

# FRAZIER FARM PARK

11624 LOUISBURG ROAD  
 ROLESVILLE, NORTH CAROLINA, 27282  
**90% CONSTRUCTION DRAWINGS**  
**PHASE 1A**

PROJECT NUMBER: 2020110039  
 DATE: MARCH 22, 2023



**MCADAMS**  
 The John R. McAdams Company, Inc.  
 2905 Meridian Parkway  
 Durham, NC 27713  
 phone 919. 361. 5000  
 fax 919. 361. 2269  
 license number: C-0293, C-187  
 www.mcadamsco.com

**CONTACT**

ERIC DOMONELL  
 domonell@mcadamsco.com  
 PHONE: 919. 287. 0765

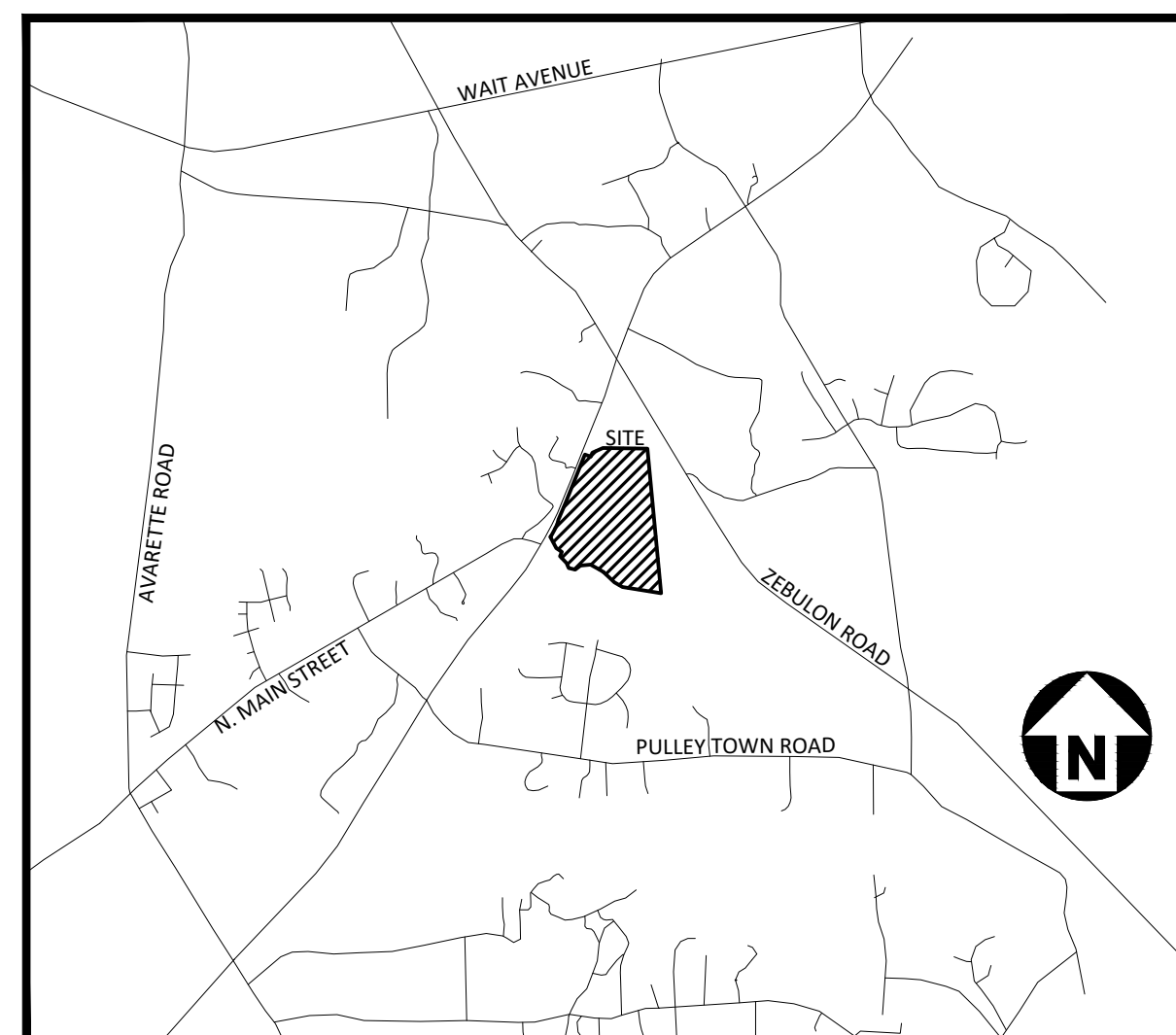
**CLIENT**

TOWN OF ROLESVILLE  
 502 SOUTHTOWN CIRCLE  
 ROLESVILLE, NORTH CAROLINA 27571  
 PHONE: 919. 554. 6582

**PROJECT DIRECTORY**

**SITE DATA**

OWNER:	TOWN OF ROLESVILLE 502 SOUTHTOWN CIRCLE ROLESVILLE, NORTH CAROLINA 27571
PREPARED BY:	MCADAMS COMPANY 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 919. 361. 5000 COTTER@MCADAMSCO.COM
PARCEL ID NUMBER:	1779076610
TOTAL SITE ACREAGE:	±116.56 AC
LAND AREA OF PARCEL:	±105.00 AC
SITE ACREAGE AS PART OF THIS DEVELOPMENT:	±8.00 AC
CURRENT ZONING:	PARKS AND NATURAL RESOURCES (PNR)
PROPOSED ZONING:	PARKS AND NATURAL RESOURCES (PNR)
CURRENT LAND USE:	PUBLIC RECREATION FACILITY
PROPOSED LAND USE:	PUBLIC RECREATION FACILITY
ADJOINING PROPERTY OWNERS:	PIN: 173083669, 1779263965, 1779190357
DISTURBED AREA:	±8.50 AC
FEMA REGULATIONS:	
WATERSHED(S):	NEUSE



**VICINITY MAP**  
 N.T.S.



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

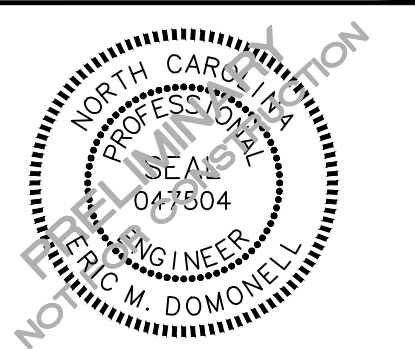
**SHEET INDEX**

- C1.00 EXISTING CONDITIONS
- C1.01 EXISTING CONDITIONS
- C1.10 DEMOLITION PLAN
  
- C2.00 OVERALL SITE PLAN
- C2.01 SITE PLAN 'AREA A'
- C2.02 SITE PLAN 'AREA B'
- C2.03 SITE PLAN 'AREA C'
- C2.04 SITE PLAN 'AREA D'
  
- C3.00 OVERALL GRADING & DRAINAGE PLAN
- C3.01 GRADING & DRAINAGE PLAN: 'AREA A'
- C3.02 GRADING & DRAINAGE PLAN: 'AREA B'
- C3.03 GRADING & DRAINAGE PLAN: 'AREA C'
- C3.04 GRADING & DRAINAGE PLAN: 'AREA D'
  
- C5.00 PLAN AND PROFILE STREET "A", STA. 10+00 THRU STA. 22+00
- C5.01 PLAN AND PROFILE STREET "A", STA. 22+00 THRU STA. 33+00
- C5.02 PLAN AND PROFILE STREET "B", STA. 10+00 THRU STA. 16+35
  
- C6.00 EROSION CONTROL NOTES
- C6.01 OVERALL EROSION CONTROL PLAN
- C6.02 EROSION CONTROL PLAN: 'AREA A'
- C6.03 EROSION CONTROL PLAN: 'AREA B'
- C6.04 EROSION CONTROL PLAN: 'AREA C'
- C6.05 EROSION CONTROL PLAN: 'AREA D'
- C6.10 EROSION CONTROL DETAILS
- C6.11 EROSION CONTROL DETAILS
- C6.12 EROSION CONTROL DETAILS
  
- C7.00 LOUISBURG RD WIDENING PLAN
- C7.01 LOUISBURG RD WIDENING CROSS SECTIONS
- C7.02 LOUISBURG RD WIDENING CROSS SECTIONS
- C7.03 LOUISBURG RD WIDENING CROSS SECTIONS
  
- C8.00 SITE DETAILS
- C8.01 SITE DETAILS
- C8.02 STORM DRAINAGE & UTILITY DETAILS
- C8.03 STORM DRAINAGE & UTILITY DETAILS

**GENERAL NOTES:**

1. ANY STRUCTURE TO BE REMOVED SHALL REQUIRE A DEMOLITION PERMIT FROM BUILDING INSPECTIONS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



**REVISIONS**

NO. DATE

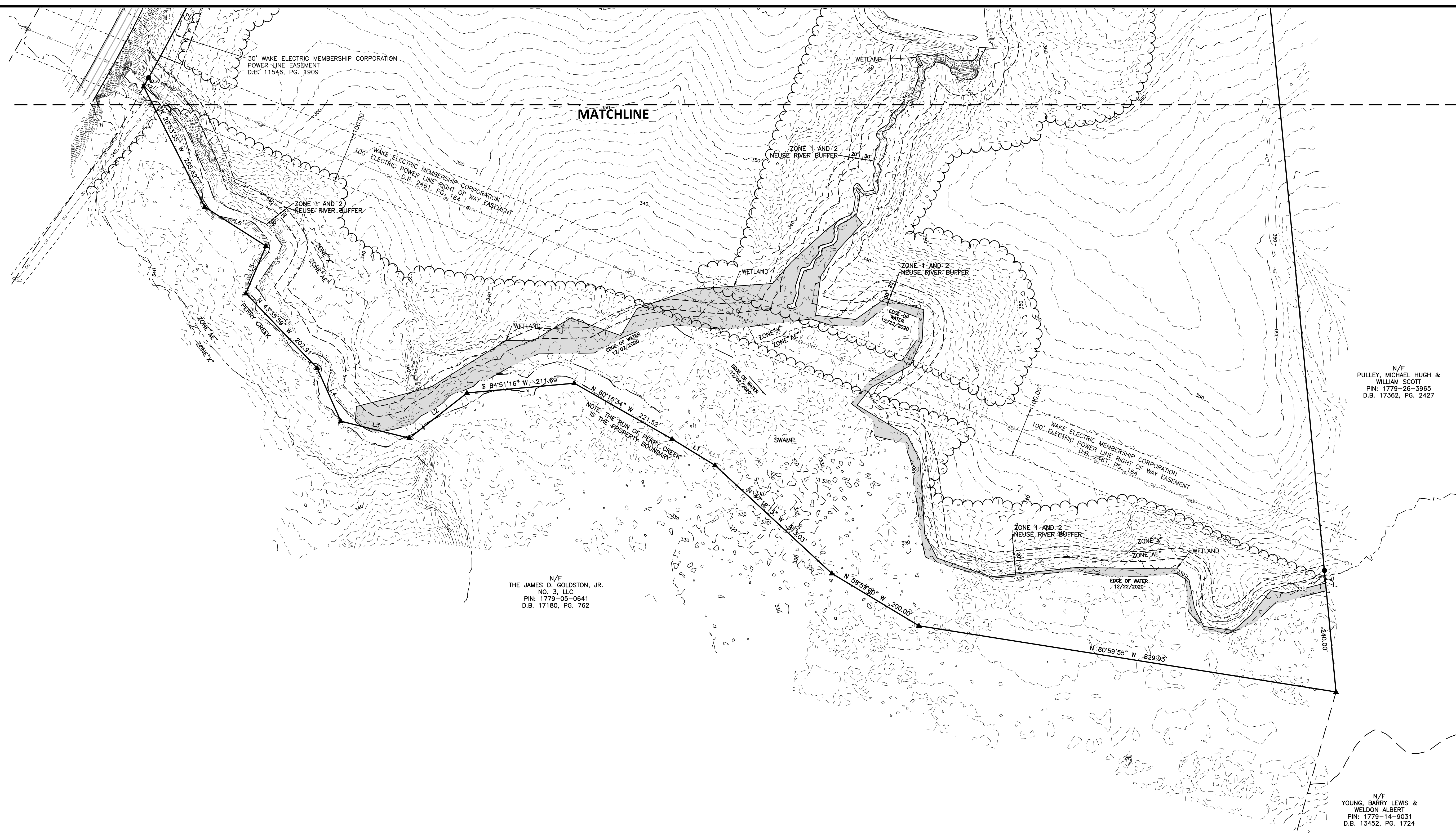
**CONSTRUCTION DRAWINGS FOR:**

FRAZIER FARM PARK  
 PHASE 1A  
 11624 LOUISBURG ROAD  
 ROLESVILLE, NC 27282  
 PROJECT NUMBER: 2020110039





NC GRID NAD 83 (2011)



