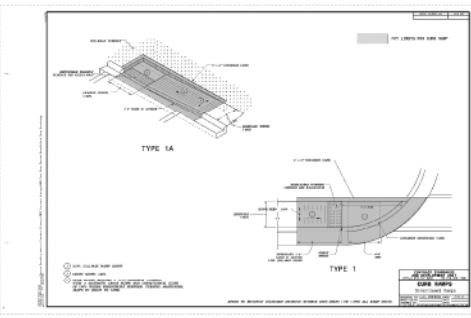
* INCREASE TO 10\"/>



ISOMETRIC VIEW
PLAN VIEW

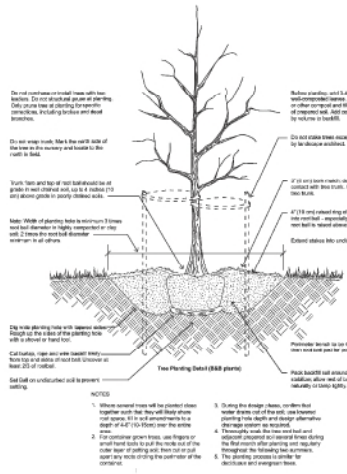
848.01
KNOWLEDGE STANDARD DRAWING FOR TYPICAL STANDARD DRAWING FOR CONCRETE SIDEWALK

848.05
KNOWLEDGE STANDARD DRAWING FOR CURB RAMP



- NOTES:**
1. CONTRACT THE CURB RAMP TO BE 2\"/>
 2. LOCATE CURB RAMP AND PLACE PROTECTIVE CURBING MATERIAL AS SHOWN IN THE PAVEMENT MARKING PLAN. CURB SHALL BE 2\"/>
 3. CONCRETE THE CURB RAMP AND THE PROTECTIVE CURBING MATERIAL ON A 4\"/>
 4. SET BACK EXTERIOR FROM INSIDE SIDEWALK TO HARVEST SIDE OF TRAVEL LANE BY 4\"/>
 5. REFER TO THE PAVEMENT MARKING PLAN FOR CURB AND LOCATIONS OF ESTABLISHED INTERSECTIONS. IF A PROTECTIVE MARKING PLAN IS NOT PROVIDED, CONTACT THE DESIGN ENGINEER FOR THE TOWN FOR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
 6. TERMINATE PARKING A MINIMUM OF 2' FROM A PEDESTRIAN CROSSWALK.
 7. CONSTRUCT CURB RAMP A MINIMUM OF 4' WIDE.
 8. CONSTRUCT THE MINIMUM SLOPE OF THE RAMP 1:50 MAXIMUM.
 9. ALLOWABLE CROSS SLOPE IN SIDEWALK AND CURB RAMP SHALL BE 2% MAXIMUM.
 10. CONSTRUCT THE SIDE FLARE ALONG A MINIMUM OF 15% MEASURED ALONG THE CURB LINE.
 11. CONSTRUCT THE CENTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MINIMUM OF 1% AND MAINTAIN A MINIMUM 1\"/>
 12. CONSTRUCT LANSING OR OCCASION A MINIMUM OF 4\"/>
 13. TO USE A BRUSH (USED AS A PROTECTIVE REFLECTOR AREA), METALLIC ISLANDS SHALL BE A MINIMUM OF 4\"/>
 14. SMALL CONSTRUCTION ISLANDS THAT CAN NOT BE MAINTAINED AT THE TOP OF A BANK, SHALL BE SET BACKWARD WITH 1\"/>
 15. CURB RAMP WITH RETURNED CURB MAY BE USED ONLY WHEN PROTECTIVE WOODS NOT NORMALLY WALK UNDER THE RAMP. THE ALIGNMENT SHOULD BE PLANNED ON THE SIDE-WALK SURFACE ON THE SIDE APPROACH TO SUBSTANTIALLY DISTURBANCE.
 16. PLACE A 1/2\"/>
 17. PLACE ALL PROTECTIVE PAVEMENT MATERIALS AND SIDEWALKS AS SHOWN IN THE PLAN OR AS SHOWN TO BE MADE BY THE ARCHITECT.
 18. CURB RAMP THROUGH METALLIC ISLANDS, EXCEPT FOR ISLANDS OF LIMITED FURNITURE, SHALL BE RAISED BY SPECIAL DETAILS. CONTACT THE CONTRACT ENGINEER AND DEVELOPMENT TEAM FOR THE DETAILS OF THIS SPECIAL DETAIL.

