

# THE POINT - PHASES 3, 4, 5, 7 AND 10



**McADAMS**

The John R. McAdams Company, Inc.  
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**CONTACT**

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**CLIENT**

ASHTON RALEIGH RESIDENTIAL, LLC.  
900 RIDGEFIELD DRIVE, SUITE 335  
RALEIGH, NORTH CAROLINA 27609  
PHONE: 919. 422. 7663  
CONTACT: BOB MISHLER

**PROJECT DIRECTORY**

## EAST YOUNG STREET ROLESVILLE, NORTH CAROLINA

# CONSTRUCTION DRAWINGS - PACKAGE 2

PROJECT NUMBER: AWH-20000

DATE: MAY 8, 2023

**15.4.5 - Streets**

15.4.5.1  
Type of Street Required All subdivision lots shall abut at least 20 feet on a public street. All public streets shall be dedicated to the Town of Rolesville, the State of North Carolina or the public as determined appropriate by the Board of Commissioners of the Town of Rolesville. All public streets shall be built to the standards of this ordinance and all other applicable standards of the Town of Rolesville and the North Carolina Department of Transportation. Public streets not dedicated to the Town which are eligible for acceptance into the State Highway System shall be constructed to the standards necessary to be put on the State Highway System or the standards in this ordinance, whichever is stricter, in regard to each particular item and shall be put on such system. Streets not dedicated to the Town which are not eligible to be put on the State Highway System because there are too few lots or residences shall, nevertheless, be dedicated to the public and shall be in accordance with the standards in this ordinance or the standards necessary to be put on the State Highway System, whichever is stricter in regard to each particular item, so as to be eligible to be put on the system at a later date. A written maintenance agreement with provisions for maintenance of the street until it is put on the State System shall be included with the final plat.

15.4.5.2  
Subdivision Street Disclosure Statement All streets shown on the final plat shall be designated in accordance with G.S. § 136-102.6 and designation as public shall be conclusively presumed an offer of dedication to the public. Where streets are dedicated to the public but not accepted into a municipal or the State system, before lots are sold, a statement explaining the status of the street shall be included with the final plat.

PARCEL OWNER LIST		
PIN	OWNER	AREA
1768131851	ASHTON RALEIGH RESIDENTIAL, LLC 4025 LAKE BOONE TRAIL, SUITE 200 RALEIGH, NORTH CAROLINA 27607	31.13 AC.
1768254698	BROOKFIELD HOLDINGS (THE POINTE) LLC ANDREW BRALISA 250 VESEY STREET FL 15 NEW YORK, NY 10281-1065	109.24 AC.
1768347557	ASHTON RALEIGH RESIDENTIAL, LLC 4025 LAKE BOONE TRAIL, SUITE 200 RALEIGH, NORTH CAROLINA 27607	11.90 AC.
1758839170	ASHTON RALEIGH RESIDENTIAL, LLC 4025 LAKE BOONE TRAIL, SUITE 200 RALEIGH, NORTH CAROLINA 27607	47.53 AC.

**SURVEY BY:**  
BATEMAN CIVIL SURVEY COMPANY  
2424 RELIANCE AVENUE, APEX, NC 27539

TOPOGRAPHIC DECEMBER 22, 2019  
ALTA SURVEY DECEMBER 12, 2019

STEVEN P. CARSON, PLS  
NC LICENSE # 4752  
919-577-1081

**SURVEY NOTES**

- THE PROPERTY LIES IN ZONE "X" PER NATIONAL FLOOD INSURANCE PROGRAM RATE MAP 3720175800J & 3720176800J DATES 05/02/2006.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE BASED ON OBSERVED GPS CONTROL, NAD 83 / NGRS 2011 / STATE PLANE COORDINATES.
- SUBJECT PARCEL ZONED R & PLUD PER WAKE COUNTY GIS.
- SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY COMPANY UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS. FIELD WORK WAS COMPLETED DEC 3 - 21, 2018.
- AREAS COMPUTED BY COORDINATE METHOD.
- SANITARY SEWER LINE EASEMENT WAS CREATED BASED ON CENTER LINES ON MANHOLES USING FIELD EVIDENCE.
- NO CEMETERIES OBSERVED AS A RESULT OF THE SURVEY.
- BUILDINGS ARE AS SHOWN ON SURVEY.

**Impervious Summary**

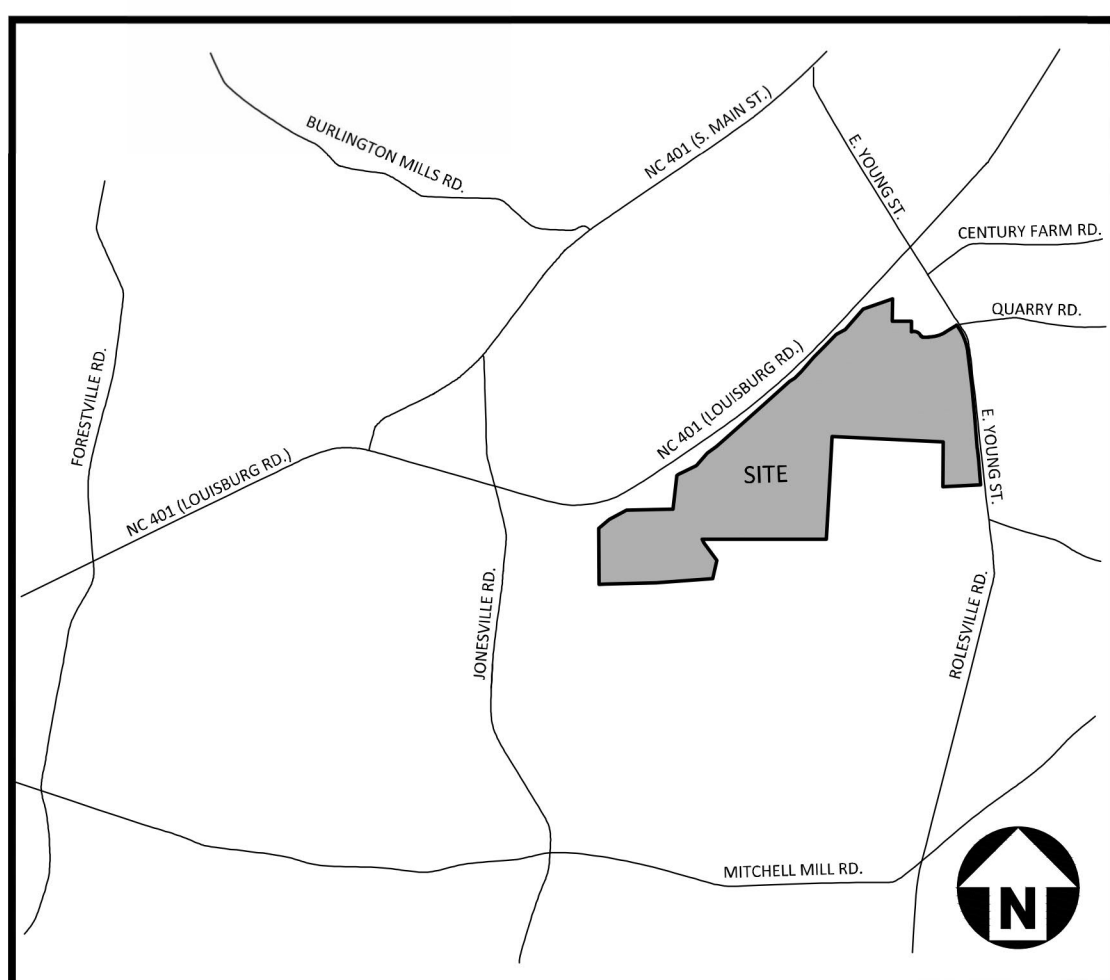
Total Area For Lots	SF 40+	SF 40-	SF 39+	SF 39-	TN-22
	0.00	0.00	0.00	0.00	0.00

**Lot Assumptions Breakdown**

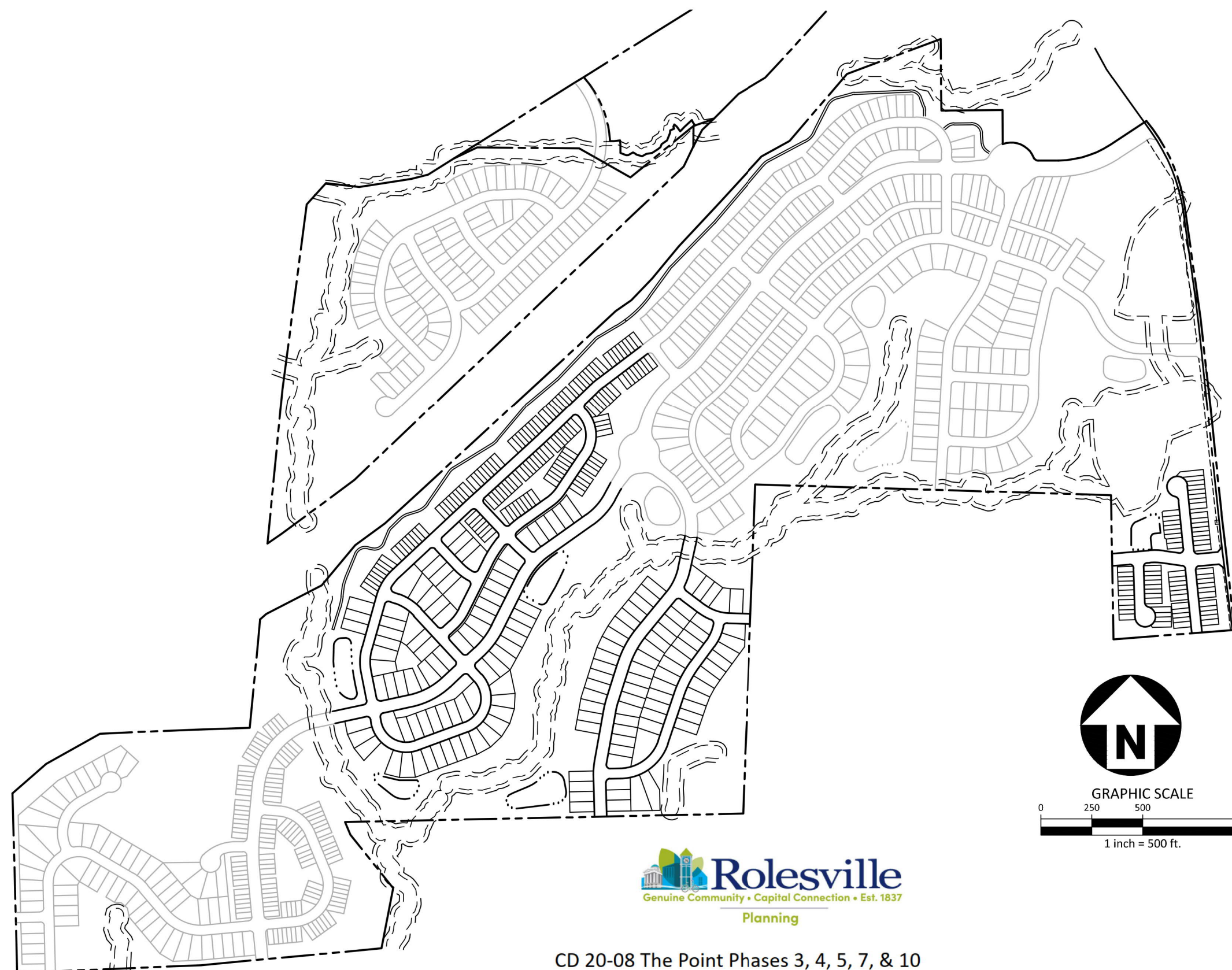
	Impervious	Roof(20% Imp.)	Sidewalk(10% Imp.)	Driveway(20% Imp.)	Pervious
SF 40+	0.00	0.00	0.00	0.00	0.00
SF 40-	0.00	0.00	0.00	0.00	0.00
SF 39+	0.00	0.00	0.00	0.00	0.00
SF 39-	61,798.0	43,759.0	61,798.0	123,597.0	429,984.0
Totals	61,798.0	43,759.0	61,798.0	123,597.0	429,984.0

**Residential**

Area	
Roadway	6348.52
Grassland Right of Way	45338.84
Driveway	18611.14
Parking Lot	0
Road	653.96
Sidewalk(Include Public)	892.28
Lawn	460291
Managed Forest	0
Wood(Not on lots)	302365.2
Wood(on lots)	748.26
Pond	8692.11
Open(Include Crops)	631206.6



**VICINITY MAP**  
N.T.S.



**Rolesville**  
Genuine Community • Capital Connection • Est. 1837  
Planning

CD 20-08 The Point Phases 3, 4, 5, 7, & 10  
(Package 2)

**APPROVED**

Date: June 1, 2023

*Meredith Huber*

Town of Rolesville Planning Department

**SITE PERMITTING APPROVAL**

**Water and Sewer Permits (if applicable)**  
The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # S-3935.  
The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # W-3862.  
The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.  
City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be relied upon once issued. Any modification to this approval once issued will invalidate this approval.  
City of Raleigh Development Approval: \_\_\_\_\_  
City of Raleigh Review Officer: \_\_\_\_\_

**CORPUD APPROVAL CONDITION:**  
CONVEYANCE OF SEWAGE FROM THE PROPOSED LOTS WITHIN THE POINT SOUTH CD PACKAGE #2 WILL RELY ON IMPROVEMENTS TO THE HARRIS CREEK INTERCEPTOR THAT ARE BEING DESIGNED BY McADAMS AND AMERICAN ENGINEERING. THE PLAN SET BY McADAMS IS TITLED HARRIS CREEK INTERCEPTOR IMPROVEMENTS AND WILL BE ASSIGNED PERMIT # S-4979. THE PLAN SET BY AMERICAN ENGINEERING IS TITLED HARRIS CREEK SANITARY SEWER REPLACEMENT AND WILL BE ASSIGNED PERMIT # S-5037. THE POINT SOUTH CD PACKAGE #2 LOTS WILL NOT BE RECORDED. AND THE ONSITE WATER/SEWER UTILITIES WILL NOT BE ACCEPTED BY RALEIGH UNTIL THE HARRIS CREEK INTERCEPTOR IMPROVEMENTS UNDER PERMITS # S-4979 AND # S-5037 ARE APPROVED, INSTALLED, AND ACCEPTED BY RALEIGH FOR MAINTENANCE.

**EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT**

**APPROVED**

EROSION CONTROL  SEC-049643-2020

STORMWATER MGMT.  SWF-49645-2020

FLOOD STUDY  S-

DATE **5-26-2023**

*Barney Blackburn*  
ENVIRONMENTAL CONSULTANT SIGNATURE

**QUANTITIES :**

STREETS			
QUARRY ROAD "1"	60' R/W	1,833 LF	
ATHIRST WAY	50' R/W	418 LF	
CHEBURIC WAY	50' R/W	305 LF	
CHARM COURT	50' R/W	968 LF	
FETCHING PLACE	60' R/W	1,484 LF	
LINEAGE PLACE	50' R/W	410 LF	
MIRTH COURT	50' R/W	724 LF	
ROSY COURT	50' R/W	290 LF	
PARAGON PLACE	50' R/W	544 LF	
SANGUINE WAY	50' R/W	1,429 LF	
STRIPS DRIVE	60' R/W	564 LF	
SERAPHIC WAY	50' R/W	1,060 LF	
SOLACE WAY	50' R/W	2,342 LF	

**PUBLIC UTILITY IMPROVEMENTS QUANTITIES**  
(CONSTRUCTION DRAWINGS - PACKAGE 2)

PHASE NUMBER	ALL PHASES
NUMBER OF LOTS	357
TOTAL NUMBER	267-623
6" PUBLIC WATER (LF)	616 LF
8" PUBLIC WATER (LF)	6,948 LF
12" PUBLIC WATER (LF)	3,802 LF
8" PUBLIC SEWER (LF)	12,298 LF
WATER SERVICE STUBS	357
SEWER SERVICE STUBS	357

CD 20-08



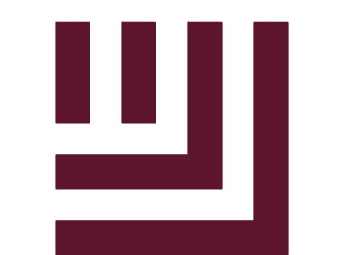
William T. O'Daniel  
cn=William T O'Daniel, cn=US,  
o=North Carolina,  
email=odaniel@mcadamsco.com  
2023.05.05 14:58:42 -04'00'

**REVISIONS**

NO. DATE

**CONSTRUCTION DRAWINGS PACKAGE 1 FOR:**

THE POINT  
PHASES 1-10 AND 14  
EAST YOUNG STREET  
ROLESVILLE, NORTH CAROLINA  
PROJECT NUMBER: AWH-20000



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THE POINT  
PHASES 3, 4, 5, 7 AND 10  
CONSTRUCTION DRAWINGS - PACKAGE 2  
EAST YOUNG STREET  
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,  
WAKE COUNTY, NORTH CAROLINA  
CD 20-08



William T O'Daniel  
c/o-William T O'Daniel, c=US,  
o=North Carolina,  
email=odaniel@mcadamsco.com  
2023.05.05 15:00:10 -04'00'

REVISIONS

Table with columns NO. and DATE

PLAN INFORMATION

PROJECT NO. AWH-20000  
FILENAME AWH20000-CD-PKG-02-N1  
CHECKED BY  
DRAWN BY  
SCALE N.T.S.  
DATE 05.08.2023

SHEET

PROJECT NOTES AND SITE DETAILS

C0.00

CORPUD APPROVAL CONDITION:  
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FIRE LANE NOTES:

- 1. FIRE LANES SHOWN ON THESE PLANS WILL INCLUDE A 20' WIDE LANE PAVED WITH "GRASSPAVE" PAVEMENT SYSTEM, OR APPROVED EQUAL.
2. FIRE LANES SHALL BE MARKED WITH PRECAST CONCRETE OR BRICK PAVERS 12"x12" PLACED ALONG EACH SIDE OF THE FIRELANE FOR EVERY 10 FEET OF LENGTH.
3. IF FIRE LANE ENCLOSES INTO A LOT, AN EASEMENT WILL BE INCLUDED 1 FOOT AROUND FIRE LANE.

