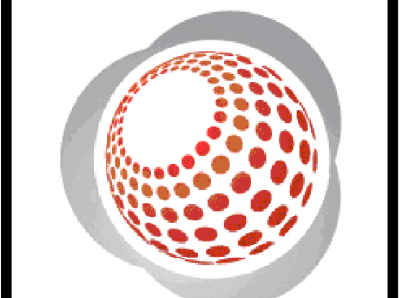


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 Phone: 919.577.1080 Fax: 919.577.1081
 NCBELS FIRM No. C-2378



**CHANDLER'S RIDGE
 CONSTRUCTION DOCUMENTS
 CONSERVATION SUBDIVISION**

**OVERALL SITE
 & OPEN SPACE PLAN**

Project Engineer: TSS
 Designed By: TEP
 Drawn By: TEP
 Checked By: TSS
 Scale: 1" = 200'

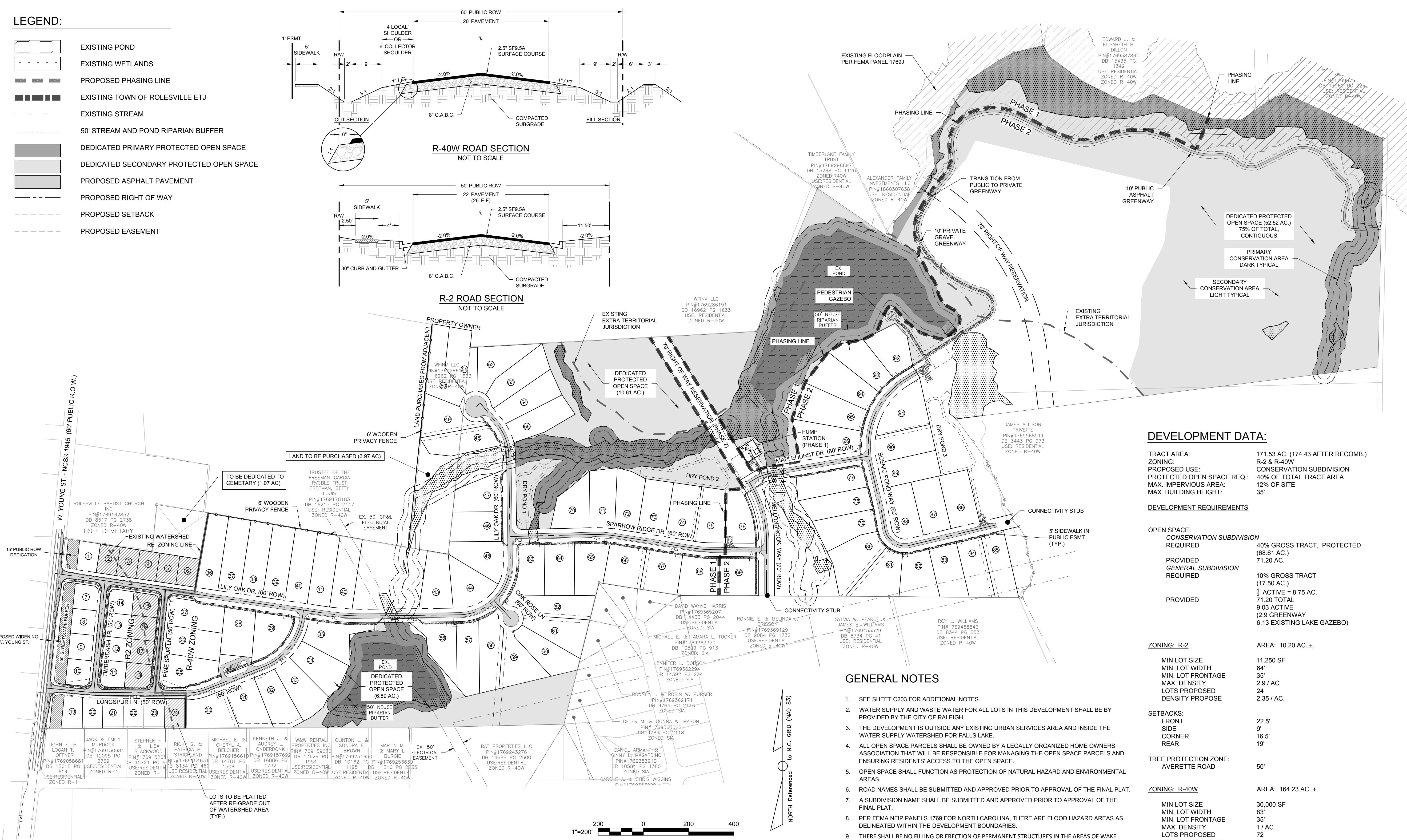
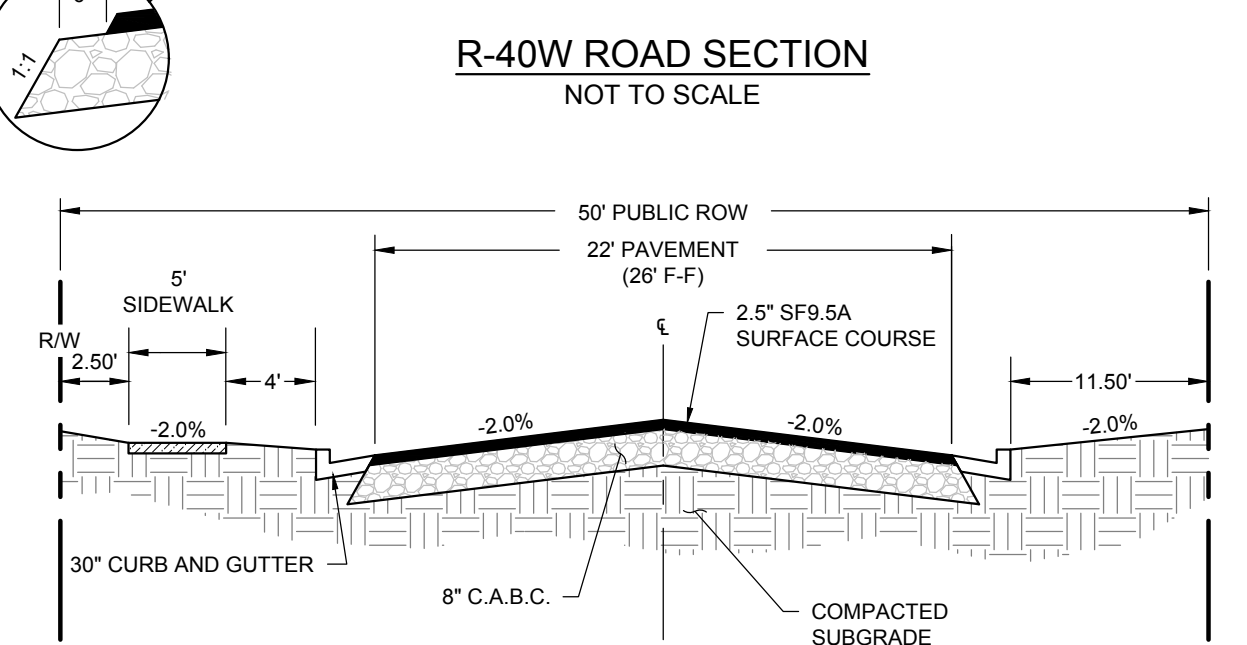
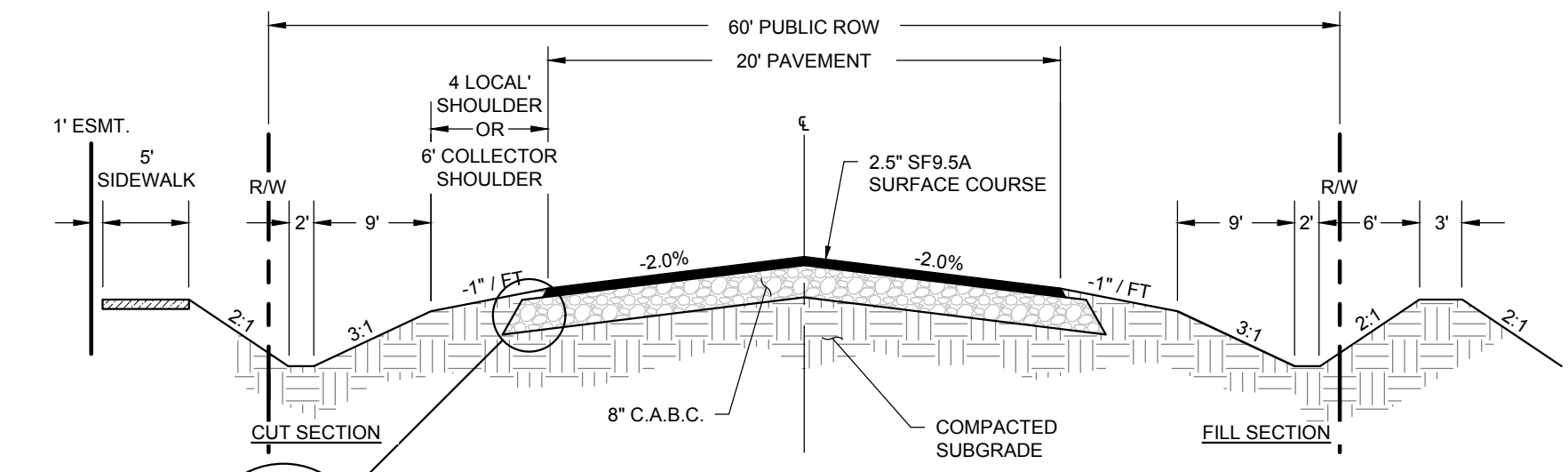
Date: 02/16/2020

