

CONSTRUCTION DOCUMENTS FOR

YOUNG STREET CONNECTOR

408 E YOUNG STREET

ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

V1-

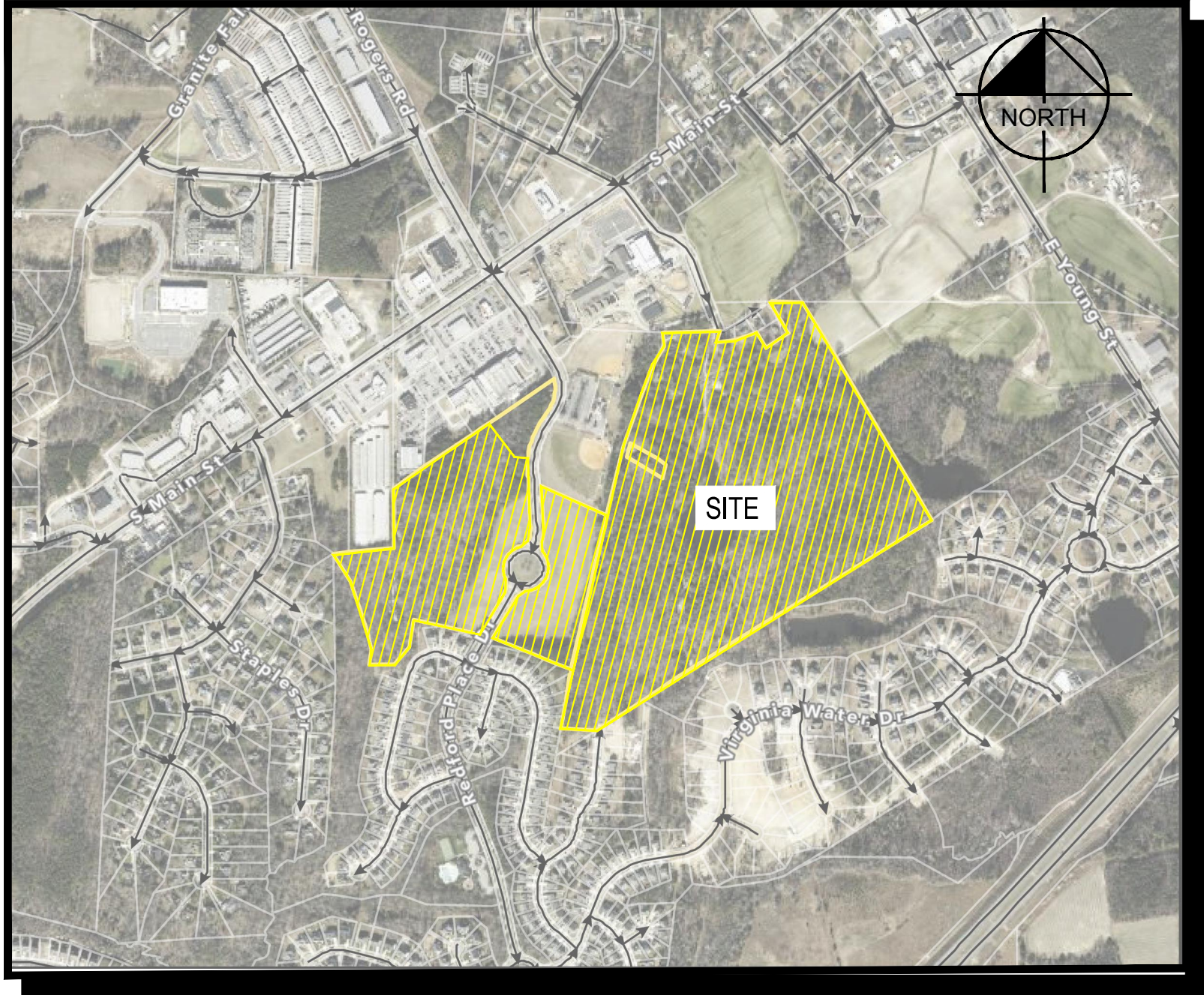
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INITIAL SUBMITTAL: JULY 3, 2023

SITE DATA TABLE		
OWNER	TOWN OF ROLESVILLE	
DEVELOPER	LENNAR CORPORATION	
PIN #	AREA (SF)	AREA (AC)
1768094465	101059	2.32
1768098727	583268.4	13.39
GROSS AREA	684328	15.7
PREVIOUS ZONING	EXEMPT	

PUBLIC IMPROVEMENT QUANTITY TABLE			
PHASE NUMBER	PHASE 1	PUBLIC SEWER (LF)	0
NUMBER OF LOTS	2	PUBLIC STREET (LF) - FULL	1359
LOT NUMBER BY PHASE		PUBLIC STREET (LF) - PARTIAL	0
NUMBER OF UNITS	0	PUBLIC SIDEWALK (LF) - FULL	2676
LIVABLE BUILDINGS	0	PUBLIC SIDEWALK (LF) - PARTIAL	0
NUMBER OF OPEN SPACE LOTS	0	WATER SERVICE STUBS	0
PUBLIC WATER (LF)	0	SEWER SERVICE STUBS	0



SITE LOCATION MAP

NOT TO SCALE

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0-0	COVER SHEET
C0-1	GENERAL NOTES
C1-0	EXISTING CONDITIONS
C2-0	SITE PLAN
C4-0	GRADING AND DRAINAGE PLAN
C5-0	EROSION CONTROL PHASE 1
C5-1	EROSION CONTROL PHASE 2
C6-0	YOUNG STREET CONNECTOR PLAN & PROFILE
C6-1	PAVEMENT MARKING DETAILS
C6-2	EROSION CONTROL DETAILS (1 OF 2)
C6-3	EROSION CONTROL DETAILS (2 OF 2)

PROJECT OWNER AND CONSULTANT INFORMATION		
DEVELOPER: LENNAR CORPORATION 1100 PERIMETER PARK DRIVE, SUITE 112 MORRISVILLE, NC, 27560 (919) 863-6461	ENGINEER: BGE, INC 5400 WADE PARK BOULEVARD RALEIGH, NC, 27607 (919) 276-0111	SURVEYOR: CAWTHORNE, MOSS & PANCIERA, P.C. 333 S. WHITE STREET, PO BOX 1253 WAKE FOREST, NC, 27588 (919) 556-3148
CONTACT: MICHAEL TAYLOR, PE LEED AP.	CONTACT: DEBRA FERM, P.E.	CONTACT:



Know what's below.

Call before you dig.