OPEN SPACE REQUIREMENTS

Table with columns: OPEN SPACE, AREA (AC) APPROXIMATE, PASSIVE, TOTAL, USE DESCRIPTION. Lists various open space types like PUBLIC GREENWAY, PLAY AREA, DOG PARK, etc.

SETBACKS (SOUTH OF 401 BYPASS)

Tables for R1 PUD, R2 PUD, and R3 PUD setbacks. Columns include FRONT (FRONT LOAD), SIDE, AGGREGATE SIDE, CORNER SIDE, REAR, MIN LOT WIDTH, MIN LOT AREA.

SITE AND OPEN SPACE AREAS

Table showing site areas for RETAIL, RESIDENTIAL, R1, R2, R3, and overall density requirements.

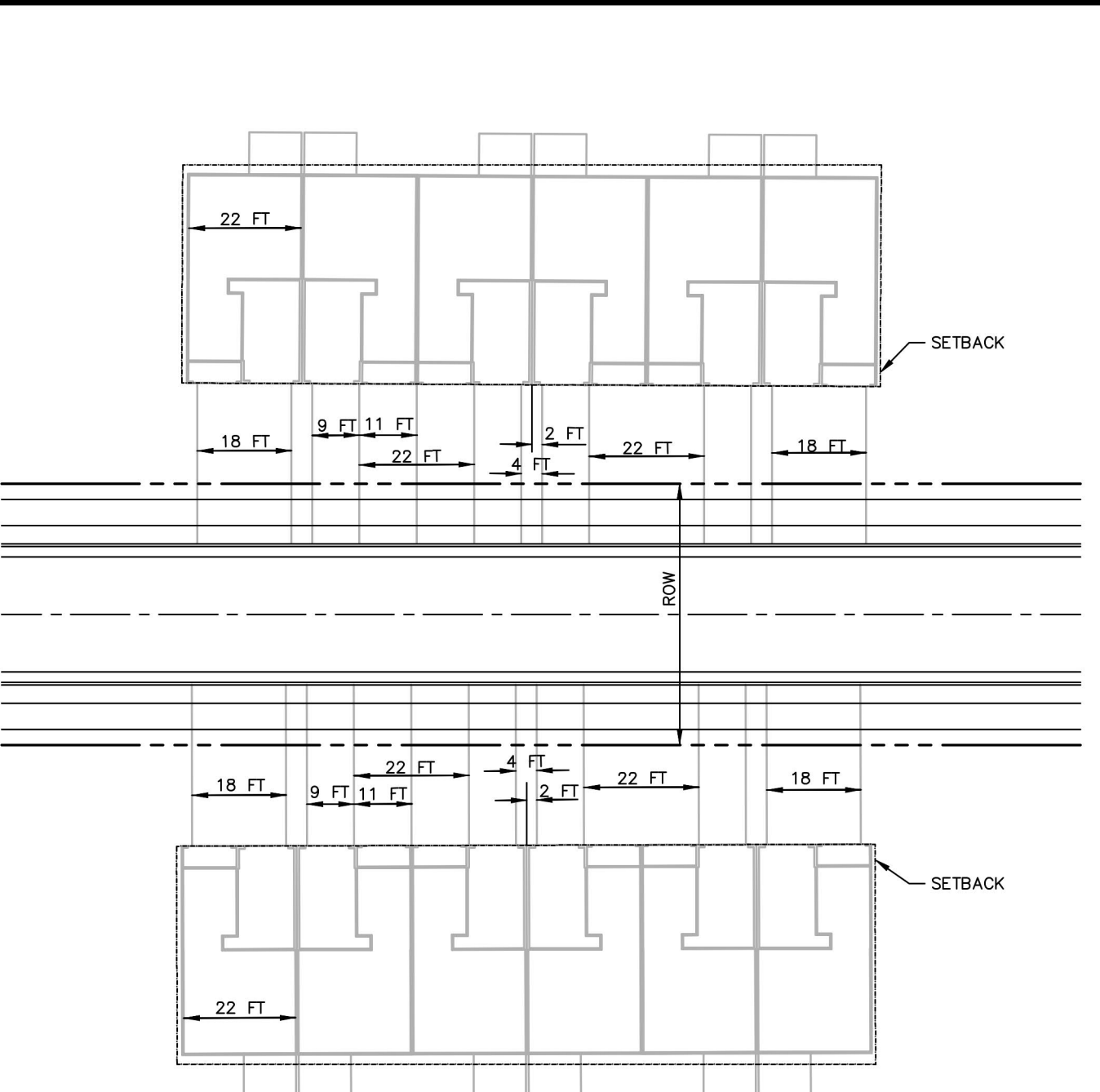
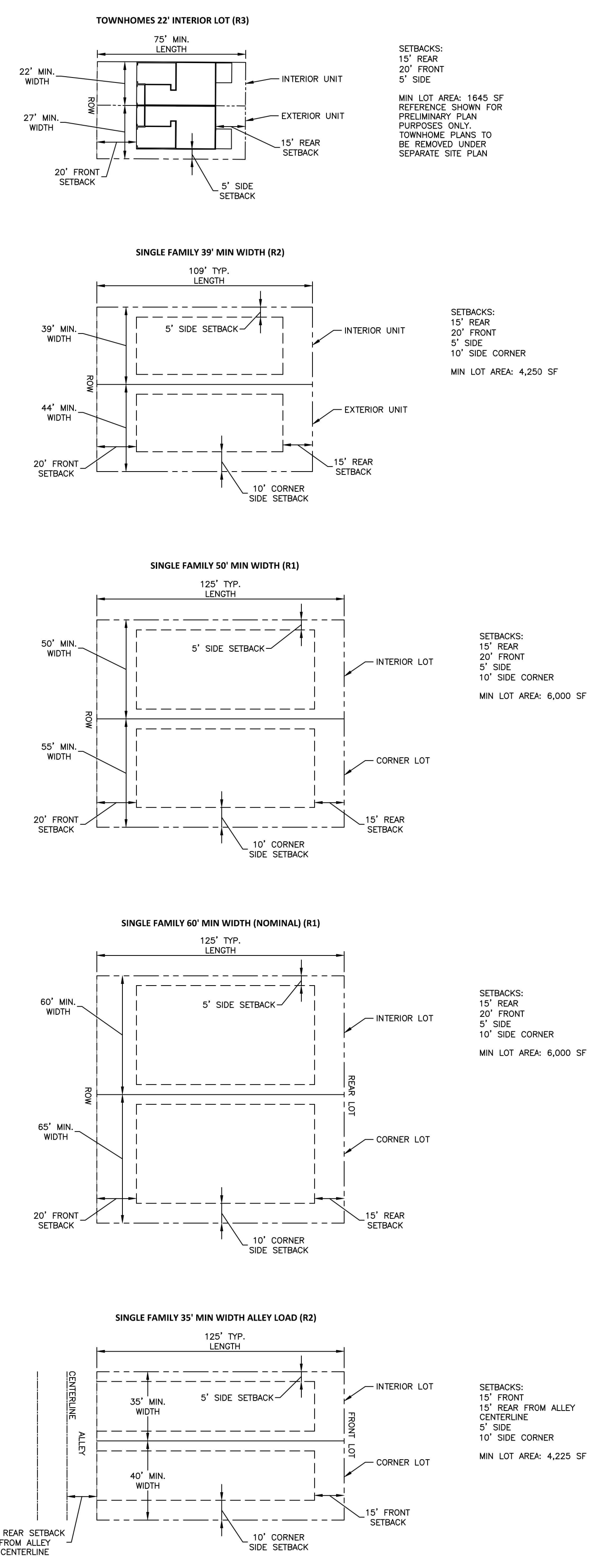
REQUIRED TOWNHOME PARKING

Table showing required and provided parking for different areas (AREA 1, 2, 3) and unit types.

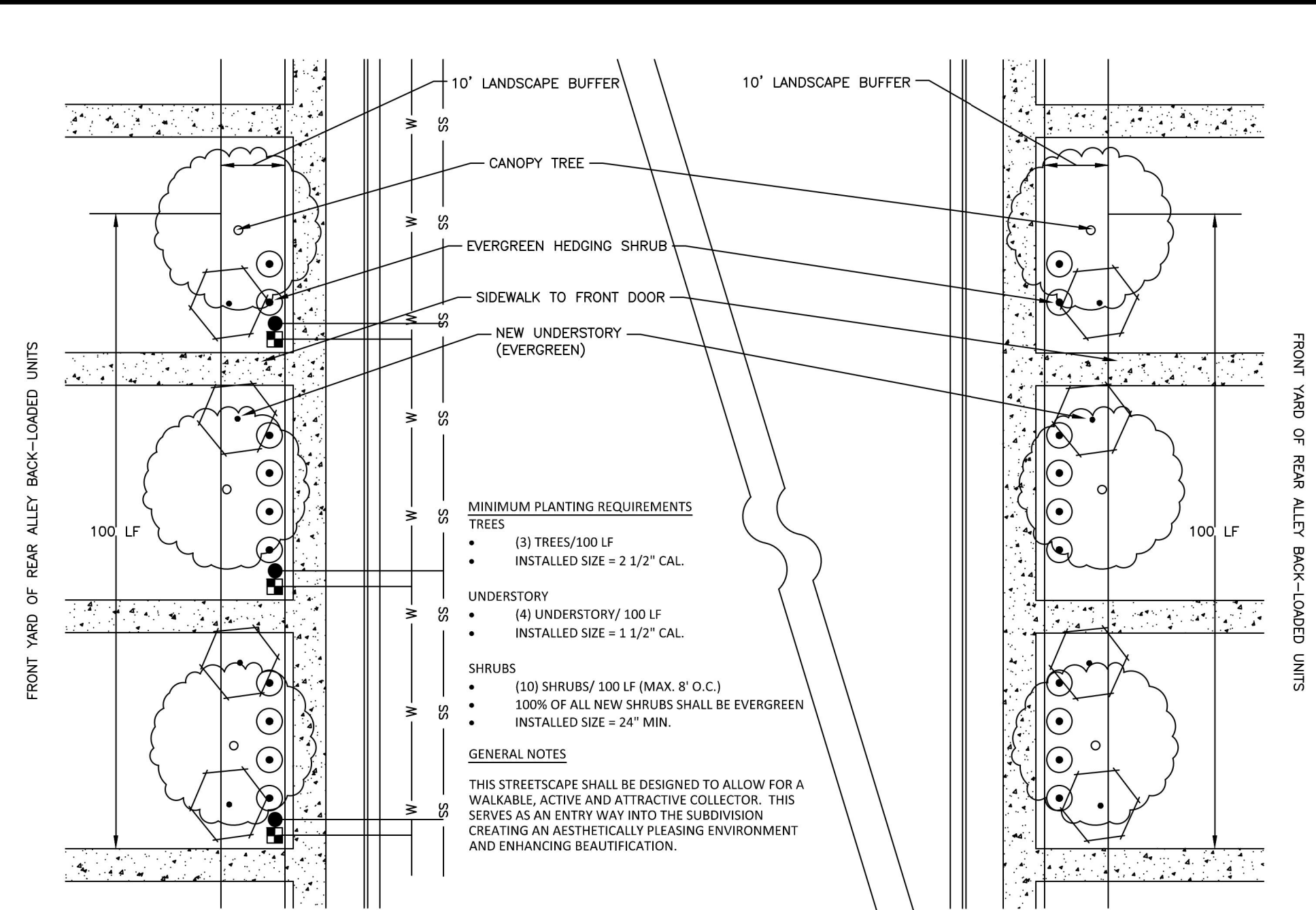
MAIL KIOSK CALCULATIONS

Table showing mail kiosk calculations for different areas, including required and provided units and spaces.

TYPICAL LOT DIMENSIONS SCALE 1" = 40'

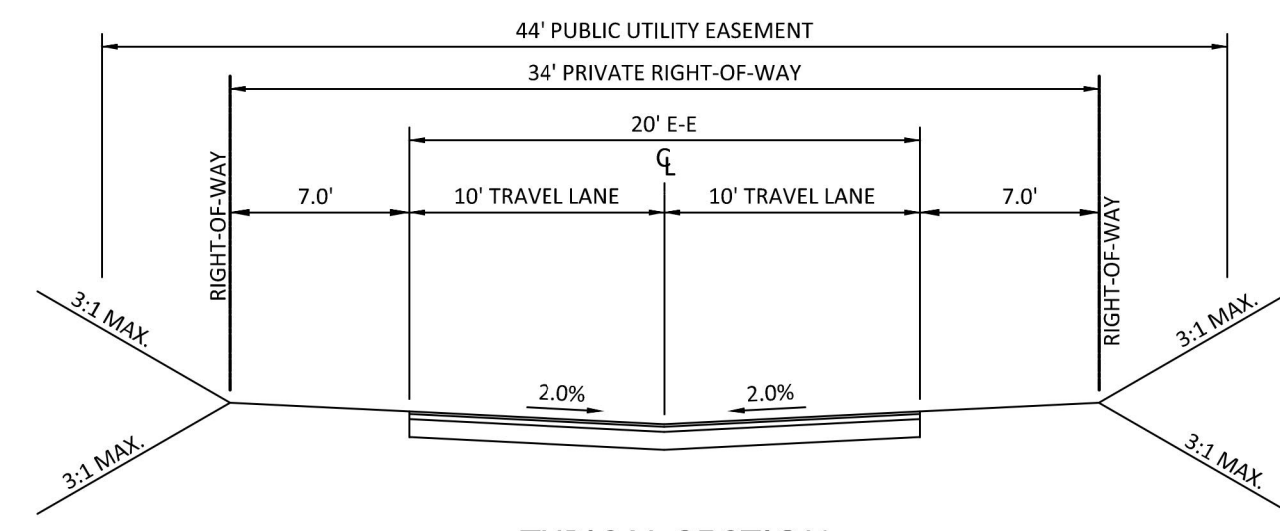


TYPICAL TOWNHOME DRIVEWAY SCALE 1"=30



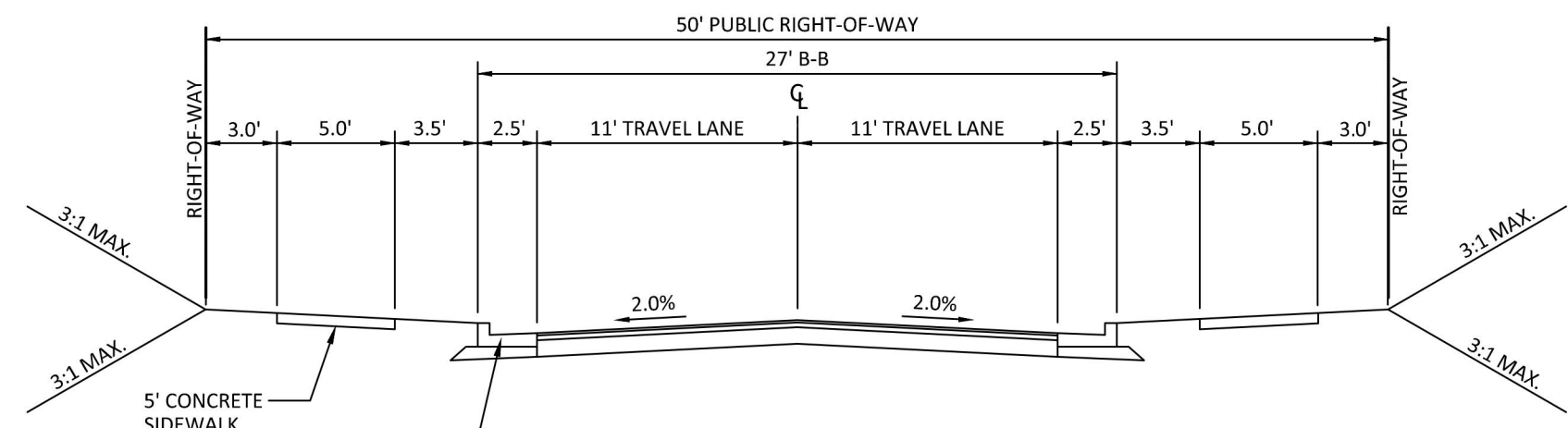
QUARRY ROAD STREETSCAPE NTS

\\s\Projects\AWH\AWH-20000\04-Production\Engineering\Construction Drawings\AWH20000-CD-PKG-02-N1.dwg, 5/9/2023 1:16:16 PM, Sherri Williams