N/F  
THE JAMES D. GOLDSTON, JR.  
NO. 3, LLC  
PIN: 1779-05-0641  
D.B. 17180, PG. 762

N/F  
PULLEY, MICHAEL HUGH &  
WILLIAM SCOTT  
PIN: 1779-26-3965  
D.B. 17362, PG. 2427

N/F  
YOUNG, BARRY LEWIS &  
WELDON ALBERT  
PIN: 1779-14-9031  
D.B. 13452, PG. 1724

- LEGEND**
- PROPERTY BOUNDARY
  - ADJOINING PARCEL GIS SHAPEFILE
  - OVERHEAD UTILITY
  - UNDERGROUND TELEPHONE
  - STORM SEWER
  - WOODLINE
  - NEUSE RIVER BUFFER
  - FLOODPLAIN
  - CREEK BANK
  - TIE LINE
  - WETLAND
  - POWER EASEMENT
  - PERMANENT UTILITY EASEMENT
  - IRON PIPE/REBAR FOUND
  - IRON PIPE/REBAR SET
  - CONCRETE MONUMENT
  - ▲ CALCULATED POINT NOT FOUND OR SET
  - GEODETIC MONUMENT
  - ◆ TEMPORARY BENCHMARK
  - ⊙ LIGHT POLE
  - ⊙ UTILITY POLE
  - ⊙ TELEPHONE PEDESTAL
  - ⊙ OAK
  - ⊙ DOGWOOD
  - ⊙ PECAN

CURVE	RADIUS	CURVE TABLE		
		ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	405.81'	20.00'	N 29°03'28" E	20.00'
C2	5724.30'	282.14'	N 27°38'45" E	282.12'
C3	1907.59'	320.51'	N 45°25'21" E	320.13'
C4	5900.00'	175.71'	S 26°19'02" W	175.70'
C5	6306.80'	39.71'	S 28°12'58" W	39.71'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 58°32'29" W	98.85'
L2	S 51°53'26" W	144.12'
L3	N 73°07'14" W	138.75'
L4	N 24°04'09" W	114.42'
L5	N 22°55'41" E	101.10'
L6	N 57°26'24" W	142.63'
L7	N 15°00'06" E	104.53'
L8	S 67°19'35" E	132.44'
L9	N 19°08'18" E	95.82'
L10	S 25°00'42" W	18.54'
L11	S 45°13'02" W	82.40'
L12	N 50°24'20" W	34.98'
L13	N 66°46'16" W	23.34'
L14	N 56°12'03" W	20.02'

**SURVEY NOTES**

- THIS EXISTING CONDITIONS SURVEY WAS COMPLETED ON APRIL 22, 2021.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC STATE PLANE GRID NAD 83 (2011).
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS NOTED OTHERWISE.
- AREA BY COORDINATE GEOMETRY.
- THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE, PORTIONS OF THE SOUTHERN PROPERTY BOUNDARY ALONG PERRY CREEK ARE IN ZONE AE (1% ANNUAL CHANCE FLOOD) PER FEMA FIRM MAP 3720177900K, MAP DATE MAY 2, 2006.
- ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD 88 DERIVED FROM NGS "PERRY CREEK". THE CONTOUR INTERVAL IS 1-FOOT.

**UTILITY STATEMENT**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**GPS METADATA**

- CLASS OF SURVEY: A
- POSITIONAL ACCURACY: 0.06'
- TYPE OF GPS FIELD PROCEDURE: VRS
- DATES OF SURVEY: DECEMBER 10, 2020
- DATUM/EPOCH: NAD 83 (2011)
- PUBLISHED/FIXED-CONTROL USE: NCGS "GARY"
- GEOD MODEL: 12B
- COMBINED GRID FACTOR(S): 0.99993507
- UNITS: U.S. SURVEY FEET

I, E. MATTHEW CASH, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION; THAT THIS GROUND/AERIAL SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE REQUIREMENTS FOR A TOPOGRAPHIC/PLANIMETRIC SURVEY TO THE ACCURACY OF CLASS 3 AND VERTICAL ACCURACY WHEN APPLICABLE TO THE CLASS & STANDARD, AND THAT THE SURVEY WAS COMPLETED ON APRIL 22, 2021; AND ALL COORDINATES ARE BASED ON NAD 83 (2011) AND ALL ELEVATIONS ARE BASED ON NAVD 88.



E. MATTHEW CASH, PROFESSIONAL LAND SURVEYOR L-5045 APRIL 28, 2021

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ROLESVILLE, NC 27571

**FRAZIER FARM PARK**  
EXISTING CONDITIONS SURVEY  
11624 LOUISBURG ROAD  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

PROJECT NO.	2020110039
FILENAME	2020110039-C1
CHECKED BY	EMC
DRAWN BY	EMC
SCALE	1"=100'
DATE	04.22.2021

**SHEET**

**EXISTING CONDITIONS**

**C1.00**

M:\Projects\Towns\Rolesville\2020110039\Frazier Farm Park\02\_Geomatics\Survey\Topographic\2020110039-C1.dwg, 4/28/2021 12:46:57 AM, Chh, Matthew





NC GRID NAD 83 (2011)

**SURVEY NOTES**

1. SEE SHEET C1.00 FOR SURVEY NOTES, GPS METADATA, AND SURVEYORS CERTIFICATION.

LINE	BEARING	DISTANCE
L1	N 58°32'29" W	98.85'
L2	S 51°53'26" W	144.12'
L3	N 76°07'14" W	138.75'
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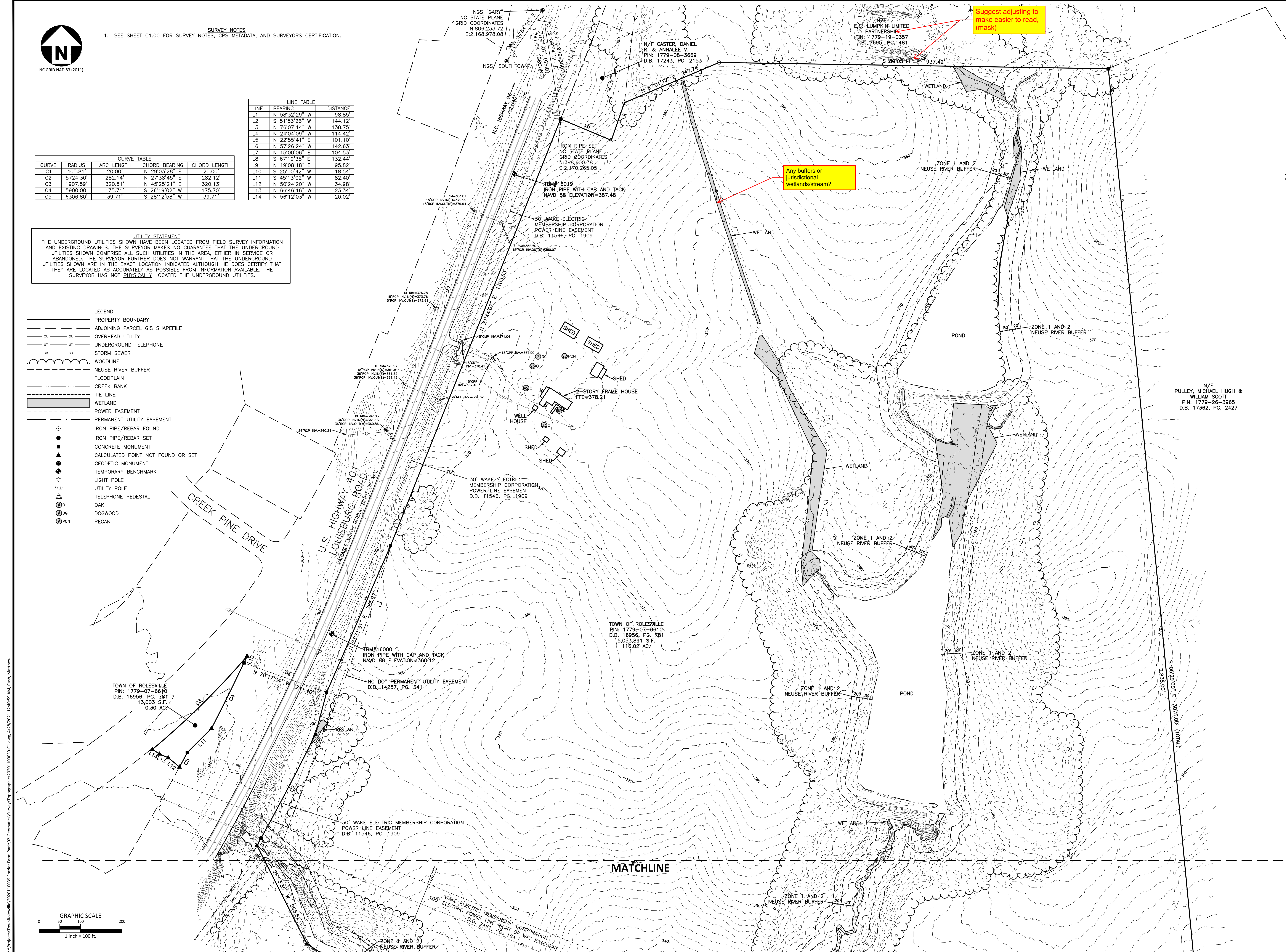
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**LEGEND**

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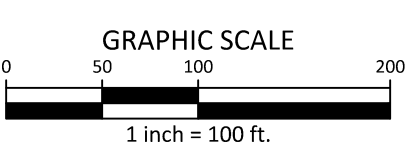


Suggest adjusting to make easier to read, (mask)

Any buffers or jurisdictional wetlands/stream?

N/F PULLEY, MICHAEL HUGH & WILLIAM SCOTT  
PIN: 1779-26-3965  
D.B. 17362, PG. 2427

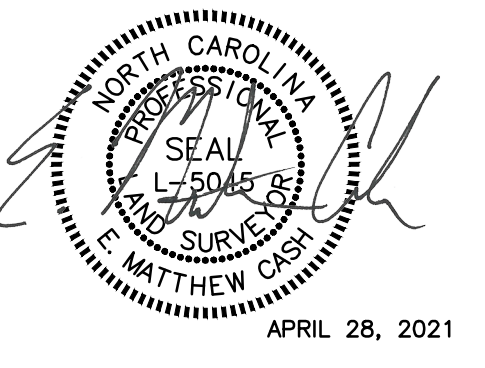
TOWN OF ROLESVILLE  
PIN: 1779-07-6610  
D.B. 16956, PG. 781  
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116.02 AC.