Project Number: P170347

SHEET
C200

LEGEND:

- EXISTING POND
- EXISTING WETLANDS
- PROPOSED PHASING LINE
- EXISTING TOWN OF ROLESVILLE ETJ
- EXISTING STREAM
- 50' STREAM AND POND RIPARIAN BUFFER
- DEDICATED PRIMARY PROTECTED OPEN SPACE
- DEDICATED SECONDARY PROTECTED OPEN SPACE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED RIGHT OF WAY
- PROPOSED SETBACK
- PROPOSED EASEMENT



DEVELOPMENT DATA:

TRACT AREA: 171.53 AC. (174.43 AFTER RECOMB.)
 ZONING: R-2 & R-40W CONSERVATION SUBDIVISION
 PROPOSED USE: CONSERVATION SUBDIVISION
 PROTECTED OPEN SPACE REQ.: 40% OF TOTAL TRACT AREA
 MAX. IMPERVIOUS AREA: 12% OF SITE
 MAX. BUILDING HEIGHT: 35'

DEVELOPMENT REQUIREMENTS

OPEN SPACE:
 CONSERVATION SUBDIVISION REQUIRED: 40% GROSS TRACT, PROTECTED (68.61 AC.)
 PROVIDED: 71.20 AC.
 GENERAL SUBDIVISION REQUIRED: 10% GROSS TRACT (17.50 AC.)
 PROVIDED: 1/2 ACTIVE = 8.75 AC. 71.20 TOTAL 9.03 ACTIVE (2.9 GREENWAY 6.13 EXISTING LAKE GAZEBO)

ZONING: R-2

AREA: 10.20 AC. ±
 MIN LOT SIZE: 11,250 SF
 MIN. LOT WIDTH: 64'
 MIN. LOT FRONTAGE: 35'
 MAX. DENSITY: 2.9 / AC
 LOTS PROPOSED: 24
 DENSITY PROPOSED: 2.35 / AC.
 SETBACKS: FRONT 22.5', SIDE 9', CORNER 16.5', REAR 19'

ZONING: R-40W

AREA: 164.23 AC. ±
 MIN LOT SIZE: 30,000 SF
 MIN. LOT WIDTH: 83'
 MIN. LOT FRONTAGE: 35'
 MAX. DENSITY: 1 / AC
 LOTS PROPOSED: 72
 DENSITY PROPOSED: 0.44 / AC.
 SETBACKS: FRONT 38', SIDE 15', CORNER 15', REAR 23'

PHASING SUMMARY

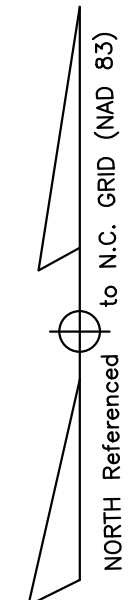
PHASE 1 AREA	91.40 ACRES
PHASE 1 OPEN SPACE	36.70 ACRES (40.15%)
PHASE 2 AREA	80.13 ACRES
PHASE 2 OPEN SPACE	34.50 ACRES (43.06%)