NOT FOR CONSTRUCTION

FILE NUMBER:  
8430-03

DATE: 07/03/2023

C0-0

YOUNG STREET CONNECTION  
408 E YOUNG STREET  
ROLESVILLE / NORTH CAROLINA / 27571

LENNAR CORPORATION  
1100 PERIMETER PARK DRIVE, SUITE 112  
MORRISVILLE / NORTH CAROLINA / 27560

BGE

5440 WADE PARK BLVD, SUITE 102  
RALEIGH NC 27607  
WWW.BGEINC.COM  
NC LICENSE #C-4397

DESIGNED BY:	DF/JWM	REV	DATE	DESCRIPTION
DRAWN BY:	JWM			
REVIEWED BY:	DF			
				</



GENERAL NOTES									
ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.									
NO WORK WITHIN NCDOT OR TOWN OF ROLESVILLE RIGHT OF WAY SHALL TAKE PLACE WITHOUT ALL PERMITS.									
EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.									
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID. AREAS TO BE DISTURBED SHALL BE IMPROVED PER THE CIVIL PLANS OR RESTORED TO THEIR ORIGINAL OR BETTER CONDITION. CONTRACTOR SHALL REPAIR ANY EXISTING FEATURES THAT ARE DAMAGED DURING CONSTRUCTION TO THE EXISTING OR BETTER CONDITION.									
SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY CMP. ALL INFORMATION IS TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.									
THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY THE NORTH CAROLINA DEPT. OF TRANSPORTATION NCDOT AS APPLICABLE.									
THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.									
APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING AND DRAINAGE PLAN WITHOUT AUTHORIZATION IS SUBJECT TO A FINE. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND THE TOWN OF ROLESVILLE.									
CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE NCDOT AND THE TOWN OF ROLESVILLE.									
ALL STANDARD NUMBERS REFER TO THE NCDOT STANDARD DETAILS AND SPECIFICATIONS AND THE LATEST EDITION OF THE ROLESVILLE UNIFIED DEVELOPMENT ORDINANCE.									
THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.									
THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN A UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.									
CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.									
CONTRACTOR SHALL POST ASSIGNED BUILDING PERMIT NUMBER AND ADDRESS ON BUILDING.									
IN ROLLING OR HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.									
CONTACT APPROPRIATE UTILITY COMPANIES TO RELOCATE ANY EXISTING UTILITY AND/OR LIGHT POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE CONTRACTOR.									
GRADING NOTES									
THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.									
THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE GEOTECHNICAL ENGINEERS SPECIFICATIONS. FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.									
THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR APPROPRIATE SLOPE STABILIZATION ON ALL SLOPES STEEPER THAN 3:1.									
THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLAST ROCK IS ENCOUNTERED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL BLASTING AND SAFETY REQUIREMENTS									
ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.									
EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.									
CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.									
ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES, UNLESS OTHERWISE NOTED.									
ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.									
THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.									
CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.									
LIMITS OF CLEARING SHOWN ON GRADING AND DRAINAGE PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.									
THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.									
THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING AND MOISTURE CONDITIONING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.									
GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS. STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES AND JUNCTION BOXES, AND THE BACK OF CURB FOR CATCH BASINS.									
ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS FLOODWAY DISTRICT FRINGE BOUNDARY LINE OR FLOODWAY DISTRICT ENCROACHMENT BOUNDARY LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE TOWN OF ROLESVILLE.									
EROSION CONTROL NOTES									
TOTAL AREA DISTURBED = 3.05 AC									
LIMITS OF GRADING SHOWN ON THE PLAN ARE MAXIMUM LIMITS FOR EROSION CONTROL PURPOSES ONLY. SURVEYOR TO DETERMINE ACTUAL LIMIT.									
PRIOR TO CLEARING AND EARTHWORK ACTIVITIES THE CONTRACTOR SHALL INSTALL EROSION CONTROL DEVICES SPECIFIED AND AS INDICATED ON THE DRAWINGS, AND THEN OBTAIN AN APPROVED GRADING PERMIT. DURING EACH PHASE OF SITE CONSTRUCTION THE CONTRACTOR SHALL ADJUST, RELOCATE AND/OR REINSTALL AS APPLICABLE ALL EROSION CONTROL DEVICES AND SEDIMENT DISCHARGE FROM THE SITE.									
ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.									
ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE STATE EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.									
ALL AREAS MUST BE SEEDED AND MULCHED WITHIN 14 CALENDAR DAYS. REFER TO EROSION CONTROL ORDINANCE FOR ADDITIONAL REQUIREMENTS.									
ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.									
SLOPES SHALL BE GRADED NO STEEPER THAN 3:1. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING (APPENDIX B - CHAPTER 21)									
DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER, HIS REPRESENTATIVE, OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.									
EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE NORTH CAROLINA SEDIMENTATION POLLUTION CONTROL ACT OF 1973, THE LOCAL JURISDICTIONAL AGENCY, THE APPROVED EROSION CONTROL PERMIT, AND THESE PLANS AND SPECIFICATIONS.									
SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF THE SITE. ALL DISTURBED AREAS SHALL BE NONEROSIVE AND SHALL BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT AND ALL SLOPES SHALL BE STABILIZED AS SOON AS POSSIBLE. SLOPES SHALL BE STABILIZED WITHIN 14 CALENDAR DAYS.									
THE SEDIMENT TRAPS AND DIVERSION DITCHES SHALL BE CLEANED OUT WHEN THE STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. GRAVEL SHALL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS PROPERLY.									
ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5 INCH RAINFALL EVENT, BUT IN NO CASE LESS THAN ONCE EVERY WEEK. NEEDED REPAIRS SHALL BE MADE IMMEDIATELY. SUBMIT WRITTEN REPORT WITH EACH INSPECTION TO THE OWNER.									
SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCING WHEN IT BECOMES 6-INCHES DEEP AT THE FENCE. THE FENCING WILL BE REPAIRED AS NECESSARY TO MAINTAIN SUFFICIENT BARRIER.									
ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO THE PLANS AND SPECIFICATIONS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.									
ALL DRAINAGE SWALES MUST BE GRASSED AND RIP-RAP MUST BE REPLACED AS REQUIRED TO CONTROL EROSION. RIP-RAP WILL CONSIST OF 50 TO 125 POUND STONES PLACED AT ALL HEADWALLS, AND WHERE NOTED ON CONSTRUCTION DRAWINGS. (SEE DETAIL SHEET FOR OUTFALL PIPE SIZE CHART)									
WHEN ANY CONSTRUCTION BORDERS A DRAINAGE COURSE: A. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY BUILDING OR OTHER EXCAVATION SPOIL, DIRT, CONSTRUCTION TRASH OR DEBRIS, ETC., FROM THE DRAINAGE AREA SHOWN HEREON IN A EXPEDITIOUS MANNER AS CONSTRUCTION PROGRESSES. B. THE CONTRACTOR HEREBY AGREES TO STOP ALL WORK AND RESTORE THESE IMMEDIATELY UPON NOTIFICATION BY THE CITY INSPECTOR AND/OR THE OWNER.									
FOR ALL CONSTRUCTION ALONG AND/OR ACROSS WATERWAYS, BANK PROTECTION AND STABILIZATION SHALL BE REQUIRED AS PER LOCAL JURISDICTIONAL EROSION CONTROL LAWS.									
ALL TREE PROTECTION AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED AND GROUND COVER IS ESTABLISHED. CONSTRUCTION ENTRANCE PADS SHALL BE INSTALLED BY THE CONTRACTOR AT CONSTRUCTION ACCESS POINTS PRIOR TO LAND DISTURBANCE.									
THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT ON SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROGRESS.									
INSTALL SILT FENCE ALONG THE DOWNSTREAM SIDE OF ALL PROPOSED CUT AND FILL CONSTRUCTION AND AS INDICATED ON PLANS.									
SILT FENCE SHALL BE MAINTAINED AROUND THE PERIMETER OF ALL EARTHWORK AREAS TO PREVENT SEDIMENT TRANSPORT ONTO ADJACENT PROPERTIES OR OFFSITE ROADWAYS, AS APPLICABLE.									
A TEMPORARY DIVERSION SWALE MAY BE USED IN LIEU OF SILT FENCE WHERE RUNOFF CAN BE DIRECTED TO A TEMPORARY SEDIMENT TRAP.									
IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM REQUIRED MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL DEVICES TO ENSURE THEIR FUNCTION AT ALL TIMES.									
CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED.									
WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.									
WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.									
CONTRACTOR TO PROTECT THE EXISTING EXPOSED SANITARY SEWER MANHOLES AT ALL TIMES DURING THE CONSTRUCTION.									
PERFORM A FINAL DEMUCKING OF ALL SEDIMENT CONTROL DEVICES AND RESTABILIZATION OF ANY DISTURBED AREAS BEFORE DEMOBILIZATION.									
SILT FENCE SHALL BE MAINTAINED AROUND THE PERIMETER OF ALL EARTHWORK AREAS TO PREVENT SEDIMENT TRANSPORT ONTO ADJACENT PROPERTIES OR OFFSITE ROADWAYS, AS APPLICABLE.									
SILT FENCE FILTER BARRIERS SHALL BE INSTALLED AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE AND LANDSCAPING IS INSTALLED.									
THE CONTRACTOR SHALL IMMEDIATELY CLEANUP AND REPAIR ALL EROSION DAMAGE AFTER DISCOVERY AND REINSTALL ADEQUATE CONTROL MEASURES AS NECESSARY TO PREVENT REOCCURRENCE OF DAMAGE.									
STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS BEEN TEMPORARILY OR PERMANENTLY CEASED. CONTRACTOR SHALL INSTALL TEMPORARY GRAVEL DRIVEWAY AT EACH CONSTRUCTION ENTRANCE AS SHOWN ON THESE PLANS.									
CONSTRUCTION POINT OF ACCESS TO LIMIT DEPOSITS OF EARTH AND OTHER HAULED MATERIALS ONTO THE ADJACENT LOT. THE CONTRACTOR SHALL ROUTINELY CLEAN ALL SEDIMENT DEPOSITS AND DEBRIS FROM ROADWAY AS THEY OCCUR.									
EROSION CONTROL MAINTENANCE REQUIREMENTS									
SILT FENCE SHALL BE MAINTAINED AROUND THE PERIMETER OF ALL EARTHWORK AREAS TO PREVENT SEDIMENT TRANSPORT ONTO ADJACENT PROPERTIES OR OFFSITE ROADWAYS, AS APPLICABLE.									
SILT FENCE FILTER BARRIERS SHALL BE INSTALLED AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE									
CONSTRUCTION ENTRANCE <ul style="list-style-type: none"><li>THE GRAVEL CONSTRUCTION ENTRANCE MUST BE MAINTAINED IN A CONDITION TO PREVENT TRACKING OR DIRECT FLOW OF MUD ONTO ADJACENT ROADWAYS.</li><li>REPLACEMENT OF STONE MAY BE NECESSARY TO ENSURE THE GRAVEL ENTRANCE FUNCTIONS PROPERLY. REPLENISHMENT OF STONE MAY BE NECESSARY.</li><li>FREQUENT CHECKS OF THE DEVICE AND TIMELY MAINTENANCE SHOULD BE COMPLETED.</li><li>ANY MATERIAL TRACKED ONTO THE ROADWAY SHALL BE CLEANED UP IMMEDIATELY.</li></ul>									
SILT FENCE <ul style="list-style-type: none"><li>INSPECT THE SILT FENCE ON A REGULAR BASIS AND AFTER EACH SIGNIFICANT RAINFALL. MAKE ANY REPAIRS IMMEDIATELY.</li><li>INSPECT THE SILT FENCE TO BE SURE THE BOTTOM OF THE GEOTEXTILE IS KEYED IN PROPERLY.</li><li>AT A MINIMUM, REMOVE AND DISPOSE OF ALL SILT ACCUMULATIONS WHEN DEPTH REACHES 1/2 THE HEIGHT OF THE GEOTEXTILE. DO NOT UNDERMINE THE FENCE DURING CLEANOUT.</li><li>DISPOSE OF SEDIMENT BY HAULING IT TO AN APPROVED WASTE SITE WITH APPROPRIATE PERIMETER PROTECTION.</li><li>REMOVE AND REPLACE DETERIORATED OR CLOGGED SILT FENCE.</li><li>REPLACE SILT FENCE REMOVED FOR ACCESS AT THE END OF EACH DAY'S OPERATION.</li><li>INSTALL ADDITIONAL POSTS OR WIRE BACKING IF FENCE IS SAGGING.</li></ul>									
TEMPORARY DIVERSION <ul style="list-style-type: none"><li>DEVICES SHOULD BE INSPECTED ON REGULAR BASIS AND AFTER EACH SIGNICANT RAINFALL</li><li>AT A MINIMUM, SEDIMENT SHOULD BE REMOVED FROM THE CHANNEL WHEN THE TEMPORARY DIVERSION IS 50 PERCENT OF THE DESIGN DEPTH</li><li>TEMPORARY DIVERSIONS SHOULD BE IMMEDIATELY REPAIRED IF DAMAGED BY EQUIPMENT OR BREACHED BY RUNOFF</li></ul>									
SILT FENCE OUTLET <ul style="list-style-type: none"><li>INSPECT THE DEVICE PERIODICALLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT FOR DAMAGE AND SEDIMENT ACCUMULATION TO CONFIRM THE DEVICE IS FUNCTIONING PROPERLY.</li><li>AT A MINIMUM, REMOVE SEDIMENT FROM THE DEVICE WHEN ACCUMULATIONS REACH ONE-HALF THE HEIGHT OF THE SEDIMENT CONTROL STONE.</li><li>REPLACE OR CLEAN THE SEDIMENT CONTROL STONE AS NEEDED TO ALLOW WATER TO DRAIN THROUGH THE DEVICE BETWEEN RAINFALL EVENTS.</li><li>REBUILD AND/OR REPAIR THE DEVICE WHEN IT IS DAMAGED.</li><li>REPAIR AREAS WHERE SSCF BECOMES UNDERMINED DUE TO CONCENTRATED FLOWS.</li></ul>									
GROUND STABILIZATION NOTES									
SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:									
ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND AU SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.									
ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.									
CONDITIONS - IN MEETING THE STABILIZATION REQUIREMENTS ABOVE, THE FOLLOWING CONDITIONS OR EXEMPTIONS SHALL APPLY:									
ALL SLOPES 50' IN LENGTH OR GREATER SHALL APPLY THE GROUND COVER WITHIN 7 DAYS EXCEPT WHEN THE SLOPE IS FLATTER THAN 4:1. SLOPES LESS THAN 50' SHALL APPLY GROUND COVER WITHIN 14 DAYS EXCEPT WHEN SLOPES ARE STEEPER THAN 3:1, THE 7 DAY-REQUIREMENT APPLIES.									
ANY SLOPED AREA FLATTER THAN 4:1 SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT.									
SLOPES 10' OR LESS IN LENGTH SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT EXCEPT WHEN THE SLOPE IS STEEPER THAN 2:1.									
ALTHOUGH STABILIZATION IS USUALLY SPECIFIED AS GROUND COVER, OTHER METHODS, SUCH AS CHEMICAL STABILIZATION, MAY BE ALLOWED ON A CASE-BY-CASE BASIS.									
FOR PORTIONS OF PROJECTS WITHIN THE SEDIMENT CONTROL COMMISSION-DEFINED "HIGH QUALITY WATER ZONE" (ISA NCAC 04A. 0105), STABILIZATION WITH GROUND COVER SHALL BE ACHIEVED AS SOON AS PRACTICABLE BUT IN ANY EVENT ON ALL AREAS OF THE SITE WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACT.									
PORTIONS OF A SITE THAT ARE LOWER IN ELEVATION THAN ADJACENT DISCHARGE LOCATIONS AND ARE NOT EXPECTED TO DISCHARGE DURING CONSTRUCTION MAY BE EXEMPT FROM THE TEMPORARY GROUND COVER REQUIREMENTS IF IDENTIFIED ON THE APPROVED E83C PLAN OR ADDED BY THE PERMITTING AUTHORITY.									
UTILITY NOTES									
ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)									
UTILITY SEPARATION REQUIREMENTS: <ul style="list-style-type: none"><li>a) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER &amp; ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER, IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED &amp; INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL. WHEN INSTALLING WATER &amp;/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER &amp; MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER</li><li>b) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED &amp; INSTALLED TO WATERLINE SPECIFICATIONS</li><li>c) 5 0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER &amp; STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER</li><li>d) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN &amp; RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER &amp; RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS &amp; A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 &amp; S-49)</li><li>f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER &amp; SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED</li></ul>									
ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION									
DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY									
CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT									
3:0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS									
IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE									
INSTALL 1/2" COPPER" WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE									
INSTALL 4" PVC" SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM									
PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE									
ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION									
NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION									
GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION									
CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION									
PAVING, GRADING AND DRAINAGE NOTES									
ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTIONAL RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR NCDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.									
ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.									
TRAFFIC CONTROL ON ALL NCDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.									
THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.									
ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SEEDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.									
ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.									
WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.									
WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.									
IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.									
STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.									
FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO NCDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.									
ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.									
ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.									
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.									
THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE.									
SEED, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.									
THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.									
THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.									
RETAINING WALL NOTES									
DESIGN OF ALL RETAINING WALLS IS TO BE PER INTERNATIONAL BUILDING CODE SECTION 1610.3.									
CONTRACTOR SHALL PROVIDE DETAILED RETAINING WALL DESIGN DRAWINGS, SEALED BY A NC LICENSED ENGINEER, AND SHALL SUBMIT TO THE LOCAL AUTHORITY FOR APPROVAL PRIOR TO CONSTRUCTION.									
A NC LICENSED ENGINEER MUST PERFORM CONSTRUCTION OBSERVATION, VERIFYING IN A SEALED LETTER TO THE LOCAL AUTHORITY, ENGINEER AND OWNER THAT RETAINING WALLS ARE CONSTRUCTED PER THE ENGINEERING DRAWINGS IN COMPLIANCE WITH INTERNATIONAL BUILDING CODE.									
SEEDBED PREPARATION NOTES									
GRADE SLOPES AND FILLS - THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE WHICH CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED SHALL, WITHIN 14 WORKING DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.									
GROUND COVER - WHENEVER LAND DISTURBING ACTIVITY IS UNDERTAKEN ON A TRACT COMPRISING MORE THAN ONE (1) ACRE, IF MORE THAN ONE CONTIGUOUS ACRE IS UNCOVERED, A GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE PLANTED OR OTHERWISE PROVIDED WITHIN 15 WORKING DAYS ON THAT PORTION OF THE TRACT UPON WHICH FURTHER ACTIVE CONSTRUCTION IS NOT BEING UNDERTAKEN.									
SURFACE WATER CONTROL MEASURES TO BE INSTALLED ACCORDING TO PLAN.									
LOOSE ROCKS, ROOTS, AND OTHER OBSTRUCTION SHALL BE REMOVED FROM THE SURFACE SO THAT THEY WILL NOT INTERFERE WITH ESTABLISHMENT AND MAINTENANCE OF VEGETATION. SURFACE FOR FINAL SEEDBED PREPARATION, AT FINISH GRADES SHOWN, SHALL BE REASONABLY SMOOTH AND UNIFORM.									
IF NO SOIL TEST IS TAKEN, FERTILIZER AND LIME ACCORDING TO SEEDING SPECIFICATIONS.									
IF SOIL TEST IS TAKEN, PROVIDE LIME AND FERTILIZER ACCORDING TO SOIL TEST REPORT.									
LIME AND FERTILIZER SHALL BE APPLIED UNIFORMLY AND MIXED WITH THE SOIL DURING SEEDBED PREPARATION.									
GENERAL NOTES									
811									
Know what's below. Call before you dig.									

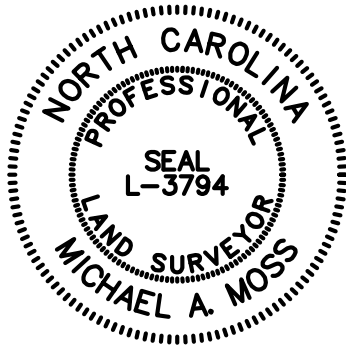


I, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION FROM REFERENCES AS NOTED HERE ON; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION SHOWN IN THE REFERENCES, THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS GREATER THAN 1:10000; THIS SURVEY IS NOT TO BE RECORDED WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR.

Michael A. Moss

3/18/2021

PROFESSIONAL LAND SURVEYOR LICENSE NUMBER L-3794



ADOPTED FROM NC GRID NAD 83/2011



VICINITY MAP

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	S 17°44'29" E	124.25'
L-2	S 32°50'04" E	98.81'
L-3	S 31°56'26" E	128.00'
L-4	S 32°50'04" E	125.00'
L-5	N 57°40'25" E	41.71'
L-6	N 57°53'03" E	119.63'
L-7	N 57°28'44" E	139.98'
L-8	N 57°26'23" E	170.00'
L-9	N 57°23'07" E	62.38'
L-10	N 57°35'22" E	57.66'
L-11	N 57°22'32" E	119.17'

LEGEND:

EIP - EXISTING IRON PIPE  
EIB - EXISTING IRON BAR  
BEIP - BENT IRON PIPE  
BEIB - BENT IRON BAR  
CM - CONCRETE MONUMENT  
EPK - EXISTING PK NAIL  
SPK - SET PK NAIL  
NIP - NEW IRON PIPE SET  
R/W - RIGHT OF WAY  
CATV - CABLE TV BOX  
EB - ELECTRIC BOX  
TEL - TELEPHONE PEDESTAL  
PP - POWER POLE  
OHL - OVERHEAD LINE  
LP - LIGHT POLE  
WM - WATER METER  
WV - WATER VALVE  
CO - SEWER CLEAN-OUT  
CB - CONCRETE  
CB - CATCH BASIN  
MH - MANHOLE  
FH - FIRE HYDRANT  
### - ADDRESS

TOPOGRAPHIC SURVEY FOR

**DONNIE WOODLIEF**

406 EAST YOUNG STREET  
OWNERS: DONNIE LEE WOODLIEF  
& PATSY EDDINS WOODLIEF  
REF: D.B. 13036, PAGE 789  
REF: B.M. 2008, PAGE 651

408 EAST YOUNG STREET  
OWNER: DONNIE L. WOODLIEF  
REF: D.B. 2906, PAGE 75

Ø EAST YOUNG STREET  
OWNERS: DONNIE L. WOODLIEF  
& PATSY E. WOODLIEF  
REF: D.B. 2709, PAGE 910

TOWN OF ROLESVILLE  
WAKE COUNTY, NORTH CAROLINA



SCALE 1"=100'

MARCH 4, 2021  
ZONED R-1

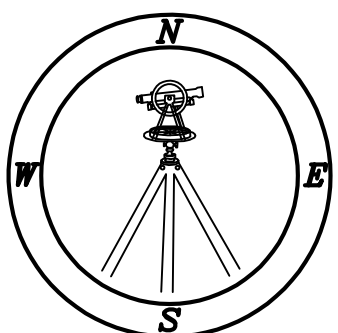
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PIN #1768.05-09-8727  
PIN #1768.05-09-4465  
PIN #1769.17-10-1402

NOTES:

- THIS PLAT SUBJECT TO ALL EASEMENTS, AGREEMENTS AND RIGHTS OF WAY OF RECORD PRIOR TO THE DATE OF THIS PLAT.
- UNDERGROUND UTILITIES HAVE BEEN MARKED OR LOCATED FOR THIS PLAT.
- ALL BEARINGS AND DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS
- ALL ELEVATIONS ARE BASED ON NAVD 88
- ALL CONTOURS ARE AT 1' INTERVALS HIGHLIGHTED EVERY 5'.

