

FRAZIER FARM PARK

11624 LOUISBURG ROAD
 ROLESVILLE, NORTH CAROLINA, 27282
90% CONSTRUCTION DRAWINGS
PHASE 1A

PROJECT NUMBER: 2020110039
 DATE: MARCH 22, 2023



MCADAMS
 The John R. McAdams Company, Inc.
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 Durham, NC 27713
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CONTACT

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 PHONE: 919. 287. 0765

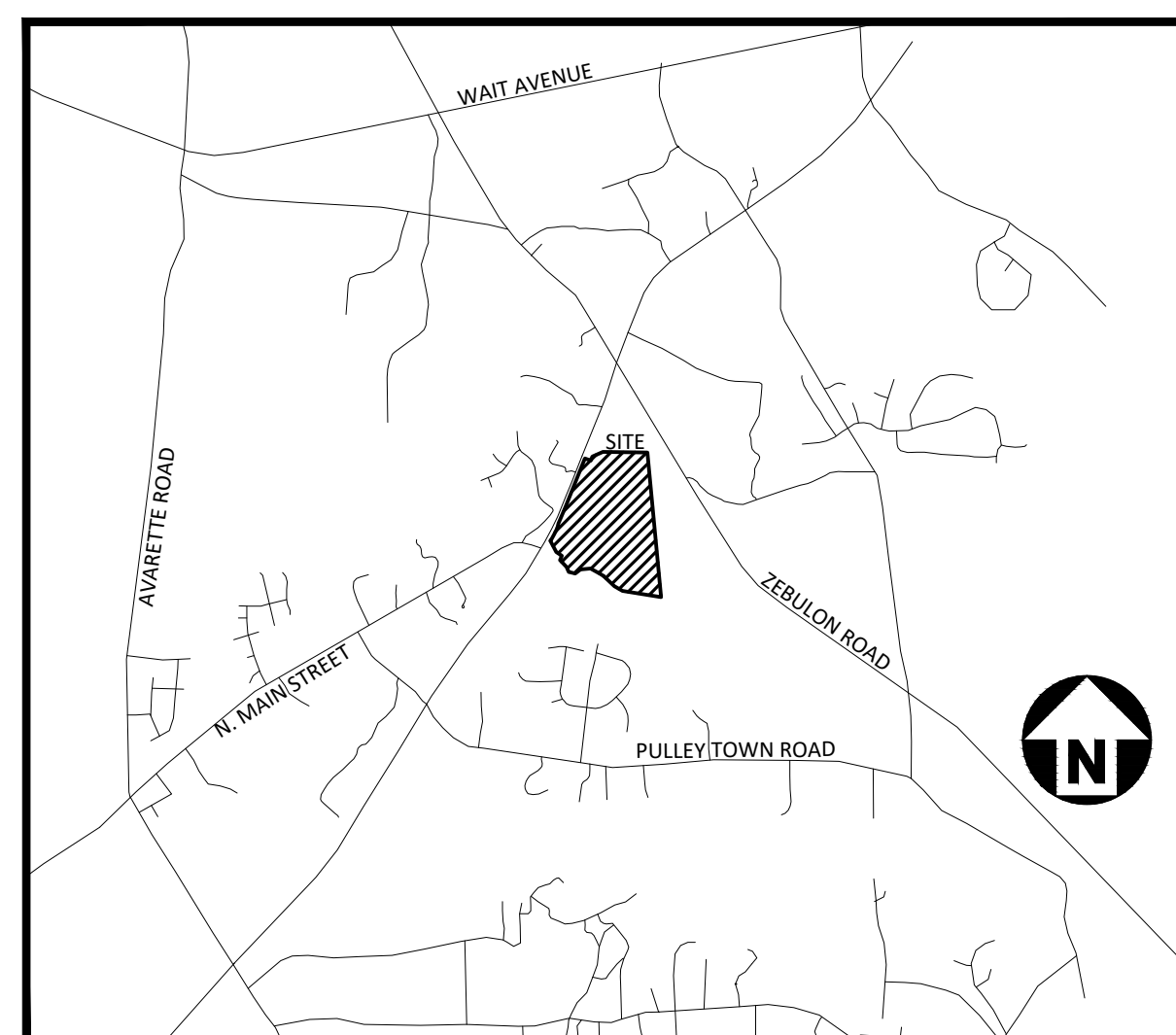
CLIENT

TOWN OF ROLESVILLE
 502 SOUTHTOWN CIRCLE
 ROLESVILLE, NORTH CAROLINA 27571
 PHONE: 919. 554. 6582

PROJECT DIRECTORY

SITE DATA

OWNER:	TOWN OF ROLESVILLE 502 SOUTHTOWN CIRCLE ROLESVILLE, NORTH CAROLINA 27571
PREPARED BY:	MCADAMS COMPANY 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 919. 361. 5000 COTTER@MCADAMSCO.COM
PARCEL ID NUMBER:	1779076610
TOTAL SITE ACREAGE:	±116.56 AC
LAND AREA OF PARCEL:	±105.00 AC
SITE ACREAGE AS PART OF THIS DEVELOPMENT:	±8.00 AC
CURRENT ZONING:	PARKS AND NATURAL RESOURCES (PNR)
PROPOSED ZONING:	PARKS AND NATURAL RESOURCES (PNR)
CURRENT LAND USE:	PUBLIC RECREATION FACILITY
PROPOSED LAND USE:	PUBLIC RECREATION FACILITY
ADJOINING PROPERTY OWNERS:	PIN: 1779083669, 1779263965, 1779190357
DISTURBED AREA:	±8.50 AC
FEMA REGULATIONS:	
WATERSHED(S):	NEUSE



VICINITY MAP
 N.T.S.



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

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- C1.00 EXISTING CONDITIONS
- C1.01 EXISTING CONDITIONS
- C1.10 DEMOLITION PLAN

- C2.00 OVERALL SITE PLAN
- C2.01 SITE PLAN 'AREA A'
- C2.02 SITE PLAN 'AREA B'
- C2.03 SITE PLAN 'AREA C'
- C2.04 SITE PLAN 'AREA D'

- C3.00 OVERALL GRADING & DRAINAGE PLAN
- C3.01 GRADING & DRAINAGE PLAN: 'AREA A'
- C3.02 GRADING & DRAINAGE PLAN: 'AREA B'
- C3.03 GRADING & DRAINAGE PLAN: 'AREA C'
- C3.04 GRADING & DRAINAGE PLAN: 'AREA D'

- C5.00 PLAN AND PROFILE STREET "A", STA. 10+00 THRU STA. 22+00
- C5.01 PLAN AND PROFILE STREET "A", STA. 22+00 THRU STA. 33+00
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- C6.00 EROSION CONTROL NOTES
- C6.01 OVERALL EROSION CONTROL PLAN
- C6.02 EROSION CONTROL PLAN: 'AREA A'
- C6.03 EROSION CONTROL PLAN: 'AREA B'
- C6.04 EROSION CONTROL PLAN: 'AREA C'
- C6.05 EROSION CONTROL PLAN: 'AREA D'
- C6.10 EROSION CONTROL-DETAILS
- C6.11 EROSION CONTROL-DETAILS
- C6.12 EROSION CONTROL-DETAILS

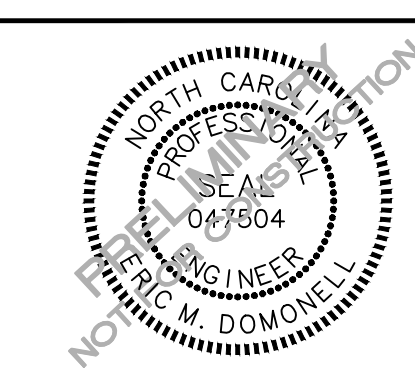
- C7.00 LOUISBURG RD WIDENING PLAN
- C7.01 LOUISBURG RD WIDENING CROSS SECTIONS
- C7.02 LOUISBURG RD WIDENING CROSS SECTIONS
- C7.03 LOUISBURG RD WIDENING CROSS SECTIONS

- C8.00 SITE DETAILS
- C8.01 SITE DETAILS
- C8.02 STORM DRAINAGE & UTILITY DETAILS
- C8.03 STORM DRAINAGE & UTILITY DETAILS

GENERAL NOTES:

1. ANY STRUCTURE TO BE REMOVED SHALL REQUIRE A DEMOLITION PERMIT FROM BUILDING INSPECTIONS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



REVISIONS

NO. DATE

CONSTRUCTION DRAWINGS FOR:

FRAZIER FARM PARK
 PHASE 1A
 11624 LOUISBURG ROAD
 ROLESVILLE, NC 27282
 PROJECT NUMBER: 2020110039



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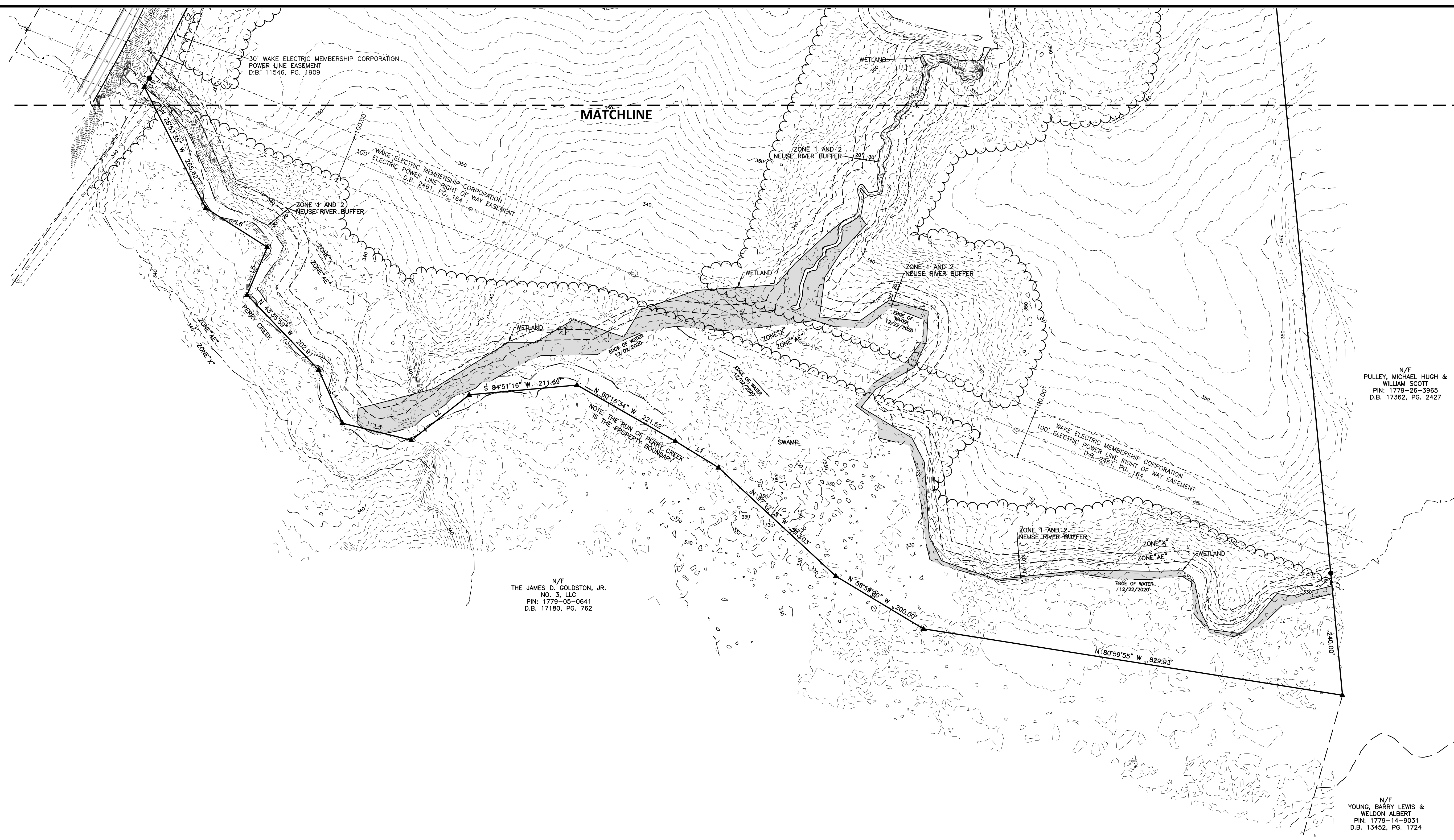
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CLIENT

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502 SOUTHTOWN CIRCLE
ROLESVILLE, NC 27571

FRAZIER FARM PARK
EXISTING CONDITIONS SURVEY
11624 LOUISBURG ROAD
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA



N/F
THE JAMES D. GOLDSTON, JR.
NO. 3, LLC
PIN: 1779-05-0641
D.B. 17180, PG. 762

N/F
PULLEY, MICHAEL HUGH &
WILLIAM SCOTT
PIN: 1779-26-3965
D.B. 17362, PG. 2427

N/F
YOUNG, BARRY LEWIS &
WELDON ALBERT
PIN: 1779-14-9031
D.B. 13452, PG. 1724

- LEGEND**
- PROPERTY BOUNDARY
 - - - ADJOINING PARCEL GIS SHAPEFILE
 - OVERHEAD UTILITY
 - UNDERGROUND TELEPHONE
 - STORM SEWER
 - WOODLINE
 - NEUSE RIVER BUFFER
 - FLOODPLAIN
 - CREEK BANK
 - TIE LINE
 - WETLAND
 - POWER EASEMENT
 - PERMANENT UTILITY EASEMENT
 - IRON PIPE/REBAR FOUND
 - IRON PIPE/REBAR SET
 - CONCRETE MONUMENT
 - ▲ CALCULATED POINT NOT FOUND OR SET
 - GEODETIC MONUMENT
 - ◆ TEMPORARY BENCHMARK
 - ⊙ LIGHT POLE
 - ⊙ UTILITY POLE
 - ⊙ TELEPHONE PEDESTAL
 - ⊙ OAK
 - ⊙ DOGWOOD
 - ⊙ PECAN

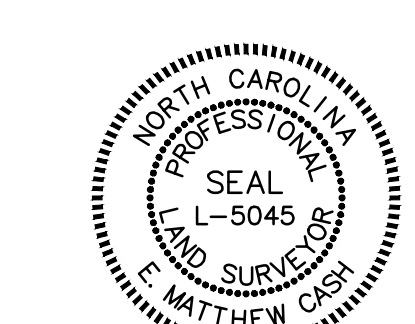
CURVE	RADIUS	CURVE TABLE		
		ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	405.81'	20.00'	N 29°03'28" E	20.00'
C2	5724.30'	282.14'	N 27°38'45" E	282.12'
C3	1907.59'	320.51'	N 45°25'21" E	320.13'
C4	5900.00'	175.71'	S 26°19'02" W	175.70'
C5	6306.80'	39.71'	S 28°12'58" W	39.71'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 58°32'29" W	98.85'
L2	S 51°53'26" W	144.12'
L3	N 73°07'14" W	138.75'
L4	N 24°04'09" W	114.42'
L5	N 22°55'41" E	101.10'
L6	N 57°26'24" W	142.63'
L7	N 15°00'06" E	104.53'
L8	S 67°19'35" E	132.44'
L9	N 19°08'18" E	95.82'
L10	S 25°00'42" W	18.54'
L11	S 45°13'02" W	82.40'
L12	N 50°24'20" W	34.98'
L13	N 66°46'16" W	23.34'
L14	N 56°12'03" W	20.02'

- SURVEY NOTES**
- THIS EXISTING CONDITIONS SURVEY WAS COMPLETED ON APRIL 22, 2021.
 - BEARINGS FOR THIS SURVEY ARE BASED ON NC STATE PLANE GRID NAD 83 (2011).
 - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS NOTED OTHERWISE.
 - AREA BY COORDINATE GEOMETRY.
 - THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE, PORTIONS OF THE SOUTHERN PROPERTY BOUNDARY ALONG PERRY CREEK ARE IN ZONE AE (1% ANNUAL CHANCE FLOOD) PER FEMA FIRM MAP 3720177900K, MAP DATE MAY 2, 2006.
 - ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD 88 DERIVED FROM NGS "PERRY CREEK". THE CONTOUR INTERVAL IS 1-FOOT.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



- GPS METADATA**
- CLASS OF SURVEY: A
 - POSITIONAL ACCURACY: 0.06'
 - TYPE OF GPS FIELD PROCEDURE: VRS
 - DATES OF SURVEY: DECEMBER 10, 2020
 - DATUM/EPOCH: NAD 83 (2011)
 - PUBLISHED/FIXED-CONTROL USE: NCGS "GARY"
 - GEOD MODEL: 12B
 - COMBINED GRID FACTOR(S): 0.99993507
 - UNITS: U.S. SURVEY FEET

I, E. MATTHEW CASH, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION; THAT THIS GROUND/AERIAL SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE REQUIREMENTS FOR A TOPOGRAPHIC/PLANIMETRIC SURVEY TO THE ACCURACY OF CLASS 3 AND VERTICAL ACCURACY WHEN APPLICABLE TO THE CLASS & STANDARD, AND THAT THE SURVEY WAS COMPLETED ON APRIL 22, 2021; AND ALL COORDINATES ARE BASED ON NAD 83 (2011) AND ALL ELEVATIONS ARE BASED ON NAVD 88.

E. MATTHEW CASH, PROFESSIONAL LAND SURVEYOR L-5045 APRIL 28, 2021

REVISIONS

NO.	DATE

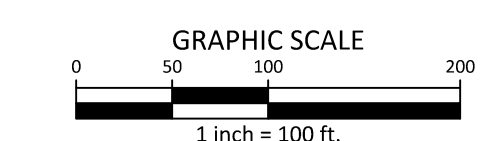
PLAN INFORMATION

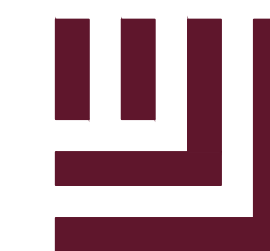
PROJECT NO. 2020110039
FILENAME 2020110039-C1
CHECKED BY EMC
DRAWN BY EMC
SCALE 1"=100'
DATE 04.22.2021

EXISTING CONDITIONS

C1.00

M:\Projects\Towns\Rolesville\2020110039 Frazier Farm Park\02_Geomatics\Survey\Topographic\2020110039-C1.dwg, 4/28/2021 12:46:57 AM, Chh, Matthew





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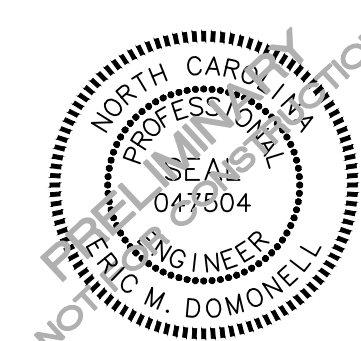
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CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

