

# SITE DEVELOPMENT PLAN FOR PUBLIX AT WALLBROOK

## Town of Rolesville Project Number: SP 22-03 REVISED

Main St / US 401 Business - Rolesville - Wake County - North Carolina

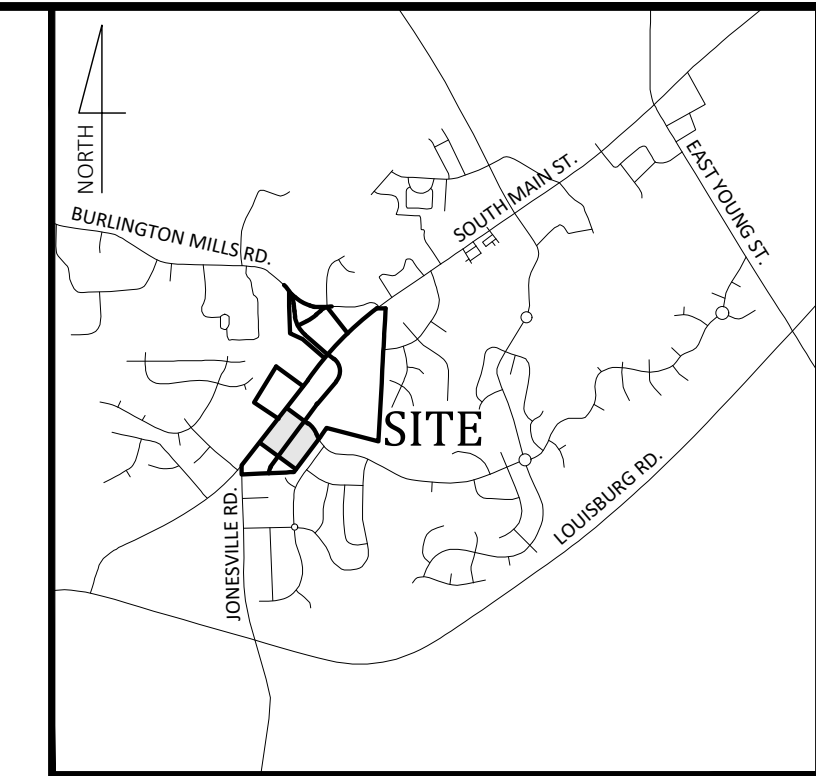
**References:**  
 TAX PARCEL NUMBERS: 1758-56-8976  
 1758-45-8905

**DEED REFERENCES:** D.B. 16981, PG. 670

**Owner**  
 Wallbrook Landco, LLC  
 3 Keel St, Ste 2  
 Wrightsville Beach, NC 28480

**Developer**  
 Wallbrook PLX, LLC  
 121 W Trade St  
 Charlotte, NC 28202  
 (919) 610-7875

Contact: Michael Isaac  
 misaac@csere.com



**- Final Drawing -  
Issued for Permit  
Review Purposes Only**

REVISIONS:

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVED SP22-03 PER OWNER REQUEST BUILDING FOOTPRINTS

**General Notes:**

- CONTACT NORTH CAROLINA ONE-CALL CENTER, INC. (NC ONE-CALL) AT 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE AND THE TOWN OF ROLESVILLE DEVELOPMENT STANDARDS.
- CONTRACTOR SHALL NOTIFY NCDOT AND TOWN OF ROLESVILLE PUBLIC WORKS, STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR RIGHT-OF-WAY.
- A PORTION OF THE PROPERTY IS LOCATED WITHIN ZONE 'X', AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM) 3720175800J, EFFECTIVE DATE: 05/02/2006.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND MAY NOT INCLUDE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- REFER TO M.E.P. PLANS FOR COORDINATION OF BUILDING UTILITY SERVICES.
- THIS PROJECT DISTURBS MORE THAN 1/2 ACRE FOR PURPOSES OF A COMMERCIAL DEVELOPMENT. PROJECT IS SUBJECT TO THE TOWN OF ROLESVILLE STORMWATER MANAGEMENT ORDINANCE. STORMWATER MANAGEMENT PLAN APPROVAL BY THE TOWN OF ROLESVILLE IS REQUIRED.
- THIS PROJECT DISTURBS MORE THAN 1 ACRE. EROSION & SEDIMENTATION CONTROL PLAN APPROVAL IS REQUIRED.
- NCDOT DRIVEWAY PERMIT APPROVAL IS REQUIRED FOR THIS PROJECT.
- REFUSE COLLECTION SHALL BE PROVIDED BY PRIVATE SERVICE FOR COMMERCIAL DEVELOPMENT.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- SITE SHALL MEET ALL RELATED STATE AND TOWN ACCESSIBILITY CODE REQUIREMENTS.
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON WAS PREPARED BY JOHNSON, MIRIMIRAN & THOMPSON. REFERENCE IS MADE TO THE SURVEY ENTITLED ALTA/NSPS LAND TITLE SURVEY PREPARED FOR C4 INVESTMENTS, LLC DATED 3/10/2020.
- UNDERGROUND UTILITIES PLOTTED IN PART FROM ACTUAL FIELD LOCATION OF ABOVE GROUND FEATURES AND IN PART FROM MAPS ON RECORD. ACTUAL LOCATIONS MAY VARY. SURVEYOR AND ENGINEER CANNOT PROVIDE ACCURACY OF INFORMATION TAKEN FROM RECORD DATA. OTHER UTILITIES MAY EXIST. CONTRACTOR SHOULD CONTACT NORTH CAROLINA ONE-CALL CENTER (NC ONE-CALL) BY DIALING 811 TO HAVE UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- THE ENGINEER MAKES NO GUARANTEE THAT THE UTILITIES SHOWN ARE COMPRISED OF ALL SUCH UTILITIES IN THE AREA OF SURVEY EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE ENGINEER DOES HEREBY CERTIFY THAT ALL UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY UNCOVERED AND LOCATED ANY UNDERGROUND UTILITIES.
- RIPARIAN BUFFERS SHOWN ARE PER PRELIMINARY JURISDICTIONAL DETERMINATION NBRO #17-432. DATED DECEMBER 19, 2017.

**Legend**

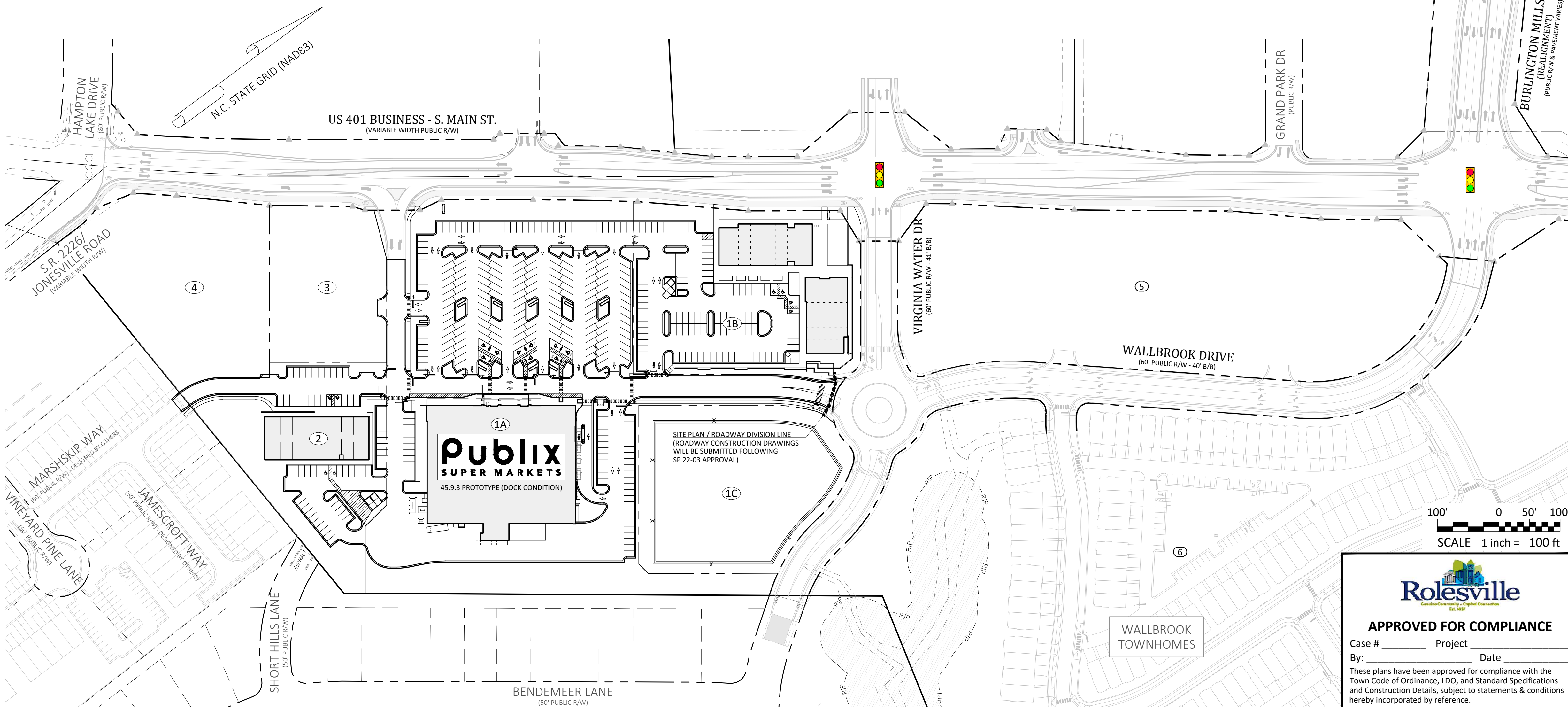
EXISTING	PROPOSED	EXISTING	PROPOSED
○ = FOUND MONUMENT AS NOTED	— W = WATER LINE	— F = FIRE LINE	— W = WATER LINE
△ = SET IRON PIN	— 8" = 8" WATER LINE	— 8" = 8" WATER LINE	— 8" = 8" WATER LINE
△ = NCGS MONUMENT	— 12" = 12" WATER LINE	— 12" = 12" WATER LINE	— 12" = 12" WATER LINE
△ = DIMENSION POINT (NOTHING SET)	— = SPILL CURB	— = SPILL CURB	— = SPILL CURB
— = PROPERTY LINE	— = FENCE	— = FENCE	— = FENCE
R/W = RIGHT OF WAY	— RIP = RIPARIAN BUFFER	— RIP = RIPARIAN BUFFER	— RIP = RIPARIAN BUFFER
C&G = CURB AND GUTTER	— TR = TREE LINE	— TR = TREE LINE	— TR = TREE LINE
△ = CABLE TV PEDESTAL	— MC = MAJOR CONTOUR (5')	— MC = MAJOR CONTOUR (5')	— MC = MAJOR CONTOUR (5')
DI = DROP INLET	— MI = MINOR CONTOUR (1')	— MI = MINOR CONTOUR (1')	— MI = MINOR CONTOUR (1')
EM = ELECTRIC BOX	— TP = TREE PROTECTION FENCE	— TP = TREE PROTECTION FENCE	— TP = TREE PROTECTION FENCE
F/O = FIBER OPTIC	— SF = SILT FENCE	— SF = SILT FENCE	— SF = SILT FENCE
FH = FIRE HYDRANT	— CS = CONCRETE SIDEWALK	— CS = CONCRETE SIDEWALK	— CS = CONCRETE SIDEWALK
GV = GAS VALVE	— RIP = RIPARIAN BUFFER	— RIP = RIPARIAN BUFFER	— RIP = RIPARIAN BUFFER
HB = HAND BOX	— = ACCESS AND UTILITY EASEMENT	— = ACCESS AND UTILITY EASEMENT	— = ACCESS AND UTILITY EASEMENT
LP = LIGHT POLE	— = STORMWATER MAINT. EASEMENT	— = STORMWATER MAINT. EASEMENT	— = STORMWATER MAINT. EASEMENT
PP = POWER POLE	— = TREE PRESERVATION AREA	— = TREE PRESERVATION AREA	— = TREE PRESERVATION AREA
GW = GUY WIRE	— = OPEN SPACE AREA	— = OPEN SPACE AREA	— = OPEN SPACE AREA
RCP = REINFORCED CONCRETE PIPE			
S.F. = SQUARE FEET (AREA)			
— = SIGN			
— = TRAFFIC SIGNAL POLE			
— = SANITARY SEWER MANHOLE			
— = SANITARY SEWER FORCE MAIN VALVE			
— = STORM DRAIN MANHOLE			
— = STORM DRAIN CATCH BASIN			
— = TELEPHONE PEDESTAL			
— = TRAFFIC BOX			
— = WATER BOX			
WM = WATER METER			
WMH = WATER MANHOLE			
WV = WATER VALVE			
— = WELL			
— = PEDESTRIAN X-WALK POLE			
— = ELECTRIC LINE			
— = SANITARY SEWER FORCE MAIN			
— = FIBER OPTIC LINE			
— = GAS LINE			
— = OVERHEAD ELECTRIC LINE			
— = SANITARY SEWER LINE			
— = TELEPHONE LINE			
— = CABLE TV LINE			

**Special Use Plan (SUP 20-02) Conditions:**

- USES AND MAXIMUM DENSITIES ARE LIMITED TO THOSE SHOWN ON EACH SITE OF THE CONCEPT PLAN. ANY RESIDENTIAL UNITS NOT DESIGNATED ON THE RESIDENTIAL - TOWNHOMES TRACT MAY BE USED ON ANY OF THE TRACTS LABELED FOR NON-RESIDENTIAL USE.
- PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR THE FIRST RESIDENTIAL UNIT IN THE EAST SITE AS SHOWN ON THE CONCEPT PLAN, DEVELOPER WILL COMPLETE THE EXTENSION OF WALL CREEK DRIVE TO MAIN STREET.
- IF APPLICANT SEEKS A CERTIFICATE OF OCCUPANCY PRIOR TO THE COMMENCEMENT OF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS, THEN PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY OF THE FIRST RESIDENTIAL UNIT IN THE EAST SITE AND IN ACCORDANCE WITH THE "WALLBROOK DEVELOPMENT TIA ADDENDUM - RESIDENTIAL-ONLY PHASE" DATED FEBRUARY 13, 2020, DEVELOPER WILL CONSTRUCT A 100' NORTHBOUND RIGHT TURN LANE AND A 100' SOUTHBOUND LEFT TURN LANE AT THE INTERSECTION OF WALL CREEK DRIVE (AS EXTENDED) AND MAIN STREET. IF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS IS COMMENCED BEFORE THE FIRST CERTIFICATE OF OCCUPANCY IS REQUESTED, DEVELOPER IS NOT REQUIRED TO CONSTRUCT THE AFORESAID IMPROVEMENTS.
- NO LATER THAN SIX MONTHS FOLLOWING THE COMPLETION OF THE LAPP GRANT PROJECT IMPROVEMENTS, DEVELOPER WILL COMPLETE BOTH 1) THE EXTENSION OF VIRGINIA WATER DRIVE TO MAIN STREET AND 2) THE EXTENSION OF BURLINGTON MILLS ROAD (AS REALIGNED) FROM MAIN STREET TO VIRGINIA WATER DRIVE.
- DEVELOPER WILL COMPLETE TRAFFIC IMPROVEMENTS AS SET FORTH IN OCTOBER 13, 2020 MEMO BY STANTEC.
- FINAL ACREAGE OF SITES ARE SUBJECT TO CHANGE AT SITE PLAN AND CONSTRUCTION PLAN BASED ON FINAL SURVEYS AND SITE PLAN REVIEW AND APPROVAL.
- AS SHOWN ON THE CONCEPT PLAN, AREAS OF THE SITE EAST OF THE RIPARIAN STREAM AND ADJACENT TO WAKE COUNTY PINS 1758676836, 1758674619, 1758674416, 1758674204, 1758674100, AND 1758663984 SHALL NOT BE DEVELOPED WITH STRUCTURES OR IMPROVEMENTS.

**Site Data**

PIN NUMBERS:	1758-45-8905, 1758-56-8976
REAL ESTATE ID:	76667, 76635
CURRENT ZONING:	GC-CZ
ACREAGE IN LOT:	12.56± ACRES (LOTS 1A, 1B, 1C & 2 AS SHOWN ON PR 21-04 REVISED)
LINEAR FEET IN PUBLIC STREETS:	0 LF
BUILDING HEIGHT:	33'-4" (PUBLIX), 29'-3" (BLDG 2 & 3), 21'-4" (BLDG 4)
BUILDING AREA:	47,239 SF (PUBLIX), 9,800 SF (BLDG 2), 8,067 SF (BLDG 3), 11,947 (SHOP 4)
WATERSHED:	Lower Neuse
RIVER BASIN:	Neuse
CURRENT USE:	VACANT / WOODED
PROPOSED USE(S):	NON-RESIDENTIAL/COMMERCIAL/RETAIL
CURRENT IMPERVIOUS:	0 SF
PROPOSED IMPERVIOUS:	BUILDING AREAS - 77,757 SF (1.78 AC) TRANSPORTATION AREAS - 272,876 SF (6.26 AC)
DEVELOPMENT STANDARDS:	LDO
OPEN SPACE CALCULATIONS:	REQUIRED NON-RESIDENTIAL - 0.25 ACRES = 5% OF DEVELOPMENT AREA DEVELOPMENT AREA = 12.56 AC 12.56 x 0.05 = 0.63 AC (27,355 SF) MUST INCLUDE 1 SMALL AREA
PROVIDED:	0.25 AC = LOT 1A & 1B - GREENWAY - (SMALL - 10,775 SF) 0.01 AC = LOT 1A - PLAZA (SMALL - 572 SF) 0.30 AC = LOT 1B - PLAZAS (SMALL - 12,974 SF) 0.07 AC = LOT 2 - GREEN (SMALL - 3,141 SF) 0.63 AC = 27,462 SF
PARKING CALCULATIONS:	193 REQUIRED (INCL. 6 H/C SPACES) - SEE SHEET C1.0 FOR DETAILED CALCS 412 PROPOSED (INCL. 17 H/C SPACES)
PLANTING CALCULATIONS:	REFER TO SHEET L7.01



**Rolesville**  
 APPROVED FOR COMPLIANCE

Case # \_\_\_\_\_ Project \_\_\_\_\_  
 By: \_\_\_\_\_ Date \_\_\_\_\_

These plans have been approved for compliance with the Town Code of Ordinance, LDO, and Standard Specifications and Construction Details, subject to statements & conditions hereby incorporated by reference.

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C2.0	Utility Plan
C3.0	Grading & Drainage Plan
C5.1	Misc. Details - Site-Storm
C5.2	Misc. Details - Water
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C5.4	Misc. Details - Site
C5.5	Misc. Details - Site
L7.00	Code Planting Plan - Sheet Layout Plan
L7.01	Code Planting Plan - Calculations
L7.10	Code Planting Plan
L7.11	Code Planting Plan
L7.12	Code Planting Plan
L7.13	Code Planting Plan
L7.14	Code Planting Plan
L7.91	Planting Details
L7.92	Planting Details
REF	Building Elevations Hiscutt & Associates Architecture
REF	Lighting Plan Savant Engineering, PLLC (1 sheet)
REF	Survey Johnson, Mirmiran & Thompson (3 sheets)
REF	Survey Cawthorne, Moss & Panciera, PC Professional Land Surveyors

**Survey Note:**

BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PREPARED BY JOHNSON, MIRIMIRAN & THOMPSON, AS SHOWN ON DRAWING ENTITLED "ALTA/NSPS LAND TITLE SURVEY FOR WALLBROOK LANDCO, LLC", DATED MARCH 25, 2020.

CARLTON POINT AND MARSHSKIP WAY INFORMATION PROVIDED BY CAWTHORNE, MOSS & PANCIERA, PC PROFESSIONAL LAND SURVEYORS

SIZE, SPECIES AND LOCATION OF TREES WITHIN PRESERVATION AREAS LOCATED AND PROVIDED BY STEWART ENGINEERING, INC.