848.05
KNOWLEDGE STANDARD DRAWING FOR CURB RAMP



TREE PLANTING DETAIL
NO SCALE

- NOTE:**
1. The root system of most trees will be located in the top 12\"/>
 2. Do not use any soil that is less than 12\"/>
 3. Turn the top and top of root ball back to its original condition. Do not use any soil that is less than 12\"/>
 4. Make 1/8\"/>
 5. Do not use any soil that is less than 12\"/>
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WSR LED Architectural Wall Sconce

Specifications:
Luminaire: WSR LED
Height: 12.5\"/>

Color Temperature	Color Rendering Index	Beam Angle	Mounting	Material	Finish
3000K	90	30°	Flush Mount	Aluminum	Black
4000K	90	30°	Flush Mount	Aluminum	White
5000K	90	30°	Flush Mount	Aluminum	White
6000K	90	30°	Flush Mount	Aluminum	White

Emergency Battery Operation:
The WSR LED sconce is designed to operate in emergency mode for up to 24 hours. The battery is located inside the sconce and is recharged when the sconce is powered on. The battery life is dependent on the sconce's power consumption and the battery's capacity.

WALL SCONCE DETAIL (APPROVED EQUALS ACCEPTED)
NO SCALE

Autobahn Series ATB2 Roadway Lighting

PRODUCT OVERVIEW:
The Autobahn Series ATB2 is a high-performance roadway lighting fixture designed for use in parking lots, streets, and other outdoor areas. It features a compact, modern design and is available in multiple configurations.

Applications:
Parking lots, streets, and other outdoor areas.

Features:
• High Performance: Comparable to 100-150W HPS roadway lighting.
• Long Life: Up to 100,000 hours of life.
• Energy Efficient: Up to 80% energy savings compared to HPS.
• Compact Design: Small footprint, easy to install.
• Versatile: Available in multiple configurations.

Emergency Battery Operation:
The Autobahn Series ATB2 is designed to operate in emergency mode for up to 24 hours. The battery is located inside the fixture and is recharged when the fixture is powered on. The battery life is dependent on the fixture's power consumption and the battery's capacity.

LUMINAIRE DETAIL (APPROVED EQUALS ACCEPTED)
NO SCALE



POST OFFICE BOX 91727
RALEIGH, NORTH CAROLINA 27675
PHONE: 919.910.1051
FIRM NO. LICENSE NUMBER C-4222



REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR REVIEW
DO NOT USE FOR CONSTRUCTION

SCALE ADJUSTMENT
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SITE PLANS
ROLESVILLE CROSSFIT
850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE: 10-25-2019
DESIGNED BY: AS SHOWN
APPROVED BY: FLM
PROJECT NO.: 19036

SITE DETAILS

C-12
SHEET 12 OF 18

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS



REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/29/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

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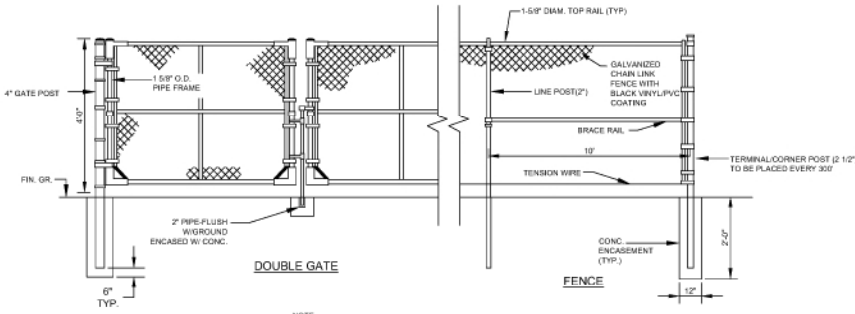
SITE PLANS
ROLESVILLE CROSSFIT
850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-25-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

SITE DETAILS

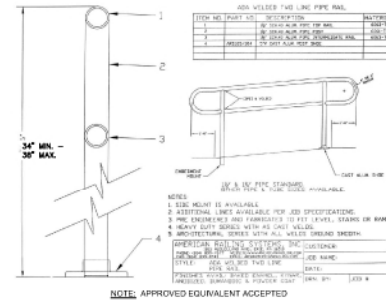
C-13
SHEET 13 OF 18



NOTE:
2" (R GA.) MESH FABRIC SHALL BE 1.2 OZ. GALVANIZED.
ALL POSTS SHALL BE SCHEDULE 40 GALVANIZED PIPE.

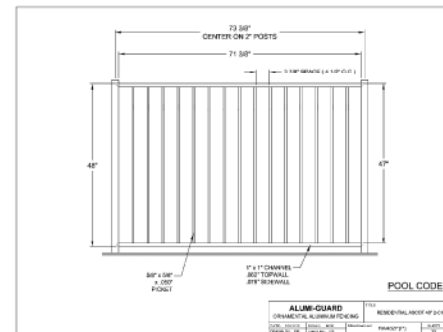
**4" BLACK VINYL CHAIN LINK FENCE AND GATE DETAIL
FOR USE AROUND STORMWATER CONTROL MEASURES**

NO SCALE



NOTE: APPROVED EQUIVALENT ACCEPTED

ADA HANDRAIL DETAIL
NOT TO SCALE



**TYP. BLACK ALUMINUM FENCE FOR
RETAINING WALL FALL PROTECTION**
NO SCALE

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REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