GENERAL NOTES

- SEE SHEET C203 FOR ADDITIONAL NOTES.
- WATER SUPPLY AND WASTE WATER FOR ALL LOTS IN THIS DEVELOPMENT SHALL BE PROVIDED BY THE CITY OF RALEIGH.
- THE DEVELOPMENT IS OUTSIDE ANY EXISTING URBAN SERVICES AREA AND INSIDE THE WATER SUPPLY WATERSHED FOR FALLS LAKE.
- ALL OPEN SPACE PARCELS SHALL BE OWNED BY A LEGALLY ORGANIZED HOME OWNERS ASSOCIATION THAT WILL BE RESPONSIBLE FOR MANAGING THE OPEN SPACE PARCELS AND ENSURING RESIDENTS' ACCESS TO THE OPEN SPACE.
- OPEN SPACE SHALL FUNCTION AS PROTECTION OF NATURAL HAZARD AND ENVIRONMENTAL AREAS.
- ROAD NAMES SHALL BE SUBMITTED AND APPROVED PRIOR TO APPROVAL OF THE FINAL PLAT.
- A SUBDIVISION NAME SHALL BE SUBMITTED AND APPROVED PRIOR TO APPROVAL OF THE FINAL PLAT.
- PER FEMA NFIP PANELS 1769 FOR NORTH CAROLINA, THERE ARE FLOOD HAZARD AREAS AS DELINEATED WITHIN THE DEVELOPMENT BOUNDARIES.
- THERE SHALL BE NO FILLING OR ERECTION OF PERMANENT STRUCTURES IN THE AREAS OF WAKE COUNTY FLOOD HAZARD SOILS OR FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) 100 YEAR FLOOD ZONES UNTIL A FLOOD STUDY IS APPROVED BY WAKE COUNTY AND/OR FEMA.

OVERALL IMPERVIOUS AREA SUMMARY

EXISTING	0
ASPHALT ROADWAY	209,712 SF / 4.81 AC.
MAIL KIOSK	150 SF / 0.003 AC.
RESIDENTIAL LOTS	R-2 ZONED = 4,600 SF R-40W ZONED = 6,500 SF 578,400 S.F. / 13.28 AC.
CONCRETE SIDEWALK AND CURB GUTTER	53,278 S.F. / 1.22 AC.
PUMP STATION & DRIVEWAY	6,847 S.F. / 0.16 AC.
GREENWAY	37,758 S.F. / 0.86 AC.
GRAVEL TURN-AROUNDS	5,779 S.F. / 0.13 AC.
TOTAL IMPERVIOUS AREA PROVIDED (AC)	891,924 SF / 20.48 AC.
IMPERVIOUS AREA RATIO	11.74%
MAX ALLOWED BY LITTLE RIVER WATERSHED RULES	< 12.00%

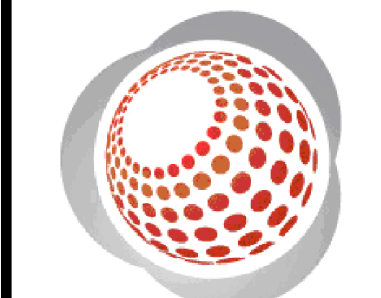


REV	DESCRIPTION	DATE

P:\2017 Projects\170347 Chandlers Ridge\Eng\CADD\DWG\Pre Plat\TRC\Plat.dwg



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**CHANDLER'S RIDGE
 CONSTRUCTION DOCUMENTS
 CONSERVATION SUBDIVISION**

**PHASE 1
 SITE PLAN**

Project Engineer:	TSS
Designed By:	TEP
Drawn By:	TEP
Checked By:	TSS
Scale:	1" = 50'
Date:	02/16/2020
Project Number:	P170347
SHEET	
C201	

SEE SHEET C202

MATCHLINE 1

LEGEND:

- EXISTING POND
- EXISTING WETLANDS
- PROPOSED PHASING LINE
- EXISTING TOWN OF ROLESVILLE ETJ
- EXISTING STREAM
- 50' STREAM AND POND RIPARIAN BUFFER
- DEDICATED PRIMARY PROTECTED OPEN SPACE
- DEDICATED SECONDARY PROTECTED OPEN SPACE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED RIGHT OF WAY
- PROPOSED SETBACK
- PROPOSED EASEMENT

ZONING: R-2 AREA: 10.20 AC. ±

MIN LOT SIZE 11,250 SF
 MIN. LOT WIDTH 64'
 MIN. LOT FRONTAGE 35'
 MAX. DENSITY 2.9 / AC
 LOTS PROPOSED 24
 DENSITY PROPOSED 2.35 / AC.

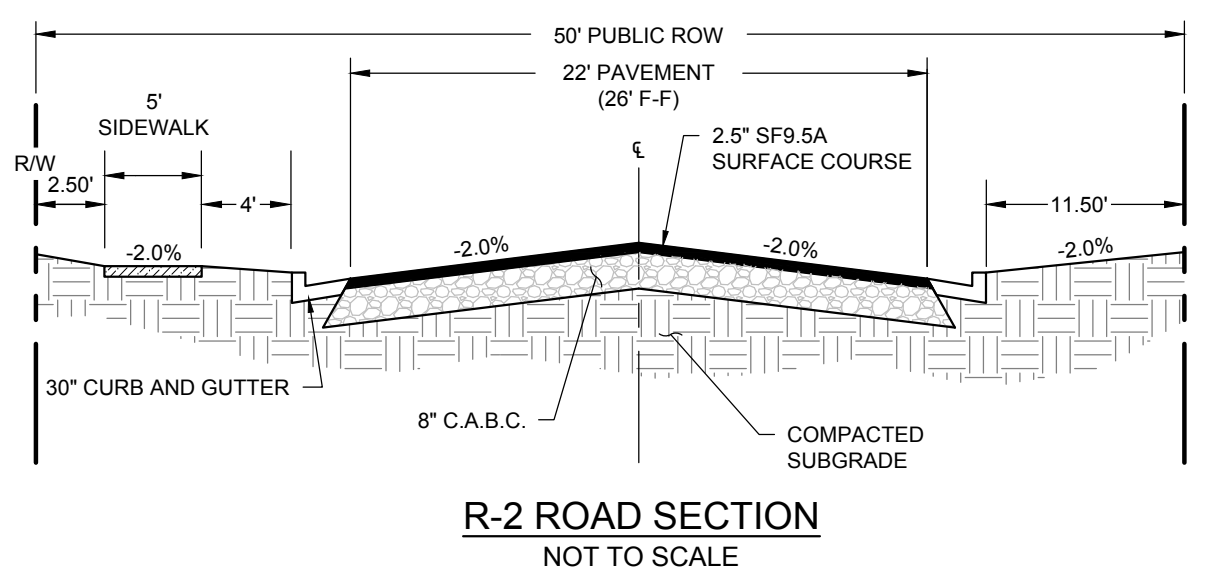
SETBACKS:
 FRONT 22.5'
 SIDE 9'
 CORNER 16.5'
 REAR 19'

TREE PROTECTION ZONE:
 AVERETTE ROAD 50'

ZONING: R-40W AREA: 164.23 AC. ±

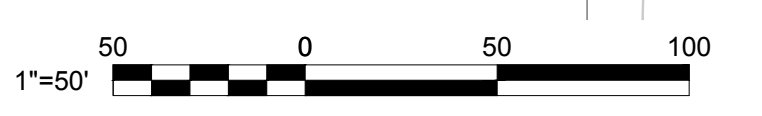
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 MIN. LOT WIDTH 83'
 MIN. LOT FRONTAGE 35'
 MAX. DENSITY 1 / AC
 LOTS PROPOSED 72
 DENSITY PROPOSED 0.44 / AC.