LINE TYPE LEGEND

---	PROPERTY LINE - LINE SURVEYED
---	RIGHT-OF-WAY
---	ADJOINING LINE - LINE NOT SURVEYED
---	OVERHEAD LINE
---	BUILDING SETBACK
---	EASEMENT
---	BUFFER
---	FLOOD HAZARD SOILS
-E-E-E-	ELECTRIC LINE
-G-G-G-	GAS LINE
-W-W-W-	WATER LINE
-COMM-COMM-COMM-	COMMUNICATION



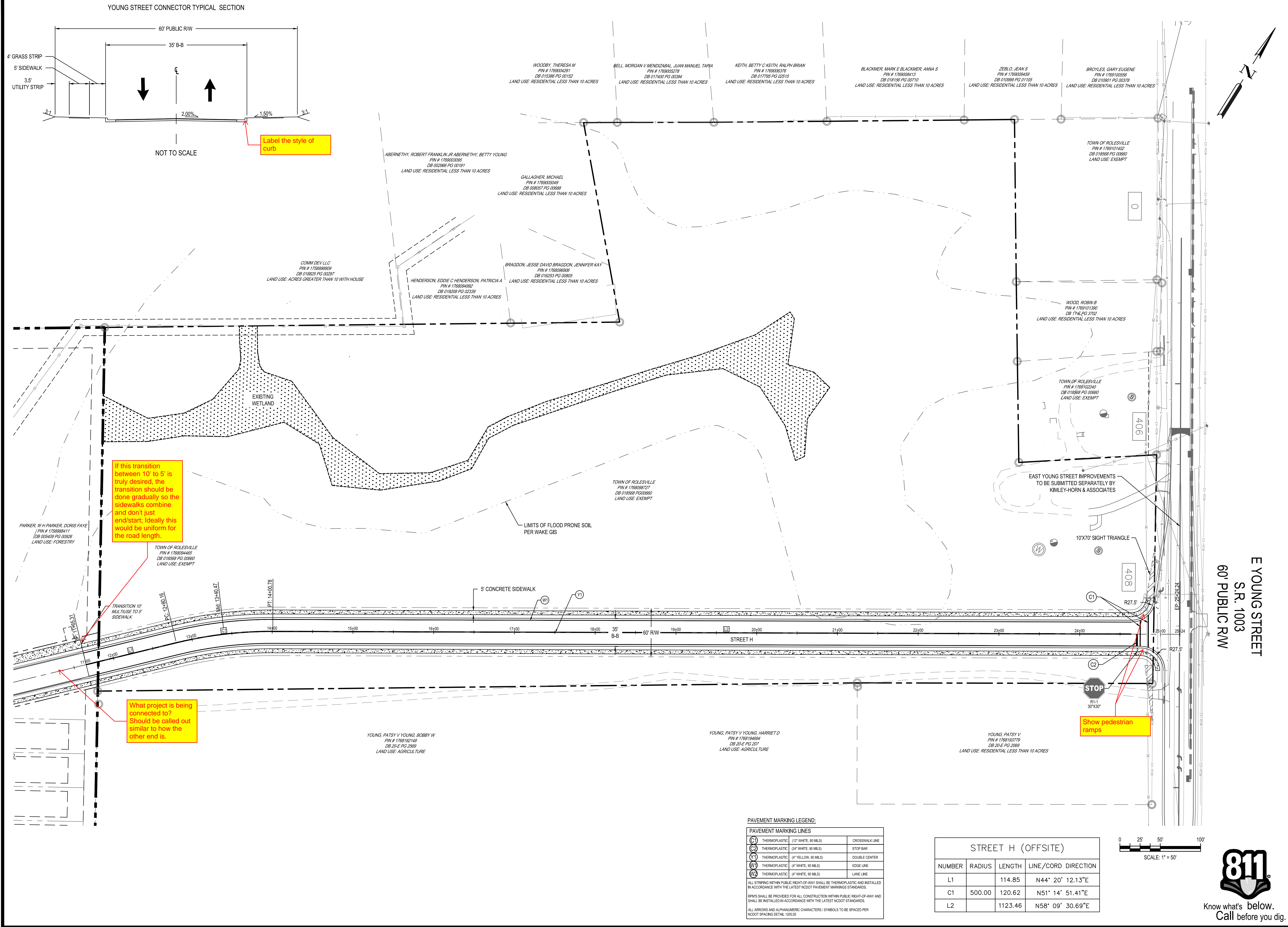
**CMP**

CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148

(X:\PROJECTS\WOODLIEF-ROLESVILLE - JC)



G:\NCA\Projects\Lennar\8430-03 - Lennar - School Street - Rolesville\03 - DWG\PlanSheets\Off-Site\R7-0 - X-SECT-RD.dwg Layout: SITE PLAN Plotted: 7/3/2023 1:28:21 PM





G:\NCA\Projects\Lennar\8430-03 - DWG\PlanSheets\Off-Site\8430-03 - GRAD-RD.dwg Layout: GRADING AND DRAINAGE PLAN Plotted: 7/3/2023 3:29:35 PM



EAST YOUNG STREET  
(S.R. 1003)  
60' PUBLIC RW

PROPOSED GRADING AND DRAINAGE LEGEND

	PROPOSED CURB AND GUTTER
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT
	PROPOSED GRADING ARROW
	PROPOSED STORM SYMBOL
	PROPOSED STORM
	PROPOSED TEMP CONSTRUCTION EASEMENT
	PROPOSED RIGHT OF WAY

STRUCTURES ABBREVIATIONS:

AD	AREA DRAIN (NOT PLANT 12X12 DRAIN)
BL	BLINDING ENTRY
CB	CATCH BASIN
CA	CATCH BASIN
DR	DROP INLET
EX	EXISTING CATCH BASIN TO REMAIN
FL	FLARED END SECTION
HM	HORIZONTAL MANHOLE
MAN	MANHOLE

STRUCTURE DATA TABLE							
STRUCTURE NAME	RIM ELEV.	PIPE IN SIZE	INV. IN	INV. OUT	PIPE OUT SIZE	PIPE OUT LENGTH (LF)	PIPE OUT SLOPE
CB-1001	420.24	18"	416.32 (NE) 416.32 (SE)	416.32 (NW)	18"	97.23	FES-1000
CB-1001A	420.24			416.50 (NW)	18"	35.00	CB-1001
CB-1002	426.27	18"	421.60 (SE)	421.60 (SW)	18"	171.42	CB-1001
CB-1002A	426.27			421.77 (NW)	18"	35.00	CB-1002
CB-1003	427.81	18"	422.81 (SE)	422.81 (NE)	18"	207.05	DCB-1004
CB-1003A	427.82			422.99 (NW)	18"	35.00	CB-1003
CB-1005	424.64	18"	421.43 (SE)	421.43 (SW)	18"	308.57	DCB-1004
CB-1005A	424.82			421.61 (NW)	18"	35.00	CB-1005
DCB-1004	425.03	18"	421.33 (SE) 420.74 (SW) 419.89 (NE)	419.89 (NW)	18"	128.28	FES 1010
DCB-1004A	425.03			421.50 (NW)	18"	35.00	DCB-1004
FES-1000	418.04	18"	415.83 (SE)				
FES 1010	421.46	18"	419.25 (SE)				

PIPE TABLE				
NAME	SIZE	LENGTH	SLOPE	MATERIAL
CB-1004 TO CB-1004A	18"	35.00'	0.50%	RCP
CB-1004 TO CB-1003	18"	207.05'	1.00%	RCP
CB-1002 TO CB-1002A	18"	35.00'	0.50%	RCP
CB-1001 TO CB-1002	18"	171.42'	3.08%	RCP
FES-1000 TO CB-1001	18"	97.23'	0.50%	RCP
CB-1001 TO CB-1001A	18"	35.00'	0.50%	RCP
FES 1010 TO CB-1004	18"	128.28'	0.50%	RCP
CB-1004 TO CB-1005	18"	308.57'	0.50%	RCP
CB-1005 TO CB-1005A	18"	35.00'	0.50%	RCP *
CB-1003 TO CB-1003A	18"	35.00'	0.50%	RCP

\* O-RING PIPE REQUIRED

0 25' 50' 100'  
SCALE: 1" = 50'



Know what's below.  
Call before you dig.

NOT FOR CONSTRUCTION

FILE NUMBER:  
8430-03

DATE: 07/03/2023

C4-0

GRADING AND DRAINAGE  
PLAN

YOUNG STREET  
CONNECTION  
408 E YOUNG STREET  
ROLESVILLE / NORTH CAROLINA / 27571

LENNAR  
CORPORATION  
1100 PERIMETER PARK DRIVE, SUITE 112  
MORRISVILLE / NORTH CAROLINA / 27560

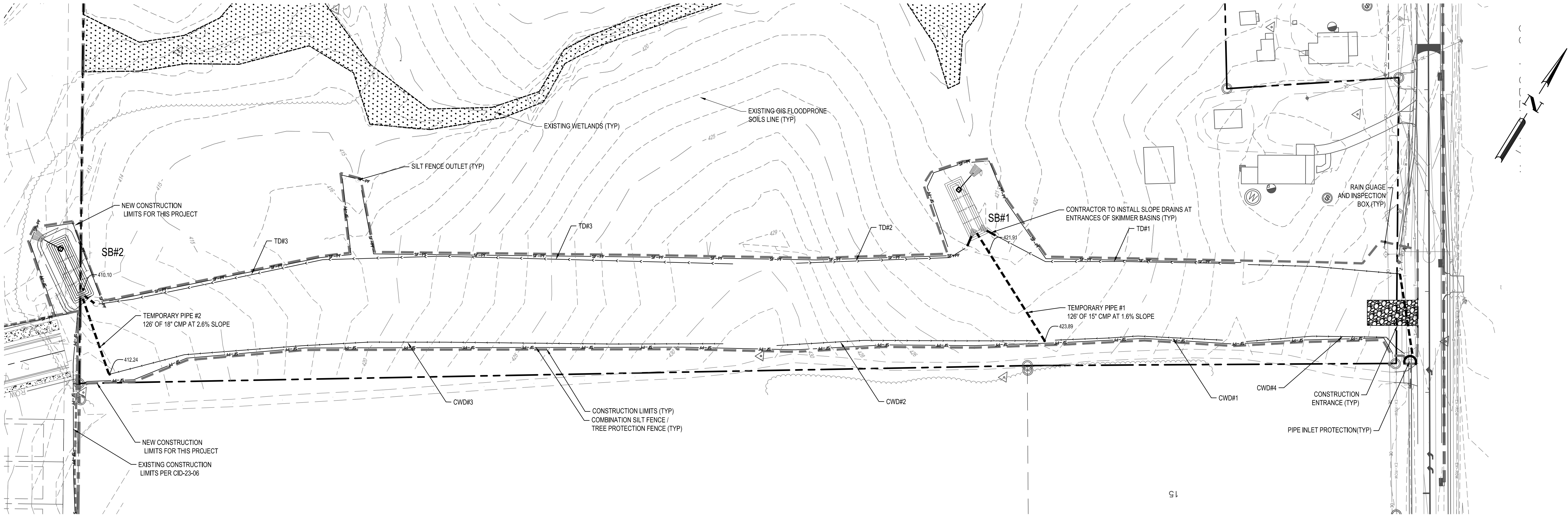
**BCE**

5440 WADE PARK BLVD, SUITE 102  
RALEIGH NC 27607  
WWW.BCEINC.COM  
NC LICENSE #C-4397

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SKIMMER BASIN SUMMARY																	
BASIN NUMBER	DRAINAGE AREA (AC)	DENUDED AREA (AC)	RUNOFF COEFFICIENT	SYSTEM INTENSITY (IN/HR)	10-YEAR PEAK FLOW (CFS)	BASIN DIMENSIONS			TOP OF DAM EL. (FT)	WEIR LENGTH (FT)	AREA REQUIRED (SF)	AREA PROVIDED (SF)	VOLUME REQUIRED (CF)	VOLUME PROVIDED (CF)	SKIMMER SIZE (IN)	SKIMMER ORIFICE DIA. (IN)	DEWATERING TIME (DAYS)
						DEPTH (FT)	LENGTH (FT)	WIDTH (FT)									
SB #1	1.16	1.16	0.50	7.25	4.21	3.0	66	22	278	6	1,367	1,452	2,088	2,916	4	0.75	2.78
SB #2	1.13	1.13	0.50	7.25	4.10	3.0	66	22	290	6	1,331	1,452	2,034	2,916	4	0.75	2.71

#### Temporary Diversion Ditch, Pipe Sizing & Lining Calculations

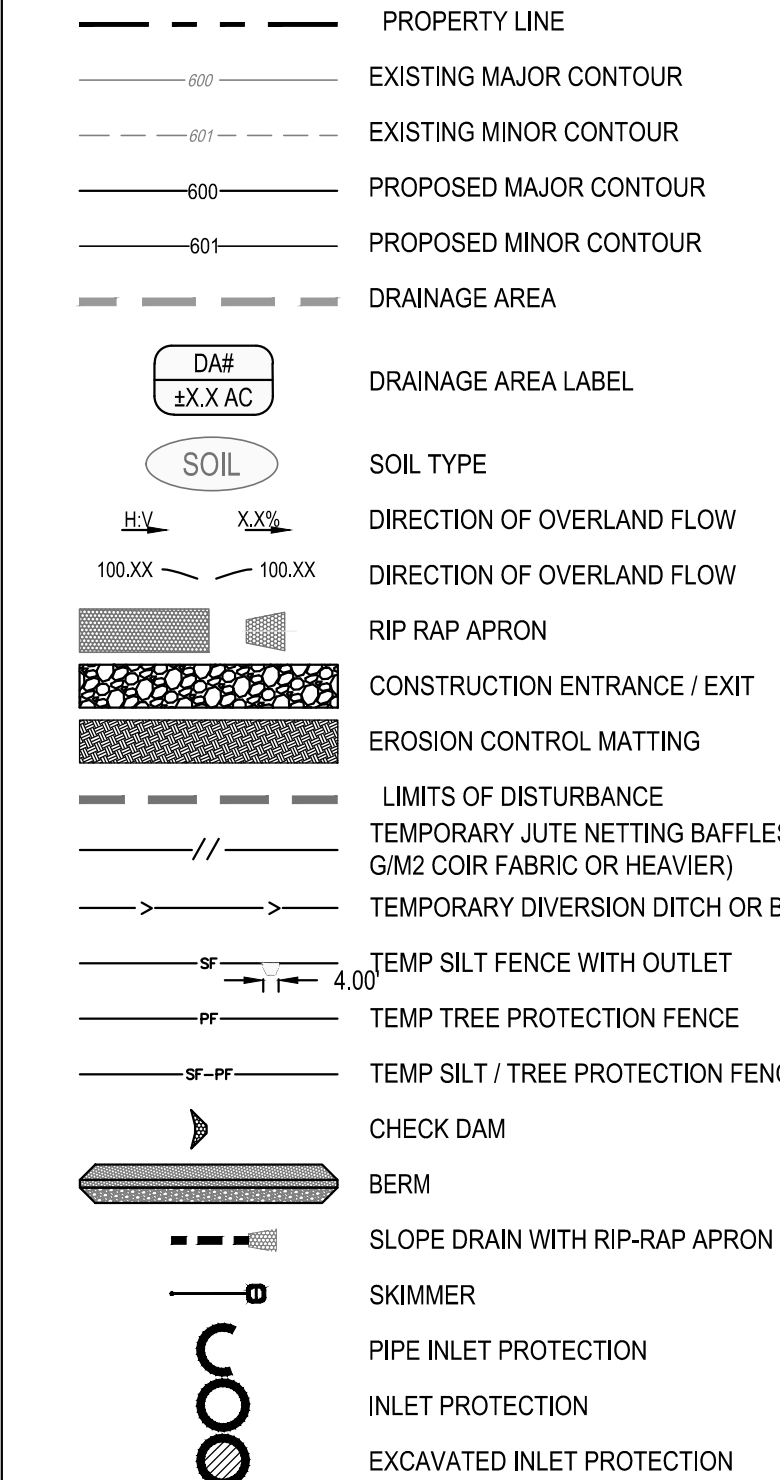
Rainfall Intensity  $I_{10-yr} = 7.25$  in/hr