**TYPICAL SECTION ALLEY**  
(34' R/W, 20' E-E)

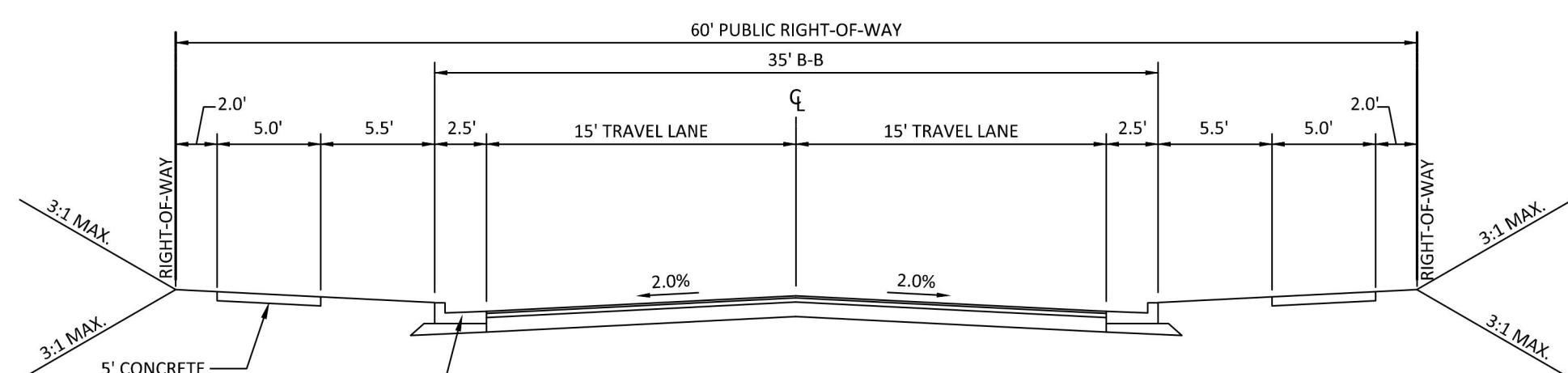
PAVEMENT SECTION  
3.0" S9.5B (SURFACE COURSE, 2 - 1.5" LIFTS)  
8" CABG (BASE COURSE)



**TYPICAL SECTION RESIDENTIAL STREET**  
(50' R/W, 27' B-B)

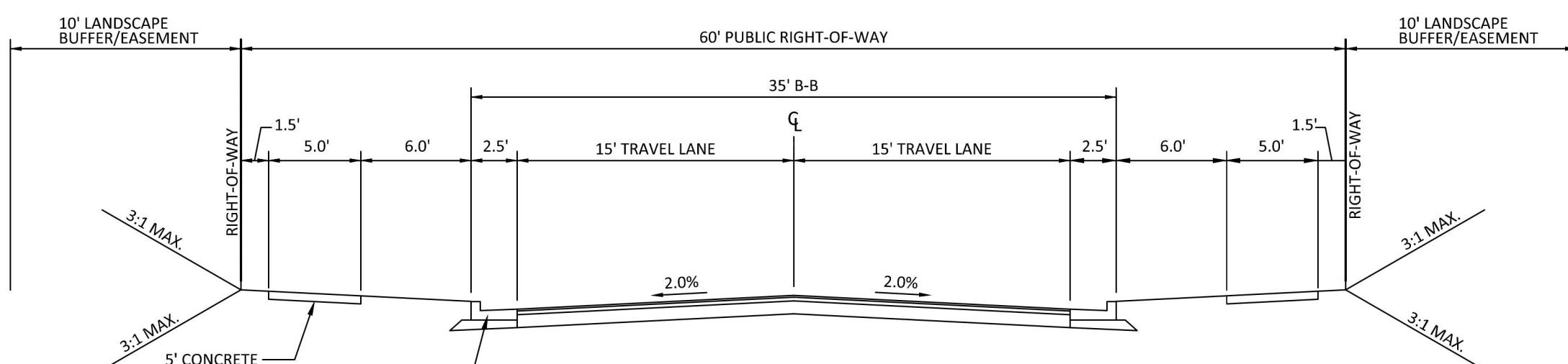
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8" CABG (BASE COURSE)

**PROPOSED QUARRY RD.**  
JOCUND STREET TO FETCHING PLACE  
60' COLLECTOR  
10' TYPE C ORNAMENTAL LANDSCAPE BUFFER/ GREENWAY ESMT NORTHSIDE  
10' TYPE C ORNAMENTAL LANDSCAPE BUFFER, SOUTHSIDE  
FETCHING PLACE TO E. YOUNG ST.  
80' COLLECTOR  
20' TYPE C ORNAMENTAL LANDSCAPE BUFFER/ GREENWAY ESMT NORTHSIDE  
10' TYPE C ORNAMENTAL LANDSCAPE BUFFER, SOUTHSIDE.  
9' LANDSCAPE MEDIAN ALONG CENTERLINE.



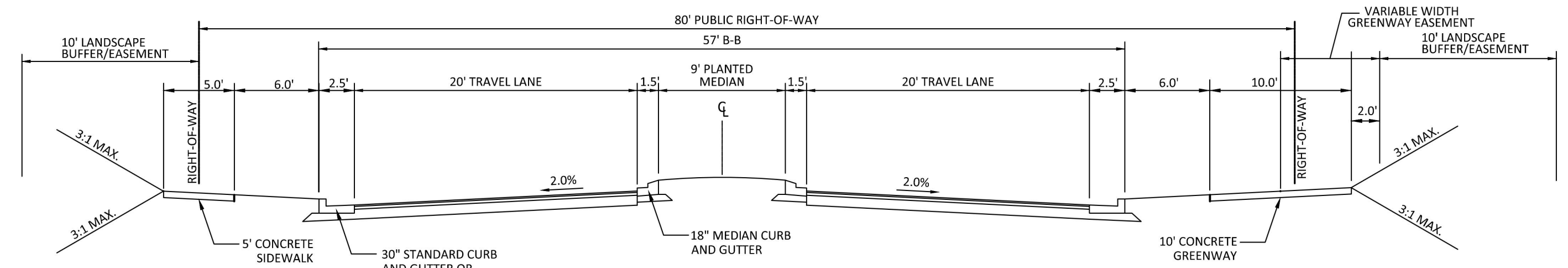
**TYPICAL SECTION RESIDENTIAL COLLECTOR**  
(60' R/W, 35' B-B)

PAVEMENT SECTION  
1.5" S9.5C (SURFACE COURSE)  
2.5" I19.0C (INTERMEDIATE COURSE)  
8" CABG (BASE COURSE)



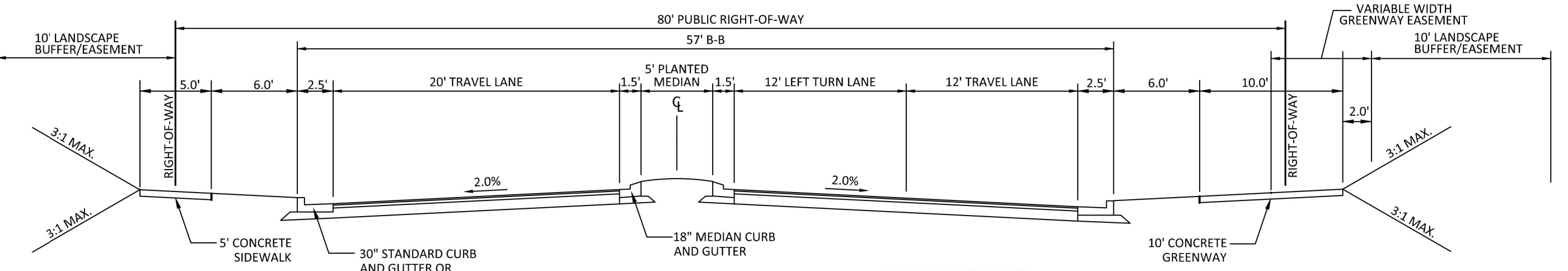
**TYPICAL SECTION RESIDENTIAL COLLECTOR WITH LANDSCAPE BUFFER**  
(60' R/W, 35' B-B)

PAVEMENT SECTION  
1.5" S9.5C (SURFACE COURSE)  
2.5" I19.0C (INTERMEDIATE COURSE)  
8" CABG (BASE COURSE)



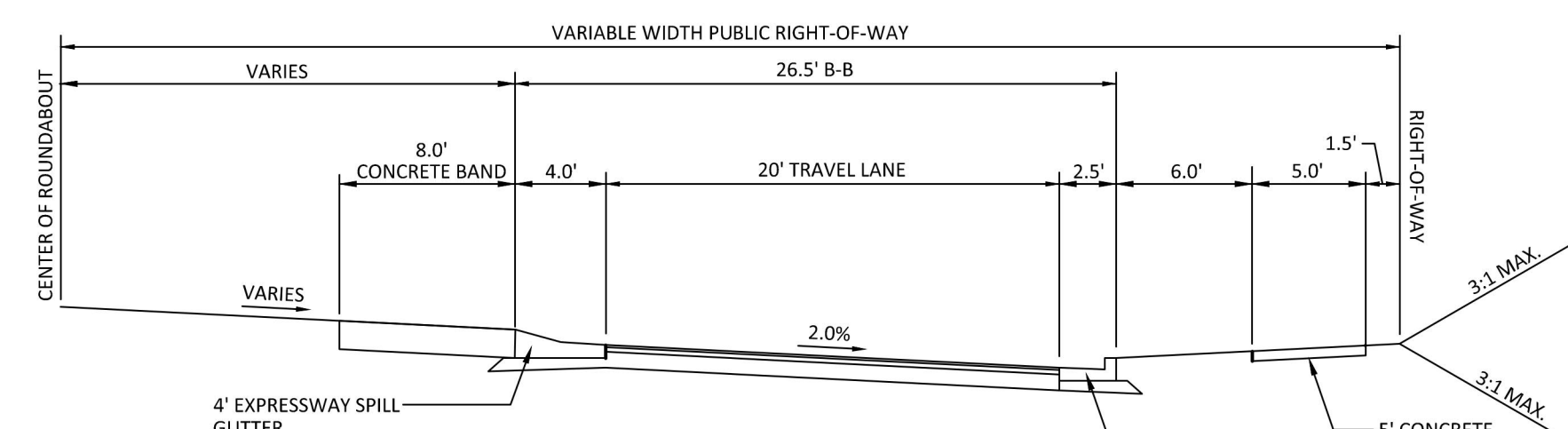
**TYPICAL SECTION RESIDENTIAL COLLECTOR**  
(80' R/W, 57' B-B)

PAVEMENT SECTION  
1.5" S9.5C (SURFACE COURSE)  
2.5" I19.0C (INTERMEDIATE COURSE)  
8" CABG (BASE COURSE)



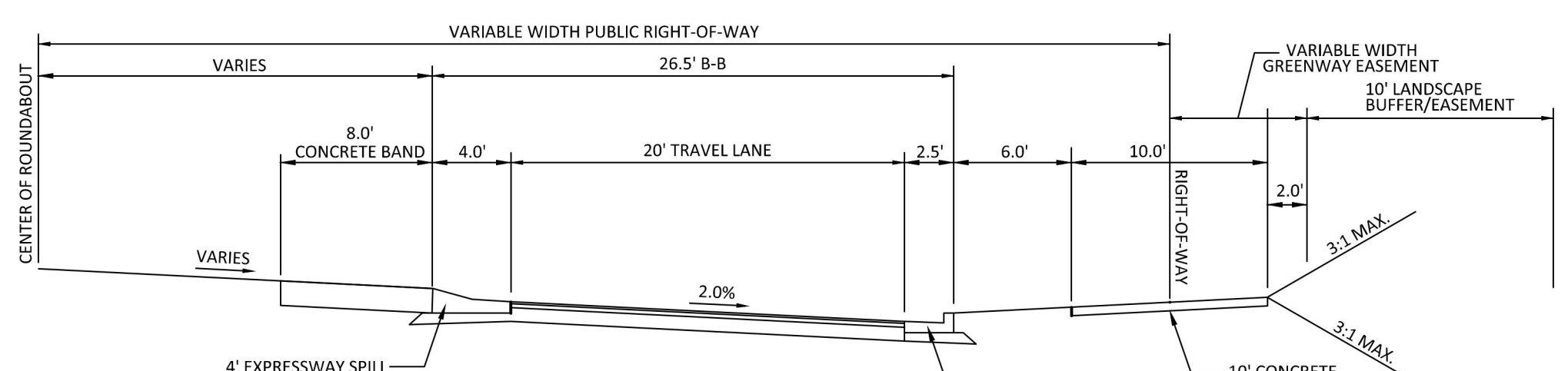
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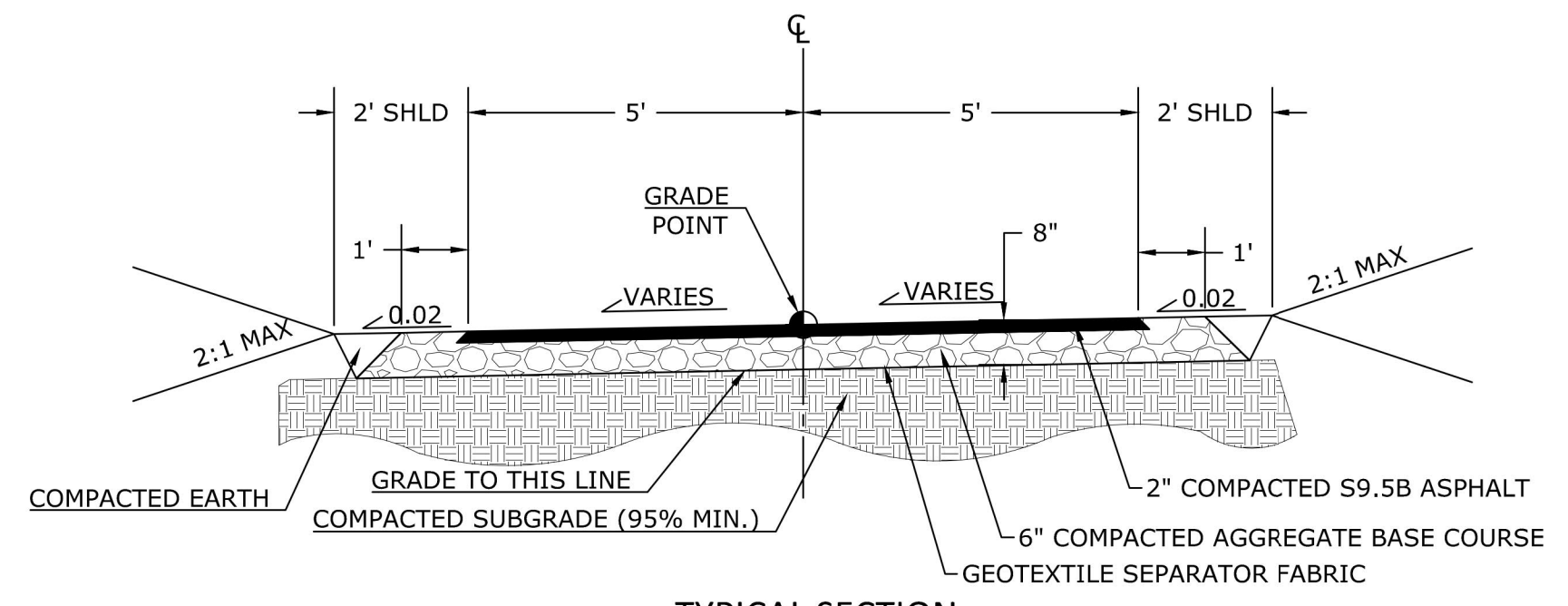
**TYPICAL SECTION ROUNDABOUT**  
(VARIABLE R/W, 26.5' B-B)

PAVEMENT SECTION  
1.5" S9.5C (SURFACE COURSE)  
2.5" I19.0C (INTERMEDIATE COURSE)  
8" CABG (BASE COURSE)