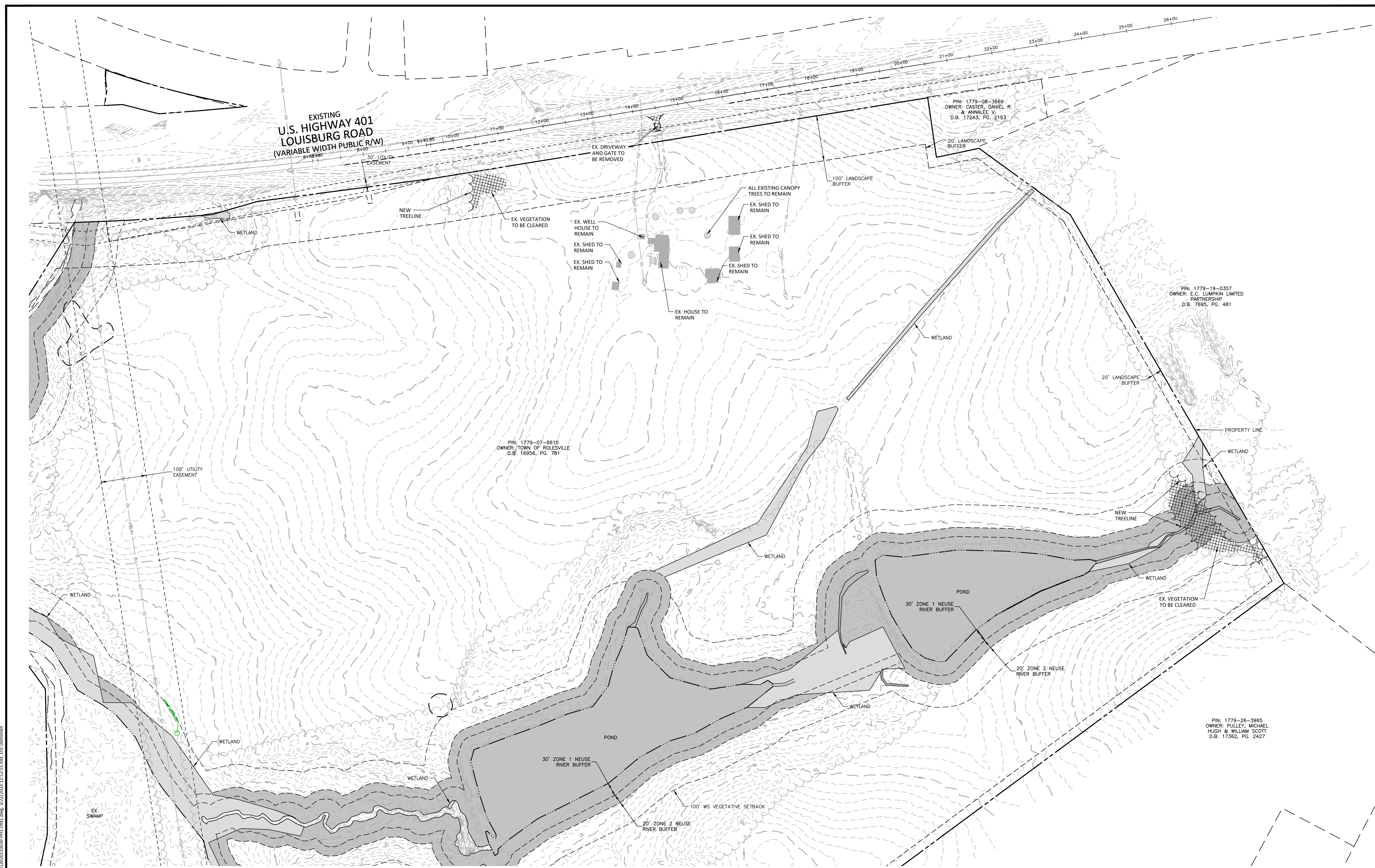
PLAN INFORMATION

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CHECKED BY EMD
DRAWN BY SME
SCALE 1"=100'
DATE 03.22.2023

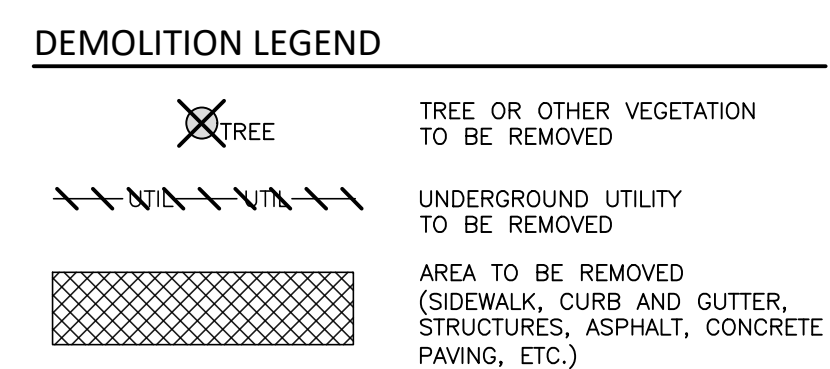
SHEET

OVERALL DEMOLITION PLAN

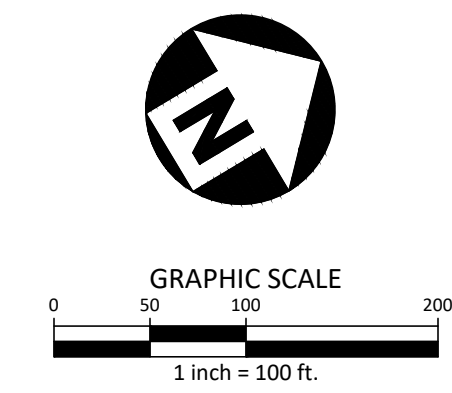
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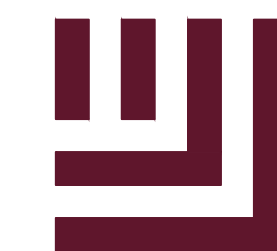
- DEMOLITION NOTES**
- UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.
 - THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
 - THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND SPECIFICATIONS AND AS DIRECTED BY THE OWNER.
 - IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES. THESE FEES ARE TO BE INCLUDED WITH THE BID. THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
 - THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
 - CONTRACTOR SHALL COMPLETELY DEMOLISH ALL EXISTING IMPROVEMENTS NOTED FOR REMOVAL ON THE APPROVED DEMOLITION PLAN. THIS INCLUDES, AS NECESSARY, FOUNDATIONS AND OTHER APPURTENANCES LOCATED ON AND AROUND THE IMPROVEMENTS SUCH AS SIGNS, CURBS, PAVEMENT, SIDEWALKS, LIGHT POLE BASES, HYDRANTS, BOLLARDS, ETC. ALL REMOVED MATERIAL SHALL BE DISPOSED OF OFFSITE IN A LAWFUL MANNER OR RECYCLED. IF POSSIBLE, CONTRACTOR SHALL MAKE EVERY ATTEMPT TO RECYCLE ANY DEBRIS AND RUBBISH THAT IS RECYCLABLE.
 - CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK. CONTRACTOR SHALL TAKE EXTRA PRECAUTIONS AND CARE TO PRESERVE TREES DURING CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
 - ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
 - CONTRACTOR TO FLAG ALL TREES SLATED FOR REMOVAL AND SEEK APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO DEMOLISHING.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



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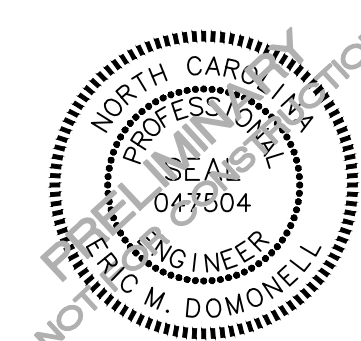
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CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

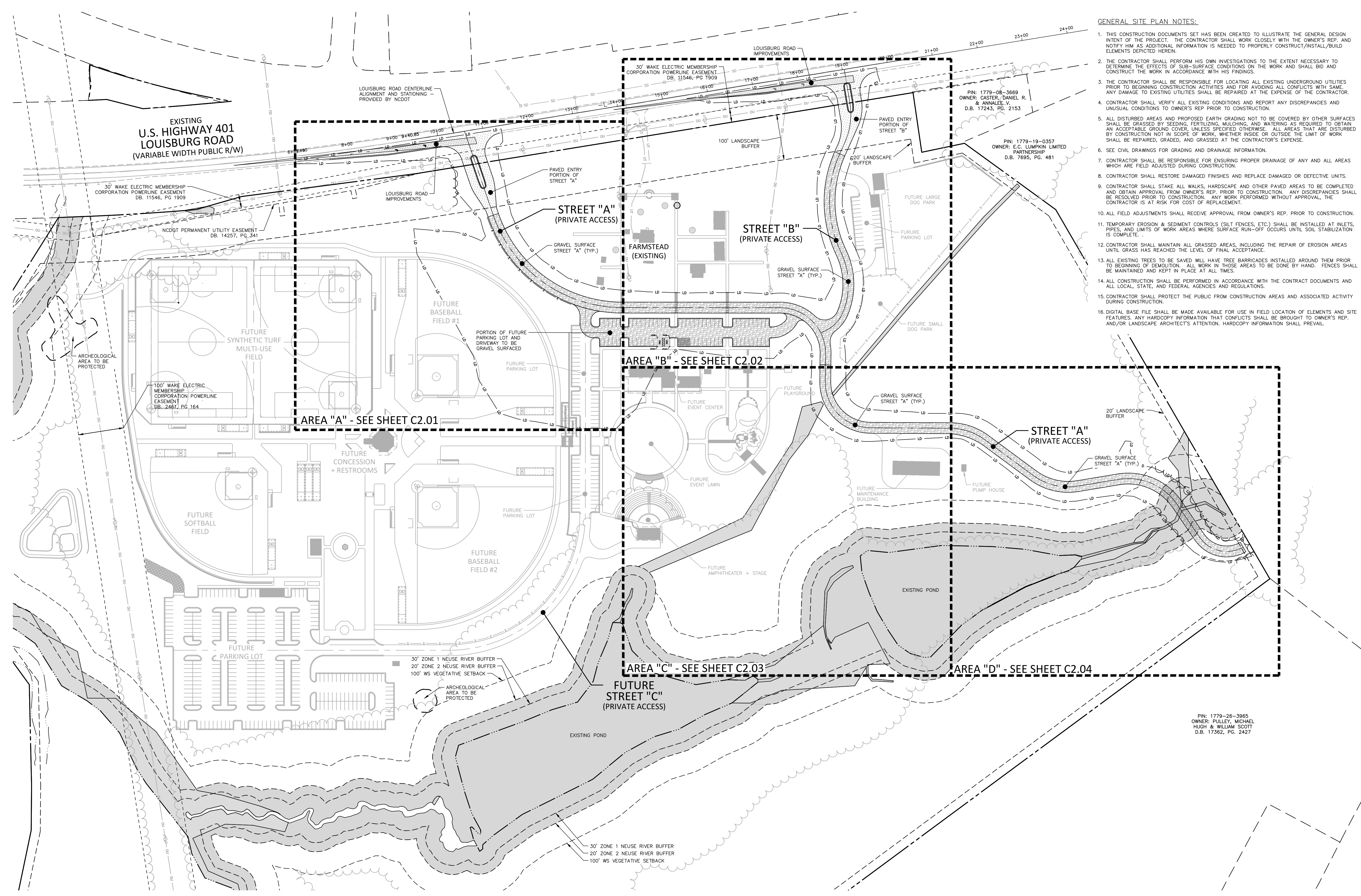
PROJECT NO. 202011039
FILENAME 2020110039-PH1-OAS1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=100'
DATE 03.22.2023

SHEET

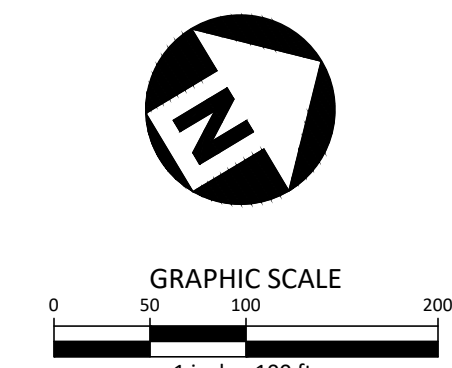
OVERALL
SITE PLAN
C2.00

GENERAL SITE PLAN NOTES:

1. THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.
2. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REP PRIOR TO CONSTRUCTION.
5. ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING, AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION NOT IN SCOPE OF WORK, WHETHER INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED, AND GRASSED AT THE CONTRACTOR'S EXPENSE.
6. SEE CIVIL DRAWINGS FOR GRADING AND DRAINAGE INFORMATION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
8. CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
9. CONTRACTOR SHALL STAKE ALL WALKS, HARDSCAPE AND OTHER PAVED AREAS TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION. ANY WORK PERFORMED WITHOUT APPROVAL, THE CONTRACTOR IS AT RISK FOR COST OF REPLACEMENT.
10. ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION.
11. TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, AND LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE.
12. CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
13. ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
14. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
15. CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.
16. DIGITAL BASE FILE SHALL BE MADE AVAILABLE FOR USE IN FIELD LOCATION OF ELEMENTS AND SITE FEATURES. ANY HANDCOPED INFORMATION THAT CONFLICTS SHALL BE BROUGHT TO OWNER'S REP. AND/OR LANDSCAPE ARCHITECT'S ATTENTION. HANDCOPED INFORMATION SHALL PREVAIL.

