

# PRESERVE AT JONES DAIRY - CENTRAL

## CONSTRUCTION DRAWINGS SINGLE FAMILY & TOWNHOMES INFRASTRUCTURE

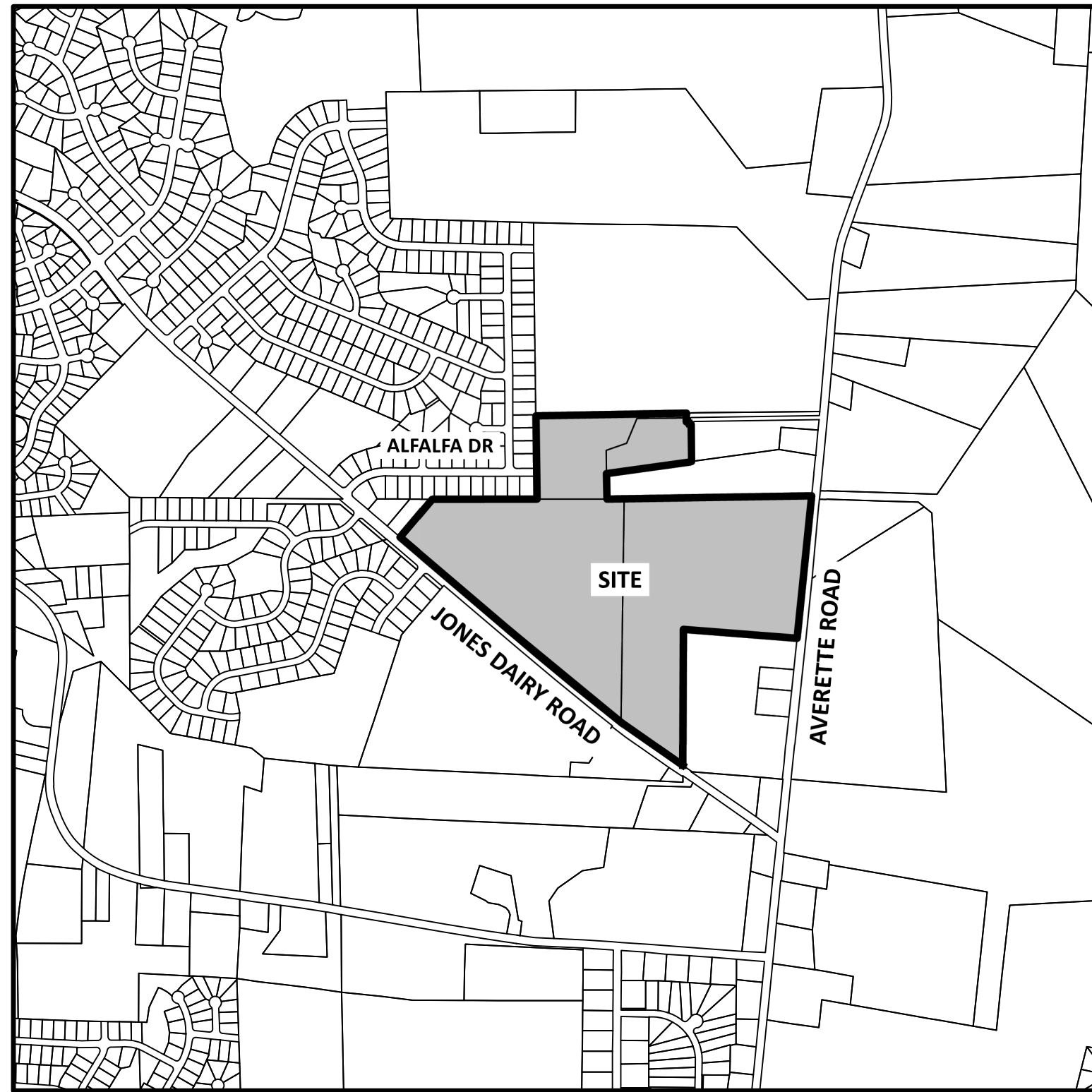
PARCEL PINS: 1759992822, 1850906787, 1769094682

ROLESVILLE, NC

RELEASED FOR CONSTRUCTION JANUARY 27, 2023  
REVISED MARCH 17, 2023  
REVISED MARCH 23, 2023  
REVISED MARCH 24, 2023  
REVISED MARCH 28, 2023  
REVISED MAY 3, 2023