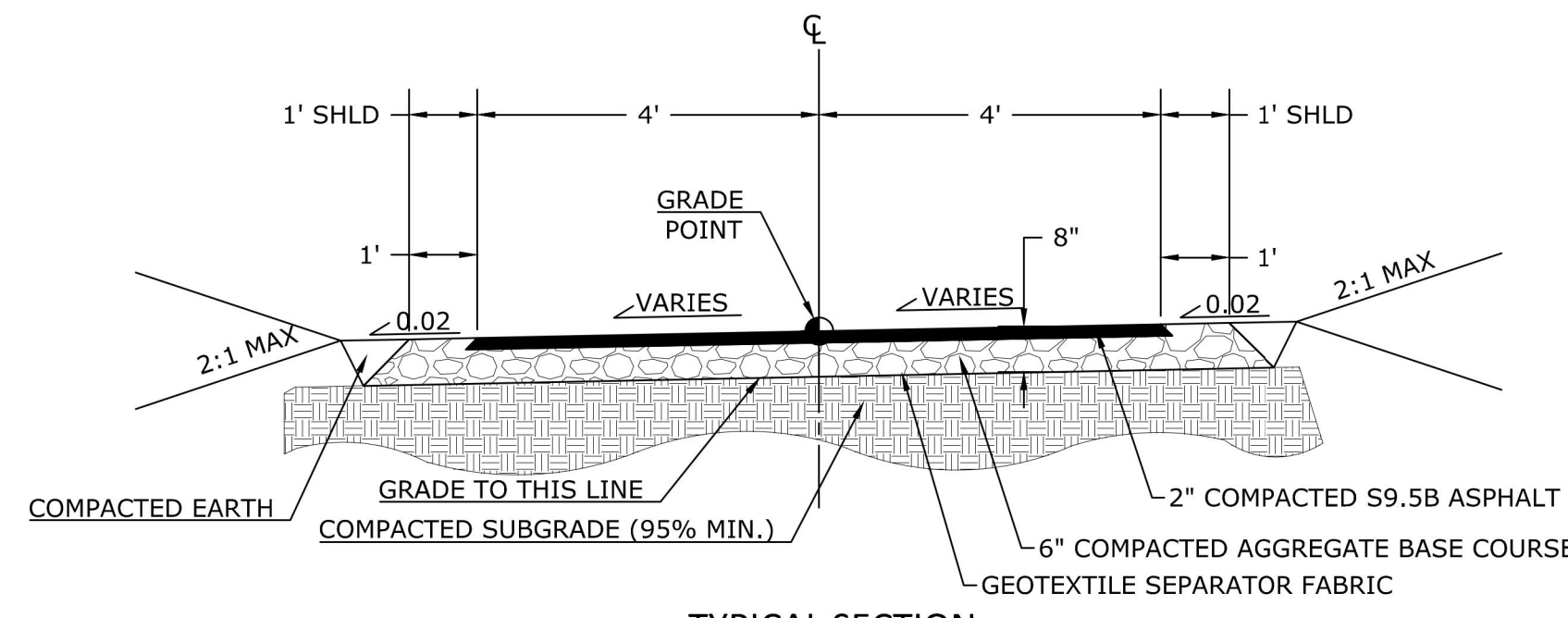


**TYPICAL SECTION ROUNDABOUT (WITH GREENWAY)**  
(VARIABLE R/W, 26.5' B-B)

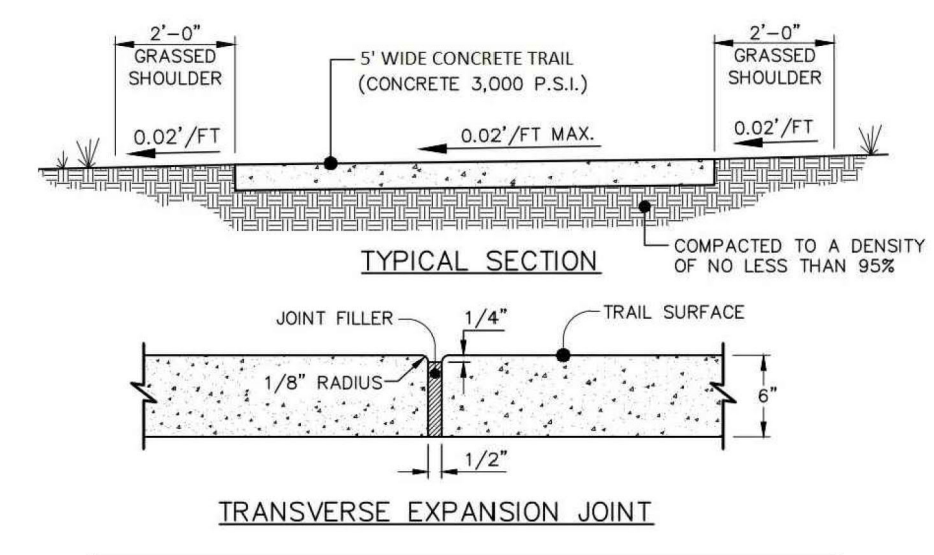
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2.5" I19.0C (INTERMEDIATE COURSE)  
8" CABG (BASE COURSE)



**TYPICAL SECTION 10' WIDE PUBLIC GREENWAY**



**TYPICAL SECTION 8' WIDE PRIVATE GREENWAY**



**TYPICAL SECTION 5' WIDE CONCRETE TRAIL**

NOTES:  
1. TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET.  
2. ALL CONCRETE TO BE FINISHED WITH CURING COMPOUND.  
3. A 4 INCH DEPTH IS REQUIRED.  
4. SAW CUT JOINTS TO WIDTH OF TRAIL.  
5. NO ABOVE GROUND UTILITIES OR UTILITY SURFACE COVERS/PLATES/MANHOLES SHALL BE LOCATED WITHIN TRAIL AND SHALL BE MINIMUM 2 FEET FROM THE EDGE OF TRAIL.  
6. TRAILS WILL MEANDER BUT SHALL BE LOCATED MINIMUM 5 FEET FROM THE BACK OF CURB.  
7. SIDE SLOPES SHALL NOT EXCEED 3:1 CUT & FILL SLOPES SHALL BE INTO EXISTING SLOPES TO CREATE AN EVEN TRANSITION.

NOTE: THE PAVEMENT SECTIONS SHOWN ABOVE ARE PRELIMINARY AND HAVE NOT BEEN DESIGNED BASED ON EXISTING ON SITE SOIL CONDITIONS. FINAL DESIGN BY THE GEOTECHNICAL ENGINEER SHALL SUPERCEDE THE ABOVE PAVEMENT SECTION.

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CONTACT: BOB MISHLER

**ASHTON WOODS.**

**THE POINT**  
**PHASES 3, 4, 5, 7 AND 10**  
**CONSTRUCTION DRAWINGS - PACKAGE 2**  
**EAST YOUNG STREET**  
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,  
WAKE COUNTY, NORTH CAROLINA

CD 20-08



William T. O'Daniel  
cd=William T. O'Daniel, ce=US,  
o=North Carolina,  
email=odaniel@mcadamsco.com  
2023.05.05 15:03:31 -04'00'

**REVISIONS**  
NO. DATE

**PLAN INFORMATION**

PROJECT NO. AWH-20000  
FILENAME AWH20000-CD-PKG-02-N1  
CHECKED BY  
DRAWN BY  
SCALE N.T.S.  
DATE 05.08.2023

**HEET**  
**TYPICAL SECTIONS**

**C0.01**

**OPEN SPACE / TRAILS SUMMARY ENTIRE PROJECT**

TOTAL PROJECT AREA	304.00 AC
TOTAL OPEN SPACE	PROVIDED: 146.59 AC
DEVELOPED/ACTIVE RECREATION OPEN SPACE	PROVIDED: 18.28 AC (12.4% OF TOTAL OPEN SPACE)
PROGRAMMED/PASSIVE OPEN SPACE (EXCLUDES WETLANDS, FLOODPLAINS, FLOODWAYS, STEEP SLOPES, ROCK OUTCROPS ENVIRONMENTAL AREAS)	PROVIDED: 92.13 AC (62.9%)
UNPROGRAMMED OPEN SPACE (INCLUDES WETLANDS, FLOODPLAINS, FLOODWAYS, STEEP SLOPES, ROCK OUTCROPS, ENVIRONMENTAL AREAS)	PROVIDED: 36.18 AC (25.7% OF TOTAL OPEN SPACE)
ROLESVILLE PUBLIC GREENWAY TRAIL LINEAR FEET	PROPOSED: 11,325 LF
PRIVATE WALKING TRAIL LINEAR FEET	PROPOSED: +/- 1,922 LF

**OPEN SPACE AREAS ENTIRE PROJECT**

OPEN SPACE	CD PACKAGE #	ACTIVE	PASSIVE	TOTAL	USE DESCRIPTION
THE POINT - NORTH					
OS-1	FUTURE	2.52	13.82	711,141 SF (16.33 AC)	OUTDOOR GRILLING W/ SEATING, PLAYGROUND, DOG PARK, MAIL KIOSK, 6' PAVED GREENWAY TRAIL WITH CONNECTION TO PUBLIC GREENWAY, 10' PRIVATE GREENWAY
OS-2	FUTURE		0.20	8,712 SF (0.20 AC)	
OS-3	FUTURE		0.45	19,616 SF (0.45 AC)	
THE POINT - SOUTH					
OS-4	FUTURE		3.61	157,160 SF (3.61 AC)	
OS-5	FUTURE	2.38	10.74	571,471 SF (10.12 AC)	PUBLIC GREENWAY, EXERCISE STATION
OS-6	FUTURE	0.82	0.54	59,307 SF (1.36 AC)	PLAY AREA
OS-7	FUTURE	1.00	4.18	225,677 SF (5.18 AC)	PUBLIC GREENWAY WITH PRIVATE GREENWAY ACCESS
OS-8	2	1.60	12.94	633,331 SF (14.54 AC)	PUBLIC/PRIVATE GREENWAY WITH ACCESS TO PUBLIC GREENWAY, PLAY AREA, MAIL KIOSK
OS-9	2		5.52	240,571 SF (5.52 AC)	
OS-10	2		0.35	15,257 SF (0.35 AC)	
OS-11	2		0.71	30,965 SF (0.71 AC)	
OS-12	1	0.25	9.24	413,585 SF (9.49 AC)	DOG PARK
OS-13	1		0.37	16,056 SF (.37 AC)	
OS-14	1	0.74	8.26	392,111 SF (9.00 AC)	PRIVATE GREENWAY TRAIL, PLAY AREA, MAIL KIOSK
OS-15	2		1.02	44,524 SF (1.02 AC)	
OS-16	2		0.51	22,321 SF (0.51 AC)	
OS-17	1	3.13	2.91	263,131 SF (6.04 AC)	AMENITY WITH POOL, CLUBHOUSE, MAIL KIOSK, PRIVATE TRAIL CONNECTION
OS-18	1	4.88	10.94	689,086 SF (15.82 AC)	PUBLIC GREENWAY, PUBLIC STREET SIDE GREENWAY CONNECTION
OS-19			0.44	19,221 SF (0.44 AC)	
OS-20	1	0.77	1.56	101,556 SF (2.33 AC)	PLAYGROUND, PICNIC AREA
OS-21	2		0.90	39,370 SF (0.90 AC)	
OS-22	2		0.35	15,164 SF (0.35 AC)	
OS-23	2	0.19	0.24	18,826 SF (0.43 AC)	LINEAR PARK
OS-24	1		0.29	12,492 SF (0.29 AC)	
OS-25	1		0.43	18,907 SF (0.43 AC)	
OS-26	1		0.07	2,909 SF (0.07 AC)	
OS-27	1		0.12	5,072 SF (0.12 AC)	
OS-28	1		0.13	5,491 SF (0.13 AC)	
OS-29	2		0.19	8,278 SF (0.19 AC)	
OS-30	2		0.12	5,391 SF (0.12 AC)	
OS-31	FUTURE		0.33	14,304 SF (0.33 AC)	
OS-32	FUTURE		0.20	8,761 SF (0.20 AC)	
<b>TOTAL</b>		<b>18.28</b>	<b>91.68</b>	<b>4,791,458 SF (110 AC)</b>	<b>ENTIRE PROJECT</b>

**SITE LEGEND**

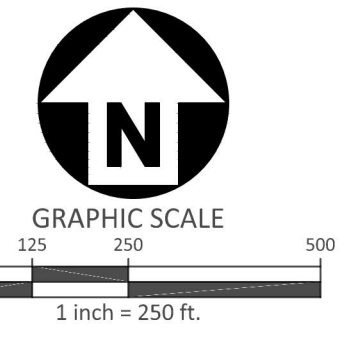
- PHASE LINE
- WETLANDS
- UNPROGRAMMED OPEN SPACE
- PROGRAMMED/PASSIVE OPEN SPACE
- DEVELOPED / ACTIVE RECREATION SPACE
- OPEN SPACE (OS) NUMBER
- FUTURE PHASE

NOTE: FUTURE PHASES SHOWN FOR TOTAL OPEN SPACE CALCULATIONS ONLY



**SITE AND OPEN SPACE AREAS - CD PKG 2**

TOTAL SITE AREA	264.27 AC
RETAIL	12.28 AC
RESIDENTIAL	251.99 AC
R3	319 PROPOSED TOWNHOMES
R1	295 SINGLE FAMILY DETACHED
R2	190 SINGLE FAMILY DETACHED
TOTAL UNITS	804
OVERALL DENSITY	3.20 DU/AC
TOWNHOME AREA	46.79 AC
TOWNHOME DENSITY	6.9 DU/AC
ALLOWED DENSITY	6 DU/AC (ENTIRE SITE) 10 DU/AC (TOWNHOME)
OPEN SPACE REQUIRED:	
SINGLE FAMILY	
10% SFD AREA (205.2 AC)	20.52 AC REQUIRED
TOWNHOMES	
15% TH AREA (46.79 AC)	7.02 ACRE REQUIRED
35% ACTIVE OS AREA (7.02 AC)	2.46 ACRE REQUIRED
TOTAL OPEN SPACE REQUIRED:	27.54 AC
TOTAL OPEN SPACE PROVIDED:	15.76 AC ACTIVE OPEN SPACE 77.21 AC PASSIVE OPEN SPACE 93.02 TOTAL OPEN SPACE PROVIDED



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fax 919. 361. 2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
ASHTON WOODS RESIDENTIAL, LLC.  
900 RIDGEFIELD DRIVE, SUITE 335  
RALEIGH, NORTH CAROLINA 27609  
PHONE: 919. 422. 7663  
CONTACT: BOB MISHLER

**ASHTON WOODS**

**THE POINT**  
**PHASES 3, 4, 5, 7 AND 10**  
**CONSTRUCTION DRAWINGS - PACKAGE 2**  
EAST YOUNG STREET  
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,  
WAKE COUNTY, NORTH CAROLINA  
CD 20-08



**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

PROJECT NO.	AWH-20000
FILENAME	AWH20000-CD-PKG-01-OS-P2
CHECKED BY	SRD
DRAWN BY	JGY
SCALE	1"=250'
DATE	05. 08. 2023

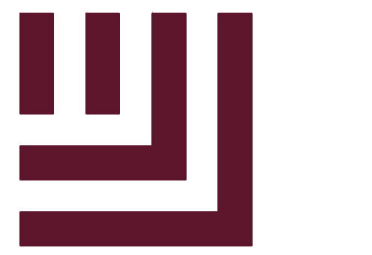
**SHEET**

**OPEN SPACE PLAN**  
**C0.02**

**SURVEY NOTES**

1. THE PROPERTY LIES IN ZONE "X" PER NATIONAL FLOOD INSURANCE PROGRAM RATE MAP 37201758001 & 37201769001 DATES 05/02/2006
2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE BASED ON OBSERVED GPS CONTROL, NAD 83 / NRS 2011 / STATE PLANE COORDINATES.
3. SUBJECT PARCEL ZONED R & PUD PER WAKE COUNTY GIS.
4. BOUNDARY SURVEY PROVIDED BY BATEMAN CIVIL SURVEY. SURVEY WAS PERFORMED ON APRIL 9th-13th & DECEMBER 3rd-21st, 2018, AS PROVIDED BY STEPHEN P. CARSON, PLS #L-4752.
5. AREAS COMPUTED BY COORDINATE METHOD.
6. SANITARY SEWER LINE EASEMENT WAS CREATED BASED ON CENTER LINES ON MANHOLES USING FIELD EVIDENCE.
7. NO CEMETERIES OBSERVED AS A RESULTS OF THE SURVEY.
8. BUILDINGS ARE AS SHOWN ON SURVEY.

