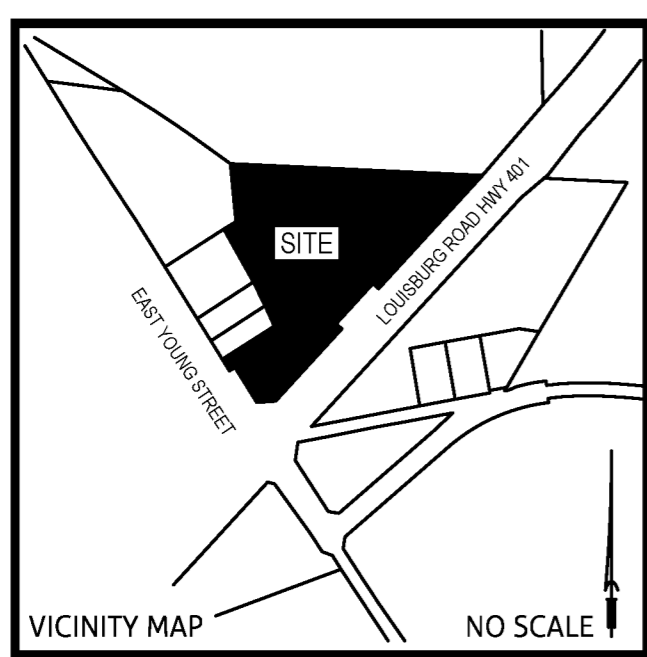


WAKE COUNTY, NC
TAMMY L. BRUNNER
REGISTER OF DEEDS
PRESENTED & RECORDED ON
08-22-2022 AT 14:16:08
BOOK: BM2022 PAGE: 01527 - 01527



Meredith Gruber
REVIEW OFFICER OF THE TOWN OF ROLESVILLE, WAKE COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY
REQUIREMENTS FOR RECORDING.
Meredith Gruber
REVIEW OFFICER DATE 8/22/2022

CERTIFICATE OF OWNERSHIP AND DEDICATION. I HEREBY CERTIFY THAT I AM THE
OWNER OF THE PROPERTY SHOWN AND DESCRIBE HEREON, WHICH IS LOCATED IN
THE SUBDIVISION JURISDICTION OF THE TOWN OF ROLESVILLE AND THAT I HEREBY
ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT AND ESTABLISH
THE BUILDING SETBACK LINES AS NOTED.
KELLY ARNOLD
DATE 8/19/2022

- NO NGS MONUMENT FOUND WITHIN 2,000 FEET OF THE SITE.
- THE FOLLOWING INFORMATION WAS USED TO OBTAIN NC GRID NAD 83 (2011), NAVD 88 (GEOID 12B) STATE PLANE COORDINATES (SPC) FOR THIS PROJECT:
 - CLASS OF SURVEY: URBAN LAND SURVEYS (CLASS A)
 - POSITIONAL ACCURACY: 0.03' (H), 0.07' (V)
 - GPS FIELD PROCEDURE: VRS
 - DATE OF SURVEY: 04/29/2021
 - DATUM/EPOCH: NAD 83 (2011), EPOCH 2010.00
 - PUBLISHED DATE/FIXED CONTROL USED: VRS, NCRD
 - GEOID MODEL: GEOID 12B
 - COMBINED GRID FACTOR: 0.999924618
 - UNITS: U.S. SURVEY FEET
 - GRID/GROUND POINT: Y(N) 788,839.69 X(E) 2,162,652.50
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
- ALL AREAS DERIVED BY THE COORDINATE COMPUTATION METHOD.
- PROPERTY SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATED AND HAS BEEN PREPARED IN CONFORMITY WITH NORTH CAROLINA STANDARDS, G.S. 47-30, AND REQUIREMENTS OF LAW, BUT A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH, AND LOCATION OF EASEMENTS AND OTHER TITLE QUESTIONS REVEALED BY TITLE EXAMINATION.
- INES NOT SURVEYED ARE SHOWN AS BROKEN LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS PLAT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAP 3720176800J DATED MAY, 02, 2006.
- LOCATION OF UTILITIES, WHETHER PUBLIC OR PRIVATE, IS BASED UPON FIELD LOCATION OF VISIBLE APPURTENANCES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. WITHERSRAVENEL CANNOT ASSUME RESPONSIBILITY FOR MISIDENTIFICATION OR OMISSION OF UNDERGROUND UTILITIES.