Swale ID	Rational C	Drainage Area (ac)	$Q_{10-yr}$ (cfs)	Slope (%)	Calculated Depth (ft)	Calculated Shear Stress (lbs/ft <sup>2</sup> )	Calculated Velocity (ft/s)	Bottom Width (ft)	# of Check Dams	Type of Liner	Slope Drain Type and Size (in)
TD1	0.50	0.34	1.24	2.49%	0.23	0.004	2.19	2	2	GRASS	CMP - 12"
TD2	0.50	0.43	1.55	3.65%	0.23	0.01	2.69	4	3	GRASS	CMP - 12"
TD3	0.50	1.13	4.11	2.72%	0.44	0.01	3.25	2	8	GRASS	CMP - 12"
CWD 1	0.50	0.15	0.53	4.41%	0.31	0.01	2.78	0	3	GRASS	N/A
CWD 2	0.50	0.25	0.89	3.13%	0.40	0.01	2.77	0	4	GRASS	N/A
CWD 3	0.50	0.60	2.19	4.00%	0.53	0.01	3.82	0	4	GRASS	N/A
PIPE 1	0.50	1.16	4.21	1.59%	0.98	0.01	6.81	4	1	N/A	CMP - 15"
PIPE 2	0.50	1.74	6.31	2.56%	0.92	0.01	5.83	4	1	N/A	CMP - 18"

NOTES:  
All ditches are to be trapezoidal in shape: 2:1 sideslopes, and height of 1.0'  
Calculated Depth and Calculated Velocity Based on Flowmaster Output  
NAG S150: North American Green S150 or approved equal

ABBREVIATIONS  
TD = TEMPORARY DIVERSION  
CWD = CLEAN WATER DIVERSION  
SB = SKIMMER BASIN

#### EROSION CONTROL LEGEND



#### NARRATIVE

PROJECT INCLUDES APPROXIMATELY 1,520 LINEAR FEET OF 36" BACK TO BACK STREET SECTION TO CONNECT STREET H TO YOUNG STREET AND STORM DRAINAGE IN ROLESVILLE, NC. THERE IS A FUTURE DEVELOPMENT (BY OTHERS) ON THIS PROPERTY THAT WILL REQUIRE STORMWATER CONTROL MEASURES AND WILL TREAT THE NEW IMPERVIOUS INCLUDING THIS PROJECT'S IMPERVIOUS AREAS.

#### CONSTRUCTION SEQUENCE - PHASE 1

- SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT. OBTAIN A LAND DISTURBING PERMIT.
- INSTALL GRAVEL CONSTRUCTION PAD, BYPASS PIPES AND CLEAN WATER DIVERSIONS TO BYPASS PIPES. INSTALL TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
- CALL ENVIRONMENTAL CONSULTANT FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.

#### CONSTRUCTION SEQUENCE - PHASE 2

- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE.
- INSTALL STORM SEWER, IF SHOWN, AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS, SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ENVIRONMENTAL CONSULTANT FOR AN INSPECTION.
- IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.

DISTURBED AREA: 3.05 AC

0 25' 50' 100'  
SCALE: 1" = 50'



Know what's below.  
Call before you dig.

DESIGNED BY: DF/JWM

DRAWN BY: JWM

REVIEWED BY: DF

DATE

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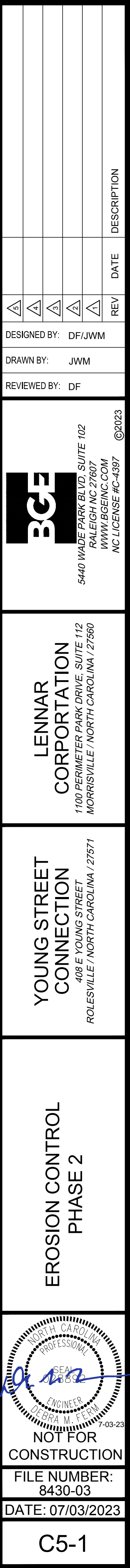
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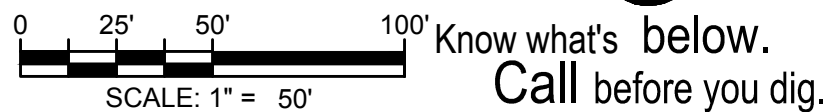



NARRATIVE

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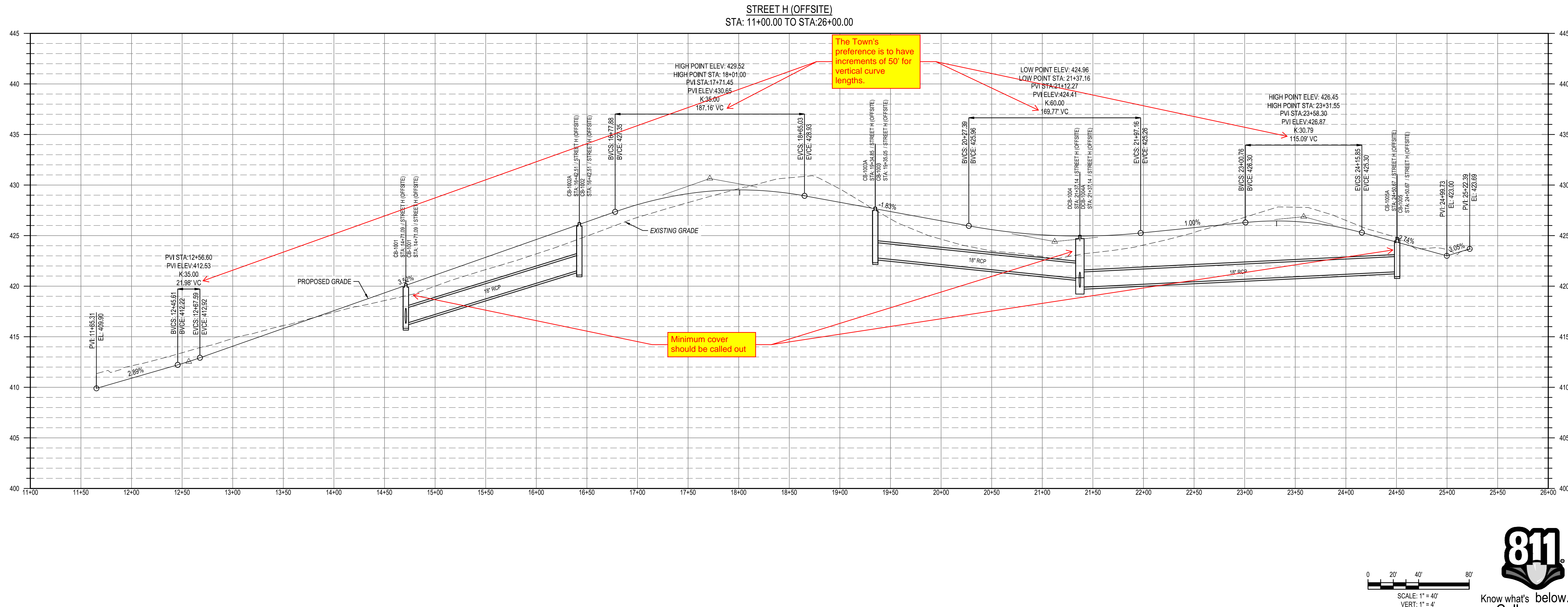
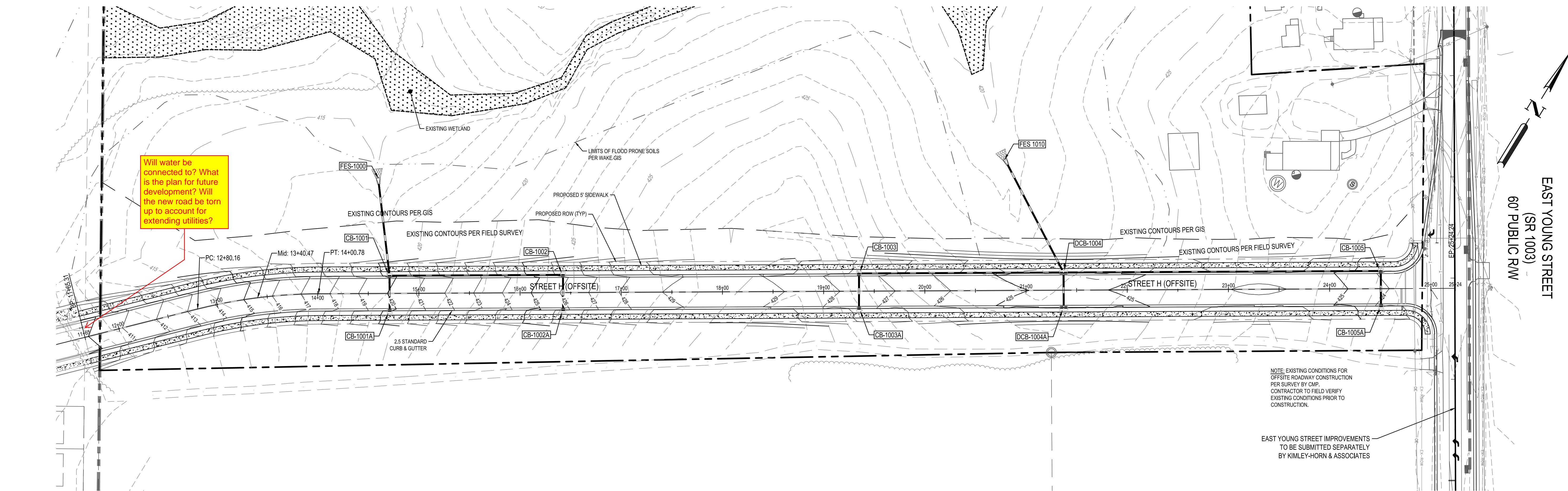
- ## CONSTRUCTION SEQUENCE - PHASE 2

- DISTURBED AREA: 3.05 AC



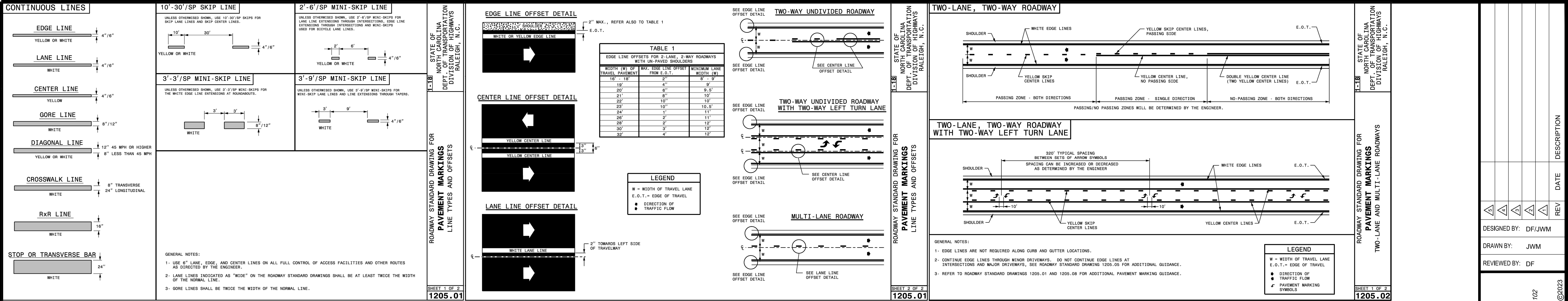

 NORTH CAROLINA  
 PROFESSIONAL  
 ENGINEER  
 DESHA M. FERN  
 7-03-23  
 NOT FOR  
 CONSTRUCTION  
 FILE NUMBER:  
 8430-03  
 DATE: 07/03/2023  
 C5-1