**COVER**

**WALLBROOK**  
 DEVELOPMENT PLAN REVISION  
 SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)  
 Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)  
 Rolesville, Wake County, North Carolina

NC License: P-1199

**ARK CONSULTING GROUP PLLC**  
 ENGINEERS & PLANNERS

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 Charlotte, NC 28205  
 (754) 558-0888  
 www.arkconsultinggroup.com

2/10/2023

Project Manager: BCF  
 Drawn By: DLC  
 Checked By: STA  
 Project Number: 22012  
 Drawing Number: D-1219-SP

**C0.1**

Date: February 10, 2023



TREE PRESERVATION AREA			
Wallbrook	Area (SF)	Acres	
Lot 1A (Publix)	289,488.0	6.65	
Lot 1B	100,018.8	2.30	
Lot 1C	82,590.5	1.90	
Lot 2	74,702.8	1.71	
Lot 3	47,515.5	1.09	
Lot 4	78,725.4	1.81	
Lot 5 (Boat Tract)	220,767.8	5.07	
Lot 6 (Townhomes)	876,206.2	20.11	
Lot 7	119,306.6	2.74	
Lot 8	232,868.9	5.35	
Right-of-Way (Future)	290,799.5	6.68	
WALLBROOK GROSS ACREAGE		55.39	
TREE PRESERVATION AREA	368,616.2	8.46	15.28%
QUALIFYING REPLACEMENT DECIDUOUS			12
QUALIFYING REPLACEMENT EVERGREEN			8

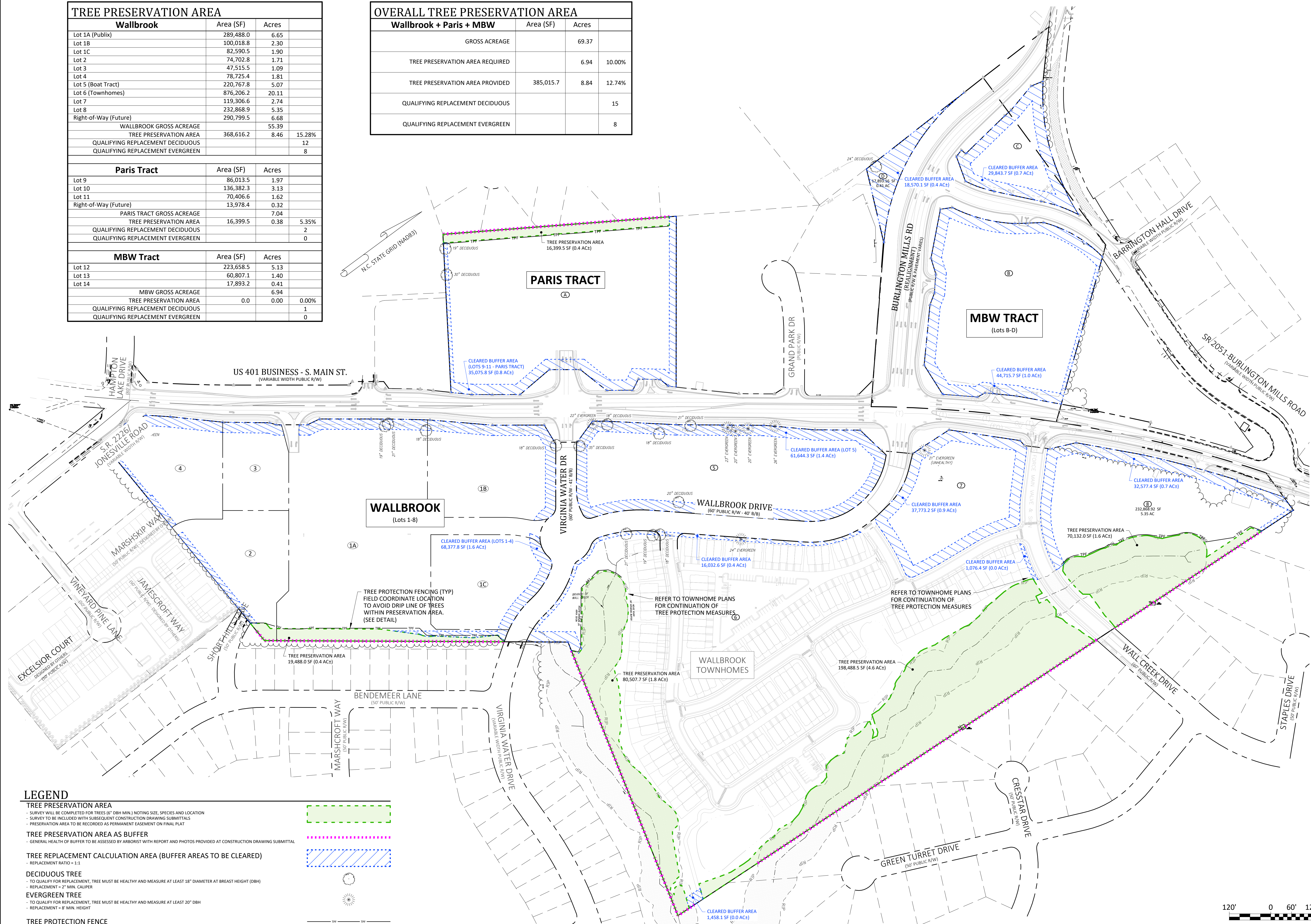
  

Paris Tract			
Paris Tract	Area (SF)	Acres	
Lot 9	86,013.5	1.97	
Lot 10	136,382.3	3.13	
Lot 11	70,406.6	1.62	
Right-of-Way (Future)	13,978.4	0.32	
PARIS TRACT GROSS ACREAGE		7.04	
TREE PRESERVATION AREA	16,399.5	0.38	5.35%
QUALIFYING REPLACEMENT DECIDUOUS			2
QUALIFYING REPLACEMENT EVERGREEN			0

MBW Tract			
MBW Tract	Area (SF)	Acres	
Lot 12	223,658.5	5.13	
Lot 13	60,807.1	1.40	
Lot 14	17,893.2	0.41	
MBW GROSS ACREAGE		6.94	
TREE PRESERVATION AREA	0.0	0.00	0.00%
QUALIFYING REPLACEMENT DECIDUOUS			1
QUALIFYING REPLACEMENT EVERGREEN			0

OVERALL TREE PRESERVATION AREA			
Wallbrook + Paris + MBW	Area (SF)	Acres	
GROSS ACREAGE		69.37	
TREE PRESERVATION AREA REQUIRED		6.94	10.00%
TREE PRESERVATION AREA PROVIDED	385,015.7	8.84	12.74%
QUALIFYING REPLACEMENT DECIDUOUS			15
QUALIFYING REPLACEMENT EVERGREEN			8



**LEGEND**

**TREE PRESERVATION AREA**

- SURVEY WILL BE COMPLETED FOR TREES (6" DBH MIN.) NOTING SIZE, SPECIES AND LOCATION
- SURVEY TO BE INCLUDED WITH SUBSEQUENT CONSTRUCTION DRAWING SUBMITTALS
- PRESERVATION AREA TO BE RECORDED AS PERMANENT EASEMENT ON FINAL PLAN

**TREE PRESERVATION AREA AS BUFFER**

- GENERAL HEALTH OF BUFFER TO BE ASSESSED BY ARBORIST WITH REPORT AND PHOTOS PROVIDED AT CONSTRUCTION DRAWING SUBMITTAL

**TREE REPLACEMENT CALCULATION AREA (BUFFER AREAS TO BE CLEARED)**

- REPLACEMENT RATIO = 1:1

**DECIDUOUS TREE**

- TO QUALIFY FOR REPLACEMENT, TREE MUST BE HEALTHY AND MEASURE AT LEAST 18" DIAMETER AT BREAST HEIGHT (DBH)
- REPLACEMENT = 2" MIN. CALIPER

**EVERGREEN TREE**

- TO QUALIFY FOR REPLACEMENT, TREE MUST BE HEALTHY AND MEASURE AT LEAST 20" DBH
- REPLACEMENT = 8" MIN. HEIGHT

**TREE PROTECTION FENCE**

**- Final Drawing -**  
Issued for Permit  
Review Purposes Only

**CROSLAND SOUTHEAST**

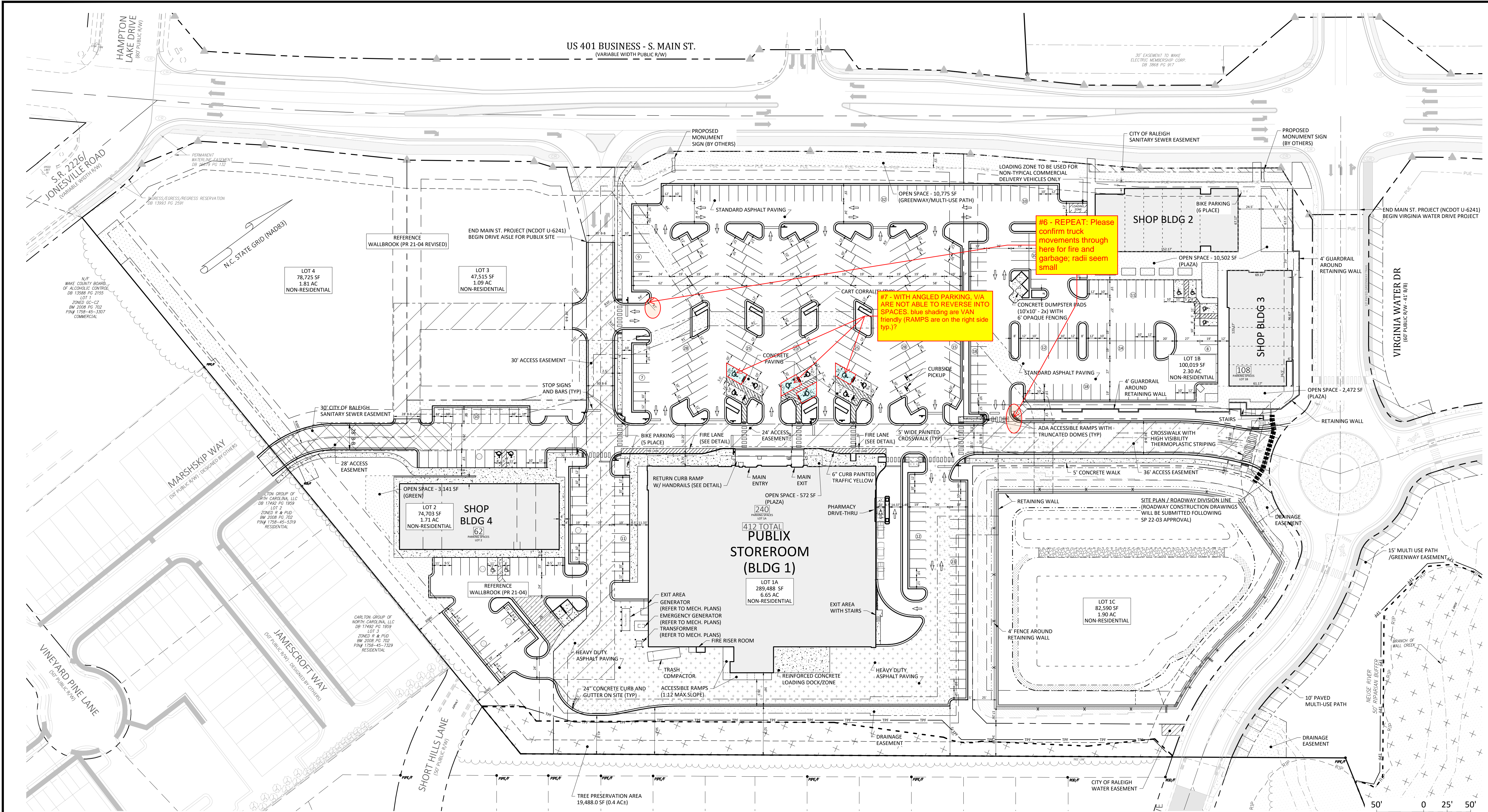
**TREE PRESERVATION PLAN**  
**WALLBROOK**  
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)  
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)  
Rolesville, Wake County, North Carolina

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Project Manager: BCF  
Drawn By: DLC  
Checked By: STA  
Project Number: 22012  
Drawing Number: D-1219-SP

**C0.3**

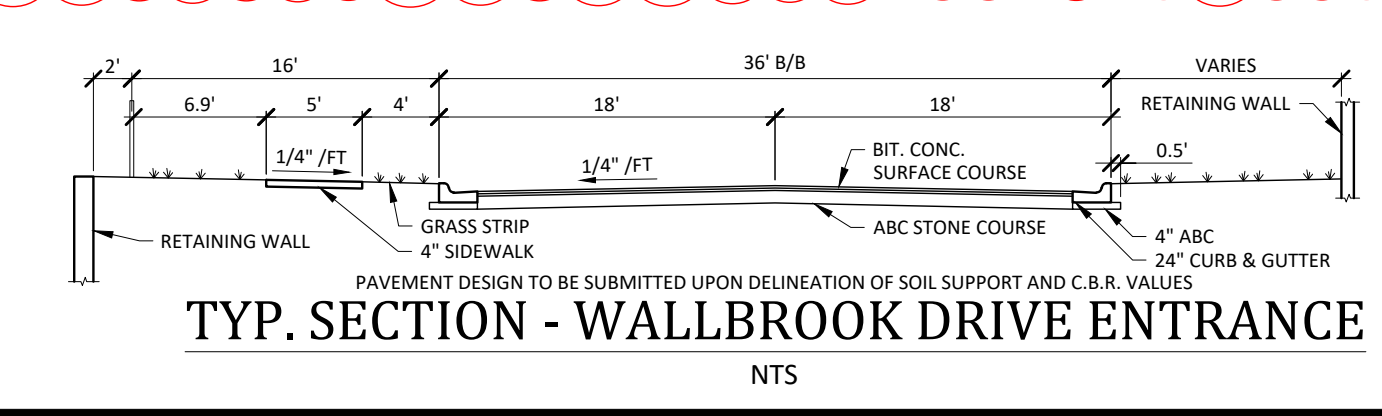
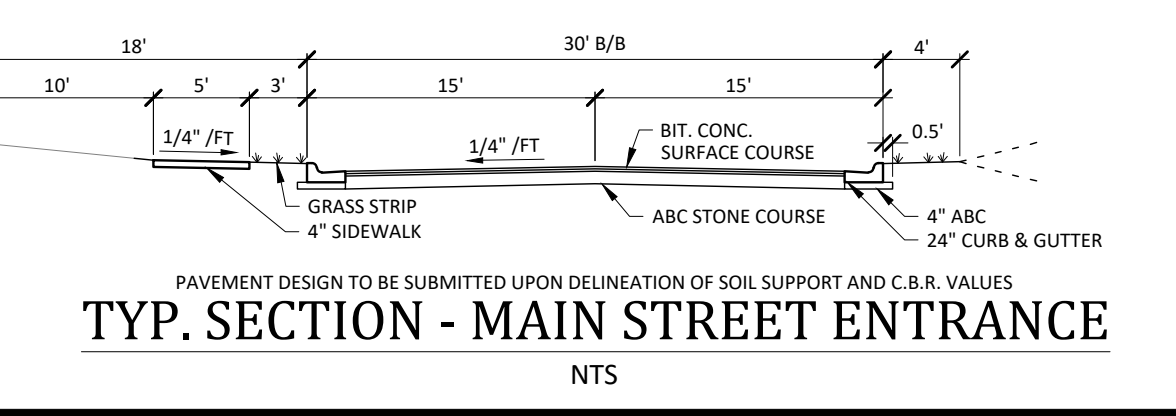
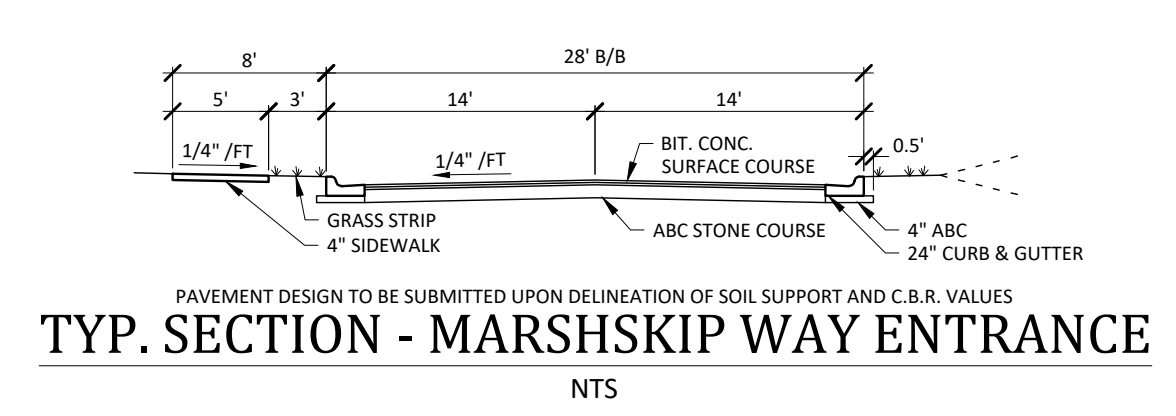
Date: February 10, 2023



**Parking Requirements:**

<b>PARKING REQUIRED:</b> (LDO SECTION 6.4.3) RETAIL SALES AND SERVICES (SHOPPING CENTER) 2.5 SPACES / 1,000 SF (MAX 7.5 / 1,000 SF)	<b>BICYCLE PARKING:</b> (LDO SECTION 6.4.7) 1 SPACE / 5,000 SF	
<b>AGGREGATE BUILDING AREA:</b> 68,915 SF	<b>AGGREGATE BUILDING AREA:</b> 77,053 77,053 / 5,000 X 1 =	15 SPACES REQUIRED 16 SPACES PROVIDED
<b>TOTAL REQUIRED PARKING:</b> 193 SPACES	<b>REQUIRED LOADING AREAS:</b> (LDO SECTION 6.4.5) COMMERCIAL USE = 1 SPACE / 20,000 SF GROSS FLOOR AREA	
<b>REQUIRED HANDICAP PARKING:</b> 6 SPACES (INCLUDING 1 VAN ACCESSIBLE)	<b>AGGREGATE BUILDING AREA:</b> 77,053 SF 77,053 / 20,000 X 1 =	4 LOADING SPACES REQUIRED 4 LOADING SPACES PROVIDED (2 - LOADING DOCKS FOR PUBlix) (1 - 9'x19' FOR SHOP BLDGS 2 & 3) (1 - 22'x40' FOR SHOP BLDG 4)
<b>PARKING PROVIDED:</b>	<b>LOADING SPACES PROVIDED:</b>	
<b>TOTAL PARKING SPACES:</b> 412 SPACES (INCLUDES 17 H/C SPACES)		

- General Notes:**
- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
    - ALTA/NPS/LAND TITLE SURVEY, PREPARED BY JOHNSON, MIRMIRAN & THOMPSON FOR C4 INVESTMENTS, LLC, LAST REVISED
    - "REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING EVALUATION" PREPARED BY TERRATECH ENGINEERS, INC., DATED NOVEMBER 26, 2018
    - "REPORT OF PHASE I ENVIRONMENTAL SITE ASSESSMENT" PREPARED BY TERRATECH ENGINEERS, INC., DATED NOVEMBER 26, 2018; ECS PROJECT NUMBER: 121-18-18193
    - "TRAFFIC IMPACT ANALYSIS" PREPARED BY STAC
  - ALL ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.
  - THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X, AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 3720175800, EFFECTIVE DATE: MAY 2, 2006.
  - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
  - THE OWNER / CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.
  - THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE PART OF THE REQUIRED CONSTRUCTION DOCUMENTS, AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
  - THESE PLANS ARE BASED ON INFORMATION PROVIDED TO ARK CONSULTING GROUP, PLLC BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARK CONSULTING GROUP, PLLC IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER ONSITE FEATURES.
  - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS AND GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO THE GIVING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL / BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY / EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
  - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.
  - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB & GUTTER. CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL, INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONNECTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION.
  - THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, NOR IS THE ENGINEER RESPONSIBLE FOR ANY CONFLICTS OR SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.



**- Final Drawing -**  
Issued for Permit  
Review Purposes Only

**REVISIONS:**

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO ADDRESS COMMENTS FROM PERMIT REVIEW

**CROSLAND SOUTHEAST**

**SITE PLAN**

**WALLBROOK**

**SITE DEVELOPMENT PLAN REVISION** (Reference PR 21-04)

Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)

Rolesville, Wake County, North Carolina

NC License: P-1109

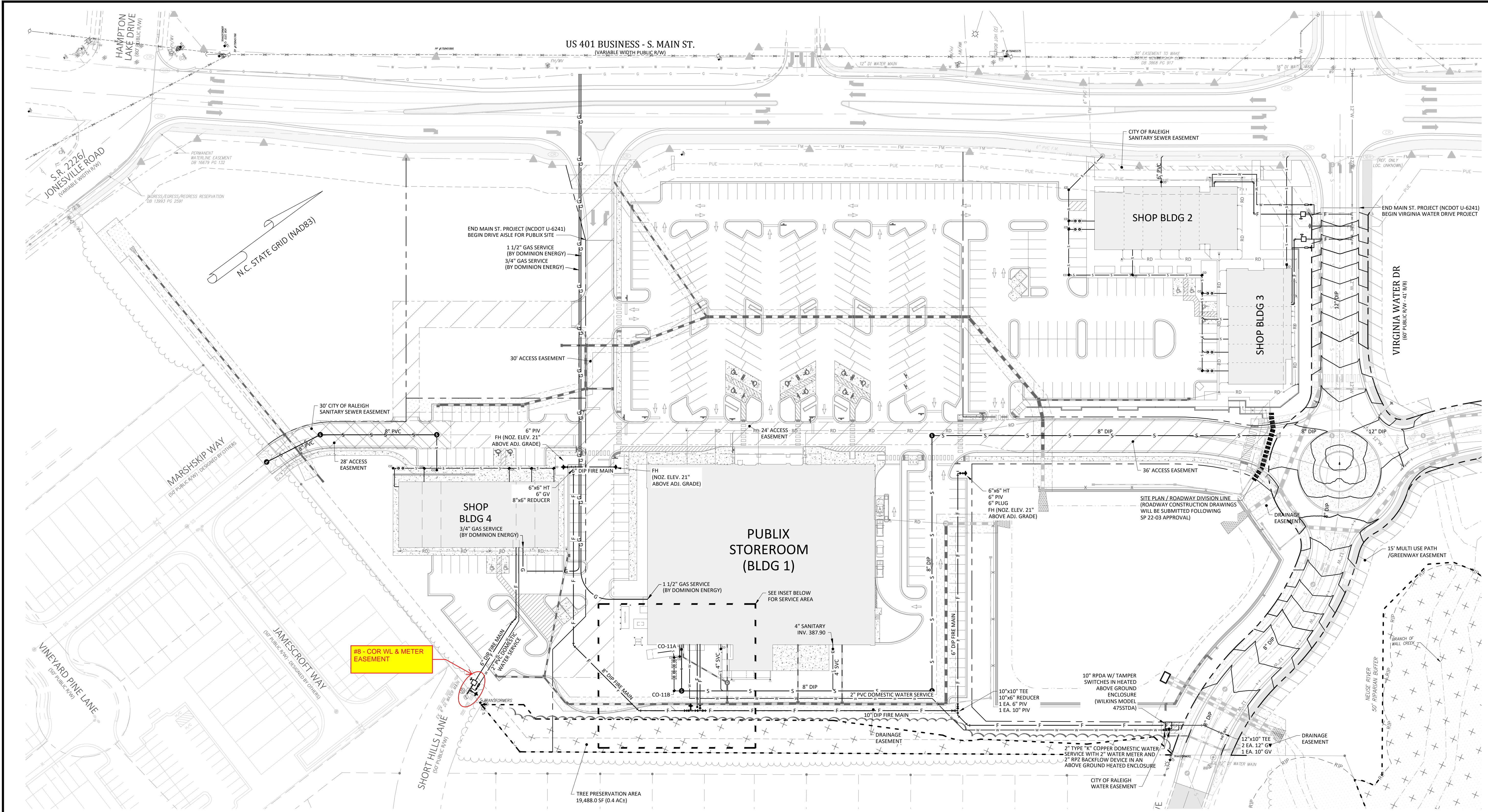
**ARK CONSULTING GROUP, PLLC**  
ENGINEERS & PLANNERS

2755-B Charles Blvd  
Charlotte, NC 28205  
(704) 558-0888  
www.arkconsultinggroup.com

