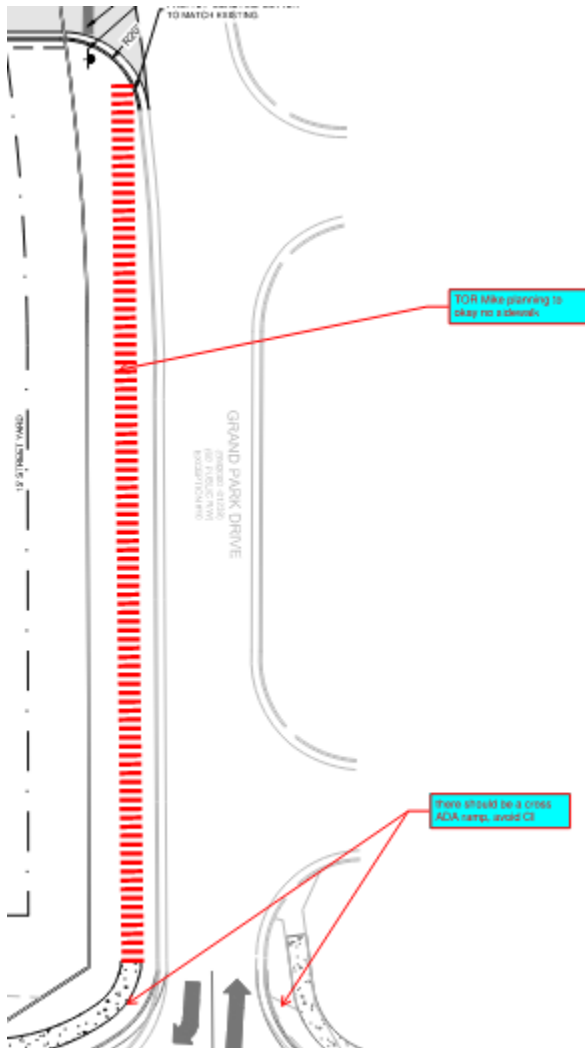


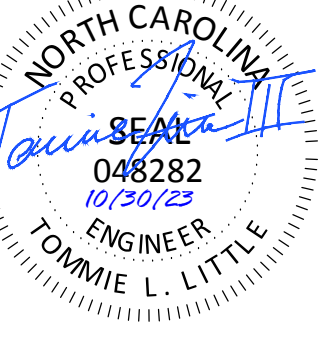
SDP-23-08 / V1 Submittal – Tidal Wave Car Wash

Engineering Comments provided after Online TRC TEAMS meeting held 12/14/2023, to discuss the V1 TRC Review comments.

1. Please find the Site and Grading Plans Sheets attached for reference - NEW comments are in **cyan** color boxes
2. Revise/provide sidewalk along Grand Park Drive.



3. Review the LAPP Main Street plans to determine if striping to cross Grand Park Drive is being provided. IF NOT, contact the Main Street project management (<https://rolesvillemainstreetproject.com/> - RKK Staff at mainstreetproject@rolesville.nc.gov) to vet if sidewalk ADA crossing of Grand Park can be made part of that plan, OR ask permission to add this when this site develops.



TIDAL WAVE AUTO SPA
ROLESVILLE, NC

SW+ PROJECT: 10772
DATE: 10/30/23
DRAWN BY: CPE
CHECKED BY: DWJ

REVISION HISTORY

NO.	DESCRIPTION

SITE PLAN

SITE INFORMATION:

ADDRESS: ROLESVILLE, NC
PROPERTY AREA: 1.82 ACRES
PARCEL: 1758479244
EXISTING USE: UNDEVELOPED
PROPOSED USE: CAR WASH

PROPERTY ZONING: GI-CZ (GENERAL INDUSTRIAL - CONDITIONAL ZONING)

BUILDING SETBACKS:
FRONT (SE): 30'
FRONT (NE): 25'
SIDE (NW): 15'
SIDE (SW): 30'

PERIMETER LANDSCAPE YARDS:
NORTHEAST: 15'

PRE VS. POST DEVELOPMENT AREA:

SITE AREA: 1.82 AC
PRE-IMPERVIOUS AREA: 0.04 AC (2.20%)
POST-IMPERVIOUS AREA: 1.29 AC (70.88%)

PARKING NOTE:

PARKING REQUIRED:
1 SPACE PER 400 SF GFA OR 5 SPACES MINIMUM = 5 SPACES

PARKING PROVIDED:
EMPLOYEE SPACES: 5 SPACES (1 ADA)
(4 MAX ON SHIFT)
VACUUM STALLS: 34 STALLS

SITE LAYOUT AND STAKING NOTES:

- CONTRACTOR SHALL CAREFULLY EXAMINE ALL DOCUMENTS AND THE CONSTRUCTION SITE TO OBTAIN FIRST HAND KNOWLEDGE OF EXISTING CONDITIONS.
- ENTIRE SITE SHALL BE DRESSED TO UNIFORM, WELL DRAINED AND VISUALLY APPEALING SURFACE WITH A MINIMUM TOPSOIL LAYER OF FOUR INCHES.
- ALL STRIPING AND SIGNS SHALL CONFORM WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION. PARKING STALL STRIPING TO BE WHITE WITH BLUE HANDICAPPED STRIPING.
- ALL HANDICAP PARKING SPACED AND ACCESSIBLE ROUTE SHALL CONFORM WITH THE AMERICAN WITH DISABILITY ACT DESIGN GUIDELINES AND SPECIFICATIONS LATEST EDITION.
- DIMENSIONS AND CURVE RADII ARE GIVEN TO FACE OF CURB, WHERE CURB AND GUTTER IS SHOWN. OTHERWISE DIMENSIONS ARE GIVEN TO THE EDGE OF PAVEMENT. CONTRACTOR IS TO COORDINATE WITH THE ARCHITECTURAL PLANS AS TO THE BUILDING LAYOUT AND DIMENSIONS.

13. Please provide fire truck and trash truck movement exhibit due to ingress and egress route running through the car wash.
14. Confirm arrow directions for directions of traffic flows.

Identify what curbs are where
- 30" 6" standard?
- 24" 6" standard?
- 24" 6" upslope (spill curb)
- 24" 4" mountable
- 24" 4" upslope (spill curb)

Site plan to have Bearing and Distance along lot line (parcel boundary)

there should be a cross ADA ramp, avoid CI

add sidewalk

trash truck to dumper is against traffic flow

Dumper alignment and locations?