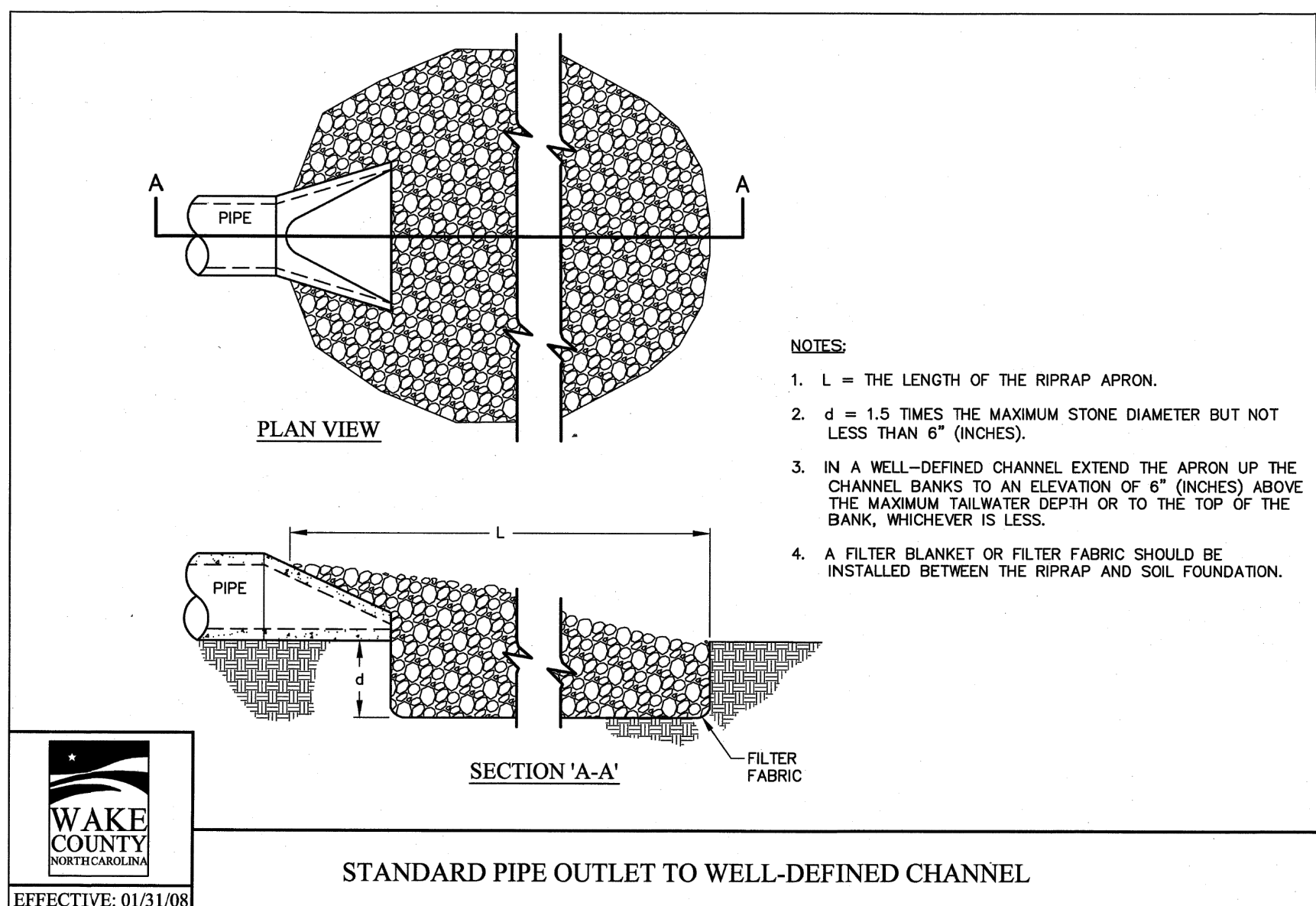
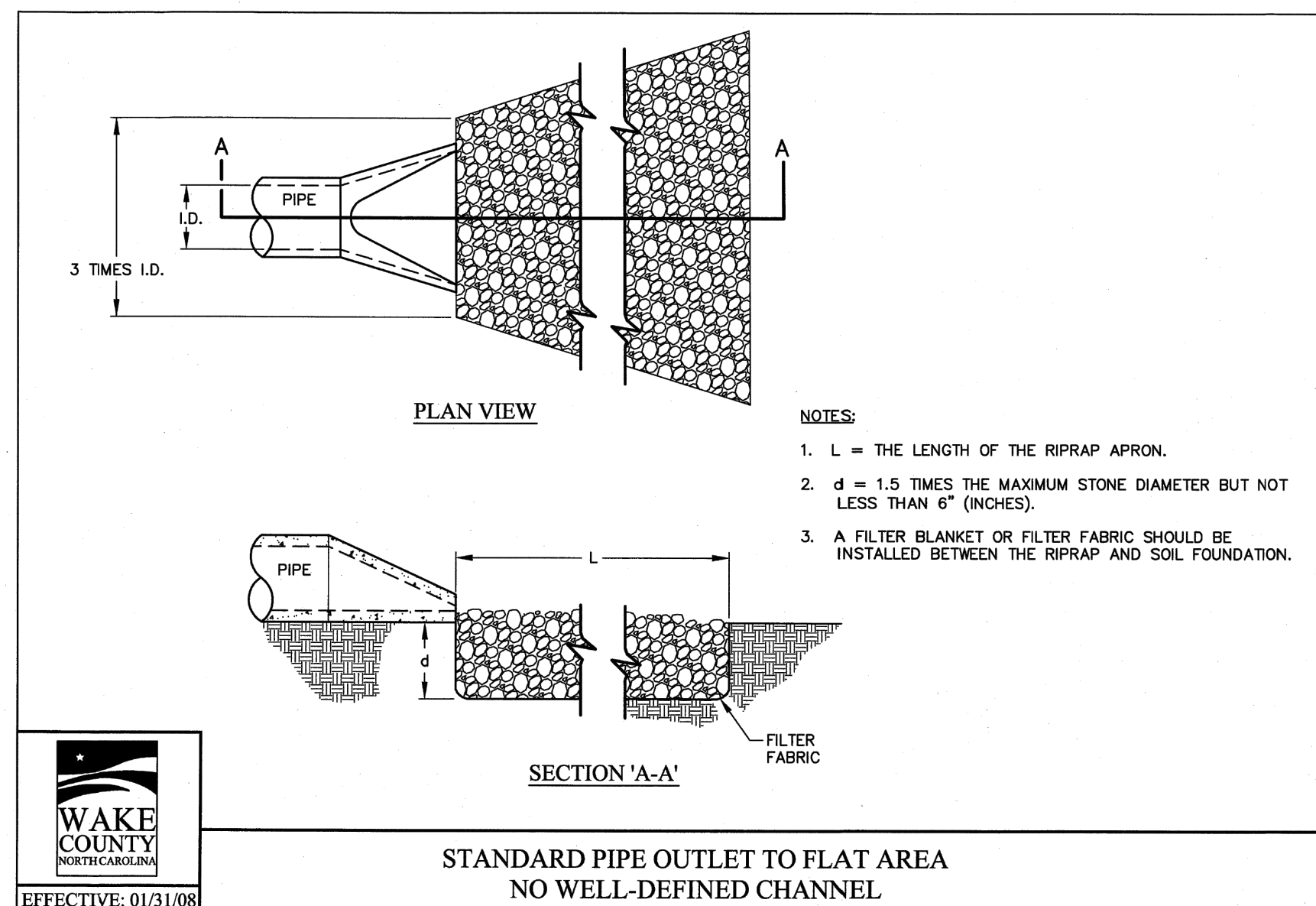
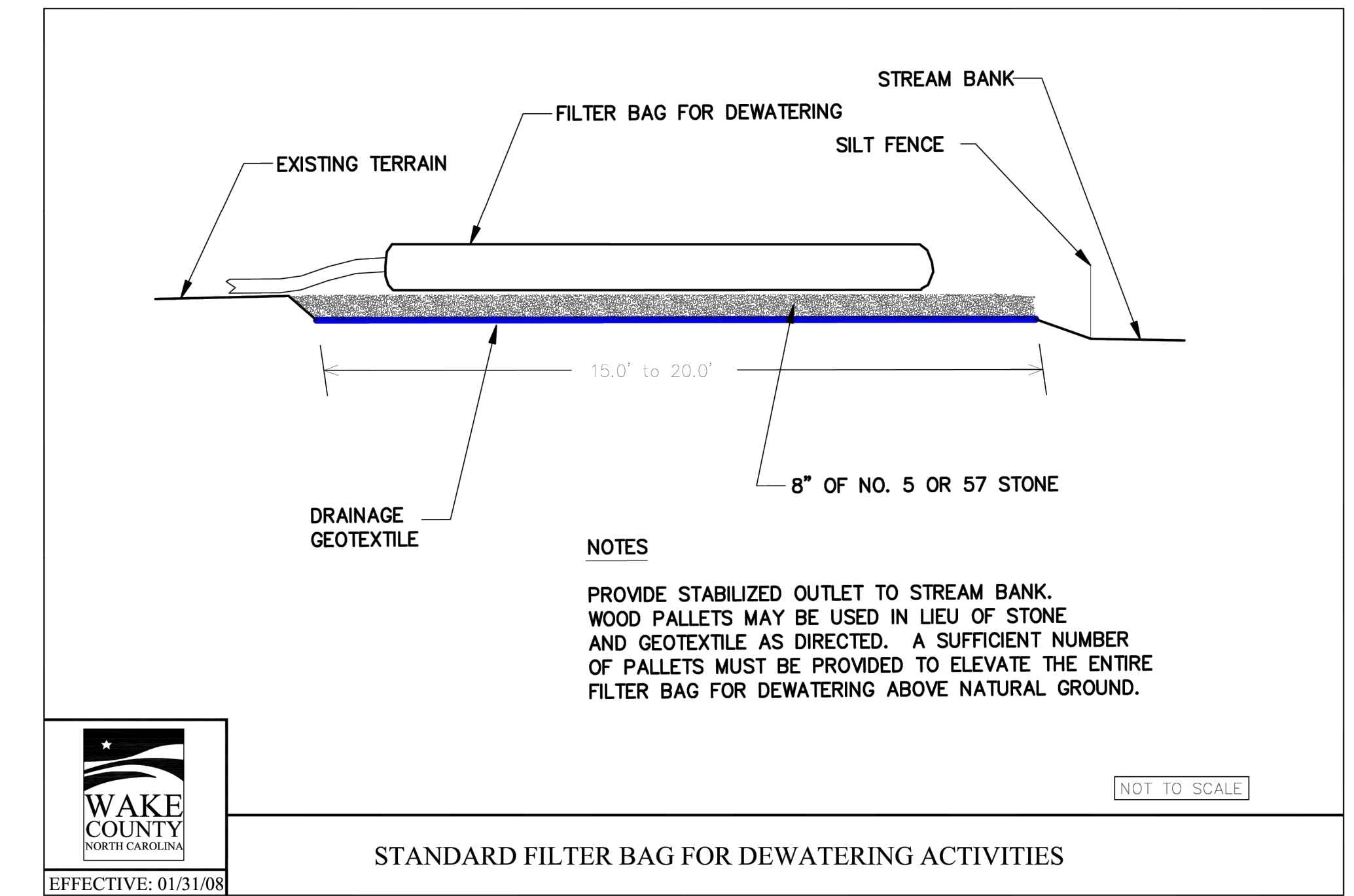
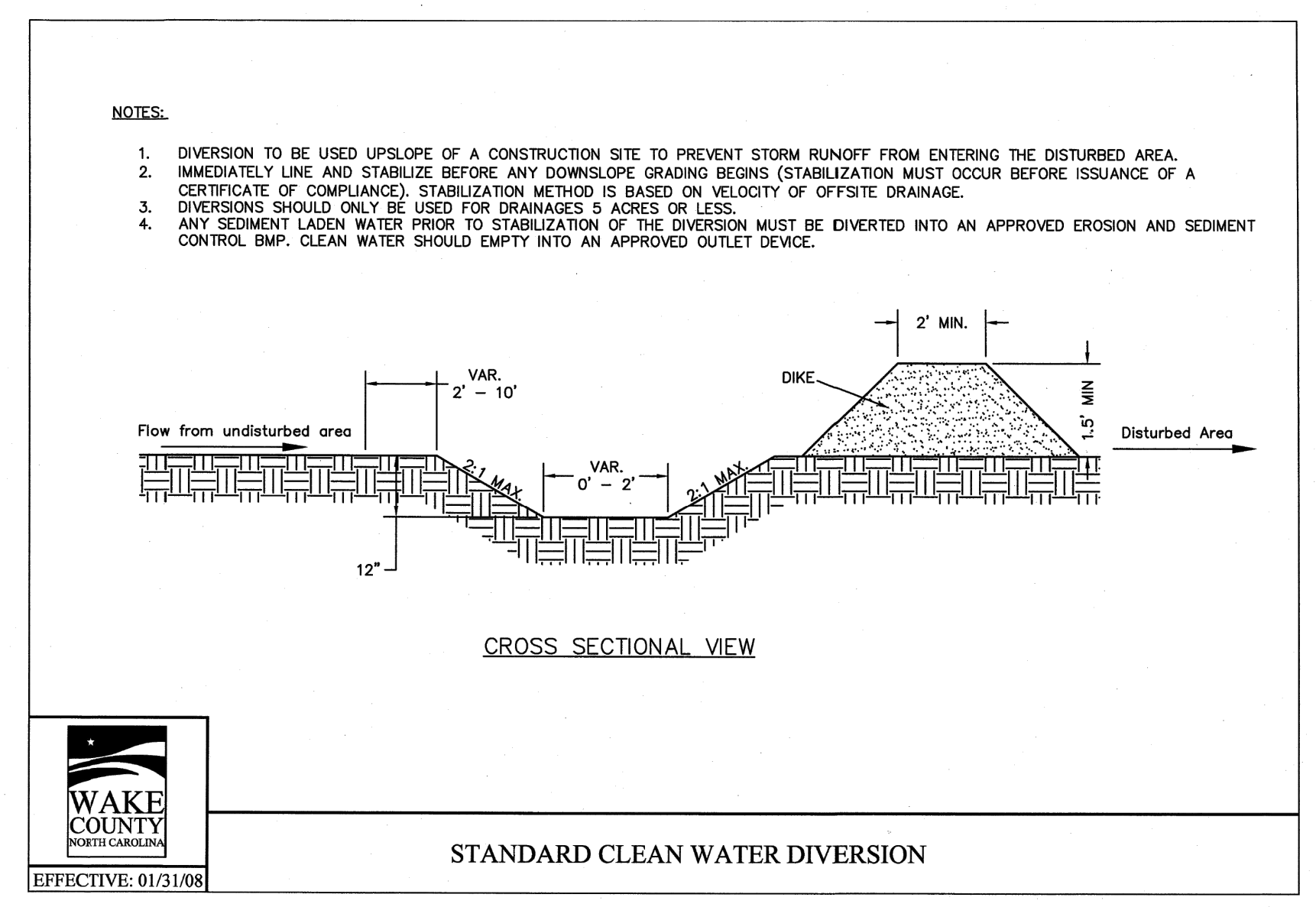
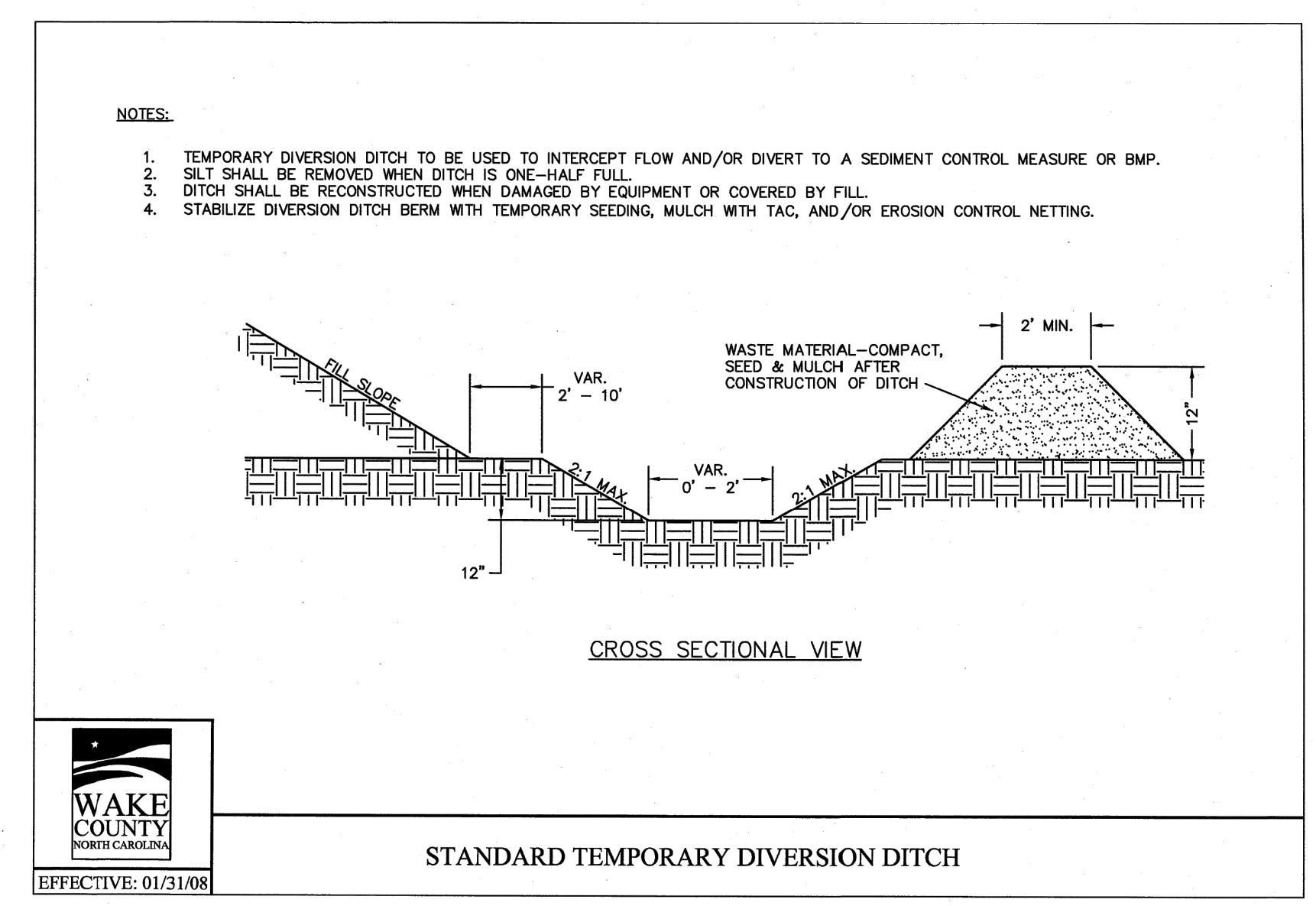