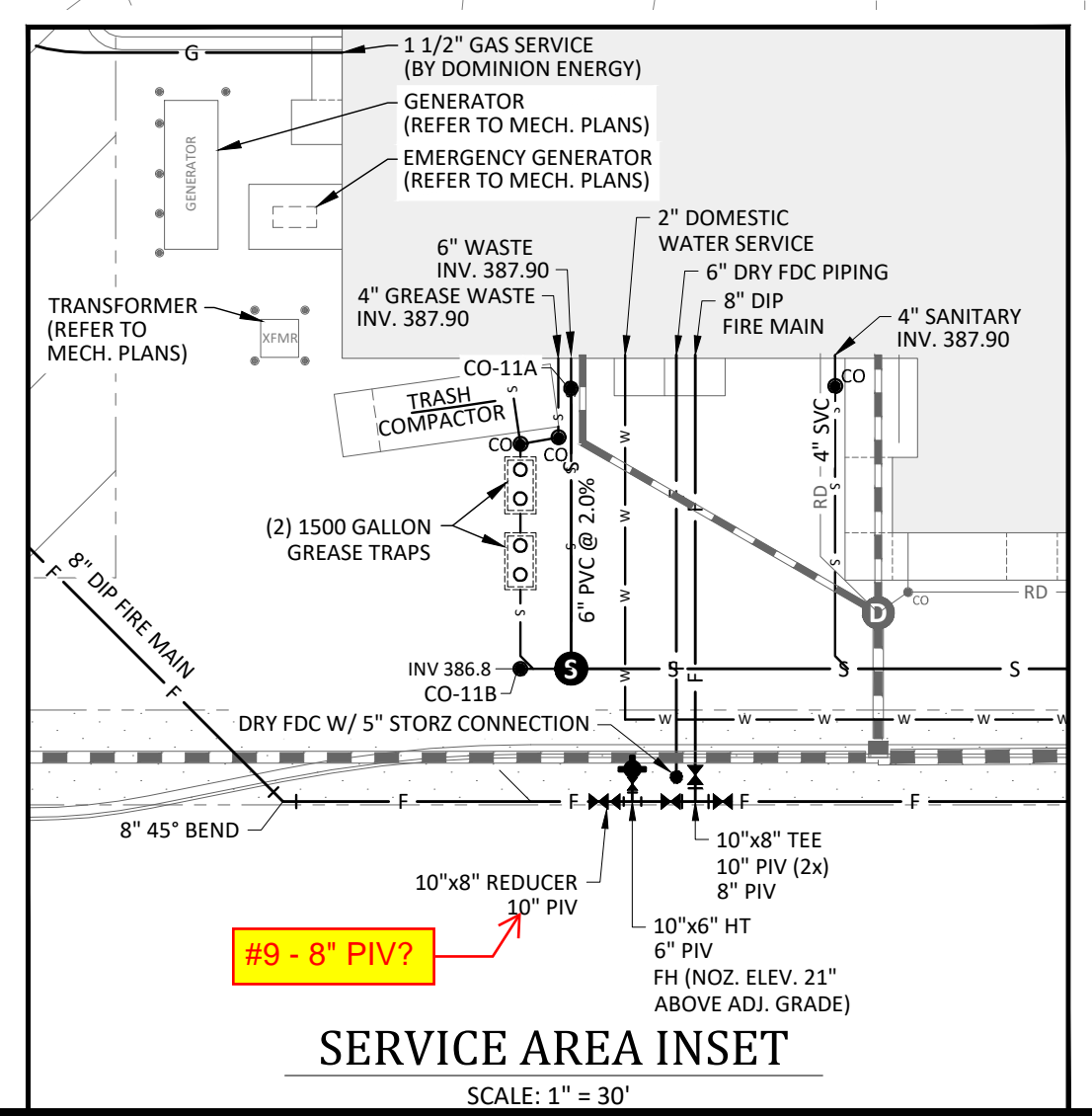
Project Manager: BCF  
Drawn By: DLC  
Checked By: STA  
Project Number: 22012  
Drawing Number: D-1219-SP

**C1.0**

Date: February 10, 2023

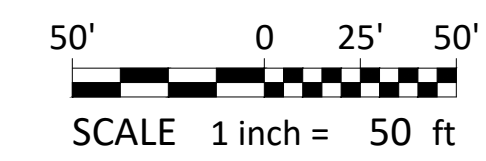


#6 - COR WL & METER EASEMENT



**CORPUD Standard Utility Notes:**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK)
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATER SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY CORPUD PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO CORPUD.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY CORPUD. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVIC FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL PVC WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NC. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.



**Public Water Distribution / Extension System**  
 The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh  
 Public Utilities Department Permit # \_\_\_\_\_  
 Authorization to Construct \_\_\_\_\_  
 Date \_\_\_\_\_

**Private Water Distribution / Extension System**  
 The City of Raleigh consents to the connection to its public water system and extension of the private water distribution system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh  
 Public Utilities Department Permit # \_\_\_\_\_  
 Authorization to Construct \_\_\_\_\_  
 Date \_\_\_\_\_

**Public Sewer Collection / Extension System**  
 The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh  
 Public Utilities Department Permit # \_\_\_\_\_  
 Authorization to Construct \_\_\_\_\_  
 Date \_\_\_\_\_

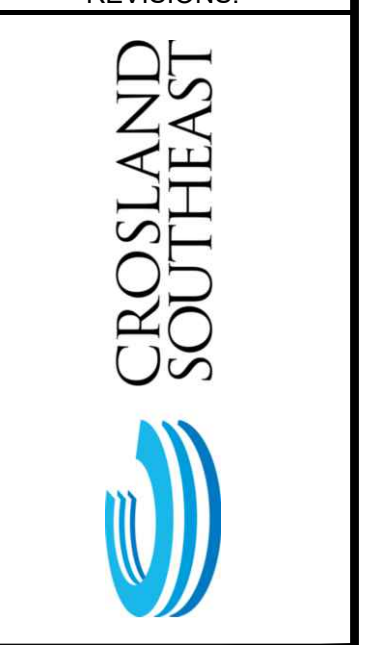
**Private Sewer Collection / Extension System**  
 The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh  
 Public Utilities Department Permit # \_\_\_\_\_  
 Authorization to Construct \_\_\_\_\_  
 Date \_\_\_\_\_

**- Final Drawing -**  
 Issued for Permit  
 Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVED SP22-03 REVISION (REFERENCE PR 21-04) BUILDING LOCATED TO BE PER OWNER REQUEST



**UTILITY PLAN**  
**WALLBROOK**  
 SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)  
 Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)  
 Rolesville, Wake County, North Carolina

NC License: P-1199  
**ARK CONSULTING GROUP PLLC**  
 ENGINEERS & PLANNERS  
 2755-B Charles Blvd  
 #251 US8-C888  
 www.arkconsultinggroup.com

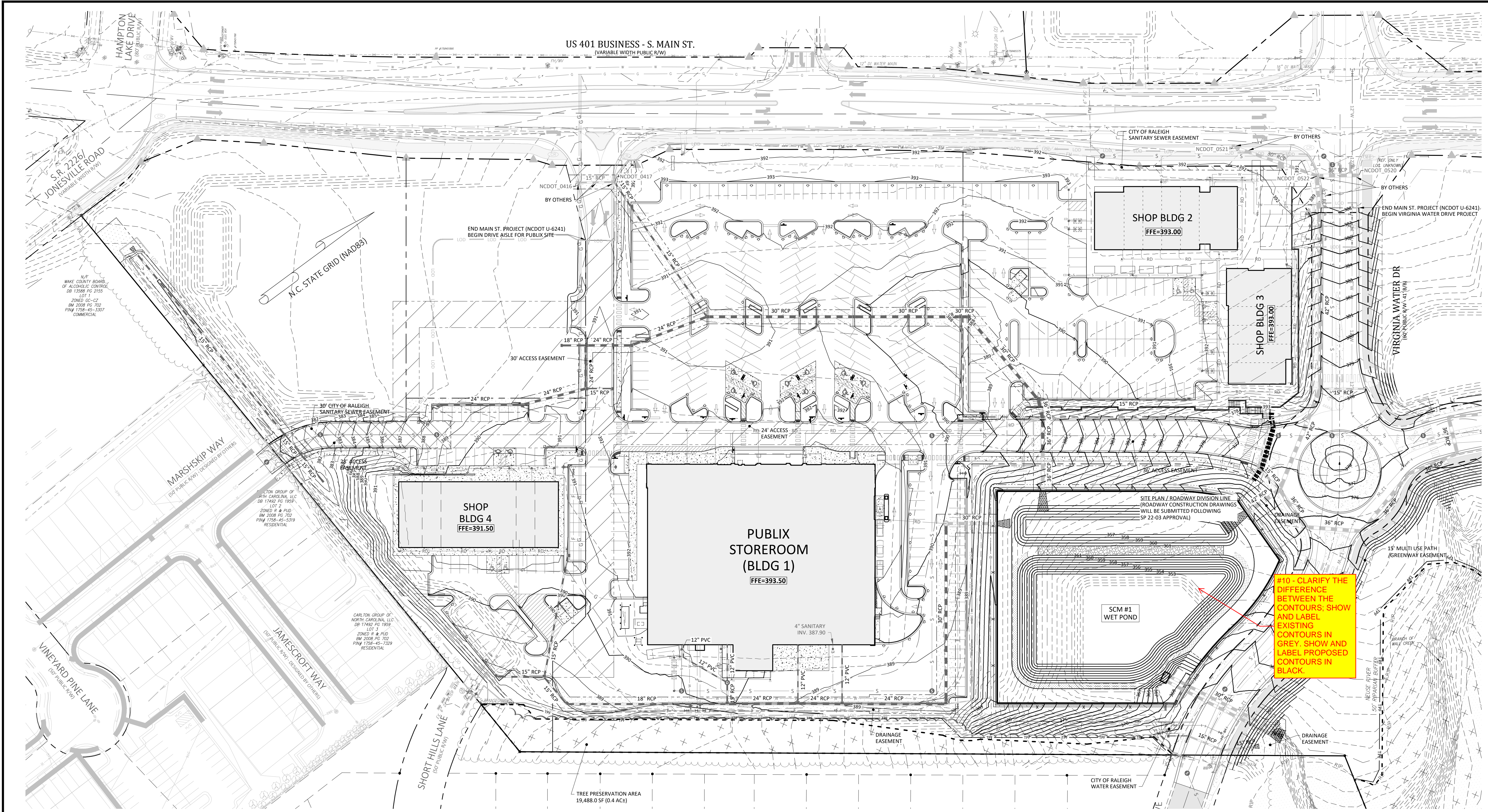
2/10/2023

Project Number: 22012  
 Drawing Number: D-1219-SP

Project Manager: BCF  
 Drawn By: DLC  
 Checked By: STA  
 Project Number: 22012  
 Drawing Number: D-1219-SP

**C2.0**

Date: February 10, 2023



**- Final Drawing -**  
Issued for Permit  
Review Purposes Only

**CROSLAND SOUTHEAST**

**GRADING & DRAINAGE PLAN**  
**WALLBROOK**  
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)  
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)  
Rolesville, Wake County, North Carolina

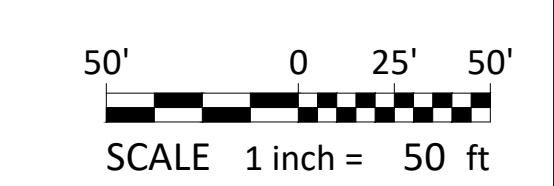
NC License: P-1109  
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Raleigh, NC 27608  
(757) 558-0888  
www.arkconsultinggroup.com

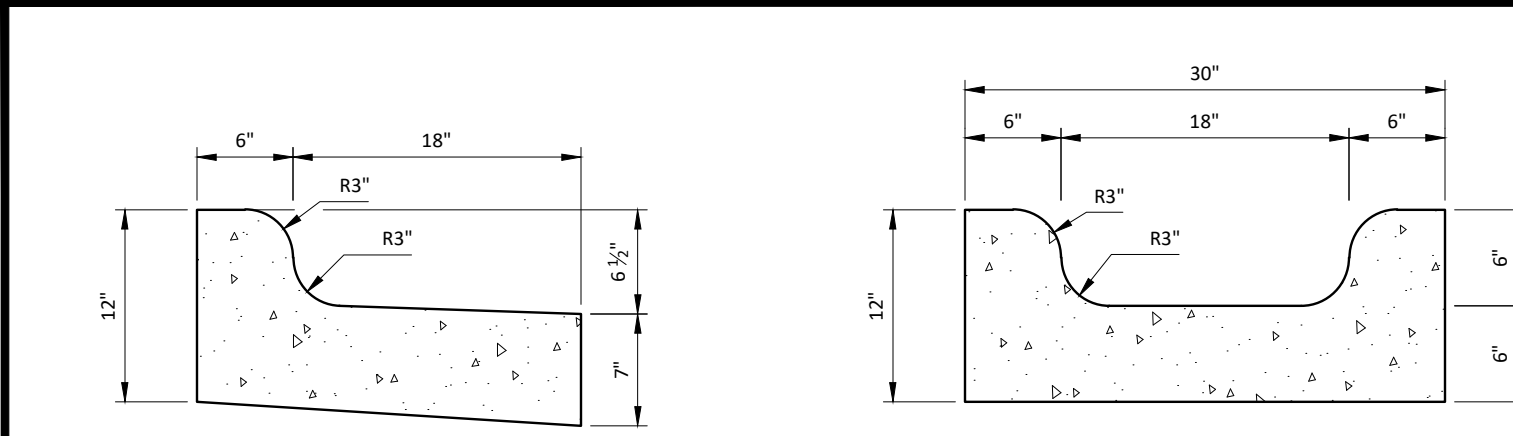
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Project Manager: BCF  
Drawn By: DLC  
Checked By: STA  
Project Number: 22012  
Drawing Number: D-1219-SP

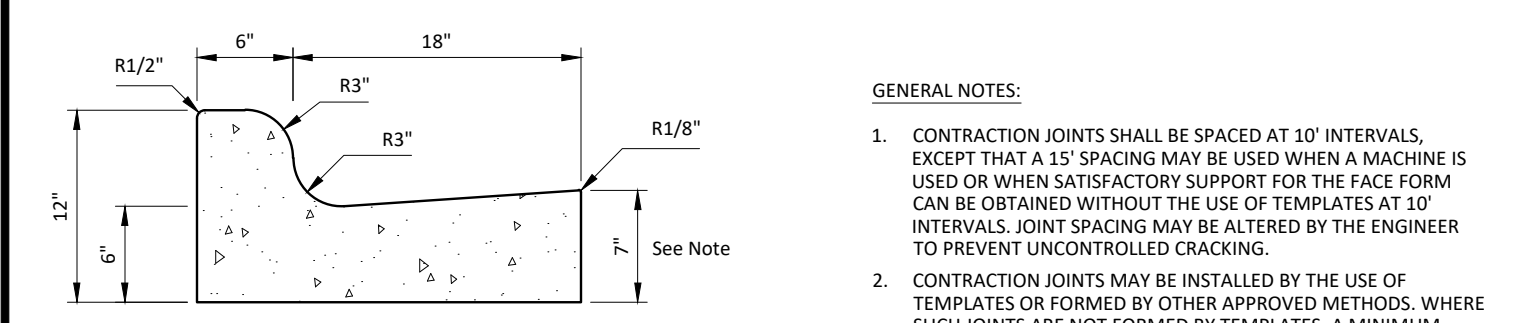
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Date: February 10, 2023

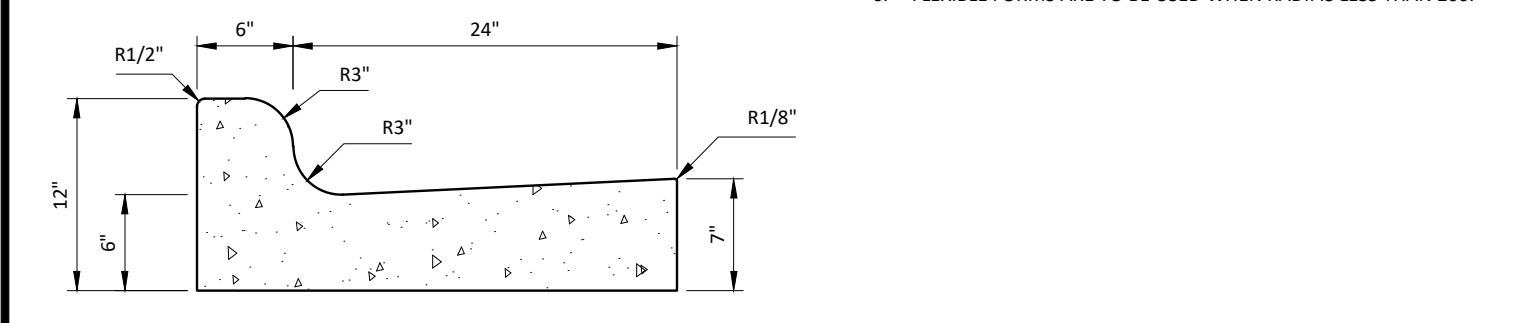




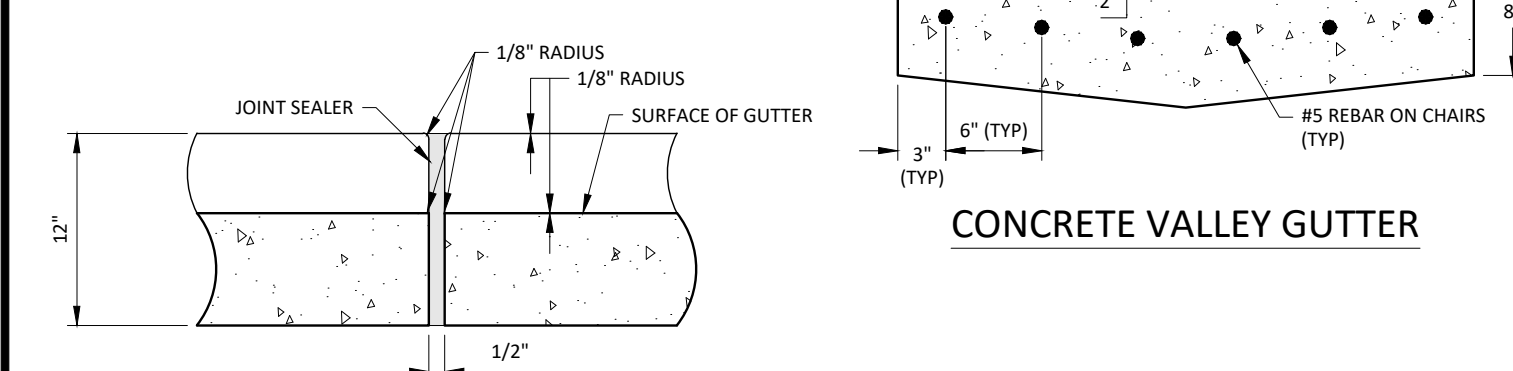
24" CONCRETE CURB AND GUTTER - SPILL SPECIAL GUTTER