SEE SHEETS C1.01 - C1.05 FOR DETAILED EXISTING CONDITIONS AND DEMOLITION NOTES



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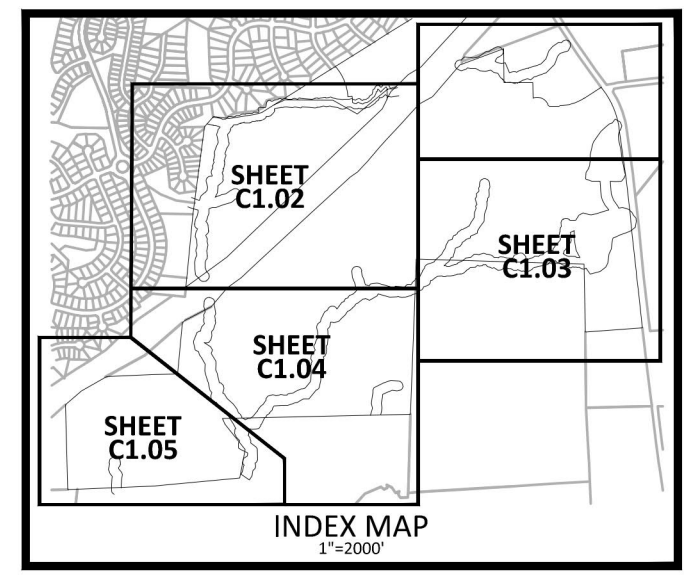
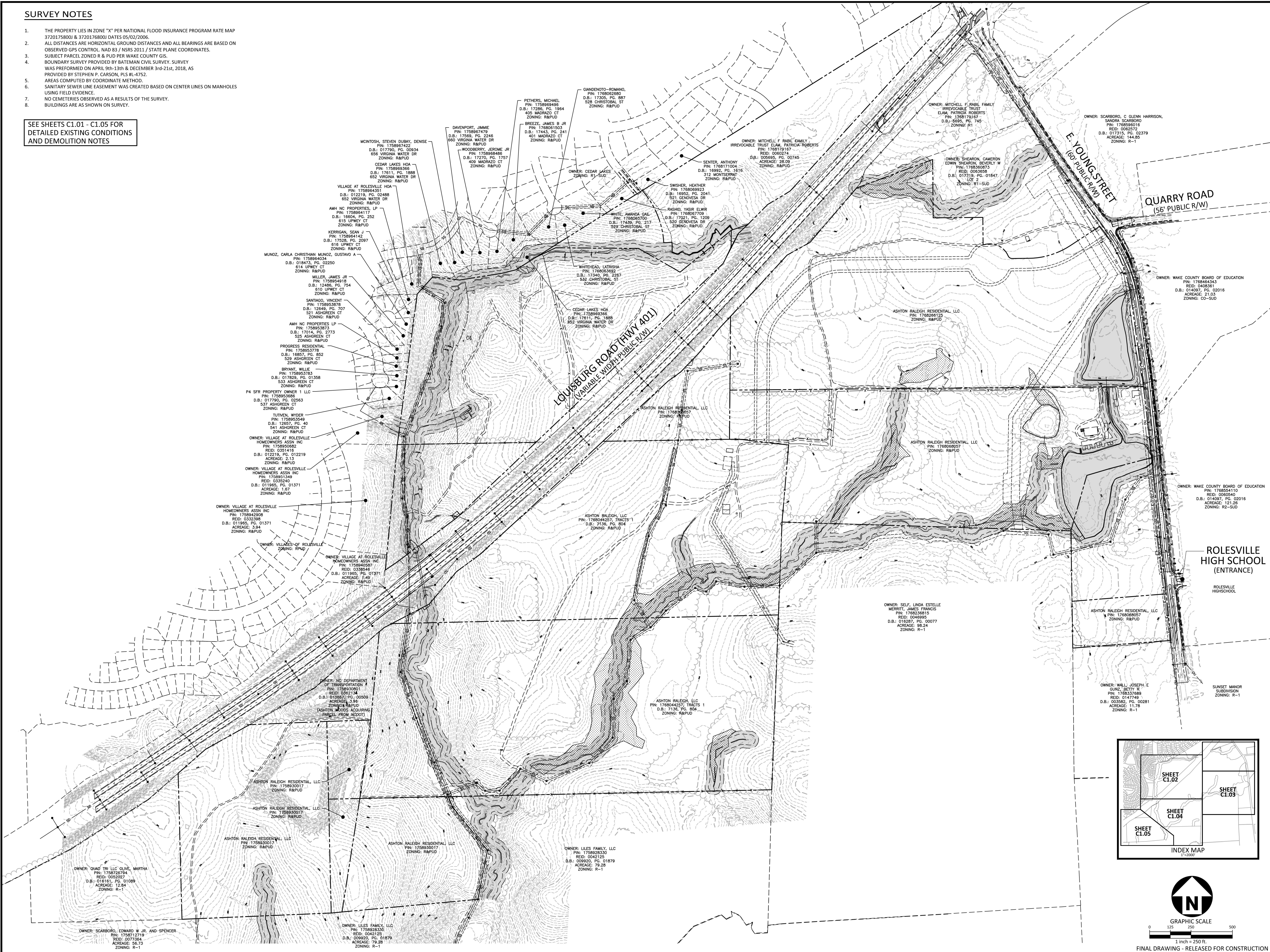


**ASHTON WOODS.**

**THE POINT**  
**PHASES 3, 4, 5, 7 AND 10**  
**CONSTRUCTION DRAWINGS - PACKAGE 2**  
**EAST YOUNG STREET**  
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,  
WAKE COUNTY, NORTH CAROLINA

CD 20-08

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FINAL DRAWING - RELEASED FOR CONSTRUCTION

**REVISIONS**

NO. DATE

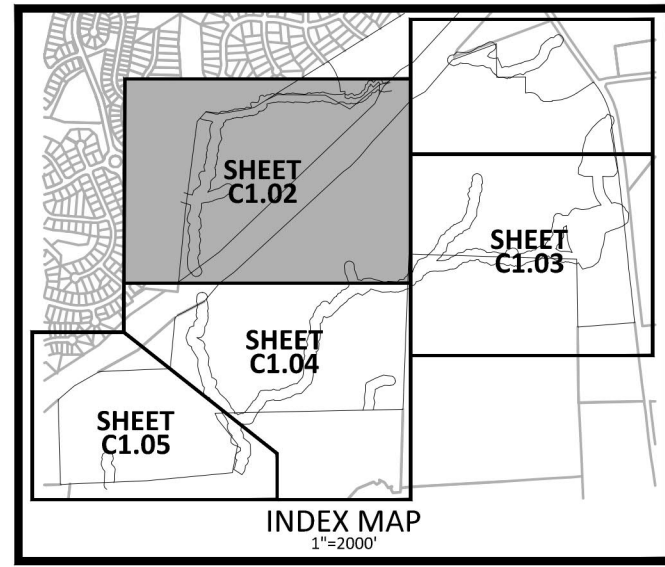
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PROJECT NO. AWH-20000  
FILENAME AWH20000-CD-PKG-01-XCL  
CHECKED BY .  
DRAWN BY .  
SCALE 1"=250'  
DATE 05. 08. 2023

**SHEET**

**OVERALL**  
**EXISTING CONDITIONS**

**C1.00**



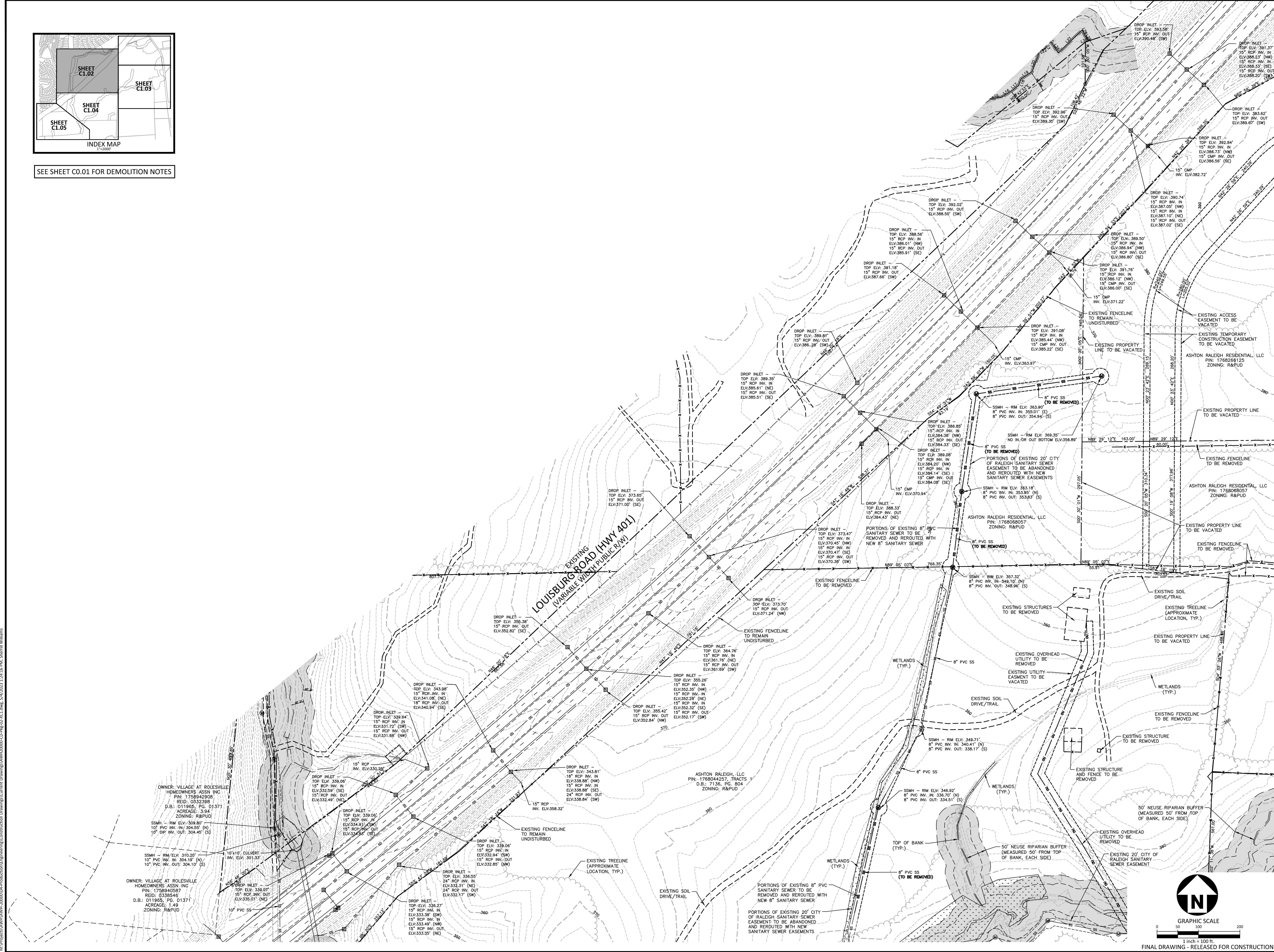
SEE SHEET C0.01 FOR DEMOLITION NOTES

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**EAST YOUNG STREET**  
 TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,  
 WAKE COUNTY, NORTH CAROLINA  
 CD 20-08



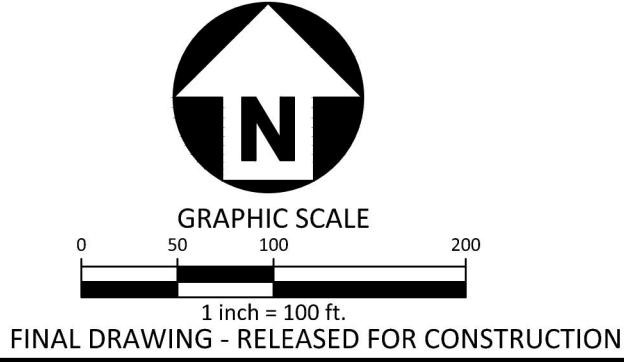
**REVISIONS**

NO.	DATE

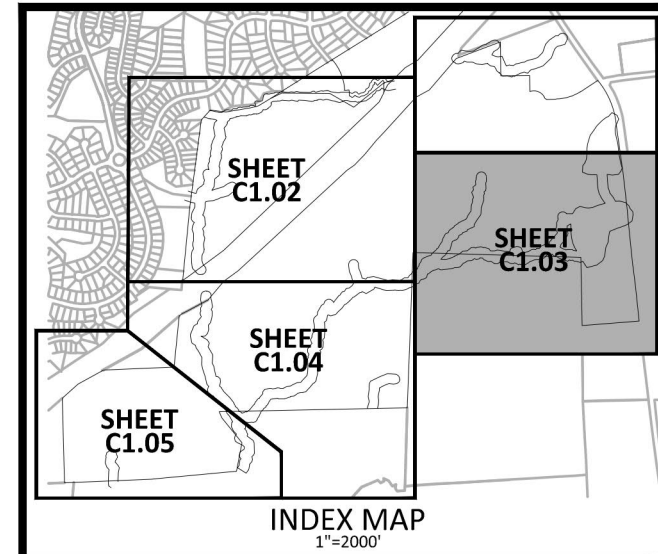
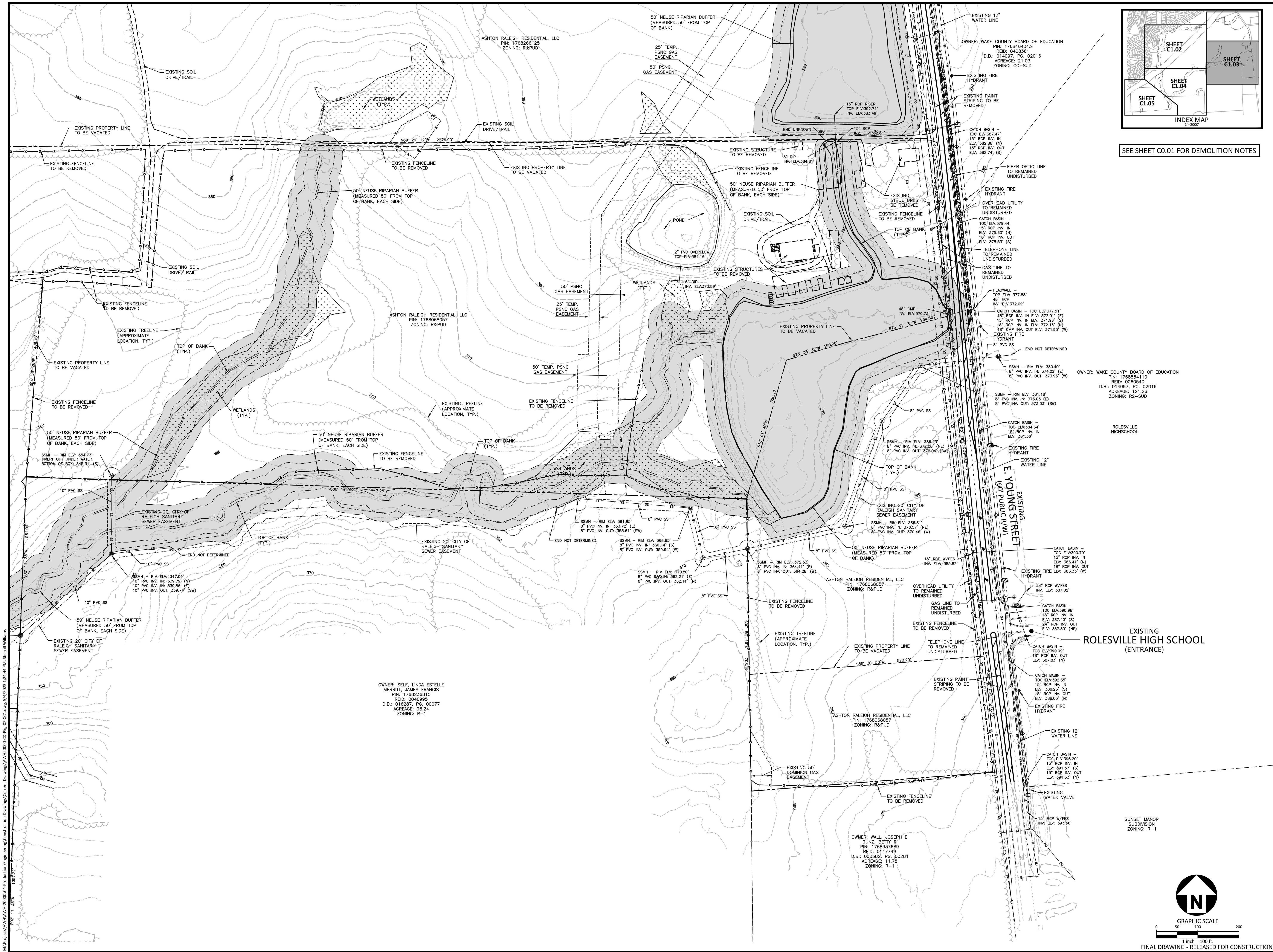
**PLAN INFORMATION**

PROJECT NO. AWH-20000  
 FILENAME AWH20000-CD-PKG-01-CX1  
 CHECKED BY .  
 DRAWN BY .  
 SCALE 1"=100'  
 DATE 05.08.2023

**SHEET**  
**EXISTING CONDITIONS AND DEMOLITION PLAN**  
**C1.02**



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SEE SHEET C0.01 FOR DEMOLITION NOTES

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**EAST YOUNG STREET**  
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,  
WAKE COUNTY, NORTH CAROLINA

**CD 20-08**

OWNER: WAKE COUNTY BOARD OF EDUCATION  
PIN: 176854110  
REID: 0060540  
D.B.: 014097, PG. 02016  
ACREAGE: 121.26  
ZONING: R2-SUD

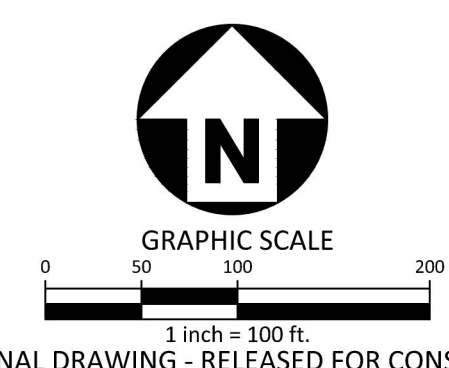
ROLESVILLE  
HIGHSCHOOL

EXISTING  
ROLESVILLE HIGH SCHOOL  
(ENTRANCE)

SUNSET MANOR  
SUBDIVISION  
ZONING: R-1

OWNER: SELF, LINDA ESTELLE  
MERRITT, JAMES FRANCIS  
PIN: 1768238816  
REID: 0046995  
D.B.: 016287, PG. 00077  
ACREAGE: 98.24  
ZONING: R-1

OWNER: WALL, JOSEPH E  
GUNZ, BETTY R  
PIN: 1768337689  
REID: 0147749  
D.B.: 003582, PG. 02081  
ACREAGE: 11.78  
ZONING: R-1



FINAL DRAWING - RELEASED FOR CONSTRUCTION

**REVISIONS**

NO.	DATE

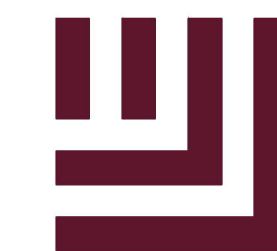
**PLAN INFORMATION**

PROJECT NO.	AWH-20000
FILENAME	AWH20000-CD-PKG-01-CX1
CHECKED BY	
DRAWN BY	
SCALE	1"=100'
DATE	05.08.2023

**EXISTING CONDITIONS  
AND DEMOLITION PLAN**

**C1.03**

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ASHTON WOODS.