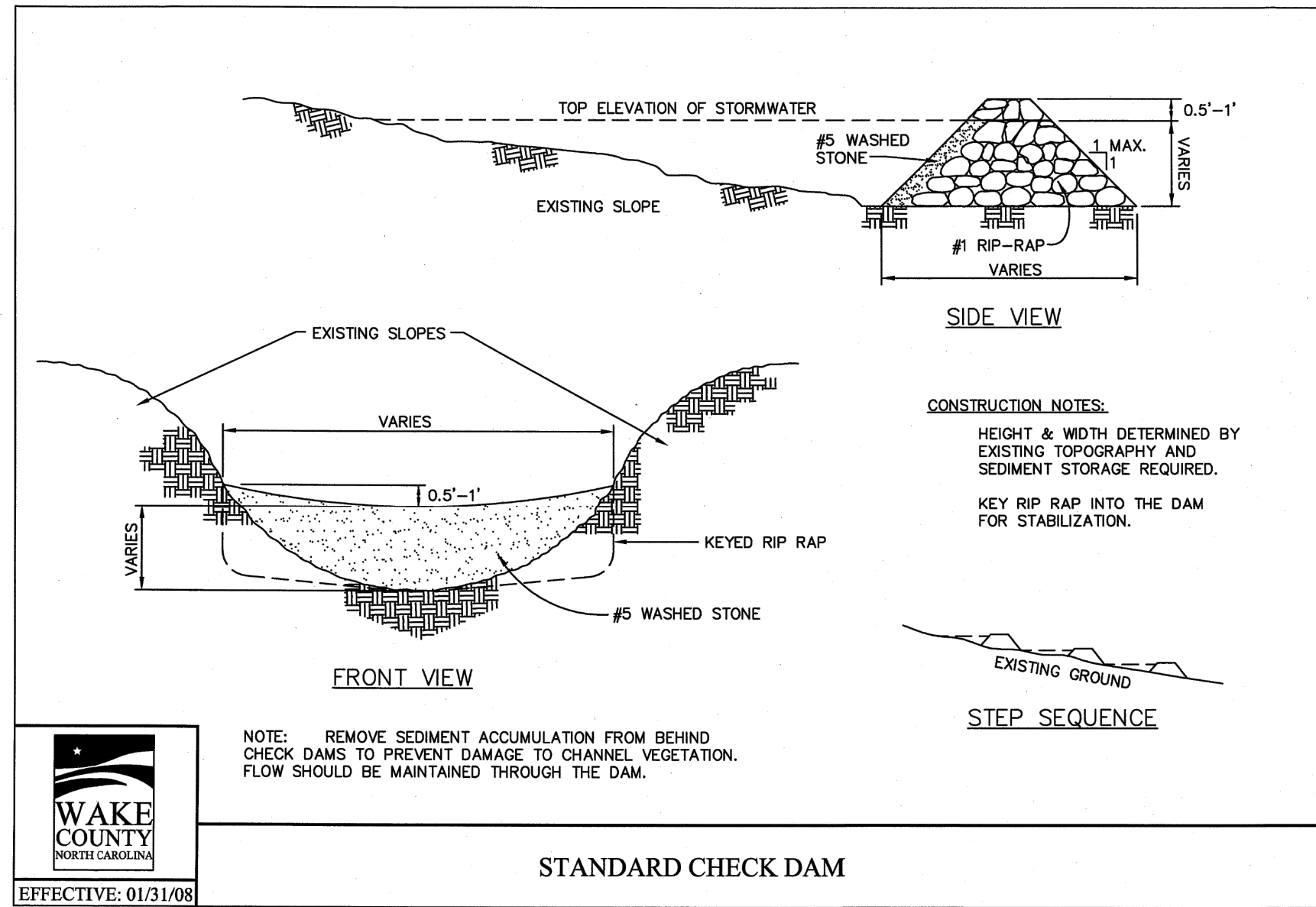
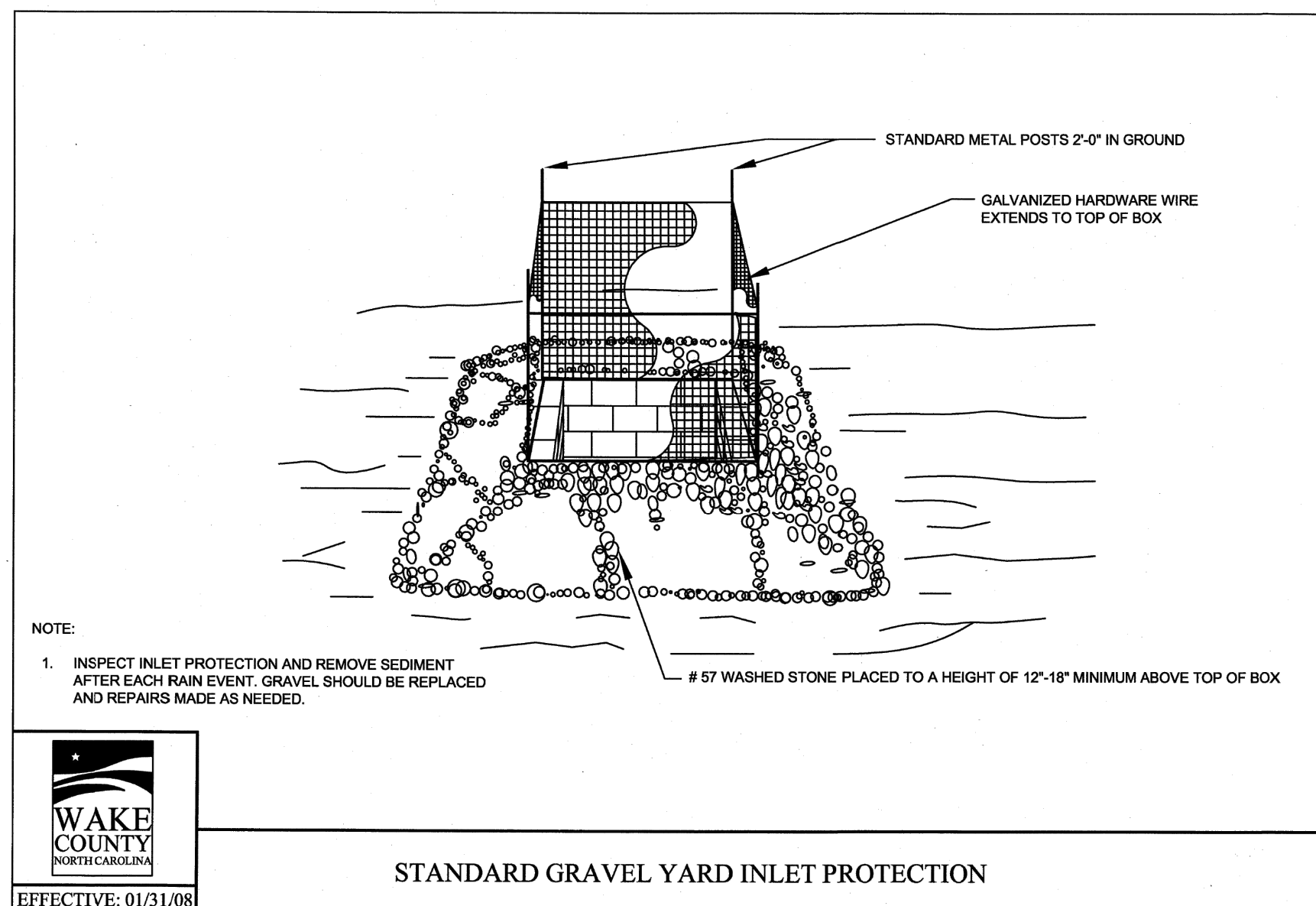
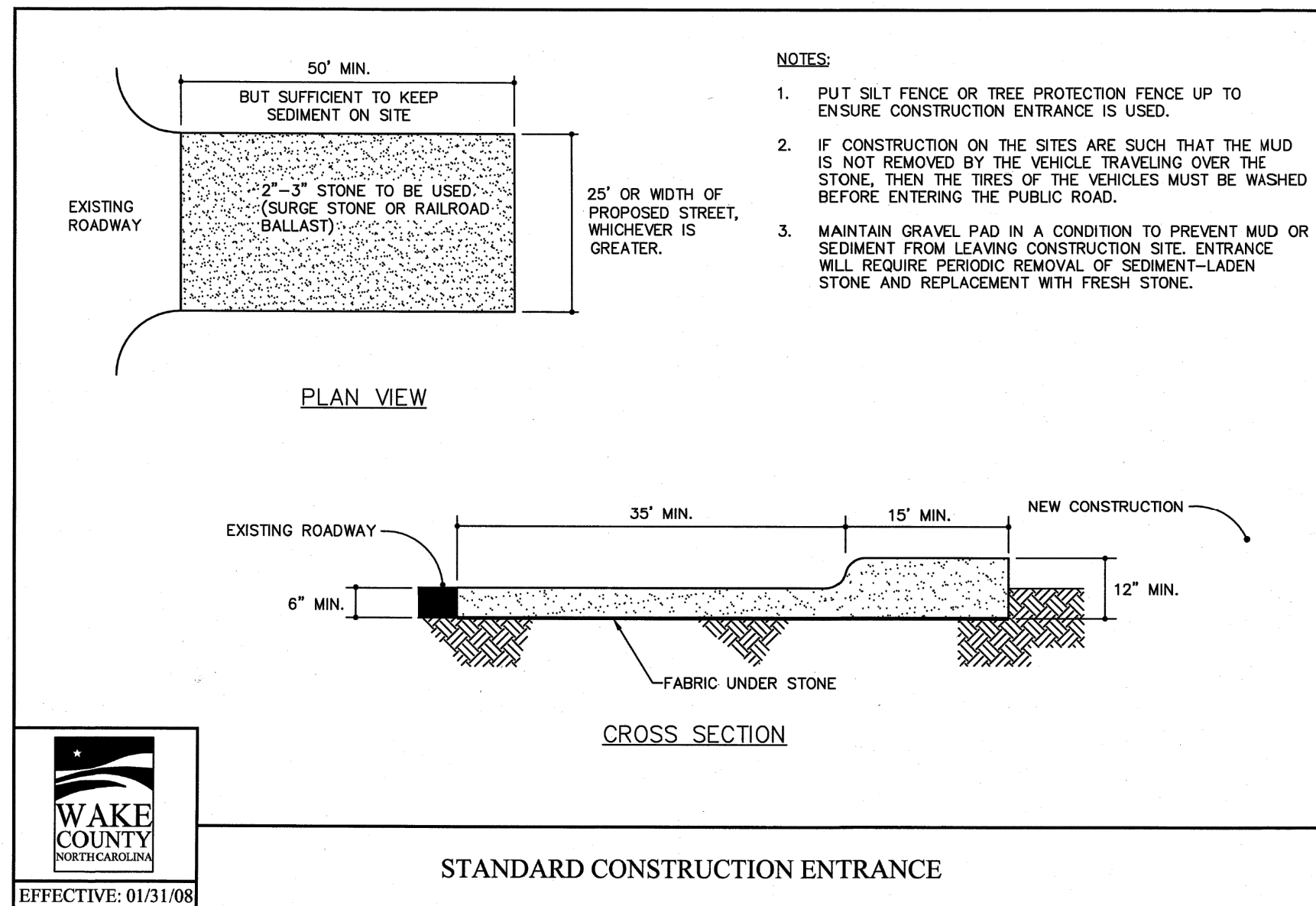
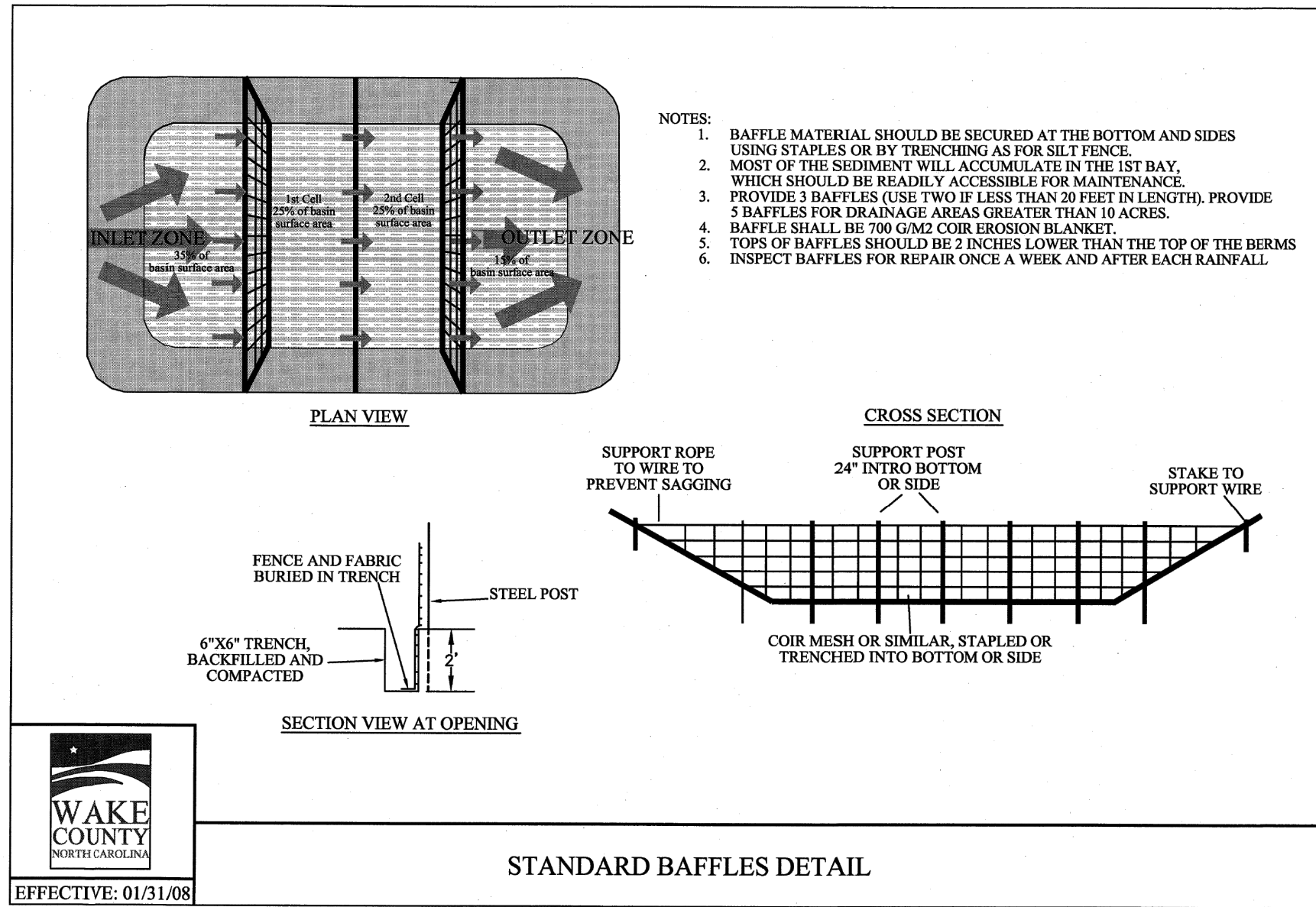