24" CONCRETE CURB AND GUTTER



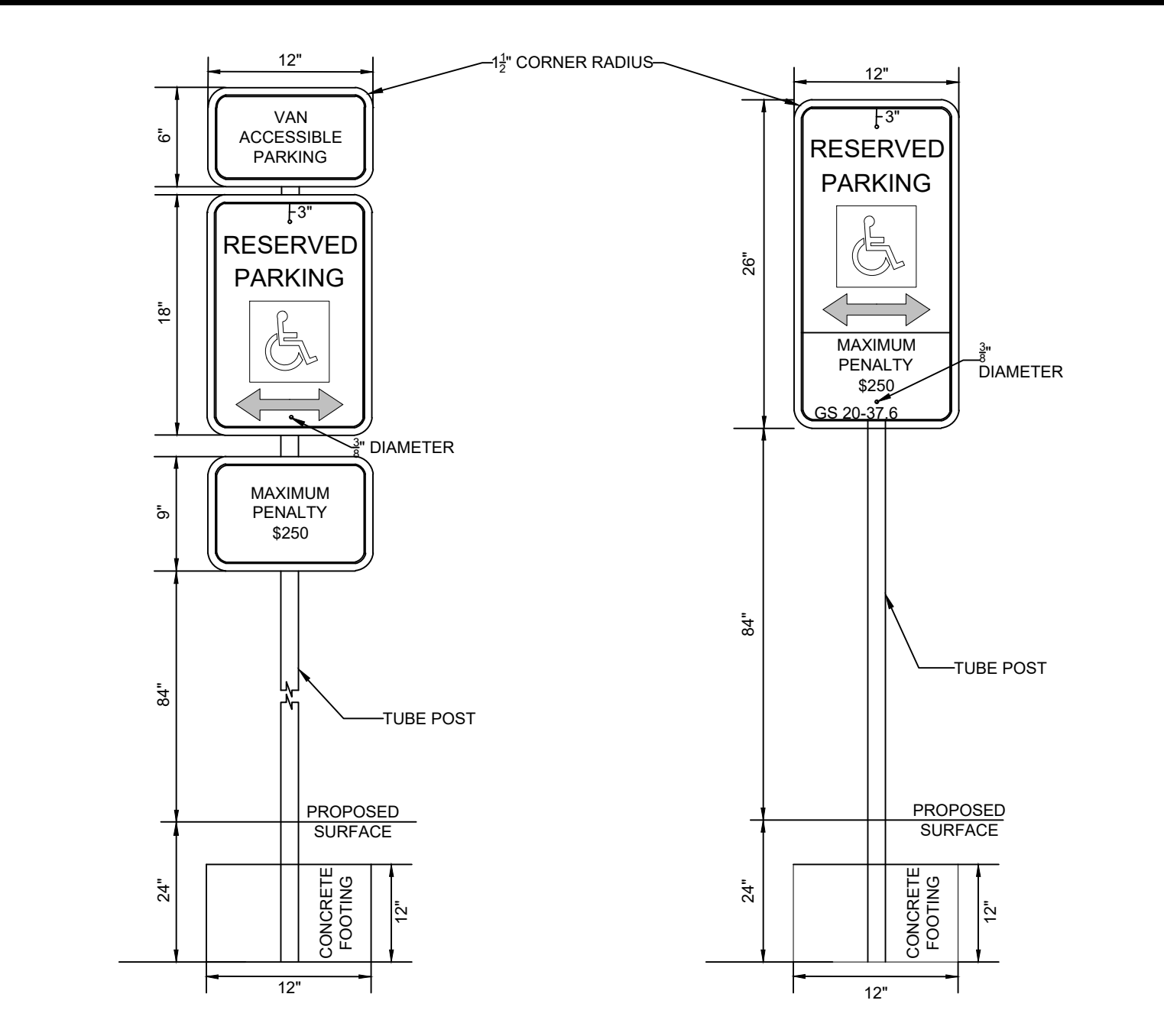
30" CONCRETE CURB AND GUTTER



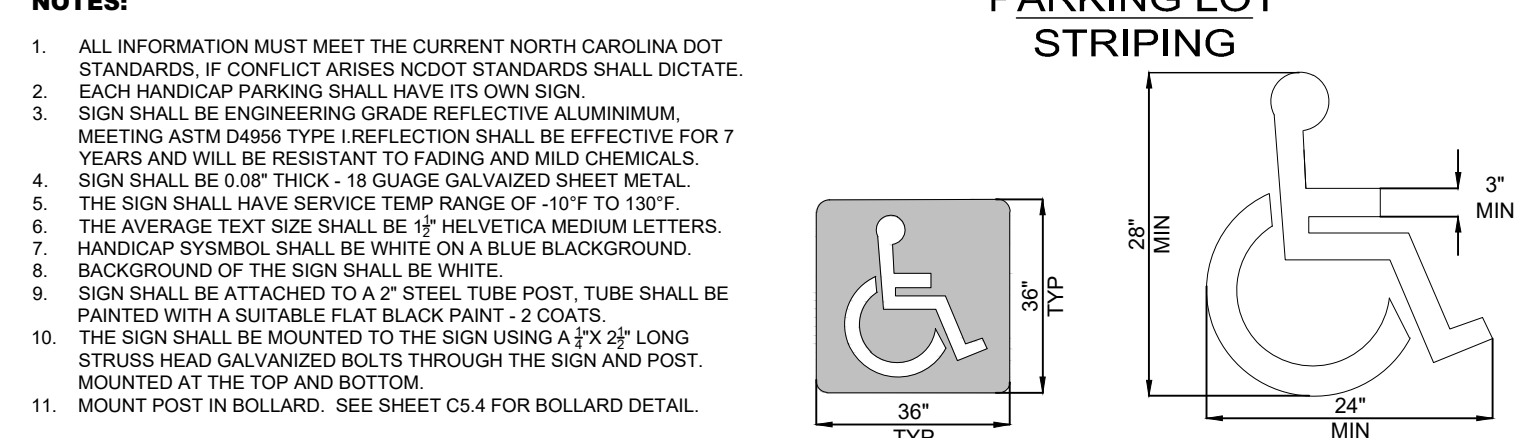
CONCRETE VALLEY GUTTER



CURB AND GUTTER DETAIL



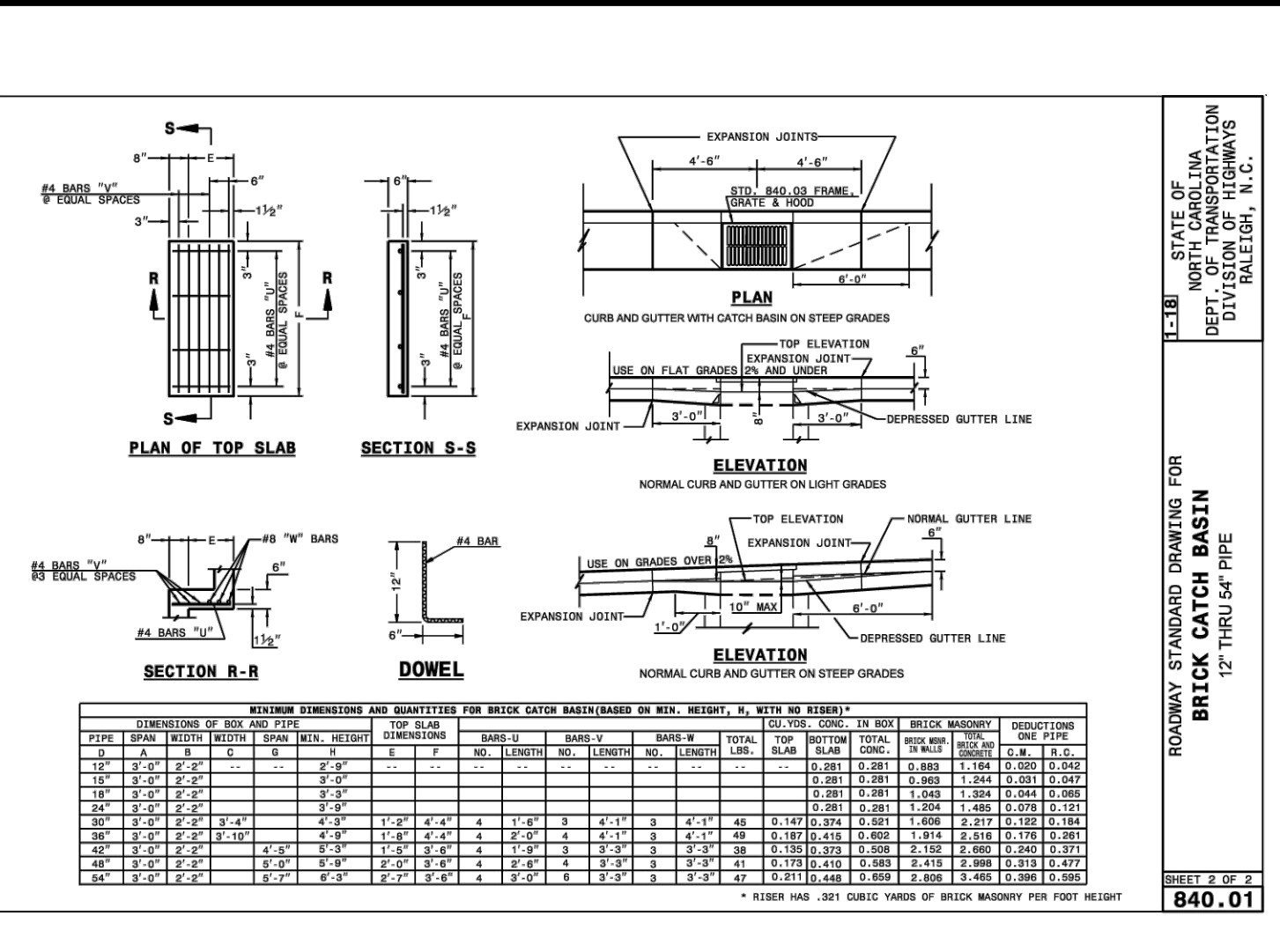
ACCESSIBLE PARKING SIGN



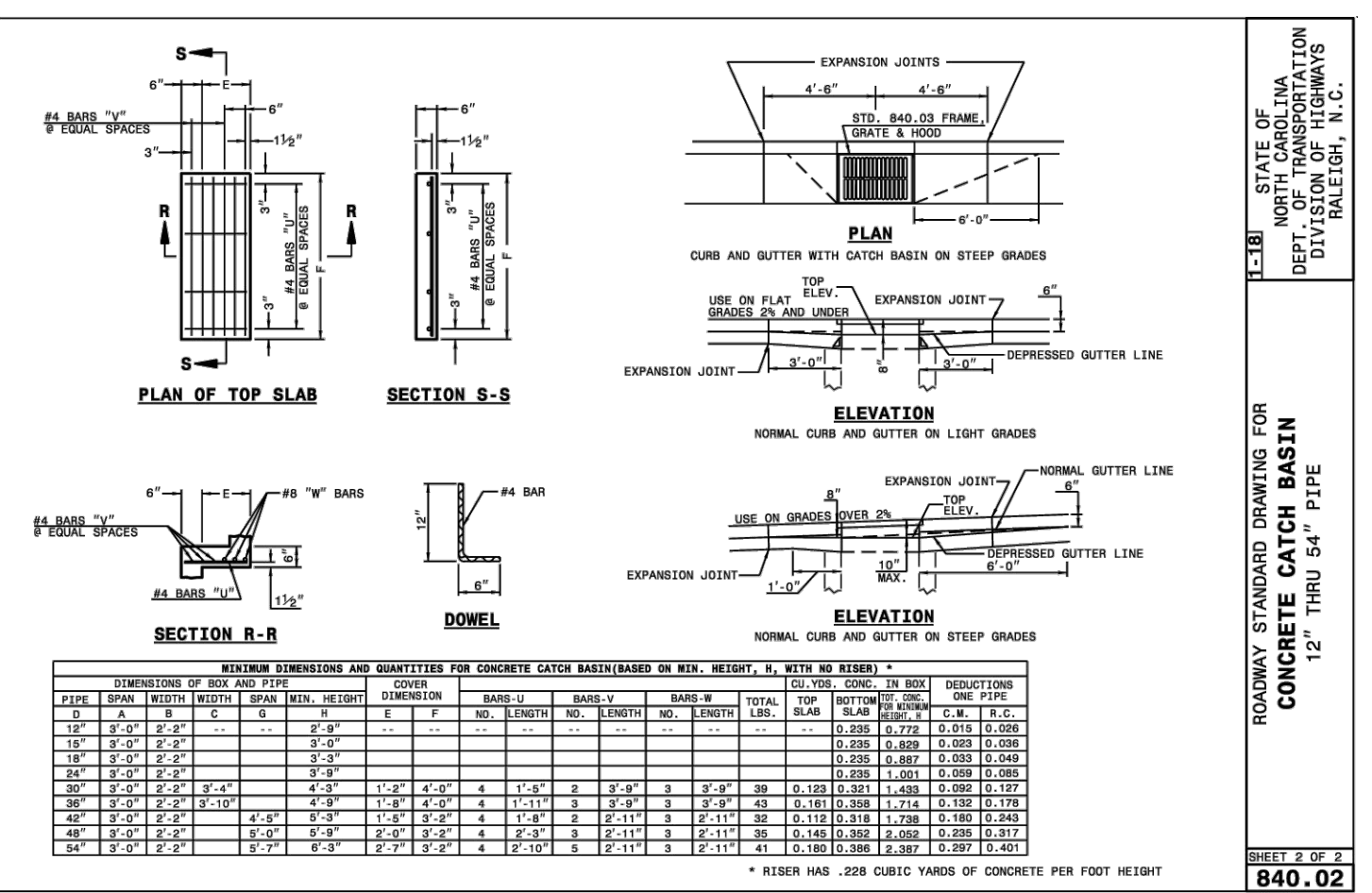
PARKING LOT STRIPING



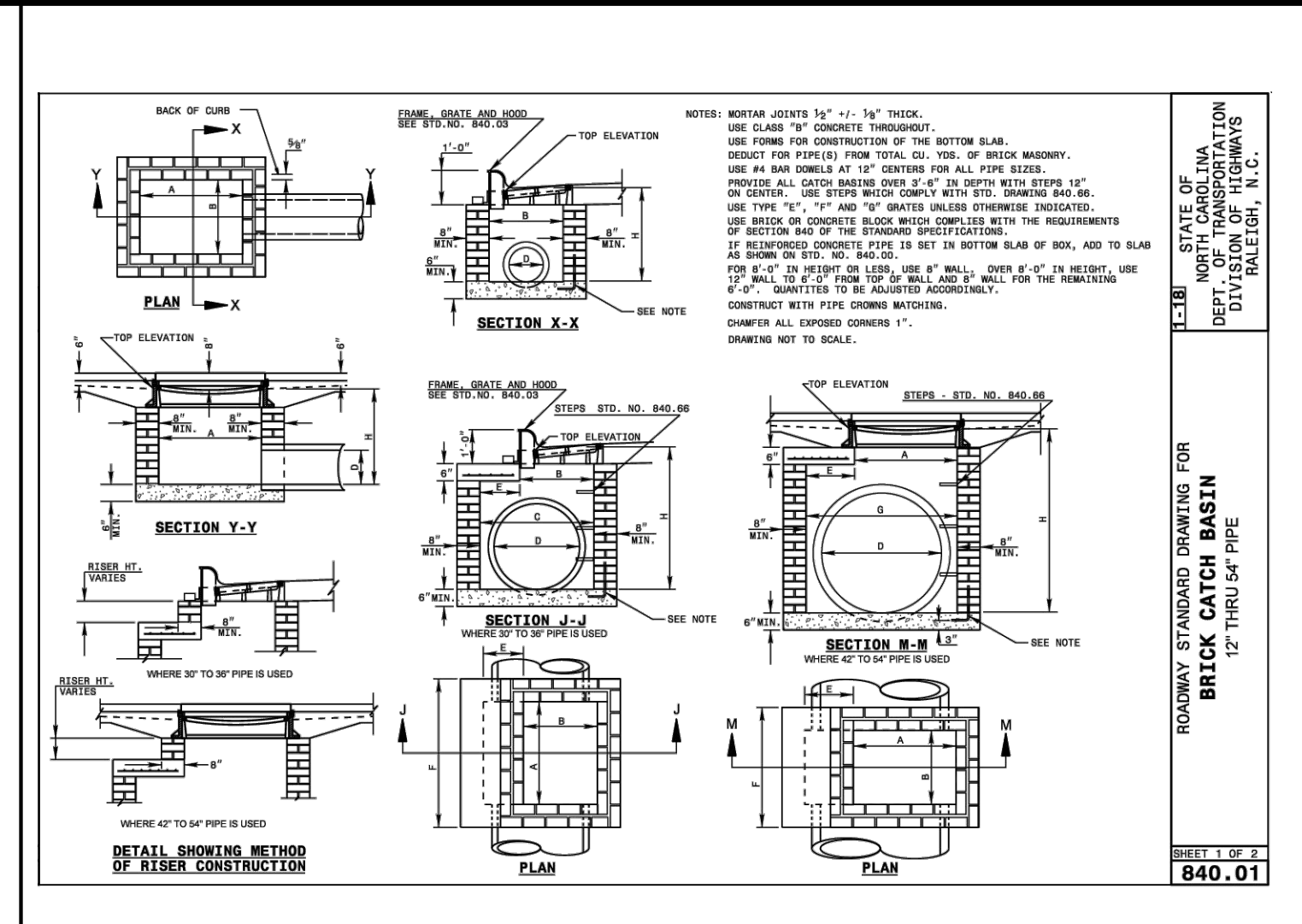
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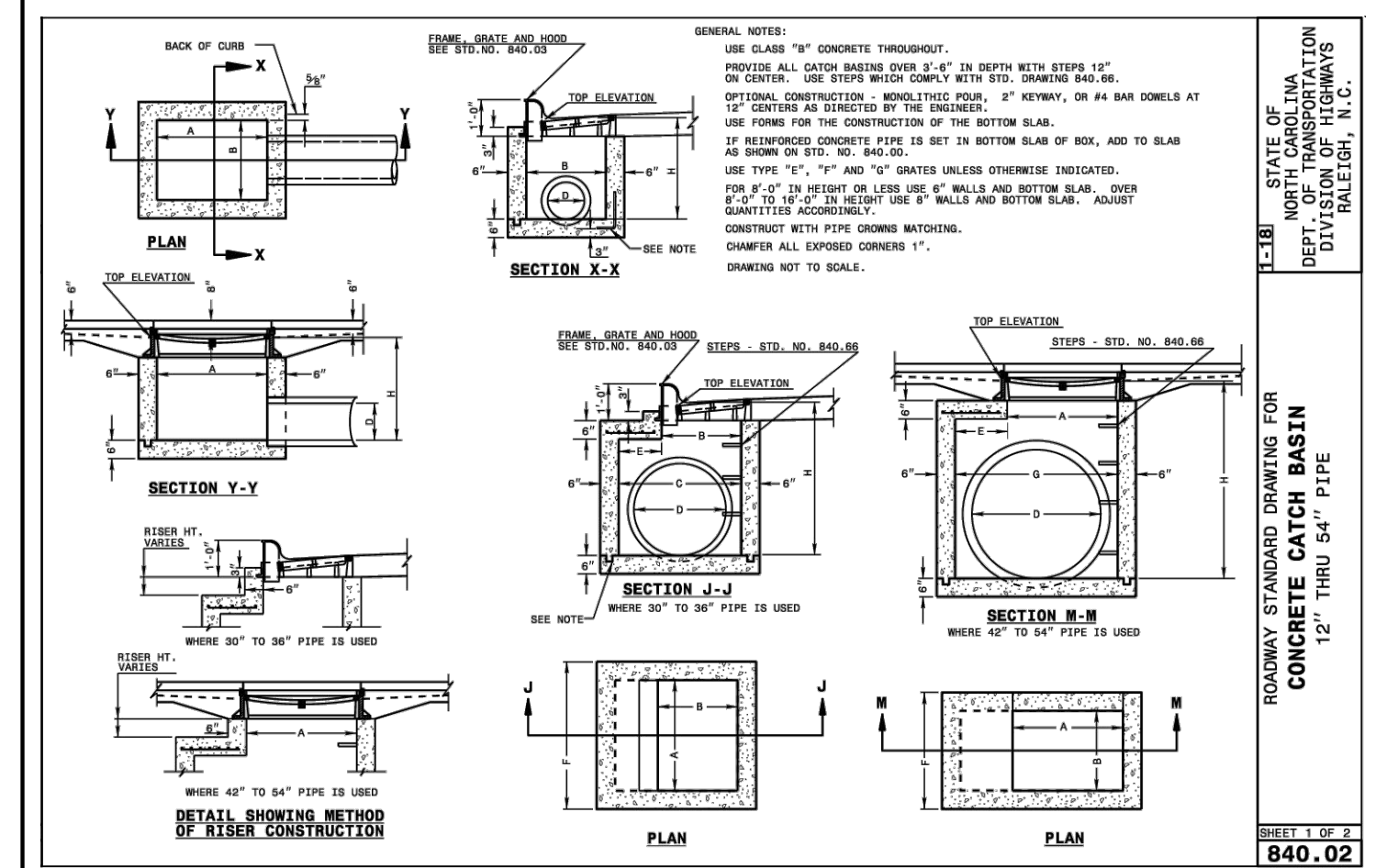
BRICK CATCH BASIN