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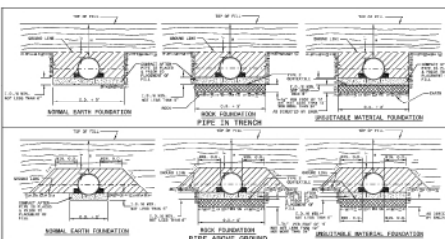
SITE PLANS
ROLESVILLE CROSSFIT
850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

MCARN REALTY LLC

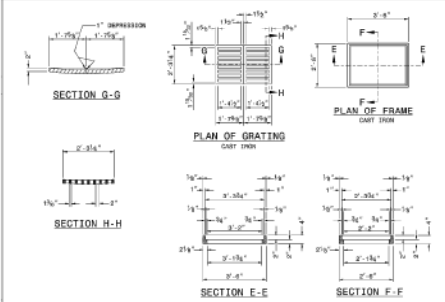
DATE:	10-25-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

STORM DRAINAGE DETAILS

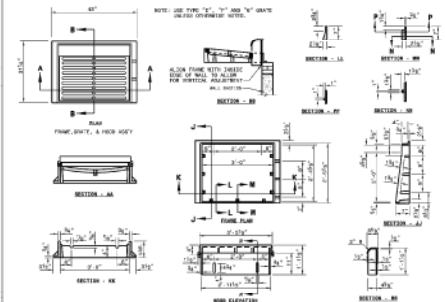
C-14
SHEET 14 OF 18



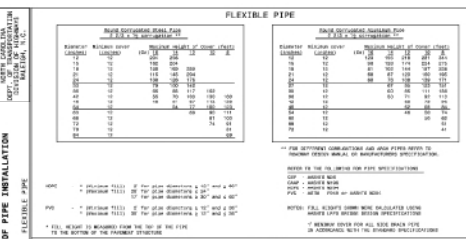
METHOD OF PIPE INSTALLATION
FLEXIBLE PIPE
300.01



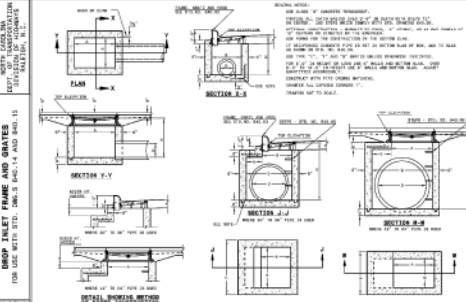
300.02



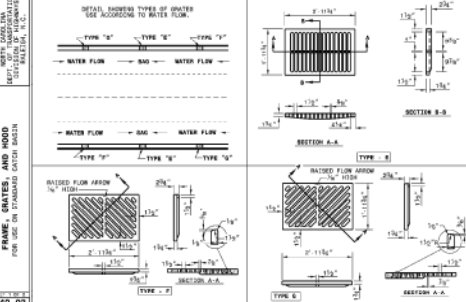
300.03



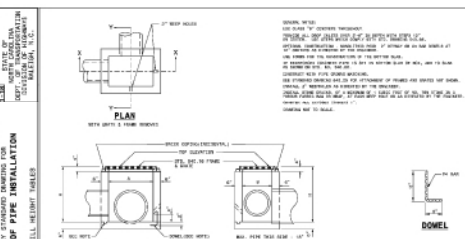
FLEXIBLE PIPE
300.01



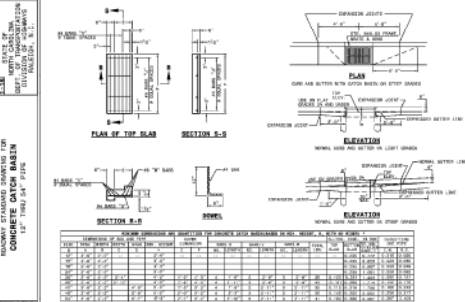
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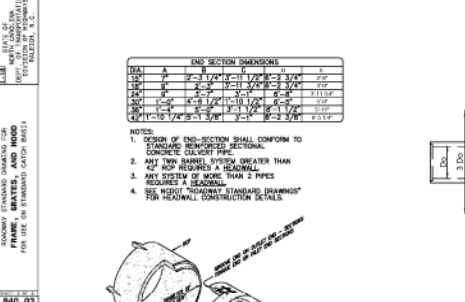
300.03



METHOD OF PIPE INSTALLATION
RIGID PIPE
300.01



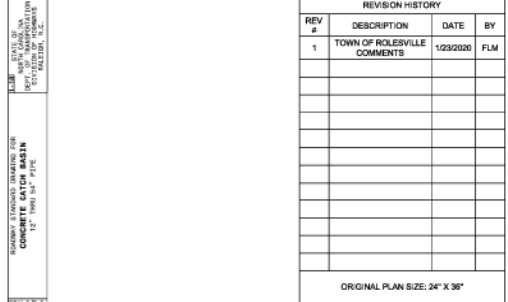
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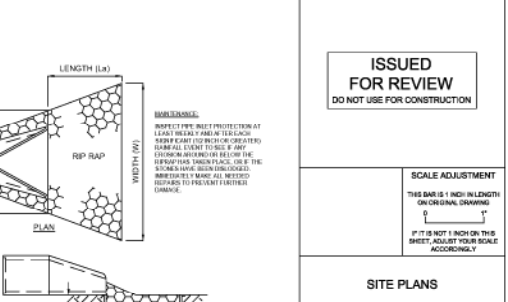
300.03