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TOWN OF ROLESVILLE  
502 SOUTHTOWN CIRCLE  
ROLESVILLE, NC 27751

**FRAZIER FARM PARK**  
EXISTING CONDITIONS SURVEY  
11624 LOUISBURG ROAD  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA



**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

PROJECT NO.	2020110039
FILENAME	2020110039-C1
CHECKED BY	EMC
DRAWN BY	EMC
SCALE	1"=100'
DATE	04.22.2021

**EXISTING CONDITIONS**

**C1.01**

M:\Projects\Towns\Rolesville\2020110039\Frazier Farm Park\102\_Geomatics\Survey\Topographic\2020110039-C1.dwg, 4/28/2021 12:40:59 AM, Chih, Matthew





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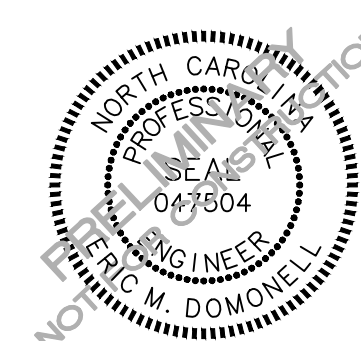
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CLIENT

NAME: TOWN OF ROLESVILLE  
ADDRESS: 502 SOUTHTOWN CIRCLE  
ADDRESS: ROLESVILLE NC 27571  
PHONE: 919.554.6582

FRAZIER FARM PARK  
CONSTRUCTION DRAWINGS  
PHASE 1A  
11624 LOUISBURG ROAD  
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

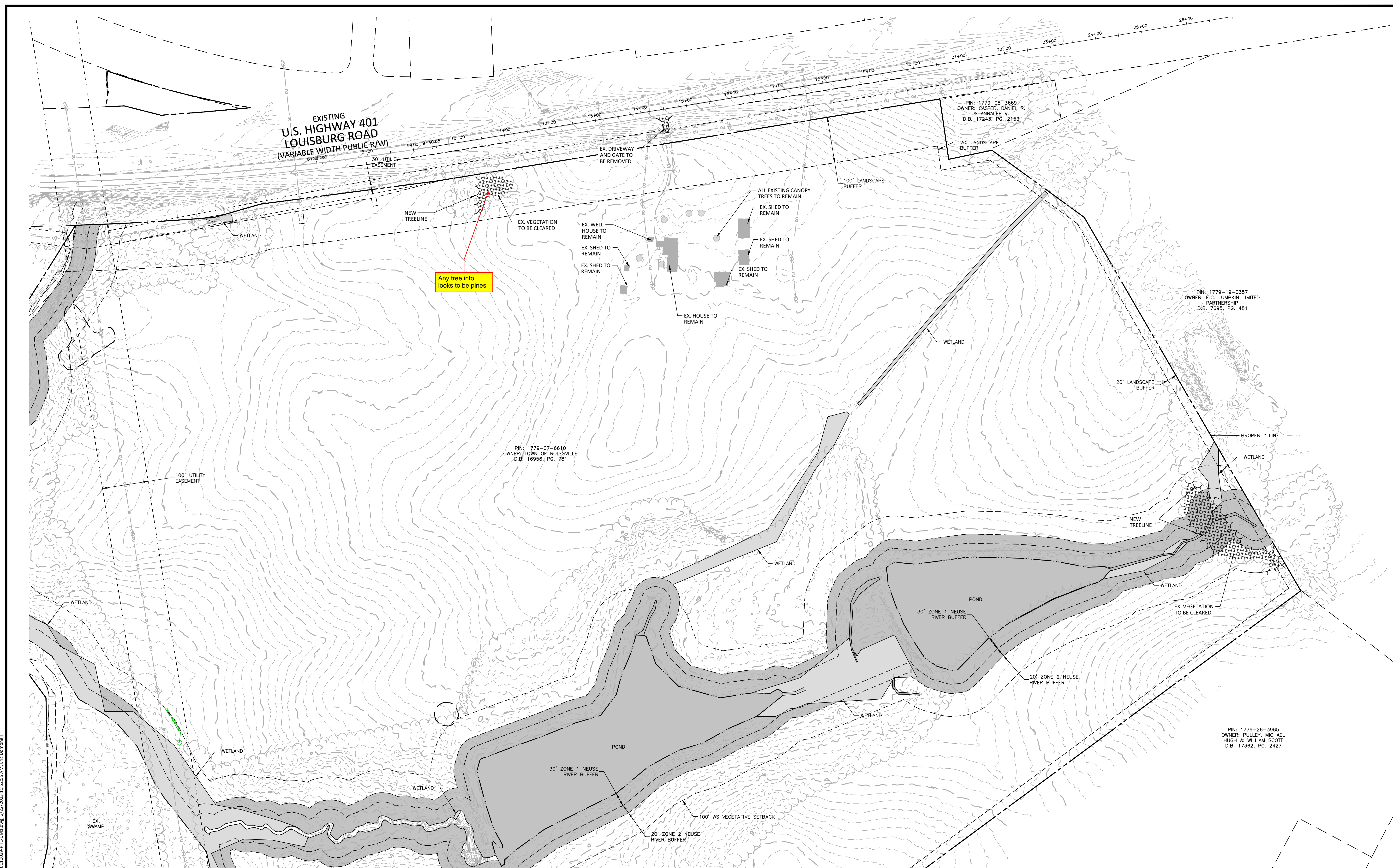
PROJECT NO. 202011039  
FILENAME 2020110039-PH1-DM1  
CHECKED BY EMD  
DRAWN BY SME  
SCALE 1"=100'  
DATE 03.22.2023

SHEET

OVERALL DEMOLITION  
PLAN

C1.10

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



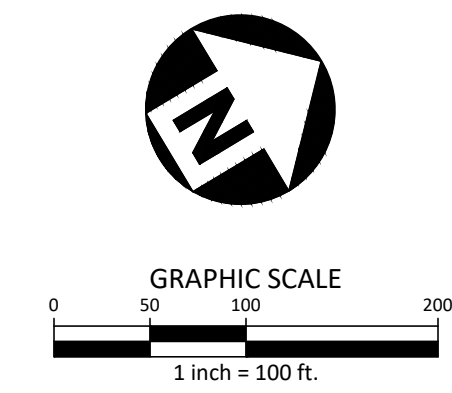
Any tree info looks to be pines

ARE THERE ANY TREES OR UTILITIES TO BE REMOVED? NOTHING IS SHOWN ON THIS SHEET. IF NONE, CONSIDER REMOVING FROM LEGEND

- DEMOLITION NOTES**
- UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.
  - THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
  - THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND SPECIFICATIONS AND AS DIRECTED BY THE OWNER.
  - IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES. THESE FEES ARE TO BE INCLUDED WITH THE BID. THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
  - THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
  - CONTRACTOR SHALL COMPLETELY DEMOLISH ALL EXISTING IMPROVEMENTS NOTED FOR REMOVAL ON THE APPROVED DEMOLITION PLAN. THIS INCLUDES, AS NECESSARY, FOUNDATIONS AND OTHER APPURTENANCES LOCATED ON AND AROUND THE IMPROVEMENTS SUCH AS SIGNS, CURBS, PAVEMENT, SIDEWALKS, LIGHT POLE BASES, HYDRANTS, BOLLARDS, ETC. ALL REMOVED MATERIAL SHALL BE DISPOSED OF OFFSITE IN A LAWFUL MANNER OR RECYCLED. IF POSSIBLE, CONTRACTOR SHALL MAKE EVERY ATTEMPT TO RECYCLE ANY DEBRIS AND RUBBISH THAT IS RECYCLABLE.
  - CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK. CONTRACTOR SHALL TAKE EXTRA PRECAUTIONS AND CARE TO PRESERVE TREES DURING CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
  - ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
  - CONTRACTOR TO FLAG ALL TREES SLATED FOR REMOVAL AND SEEK APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO DEMOLISHING.

DEMOLITION LEGEND

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

M:\Projects\ROL\2020110039 Frazier Farm Park\04-Production\Engineering\Phase1A\_CD\2020110039-PH1-DM1.dwg, 3/22/2023 11:52:55 AM, Eric Donnell





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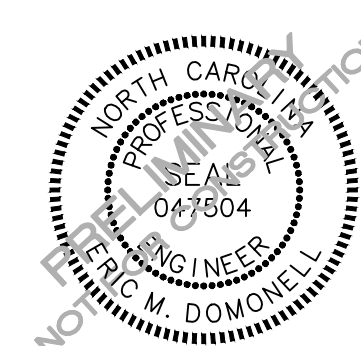
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REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039  
FILENAME 2020110039-PH1-OAS1  
CHECKED BY EMD  
DRAWN BY SME  
SCALE 1"=100'  
DATE 03.22.2023

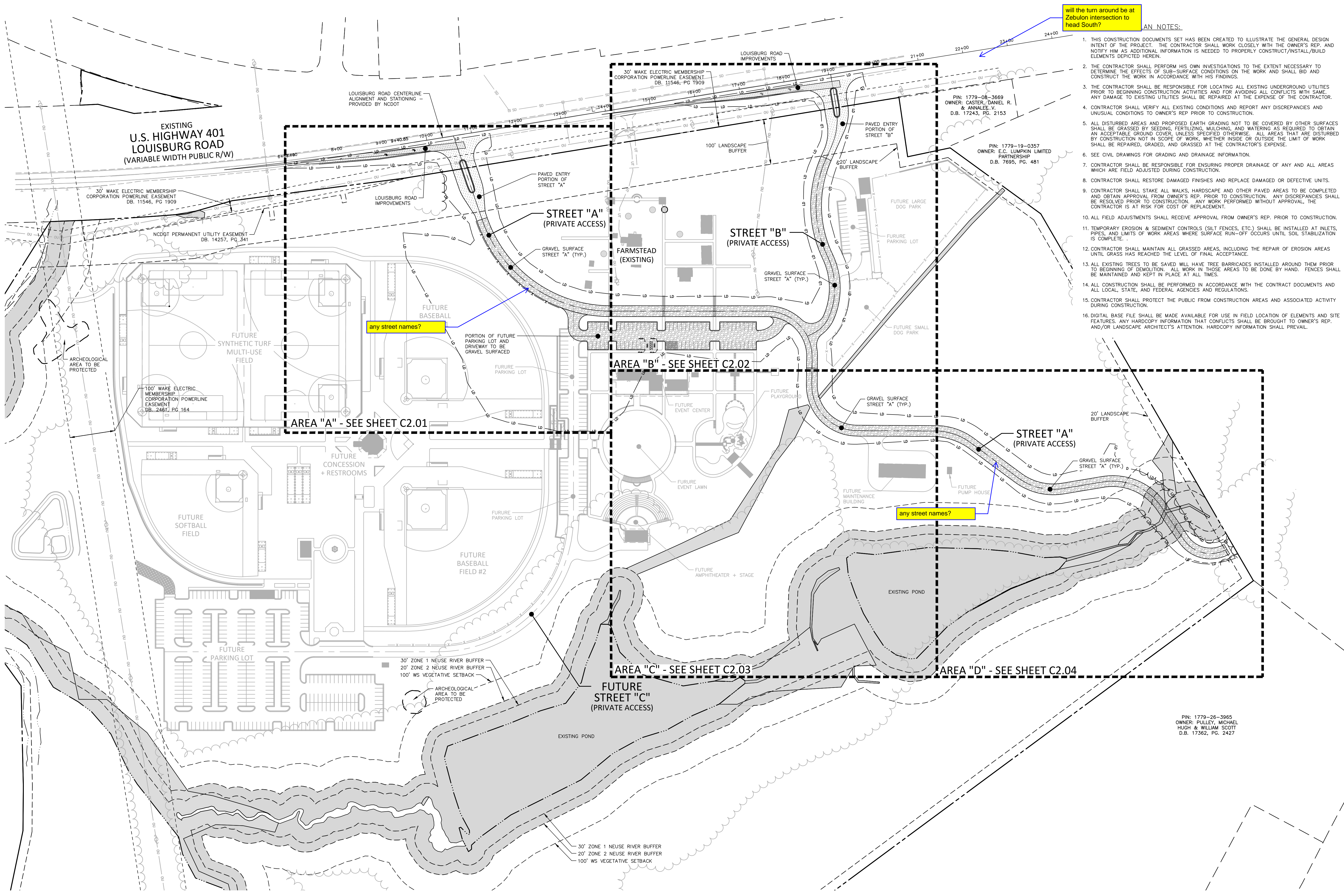
SHEET

OVERALL  
SITE PLAN  
**C2.00**

will the turn around be at Zebulon intersection to head South?