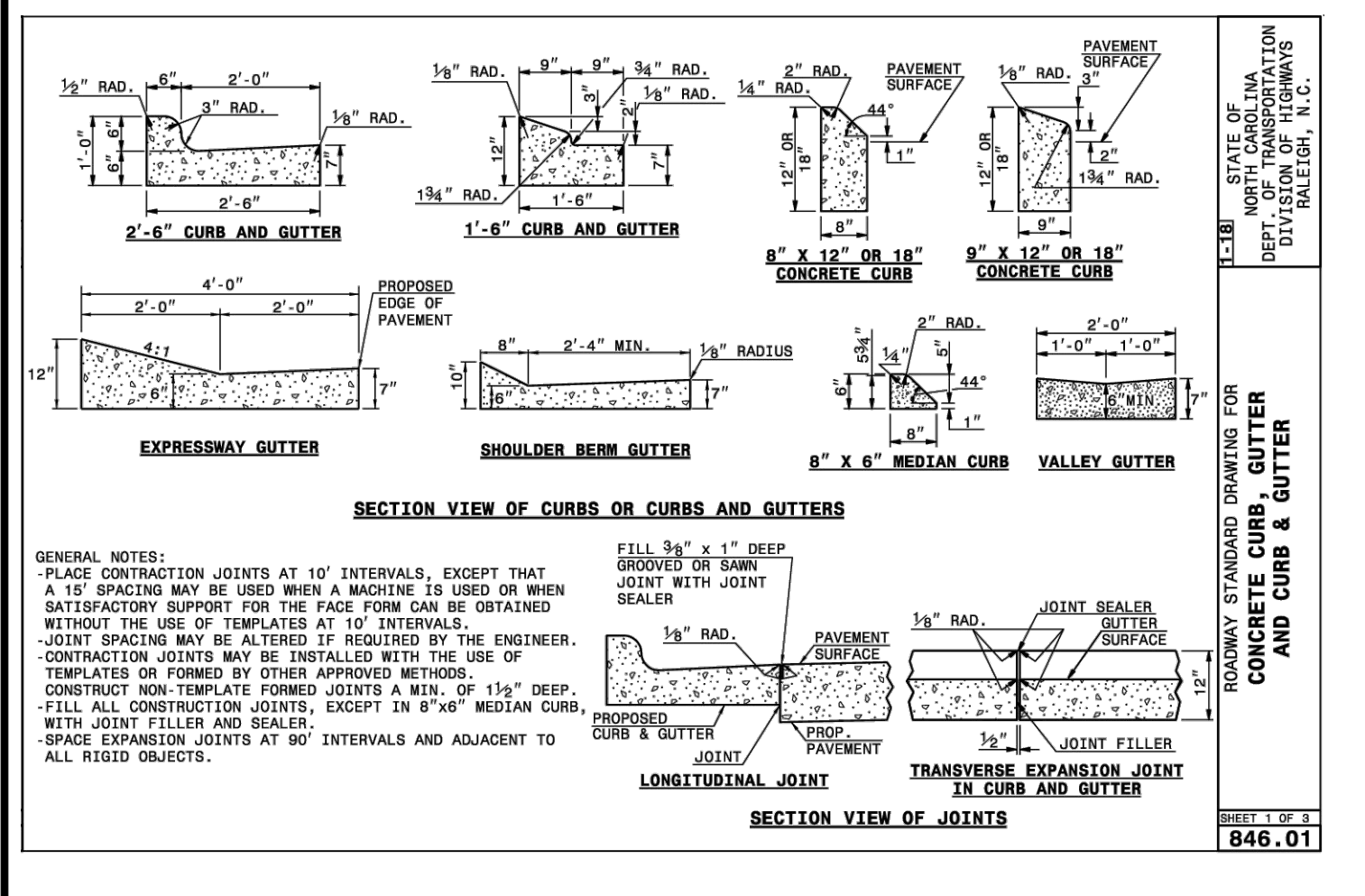
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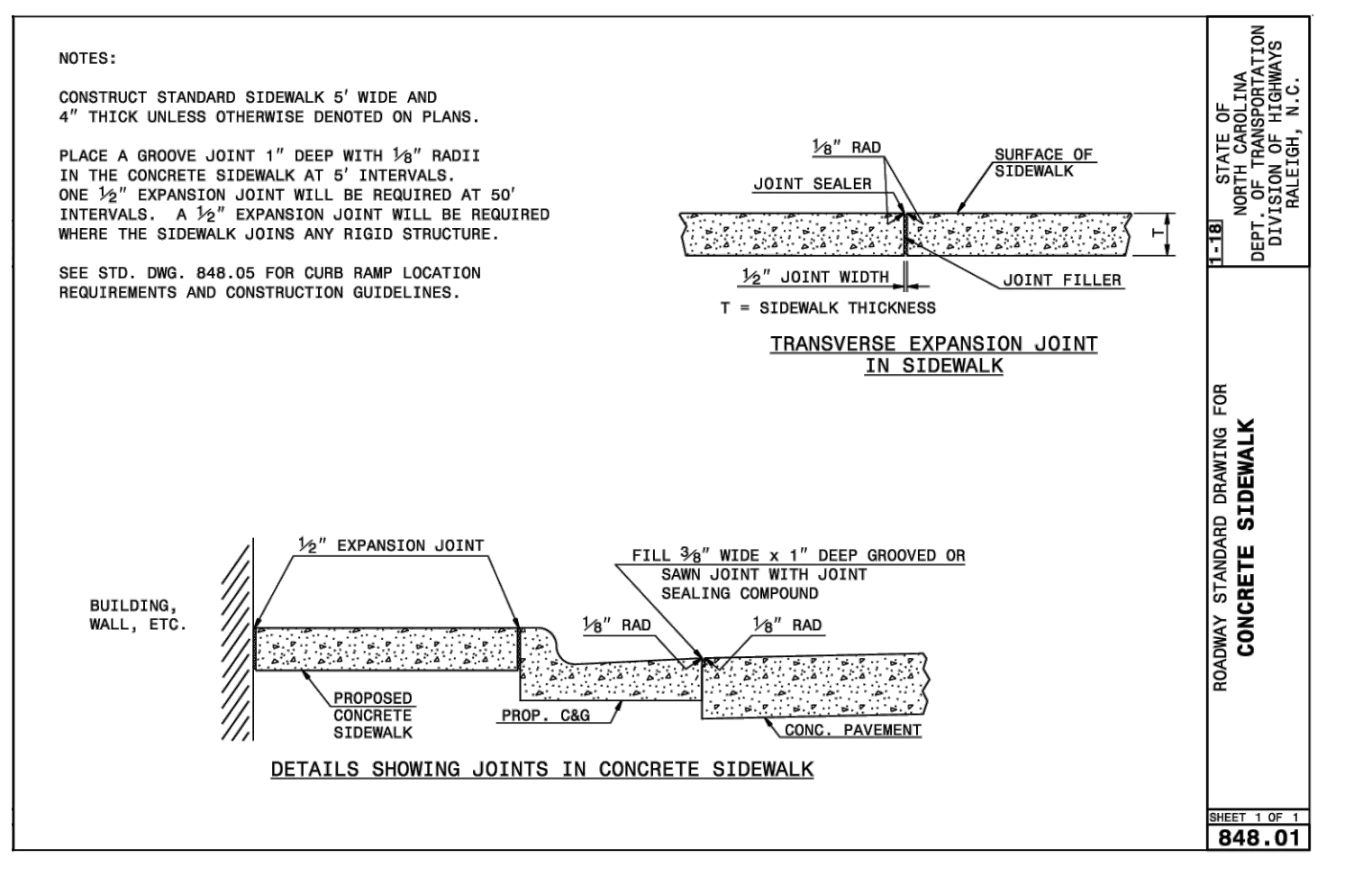
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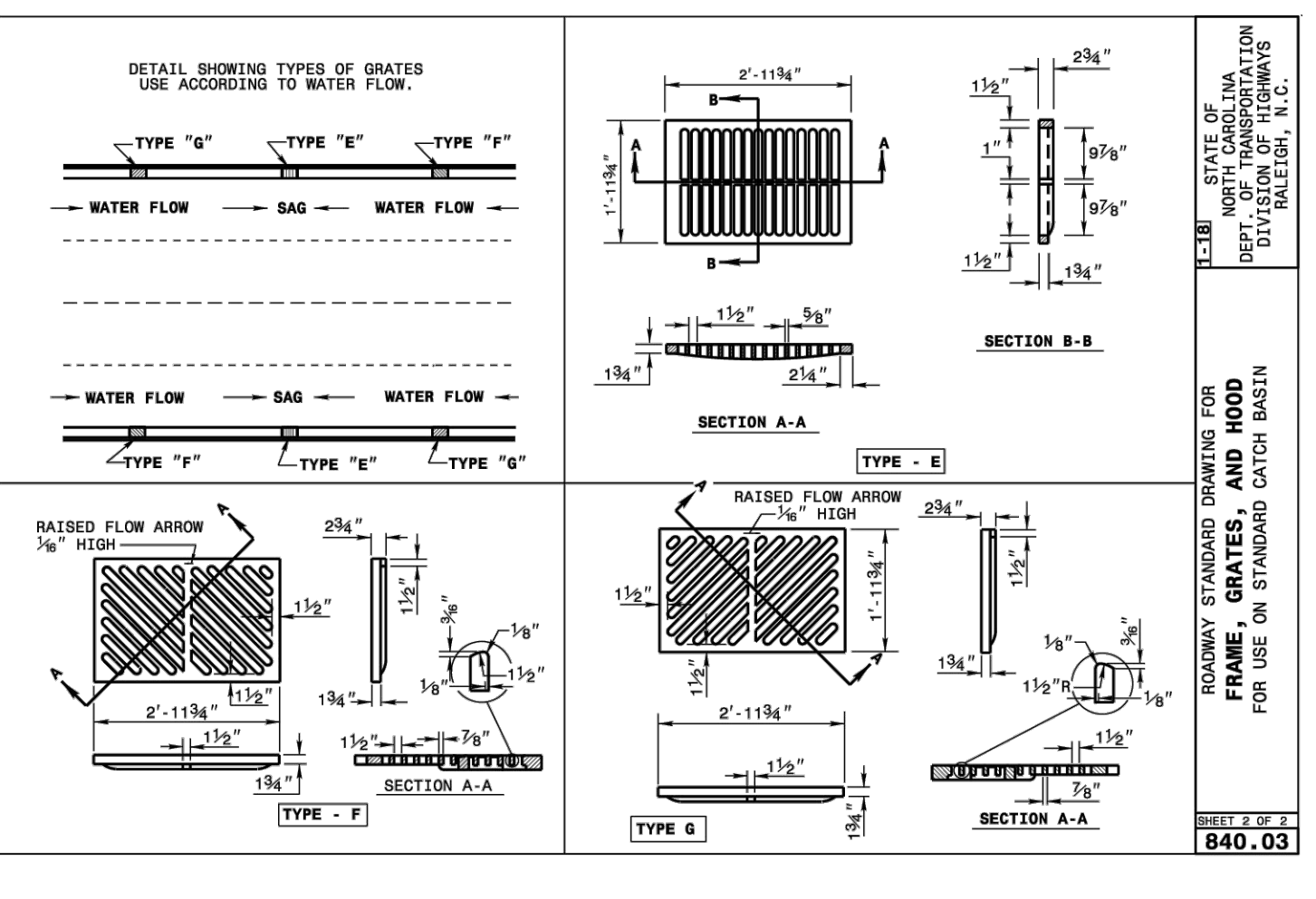
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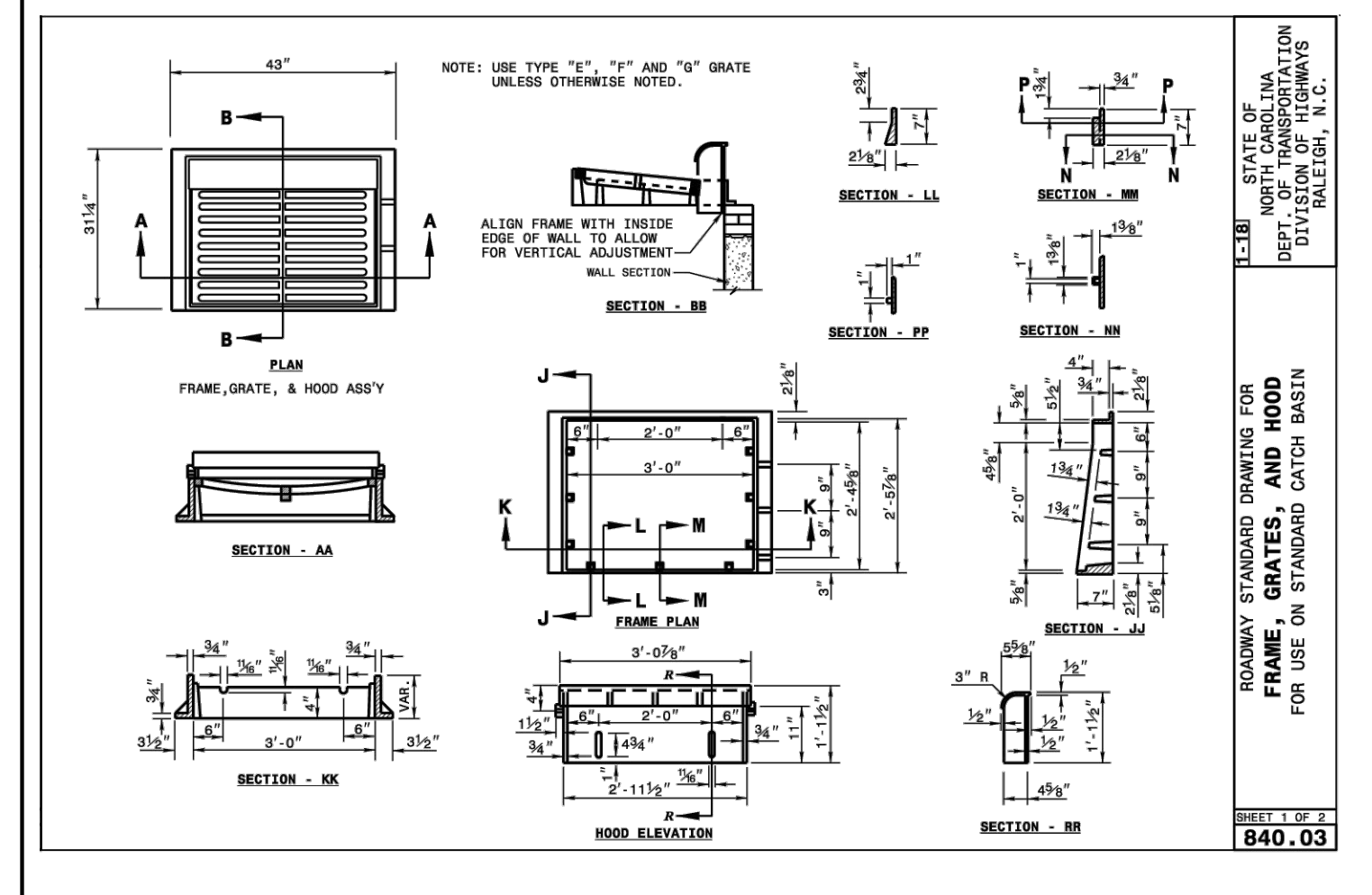
CURB AND GUTTER