METHOD OF PIPE INSTALLATION
FLEXIBLE PIPE
300.01



300.02



300.03

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REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

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SITE PLANS
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850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

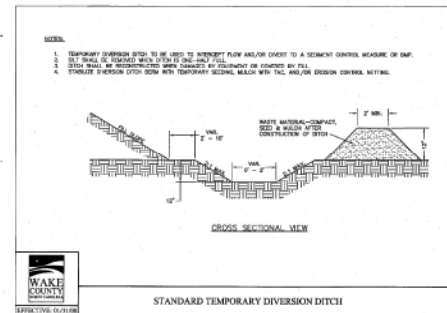
MCARN REALTY LLC

DATE:	10-25-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

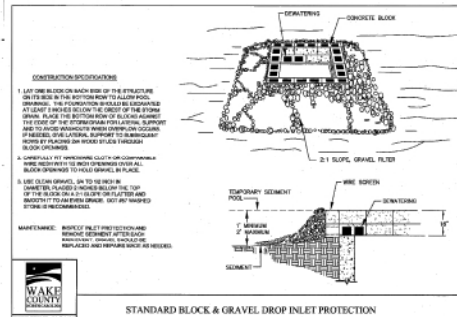
EROSION & SEDIMENT CONTROL DETAILS

C-15
SHEET 15 OF 18

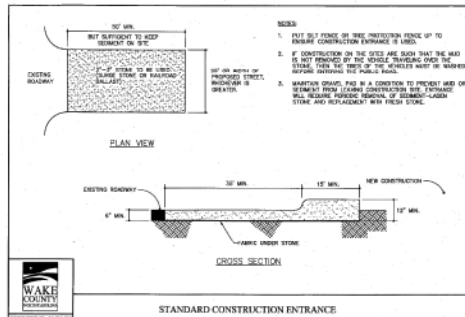
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS



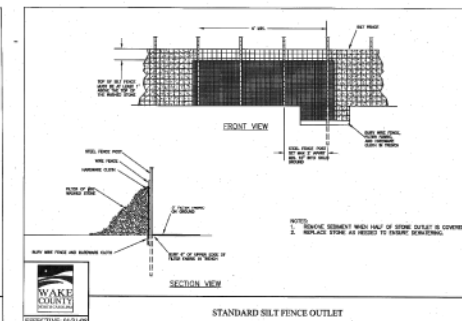
STANDARD TEMPORARY DIVERSION DITCH



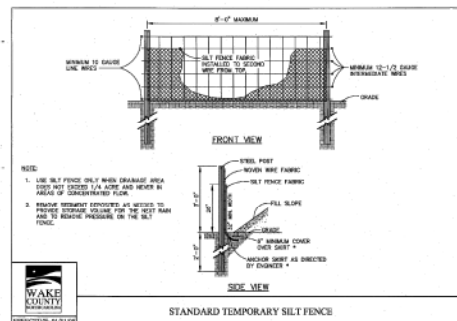
STANDARD BLOCK & GRAVEL DROP INLET PROTECTION



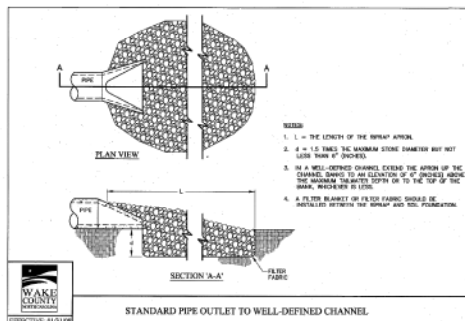
STANDARD CONSTRUCTION ENTRANCE



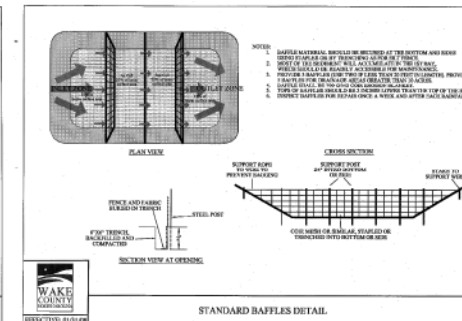
STANDARD SILT FENCE OUTLET



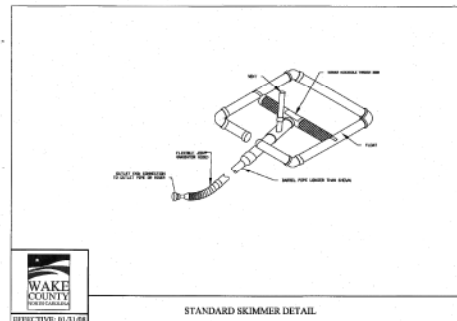
STANDARD TEMPORARY SILT FENCE



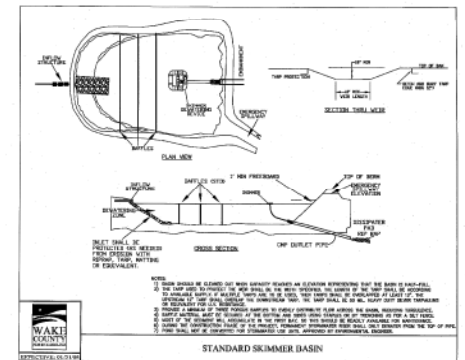
STANDARD PIPE OUTLET TO WELL-DEFINED CHANNEL