PLAN NOTES:

- THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.
- THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REP PRIOR TO CONSTRUCTION.
- ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRADED BY SEEDING, FERTILIZING, MULCHING, AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION NOT IN SCOPE OF WORK, WHETHER INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED, AND GRASSED AT THE CONTRACTOR'S EXPENSE.
- SEE CIVIL DRAWINGS FOR GRADING AND DRAINAGE INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
- CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
- CONTRACTOR SHALL STAKE ALL WALKS, HARDSCAPE AND OTHER PAVED AREAS TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION. ANY WORK PERFORMED WITHOUT APPROVAL, THE CONTRACTOR IS AT RISK FOR COST OF REPLACEMENT.
- ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION.
- TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, AND LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE.
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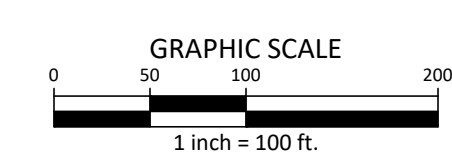


any street names?

any street names?

Provide typical cross section for  
- gravel drive/streets, consider increasing size of shoulder to allow for parking in the shoulder area as expressed in meeting.  
- parking lot section

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\WOL\_2020110039\_Frazier Farm Park\04-Production\Engineering\Phase1A\_CD\2020110039-PH1-OAS1.dwg, 3/22/2023 11:53:05 AM, Eric Domoneil





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**FRAZIER FARM PARK  
CONSTRUCTION DRAWINGS  
PHASE 1A  
11624 LOUISBURG ROAD  
ROLESVILLE, NORTH CAROLINA**



**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. 202011039  
FILENAME 2020110039-PH1-S1  
CHECKED BY EMD  
DRAWN BY SME  
SCALE 1"=30'  
DATE 03.22.2023

**SITE PLAN: AREA 'A'**

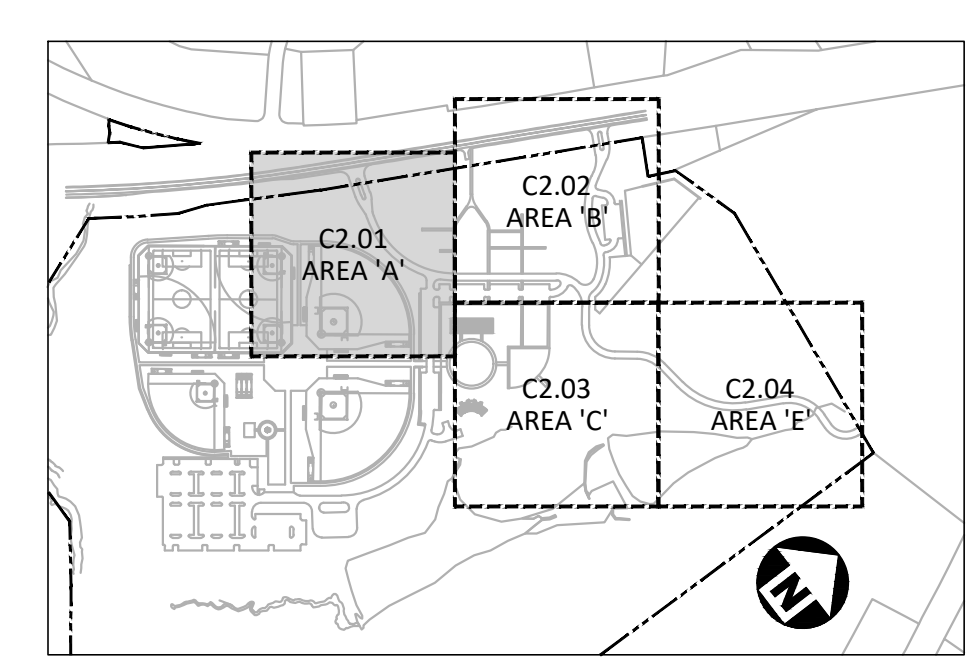
**C2.01**

**SITE LEGEND**

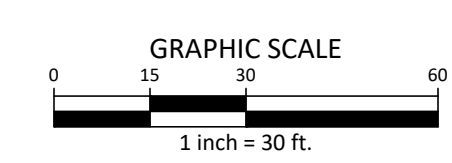
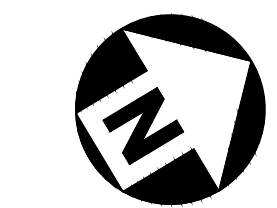
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	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
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	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	ABC TRAVEL SURFACE TO BE ASPHALT PAVED IN FUTURE PHASE

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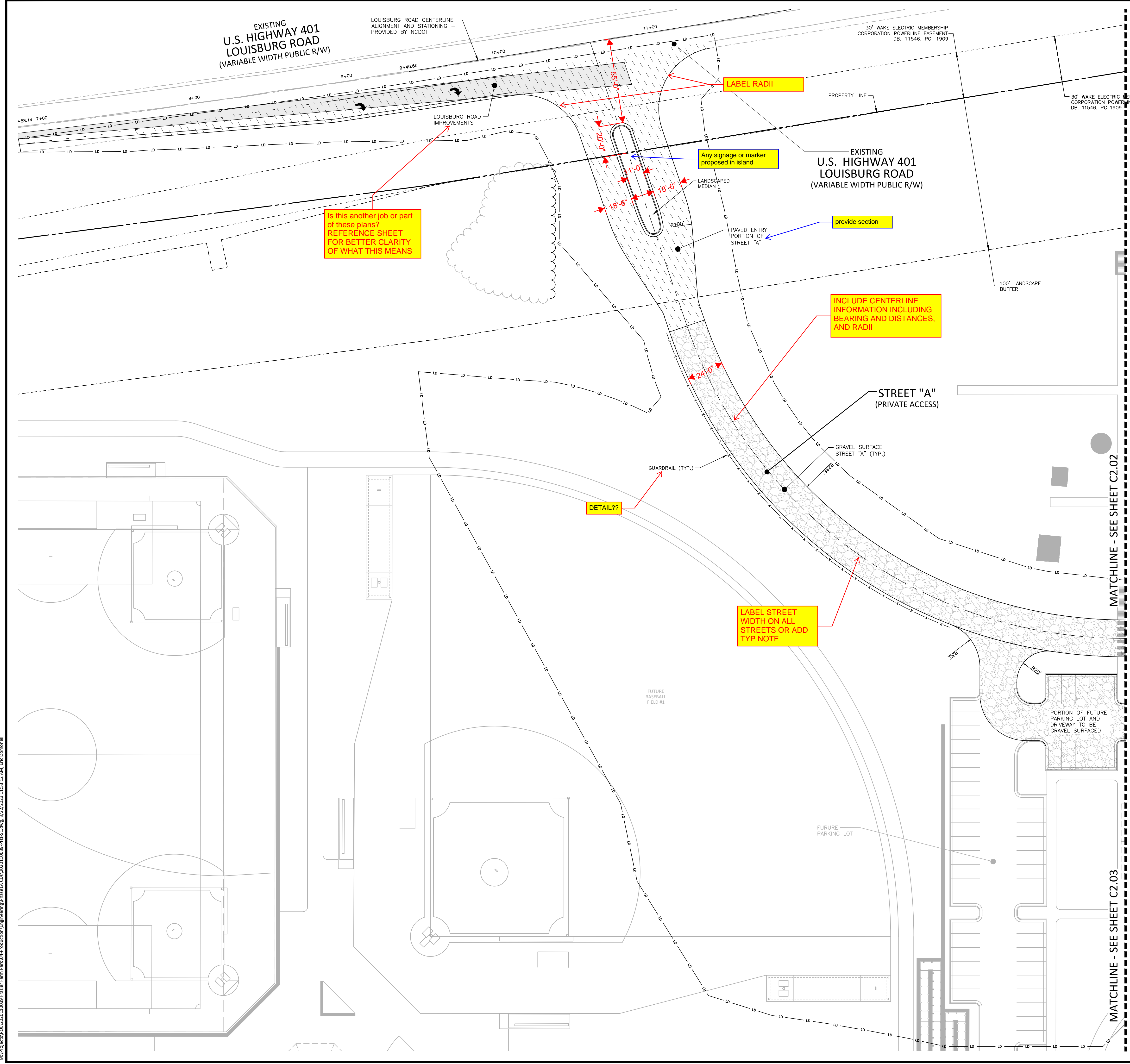


**INDEX MAP**  
N.T.S.



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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



Is this another job or part of these plans? REFERENCE SHEET FOR BETTER CLARITY OF WHAT THIS MEANS

LABEL RADII

Any signage or marker proposed in island

provide section

INCLUDE CENTERLINE INFORMATION INCLUDING BEARING AND DISTANCES, AND RADII

DETAIL??

LABEL STREET WIDTH ON ALL STREETS OR ADD TYP NOTE

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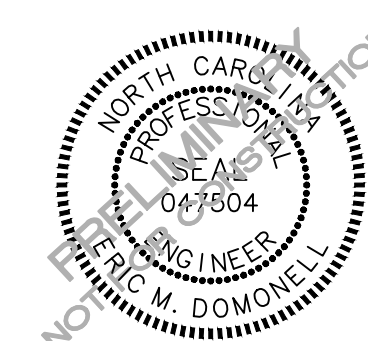
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REVISIONS

NO. DATE

PLAN INFORMATION

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DRAWN BY SME  
SCALE 1"=30'  
DATE 03.22.2023

SHEET

SITE PLAN: AREA 'B'

