

PROJECT DATA:
 Project: Regency at Heritage
 Site Addresses: 3700 Foxwild Lane (Rolesville)
 3800 Foxwild Lane (Rolesville)
 Location: Rolesville Township, Rolesville
 PIN: 1749752855
 1749759814
 Developer/Owner: Pulte Home Company, LLC
 1225 Crescent Green Drive, Suite 250
 Cary, NC 27518
 Phone: (919) 816-1100
 Surveyor: MSS Land Consultants, PC
 6118 Saint Giles Street
 Raleigh, NC 27612
 Matthew A. Hayes, PLS
 NC License L-4516
 Survey Dates: See References
 Plat Date: February 12, 2021
 Zoning: RM-CZ
 Total Site Area: 1,252,252 SF or 28.748 Ac.±
 Phase 3 Area: 644,671 SF or 14.800 Ac.±
 River Basin: Neuse River
 FEMA Info: Partially located within SFHA
 FIRM 3720174900J (effective date: May 2, 2006)
 Density: 27 lots / 14.72 Ac. = 1.83 units per acre (total for
 Rolesville Phase 3)
 Single Family Lots: 27


AREA SUMMARY

	Square Feet	Acres+/-
Public R/W Dedications	90,090	2.068
Single-Family Lots (27 lots)	451,840	10.373
Open Space Lots (2 lots)	102,741	2.359
Phase 3 Subtotal	644,671	14.800
Remaining Lands (1 Lots)	607,581	13.948
Total	1,252,252	28.748

Building Setbacks (Rolesville):
 Front Yard: 30'
 Side Yard: 12'
 Rear Yard: 25'
 Streetside/Secondary Front: 22'

ZONING CONDITIONS FOR RZ-13-06

- ALL CONSTRUCTION TRAFFIC SHALL USE THE FORESTVILLE ROAD ENTRANCE.
- LOTS SHALL NOT HAVE ACCESS TO FOXWILD LANE. A PHYSICAL BARRIER (FENCE, WALL, LANDSCAPING, ETC.) SHALL BE CONSTRUCTED/INSTALLED TO PROHIBIT ACCESS TO FOXWILD LANE.
- PRIOR TO THE ISSUANCE OF THE 45TH CERTIFICATE OF OCCUPANCY, CONSTRUCTION OF MARSHALL FARM STREET CONNECTION SHALL BE COMPLETE. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED IN PHASES 3 OR 4 UNTIL MARSHALL FARM STREET CONNECTION IS COMPLETE.
- NO OUTDOOR CONSTRUCTION OR DEVELOPMENT WILL BE PERMITTED ON SUNDAY.
- THE 50' WIDE GREENWAY EASEMENT SHOWN ON THE REGENCY AT HERITAGE MASTER SUBDIVISION PLAN SHALL BE DEDICATED TO THE TOWN, IN THE LOCATION SHOWN ON THE MASTER SUBDIVISION PLAN, PRIOR TO OR AT THE TIME OF RECORDATION OF THE FINAL PLAT FOR THE FIRST PHASE OF THE SUBDIVISION PLAN.
- THAT PORTION OF OPEN SPACE LOT 69, LOCATED NORTH OF SANFORD CREEK AND WEST AND SOUTH OF LOTS 1028, 1029 AND 1030 AS SHOWN ON THE PLAT RECORDED AT BOOK OF MAPS 2005, PAGE 1538, WAKE COUNTY REGISTRY, AND THAT PORTION OF OPEN SPACE LOT 70 LOCATED NORTH OF SANFORD CREEK AND WEST OF MARSHALL FARM STREET, LESS AND EXCEPT ANY PORTION NECESSARY TO RESOLVE ANY EXISTING ENCROACHMENTS, SHALL BE CONVEYED TO HERITAGE WAKE FOREST TWO HOMEOWNER'S ASSOCIATION, INC (FOR THIS PURPOSES OF THIS CONDITION ONLY, THE PROPERTY), THE PROPERTY SHALL BE CONVEYED TO THE HERITAGE WAKE FOREST TWO HOMEOWNER'S ASSOCIATION, INC NO LATER THAN THIRTY DAYS FOLLOWING RECORDATION OF THE PLAT FOR THE FIRST PHASE OF THE SUBDIVISION. THIS CONVEYANCE, HOWEVER, SHALL BE SUBJECT TO THE ACCEPTANCE BY THE HERITAGE WAKE FOREST TWO HOMEOWNER'S, INC OF THE PROPERTY AT NO COST TO THE HERITAGE WAKE FOREST TWO HOMEOWNERS, INC, IF THE PROPERTY IS NOT ACCEPTED, THEN THE PROPERTY SHALL BE CONVEYED TO THE HOMEOWNER'S ASSOCIATION FOR THE REGENCY AT HERITAGE SUBDIVISION, AND NO STRUCTURE OR IMPROVEMENTS SHALL BE PLACED ON THE PROPERTY WITH THE EXCEPTION OF ANY STRUCTURES AND IMPROVEMENTS ALLOWED WITHIN THOSE EXISTING AND FUTURE EASEMENTS DEDICATED TO THE PUBLIC OR GOVERNMENTAL ENTITY, UNDER SECTION 7.7 OF THE WAKE FOREST UNIFIED DEVELOPMENT ORDINANCE, IF THE PROPERTY IS CONVEYED TO THE HERITAGE WAKE FOREST TWO HOMEOWNER'S ASSOCIATION, INC SUCH PROPERTY MAY BE USED BY THE REGENCY AT HERITAGE SUBDIVISION TO SATISFY THE PARKS AND OPEN SPACE DEDICATION REQUIREMENTS OF SECTION 7.4 OF THE WAKE FOREST UNIFIED DEVELOPMENT ORDINANCE.
- MARSHALL FARM STREET CONNECTION SHALL NOT OPEN FOR USE UNTIL THE COMPLETION OF THE FORESTVILLE ROAD BRIDGE REPLACEMENT OR JANUARY 1, 2017, WHICHEVER COMES FIRST.