STANDARD BAFFLES DETAIL



STANDARD SKIMMER DETAIL



STANDARD SKIMMER BASIN

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SITE PLANS
ROLESVILLE CROSSFIT
850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-25-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

EROSION & SEDIMENT CONTROL DETAILS

C-16
SHEET 16 OF 18

FOR SHOULDERS, SIDE DITCHES, SLOPES (MAX 3:1):

DATE	TYPE	PLANTING RATE
APRIL 1 - APRIL 30	FALL FESCUE	200/ACRE
MAY 1 - MAY 31	FALL FESCUE & BROODING	200/ACRE
JUNE 1 - JUNE 30	FALL FESCUE	200/ACRE
JULY 1 - JULY 31	WHEAT (OR OTHER BERMUDA GRASS)	200/ACRE
AUG 1 - AUGUST 31	FALL FESCUE AND BROODING OR ALL SET TO BROODING (OR OTHER BERMUDA GRASS)	200/ACRE
SEPTEMBER 1 - SEPTEMBER 30	FALL FESCUE	200/ACRE
OCTOBER 1 - OCTOBER 31	FALL FESCUE	200/ACRE
NOVEMBER 1 - NOVEMBER 30	FALL FESCUE	200/ACRE
DECEMBER 1 - DECEMBER 31	FALL FESCUE	200/ACRE

FOR SHOULDERS, SIDE DITCHES, SLOPES (3:1 TO 2:1):

DATE	TYPE	PLANTING RATE
MAY 1 - APRIL 30	PERennial ryegrass, annual ryegrass, or the following combinations	50/ACRE
MAY 1 - APRIL 30	PERennial ryegrass	100/ACRE
MAY 1 - APRIL 30	OR OTHER PERennial GRASS	100/ACRE
MAY 1 - APRIL 30	OR OTHER PERennial GRASS	100/ACRE
JUNE 1 - SEPTEMBER 30	FALL FESCUE AND BROODING OR ALL SET TO BROODING (OR OTHER BERMUDA GRASS)	200/ACRE
SEPTEMBER 1 - SEPTEMBER 30	FALL FESCUE	200/ACRE
OCTOBER 1 - OCTOBER 31	FALL FESCUE	200/ACRE
NOVEMBER 1 - NOVEMBER 30	FALL FESCUE	200/ACRE
DECEMBER 1 - DECEMBER 31	FALL FESCUE	200/ACRE

NOTE: PERennial ryegrass, annual ryegrass, or the following combinations may be substituted for a rate of 100/acre if the following conditions are met:

MIXTURE

Species Name	Percentage of Total Seed (by Dry Weight)
PERennial ryegrass	100%
Annual ryegrass	100%
OR OTHER PERennial GRASS	100%
OR OTHER PERennial GRASS	100%

SEEDING PREPARATION:

1. DISK, COMPACT, AND SPREAD TOPSOIL. THREE INCHES DEEP COVERAGE IS NOT CONSIDERED IF AVAILABLE.
2. RIP THE CENTRE AREA TO SIX INCHES DEEP.
3. REMOVE ALL LOGS, ROCKS, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE READILY AND UNIFORM.
4. APPLY AGRICULTURAL LIMING MATERIALS UNIFORMLY AND MIX WITH SOIL. (SEE SOIL TEST).
5. CONTINUE TO PLAIN UNTIL A PLAIN FAVORABLE FOR PLANTING IS OBTAINED. PREPARE FOR SEEDING AS SOON AS POSSIBLE.
6. SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEEDS USUALLY WITH SEEDING EQUIPMENT OR HAND TRUCK.
7. MASH MANURE AT THE END OF EACH ROW AND MIX WITH SOIL.
8. RESPECT ALL SEEDING AREAS AND MAINTAIN NECESSARY BUFFER ZONES WITHIN THE PLANTING SEASON IF SEEDING IS TO BE CONSIDERED. ONLY WHEN DAMAGED, AS A RESULT OF COVERING THE ORIGINAL 1/4" FURROW BED AND SEEDING IS NOT.

APPLY AGRICULTURAL LIMING: 2 TONS/ACRE MINIMUM PER FURROW ROW.