DESIGNED BY:	DF/JWM
DRAWN BY:	JWM
REVIEWED BY:	DF
<b>BCE</b> 5440 WADE PARK BLVD, SUITE 102 RALEIGH NC 27607 WWW.BCEINC.COM NC LICENSE #C-4397	
<b>LENNAR CORPORATION</b> 1100 PERIMETER PARK DRIVE, SUITE 112 MORRISVILLE / NORTH CAROLINA / 27560	
<b>YOUNG STREET CONNECTION</b> 408 E YOUNG STREET ROLESVILLE / NORTH CAROLINA / 27571	
<b>YOUNG STREET CONNECTOR PLAN &amp; PROFILE</b>	
 NOT FOR CONSTRUCTION FILE NUMBER: 8430-03 DATE: 07/03/2023 C6-0	









REVISION	DATE	DESCRIPTION
DESIGNED BY:	DF/JWM	
DRAWN BY:	JWM	
REVIEWED BY:	DF	

**BCE**  
5440 WADE PARK BLVD., SUITE 102  
RALEIGH NC 27607  
WWW.BCEINC.COM  
NC LICENSE #C-4397

**LENNAR CORPORATION**  
1100 PERIMETER PARK DRIVE, SUITE 112  
MORRISVILLE / NORTH CAROLINA / 27560

**YOUNG STREET CONNECTION**  
408 E YOUNG STREET  
ROLESVILLE / NORTH CAROLINA / 27571