THE POINT  
PHASES 3, 4, 5, 7 AND 10  
CONSTRUCTION DRAWINGS - PACKAGE 2  
EAST YOUNG STREET  
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,  
WAKE COUNTY, NORTH CAROLINA  
CD 20-08

REVISIONS

NO. DATE

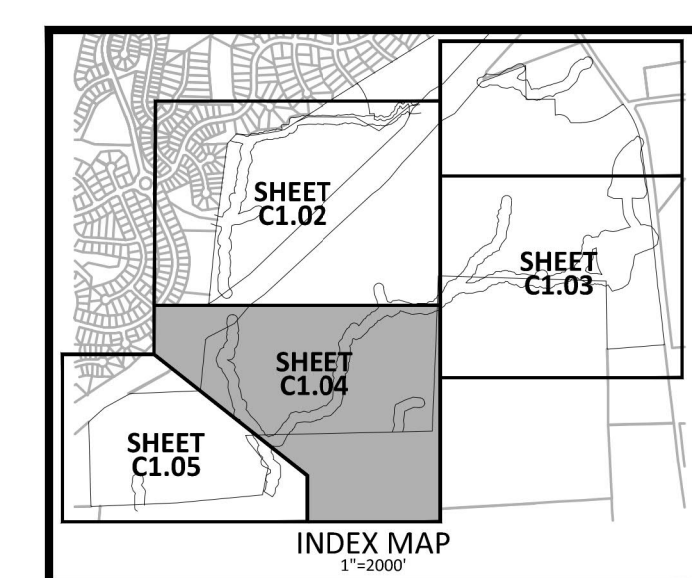
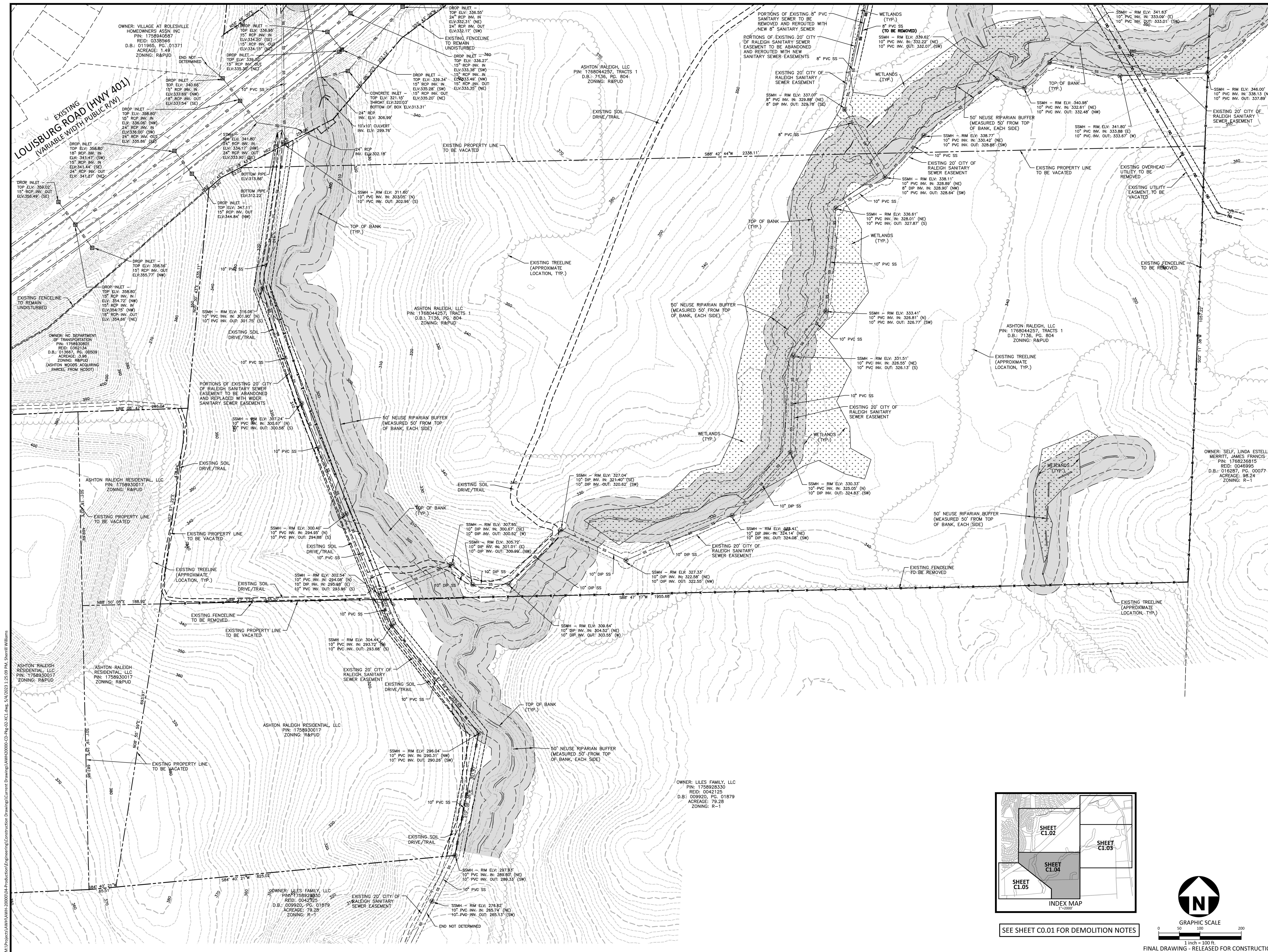
PLAN INFORMATION

PROJECT NO. AWH-20000  
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CHECKED BY  
DRAWN BY  
SCALE 1"=100'  
DATE 05.08.2023

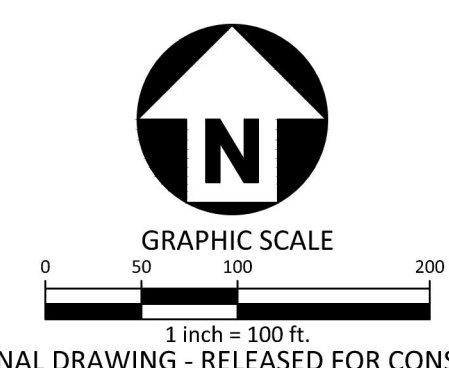
SHEET

EXISTING CONDITIONS  
AND DEMOLITION PLAN

C1.04



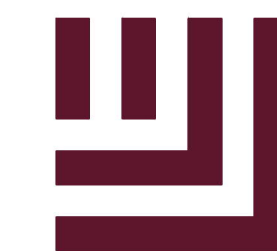
SEE SHEET C0.01 FOR DEMOLITION NOTES



FINAL DRAWING - RELEASED FOR CONSTRUCTION

\\projects\AWH\AWH-20000\Production\Engineering\Construction Drawings\AWH20000-CD-PKG-01-CX1.dwg, 5/10/2023 1:25:09 PM, Sherrill Williams





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**ASHTON WOODS.**

**THE POINT**  
**PHASES 3, 4, 5, 7 AND 10**  
**CONSTRUCTION DRAWINGS - PACKAGE 2**  
**EAST YOUNG STREET**  
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,  
WAKE COUNTY, NORTH CAROLINA  
**CD 20-08**

**REVISIONS**

NO.	DATE

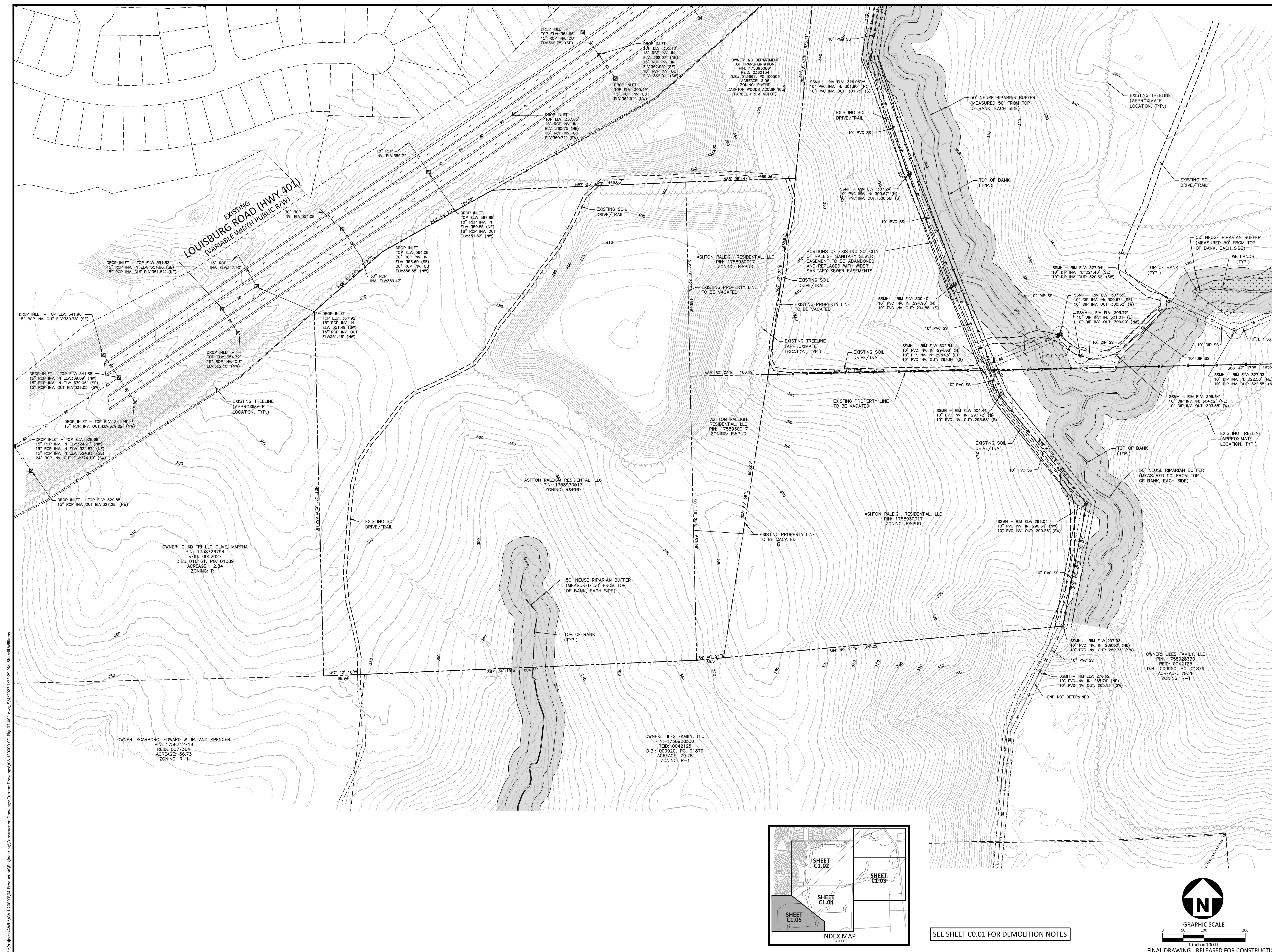
**PLAN INFORMATION**

PROJECT NO. AWH-20000  
 FILENAME AWH20000-CD-PKG-01-CX1  
 CHECKED BY .  
 DRAWN BY .  
 SCALE 1"=100'  
 DATE 05.08.2023

**SHEET**

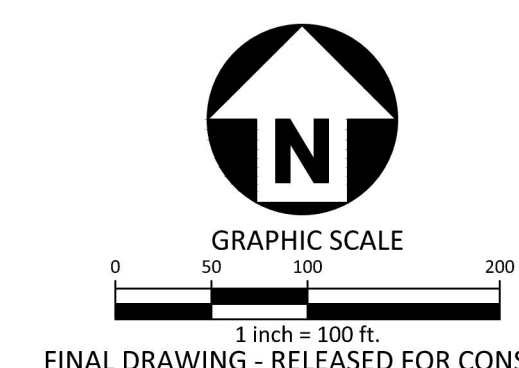
**EXISTING CONDITIONS AND DEMOLITION PLAN**

**C1.05**



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SEE SHEET C0.01 FOR DEMOLITION NOTES



SITE PLAN NOTES

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF ROLESVILLE AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
2. ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO BACK OF CURB UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
4. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
5. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
6. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
7. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
8. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTICE HAS NOT BEEN GIVEN.
9. ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NCDOT DETAILS.
10. ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
11. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
12. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
13. ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.



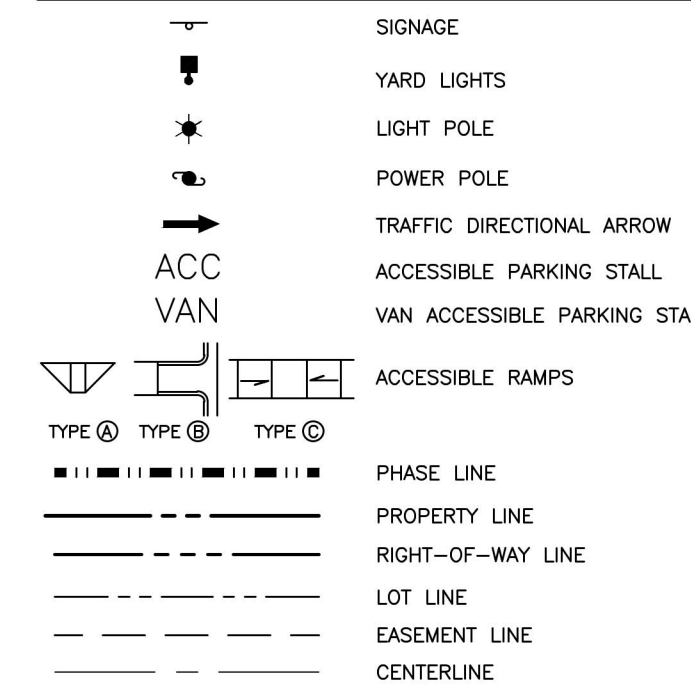
Know what's below. Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

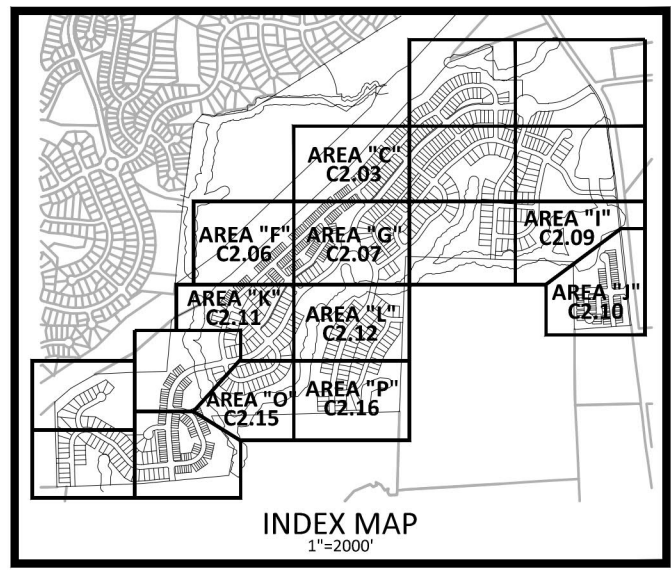
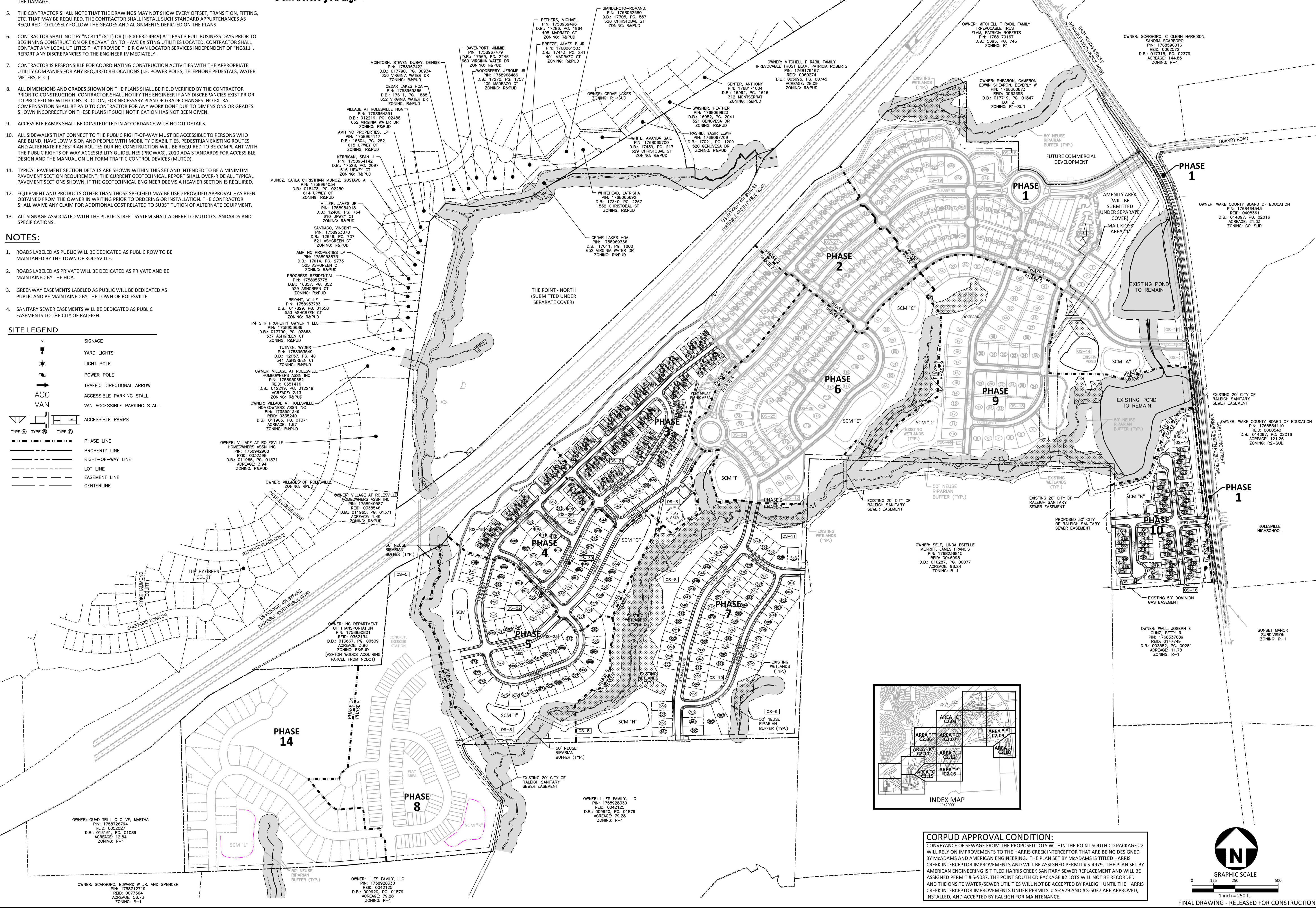
NOTES:

- 1. ROADS LABELED AS PUBLIC WILL BE DEDICATED AS PUBLIC ROW TO BE MAINTAINED BY THE TOWN OF ROLESVILLE.
2. ROADS LABELED AS PRIVATE WILL BE DEDICATED AS PRIVATE AND BE MAINTAINED BY THE HOA.
3. GREENWAY EASEMENTS LABELED AS PUBLIC WILL BE DEDICATED AS PUBLIC AND BE MAINTAINED BY THE TOWN OF ROLESVILLE.
4. SANITARY SEWER EASEMENTS WILL BE DEDICATED AS PUBLIC EASEMENTS TO THE CITY OF RALEIGH.

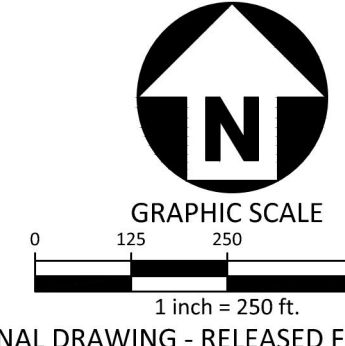
SITE LEGEND



AW\Projects\AW\AWH-20000\04-Production\Engineering\Construction Drawings\AWH20000-CD-Pkg-02-CAD\DWG-51472023.1.135.30 P.M. -Sherrill Williams



CORPUD APPROVAL CONDITION: CONVEYANCE OF SEWAGE FROM THE PROPOSED LOTS WITHIN THE POINT SOUTH CD PACKAGE #2 WILL RELY ON IMPROVEMENTS TO THE HARRIS CREEK INTERCEPTOR THAT ARE BEING DESIGNED BY MCADAMS AND AMERICAN ENGINEERING. THE PLAN SET BY MCADAMS IS TITLED HARRIS CREEK INTERCEPTOR IMPROVEMENTS AND WILL BE ASSIGNED PERMIT # S-4979. THE PLAN SET BY AMERICAN ENGINEERING IS TITLED HARRIS CREEK SANITARY SEWER REPLACEMENT AND WILL BE ASSIGNED PERMIT # S-5037. THE POINT SOUTH CD PACKAGE #2 LOTS WILL NOT BE RECORDED AND THE ONSITE WATER/SEWER UTILITIES WILL NOT BE ACCEPTED BY RALEIGH UNTIL THE HARRIS CREEK INTERCEPTOR IMPROVEMENTS UNDER PERMITS # S-4979 AND # S-5037 ARE APPROVED, INSTALLED, AND ACCEPTED BY RALEIGH FOR MAINTENANCE.



FINAL DRAWING - RELEASED FOR CONSTRUCTION

McADAMS logo and contact information: The John R. McAdams Company, Inc. 2905 Meridian Parkway Durham, NC 27713 phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187 www.mcadamsco.com

CLIENT ASHTON RALEIGH RESIDENTIAL, LLC. 900 RIDGEFIELD DRIVE, SUITE 335 RALEIGH, NORTH CAROLINA 27609 PHONE: 919. 422. 7663 CONTACT: BOB MISHLER

ASHTON WOODS logo and name.

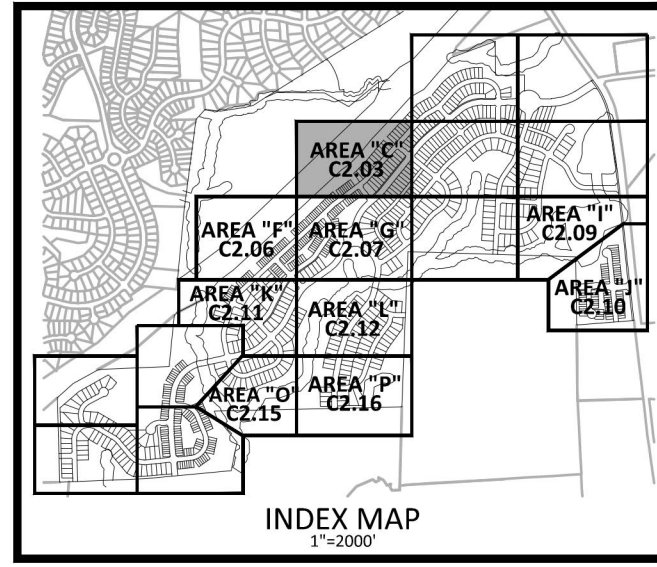
THE POINT PHASES 3, 4, 5, 7 AND 10 CONSTRUCTION DRAWINGS - PACKAGE 2 EAST YOUNG STREET TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP, WAKE COUNTY, NORTH CAROLINA CD 20-08

Professional Engineer Seal for William T. O'Daniel, No. 22630, State of North Carolina. Includes signature and contact info.

REVISIONS table with columns for NO. and DATE.

PLAN INFORMATION table with fields for PROJECT NO., FILENAME, CHECKED BY, DRAWN BY, SCALE, DATE, and SHEET.

OVERALL SITE PLAN C2.00



30" VALLEY GUTTER WILL BE USED IN FRONT OF ALL FRONT LOADED SINGLE FAMILY LOTS AND TOWNHOME LOTS.

Ⓢ STORM DRAINAGE EASEMENT

SEE SHEET C2.01



SEE SHEET C2.07

FINAL DRAWING - RELEASED FOR CONSTRUCTION



**McADAMS**

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900 RIDGEFIELD DRIVE, SUITE 335  
RALEIGH, NORTH CAROLINA 27609  
PHONE: 919. 422. 7663  
CONTACT: BOB MISHLER



ASHTON WOODS.

**THE POINT**  
**PHASES 3, 4, 5, 7 AND 10**  
**CONSTRUCTION DRAWINGS - PACKAGE 2**  
**EAST YOUNG STREET**  
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,  
WAKE COUNTY, NORTH CAROLINA

CD 20-08



William T. O'Daniel  
c/o William T. O'Daniel, c=US,  
c=North Carolina,  
email=rodaniel@mcadamsco.com  
2023.05.05 15:05:03 -0400'

**REVISIONS**

NO. DATE

**PLAN INFORMATION**

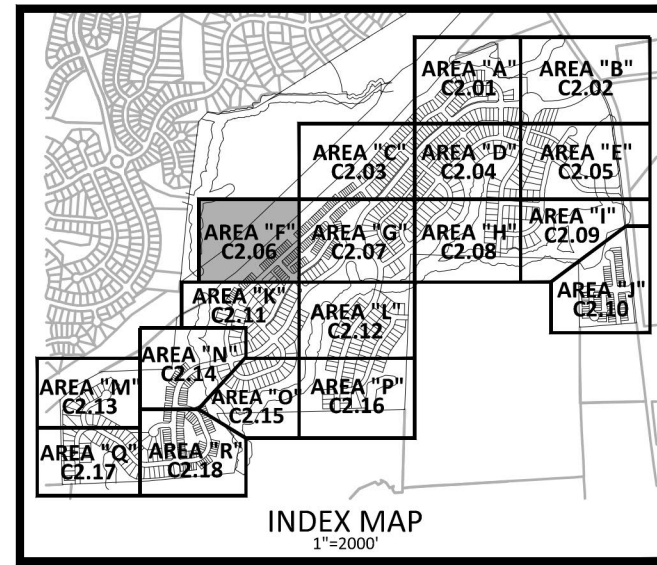
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FILENAME AWH20000-CD-PKG-02-51  
CHECKED BY  
DRAWN BY  
SCALE 1"=40'  
DATE 05.08.2023

**SHEET**

**SITE PLAN**  
**AREA 'C'**

**C2.03**

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30" VALLEY GUTTER WILL BE USED IN FRONT OF ALL FRONT LOADED SINGLE FAMILY LOTS AND TOWNHOME LOTS.

TOWNHOME NOTE:  
TOWNHOME BUILDINGS ARE CONCEPTUAL AND WILL BE APPROVED SEPARATE FROM THESE PLANS.

Ⓢ STORM DRAINAGE EASEMENT



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**THE POINT**  
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TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,  
WAKE COUNTY, NORTH CAROLINA

CD 20-08



William T. O'Daniel  
cr-North Carolina  
email:rodaniel@mcadamsco.com  
2023.05.05 15:05:17 -0400

**REVISIONS**

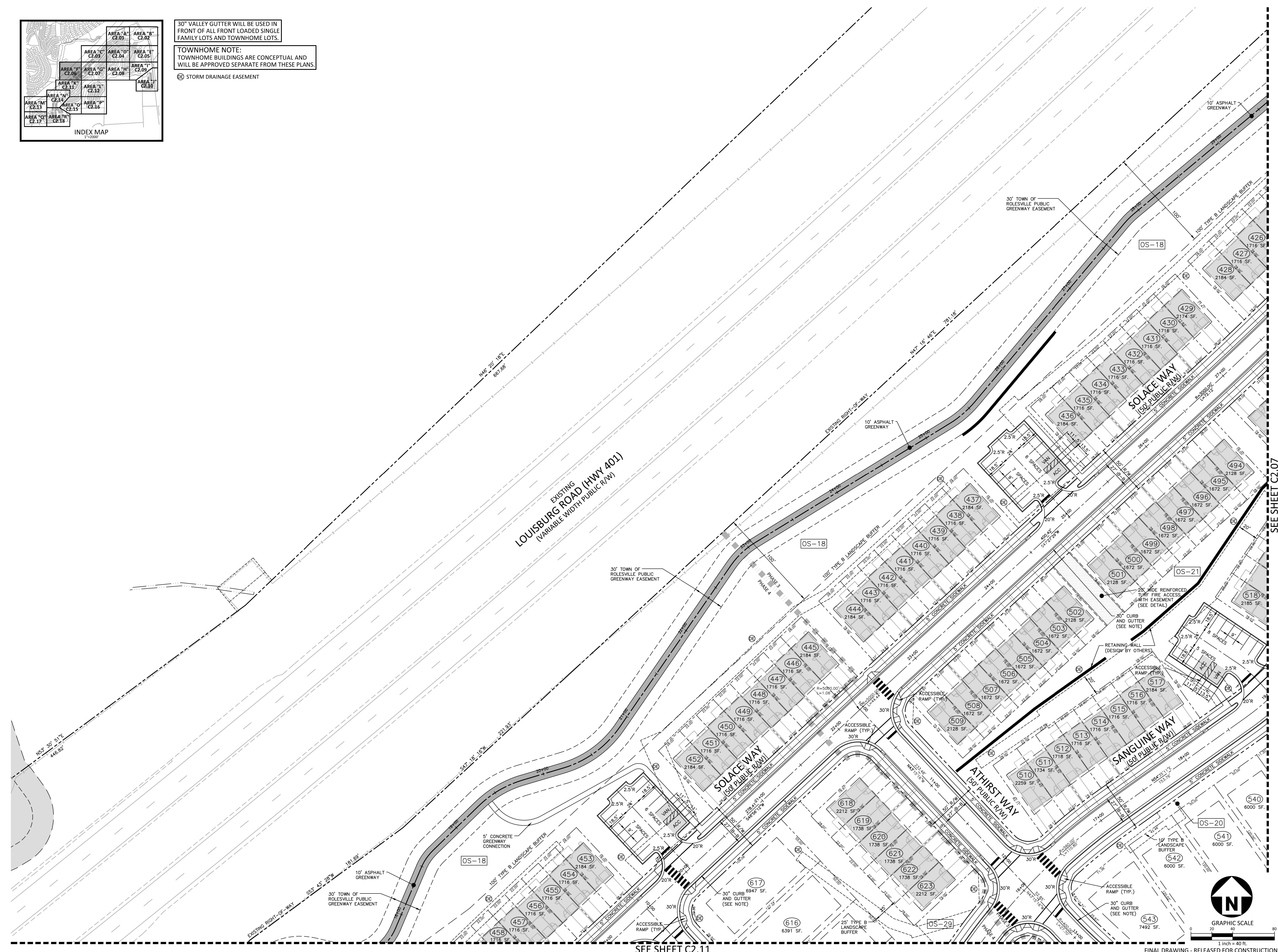
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**PLAN INFORMATION**

PROJECT NO.	AWH-20000
FILENAME	AWH20000-CD-PKG-02-51
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SCALE	1"=40'
DATE	05.08.2023

**SHEET**

**SITE PLAN**  
**AREA "F"**  
**C2.06**



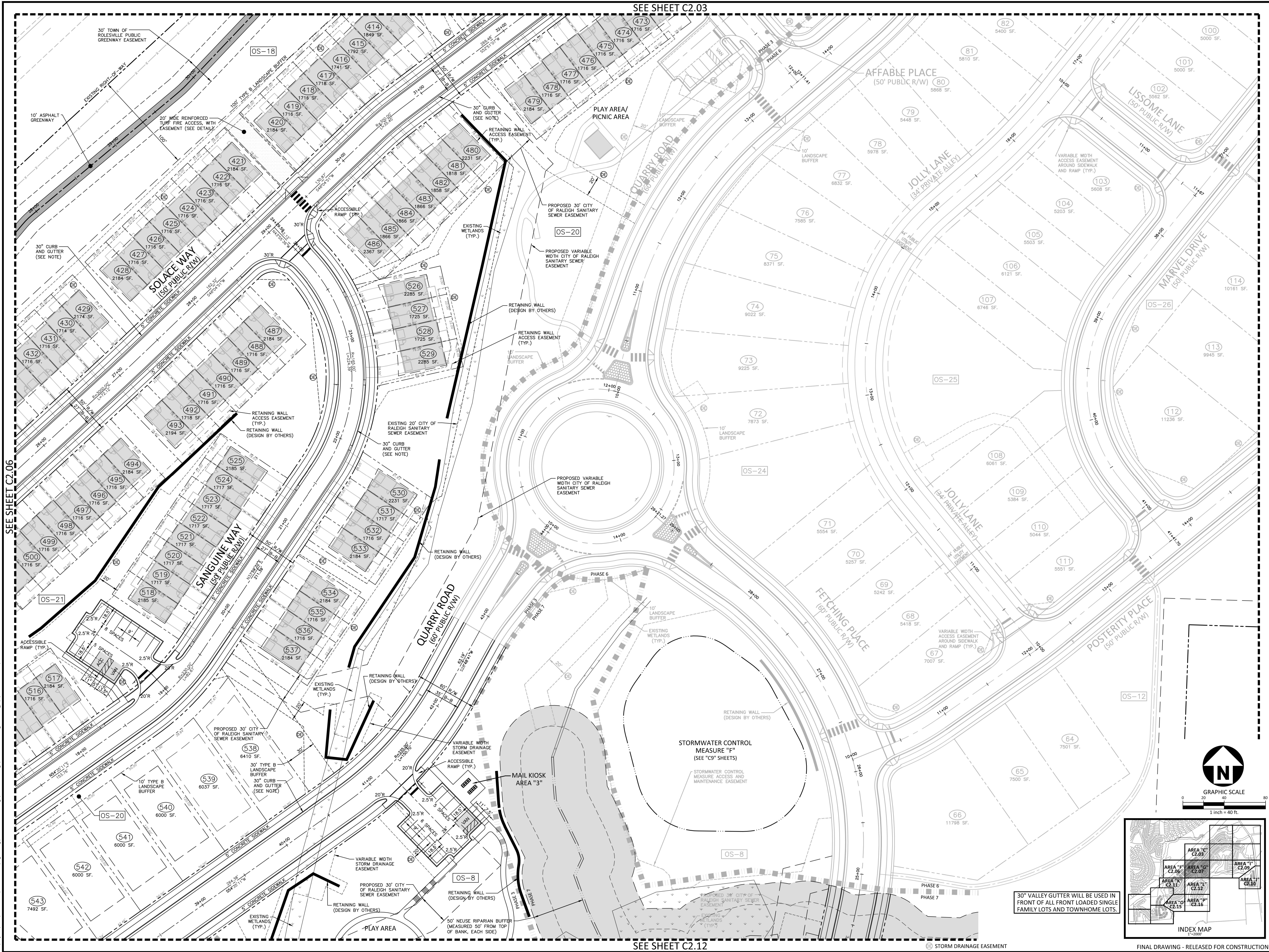
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SEE SHEET C2.11

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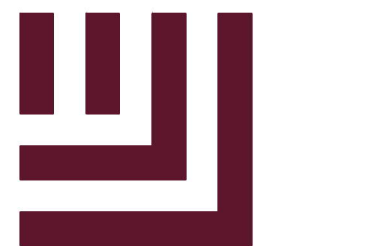
SEE SHEET C2.03

SEE SHEET C2.12



SEE SHEET C2.06

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ASHTON WOODS.