PERMANENT SEEDING SCHEDULE
NO SCALE

FOR LATE WINTER AND EARLY SPRING:

PERennial ryegrass, annual ryegrass, or the following combinations may be substituted for a rate of 100/acre if the following conditions are met:

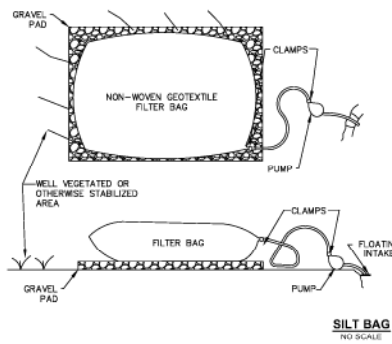
FOR SUMMER:

PERennial ryegrass, annual ryegrass, or the following combinations may be substituted for a rate of 100/acre if the following conditions are met:

FOR FALL:

PERennial ryegrass, annual ryegrass, or the following combinations may be substituted for a rate of 100/acre if the following conditions are met:

TEMPORARY SEEDING SCHEDULE
NO SCALE



FILTER BAGS MAY BE USED TO FILTER WATER PUMPED FROM LOCAL TANKS FROM SOIL DRIPPING.

FILTER BAGS SHALL BE MADE FROM NON WOVEN GEOTEXTILE MATERIALS. SEWAGE TO BE IN TRENCH, DOUBLE STITCHED 2" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 100 MICRONS.

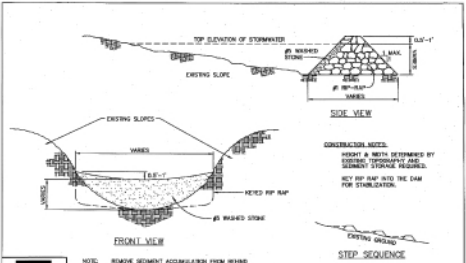
THE PUMPING RATE SHALL BE NO GREATER THAN 75% OF THE MAXIMUM SPECIFIED BY THE MANUFACTURER. WHENEVER LESS FLOW RATES SHOULD BE FOLLOWING AND OBSERVED.

FILTER BAGS SHALL BE LOCATED IN WELL VEGETATED GRASSY AREAS AND DISCHARGED INTO STABLE EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED OVER OR ON GREATER TRENCH.

THE FLOW THROUGH BAGS SHALL BE MONITORED INTO THE FILTER BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND RECORDS TO BE MAINTAINED.

A RAINY BREAK OF ACCUMULATED BAGS WITH MANURE BY REQUIRED FOR DISPOSAL. PUMP OPERATOR SHALL BE ADVISED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME FULL. RAISE BAGS TO EJECT BAGS. BAGS SHALL BE REPLACED WITH THOSE THAT HAVE FAILED OR ARE FULL.

IF FILTER BAGS SHALL BE FULL, IF ANY PROBLEM IS DETECTED, PUMPS SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

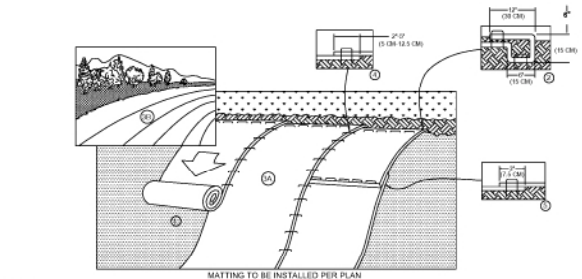


CONCRETE APRON: HEIGHT & WIDTH DETERMINED BY DESIGN. REINFORCING BARS AND SEAMLESS STEEL REQUIRED.

KEY FOR RIP RAP INTO THE DAM FOR STABILIZATION:

NOTE: SEEDING, SEEDING ACCORDING TO THE NOTES. CHECK DAMS TO PREVENT CHANNEL TO CHANNEL. CHECK DAM FLOW SHOULD BE MAINTAINED THROUGH THE DAM.

STANDARD CHECK DAM



- NOTES:**
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELLO SEED SO NOT NEED PREPARED AREA. CELLO SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 2" (5 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 1" (20mm) OF BLANKET EXTENDING FROM THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES SPACED APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. UNROLL AND CONTRACT THE TRENCH AS THE BLANKET UNFOLLS. APPLY SEED TO COMPACTED SOIL AND COVER WITH 1/2" (1 CM) OF BLANKET. PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE BLANKET.
 3. ROLL THE BLANKET (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SEED AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES IN AN APPROPRIATE LOCATION AND NUMBER IN THE STAPLE PATTERNS GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/TACKS SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERNS.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON BLANKET TYPE.
 5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (HORIZONTAL STYLE) WITH AN APPROXIMATE 5" (5 CM) OVERLAP. STAPLE THROUGH OVERLAP AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN POOR SOIL CONDITIONS, THE USE OF STAPLES OR STAPLE LENGTHS GREATER THAN 1 1/2 INCHES MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

SLOPE INSTALLATION
NO SCALE

ROLLMAX
EROSION CONTROL

Specification Sheet - V-Max® SC250® Turf Reinforcement Mat

DESCRIPTION: The Rollmax V-Max® SC250® Turf Reinforcement Mat is a geotextile fabric made of 100% virgin polypropylene fibers. The mat is designed to be used in conjunction with a seed and fertilizer to stabilize and prevent erosion on slopes and in other areas where erosion control is required. The mat is made of a non-woven geotextile fabric with a grid of polypropylene fibers. The mat is designed to be used in conjunction with a seed and fertilizer to stabilize and prevent erosion on slopes and in other areas where erosion control is required.