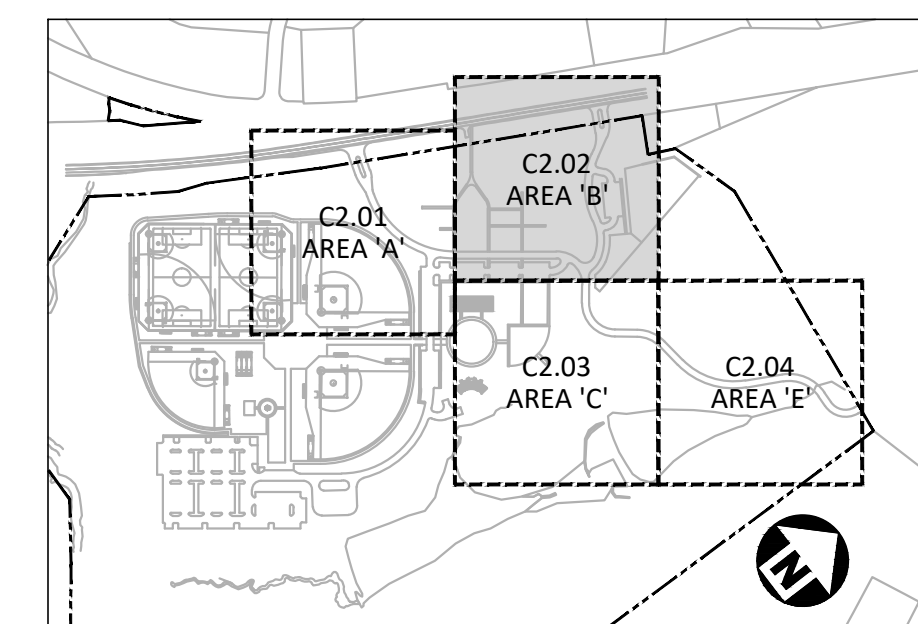
C2.02

SITE LEGEND

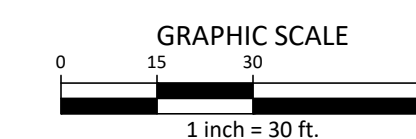
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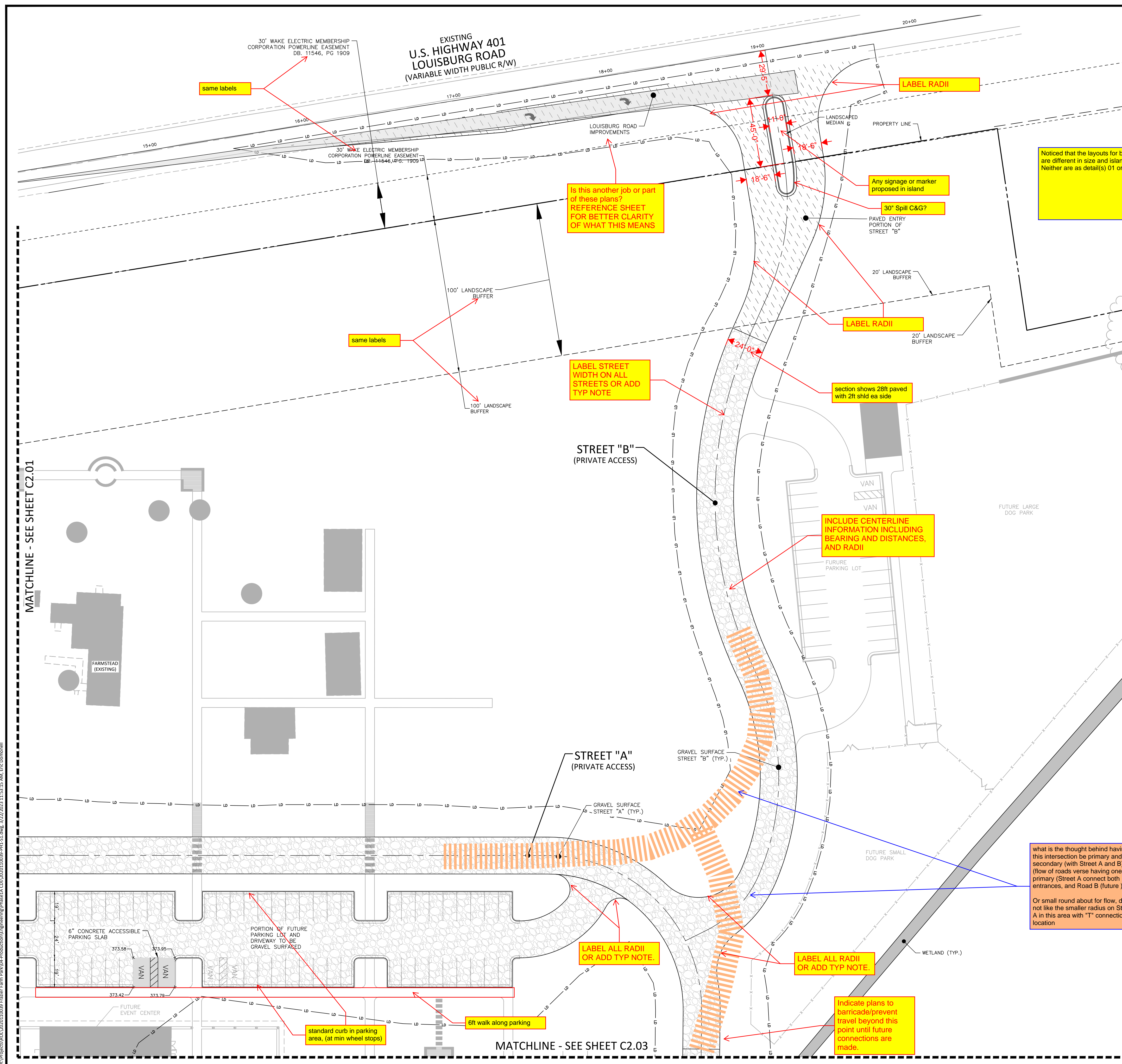


INDEX MAP  
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



same labels

LABEL RADII

Is this another job or part of these plans? REFERENCE SHEET FOR BETTER CLARITY OF WHAT THIS MEANS

Noticed that the layouts for both Entrances off of Louisburg Road are different in size and island location in ROW. Neither are as detail(s) 01 or 02 on sheet C8.00

Any signage or marker proposed in island

30" Spill C&G?

PAVED ENTRY PORTION OF STREET "B"

LABEL RADII

section shows 28ft paved with 2ft shld ea side

LABEL STREET WIDTH ON ALL STREETS OR ADD TYP NOTE

INCLUDE CENTERLINE INFORMATION INCLUDING BEARING AND DISTANCES, AND RADII

STREET "B" (PRIVATE ACCESS)

STREET "A" (PRIVATE ACCESS)

what is the thought behind having this intersection be primary and secondary (with Street A and B) (flow of roads verse having one primary (Street A connect both entrances, and Road B (future) Or small round about for flow, do not like the smaller radius on Street A in this area with "T" connection location

LABEL ALL RADII OR ADD TYP NOTE.

LABEL ALL RADII OR ADD TYP NOTE.

Indicate plans to barricade/prevent travel beyond this point until future connections are made.

standard curb in parking area, (at min wheel stops)

6ft walk along parking

6" CONCRETE ACCESSIBLE PARKING SLAB

PORTION OF FUTURE PARKING LOT AND DRIVEWAY TO BE GRAVEL SURFACED

MATCHLINE - SEE SHEET C2.01

MATCHLINE - SEE SHEET C2.03

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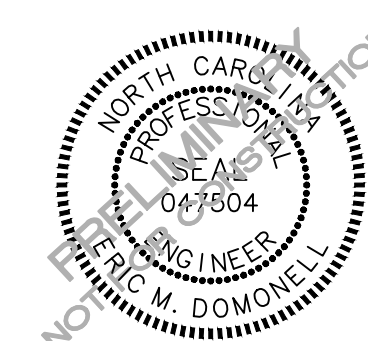
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**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. 202011039  
FILENAME 2020110039-PH1-S1  
CHECKED BY EMD  
DRAWN BY SME  
SCALE 1"=30'  
DATE 03.22.2023

**SHEET**

**SITE PLAN: AREA 'C'**

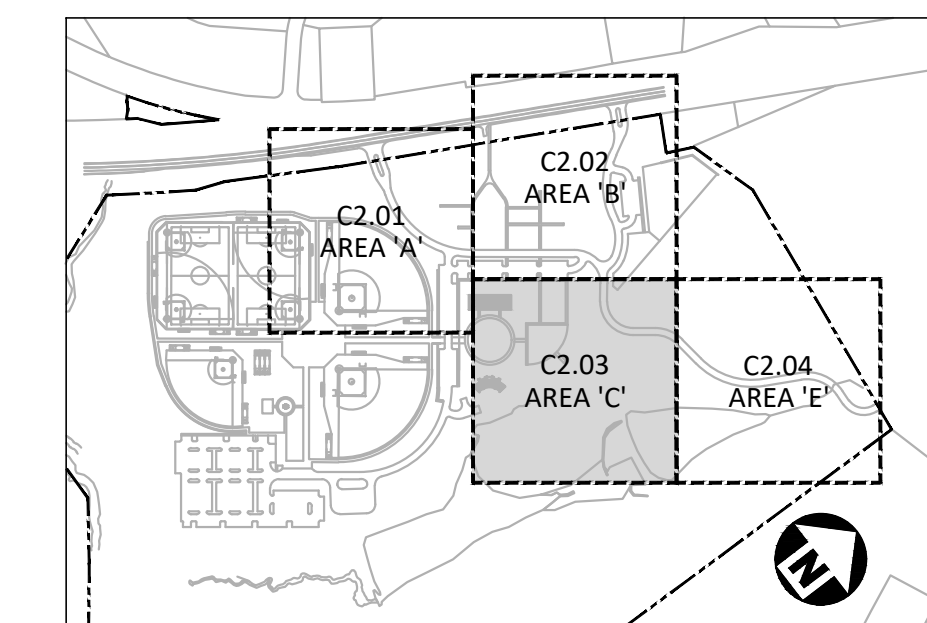
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**SITE LEGEND**

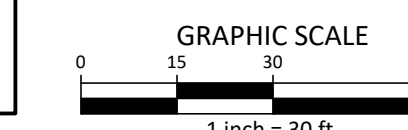
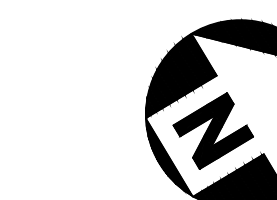
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**INDEX MAP**  
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MATCHLINE - SEE SHEET C2.02

MATCHLINE - SEE SHEET C2.01

MATCHLINE - SEE SHEET C2.04

LABEL STREET WIDTH ON ALL STREETS OR ADD TYP NOTE

INCLUDE CENTERLINE INFORMATION INCLUDING BEARING AND DISTANCES, AND RADII

check labels for clarity, see sheet C2.04

label line

30' ZONE 1 NEUSE RIVER BUFFER  
20' ZONE 2 NEUSE RIVER BUFFER  
100' WS VEGETATIVE SETBACK

EXISTING POND

FUTURE EVENT CENTER

FUTURE PLAYGROUND

FUTURE MAINTENANCE BUILDING

FUTURE EVENT LAWN

FUTURE AMPHITHEATER + STAGE

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**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. 202011039  
FILENAME 2020110039-PH1-S1  
CHECKED BY EMD  
DRAWN BY SME  
SCALE 1"=30'  
DATE 03.22.2023