WAKE COUNTY, NC 62
 TAMMY L. BRUNNER
 REGISTER OF DEEDS
 PRESENTED & RECORDED ON
 01/10/2022 10:34:53

 BOOK: BM2022 PAGE: 00043

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GENERAL NOTES:

- All distances are horizontal ground distances and areas were computed using the coordinate method, unless otherwise noted hereon.
- A portion of the subject property is located within SFHA as scaled from NFIP FIRM Number FIRM 3720174900J; Effective Date: May 2, 2006.
- Wetlands and stream buffers shown on this survey were provided by The Timmons Group.
- Areas identified as Neuse River Riparian Buffer shall be maintained in perpetuity in their natural or mitigated condition. No person or entity shall fill, grade, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or watering or any other agricultural use on such protected areas without written authorization of the Division of Water Quality (DWQ) or compliance with the Riparian Buffer Protection Rules (15A NCAC 2B .0233 or .0259). This covenant is to run with the land, and shall be binding on the Owner, and all parties claiming under it.
- The locations and widths of adjacent traveled ways not surveyed.
- Only copies of this survey with the Land Surveyor's original signature & an original embossed, ink or scanned seal are the product of the Land Surveyor.
- This survey was prepared for the parties and purpose indicated hereon. Any extension of the use beyond the purpose agreed to between the client and surveyor exceeds the scope of the engagement.
- Property identification numbers taken from the official tax records of Wake County.
- Zoning: R-1
- Lots are subject to 5' utility easement envelopes.
- Maintenance of public drainage easement terminates at the end of the pipe/structure.
- All easements are centered on the pipe/facility/utility unless otherwise noted.
- References: DB 2974 PG 839; DB 2717, PG 903; DB 15761, PG 1326; BM 1999, PG 1434; BM 1984, PG 662; BM 2005, PG 1538; DB 3285, PG 62; BM 2005, PG 2025; BM 2021, PG _____. The parent tract boundary survey was performed by The Timmons Group and shown on unrecorded survey titled "ALTA/ACSM LAND TITLE SURVEY FOR REGENCY AT HERITAGE" dated and signed 09-12-2017 & "ALTA/ACSM LAND TITLE SURVEY FOR PULTE HOME COMPANY, LLC" dated and signed 2-19-2020.

CERTIFICATE OF OWNERSHIP AND DEDICATION:

I hereby certify that I am the owner of the property shown and described hereon, which is located in the subdivision jurisdiction of the Town of Rolesville and that I hereby adopt this plan of subdivision with my free consent, establish minimum building setback lines, and dedicate all streets, alleys, walks, parks, and other sites and easements to public or private use as noted. Furthermore, I hereby dedicate all sanitary sewer, storm sewer and water lines to the Town of Rolesville

10-13-21
 Date Owner(s) Chris Ruggs VP Land
Pulte Home Company LLC

CERTIFICATE OF APPROVAL OF THE DESIGN AND INSTALLATION OF STREETS, UTILITIES AND OTHER REQUIRED IMPROVEMENTS:

Meredith Gruber hereby certify that all streets, utilities and other required improvements have been installed in a acceptable manner and according to Town specifications and standards in the Subdivision or that guarantees of the installation of the required improvements in an amount and manner satisfactory to the Town of Rolesville has been received and that the filing fees for this plat, in the amount of \$ 465.00 has been paid.

12/16/2021
 Date Subdivision Administrator Meredith Gruber

APPROVED FOR RECORDING BY THE TOWN OF ROLESVILLE:

State of North Carolina - County of Wake

Meredith Gruber, Review Officer of the Town of Rolesville, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.

12/16/2021
 Date Review Officer Meredith Gruber

Approved for recording by the Town of Rolesville

12/16/2021
 Date Administrator Meredith Gruber

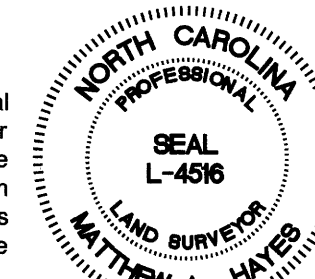
SURVEYOR'S CERTIFICATION:

I, Matthew A. Hayes, PLS No. L-4516, certify to the following:

That this survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land;

That this plat was drawn under my supervision from an actual survey made under my supervision (deed description(s) and/or plat reference(s) shown hereon under "References"); that the boundaries not surveyed are clearly indicated as drawn from information as shown hereon; that the ratio of precision as calculated is 1:10,000+; that this plat was prepared in accordance with G.S. 47-30 as amended.

Witness my original signature, registration and seal.



Matthew A. Hayes
 MATTHEW A. HAYES, PLS
 DATE 09/13/2021

North Carolina, Wake County.