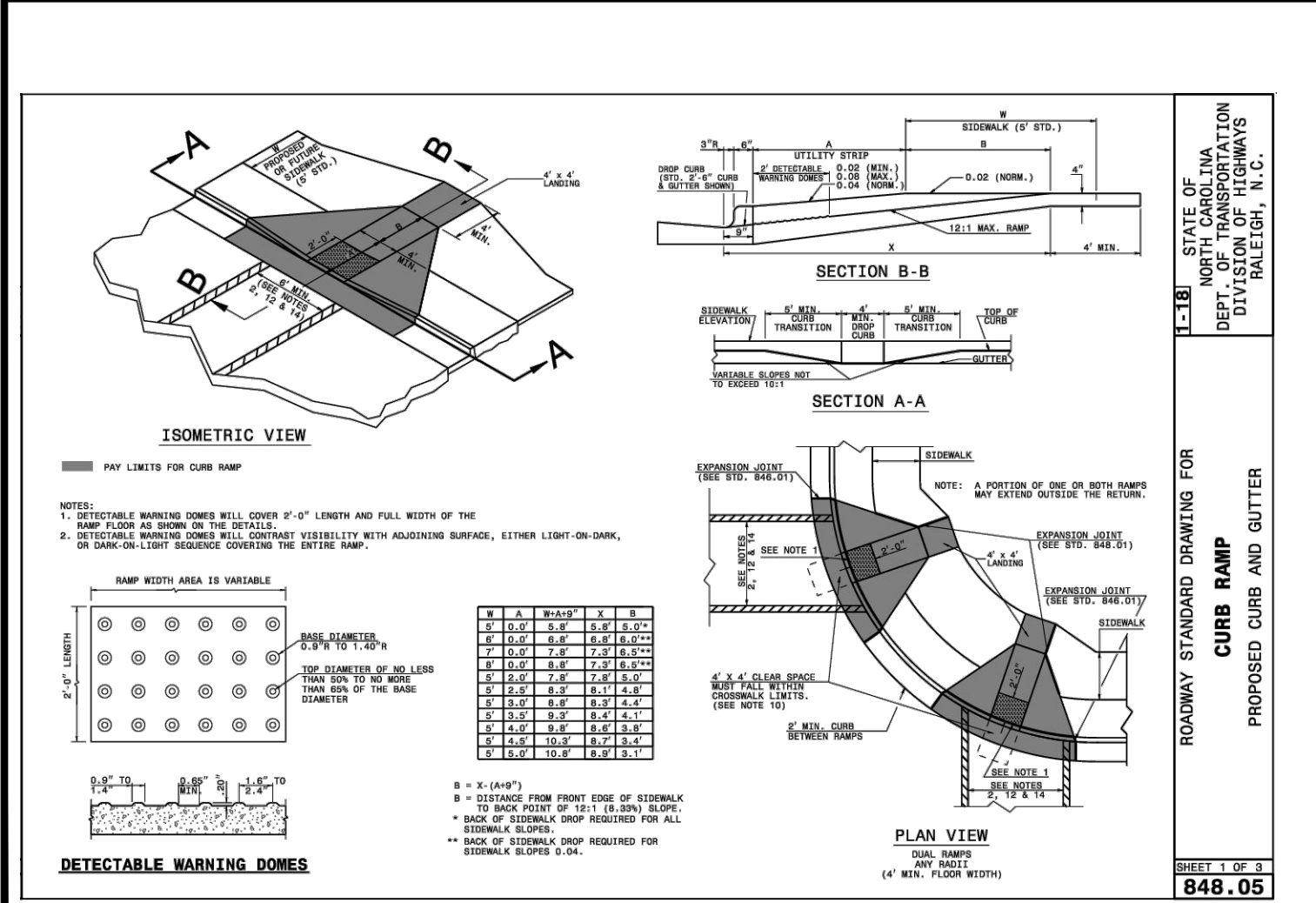
CONCRETE SIDEWALK



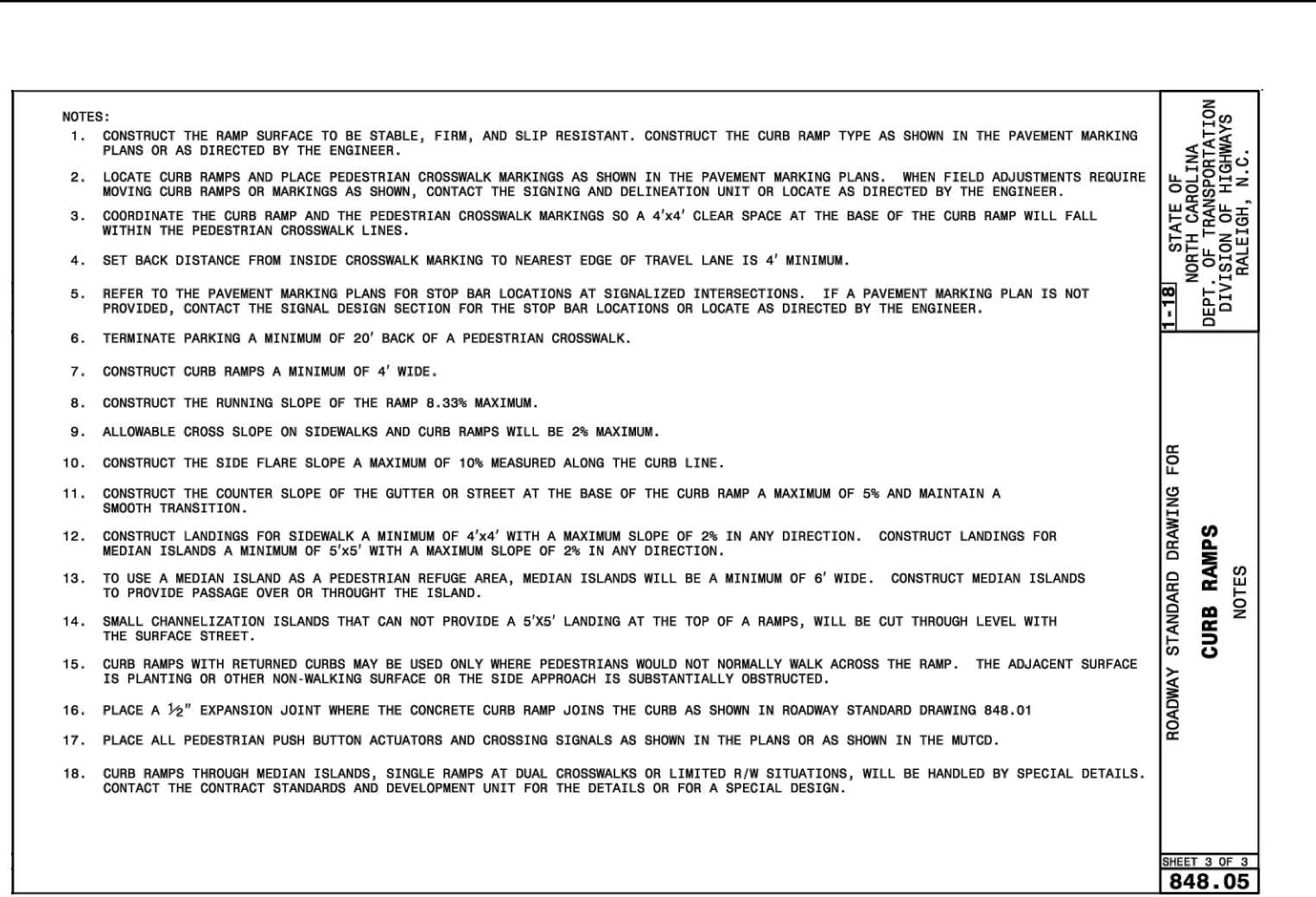
FRAME, GRATINGS, AND HOOD



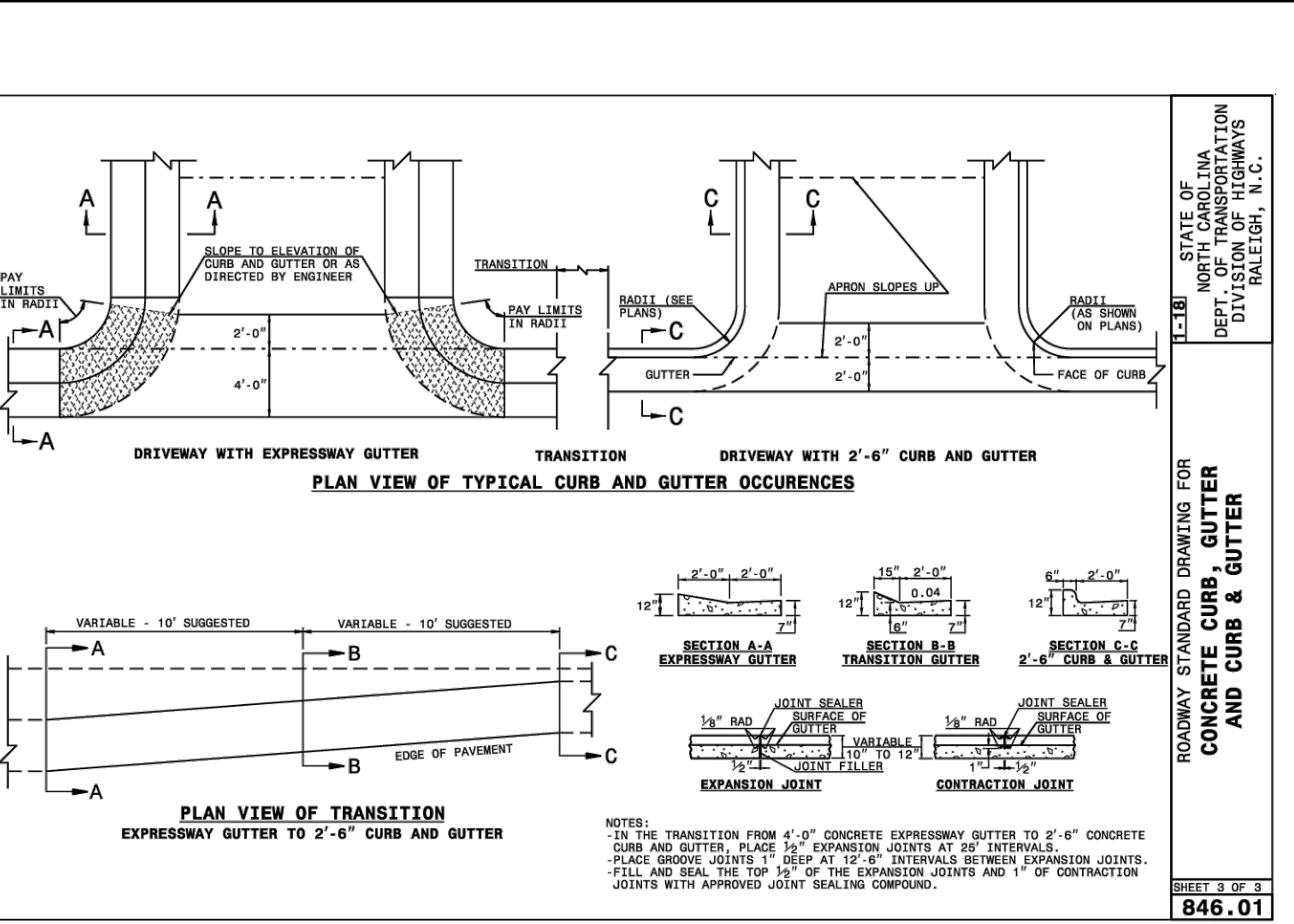
FRAME, GRATINGS, AND HOOD



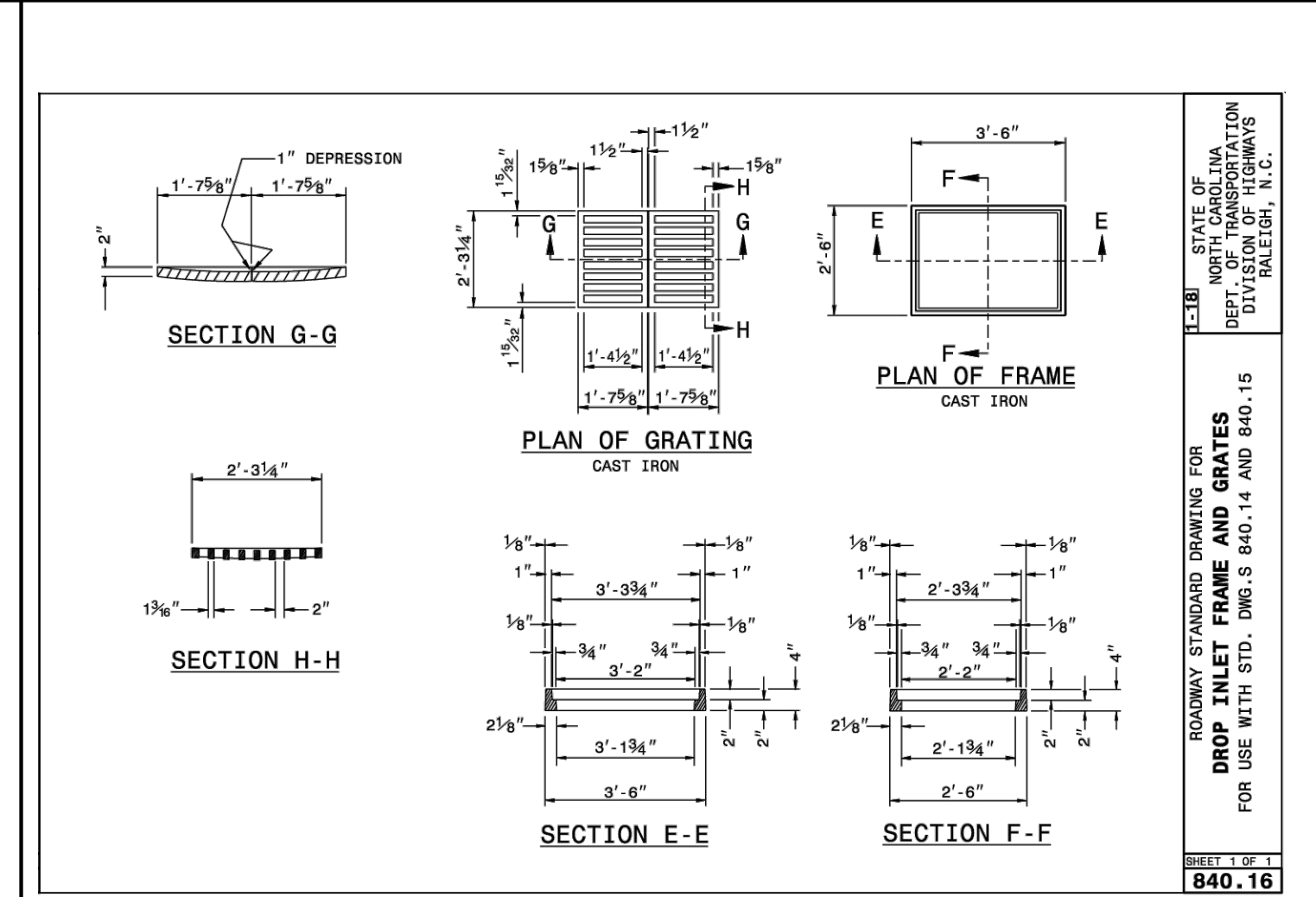
CURB RAMP



CURB RAMP



CONCRETE CURB & GUTTER



DROP INLET FRAME AND GRATINGS

**- Final Drawing -**  
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**CROSLAND SOUTHEAST**

**WALLBROOK**  
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)

Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)  
Rolesville, Wake County, North Carolina

**MISC. DETAILS - SITE-STORM**

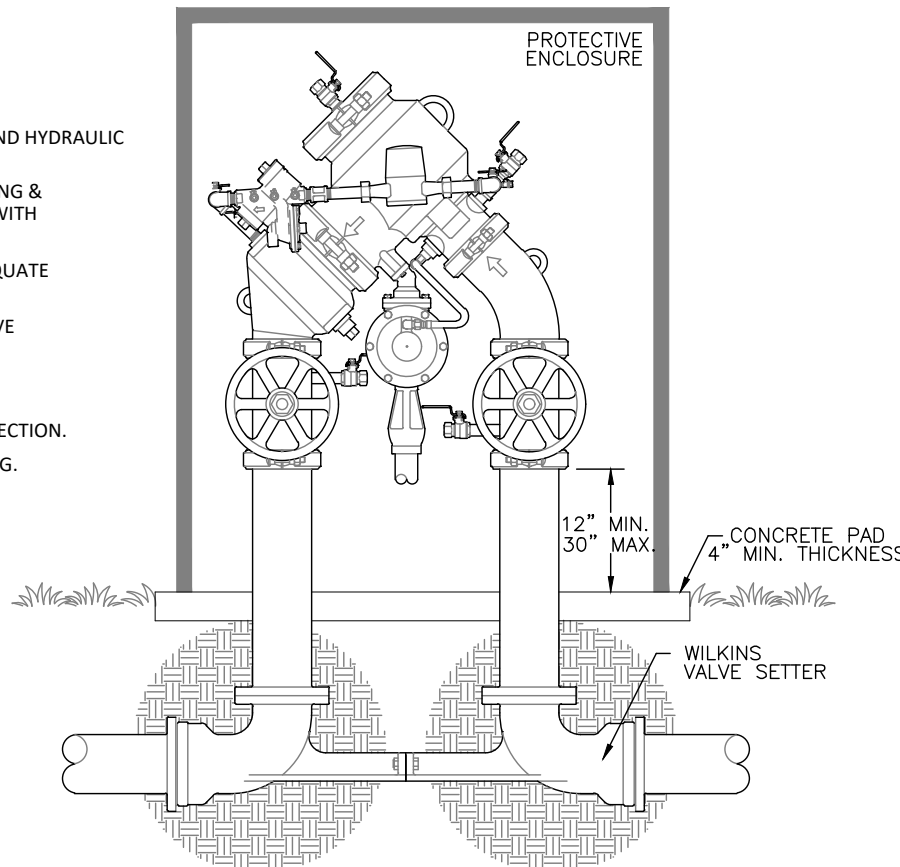
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(919) 877-8888  
www.arkconsultinggroup.com

**Project Manager: BCL**  
**Drawn By: DFC**  
**Checked By: STA**  
**Project Number: 22012**  
**Drawing Number: D-1219-SP**

**C5.1**

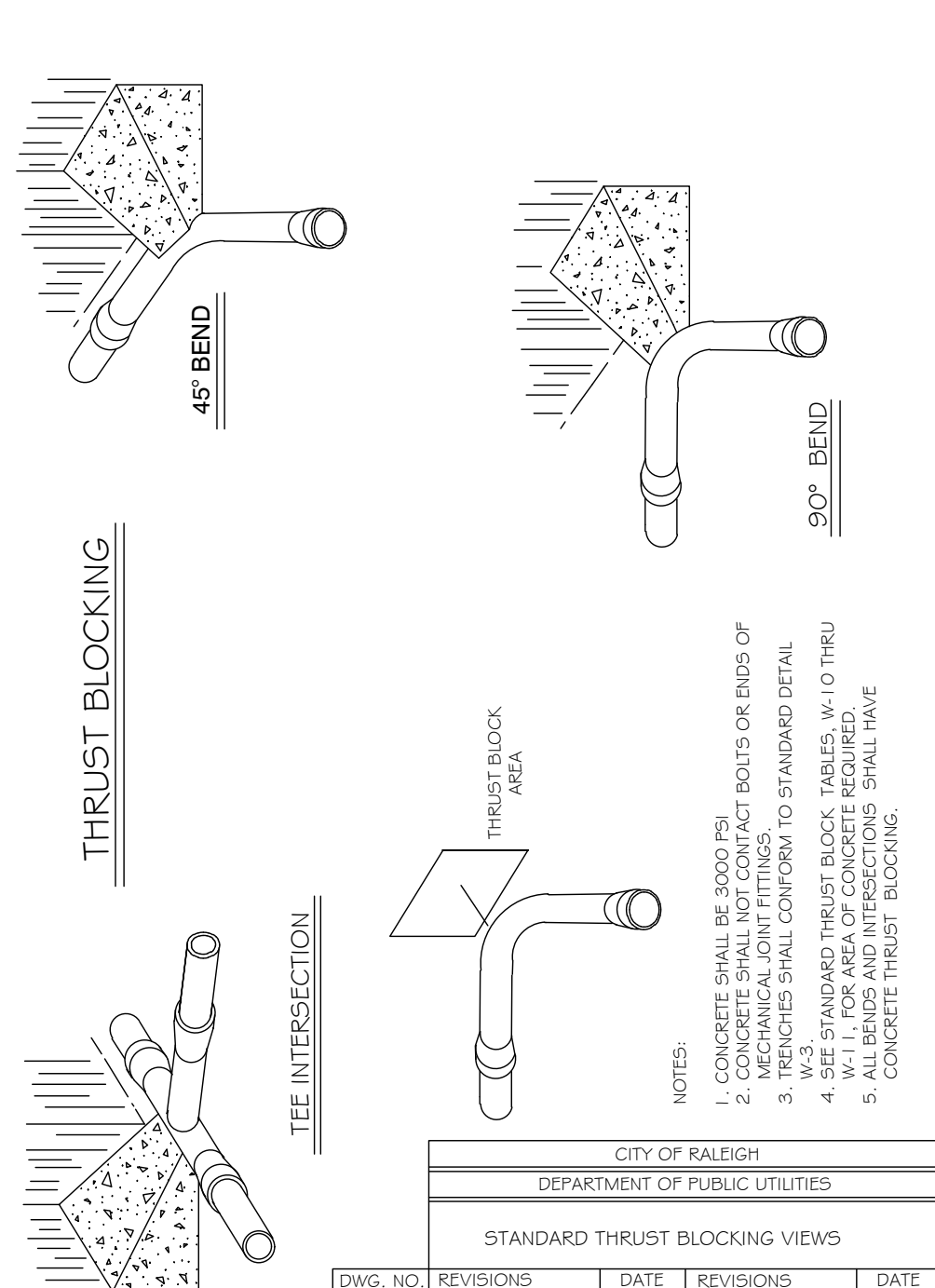
Date: February 10, 2023

1. ALL FLANGE BOLTS SHALL BE GALVANIZED
2. USE ONLY CONTROL DEVICES APPROVED BY GUC AND THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH, UNIVERSITY OF SOUTHERN CALIFORNIA
3. PROVIDE SHOP DRAWING SUBMITTAL SHOWING ALL PIPING & APPURTENANCES WITHIN THE PROTECTIVE ENCLOSURE WITH MEASUREMENTS & CLEARANCES CLEARLY LABELED
4. PROVIDE ALUMINUM ENCLOSURE SIZED TO ALLOW ADEQUATE ROOM FOR TESTING, MAINTENANCE AND OPERATION.
5. DRAIN OPENINGS SHALL BE SIZED TO ADEQUATELY RELIEVE MAXIMUM DISCHARGE OF APPROPRIATE DEVICE.
6. REDUCED PRESSURE PRINCIPLE ASSEMBLIES (RPZ) SHALL REQUIRE AN ABOVE GROUND INSTALLATION.
7. PROVIDE ELECTRIC HEATER FOR ADEQUATE FREEZE PROTECTION.
8. REFER TO DETAIL ON THIS SHEET FOR REACTION BLOCKING.

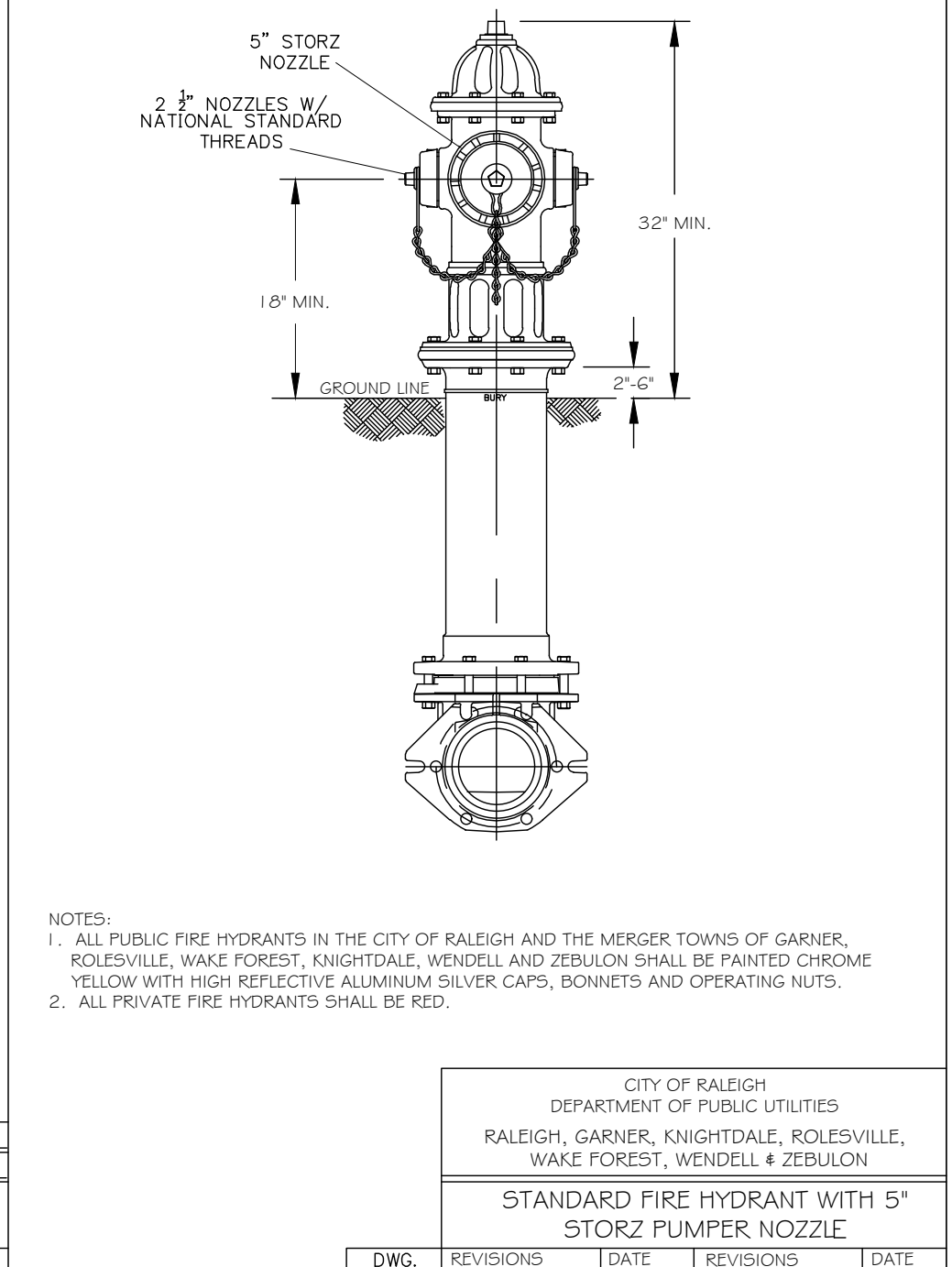


WILKINS MODEL 475DA  
REDUCED PRESSURE DETECTOR ASSEMBLY  
OUTDOOR INSTALLATION

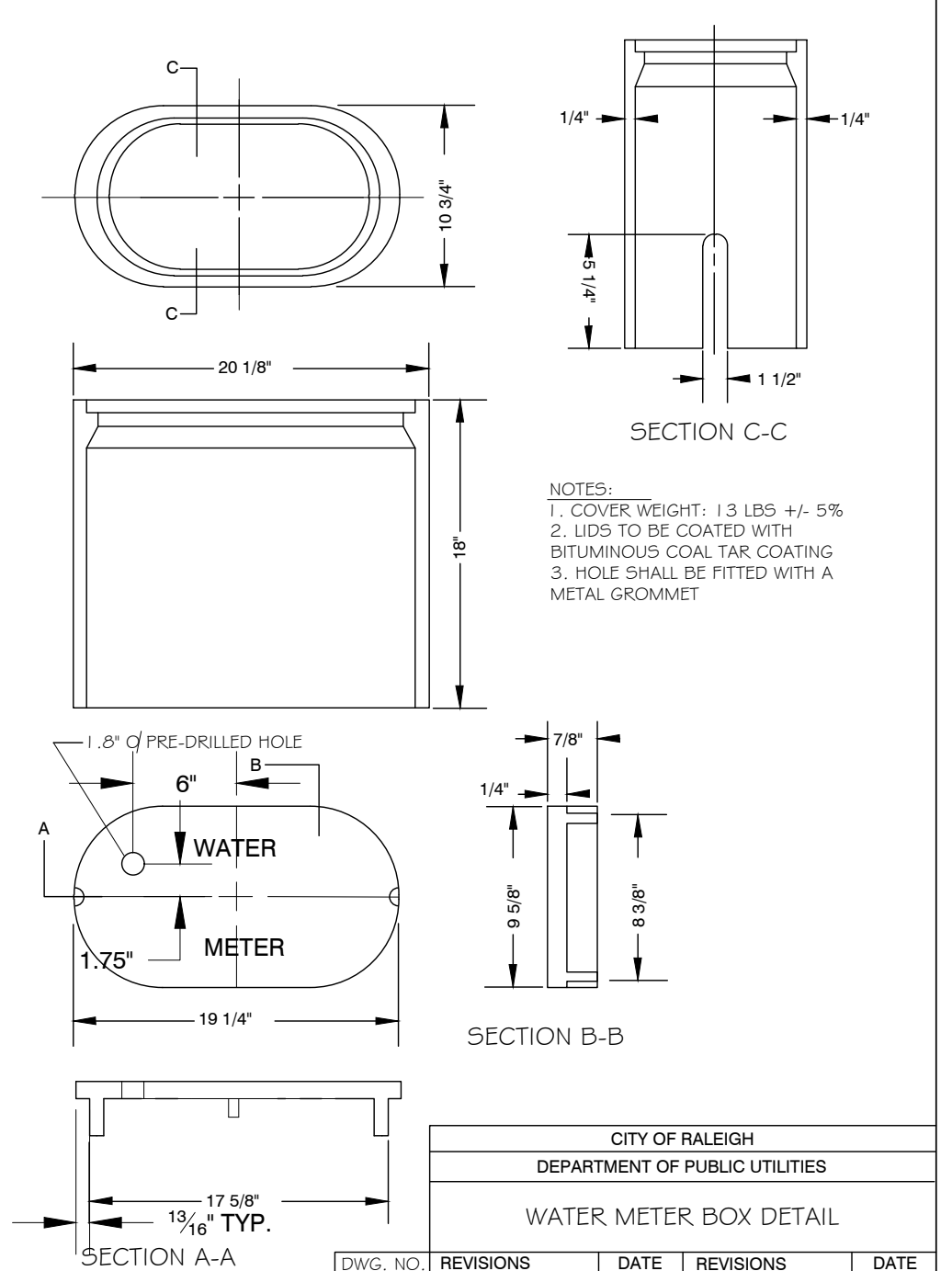
**REDUCED PRESSURE DETECTOR ASSEMBLY**  
NOT TO SCALE



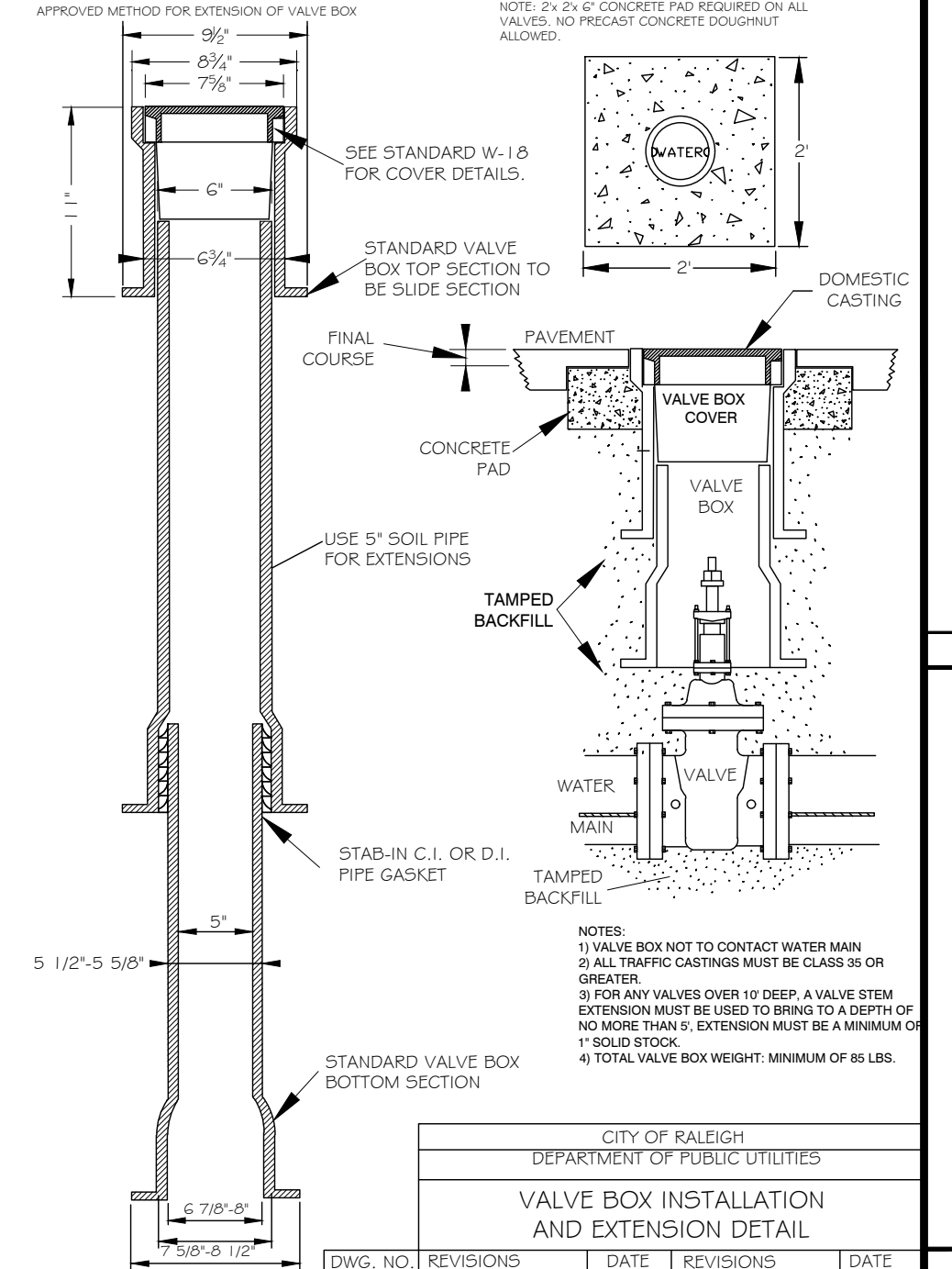
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		9-7-99	D.H.L.	6-18-08