**SHEET**

**SITE PLAN: AREA 'D'**

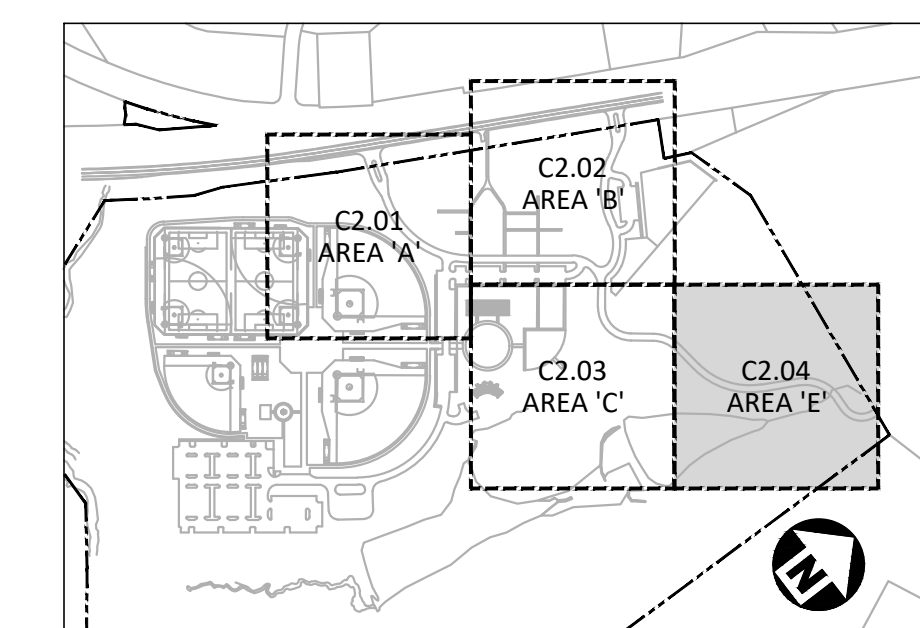
**C2.04**

**SITE LEGEND**

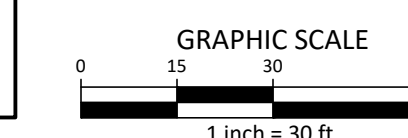
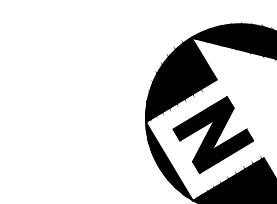
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1. THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.
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3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REP PRIOR TO CONSTRUCTION.
5. ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING, AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION NOT IN SCOPE OF WORK, WHETHER INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED, AND GRASSED AT THE CONTRACTOR'S EXPENSE.
6. SEE CIVIL DRAWINGS FOR GRADING AND DRAINAGE INFORMATION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
8. CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
9. CONTRACTOR SHALL STAKE ALL WALKS, HARDSCAPE AND OTHER PAVED AREAS TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION. ANY WORK PERFORMED WITHOUT APPROVAL, THE CONTRACTOR IS AT RISK FOR COST OF REPLACEMENT.
10. ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION.
11. TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, AND LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE.
12. CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
13. ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
14. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
15. CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.
16. DIGITAL BASE FILE SHALL BE MADE AVAILABLE FOR USE IN FIELD LOCATION OF ELEMENTS AND SITE FEATURES. ANY HARDCOPY INFORMATION THAT CONFLICTS SHALL BE BROUGHT TO OWNER'S REP. AND/OR LANDSCAPE ARCHITECT'S ATTENTION. HARDCOPY INFORMATION SHALL PREVAIL.

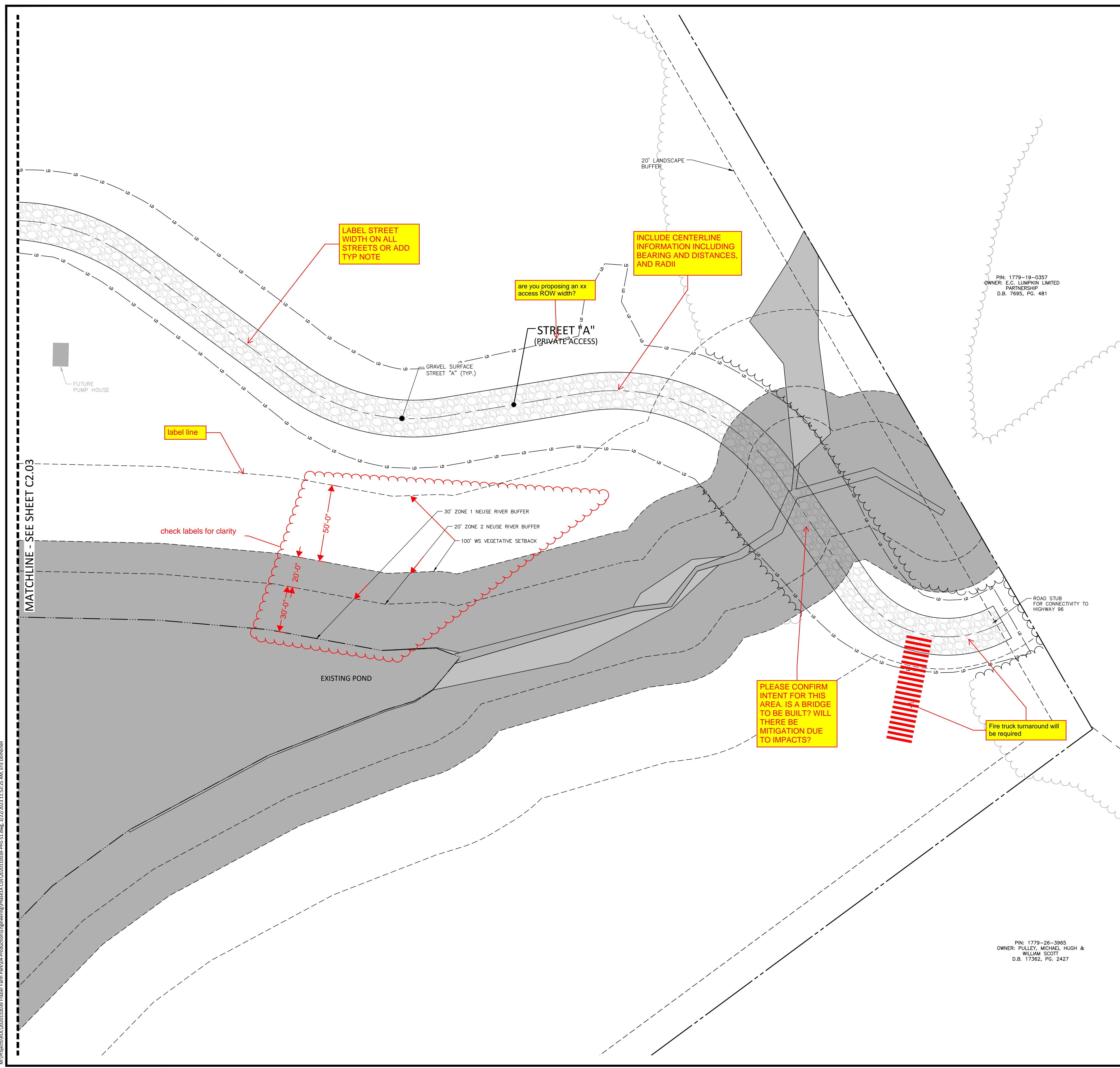


**INDEX MAP**  
N.T.S.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



LABEL STREET WIDTH ON ALL STREETS OR ADD TYP NOTE

INCLUDE CENTERLINE INFORMATION INCLUDING BEARING AND DISTANCES, AND RADII

are you proposing an xx access ROW width?

STREET "A" (PRIVATE ACCESS)

label line

check labels for clarity

PLEASE CONFIRM INTENT FOR THIS AREA. IS A BRIDGE TO BE BUILT? WILL THERE BE MITIGATION DUE TO IMPACTS?

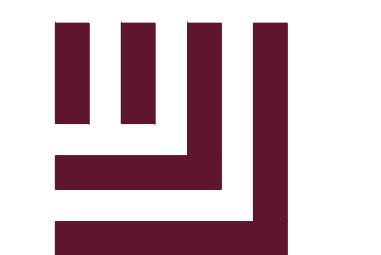
Fire truck turnaround will be required

PIN: 1779-26-3965  
OWNER: PULLEY, MICHAEL HUGH & WILLIAM SCOTT  
D.B. 17362, PG. 2427

MATCHLINE - SEE SHEET C2.03

M:\Projects\WOL\2020110039 Frazier Farm PH1\04-Production\Engineering\Phase1A\_CD\2020110039-PH1-S1.dwg, 3/22/2023 11:53:25 AM, Eric Domoneil





**McADAMS**

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PHONE: 919.554.6582

**FRAZIER FARM PARK**  
CONSTRUCTION DRAWINGS  
PHASE 1A  
11624 LOUISBURG ROAD  
ROLESVILLE, NORTH CAROLINA



**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. 202011039  
FILENAME 202011039-PH1-0A61  
CHECKED BY EMD  
DRAWN BY SME  
SCALE 1"=100'  
DATE 03.22.2023

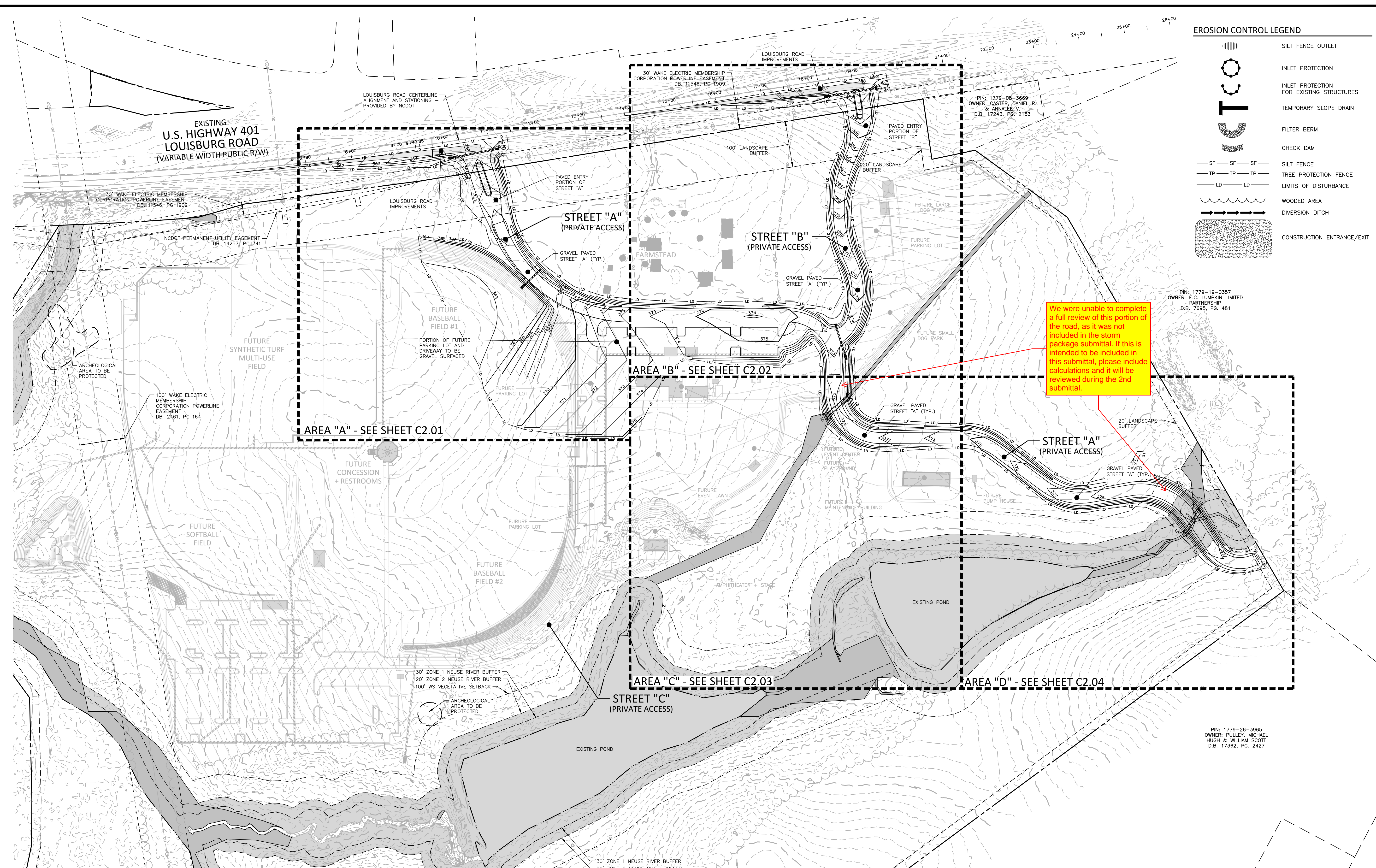
**SHEET**

**OVERALL GRADING & DRAINAGE PLAN**

**C3.00**

**EROSION CONTROL LEGEND**

- SILT FENCE OUTLET
- INLET PROTECTION
- INLET PROTECTION FOR EXISTING STRUCTURES
- TEMPORARY SLOPE DRAIN
- FILTER BERM
- CHECK DAM
- SILT FENCE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- DIVERSION DITCH
- CONSTRUCTION ENTRANCE/EXIT



We were unable to complete a full review of this portion of the road, as it was not included in the storm package submittal. If this is intended to be included in this submittal, please include calculations and it will be reviewed during the 2nd submittal.