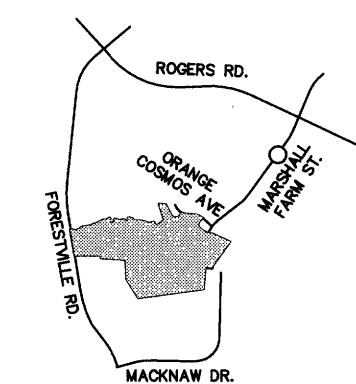
I, William Prentice, a Notary Public of the County and State aforesaid, certify that MATTHEW A. HAYES, a licensed land surveyor, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this day of September, 2021.

13+
 Printed Name: William Prentice, Notary Public

My commission expires: 9/8/2023

TOWN OF ROLESVILLE NOTES:

- All subdivision lots shall abut at least twenty (20) feet on a public street. All public streets shall be dedicated to the Town of Rolesville, the State of North Carolina or the public as determined appropriate by the Board of Commissioners of the Town of Rolesville. All public streets shall be built to the standards of this ordinance and all other applicable standards of the Town of Rolesville and the North Carolina Department of Transportation. Public streets not dedicated to the Town which are eligible for acceptance into the State Highway System shall be constructed to the standards necessary to be put on the State Highway System or the standards in this ordinance, whichever is stricter, in regard to each particular item and shall be put on such system. Streets not dedicated to the Town which are not eligible to be put on the State Highway System because there are too few lots or residences shall, nevertheless, be dedicated to the public and shall be in accordance with the standards in this ordinance or the standards necessary to be put on the State Highway System, whichever is stricter in regard to each particular item, so as to be eligible to be put on the system at a later date. A written maintenance agreement with provisions for maintenance of the street until it is put on the State System shall be included with the final plat.
- Type of street dedication; all streets must be designated either "public" or "private". Where public streets are involved which will be dedicated to the Town the subdivider must submit all street plans to the subdivision administrator for approval prior to preliminary plat approval. Where public streets are involved which will not be dedicated to a municipality, the subdivider must submit the following documents to the N.C. Department of Transportation District Highway Office for review: a complete site layout, including any future expansion anticipated; horizontal alignment indicating general curve data onsite layout plan; vertical alignment indicated by percent grade, PI station and vertical curve length on site plan layout; (the District Engineer may require the plotting of the ground profile and grade line for roads where special conditions or problems exist); typical section indicating the pavement design and width and the slopes, widths and detail for the curb and gutter or the shoulder and ditch proposed; drainage facilities and drainage areas.



VICINITY MAP
Not to Scale

REV.	DATE	DESCRIPTION	REVISIONS
1			

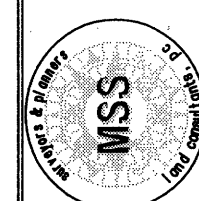
REGENCY AT HERITAGE - PHASE 3

MAJOR SUBDIVISION & RIGHT-OF-WAY DEDICATION PLAT
 ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 FOR PULTE HOME COMPANY

Checked by: MAH
 Drawn by: BAO
 Date: Feb 12, 2021
 North Carolina
 Wake County
 Wake Forest Township
 Town of Rolesville

SURVEYED
by

MSS LAND CONSULTANTS
 Phone (919) 510-4464
 6118 Saint Giles St.
 Suite E
 Raleigh, NC 27612
 Fax (919) 510-8102
 Email: gowetw@mssland.com



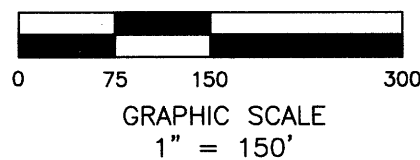
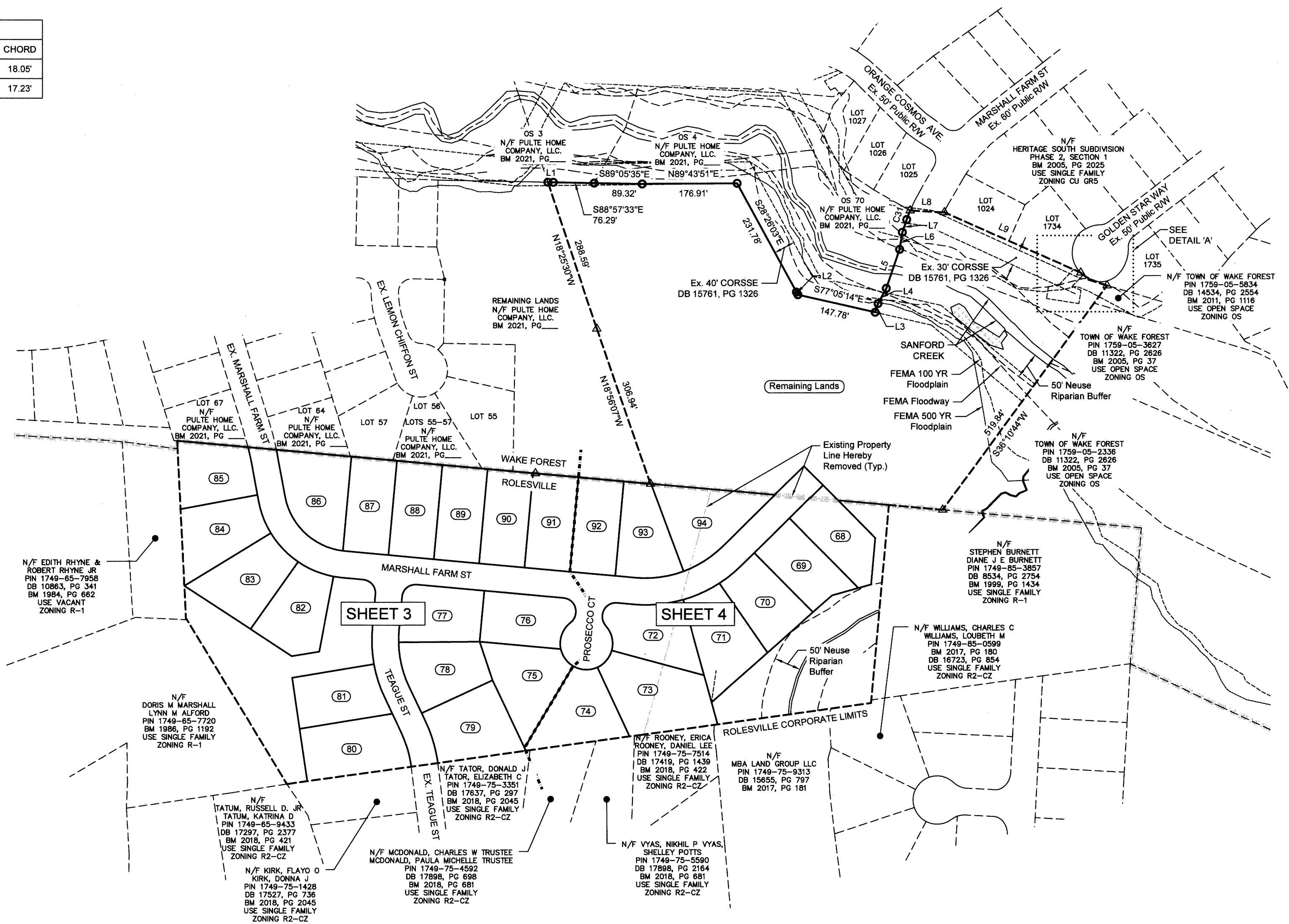
"Committed to Total Quality Service"