**EROSION CONTROL DETAILS (1 OF 2)**

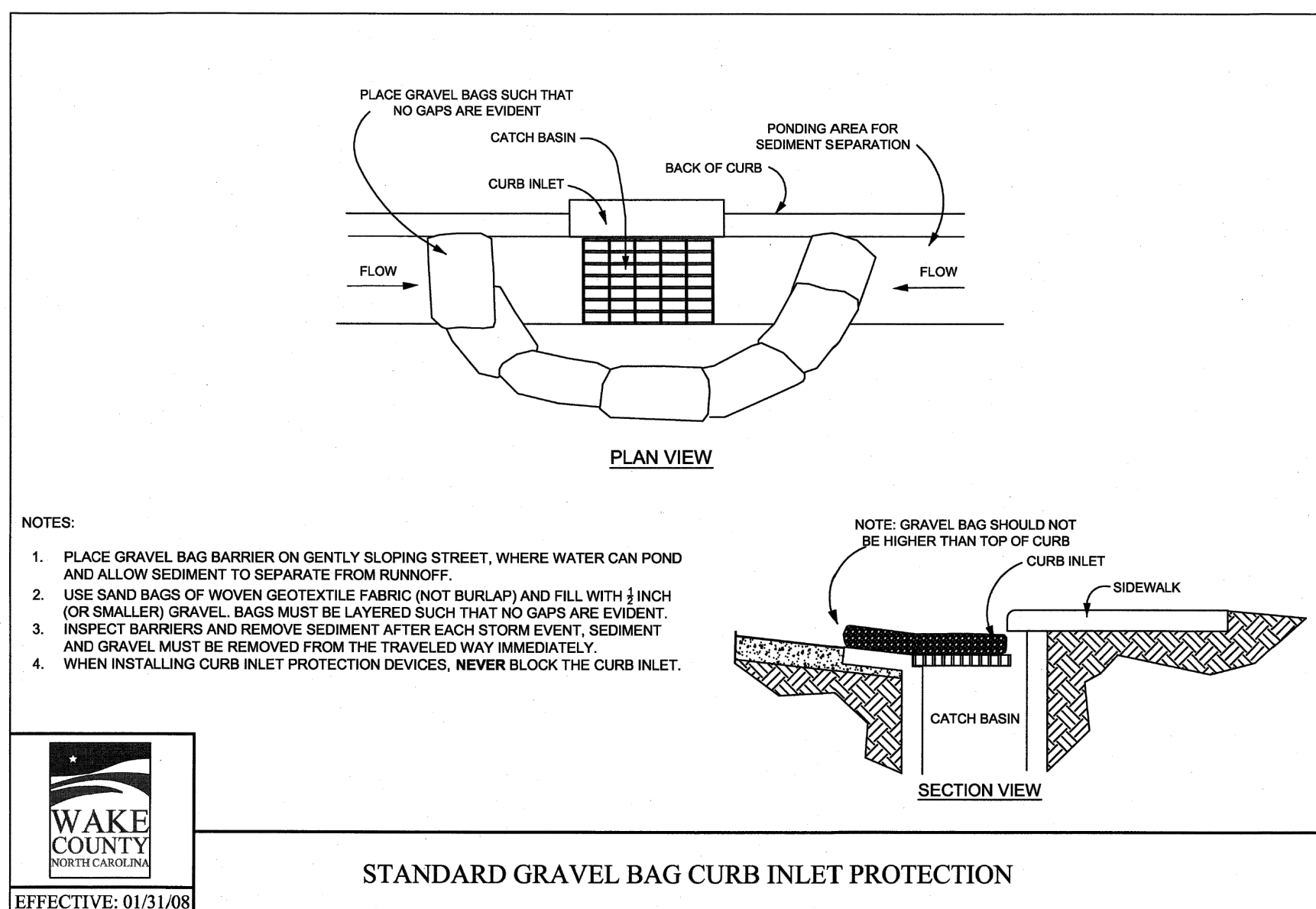
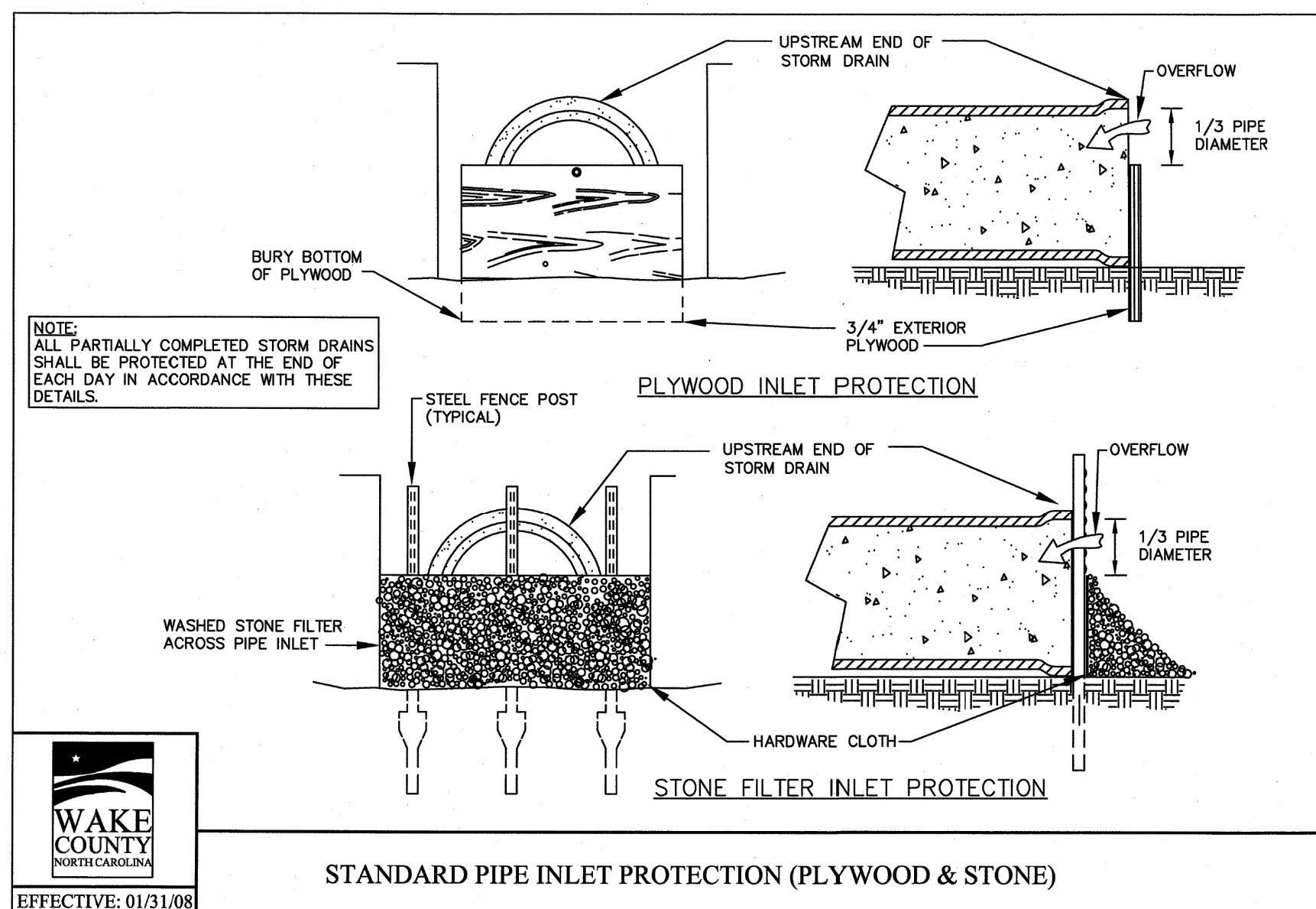
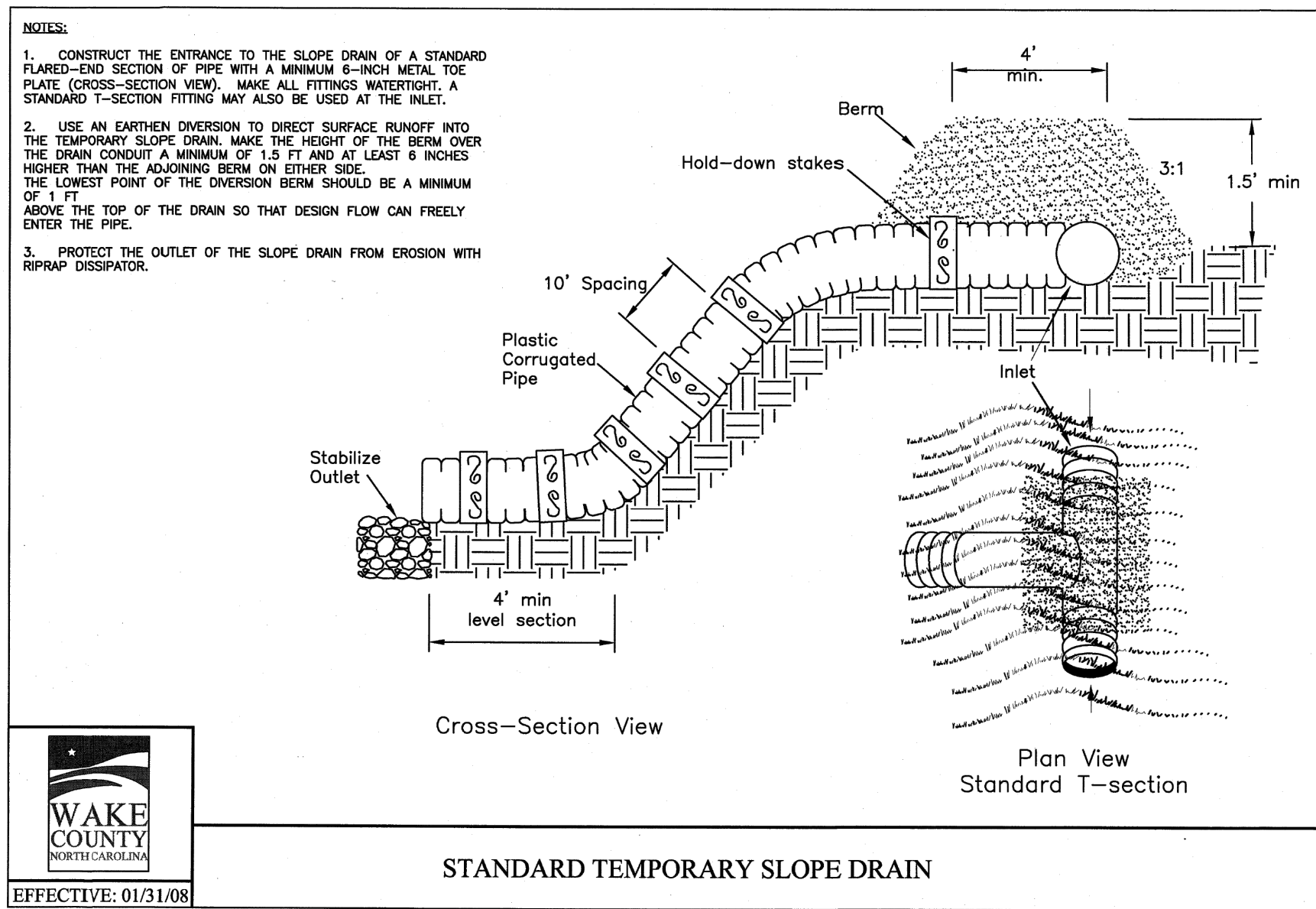
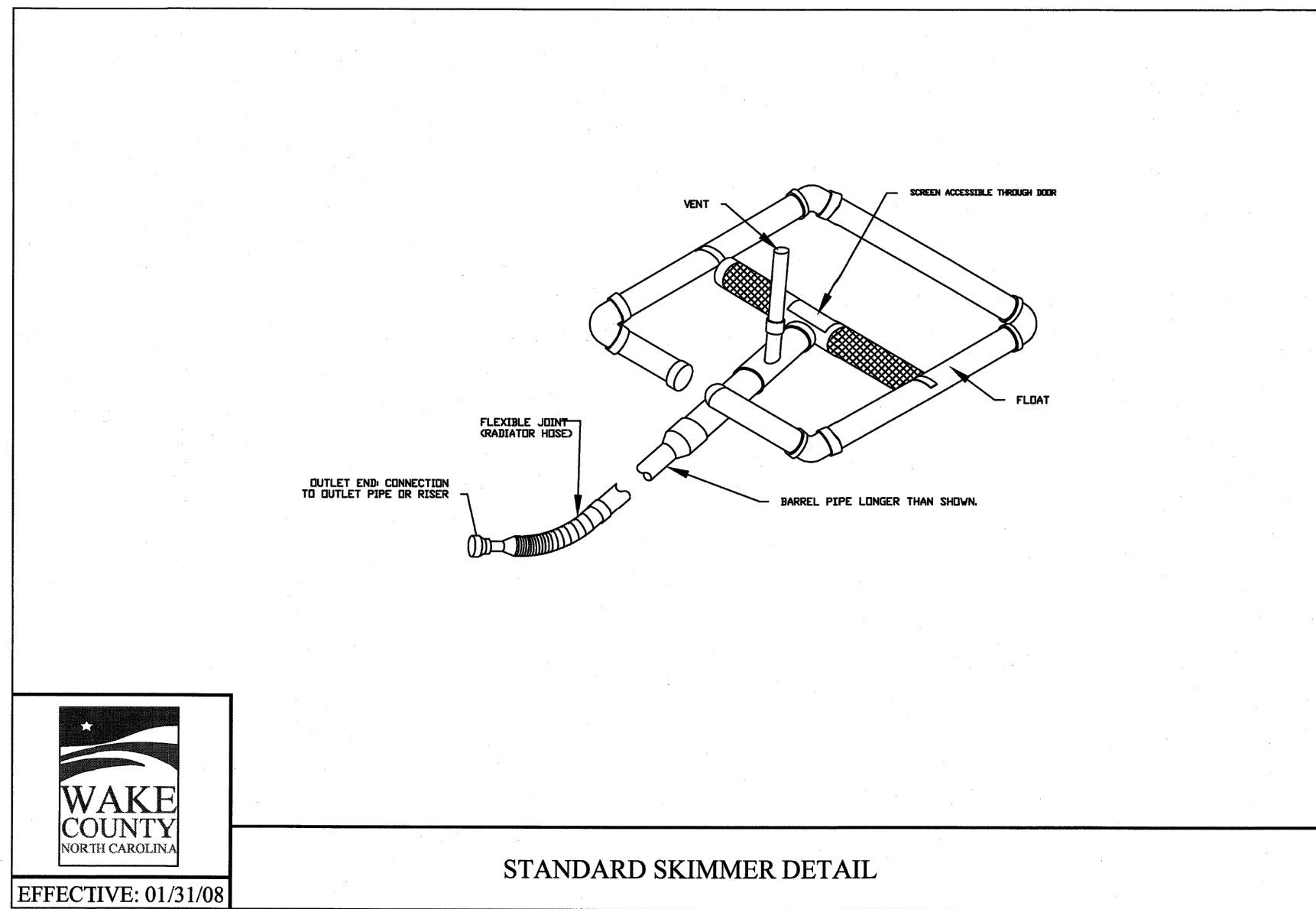
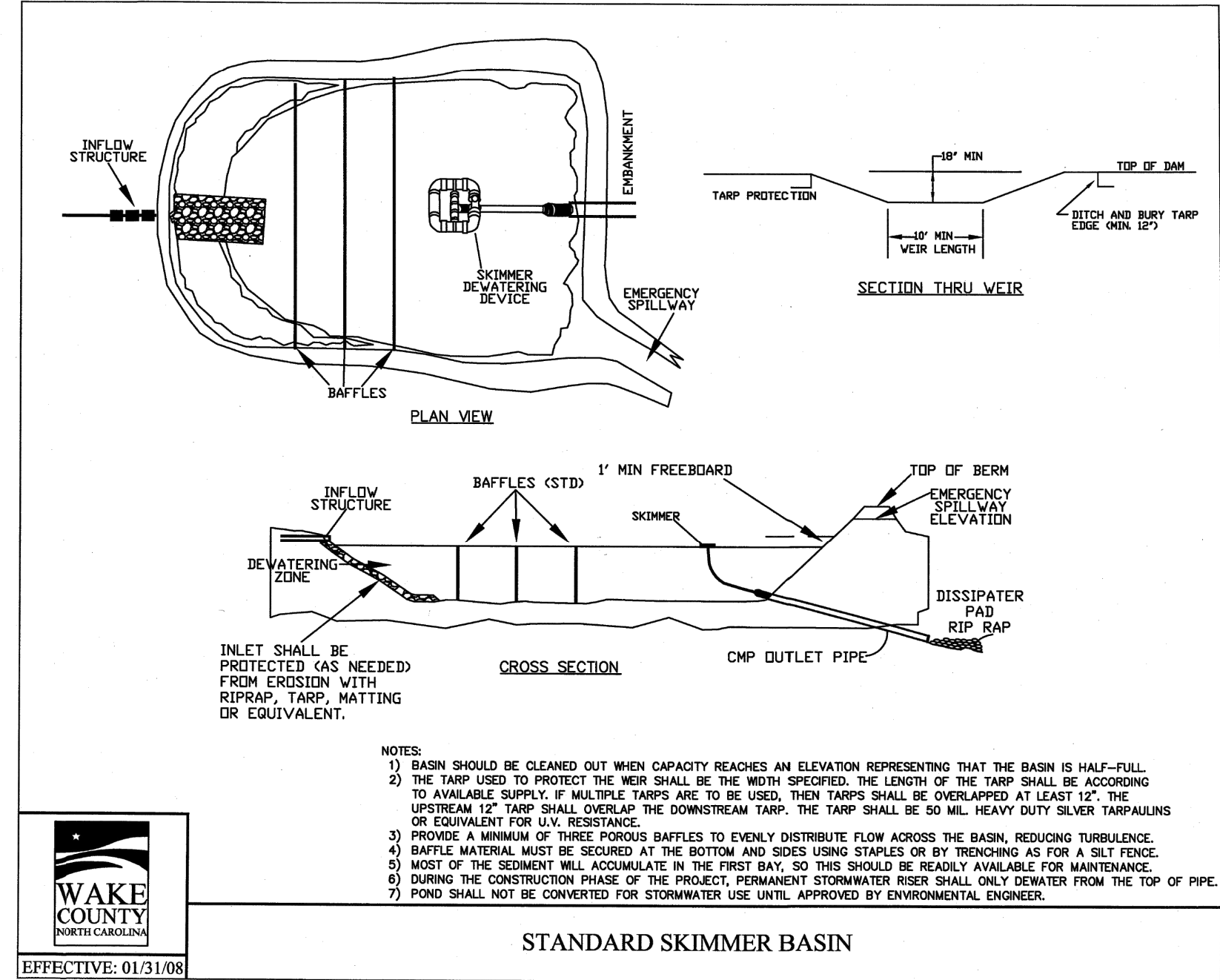
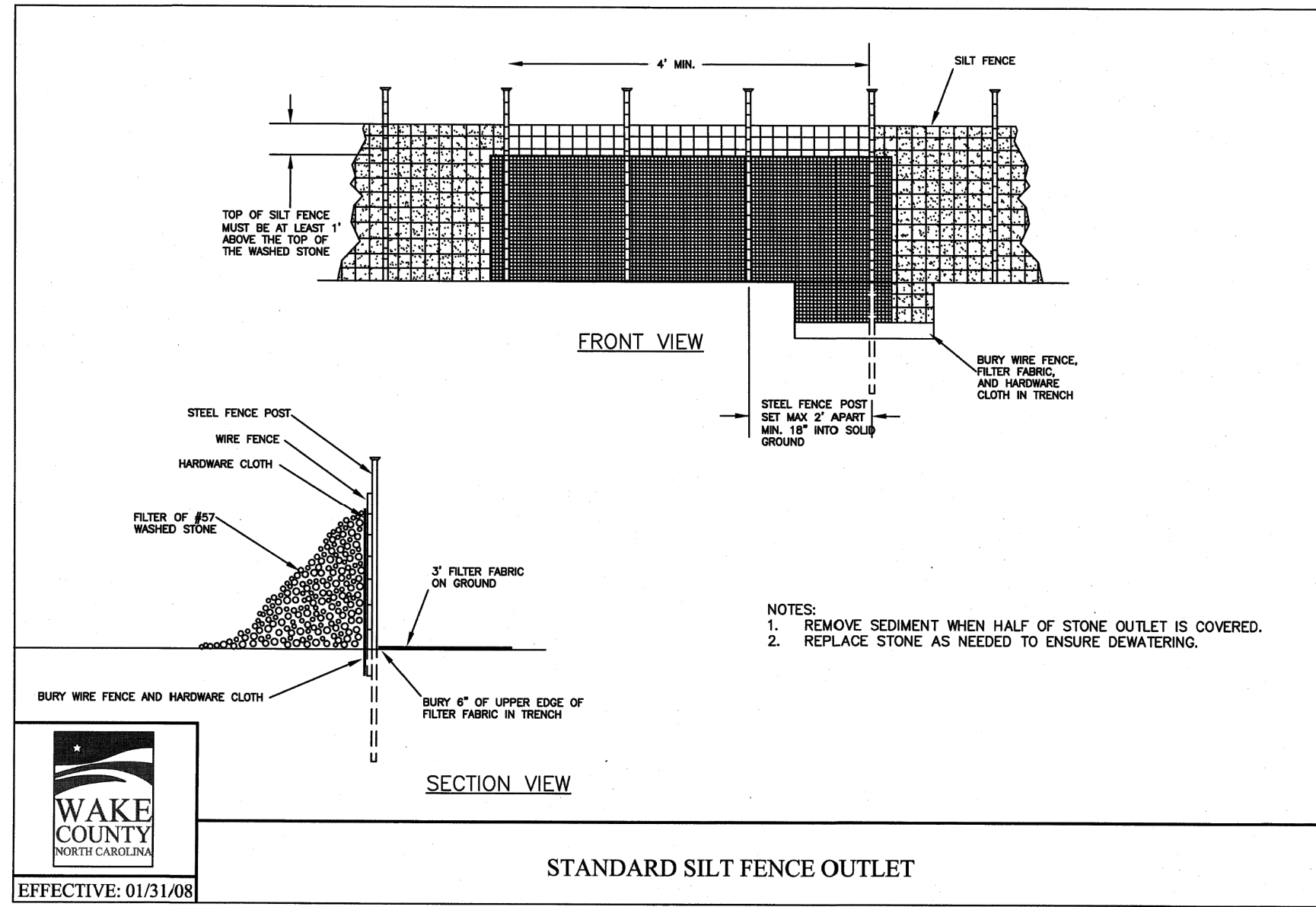
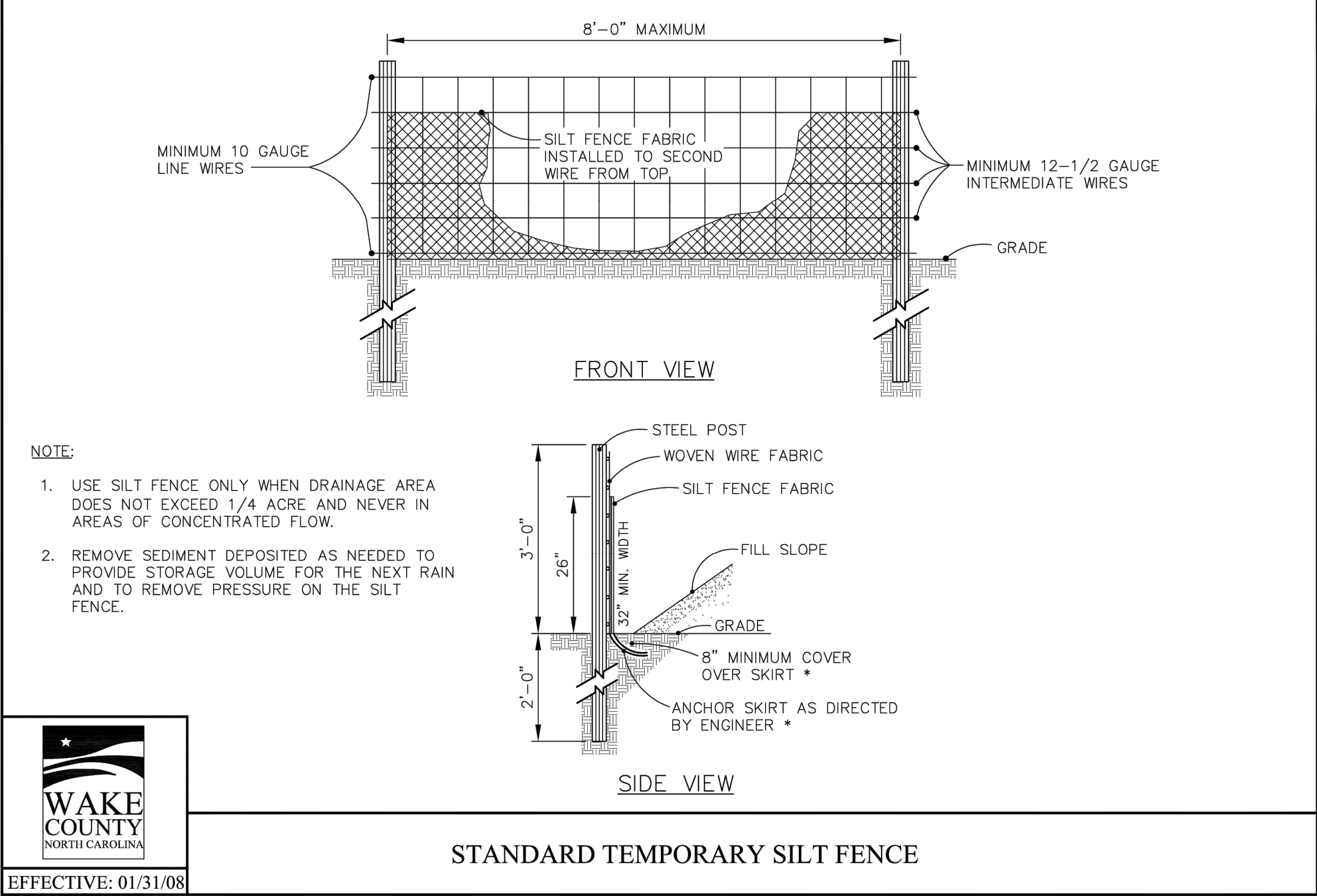
NOT FOR CONSTRUCTION

FILE NUMBER: 8430-03

DATE: 07/03/2023

C6-2





EROSION CONTROL DETAILS (2 OF 2)	
DESIGNED BY:	DATE
DRAWN BY:	REV
REVIEWED BY:	DESCRIPTION
DF/JWM	
JWM	
DF	
<b>BCE</b> 5440 WADE PARK BLVD, SUITE 102 RALEIGH NC 27607 WWW.BCEINC.COM NC LICENSE #C-4397	
<b>LENNAR CORPORATION</b> 1100 PERIMETER PARK DRIVE, SUITE 112 MORRISVILLE / NORTH CAROLINA / 27560	
<b>YOUNG STREET CONNECTION</b> 408 E YOUNG STREET ROLESVILLE / NORTH CAROLINA / 27571	
<b>NOT FOR CONSTRUCTION</b> FILE NUMBER: 8430-03 DATE: 07/03/2023 C6-3	