**GRADING LEGEND**

- |  |                              |          |   |
|--|------------------------------|----------|---|
|  | FLARED END SECTION           | + 250.60 | SPOT ELEVATION  |
|  | ENDWALL SECTION              |          | STORM DRAINAGE  |
|  | CATCH BASIN                  |          | STORM SERVICE LINE  |
|  | DROP INLET                   |          | ROOF DRAIN, 8" ADS  |
|  | STORM SERVICE INLET          |          | NON-PERFORATED TUBING OR EQUAL 1.0% MIN. SLOPE 3' MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS |
|  | STORM SERVICE ROOF-RAIN      |          | TP TP TP  |
|  | JUNCTION BOX                 |          | LD LD LD  |
|  | DRAINAGE FLOW ARROW          |          | WOODED AREA   |
|  | LINE BREAK SYMBOL            |          | MAJOR CONTOUR   |
|  | TOP & BOTTOM CURB ELEVATIONS | 250      | MINOR CONTOUR   |
|  | TOP OF WALL ELEVATION        | 252      | EXISTING MINOR CONTOUR  |
|  | BOTTOM OF WALL ELEVATION     | 250      | EASEMENT LINE   |
|  | BOTTOM OF WALL ELEVATION     | 252      |   |
- (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)

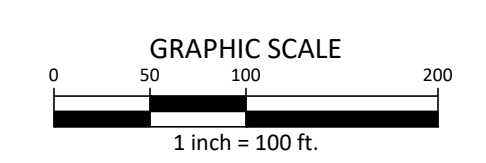
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M:\Projects\NC\202011039-Frazier Farm Park\04-Production\Engineering\Phase1A\_CD\202011039-PH1-0A61.dwg, 3/22/2023 11:53:34 AM, Eric D'Amore





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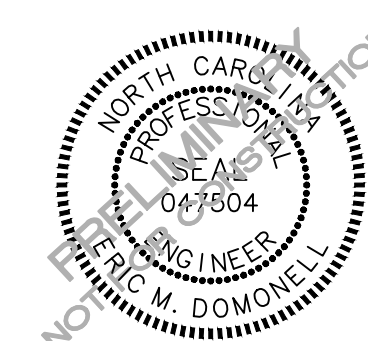
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ROLESVILLE, NORTH CAROLINA**



**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. 202011039  
FILENAME 2020110039-PH1-G1  
CHECKED BY EMD  
DRAWN BY SME  
SCALE 1"=30'  
DATE 03.22.2023

**SHEET**

**GRADING & DRAINAGE  
PLAN: AREA 'A'**

**C3.01**

**GRADING LEGEND**

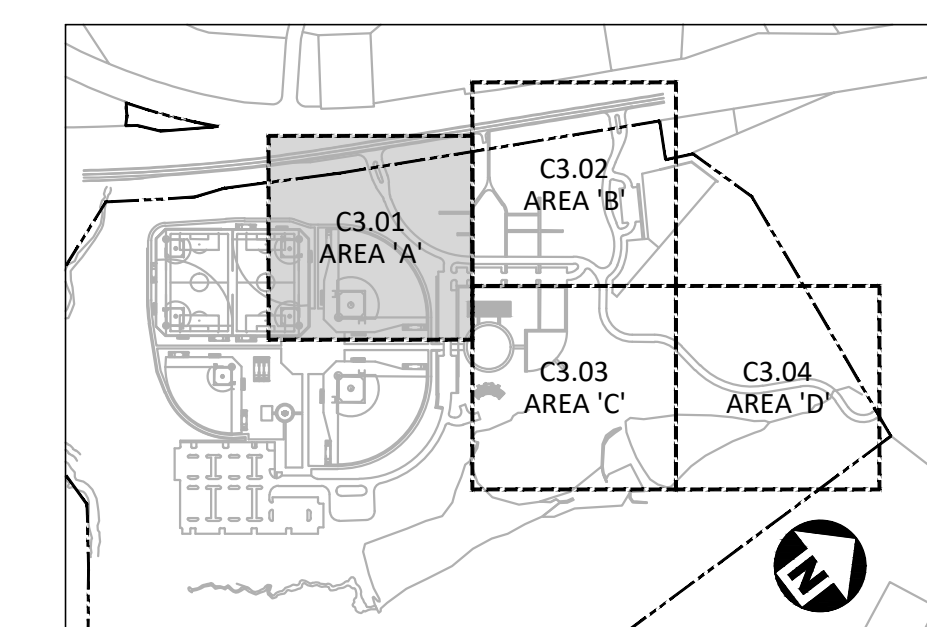
	FLARED END SECTION
	ENDWALL SECTION
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	DROP INLET
	JUNCTION BOX
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	LIMITS OF DISTURBANCE
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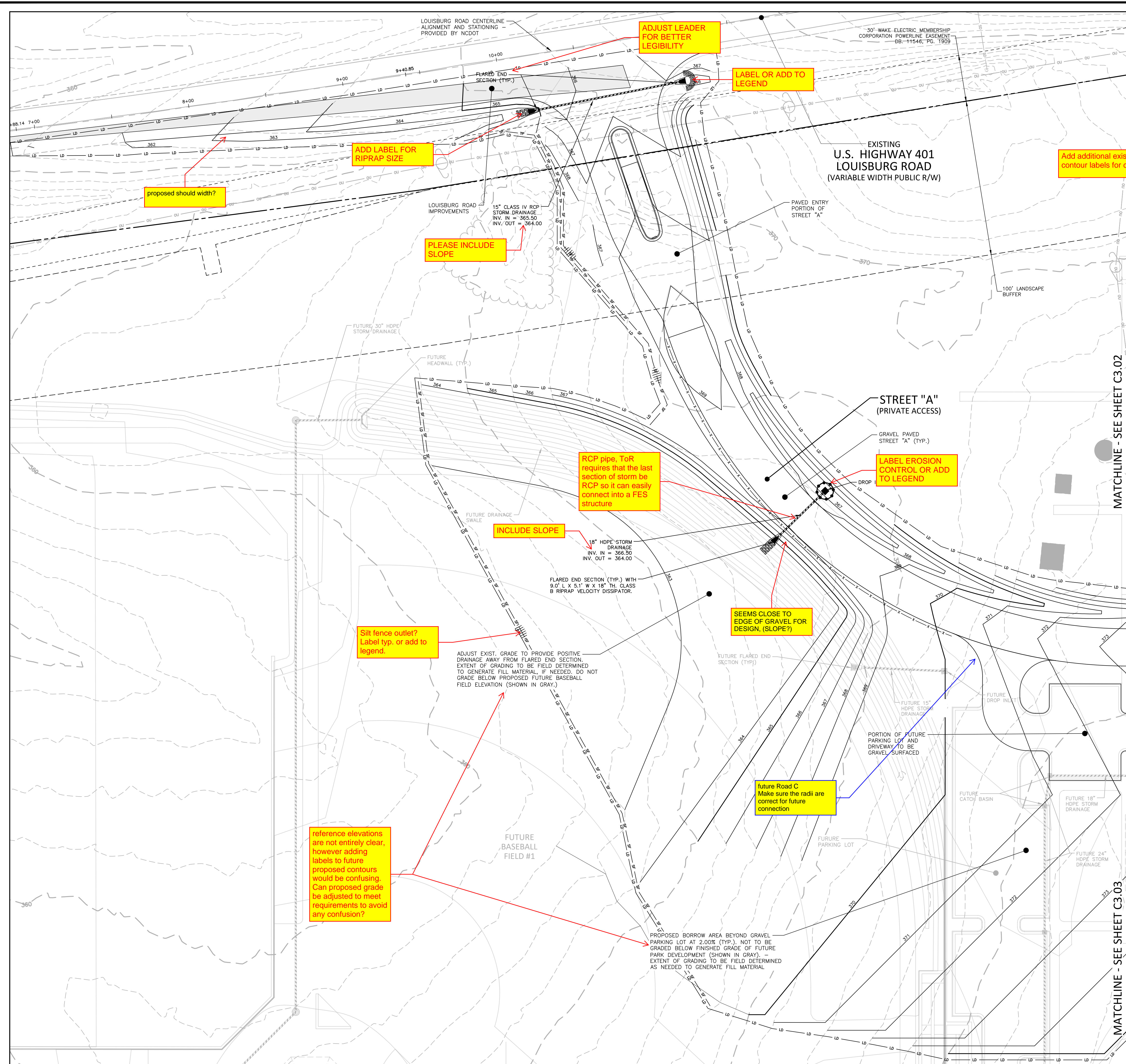


**INDEX MAP**  
N.T.S.



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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



ADJUST LEADER FOR BETTER LEGIBILITY

LABEL OR ADD TO LEGEND

ADD LABEL FOR RIPRAP SIZE

proposed should width?

PLEASE INCLUDE SLOPE

Add additional existing contour labels for clarity

RCP pipe, ToR requires that the last section of storm be RCP so it can easily connect into a FES structure

LABEL EROSION CONTROL OR ADD TO LEGEND

INCLUDE SLOPE

SEEMS CLOSE TO EDGE OF GRAVEL FOR DESIGN, (SLOPE?)

Silt fence outlet? Label typ. or add to legend.

reference elevations are not entirely clear, however adding labels to future proposed contours would be confusing. Can proposed grade be adjusted to meet requirements to avoid any confusion?

future Road C Make sure the radii are correct for future connection

M:\Projects\WOL\2020110039 Frazier Farm Park\04-Production\Engineering\Phase1A\CD\2020110039-PH1-G1.dwg, 3/22/2023 11:53:41 AM, Eric D'Amore





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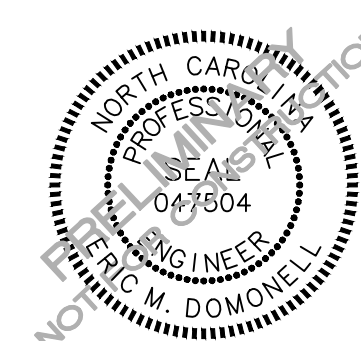
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REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039  
FILENAME 2020110039-PH1-G1  
CHECKED BY EMD  
DRAWN BY SME  
SCALE 1"=30'  
DATE 03.22.2023

SHEET

GRADING & DRAINAGE  
PLAN: AREA 'B'

C3.02

GRADING LEGEND

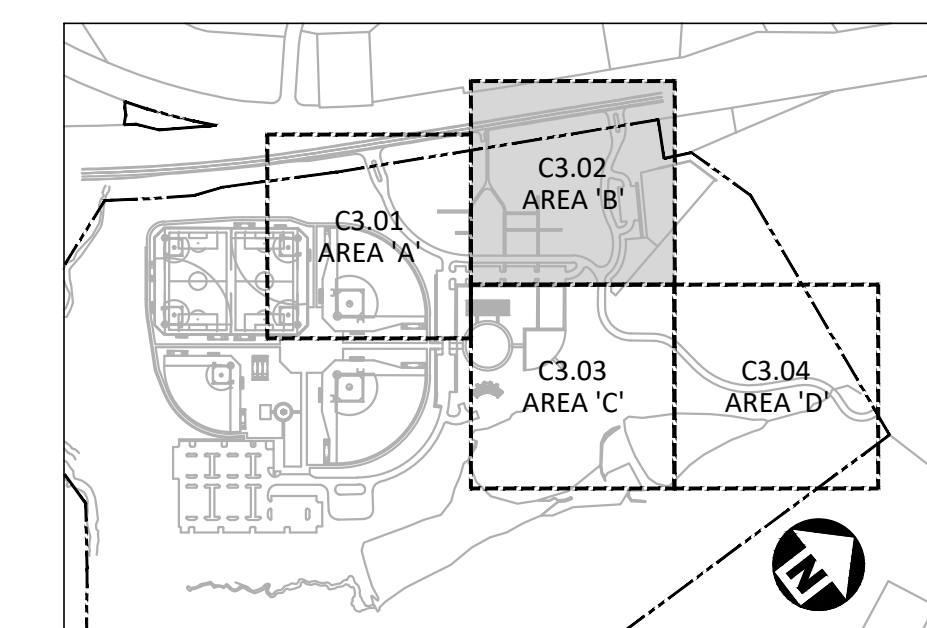
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- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.