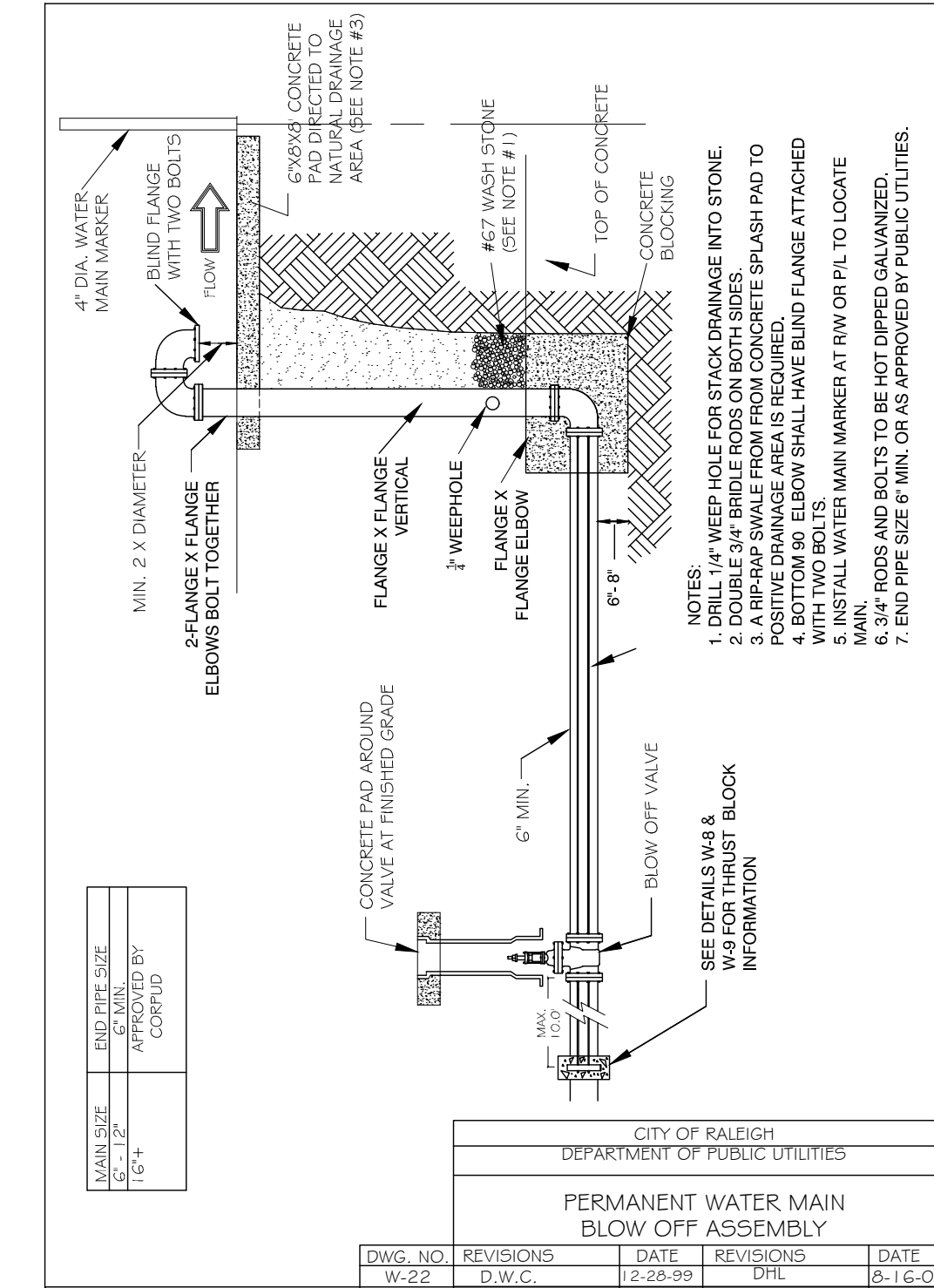
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W-3	M.A.B.	4-30-16		
	K.A.T.	9-15-17		



DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-25	D.W.C.	11-3-99	ABB	1-20-05
	RRH	3-31-00	J.P.S.	11-4-10



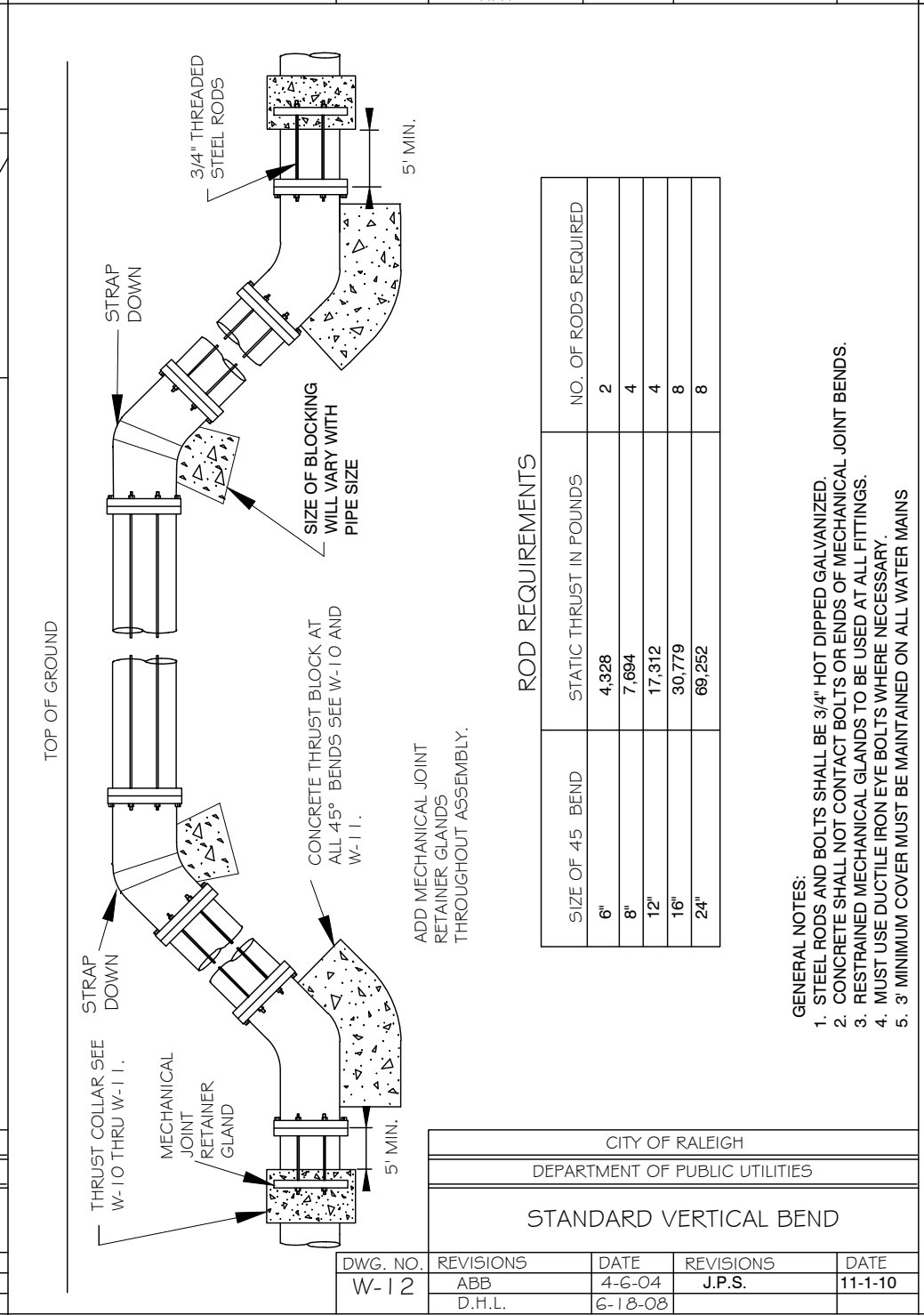
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	RRH	3-31-00	D.H.L.	9-16-07



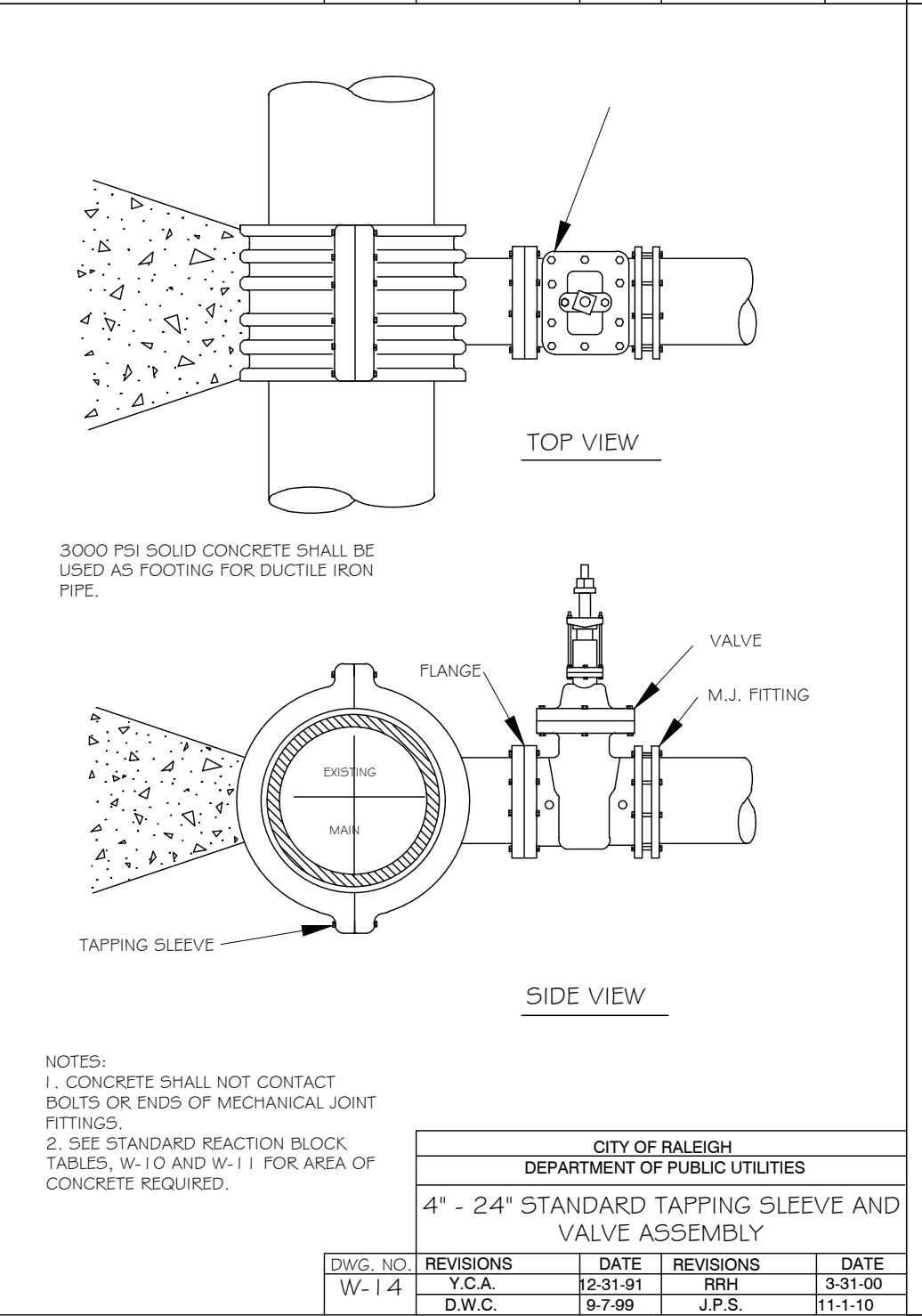
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	A.B.B.	9-13-04		

**REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS**  
BASED ON TEST PRESSURE OF 200 P.S.I.

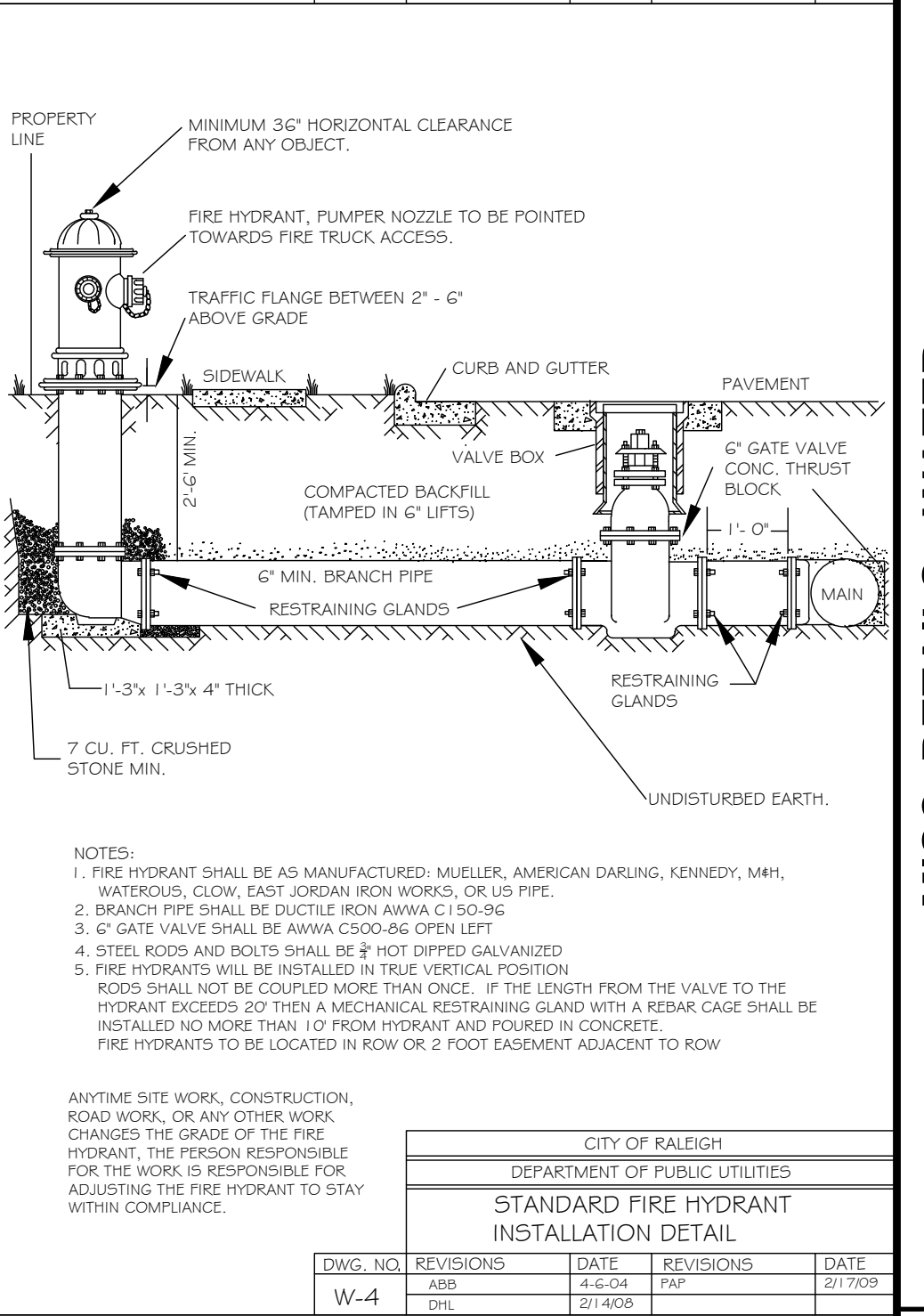
SIZE AND DEGREE OF BEND	STEEL THRUST IN SQUARE FEET	CONCRETE THRUST IN SQUARE FEET	CONCRETE THRUST IN SQUARE FEET	CONCRETE THRUST IN SQUARE FEET	CONCRETE THRUST IN SQUARE FEET	CONCRETE THRUST IN SQUARE FEET	CONCRETE THRUST IN SQUARE FEET	CONCRETE THRUST IN SQUARE FEET	CONCRETE THRUST IN SQUARE FEET
6"									
11 1/4"	1,108	1	1	1	1	1	1	1	1
22 1/2"	2,207	1	2	2	1	1	1	1	3
45°	4,328	2	3	3	1	1	2	5	1
90°	7,996	2	4	5	1	1	2	8	1
FLUG	5,655	2	3	4	1	1	2	6	1
8"									
11 1/4"	1,870	1	1	2	1	1	1	2	1
22 1/2"	3,822	1	2	3	1	1	1	4	1
45°	7,684	2	4	5	1	1	2	8	1
90°	14,215	4	6	9	2	2	4	15	2
FLUG	10,653	3	5	6	2	2	3	10	1
12"									
11 1/4"	4,433	2	3	3	1	1	2	5	1
22 1/2"	8,826	3	5	6	2	2	3	9	1
45°	17,312	5	9	11	3	3	5	18	2
90°	31,983	8	16	19	4	4	8	32	4
FLUG	22,819	6	12	14	3	3	6	23	3
16"									
11 1/4"	7,881	2	4	5	1	1	2	8	1
22 1/2"	15,691	4	8	10	2	2	4	16	2
45°	30,779	8	16	19	4	4	8	31	4
90°	56,861	15	29	35	8	8	15	57	6
FLUG	40,213	10	21	25	5	5	10	41	5



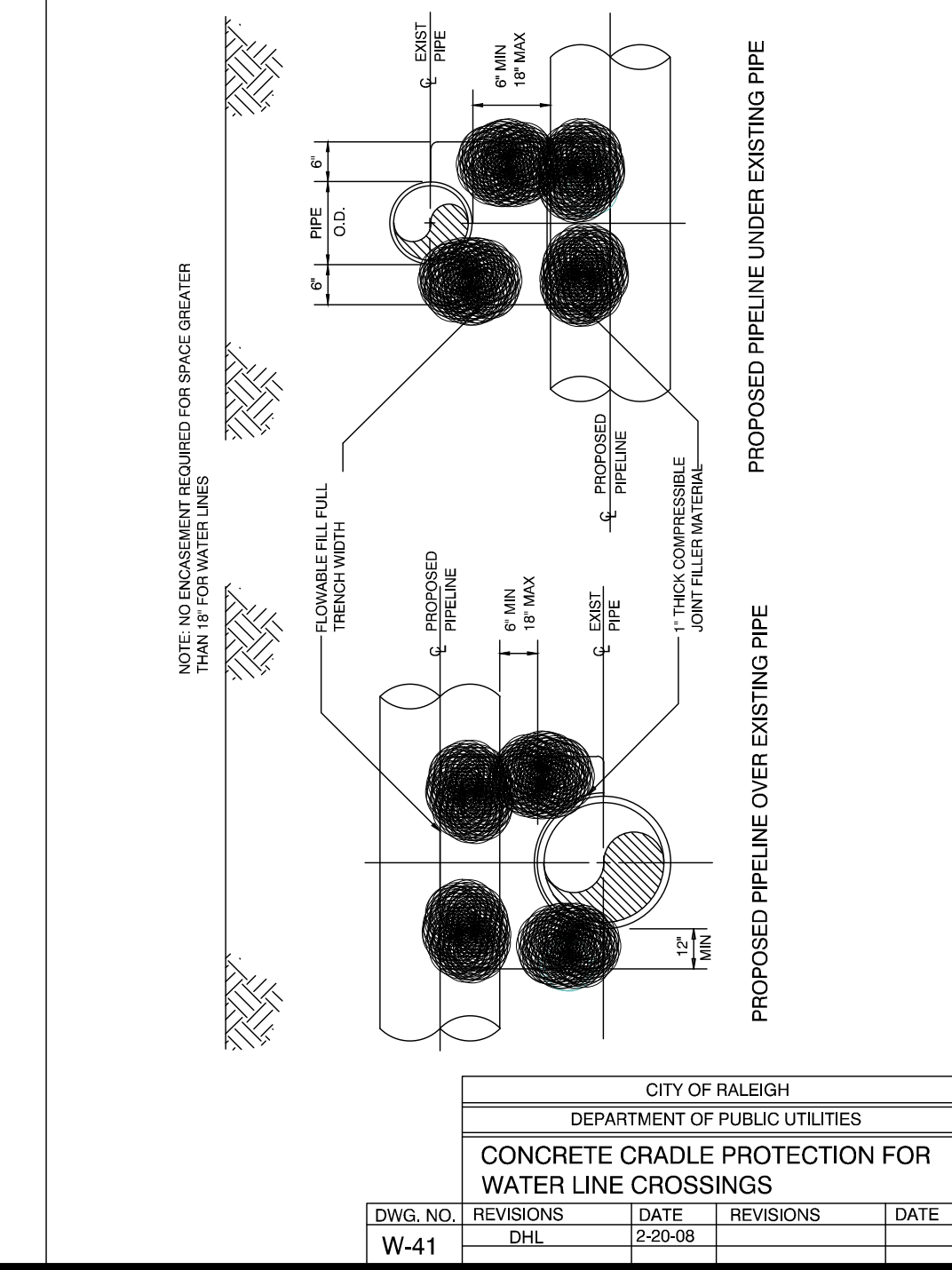
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W-12	Y.C.A.	4-6-04	J.P.S.	11-1-10
	D.H.L.	6-18-08		