SETBACKS:
 FRONT 38'
 SIDE 15'
 CORNER 15'
 REAR 23'



REV	DESCRIPTION	DATE

P: 2017 Projects\170347 Chandlers Ridge\Eng\CADD\DWG\Site Plan\TRC\Site.dwg



PROFESSIONAL ENGINEER
 KENNETH J. & AUDREY L. ANDERDONK
 PIN# 1769157692
 DB 1352
 1732
 USER-RESIDENTIAL ZONED R-40W

MICHAEL E. & CHERYL A. BELCHER
 PIN# 1769156610
 DB 14781 PG
 1506
 USER-RESIDENTIAL ZONED R-40W


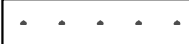



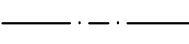

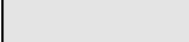
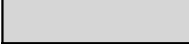
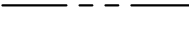

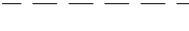
RICKY G. & PATRICIA P. STRICKLAND
 PIN# 1769154631
 DB 8134 PG 460
 USER-RESIDENTIAL ZONED R-40W

STEPHEN F. & USA BLACKWOOD
 PIN# 1769152651
 DB 13721 PG 644
 USER-RESIDENTIAL ZONED R-1

JACK & EMILY MURDOCK
 PIN# 1769150681
 DB 12095 PG
 2765
 USER-RESIDENTIAL ZONED R-1

JOHN F. & LOGAN T. HOFFNER
 PIN# 1769058681
 DB 15615 PG
 614
 USER-RESIDENTIAL ZONED R-1

LEGEND:

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ZONING: R-40W AREA: 164.23 AC. ±

MIN LOT SIZE	30,000 SF
MIN LOT WIDTH	83'
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MAX. DENSITY	1 / AC
LOTS PROPOSED	72
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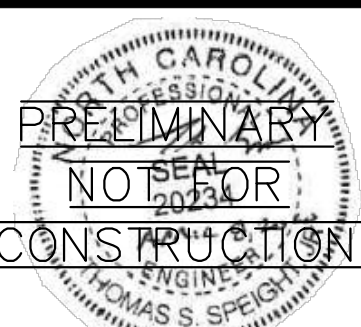
SEE SHEET C201

MATCHLINE 1

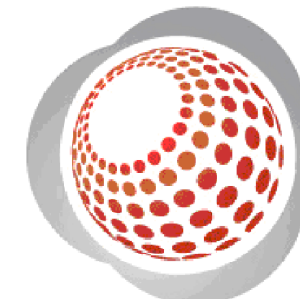
MATCHLINE 3

SEE SHEET C204

MATCHLINE 2



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 NCBELS FIRM No. C-2378



CHANDLER'S RIDGE
 CONSTRUCTION DOCUMENTS
 CONSERVATION SUBDIVISION

410 W. YOUNG ST.
 ROLESVILLE, NC
 WAKE COUNTY

PHASE 1
SITE PLAN

Project Engineer:	TSS
Designed By:	TEP
Drawn By:	TEP
Checked By:	TSS
Scale:	1" = 50'

Date: 02/16/2020

Project Number: P170347

SHEET
C202



NORTH Referenced to N.C. GRID (NAD 83)

REV	DESCRIPTION	DATE

LEGEND:

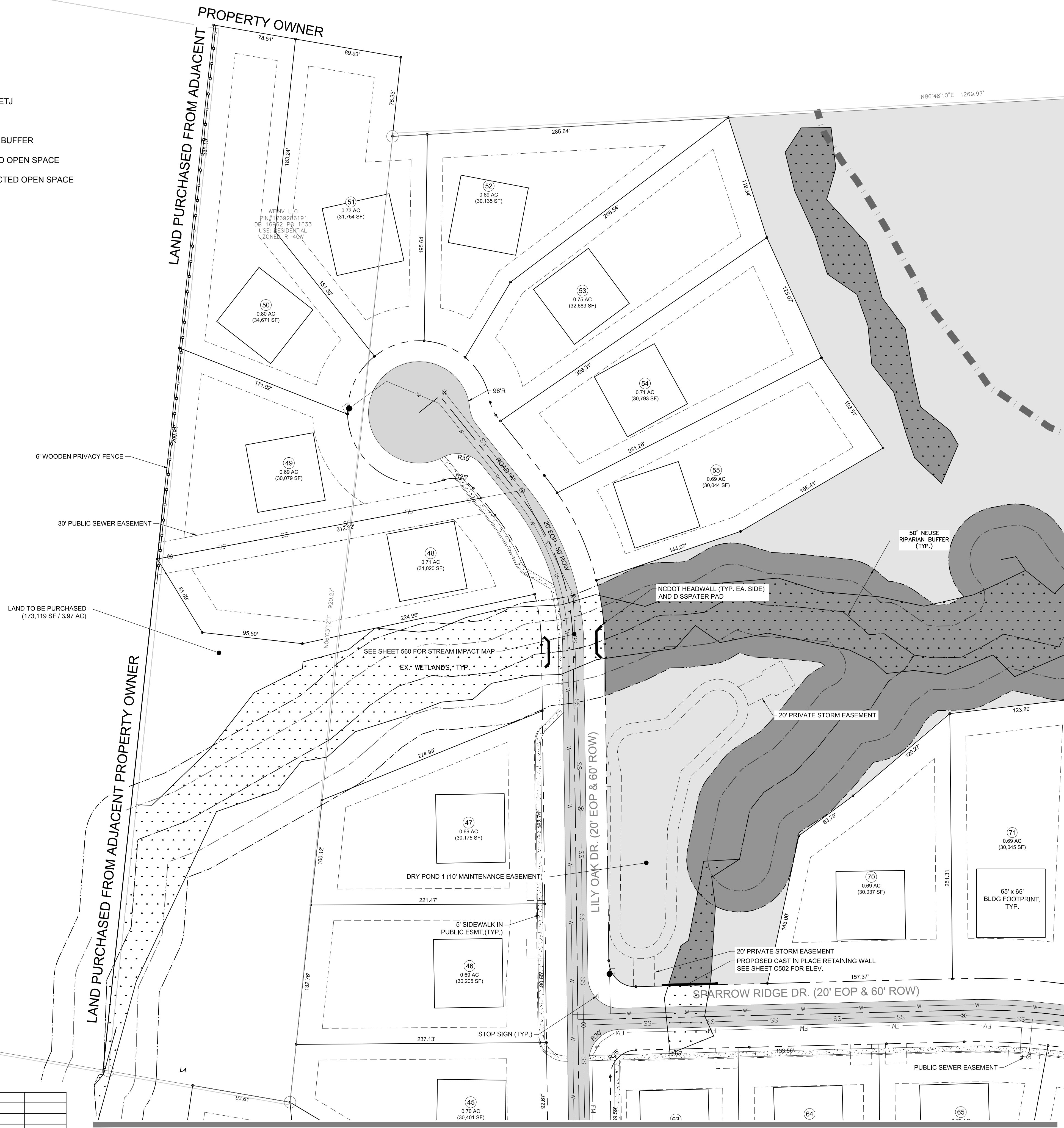
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- EXISTING WETLANDS
- PROPOSED PHASING LINE
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- PROPOSED RIGHT OF WAY
- PROPOSED SETBACK
- PROPOSED EASEMENT