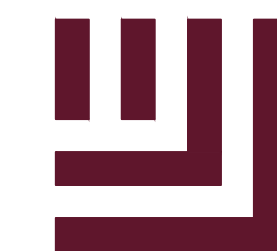


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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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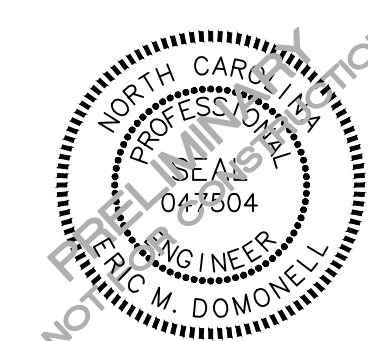
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ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-S1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=30'
DATE 03.22.2023

SHEET

SITE PLAN: AREA 'A'

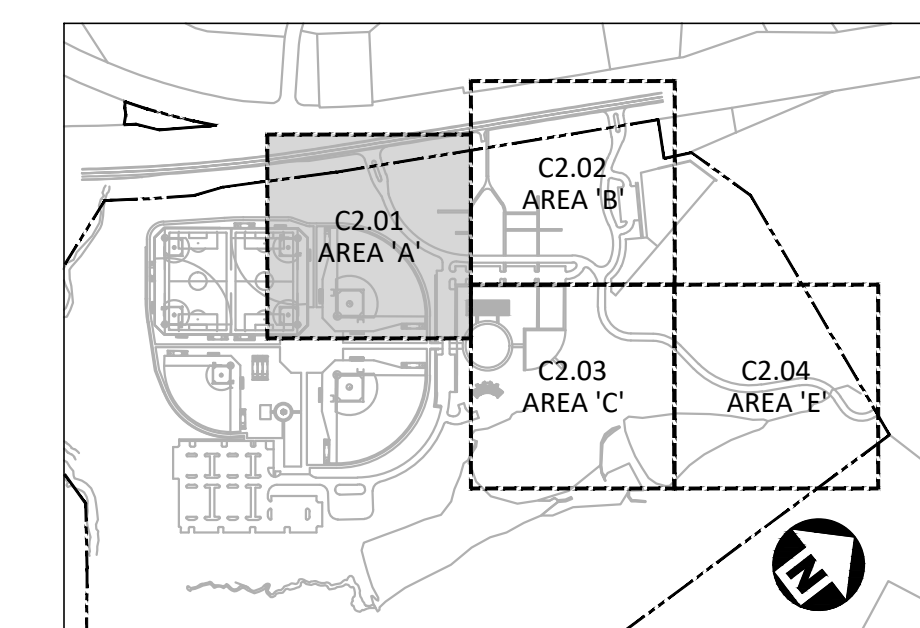
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SITE LEGEND

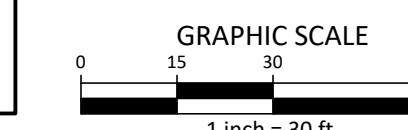
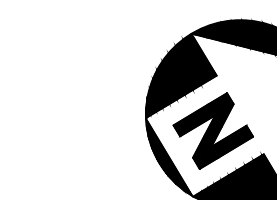
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	ABC TRAVEL SURFACE TO BE ASPHALT PAVED IN FUTURE PHASE

GENERAL SITE PLAN NOTES:

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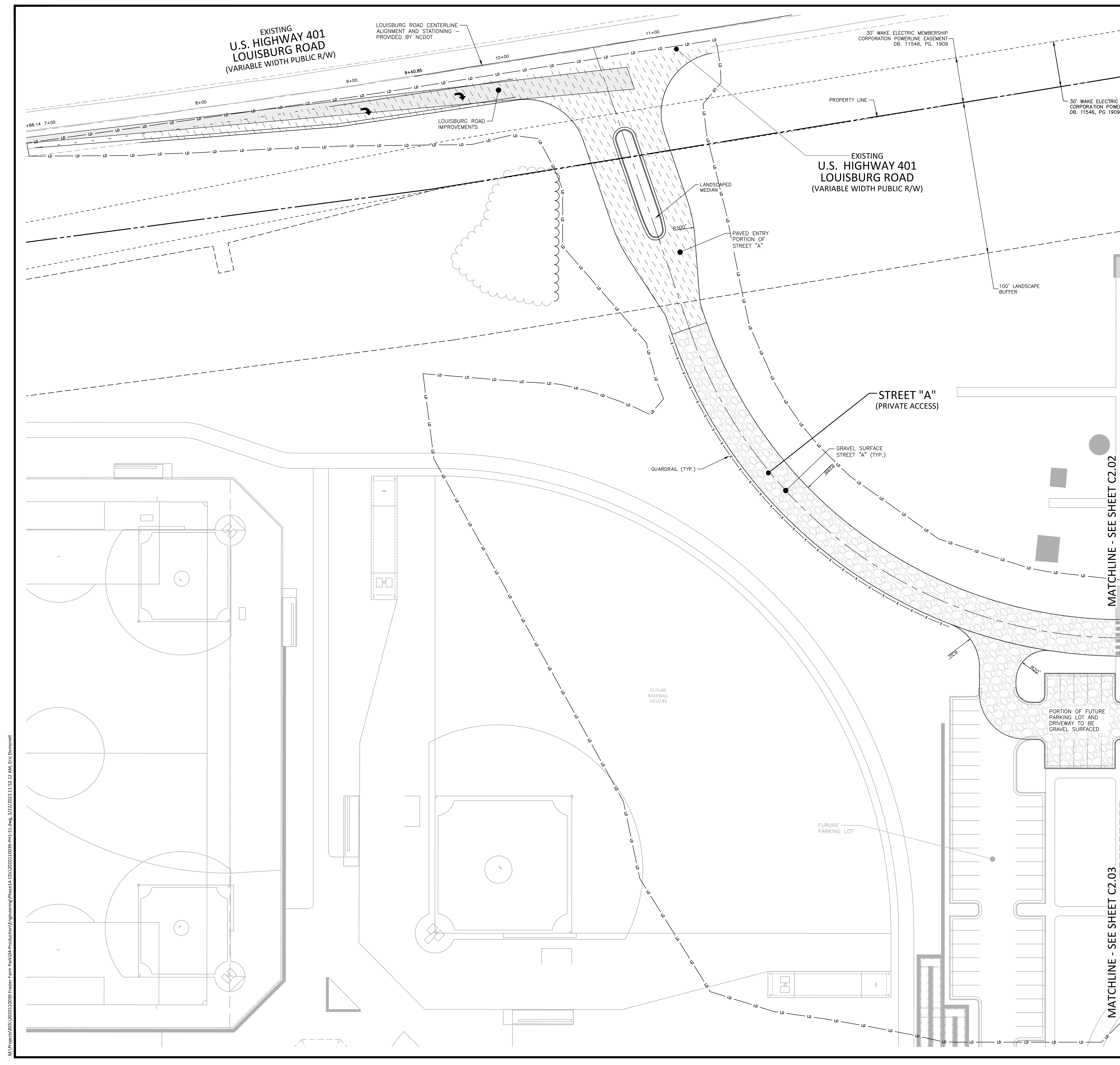


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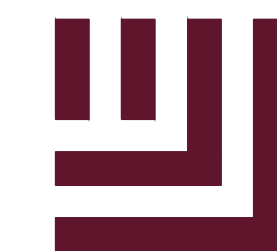


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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



M:\Projects\WOL\2020110039 Frazier Farm PH1A\04-Production\Engineering\Phase1A\CD\2020110039-PH1-S1.dwg, 3/22/2023 11:53:12 AM, Eric Domoneff



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Durham, NC 27713

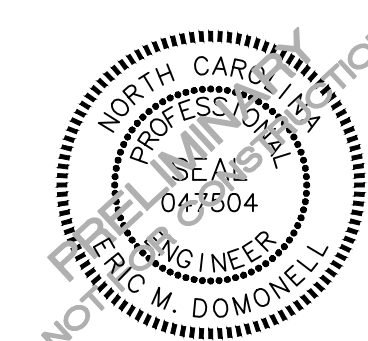
phone 919.361.5000
fax 919.361.2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
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ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-S1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=30'
DATE 03.22.2023

SHEET

SITE PLAN: AREA 'B'