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Building Setbacks (Rolesville):
Front Yard: 30'
Side Yard: 12'
Rear Yard: 25'
Streetside/Secondary Front: 22'

Curve Table				
CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
C31	18.05'	330.00'	N20°23'18"E	18.05'
C32	17.31'	52.50'	S55°04'06"E	17.23'

Line Table		
LINE #	DIRECTION	LENGTH
L1	S88°57'33"E	10.09'
L2	S28°26'03"E	5.68'
L3	N18°49'16"E	17.19'
L4	N28°33'24"E	32.52'
L5	N18°49'16"E	77.00'
L6	N09°05'08"E	32.52'
L7	N18°49'16"E	25.09'
L8	S86°50'22"E	63.89'
L9	S66°00'37"E	278.39'
L10	S03°16'43"W	3.13'
L11	S72°42'35"E	36.56'



WAKE COUNTY, NC 63
TAMMY L. BRUNNER
REGISTER OF DEEDS
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BOOK: BM2022 PAGE: 00044



- LEGEND**
- Existing Monumentation
 - Iron Pipe Set
 - △ Mathematical Point
 - △ EPIP Existing Pinched Iron Pipe
 - △ EIP Existing Iron Pipe
 - ECM Existing Concrete Marker
 - R/W Right-of-Way
 - DB / PB Deed Book / Plat Book
 - CORSSE City of Raleigh Sanitary Sewer Esm't
 - Esm't Easement
 - SDE Sight Distance Esm't
 - PrDE Private Drainage Esm't
 - PuDE Public Drainage Esm't
 - PrRWE Private Retaining Wall Esm't
 - PuAE Public Access Esm't
 - PSSE Public Sanitary Sewer Esm't
 - SFHA Special Flood Hazard Area
 - SS Sanitary Sewer
 - OS Open Space
 - (0.00') Tie Distance (Chord Distance)
 - Wetlands
 - Matchlines
 - Town Lines
 - Approximate Wall Location
 - Setback Lines

REGENCY AT HERITAGE - PHASE 3

MAJOR SUBDIVISION & RIGHT-OF-WAY DEDICATION PLAT
ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
FOR PULTE HOME COMPANY

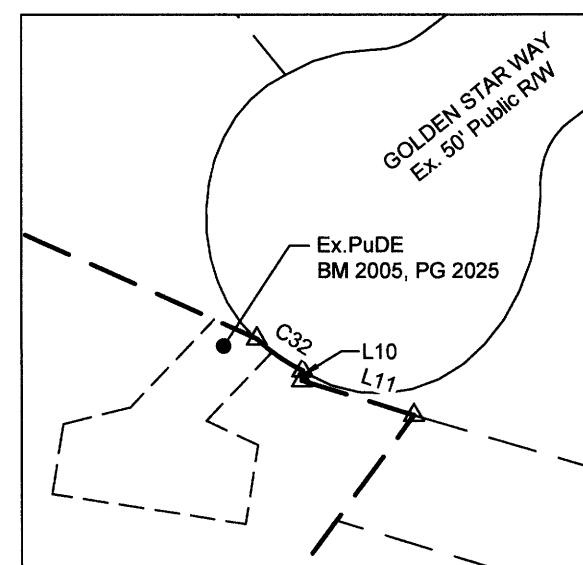
Checked by: MAH
Drawn by: BAO
Date: Feb 12, 2021
North Carolina
Wake County
Rolesville Township
Town of Rolesville