ZONING: R-40W AREA: 164.23 AC. ±

MIN. LOT SIZE 30,000 SF
 MIN. LOT WIDTH 85'
 MIN. LOT FRONTAGE 35'
 MAX. DENSITY 1 / AC
 LOTS PROPOSED 72
 DENSITY PROPOSED 0.44 / AC.

SETBACKS

FRONT 38'
 SIDE 15'
 CORNER 15'
 REAR 23'

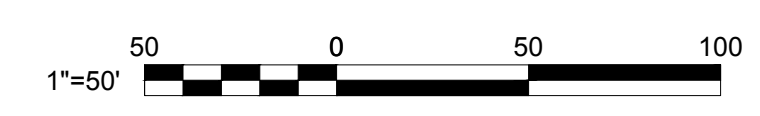


- SITE NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION LAYDOWN AREA, PERIMETER FENCE, AND ASSOCIATED GATES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL OF THE CONSTRUCTION LAYDOWN AREA PERIMETER FENCE AND ASSOCIATED GATES AT THE COMPLETION OF THE PROJECT.
 2. THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS, JOINT LOCATIONS, AND INLAY SPECIFICATIONS NEAR BUILDINGS AND IN COURTYARDS. CONTRACTOR SHALL PROVIDE JOINTS IN WALKWAYS AND HARDSCAPE PER DETAILS OR AS INDICATED ON LANDSCAPE/HARDSCAPE PLAN SHEETS.
 3. ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM WEST YOUNG ST. UNLESS OTHERWISE APPROVED IN WRITING FROM THE OWNER'S REPRESENTATIVE FOR AN ALTERNATE POINT OF ACCESS.
 4. REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
 5. ALL DIMENSIONS ARE IN DECIMAL FEET TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES, AND/OR FACE OF CURB UNLESS OTHERWISE NOTED.
 6. THIS SITE IS PARTIALLY LOCATED IN THE LITTLE RIVER WATERSHED AND STREET LOCATIONS, AND INLAY SPECIFICATIONS NEAR BUILDINGS AND IN COURTYARDS. CONTRACTOR SHALL REFER TO AND COORDINATE WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS AT ALL TIMES PRIOR TO AND DURING CONSTRUCTION.
 7. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.
 8. ALL WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE FROM DRAWINGS.
 9. ALL UTILITIES WITH SURFACE ACCESS SHALL BE LOCATED WITHIN THE PAVING PATTERN AND SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. REFER TO LAYOUT DRAWINGS.
 10. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
 11. ALIGN ALL JOINTS, CORNERS, AND EDGES AS SHOWN.
 12. CONTRACTOR SHALL REFER TO AND COORDINATE WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS AT ALL TIMES PRIOR TO AND DURING CONSTRUCTION.
 13. ALL CURB TAPERS ARE SIX (6) FEET LONG UNLESS OTHERWISE SHOWN ON PLAN.
 14. WHERE NEW SIDEWALK ADJOINS EXISTING WALK, PROVIDE EXPANSION JOINT BY DRILLING INTO THE FACE OF THE EXISTING WALK FOR PLACEMENT OF DOWELS. THE NEW SIDEWALKS INTO NEAREST EXISTING PAVEMENT JOINT. MATCH WIDTH OF EXISTING WALKWAY.
 15. WHERE SIDEWALK OR WALKWAYS ARE ADJACENT TO PARKING SPACES THE WALKWAY SHALL BE A MINIMUM 6.5' WIDE AS MEASURED FROM THE FACE OF CURB.
 16. MAXIMUM RUNNING SLOPE FOR WALKING SURFACES CANNOT BE GREATER THAN 1:20 AND CROSS SLOPES CANNOT BE GREATER THAN 1:48. HANDICAP SPACES SURFACE SLOPES SHALL NOT EXCEED 1:48 IN ALL DIRECTIONS.
 17. SIGHT TRIANGLES - NOTHING OVER 30" HIGH SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLES.
 18. THE SITE SHALL BE FULLY STABILIZED (80% COVERAGE) PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY OR PROJECT APPROVAL.
 19. HANDICAP RAMPS SHALL BE INSTALLED PER LATEST EDITION OF THE NC BUILDING CODE AND ANSI 117.1 WITH DETECTABLE WARNING DOMES WITH A COLOR CONTRAST OF 70% MINIMUM. SEE DETAILS AND GRADING SPOT ELEVATIONS, IF THE EXISTING CONDITIONS PRECLUDE THE ABILITY TO PROVIDE A MAXIMUM SLOPE 1/12 FOR 6 FEET OR A MAXIMUM CROSS SLOPE OF 1:48 AND A 36" MINIMUM LANDING, THE CONTRACTOR SHALL NOTIFY ENGINEER OR OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
 20. THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR CERTIFICATION MEMO TO NCDOT FOR ALL ROADWAY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.
 21. THE MAINTENANCE OF ALL REQUIRED LANDSCAPING BY KEEPING LAWNS MOWED, ALL PLANTS MAINTAINED AS DISEASE FREE, AND ALL PLANTING BEDS GROOMED AND KEPT WEED FREE (EXCEPT IN AREAS OF PRESERVED EXISTING NATURAL VEGETATION (I.E. THICKETS), AND KEPT FREE FROM TRASH, DEBRIS AND OTHER OBJECTIONABLE MATERIALS. THE REPLACEMENT OF ANY REQUIRED PLANTING, WHICH IS REMOVED OR DIES AFTER THE DATE OF PLANTING, SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT PLANTING SEASON; AND, THE REPLACEMENT OF ANY TREE IN A TREE SAVE AREA, WHICH IS REMOVED OR DIES AFTER THE DATE OF APPROVAL OF A PRESERVATION LANDSCAPE PLAN, SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT PLANTING.