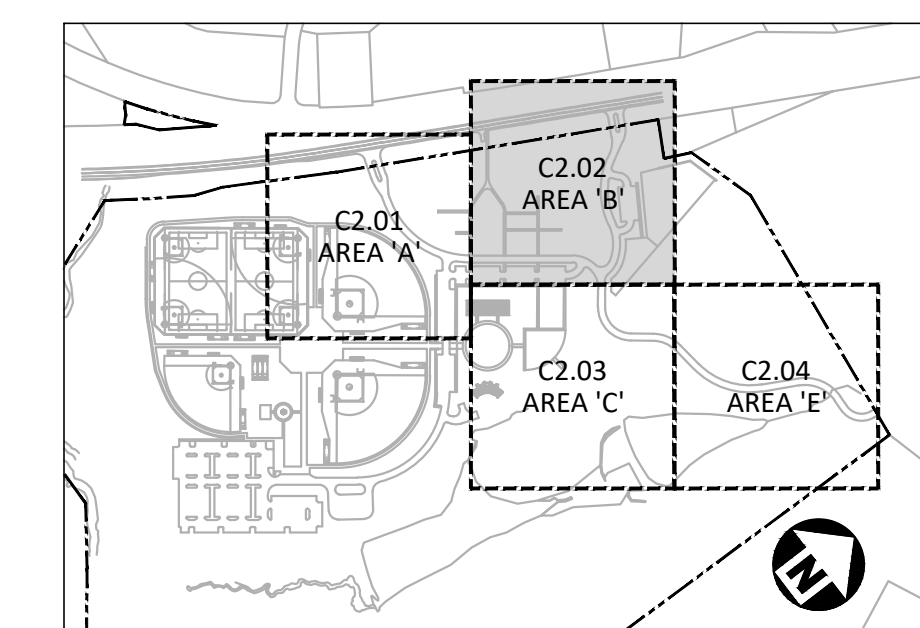
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SITE LEGEND

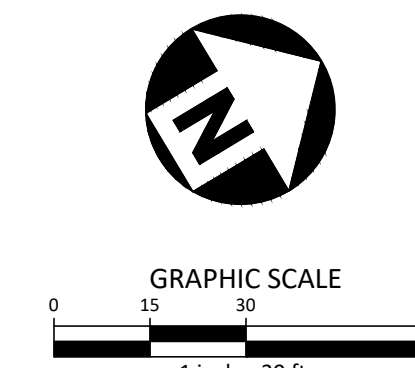
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	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
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	RIGHT-OF-WAY LINE
	LOT LINE
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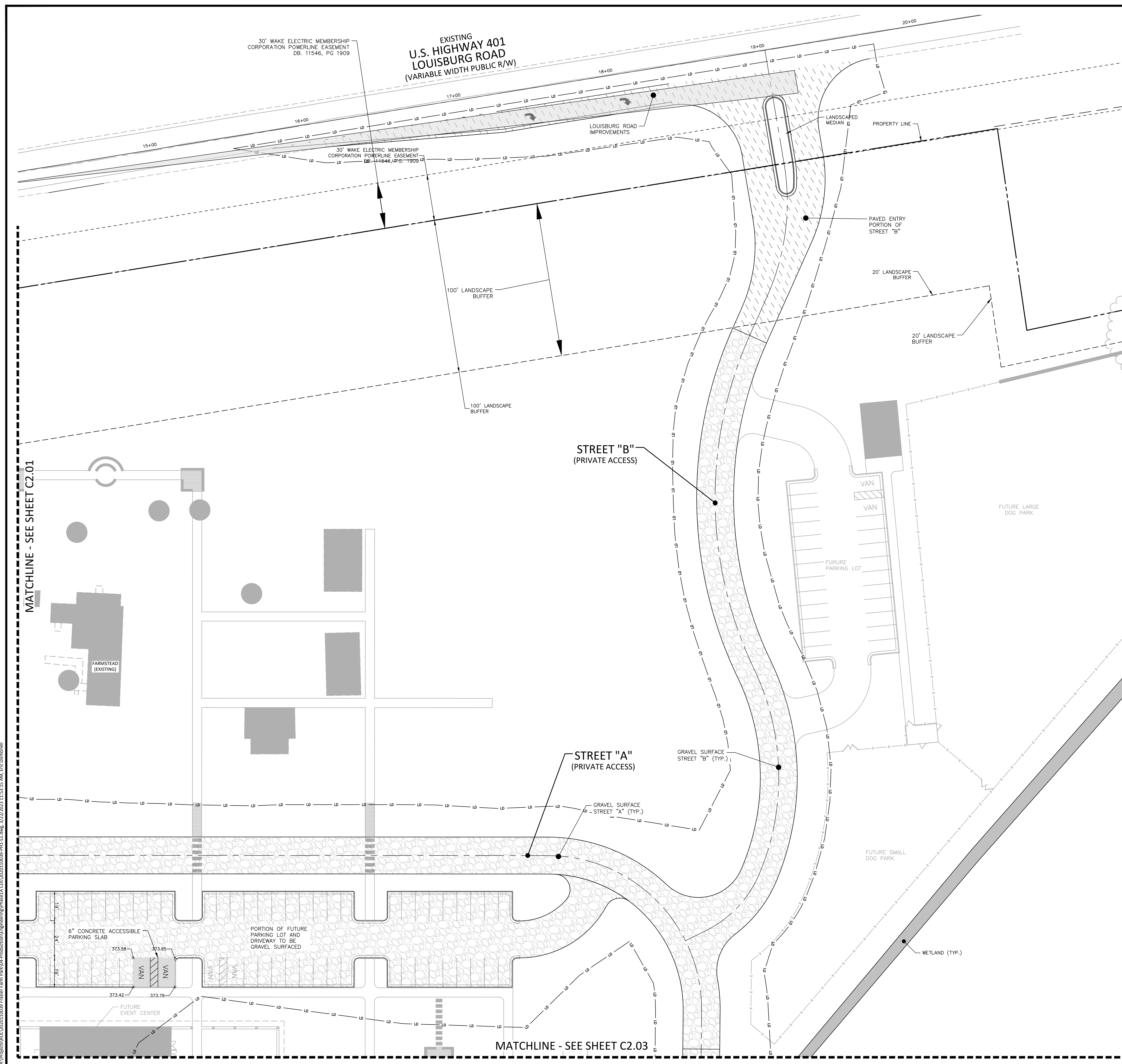


INDEX MAP
N.T.S.



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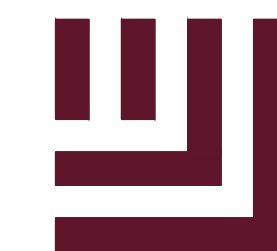
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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MATCHLINE - SEE SHEET C2.01

MATCHLINE - SEE SHEET C2.03



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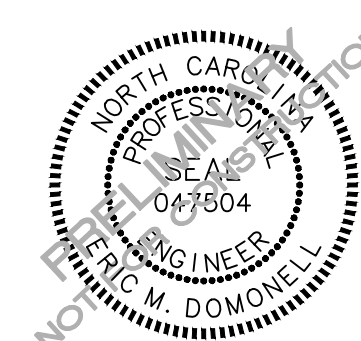
phone 919. 361. 5000
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CLIENT

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PHONE: 919.554.6582

**FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA**



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-S1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=30'
DATE 03.22.2023

SHEET

SITE PLAN: AREA 'C'

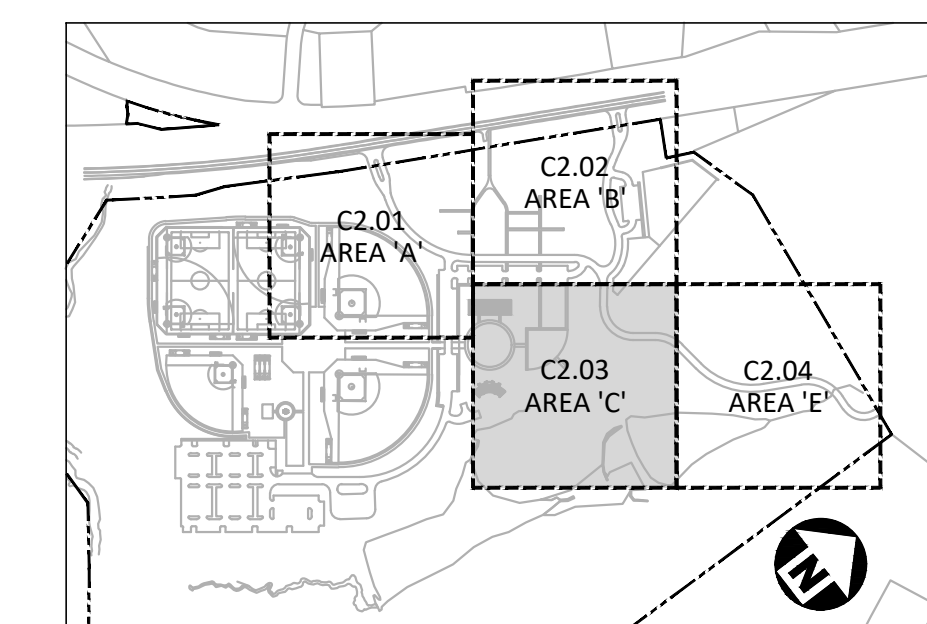
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SITE LEGEND

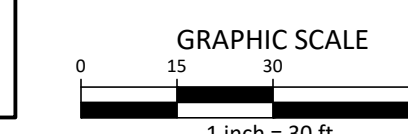
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

MATCHLINE - SEE SHEET C2.02

MATCHLINE - SEE SHEET C2.01

MATCHLINE - SEE SHEET C2.04

30' ZONE 1 NEUSE RIVER BUFFER
20' ZONE 2 NEUSE RIVER BUFFER
100' WS VEGETATIVE SETBACK

EXISTING POND

FUTURE EVENT CENTER

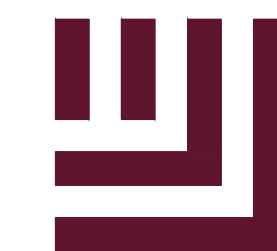
FUTURE PLAYGROUND

FUTURE EVENT LAWN

FUTURE AMPHITHEATER + STAGE

FUTURE MAINTENANCE BUILDING

M:\Projects\WOL\2020110039 Frazier Farm Park\04-Production\Engineering\Phase1A_CD\2020110039-PH1-S1.dwg, 3/22/2023 11:53:20 AM, Eric Domoneff



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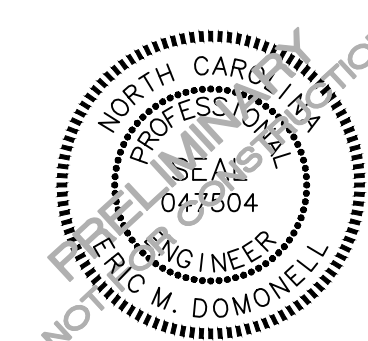
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**FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA**



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-S1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=30'
DATE 03.22.2023

SHEET

SITE PLAN: AREA 'D'