what is the curb size that is on 7-11, vanity

show proposed by other shaded back to show connection

6" standard curb

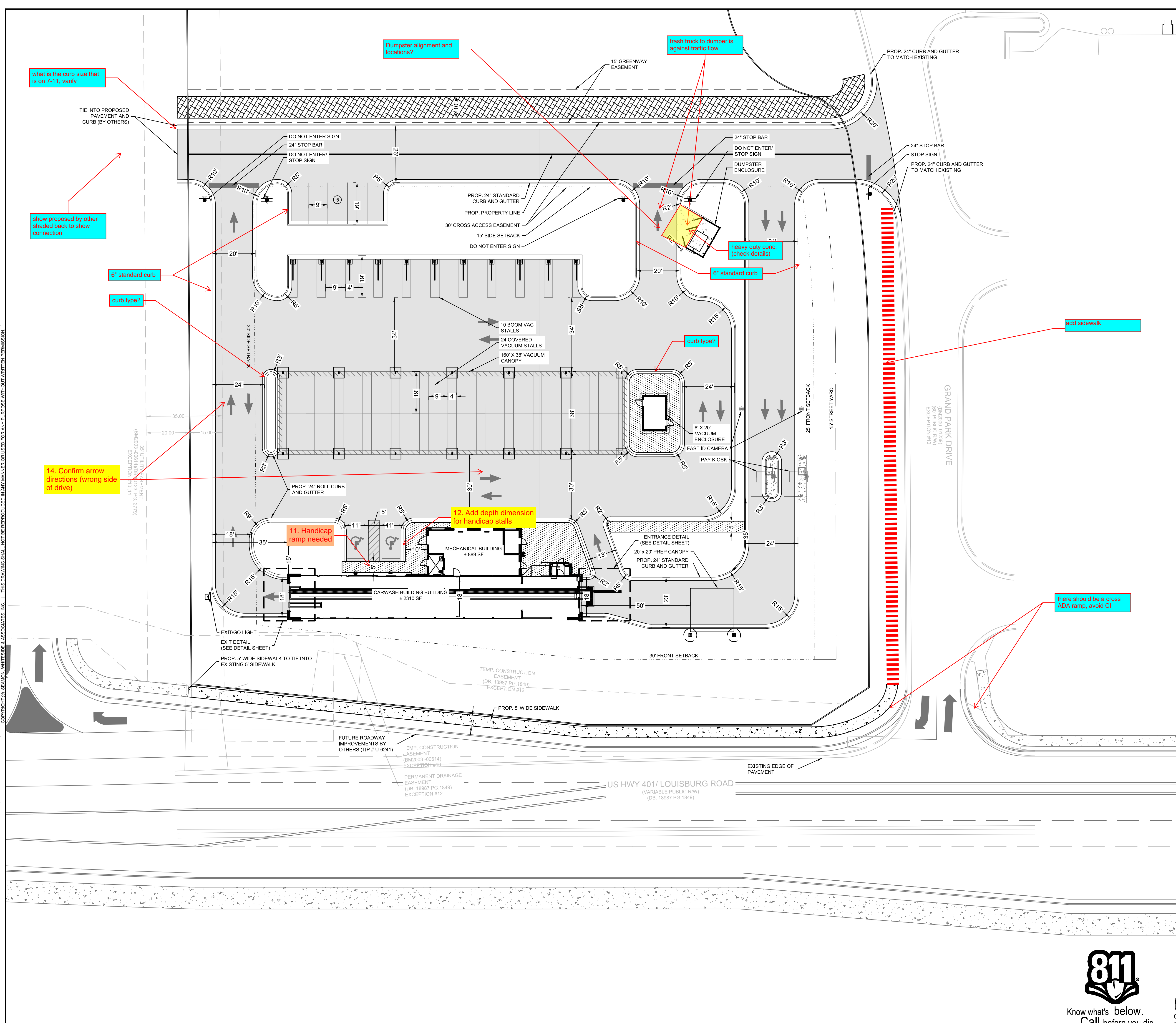
curb type?

14. Confirm arrow directions (wrong side of drive)

11. Handicap ramp needed

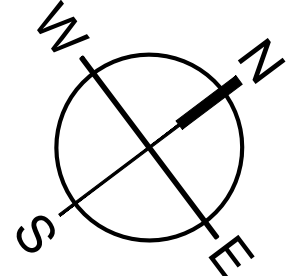
12. Add depth dimension for handicap stalls