SURVEYED by

MSS LAND CONSULTANTS
6118 Saint Giles St. Phone (919) 510-4484
Suite E Fax (919) 510-9102
Raleigh, NC 27612 Email: gowers@mssland.com
Firm License # C-2070

"Committed to Total Quality Service"

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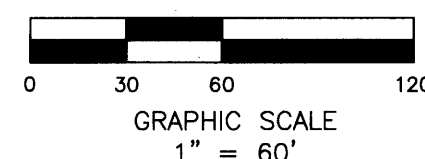
DETAIL A
1" = 60'

Building Setbacks (Rolesville):
Front Yard: 30'
Side Yard: 12'
Rear Yard: 25'
Streetside/Secondary Front: 22'

Curve Table				
CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
C1	158.45'	125.00'	N46°48'14"W	148.05'
C2	3.77'	125.00'	N83°56'47"W	3.77'
C13	40.42'	49.00'	S35°52'55"E	39.28'
C14	55.39'	49.00'	S20°07'53"W	52.49'
C15	21.06'	25.50'	S28°51'09"W	20.47'
C16	39.27'	25.00'	S39°48'34"E	35.36'
C17	39.27'	25.00'	N50°11'26"E	35.36'
C18	22.59'	205.00'	N02°02'02"E	22.58'
C19	85.69'	205.00'	N13°05'49"W	85.06'
C20	74.75'	255.00'	N16°40'26"W	74.48'
C21	60.09'	205.00'	S16°40'28"E	59.88'
C22	66.45'	255.00'	S17°36'23"E	66.26'
C23	68.24'	255.00'	S02°28'32"E	68.03'
C24	39.27'	25.00'	S39°48'34"E	35.36'
C25	17.07'	175.00'	S82°00'56"E	17.06'
C26	72.00'	175.00'	S67°26'04"E	71.50'
C27	74.18'	175.00'	S43°30'14"E	73.63'
C28	63.85'	175.00'	S20°54'33"E	63.49'
C29	31.16'	264.03'	S12°55'46"E	31.15'

Curve Table				
CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
EC100	10.10'	270.00'	S09°20'52"E	10.10'

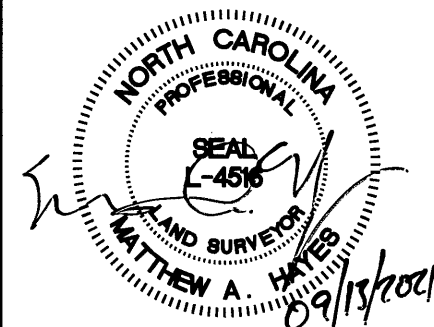
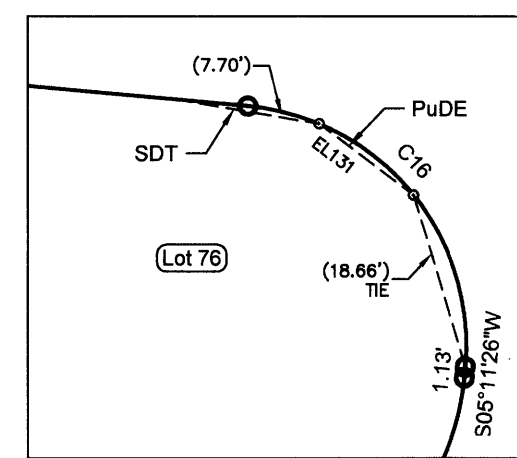
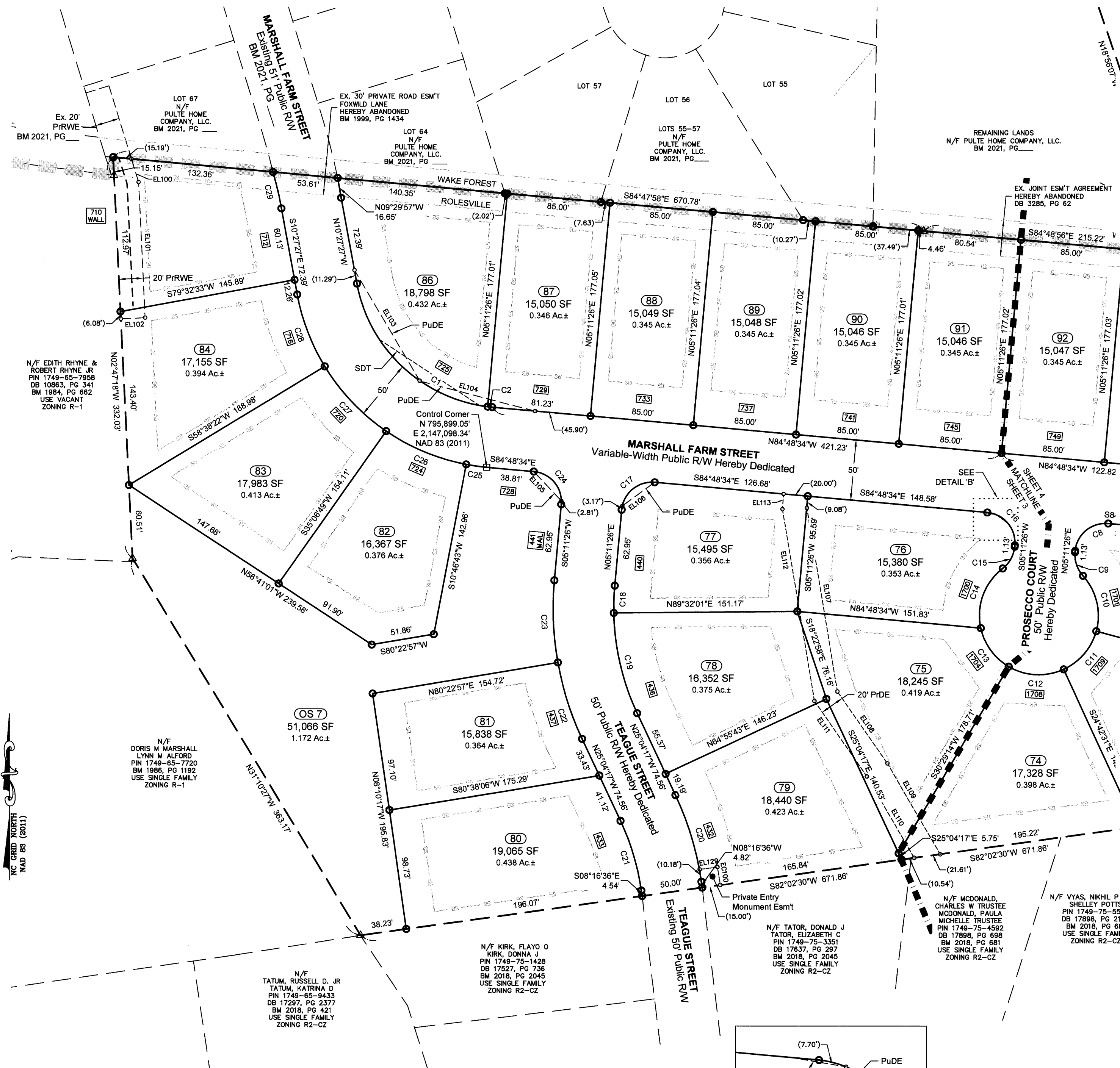
Line Table		
LINE #	DIRECTION	LENGTH
EL100	S17°05'31"E	20.06'
EL101	S02°47'18"E	112.63'
EL102	S87°08'01"W	20.00'
EL103	S30°33'01"E	105.89'
EL104	S75°29'50"E	97.37'
EL105	N43°02'08"W	33.31'
EL106	S63°49'35"W	33.04'
EL107	S09°26'09"E	154.45'
EL108	S34°44'32"E	72.28'
EL109	S30°12'01"E	86.50'
EL110	N30°12'01"W	77.52'
EL111	N34°44'32"W	75.98'
EL112	N09°26'09"W	160.61'
EL113	N04°09'47"E	12.51'
EL129	N82°03'09"E	15.01'
EL131	N52°52'00"W	12.29'