- GENERAL NOTES:**
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, NCDENR, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
 2. EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY BATEMAN CIVIL SURVEY, UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE) NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
 4. ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
 5. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
 7. THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND HARDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
 8. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
 11. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
 12. ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (45,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

SEE SHEET C204
MATCHLINE 2

MATCHLINE 3 SEE SHEET C202



P:\2017 Projects\170347 Chandlers Ridge\Eng\CADD\DWG\Pre Plan\TRC\Plan.dwg

REV	DESCRIPTION	DATE



Bateman Civil Survey Company
 Engineers • Surveyors • Planners
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 Phone: 919.577.1080 Fax: 919.577.1081
 NCBELS FIRM No. C-2378


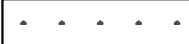



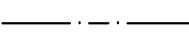

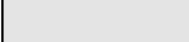
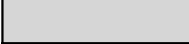
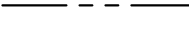




**CHANDLER'S RIDGE
 CONSTRUCTION DOCUMENTS
 CONSERVATION SUBDIVISION**

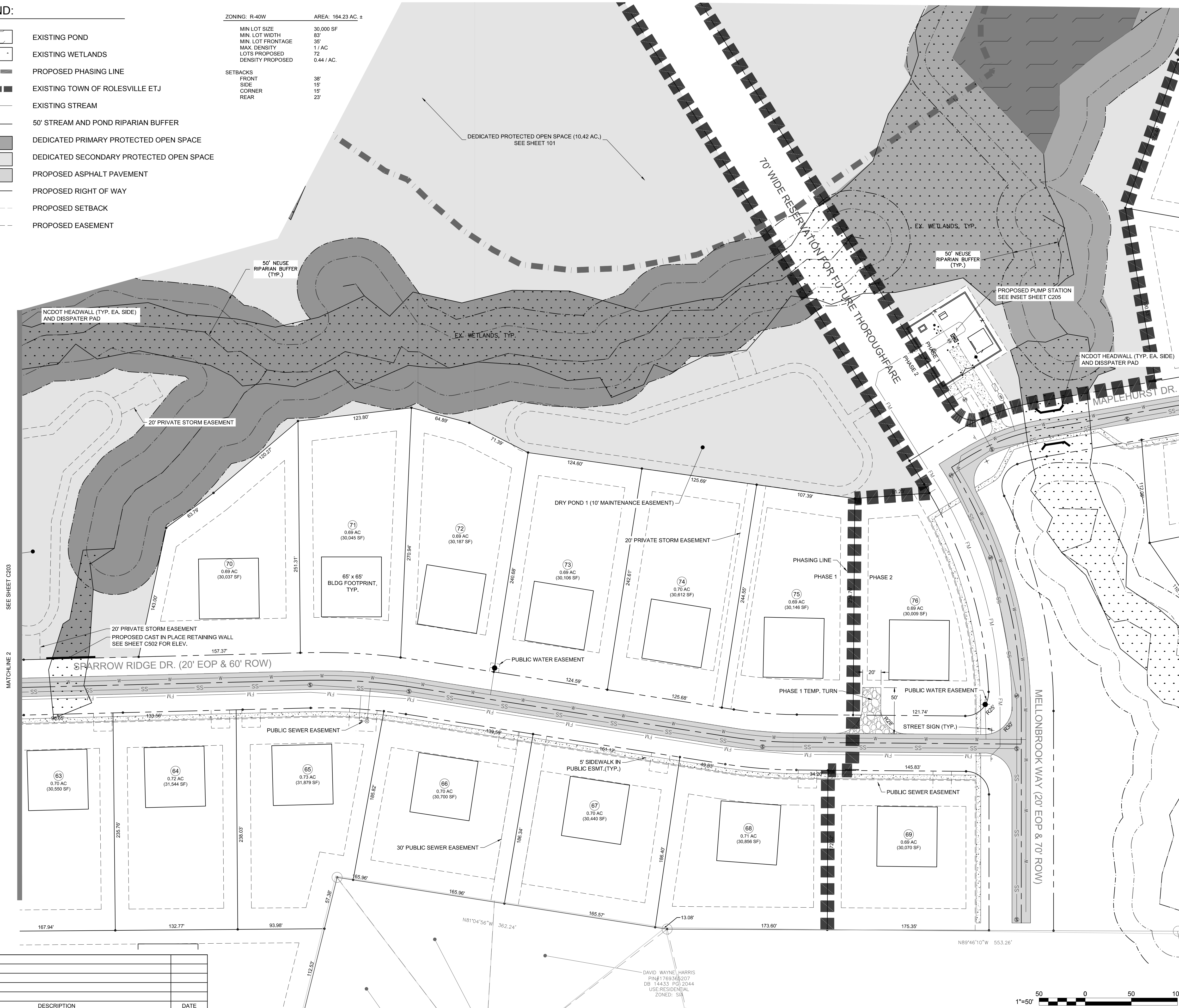
**PHASE 1
 SITE PLAN**

Project Engineer:	TSS
Designed By:	TEP
Drawn By:	TEP
Checked By:	TSS
Scale:	1" = 50'
Date:	02/16/2020
Project Number:	P170347
SHEET	C203

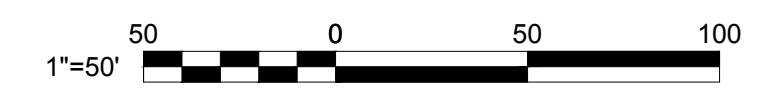
LEGEND:

-  EXISTING POND
-  EXISTING WETLANDS
-  PROPOSED PHASING LINE
-  EXISTING TOWN OF ROLESVILLE ETJ
-  EXISTING STREAM
-  50' STREAM AND POND RIPARIAN BUFFER
-  DEDICATED PRIMARY PROTECTED OPEN SPACE
-  DEDICATED SECONDARY PROTECTED OPEN SPACE
-  PROPOSED ASPHALT PAVEMENT
-  PROPOSED RIGHT OF WAY
-  PROPOSED SETBACK
-  PROPOSED EASEMENT