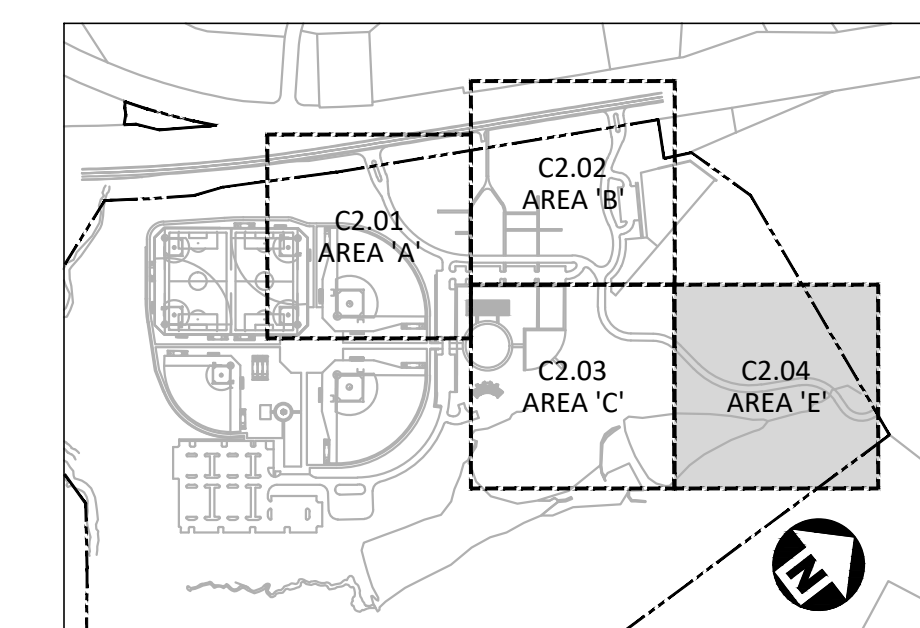
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SITE LEGEND

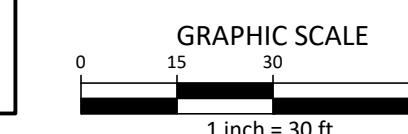
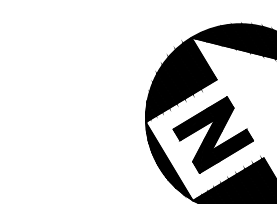
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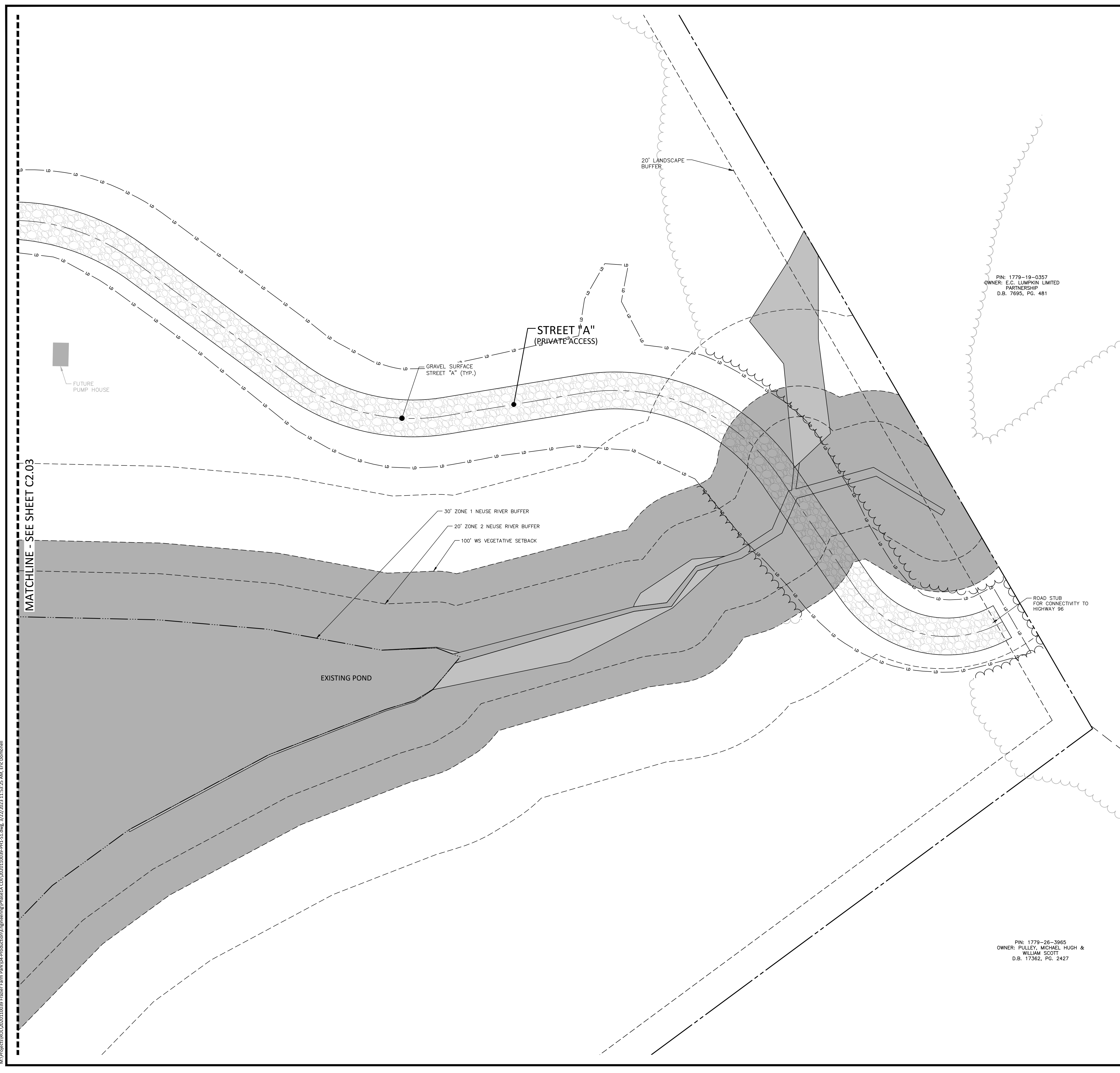


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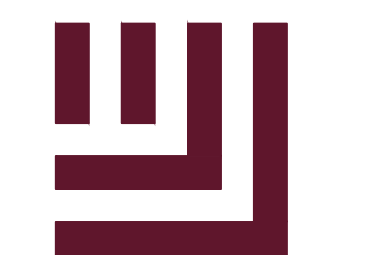


PIN: 1779-19-0357
OWNER: E.C. LUMPKIN LIMITED PARTNERSHIP
D.B. 7695, PG. 481

PIN: 1779-26-3965
OWNER: PULLEY, MICHAEL HUGH & WILLIAM SCOTT
D.B. 17362, PG. 2427

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MATCHLINE - SEE SHEET C2.03



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REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 2020110039
FILENAME 2020110039-PH1-0A61
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=100'
DATE 03.22.2023

SHEET

OVERALL GRADING & DRAINAGE PLAN

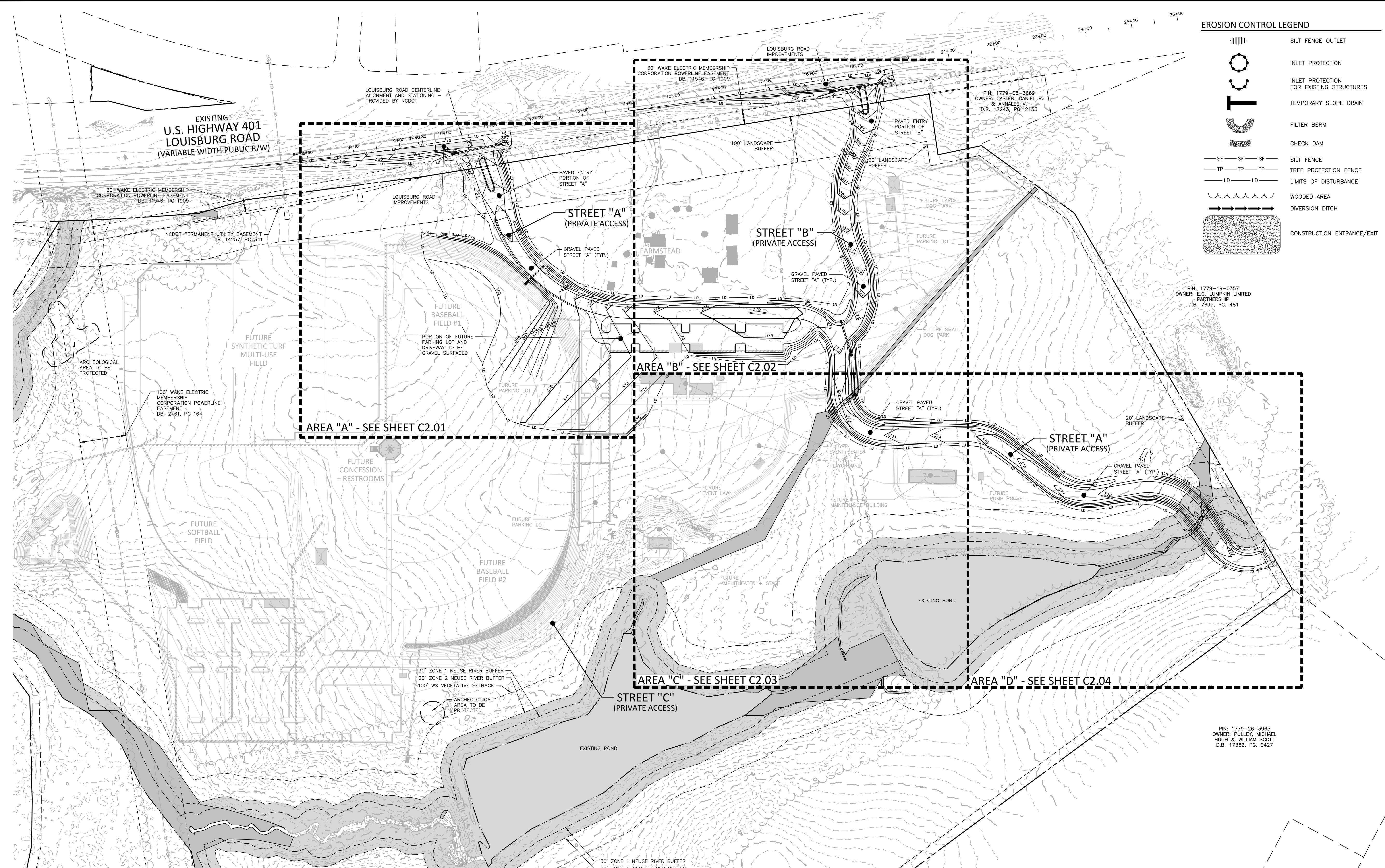
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EROSION CONTROL LEGEND