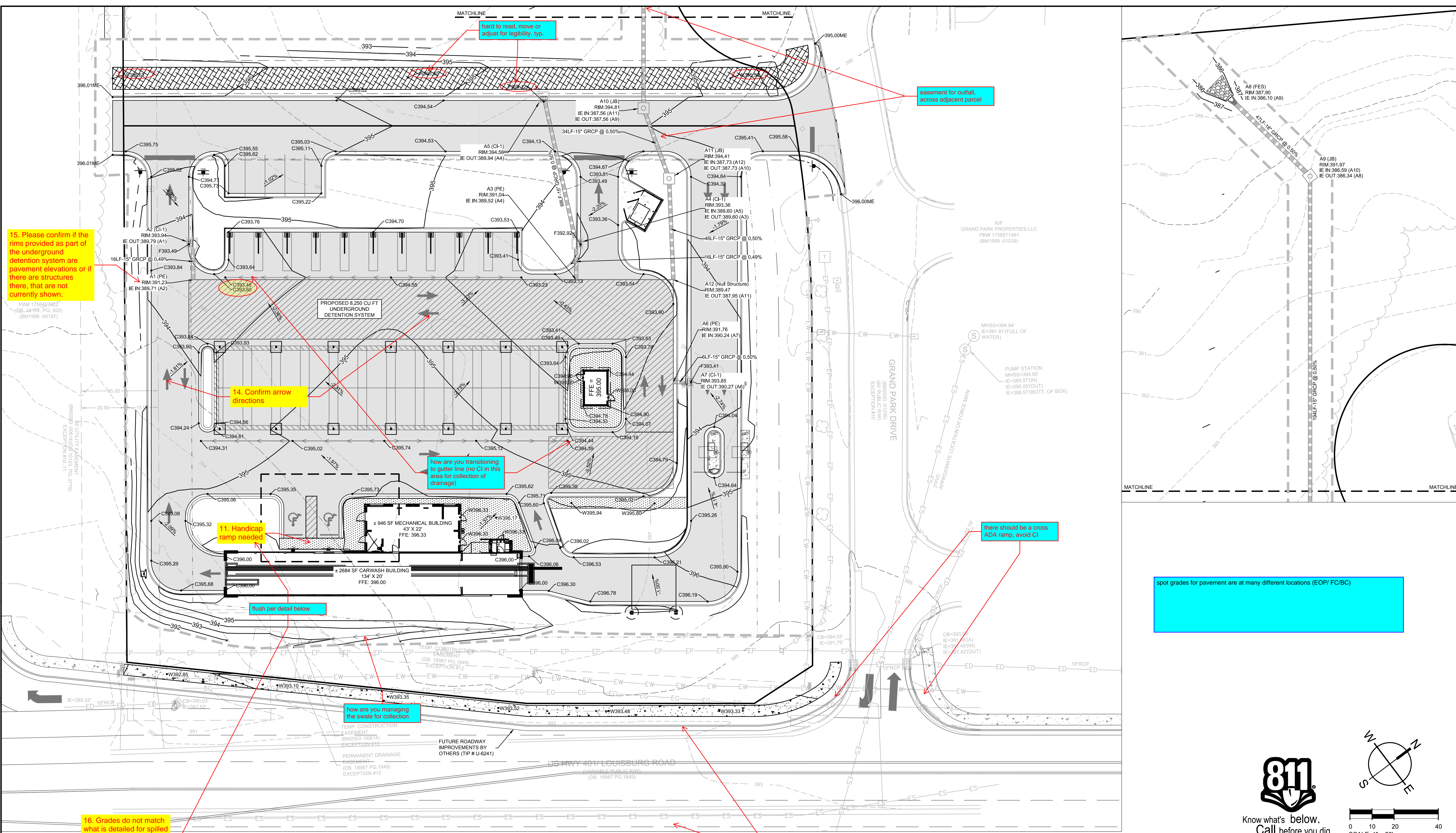
501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000 701 EASLEY BROOK RD, SUITE 6000 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 7101 CEDAR STREET | SUMMERVILLE, SC 29686 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301
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SITE LEGEND

[Pattern]	PROPOSED SIDEWALK
[Pattern]	HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	STANDARD DUTY CONCRETE PAVEMENT
[Pattern]	ASPHALT GREENWAY
[Symbol]	STOP SIGN
[Symbol]	DO NOT ENTER SIGN
[Symbol]	HANDICAP PARKING SIGN





15. Please confirm if the rims provided as part of the underground detention system are pavement structures or if there are structures that are not currently shown.

14. Confirm arrow directions

11. Handicap ramp needed

16. Grades do not match what is detailed for spilled curb in the standard details. Details have a 6" drop or more from front to back. How will these be constructed?

hard to read, move or adjust for legibility, typ.

assessment for outfall, across adjacent parcel

how are you transitioning to gutter line (no CI in this area for collection of drainage)

there should be a cross ADA ramp, avoid CI

spot grades for pavement are at many different locations (EOP/FC/BC)

flush per detail below

how are you managing the swale for collection

reference Main St for reference #

NOTES:
1. THE LONGITUDINAL SLOPE OF ALL SURFACES ALONG THE ADA ACCESSIBLE ROUTE, WHICH ARE NOT SPECIFICALLY NOTED AS BEING A RAMP, SHALL NOT EXCEED 1:20. RAMPS SHALL NOT EXCEED A SLOPE OF 1:12. TRANSVERSE SLOPES SHALL NOT EXCEED 1:50. CONTRACTOR SHALL FIELD VERIFY SLOPES BEFORE INSTALLATION AND NOTIFY ENGINEER IMMEDIATELY IF MAX. SLOPES ARE EXCEEDED.
2. AT PARKING SPACES AND ASSOCIATED ACCESS AISLES, SLOPE SHALL NOT EXCEED 1:50 IN ANY DIRECTION.