**THE POINT**  
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TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,  
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CD 20-08



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en=William T O'Daniel, ce=US,  
o=North Carolina,  
email=odaniel@mcadamsco.com  
2023.05.05 15:05:32 -0400'

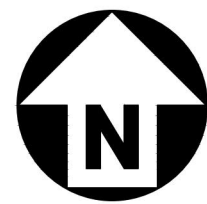
REVISIONS

NO. DATE

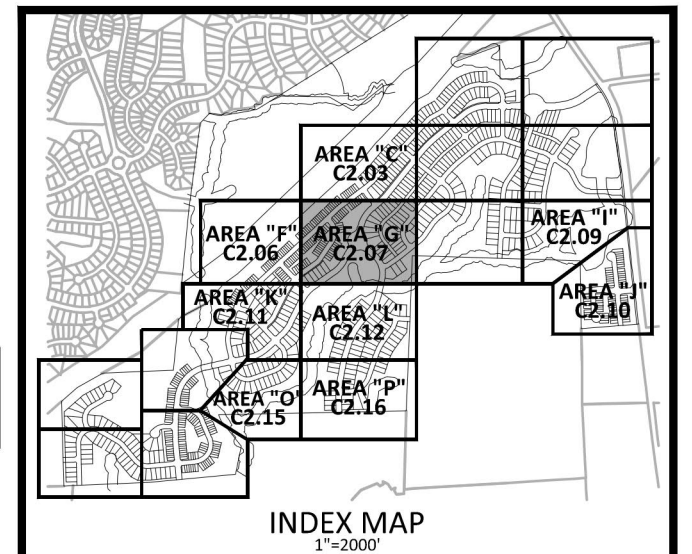
PLAN INFORMATION

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DRAWN BY  
SCALE 1"=40'  
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SHEET

SITE PLAN  
AREA "G"  
**C2.07**

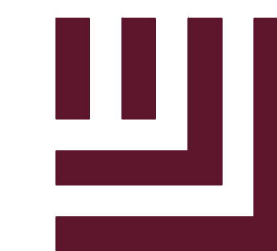


GRAPHIC SCALE  
1 inch = 40 ft.



30" VALLEY GUTTER WILL BE USED IN FRONT OF ALL FRONT LOADED SINGLE FAMILY LOTS AND TOWNHOME LOTS.

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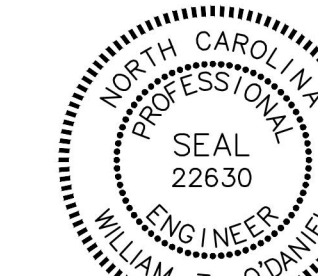
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ASHTON WOODS

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TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,  
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**CD 20-08**



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2023.05.05 15:05:59 -0400

**REVISIONS**

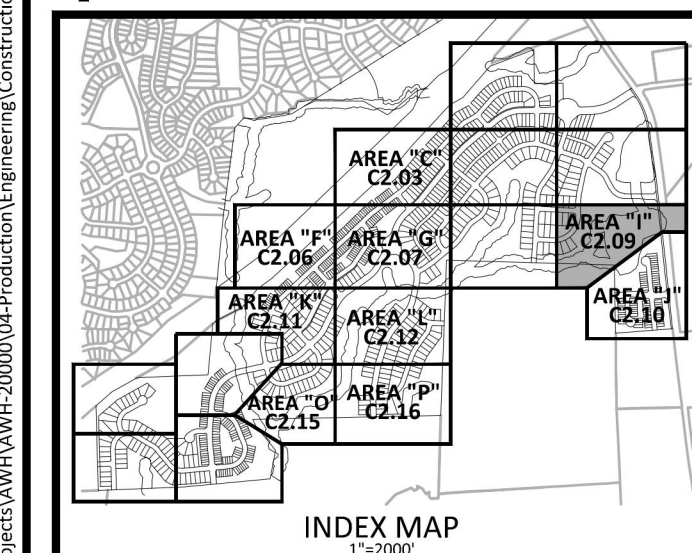
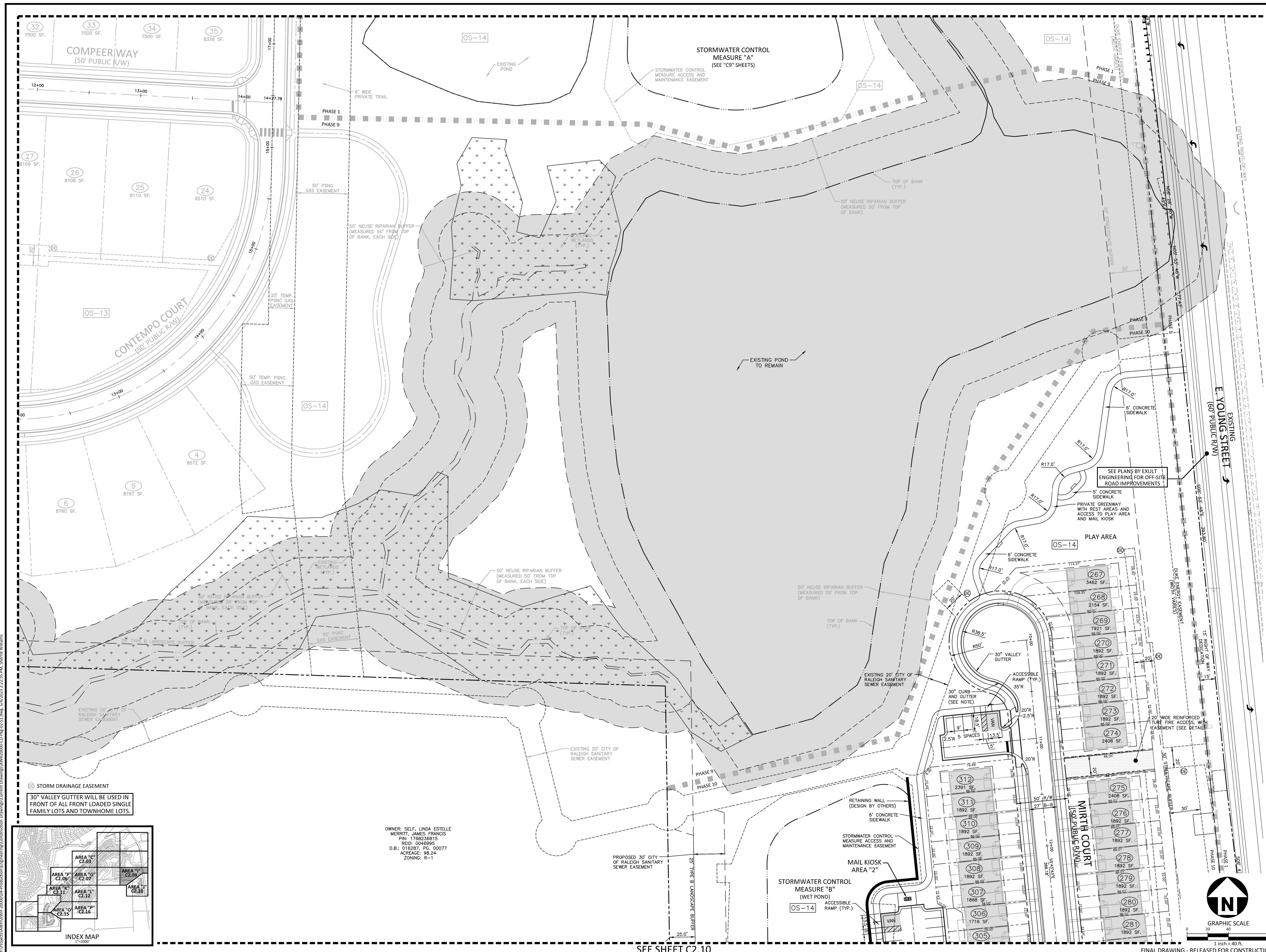
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DATE 05.08.2023

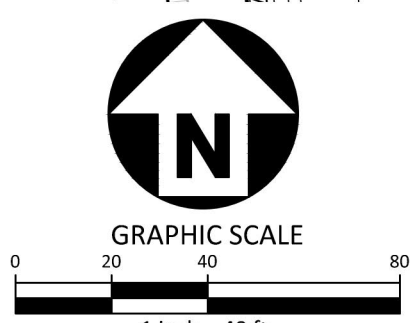
**SHEET**

**SITE PLAN**  
**AREA "I"**  
**C2.09**



OWNER: SELF, LINDA ESTELLE  
MERRITT, JAMES FRANCIS  
PIN: 1766236815  
REID: 0046895  
D.B.: 016287, PG. 00077  
ACRAGE: 98.24  
ZONING: R-1

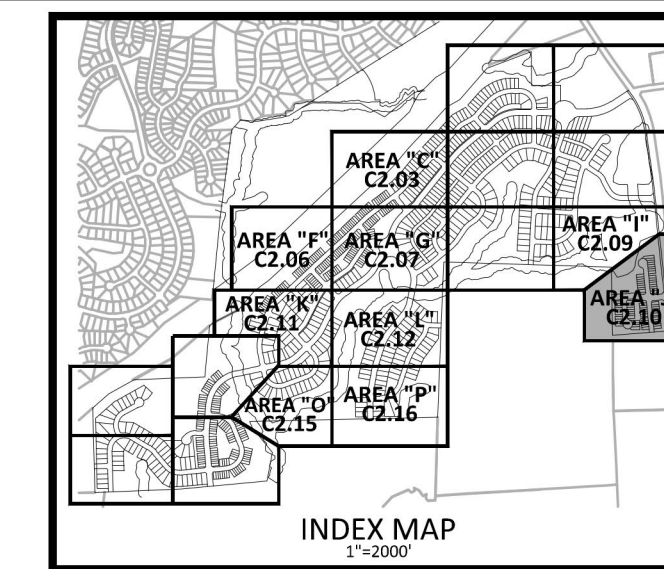
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SEE SHEET C2.09



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CONTACT: BOB MISHLER

**ASHTON WOODS**

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WAKE COUNTY, NORTH CAROLINA

CD 20-08



William T. O'Daniel  
Professional Engineer  
North Carolina  
2023.05.05 15:06:14 -0400

**REVISIONS**

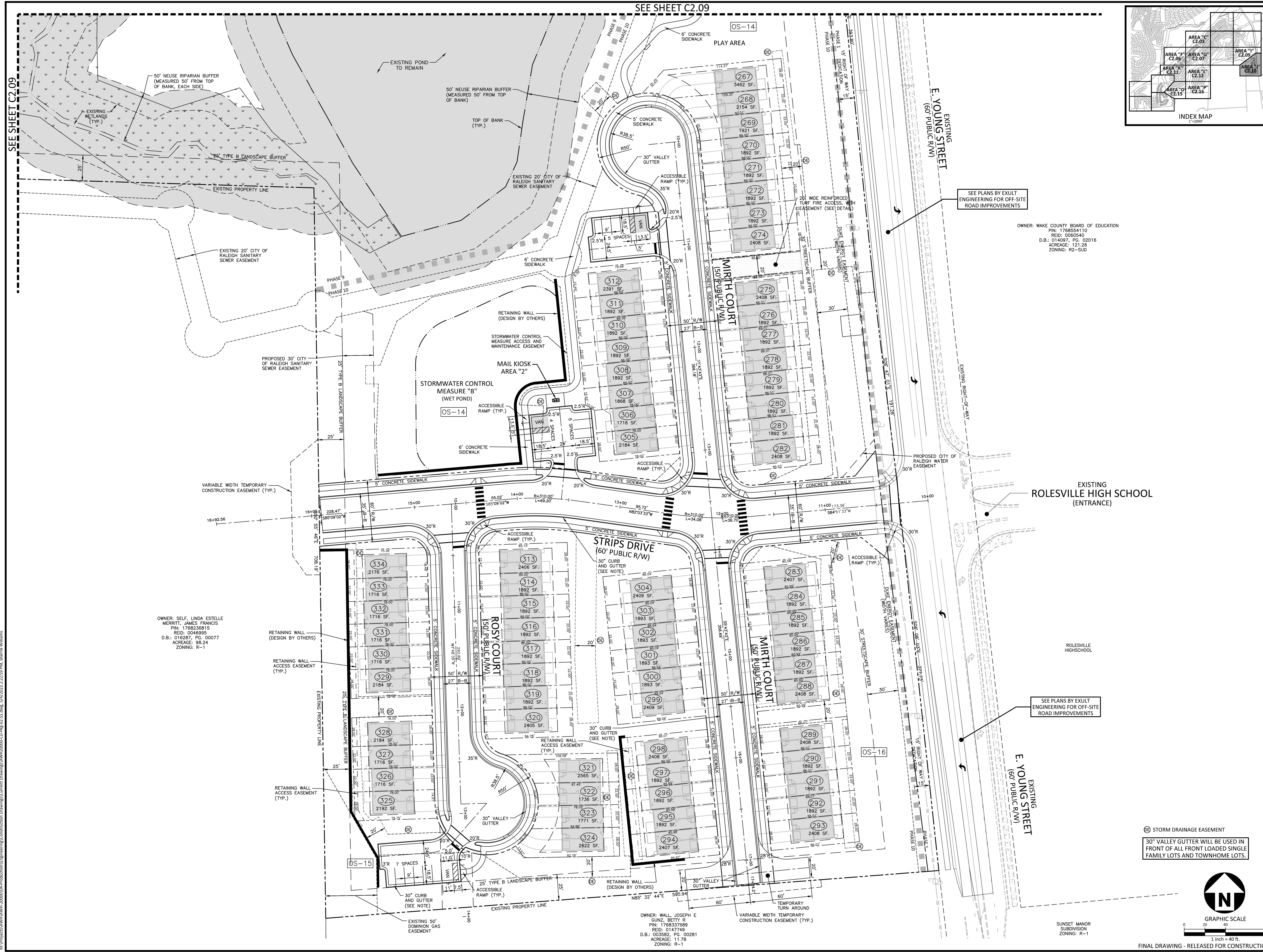
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FILENAME AWH20000-CD-PKG-02-51  
CHECKED BY  
DRAWN BY  
SCALE 1"=40'  
DATE 05.08.2023

**SHEET**

**SITE PLAN**  
**AREA "J"**  
**C2.10**

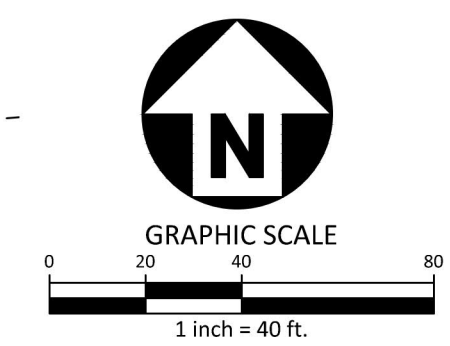


OWNER: SELF LINDA ESTELLE  
MERRITT, JAMES FRANCIS  
PIN: 1768236815  
REID: 0046995  
D.B.: 016287, PG. 00077  
ACREAGE: 98.24  
ZONING: R-1

OWNER: WALL JOSEPH E  
GUNZ, BETTY R  
PIN: 1768337889  
REID: 0147749  
D.B.: 003592, PG. 00281  
ACREAGE: 11.79  
ZONING: R-1

SUNSET MANOR  
SUBDIVISION  
ZONING: R-1

STORM DRAINAGE EASEMENT  
30" VALLEY GUTTER WILL BE USED IN  
FRONT OF ALL FRONT LOADED SINGLE  
FAMILY LOTS AND TOWNHOME LOTS.



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