WAKE COUNTY, NC 64
TAMMY L. BRUNNER
REGISTER OF DEEDS
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BOOK: BM2022 PAGE: 00045



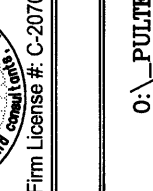
- LEGEND**
- Existing Monumentation
 - Iron Pipe Set
 - Mathematical Point
 - Existing Pinched Iron Pipe
 - Existing Iron Pipe
 - Existing Concrete Marker
 - Right-of-Way
 - Deed Book / Plat Book
 - City of Raleigh Sanitary Sewer Esm't
 - Easement
 - Sight Distance Esm't
 - Private Drainage Esm't
 - Public Drainage Esm't
 - Private Retaining Wall Esm't
 - Public Access Esm't
 - Public Sanitary Sewer Esm't
 - Special Flood Hazard Area
 - Sanitary Sewer
 - Open Space
 - Tie Distance (Chord Distance)
 - Wetlands
 - Matchlines
 - Town Lines
 - Approximate Wall Location
 - Setback Lines

REGENCY AT HERITAGE - PHASE 3

MAJOR SUBDIVISION & RIGHT-OF-WAY DEDICATION PLAT
ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
FOR PULTE HOME COMPANY

SURVEYED by
MSS LAND CONSULTANTS
6118 Saint Giles St.
Suite E
Raleigh, NC 27612
Phone (919) 510-4464
Fax (919) 510-9102
Email: gowens@mssland.com
"Committed to Total Quality Service"

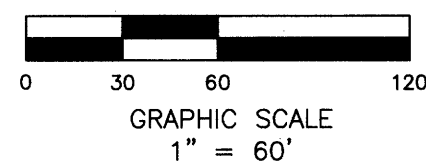
Checked by: MAH
Drawn by: BAO
Date: Feb 12, 2021
North Carolina
Wake County
Rolesville Township
Town of Rolesville



Building Setbacks (Rolesville):
 Front Yard: 30'
 Side Yard: 12'
 Rear Yard: 25'
 Streetside/Secondary Front: 22'

Curve Table				
CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
C3	90.83'	205.00'	S82°29'51"W	90.09'
C4	87.35'	205.00'	S57°35'55"W	86.69'
C5	53.15'	255.00'	N51°21'49"E	53.06'
C6	74.42'	255.00'	N65°41'44"E	74.15'
C7	94.06'	255.00'	N84°37'24"E	93.53'
C8	39.27'	25.00'	N50°11'26"E	35.36'
C9	21.06'	25.50'	N18°28'17"W	20.47'
C10	49.06'	49.00'	N13°26'53"W	47.04'
C11	42.81'	49.00'	N40°15'52"E	41.46'
C12	47.20'	49.00'	S87°06'38"E	45.40'