how is curb transition

SPOT ELEV KEY (FINISHED GRADING)

A-(ASPHALT) SURFACE OF FINISHED ASPHALT ROADWAY OR WALKING PATH	C-(CONCRETE) CONCRETE PAVING
D-(DIRT) FINISHED GROUND ELEVATION	F-(FLOW) ELEVATION AT WHICH SURFACE WATER FLOWS INTO DRAINAGE STRUCTURE
G-(GUTTER) SURFACE OF FINISHED GUTTER AT LOWEST POINT (ALONG WATER FLOW PATH)	H-(HOOD) SURFACE OF ASPHALT ADJACENT TO THROAT OR GRATE AT CURB INLET
I-(ISOLATION) SURFACE OF ACCESS COVER FOR JUNCTION OR ISOLATION BOX	J-(JUNCTION) SURFACE OF GRATE AT OUTSIDE EDGE FOR CATCH BASIN, GUTTER INLET, OR GRATED POND STRUCTURE
K-(K) FINISHED FLOOR ELEVATION	L-(L) FINISHED GRADE ELEVATION AT TOP OF WALL
M-(M) FINISHED GRADE ELEVATION AT BOTTOM OF WALL	N-(N) FINISHED GRADE ELEVATION AT POINT OF CONNECTION
O-(O) FINISHED GRADE ELEVATION AT TOP OF WALL	P-(P) FINISHED GRADE ELEVATION AT BOTTOM OF WALL
Q-(Q) FINISHED GRADE ELEVATION AT POINT OF CONNECTION	R-(R) FINISHED GRADE ELEVATION AT POINT OF CONNECTION
S-(S) FINISHED GRADE ELEVATION AT POINT OF CONNECTION	T-(T) FINISHED GRADE ELEVATION AT POINT OF CONNECTION
U-(U) FINISHED GRADE ELEVATION AT POINT OF CONNECTION	V-(V) FINISHED GRADE ELEVATION AT POINT OF CONNECTION
W-(W) FINISHED GRADE ELEVATION AT POINT OF CONNECTION	X-(X) FINISHED GRADE ELEVATION AT POINT OF CONNECTION
Y-(Y) FINISHED GRADE ELEVATION AT POINT OF CONNECTION	Z-(Z) FINISHED GRADE ELEVATION AT POINT OF CONNECTION

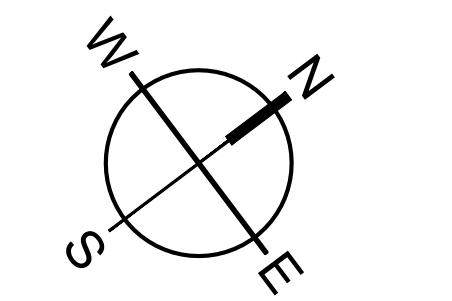
EXAMPLE: A12.56ME MEANS THAT THE SURFACE OF NEW ASPHALT IS TO BE AT ELEVATION 12.56 WHICH SHOULD MATCH THE ELEVATION OF THE EXISTING ASPHALT SURFACE AT THE JOINT

LEGEND

RCP DRAINAGE PIPE	[Symbol]
GRADING LIMITS	[Symbol]
HOODED CATCH BASIN (HCB)	[Symbol]
JUNCTION BOX (JB)	[Symbol]



Know what's below.
Call before you dig.



50 WINDY PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000 TOY EASLEY BROOK RD, SUITE 600 | GREENVILLE, SC 29611 | 2302 PETERSON DR | CHARLOTTE, NC 28217 | 7124 CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301