- SILT FENCE OUTLET
- INLET PROTECTION
- INLET PROTECTION FOR EXISTING STRUCTURES
- TEMPORARY SLOPE DRAIN
- FILTER BERM
- CHECK DAM
- SILT FENCE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- DIVERSION DITCH
- CONSTRUCTION ENTRANCE/EXIT

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D.B. 17362, PG. 2427



GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-DRAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS NON-PERFORATED TUBING OR EQUAL 1.0% MIN. SLOPE 3' MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE

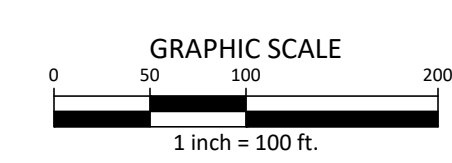
GRADING NOTES

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STORM DRAINAGE NOTES:

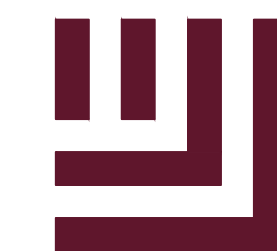
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\12020110039-Frazier Farm Park\04-Production\Engineering\Phase1A_CD\2020110039-PH1-0A61.dwg, 3/22/2023 11:53:34 AM, Eric D'Amore



McADAMS

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Durham, NC 27713

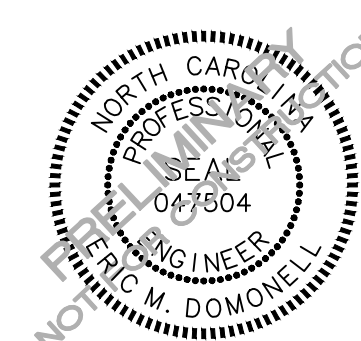
phone 919.361.5000
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license number: C-0293

www.mcadamsco.com

CLIENT

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PHONE: 919.554.6582

**FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA**



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-G1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=30'
DATE 03.22.2023

SHEET

**GRADING & DRAINAGE
PLAN: AREA 'A'**

C3.01

GRADING LEGEND

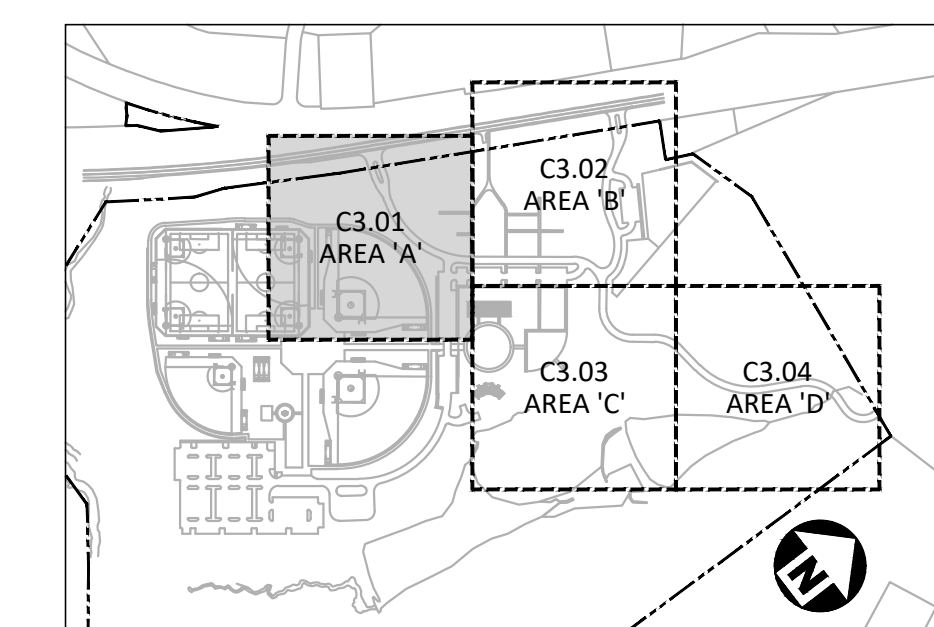
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	SPOT ELEVATION
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	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	WOODED AREA
	MAJOR CONTOUR
	MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
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	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

GRADING NOTES

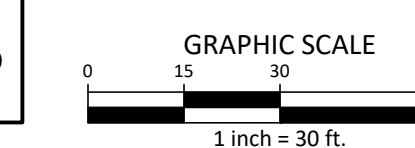
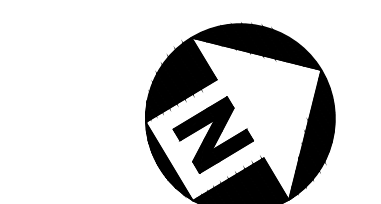
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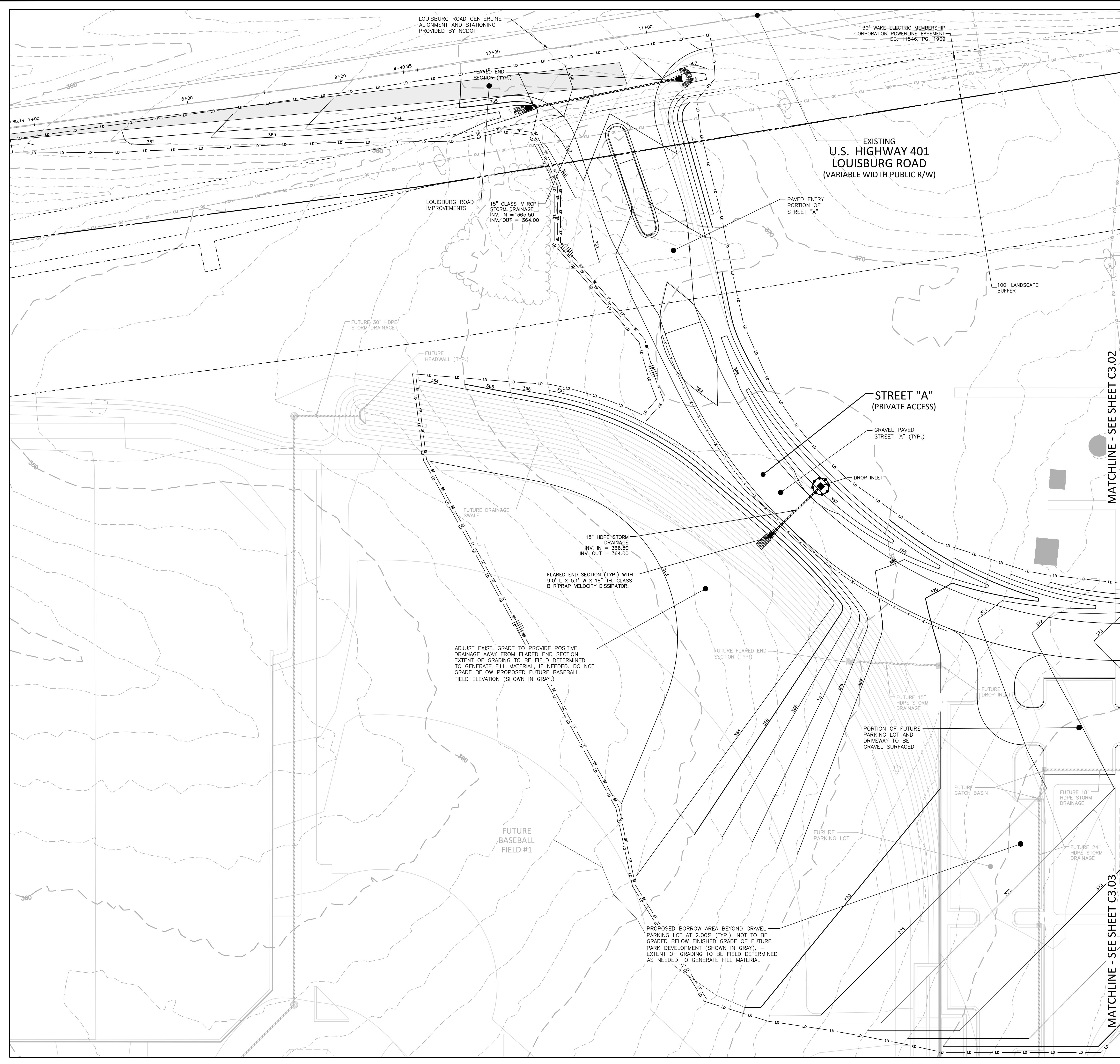


INDEX MAP
N.T.S.