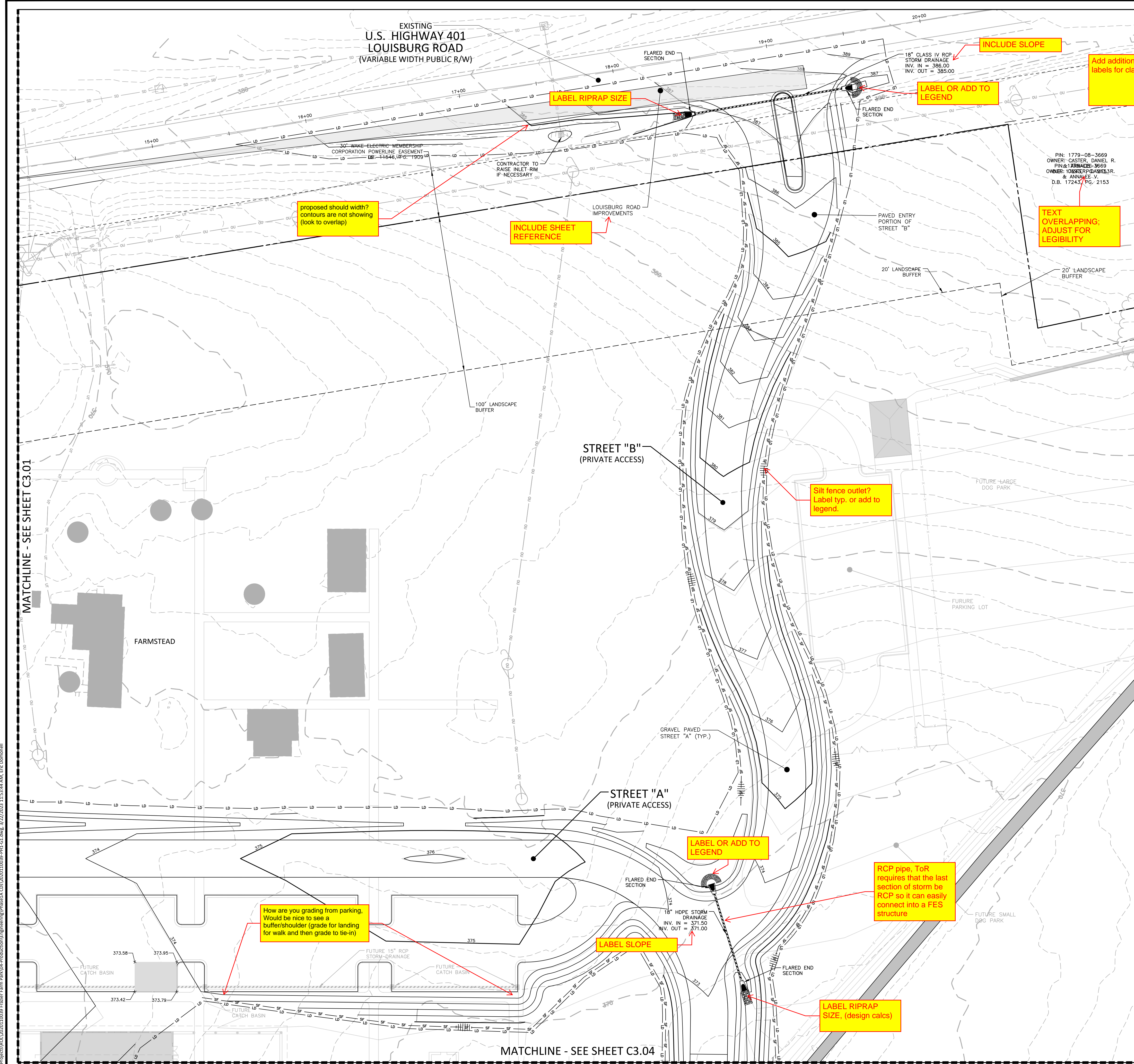


INDEX MAP  
N.T.S.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



INCLUDE SLOPE  
Add additional existing contour labels for clarity

LABEL RIPRAP SIZE

LABEL OR ADD TO LEGEND

proposed should width? contours are not showing (look to overlap)

INCLUDE SHEET REFERENCE

TEXT OVERLAPPING; ADJUST FOR LEGIBILITY

Silt fence outlet? Label typ. or add to legend.

LABEL OR ADD TO LEGEND

RCP pipe, ToR requires that the last section of storm be RCP so it can easily connect into a FES structure

How are you grading from parking, Would be nice to see a buffer/shoulder (grade for landing for walk and then grade to tie-in)

LABEL SLOPE

LABEL RIPRAP SIZE, (design calcs)

MATCHLINE - SEE SHEET C3.01

MATCHLINE - SEE SHEET C3.04

M:\Projects\WOL\2020110039 Frazier Farm PHA\04-Production\Engineering\Phase1A\_CD\2020110039-PH1-G1.dwg, 3/22/2023, 11:53:44 AM, Eric Domonell





McADAMS

The John R. McAdams Company, Inc.  
2905 Meridian Parkway  
Durham, NC 27713

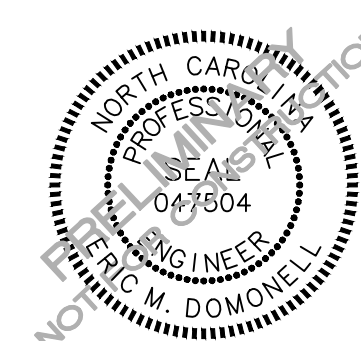
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE  
ADDRESS: 502 SOUTHTOWN CIRCLE  
ADDRESS: ROLESVILLE NC 27571  
PHONE: 919.554.6582

FRAZIER FARM PARK  
CONSTRUCTION DRAWINGS  
PHASE 1A  
11624 LOUISBURG ROAD  
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039  
FILENAME 2020110039-PH1-G1  
CHECKED BY EMD  
DRAWN BY SME  
SCALE 1"=30'  
DATE 03.22.2023

SHEET

GRADING & DRAINAGE  
PLAN: AREA 'C'

C3.03

GRADING LEGEND

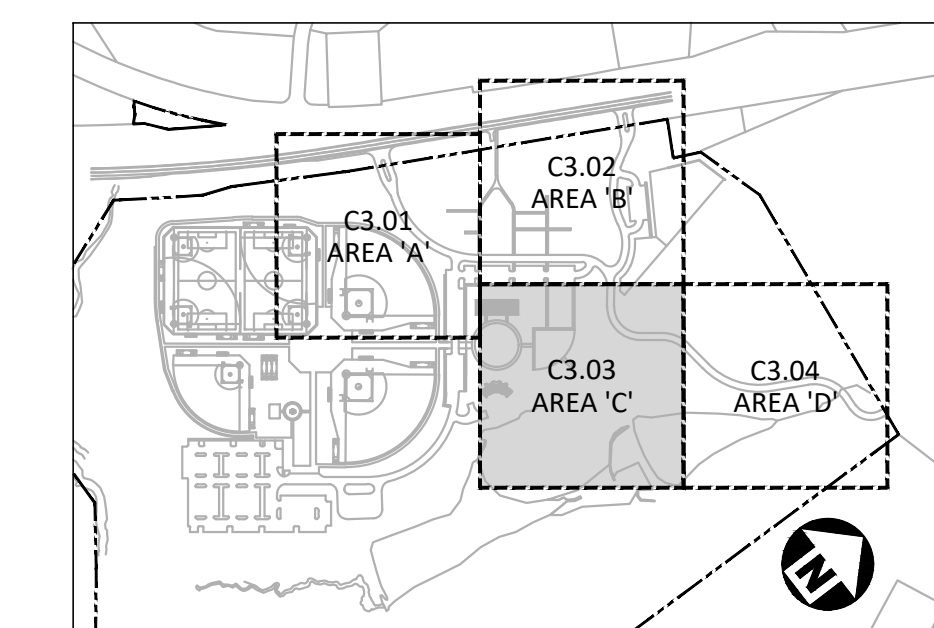
	FLARED END SECTION
	ENDWALL SECTION
	CATCH BASIN
	DROP INLET
	JUNCTION BOX
	DRAINAGE FLOW ARROW
	TOP & BOTTOM CURB ELEVATIONS
	SPOT ELEVATION
	STORM DRAINAGE
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	WOODED AREA
	MAJOR CONTOUR
	MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EASEMENT LINE
	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

GRADING NOTES

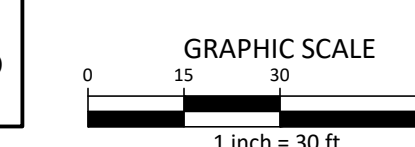
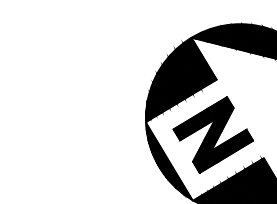
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD PRIOR TO ANY LAND DISTURBING ACTIVITY. AS DEEMED NECESSARY, THE OWNER, ENGINEER, CONTRACTOR, AND REPRESENTATIVES FROM NCDEQ WILL BE INVITED TO ATTEND THE MEETING. FOR NCDEQ REPRESENTATIVES, CONTACT DIVISION OF LAND QUALITY AT (910) 433-3300 PRIOR TO START OF CONSTRUCTION.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES LESS THAN 4:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

STORM DRAINAGE NOTES:

- ALL STORM DRAINAGE PIPES SHOWN SHALL BE CORRUGATED HDPE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ROLESVILLE STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B. FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
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INDEX MAP  
N.T.S.



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MATCHLINE - SEE SHEET C3.02

Please label contours. It looks like there is a low point that is not being collected.

INCLUDE SLOPE

Add additional existing and proposed contour labels for clarity

Verify intent of grading and/or culvert location. It looks like contours slope away from culvert inv. in? Is inv. in elevation correct?

25-YEAR STORM CALCS WILL BE NEEDED FOR CULVERTS; 10-YEAR STORM FOR ALL OTHER STORM

Silt fence outlet? Label typ. or add to legend.

CONFIRM MINIMUM COVER IS PROVIDED ALONG LENGTH OF CULVERT

reference elevations are not entirely clear, however adding labels to future proposed contours would be confusing. Can proposed grade/boundaries be shown to meet requirements and avoid any confusion?

PROPOSED BORROW AREA BEYOND GRAVEL PARKING LOT AT 2.00% (TYP.), NOT TO BE GRADED BELOW FINISHED GRADE OF FUTURE PARK DEVELOPMENT (SHOWN IN GRAY). - EXTENT OF GRADING TO BE FIELD DETERMINED AS NEEDED TO GENERATE FILL MATERIAL

MATCHLINE - SEE SHEET C3.01

MATCHLINE - SEE SHEET C3.04

M:\Projects\WOL\_2020110039 Frazier Farm PH1-G1-Production\Engineering\Phase1A\_CD\2020110039-PH1-G1.dwg, 3/22/2023, 1:53:49 AM, Eric Domonelli