Line Table		
LINE #	DIRECTION	LENGTH
EL114	N84°43'48"W	26.39'
EL115	N05°16'12"E	20.00'
EL116	S84°43'48"E	92.83'
EL117	S05°16'12"W	14.54'
EL118	N08°15'56"E	59.68'
EL119	N24°58'38"W	20.00'
EL120	N65°01'22"E	97.43'
EL121	N45°24'06"E	211.30'
EL122	N47°41'19"E	71.74'
EL123	N02°07'25"E	33.60'
EL124	S87°52'35"E	20.00'
EL125	S02°37'59"W	52.39'
EL126	S47°43'00"W	74.17'
EL127	S45°23'34"W	192.44'
EL128	S65°01'22"W	121.72'

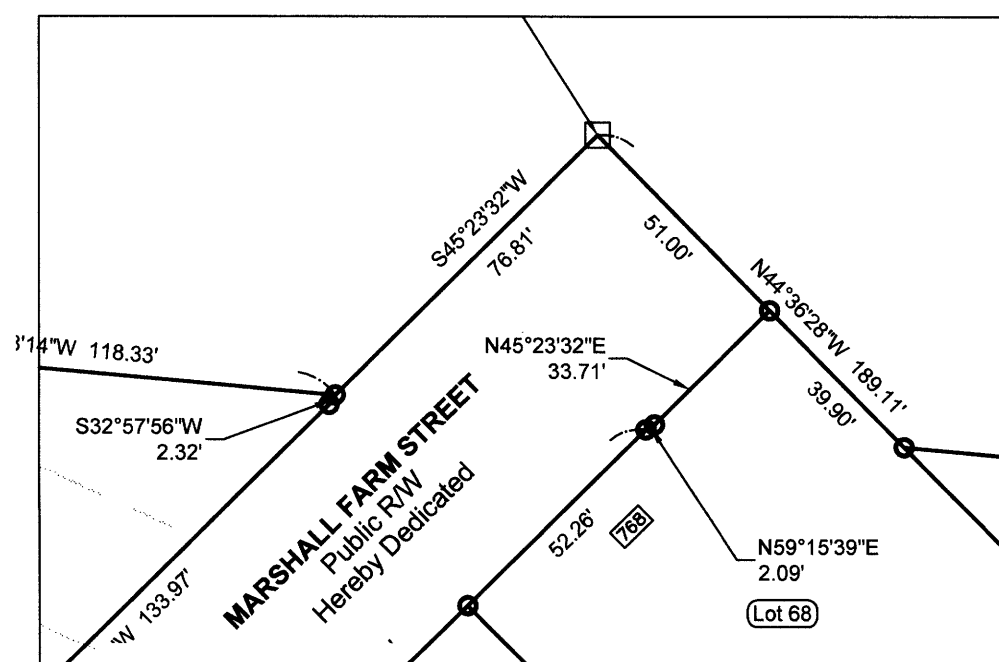
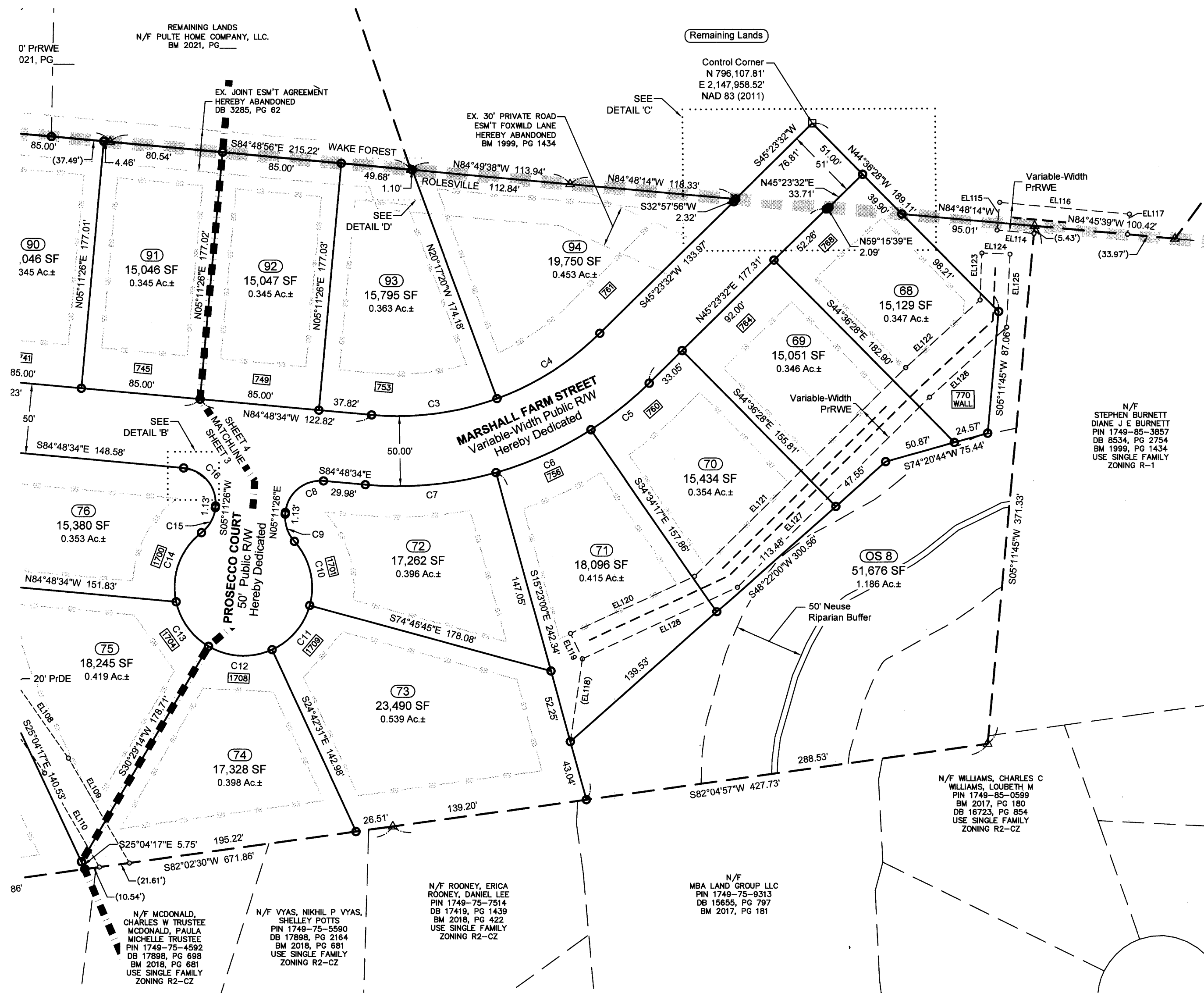