NEW BATHEL BAPTIST CHURCH
605 EAST YOUNG STREET
PIN 1768292199
DEED BOOK 77 PAGE 521
ZONING RL
LAND USE: ASSEMBLY CHURCH

POINT OF BEGINNING
NAD 83(2011)
N: 788,839.69'
E: 2,162,652.50'

CAMERON EDWIN SHEARON & BEVERLY W SHEARON
701 EAST YOUNG STREET
PIN 1768286603
DEED BOOK 17687 PAGE 1025
ZONING: GC
LAND USE: RESIDENTIAL

CAMERON EDWIN SHEARON & BEVERLY W SHEARON
731 EAST YOUNG STREET
PIN 1768286475
DEED BOOK 1851B PAGE 1322
ZONING: RL
LAND USE: RESIDENTIAL

ASHLEY TRANKLIN PULLEY & BRIAN WATH HULL
801 EAST YOUNG STREET
PIN 1768286489
DEED BOOK 1489 PAGE 228
ZONING: RL
LAND USE: RESIDENTIAL

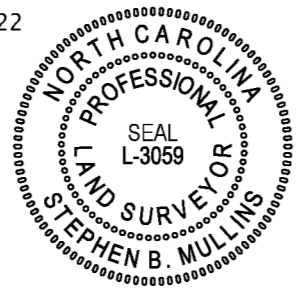
TYPE OF PLAT

- 1. THIS SURVEY CREATES A SUBDIVISION OF LAND IN AN AREA COVERED BY A SUBDIVISION ORDINANCE.
- 2. THIS SURVEY IS OF A LAND IN AN UNREGULATED AREA.
- 3. THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS.
- 4. THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF AN EXISTING PARCEL OR COURT ORDERED SURVEY.
- 5. FROM INFORMATION AVAILABLE, THE SURVEYORS IS UNABLE TO MAKE A DETERMINATION FROM PROVISION 1-4.

SURVEYOR'S CERTIFICATION

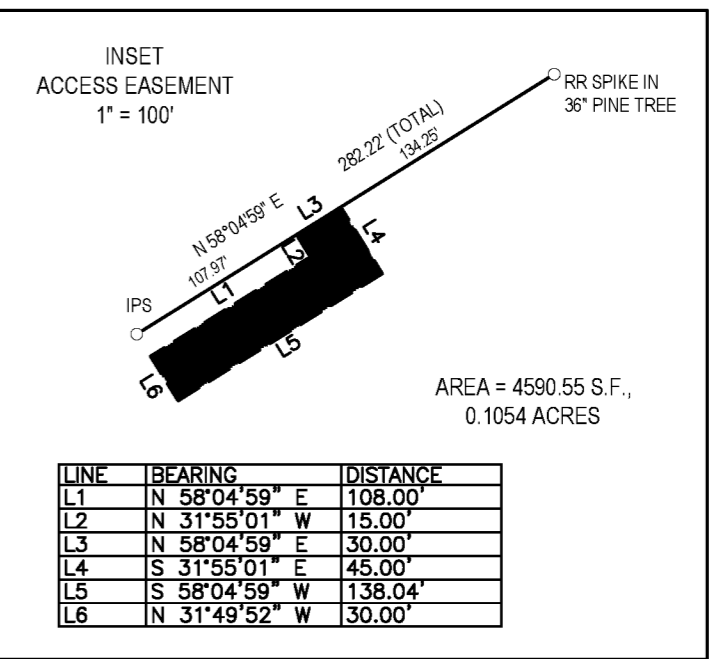
I, STEPHEN B. MULLINS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED AS SHOWN ON HEREON); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION SHOWN ON THE FACE OF THIS MAP; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1:25,000+; AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 27th DAY OF JUNE, A.D. 2022.

DocuSigned by:
Stephen B Mullins
8/19/2022
STEPHEN B. MULLINS, PROFESSIONAL LAND SURVEYOR
LICENSE NUMBER L-3059



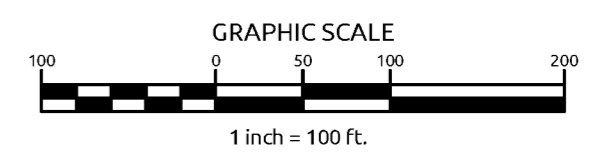
REVISIONS:	DATE: 6-29-2022
Comments 8-8-2022	SCALE: 1"=100'
	SURVEYED BY: ANDY B
	DRAWN BY: BURB
	CHECK & CLOSURE BY: BURB
	CAD FILE: Rolesville PW Plat.dwg
	PROJECT NO: 02210710

A BOUNDARY SURVEY OF:		
ROLESVILLE PUBLIC WORKS FACILITY		
OWNED BY: THE TOWN OF ROLESVILLE 605 EAST YOUNG STREET, DEED BOOK 18520 PAGE 2293		
TOWNSHIP: WAKE FOREST	COUNTY: WAKE	STATE: NORTH CAROLINA
P.I.N.: 1768381703	ZONING: RW40	SHEET: 1 of 1



- LEGEND:**
- PIN = PARCEL IDENTIFICATION NUMBER
 - D.B. = DEED BOOK
 - P.B. = PLAT BOOK
 - PG. = PAGE
 - S.F. = SQUARE FEET
 - IPS = IRON PIPE SET
 - EIP = EXISTING IRON PIPE
 - ▲ RW DISK = IRON REBAR SET W/ RIGHT OF WAY DISK
 - CMF = CONCRETE MONUMENT FOUND

- EXISTING RIGHT OF WAY (RW) LINE
- EXISTING PROPERTY LINE
- LINE NOT SURVEYED
- FENCE
- POND / EDGE OF WATER
- PAE = PROPOSED ACCESS EASEMENT



FP 22-10

WithersRavenel
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