Property	Test Method	Typical Value
Weight	ASTM D4753	2.5 lb/ft ²
Thickness	ASTM D4753	0.15 in.
UV Resistance	ASTM D4753	1000 hours
Permeability	ASTM D4753	0.001 in./min.
Strength	ASTM D4753	100 lb/ft
Stitching	ASTM D4753	100 lb/ft
Seam Strength	ASTM D4753	100 lb/ft
Seam Sealant	ASTM D4753	100 lb/ft
Seam Strength	ASTM D4753	100 lb/ft
Seam Sealant	ASTM D4753	100 lb/ft

Standard Roll Size:

Width	Length	Weight
12 ft	100 ft	3000 lb
12 ft	200 ft	6000 lb
12 ft	300 ft	9000 lb
12 ft	400 ft	12000 lb

NORTH AMERICAN GREEN SC250
EROSION CONTROL BLANKET
NO SCALE

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

CALL 48 HOURS BEFORE YOU DIG
North 811
NORTH CAROLINA ONE-CALL CENTER
1-800-632-4949

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REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR REVIEW
DO NOT USE FOR CONSTRUCTION

SCALE ADJUSTMENT



SITE PLANS
ROLESVILLE CROSSFIT
850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-28-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

WATER DETAILS

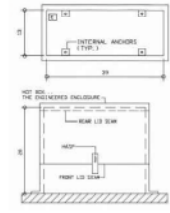
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

C-17
SHEET 17 OF 18

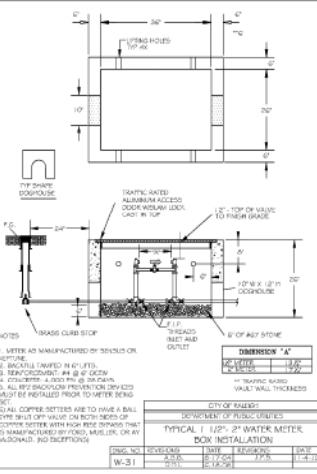
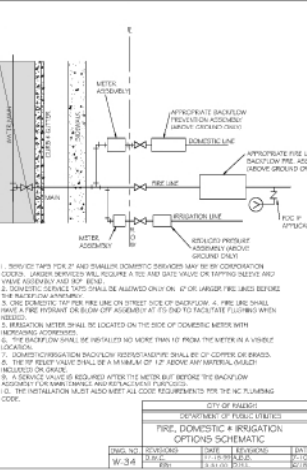
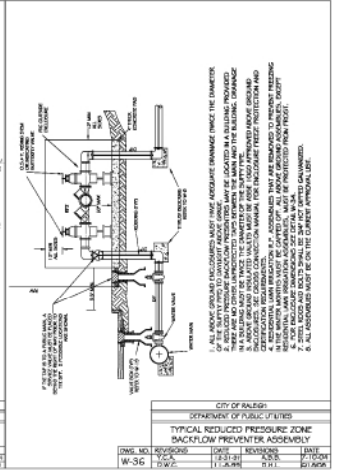
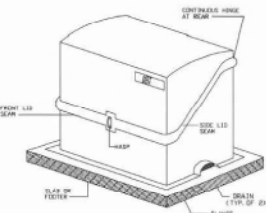
Hot Box® HB2 Enclosures

Specifications

- Recommended slab size is 50" L x 24" W x 4" minimum thickness.
- Head is provided by a 90w, 120v, single phase heat trace cable.
- The internal dimensions of this model are 39" L x 13" W x 28" H.
- The shipping weight of this unit is 60 lbs.
- This unit is the L&E model when ordered without head.



HOT-BOX HB2 DETAIL (APPROVED EQUALS ACCEPTED)
NO SCALE.