ZONING: R-40W		AREA: 164.23 AC. ±
MIN. LOT SIZE	30,000 SF	
MIN. LOT WIDTH	83'	
MIN. LOT FRONTAGE	35'	
MAX. DENSITY	1 / AC	
LOTS PROPOSED	72	
DENSITY PROPOSED	0.44 / AC.	
SETBACKS:		
FRONT	38'	
SIDE	15'	
CORNER	15'	
REAR	25'	

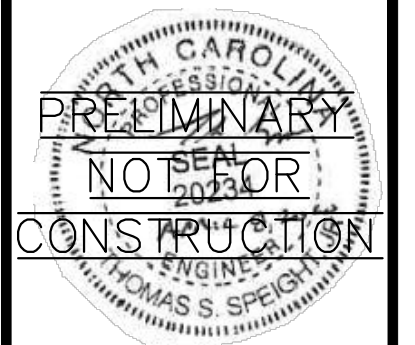


DAVID WAYNE HARRIS
 PIN# 1769168207
 DB 14433 P.O. 2044
 USE: RESIDENTIAL
 ZONED: SA



NORTH Reference to N.C. GRID (NAD 83)

REV	DESCRIPTION	DATE



Bateman Civil Survey Company
 Engineers • Surveyors • Planners
 2524 Reliance Avenue, Apex, North Carolina 27539
 Phone: 919.577.1080 Fax: 919.577.1081
 NCBELS FIRM No. C-2378

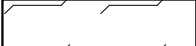




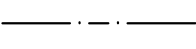
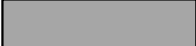
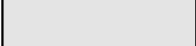






CHANDLER'S RIDGE
 CONSTRUCTION DOCUMENTS
 CONSERVATION SUBDIVISION

PHASE 1 / 2
 SITE PLAN

Project Engineer:	TSS
Designed By:	TEP
Drawn By:	TEP
Checked By:	TSS
Scale:	1" = 50'
Date:	02/16/2020
Project Number:	P170347
SHEET	
C204	

LEGEND:

-  EXISTING POND
-  EXISTING WETLANDS
-  PROPOSED PHASING LINE
-  EXISTING TOWN OF ROLESVILLE ETJ
-  EXISTING STREAM
-  50' STREAM AND POND RIPARIAN BUFFER
-  DEDICATED PRIMARY PROTECTED OPEN SPACE
-  DEDICATED SECONDARY PROTECTED OPEN SPACE
-  PROPOSED ASPHALT PAVEMENT
-  PROPOSED RIGHT OF WAY
-  PROPOSED SETBACK
-  PROPOSED EASEMENT

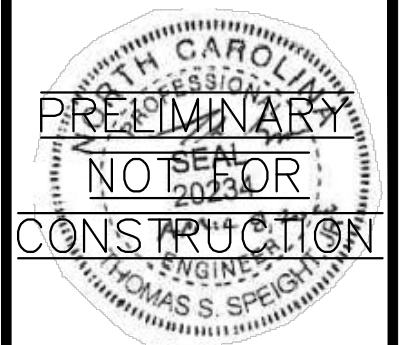
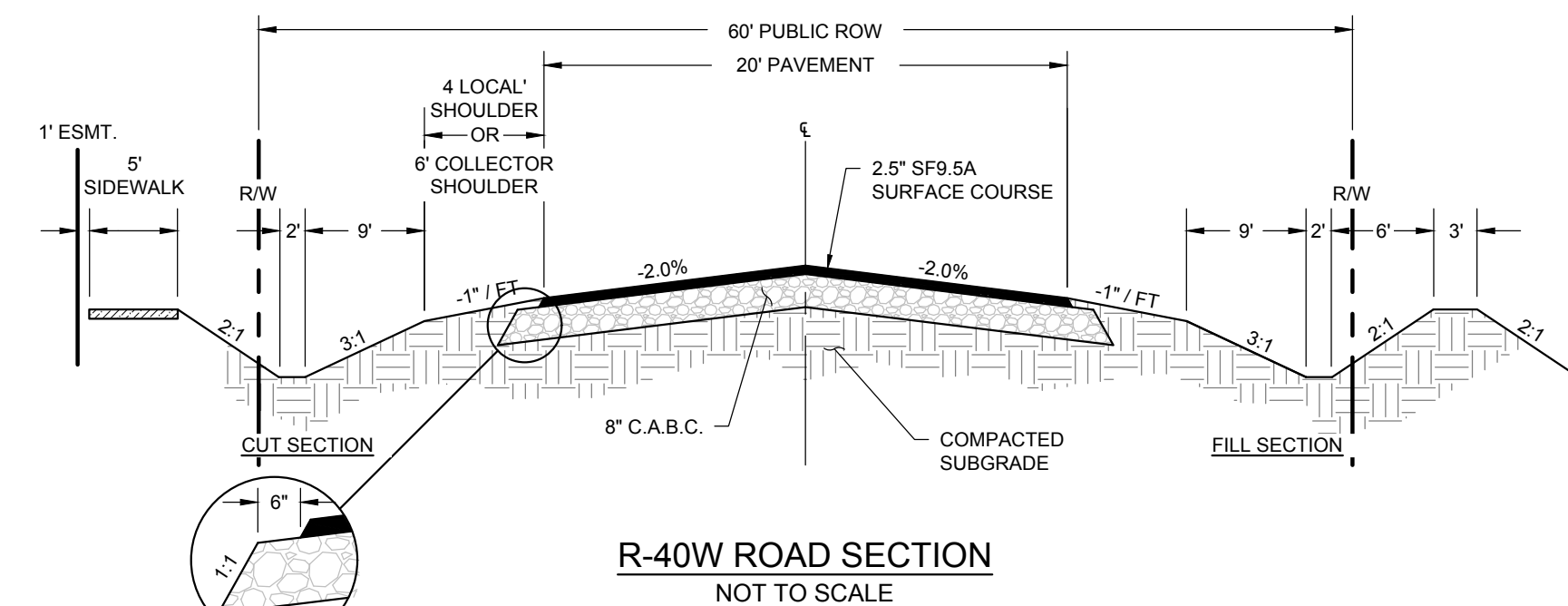
ZONING: R-40W AREA: 164.23 AC ±

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MIN. LOT WIDTH	83'
MIN. LOT FRONTAGE	35'
MAX. DENSITY	1 / AC
LOTS PROPOSED	72
DENSITY PROPOSED	0.44 / AC.