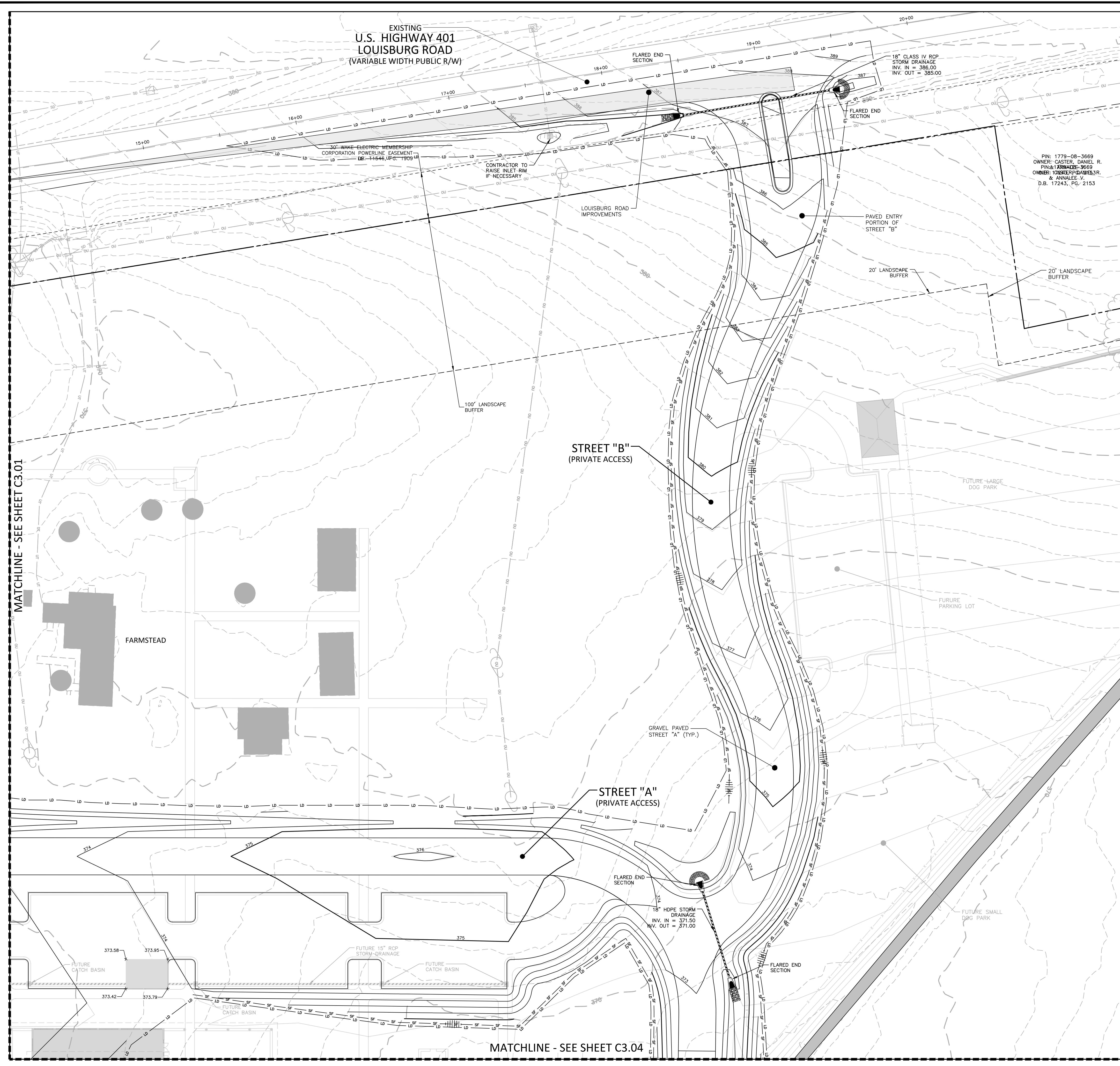


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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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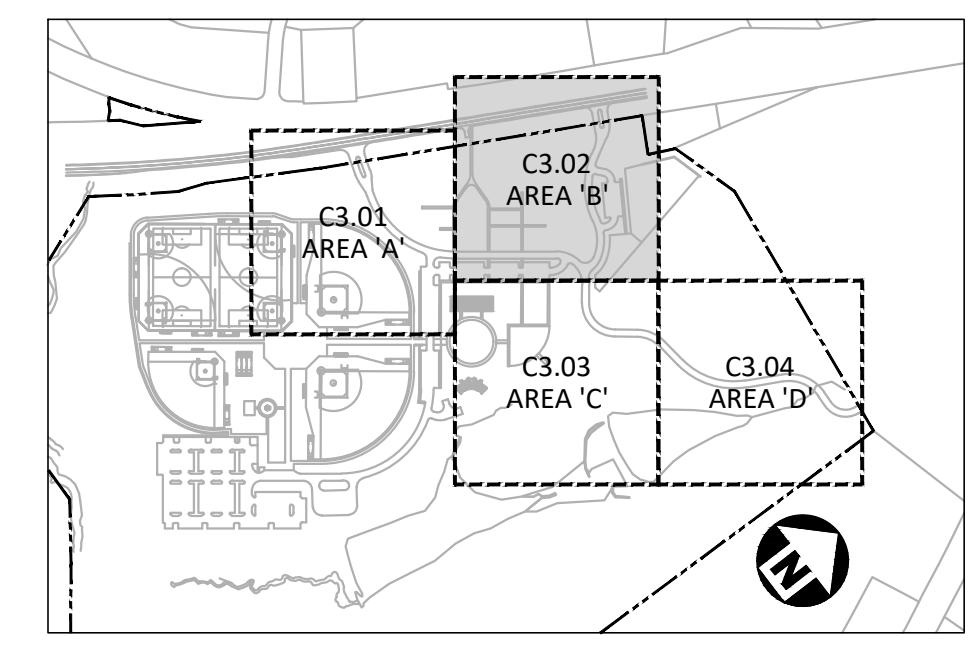


GRADING LEGEND

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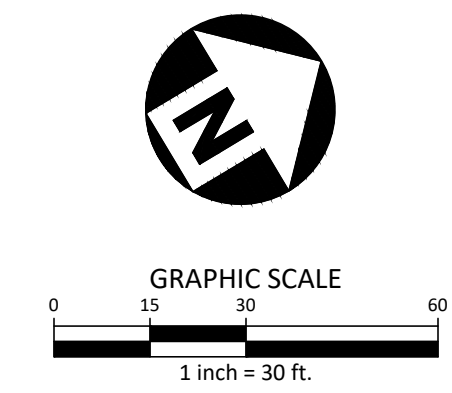
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INDEX MAP
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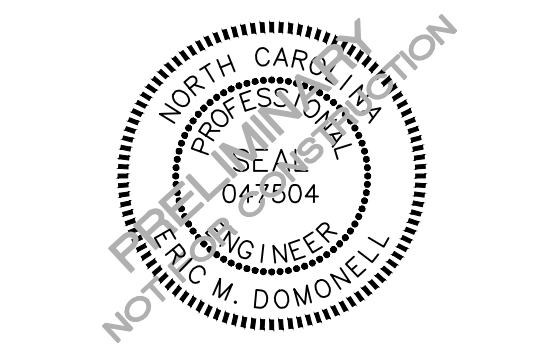


PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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CLIENT
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PHONE: 919.554.6582

FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS
NO. DATE

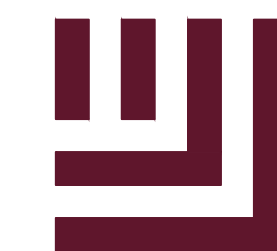
PLAN INFORMATION
PROJECT NO. 202011039
FILENAME 2020110039-PH1-G1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=30'
DATE 03.22.2023

GRADING & DRAINAGE
PLAN: AREA 'B'
C3.02

MATCHLINE - SEE SHEET C3.01

MATCHLINE - SEE SHEET C3.04

M:\Projects\WOL\2020110039 Frazier Farm PHA\04-Production\Engineering\Phase1A_CD\2020110039-PH1-G1.dwg, 3/22/2023, 11:53:44 AM, EIC, Domoneil



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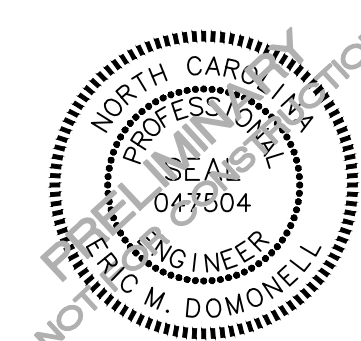
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CLIENT

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**FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA**



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-G1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=30'
DATE 03.22.2023

SHEET

**GRADING & DRAINAGE
PLAN: AREA 'C'**

C3.03

GRADING LEGEND

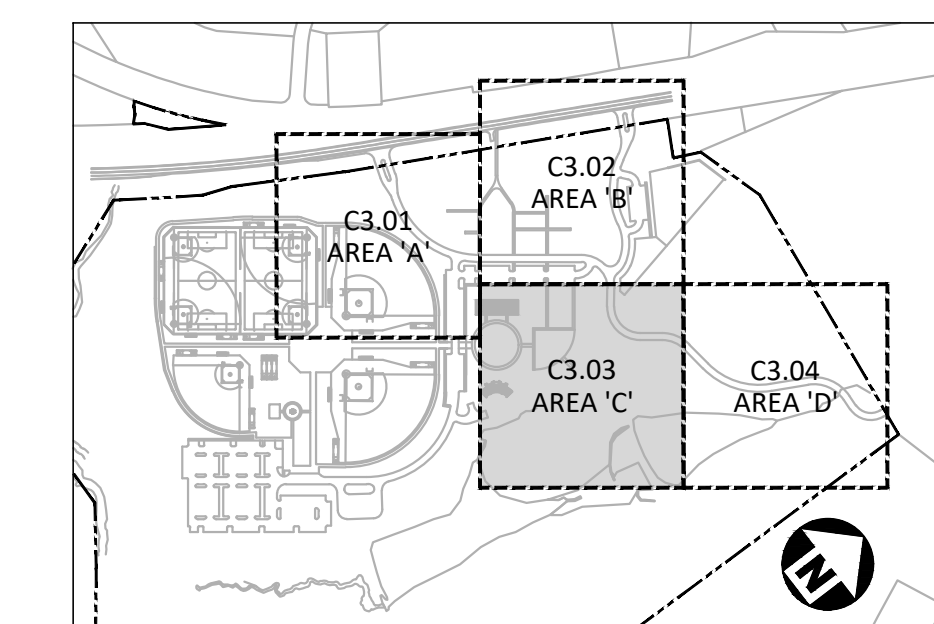
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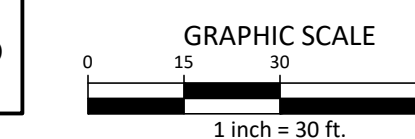
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

MATCHLINE - SEE SHEET C3.02

MATCHLINE - SEE SHEET C3.01

MATCHLINE - SEE SHEET C3.04

PROPOSED BORROW AREA BEYOND GRAVEL PARKING LOT AT 2.00% (TYP.), NOT TO BE GRADED BELOW FINISHED GRADE OF FUTURE PARK DEVELOPMENT (SHOWN IN GRAY). - EXTENT OF GRADING TO BE FIELD DETERMINED AS NEEDED TO GENERATE FILL MATERIAL

CULVERT #2
(2) RCP 54" BARRELS
INV. IN = 365.50
INV. OUT = 365.50

GRAVEL PAVED STREET "A" (TYP.)

STREET "A"
(PRIVATE ACCESS)

FUTURE PLAYGROUND

FUTURE MAINTENANCE BUILDING

FUTURE EVENT LAWN

FUTURE AMPHITHEATER + STAGE

30' ZONE 1 NEUSE RIVER BUFFER

20' ZONE 2 NEUSE RIVER BUFFER

100' WS VEGETATIVE SETBACK

EXISTING POND

EXISTING POND