OWNER/DEVELOPER  
PRESERVE AT JONES DAIRY, LLC  
10534 ARNOLD PALMER DRIVE  
RALEIGH, NC 27617  
919-491-0761

VICINITY MAP



SHEET INDEX

SHEET NO.	SHEET NAME	MOST CURRENT REVISION DATE
C1.0	EXISTING CONDITIONS PLAN	1/27/2023
C2.0	OVERALL SITE PLAN	1/27/2023
C2.1	OPEN SPACE PLAN	1/27/2023
C2.2	PHASING PLAN	3/24/2023
C2.3	SITE PLAN - SOUTH	1/27/2023
C2.4	SITE PLAN - CENTRAL	1/27/2023
C2.5	SITE PLAN - NORTH	1/27/2023
C2.6	SITE PLAN - EAST	1/27/2023
C2.7	SITE PLAN - WEST	1/27/2023
C3.0	OVERALL UTILITY PLAN	1/27/2023
C3.1	UTILITY PLAN - SOUTH	3/17/2023
C3.2	UTILITY PLAN - CENTRAL	1/27/2023
C3.3	UTILITY PLAN - NORTH	1/27/2023
C3.4	UTILITY PLAN - EAST	1/27/2023
C3.5	UTILITY PLAN - WEST	3/17/2023
C4.0	OVERALL GRADING PLAN	1/27/2023
C4.1	GRADING PLAN - SOUTH	1/27/2023
C4.2	GRADING PLAN - CENTRAL	1/27/2023
C4.3	GRADING PLAN - NORTH	1/27/2023
C4.4	GRADING PLAN - EAST	1/27/2023
C4.5	GRADING PLAN - WEST	1/27/2023
C5.1	DRAINAGE PLAN - SOUTH	1/27/2023
C5.2	DRAINAGE PLAN - CENTRAL	3/23/2023
C5.3	DRAINAGE PLAN - NORTH	3/28/2023
C5.4	DRAINAGE PLAN - EAST	3/23/2023
C5.5	DRAINAGE PLAN - WEST	1/27/2023
C6.1	POND #1 - DETAIL SHEET	5/3/2023
C6.2	POND #2 - DETAIL SHEET	1/27/2023
C7.0	OVERALL LANDSCAPE PLAN	1/27/2023
C7.1	LANDSCAPE PLAN - SOUTH	1/27/2023
C7.2	LANDSCAPE PLAN - CENTRAL	1/27/2023
C7.3	LANDSCAPE PLAN - NORTH	1/27/2023
C7.4	LANDSCAPE PLAN - EAST	1/27/2023
C7.5	LANDSCAPE PLAN - WEST	1/27/2023
P1.1	CATTLE DRIVE PLAN AND PROFILE	5/3/2023
P1.2	CATTLE DRIVE PLAN AND PROFILE	1/27/2023
P2.1	HOLSTEIN DAIRY WAY PLAN AND PROFILE	1/27/2023
P3.1	BULLHORN DRIVE PLAN AND PROFILE	1/27/2023
P4.1	FIGHTING BULL DRIVE PLAN AND PROFILE	5/3/2023
P4.2	FIGHTING BULL DRIVE PLAN AND PROFILE	3/23/2023
P5.1	ALFALFA LANE PLAN AND PROFILE	1/27/2023
P6.1	RAMO GRANDE LANE PLAN AND PROFILE	1/27/2023
P7.1	LINCOLN RED DRIVE PLAN AND PROFILE	1/27/2023
P8.1	SHORTHORN DRIVE PLAN AND PROFILE	1/27/2023
P8.2	SHORTHORN DRIVE PLAN AND PROFILE	1/27/2023
P9.1	COW BARN WAY & PANTANEIRO WAY PLAN AND PROFILE	1/27/2023
P10.1	BELGIAN RED WAY PLAN AND PROFILE	1/27/2023
P10.2	BELGIAN RED WAY PLAN AND PROFILE	3/17/2023
P11.1	FREESTALL DRIVE PLAN AND PROFILE	1/27/2023
P12.1	HERD WAY AND SANITARY SEWER OUTFALL B	1/27/2023
P13.1	SANITARY SEWER OUTFALL A AND C	1/27/2023
P14.1	SANITARY SEWER OUTFALL D	1/27/2023
D1.1	SITE DETAILS	1/27/2023
D2.1	ROAD SECTIONS AND DOT DETAILS	1/27/2023
D2.2	DOT DETAILS	1/27/2023
D2.3	DOT DETAILS	1/27/2023
D3.1	RALEIGH WATER DETAILS	1/27/2023
D3.2	RALEIGH WATER DETAILS	1/27/2023
D4.1	RALEIGH SEWER DETAILS	1/27/2023
D4.2	RALEIGH SEWER DETAILS	1/27/2023