SETBACKS	
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SIDE	15'
CORNER	15'
REAR	25'



NORTH Referenced to N.C. GRID (NAD 83)



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 Engineers • Surveyors • Planners
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 Phone: 919.577.1080 Fax: 919.577.1081
 NCBELS FIRM No. C-2378



CHANDLER'S RIDGE
 CONSTRUCTION DOCUMENTS
 CONSERVATION SUBDIVISION

410 W. YOUNG ST.
 ROLESVILLE, NC
 WAKE COUNTY

PHASE 2
SITE PLAN

Project Engineer:	TSS
Designed By:	TEP
Drawn By:	TEP
Checked By:	TSS
Scale:	1" = 50'

Date: 02/16/2020

Project Number: P170347

SHEET
C205

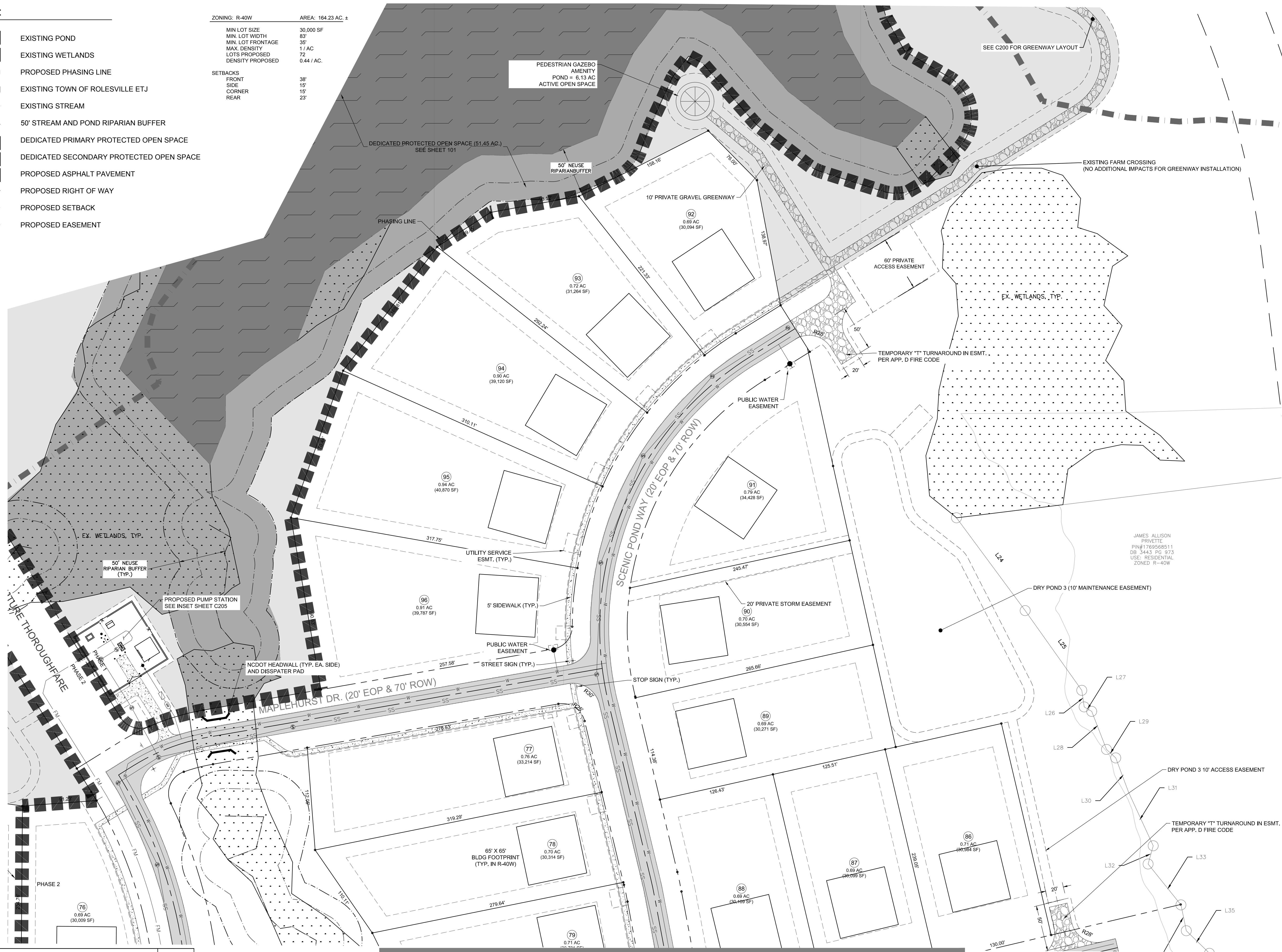
REV	DESCRIPTION	DATE

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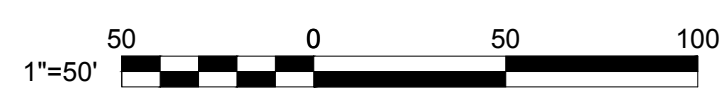
LEGEND:

- EXISTING POND
- EXISTING WETLANDS
- PROPOSED PHASING LINE
- EXISTING TOWN OF ROLESVILLE ETJ
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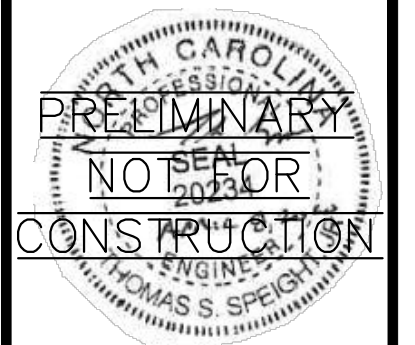


MATCHLINE 5 SEE SHEET C205

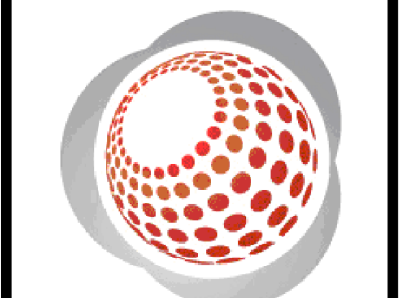


NORTH Referenced to N.C. GRID (NAD 83)

REV	DESCRIPTION	DATE



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 NCBELS FIRM No. C-2378



CHANDLER'S RIDGE
 CONSTRUCTION DOCUMENTS
 CONSERVATION SUBDIVISION
 410 W. YOUNG ST.
 ROLESVILLE, NC
 WAKE COUNTY

PHASE 2
SITE PLAN

Project Engineer:	TSS
Designed By:	TEP
Drawn By:	TEP
Checked By:	TSS
Scale:	1" = 50'
Date:	02/16/2020
Project Number:	P170347
SHEET	
C206	

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