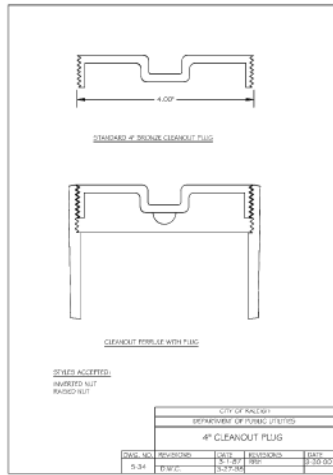
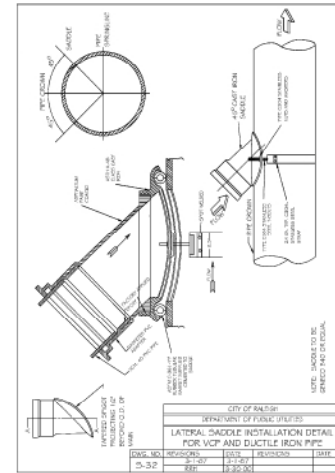
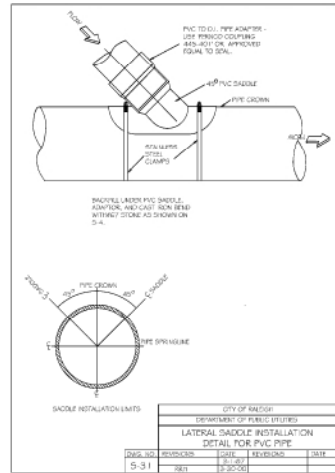
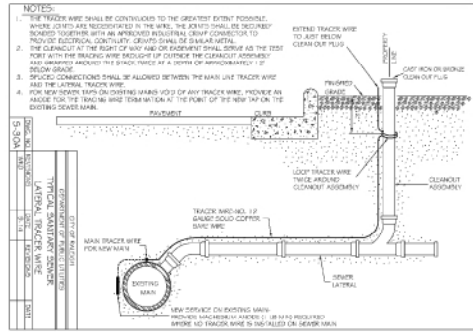
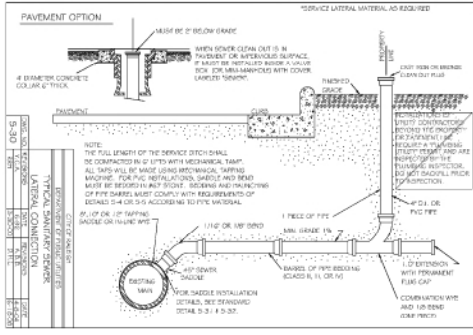


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REVISION HISTORY			
REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	1/23/2020	FLM

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR REVIEW
 DO NOT USE FOR CONSTRUCTION

SCALE ADJUSTMENT
 THIS DRAWING IS 1/8" IN LENGTH ON ORIGINAL DRAWING
 IF IT IS NOT 1/8" ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY.

SITE PLANS
ROLESVILLE CROSSFIT
850 GRANITE FALLS BLVD
ROLESVILLE, NC 27571

MCARN REALTY LLC

DATE:	10-25-2019
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	19036

SEWER DETAILS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

C-18
 SHEET 15 OF 18

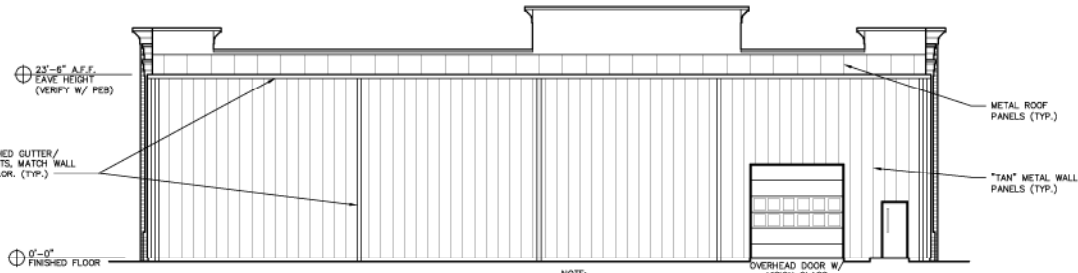
**PRELIMINARY
NOT FOR CONSTRUCTION**

Issued Date: 09/09/20
Crew/Date



B2 SOUTH ELEVATION

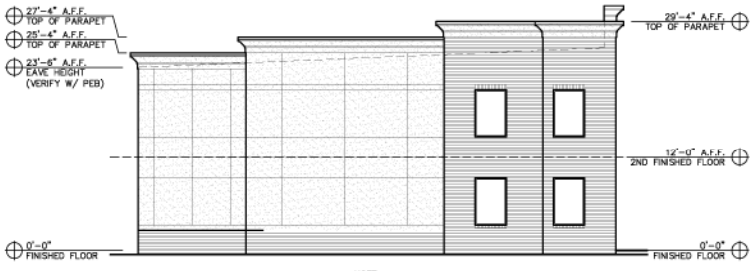
A-3.01 SCALE: 1/8"=1'-0"



C3 NORTH ELEVATION

A-3.01 SCALE: 1/8"=1'-0"

NOTE: OVERHEAD DOOR IS NOT INTENDED FOR OFF-STREET LOADING.



D1 WEST ELEVATION

A-3.01 SCALE: 1/8"=1'-0"

NOTE: SEE B2/ A-3.01 FOR NOTING OF TYPICAL/ SIMILAR MATERIALS.



D3 EAST ELEVATION

A-3.01 SCALE: 1/8"=1'-0"

NOTE: SEE B2/ A-3.01 FOR NOTING OF TYPICAL/ SIMILAR MATERIALS.

NOTE: OVERHEAD DOOR IS NOT INTENDED FOR OFF-STREET LOADING.

No.	Revision	Date

Rev.	Issued	Date

Client / Project	Drawn By
Mark Hahn/ ROLESVILLE CROSSFIT	

Project No.	Scale
19064	AS NOTED

Revision	Drawn By
0	A-3.01