**SPECIAL USE PERMIT CONDITIONS**

- ALL THE PROVISIONS OF THE TOWN OF ROLESVILLE UNIFIED DEVELOPMENT ORDINANCE 6.2.1 RL AND 6.2.3 R3 WILL BE FOLLOWED EXCEPT:
  - FRONT WALKWAYS SHALL CONNECT TO THE PAVED DRIVEWAY NOT TO THE SIDEWALKS IN FRONT OF THE DWELLING.
  - TWO CAR GARAGES VISIBLE FROM THE STREET WILL HAVE THE OPTION OF ONE OR TWO DOORS.
- THE OPEN SPACE LAND REQUIREMENT SHALL BE DEDICATED TO THE HOMEOWNER'S ASSOCIATION'S ASSOCIATION.
- THE GREENWAY/WALKING TRAIL WILL BE CONSTRUCTED IN THE PHASE IN WHICH IT LIES AND WILL BE COMPLETED BEFORE THE FIRST BUILDING PERMIT OF THAT PHASE IS ISSUED. IF IT IS A PUBLIC GREENWAY TRAIL AS SHOWN ON THE 2002 OPEN SPACE AND GREENWAY PLAN, IT WILL BE MAINTAINED BY THE TOWN. IF NOT, THEN IT WOULD BE PUBLICLY ACCESSIBLE, BUT NOT MAINTAINED SINCE IT IS NOT PART OF THE PLAN. ALL OF THIS IS DETERMINED WITH THE PUD MASTER PLAN AND LATER PRELIMINARY SUBDIVISION PLAT OR SITE PLANS AS WELL AS SUBDIVISION CONSTRUCTION PLANS.
- AMENITIES SCHEDULE:
  - PHASE 1 AND 2 TOWNHOMES: THE DEVELOPER WILL CONSTRUCT A PLAYGROUND AND OPEN SPACE, AND IT IS TO BE COMPLETED BY THE 50 PERCENT ISSUANCE OF THE BUILDING PERMIT OF PHASE 2.
  - PHASE 3 PLAYGROUND TO BE COMPLETED BEFORE THE 50 PERCENT ISSUANCE OF THE BUILDING PERMIT OF THE PHASE.
  - PHASE 4 PLAYGROUND, OPEN SPACE AND WALKING TRAIL TO BE COMPLETED BY THE 50 PERCENT ISSUANCE OF THE BUILDING PERMIT OF PHASE 4.
  - PHASE 5 PLAYGROUND, OPEN SPACE AND WALKING TRAIL TO BE COMPLETED BY THE 50 PERCENT ISSUANCE OF THE BUILDING PERMIT OF PHASE 4.
- EACH SINGLE FAMILY HOME LOT WILL HAVE ONE STREET TREE EXCEPT CORNER LOTS WHICH WILL HAVE AT LEAST TWO STREET TREES.
- CHAIN LINK FENCES WILL NOT BE PERMITTED, AND THE CONSTRUCTION OF FENCES AND MATERIALS USED WILL BE CONTROLLED BY THE ARCHITECTURE COMMITTEE, DEVELOPER, AND BY THE RESTRICTIVE COVENANTS.
- THE MINIMUM DETACHED SINGLE-FAMILY HOME SQUARE FOOTAGE WILL BE 1600 SQUARE FEET.
- ALL OF THE DETACHED SINGLE-FAMILY HOMES WILL HAVE CRAWL SPACE OR STEM WALL FOUNDATIONS.
- THE MINIMUM SQUARE FOOTAGE FOR TOWN HOMES SHALL BE 1100 SQUARE FEET.
- THE TOWN RESERVES THE RIGHT AND MAY REQUEST VALUATION OF JONES DAIRY AND AVERETTE ROAD INTERSECTION AFTER 24 MONTHS OF THE FIRST ISSUED CERTIFICATE OF OCCUPANCY FOR ANY USES COMPLETED FOR THE PRESERVE AT JONES DAIRY ROAD EITHER SOUTH OR CENTRAL PORTIONS WHEN THERE IS EVIDENCE OF DEVELOPING TRAFFIC CONGESTION OR SAFETY ISSUES AT THIS INTERSECTION THAT WOULD MERIT WARRANT OF TRAFFIC LIGHT AS RECOMMENDED BY THE PRESERVE AT JONES DAIRY ROAD TRAFFIC IMPACT ANALYSIS REPORT (TIA). ALL COST INCLUDING INSTALLING THE TRAFFIC LIGHT IMPROVEMENT WITH METAL POLES AND METAL MAST ARMS IS THE RESPONSIBILITY OF THE DEVELOPER. AFTER THE FIRST REQUEST FOR REVALUATION, THE TOWN CAN CALL FOR ADDITIONAL REQUESTS FOR REVALUATION BASED UPON THE EVIDENCE OF DEVELOPING TRAFFIC CONGESTION OR SAFETY ISSUES AFTER THE PREVIOUS REVALUATION UNTIL ALL THE RECOMMENDED IMPROVEMENTS OF THE TIA REPORT ARE COMPLETED.
- THE SPECIAL USE PERMIT IS GRANTED UPON THE FURTHER CONDITION THAT EACH ELEMENT OF THE MASTER PLAN MUST COME BACK THROUGH THE SITE PLAN APPROVAL PROCESS.