WAKE COUNTY, NC 65
 TAMMY L. BRUNNER
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 01/10/2022 10:34:53

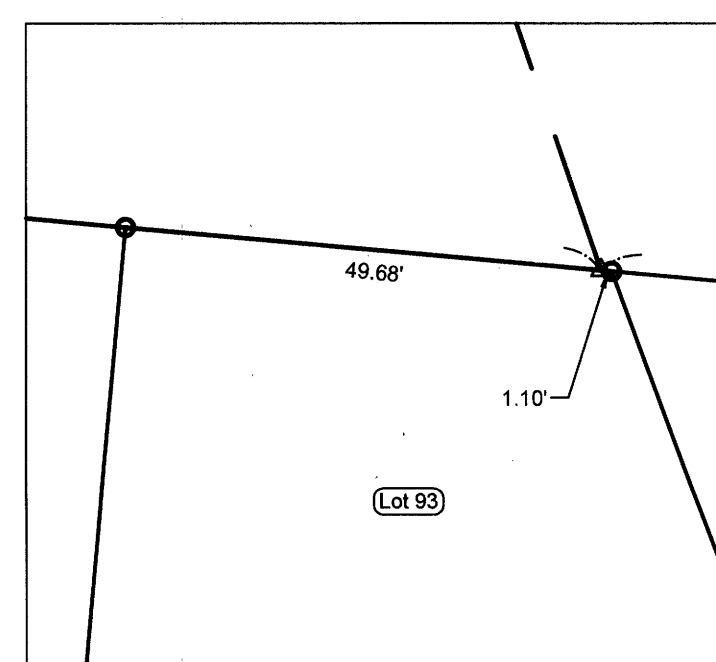


BOOK: BM2022 PAGE: 00046

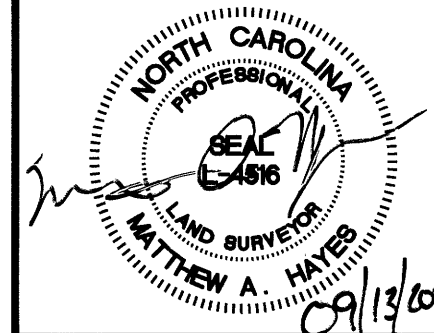
BOOK 2022, PAGE 46



DETAIL C
 1" = 40'



DETAIL D
 1" = 20'



LEGEND	
●	Existing Monumentation
○	Iron Pipe Set
△	Mathematical Point
△	Existing Pinched Iron Pipe
△	Existing Iron Pipe
ECM	Existing Concrete Marker
R/W	Right-of-Way
DB / PB	Deed Book / Plat Book
CORSSE	City of Raleigh Sanitary Sewer Esm't
Esm't	Easement
SDE	Sight Distance Esm't
PrDE	Private Drainage Esm't
PuDE	Public Drainage Esm't
PrRWE	Private Retaining Wall Esm't
PuAE	Public Access Esm't
PSSE	Public Sanitary Sewer Esm't
SFHA	Special Flood Hazard Area
SS	Sanitary Sewer
OS	Open Space
(0.00')	Tie Distance (Chord Distance)
Wetlands	
Matchlines	
Town Lines	
Approximate Wall Location	
Setback Lines	

REGENCY AT HERITAGE - PHASE 3

MAJOR SUBDIVISION & RIGHT-OF-WAY DEDICATION PLAT

ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

FOR PULTE HOME COMPANY

Checked by: MAH
 Drawn by: BAO
 Date: Feb 12, 2021
 North Carolina
 Wake County
 Rolesville Township
 Town of Rolesville

SURVEYED by

MSS LAND CONSULTANTS
 6118 Saint Giles St. Phone (919) 510-4484
 Suite E Fax (919) 510-9102
 Raleigh, NC 27612 Email: gowers@mssland.com
 Firm License # C-2070



"Committed to Total Quality Service"

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