**REQUIRED LOT SPECIFICATIONS**

- ALL ACCESSORY BUILDINGS, INCLUDING DETACHED GARAGES, ARE TO BE TO THE REAR OF, AND A MINIMUM OF TEN FEET FROM THE PRINCIPLE RESIDENCE, AND TEN FEET FROM ANY PUBLIC RIGHT-OF-WAY.
- ENCROACHMENTS INTO THE REAR SETBACK BY THE PRINCIPLE RESIDENCE AND ATTACHED STRUCTURES, INCLUDING DECKS AND PORCHES, MAY NOT EXCEED 12 FEET OR ONE-HALF THE DISTANCE OF THE REAR SETBACK, WHICHEVER IS GREATER, AND BE NO NEARER THAN THREE FEET FROM THE REAR LOT LINE.
- POOLS AND SATELLITE DISHES AND OTHER SIMILAR STRUCTURES SHALL BE CONSTRUCTED IN THE REAR YARD ONLY AND SHALL BE SET BACK A MINIMUM OF THREE FEET FROM THE SIDE AND REAR PROPERTY LINES.
- ACCESSORY BUILDINGS OF MORE THAN 144 SQUARE FEET SHALL BE CLAD IN MATERIALS SIMILAR TO APPEARANCE TO THE PRINCIPLE STRUCTURE.

PUBLIC IMPROVEMENT QUANTITIES	
ROADS	TOTAL ROADS = 11,437 LF
ALFALFA LANE	1,129 LF
BULLHORN DRIVE	1,263 LF
CATTLE DRIVE	2,816 LF
COW BARN WAY	388 LF
FIGHTING BULL DRIVE	1,787 LF
HOLSTEIN DAIRY WAY	559 LF
LINCOLN RED DRIVE	625 LF
PANTANEIRO WAY	82 LF
RAMO GRANDE LANE	539 LF
SHORTHORN DRIVE	2,249 LF

PRIVATE ROAD QUANTITIES	
ROADS	TOTAL ROADS = 3,139 LF
BELGIAN RED WAY	1,647 LF
FREESTALL DRIVE	1,142 LF
HERD WAY	350 LF

SANITARY SEWER		TOTAL SANITARY SEWER = 14,495 LF
8" DIP	467 LF	
8" PVC	9,563 LF	
8" SDR 26 PVC	4,465 LF	
WATER		TOTAL WATER = 14,620 LF
8" DIP	14,620 LF	
STORM DRAINAGE		TOTAL STORM DRAINAGE = 17,437 LF
15" RCP	6,741 LF	
18" RCP	2,572 LF	
24" RCP	2,311 LF	
30" RCP	2,053 LF	
36" RCP	2,331 LF	
42" RCP	175 LF	
48" RCP	1,219 LF	
66" RCP	35 LF	

**SITE PERMITTING APPROVAL**  
*Water and Sewer Permits (if Applicable)*

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # ~~0-8108~~ **0-8109**.

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # ~~0-4018~~ **0-4019**.

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer Below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval  
Raleigh Water Review Officer



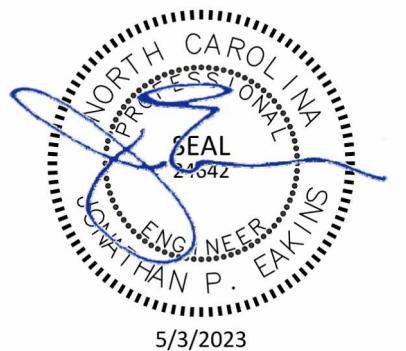
**EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT APPROVED**

EROSION CONTROL  SEC-048926-2020  
STORMWATER MGMT.  SEC-048926-2020  
FLOOD STUDY  SEC-048926-2020

DATE: **2-23-2023**  
**Barney Blackburn**  
ENVIRONMENTAL CONSULTANT/ENGINEER

**PREVIOUS PLAN APPROVALS**

- SPECIAL USE PERMIT (SUP18-06) - SEPTEMBER 17, 2019
- PRELIMINARY PLAT - OCTOBER 20, 2020
- WAKE COUNTY LAND DISTURBANCE PERMIT - SEC - 048926 - 2020 (ISSUED 08/19/2020)



5/3/2023

TOWN OF ROLESVILLE  
PROJECT IDENTIFICATION #  
CD-20-05

ALL CONSTRUCTION SHALL BE IN  
ACCORDANCE WITH TOWN OF  
ROLESVILLE STANDARDS AND  
SPECIFICATIONS

**The Nau Company**  
Consulting Civil Engineers

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FINAL DRAWING - RELEASED FOR CONSTRUCTION