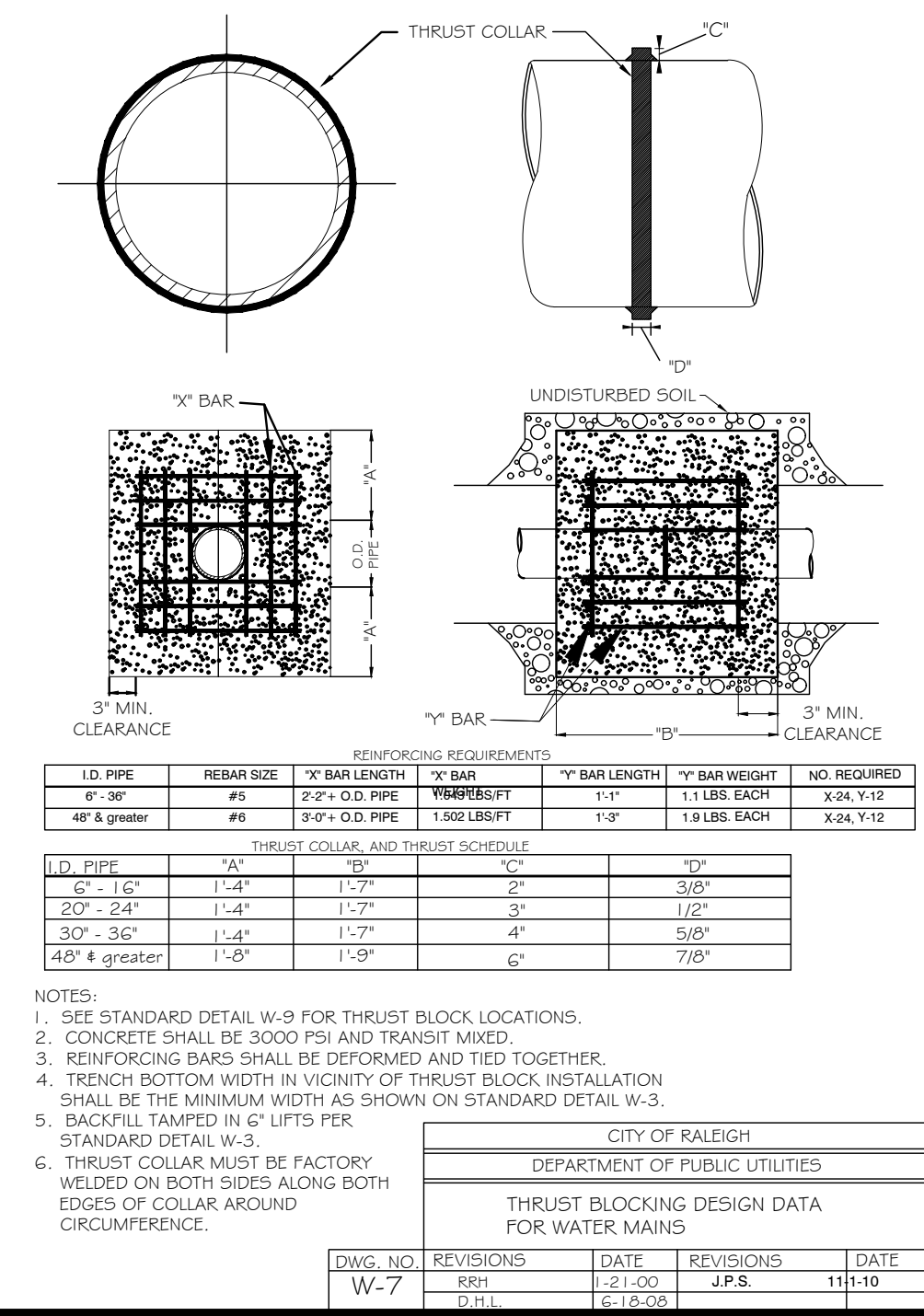
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	D.W.C.	9-7-99	J.P.S.	11-1-10



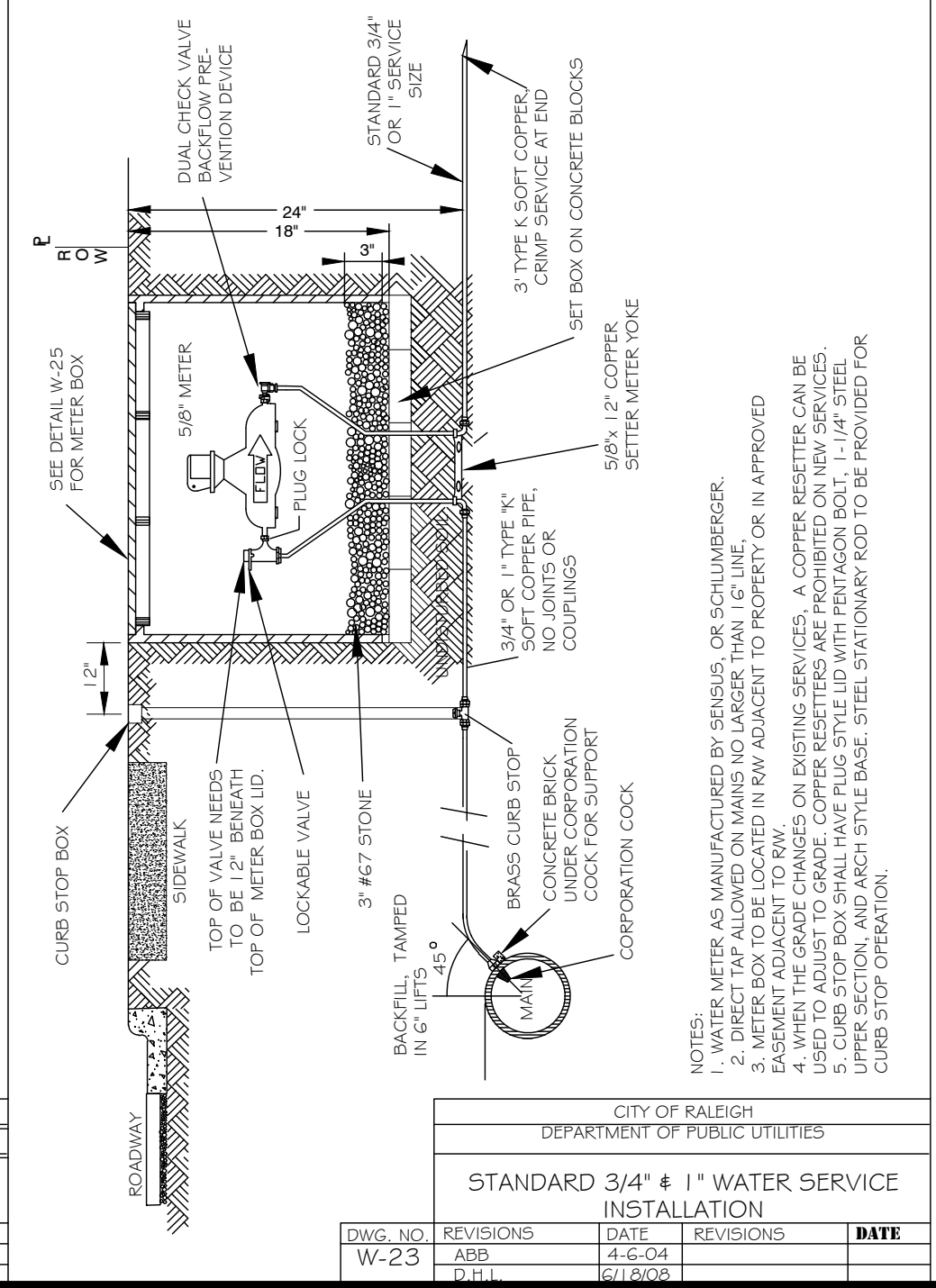
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	D.H.L.	2/14/08		



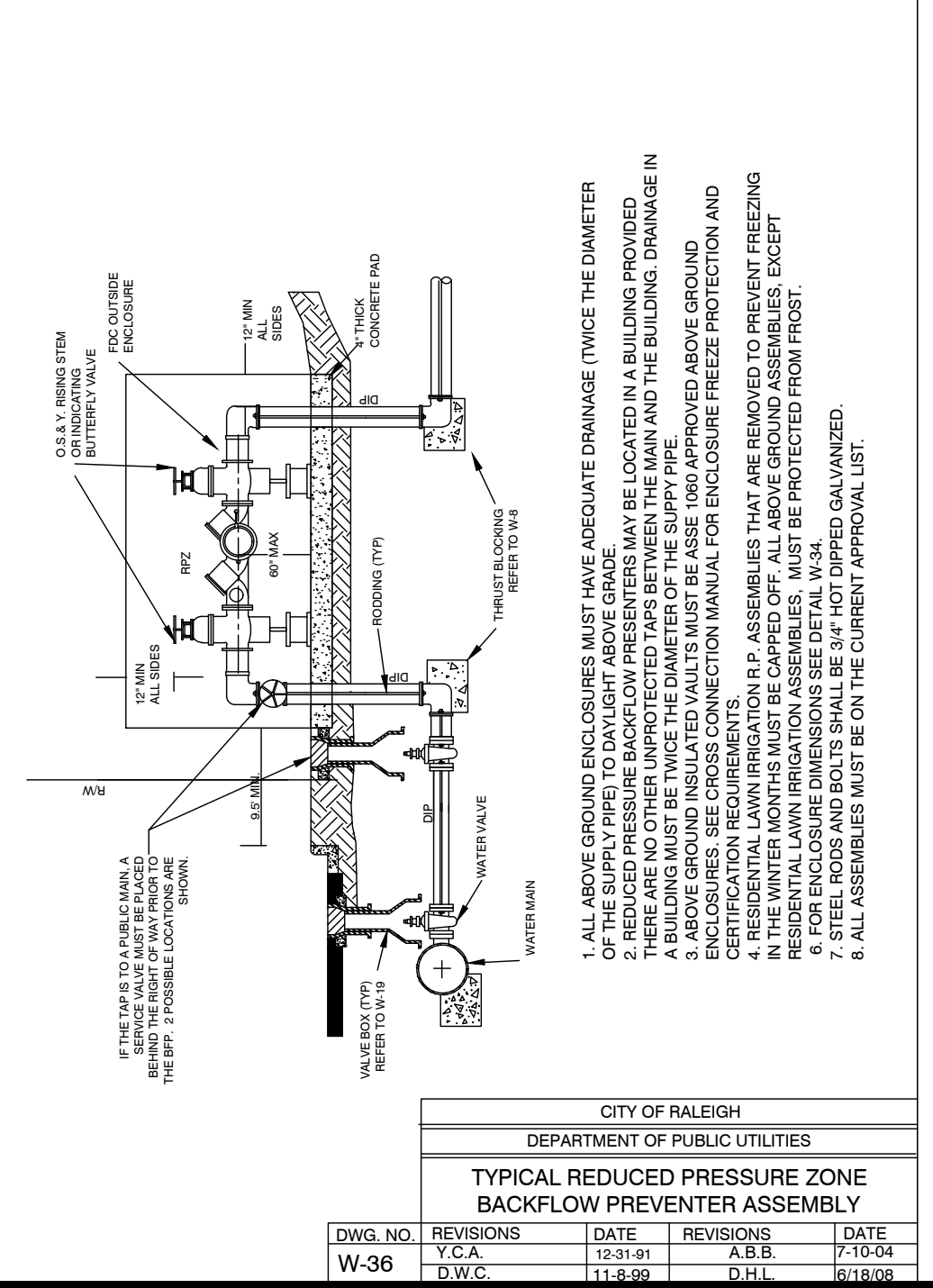
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W-41	D.H.L.	2-20-08		



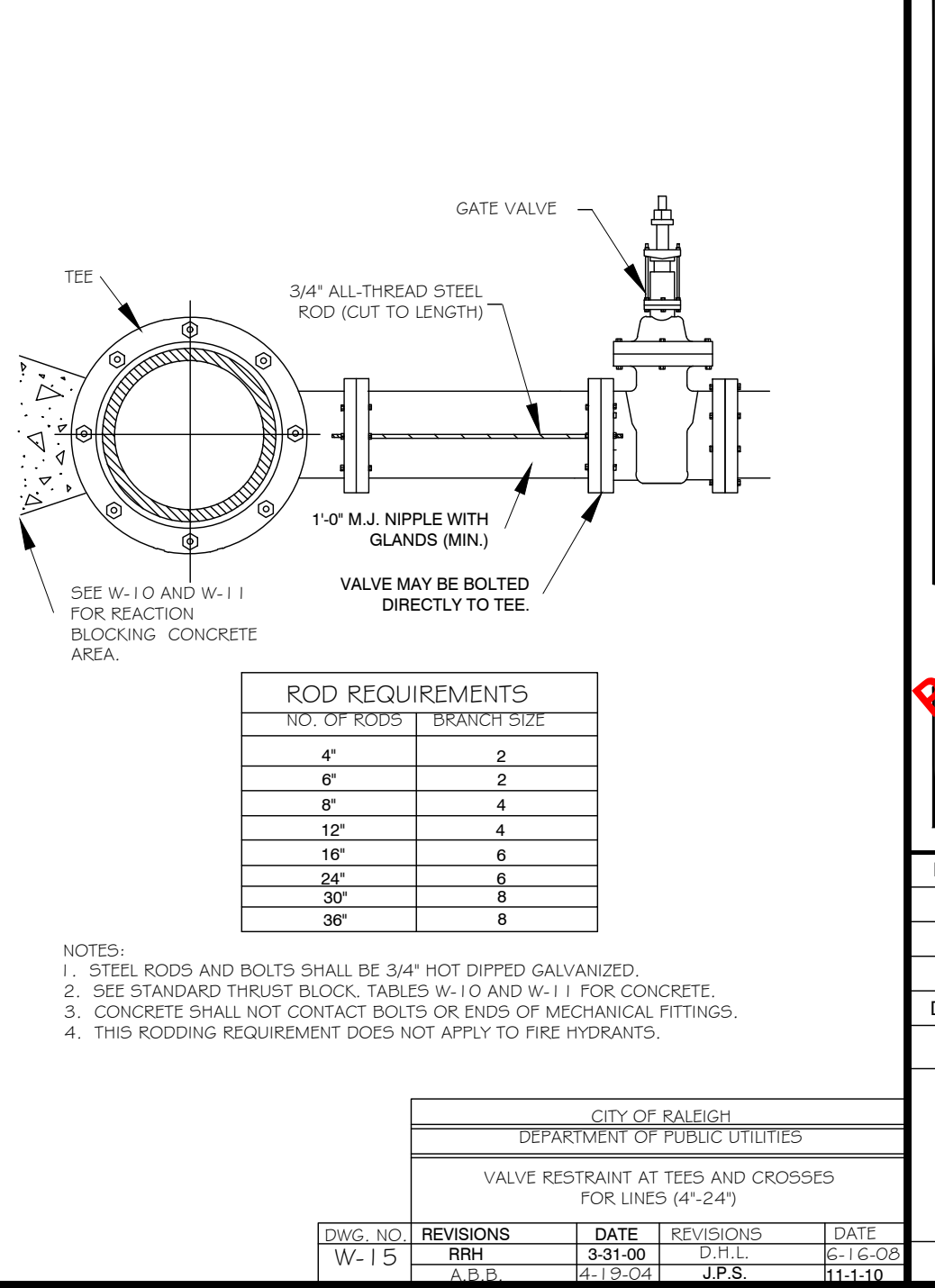
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-7	RRH	2-10-00	J.P.S.	11/1/10
	D.H.L.	6-18-08		



DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-23	ABB	4-6-04	A.B.B.	7/10/04
	D.H.L.	6/18/08		



DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-36	Y.C.A.	12-31-91	A.B.B.	7/10/04
	D.W.C.	11-8-99	D.H.L.	2-12-04
			J.P.S.	11-1-10



DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-15	RRH	3-31-00	A.B.B.	6-16-08
	A.B.B.	2-12-04	J.P.S.	11-1-10

**-Final Drawing - Issued for Permit**  
Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVED SPEC. 2022 PER OWNER REQUEST

CROSLAND SOUTHEAST

MISC. DETAILS - WATER

**WALLBROOK**

SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)

Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)

Rolesville, Wake County, North Carolina

ARK CONSULTING GROUP PLLC  
ENGINEERS & PLANNERS

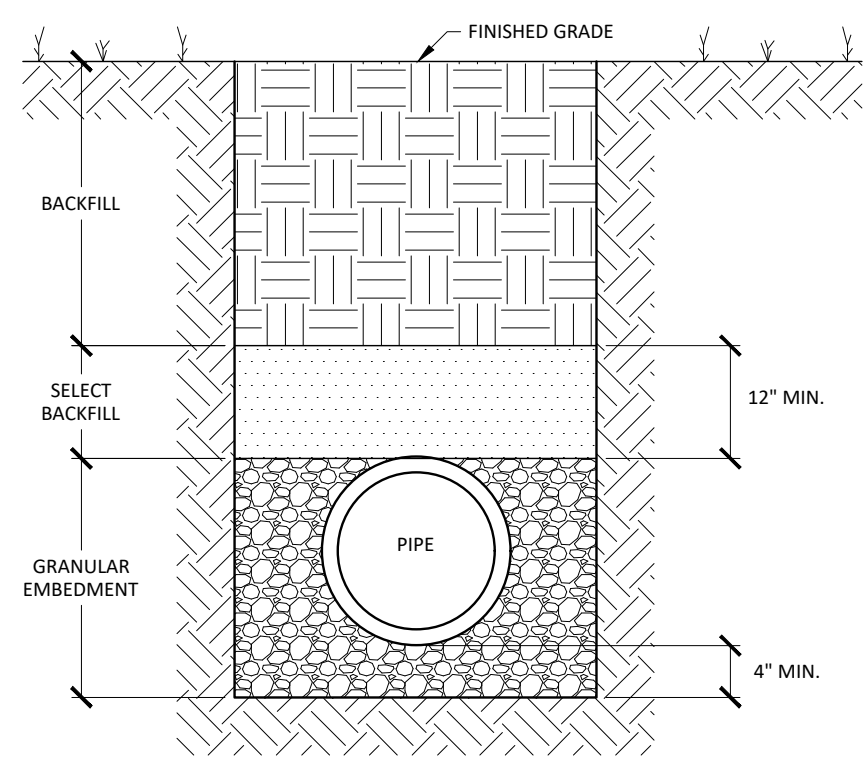
2755-B Charles Blvd  
(754) 558-0888  
www.arkconsultinggroup.com

Project Manager: BCF  
Drawn By: DLC  
Checked By: STA  
Project Number: 22012  
Drawing Number: D-1219-SP

February 10, 2023



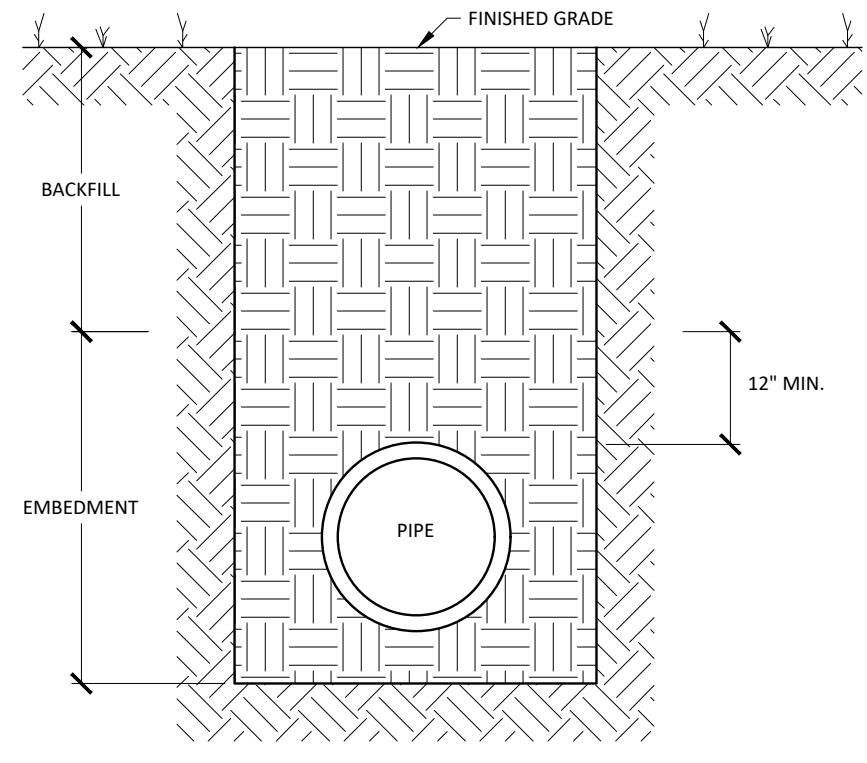




CLASS 'D'

**TRENCH SECTION DETAIL FOR THE INSTALLATION OF PVC GRAVITY STORM DRAIN & SANITARY SEWER PIPING**

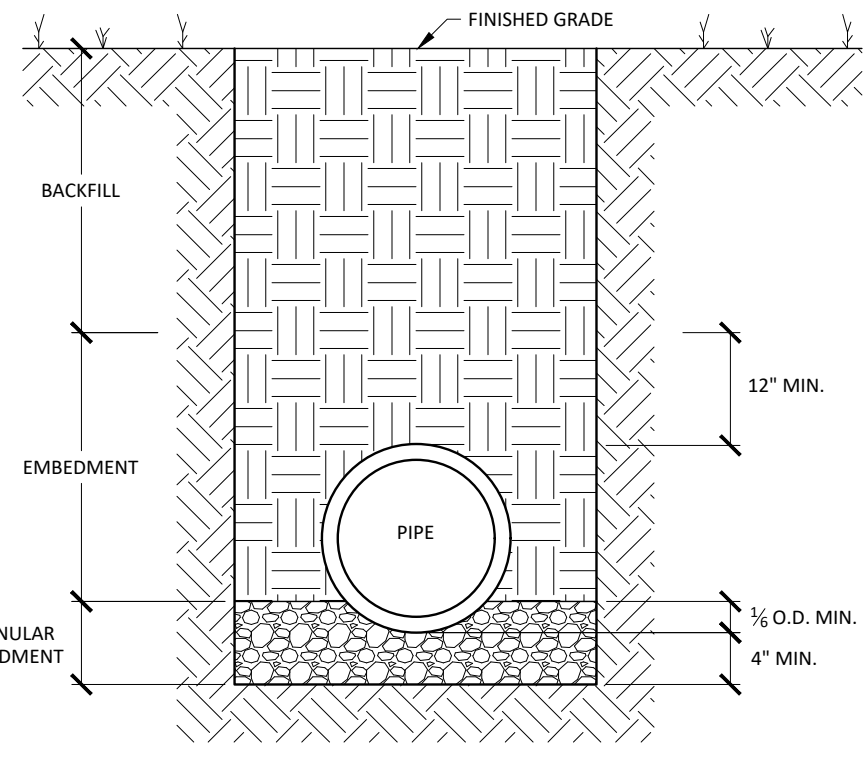
NOT TO SCALE



CLASS 'F'

**TRENCH SECTION FOR THE INSTALLATION OF REINFORCED CONCRETE PIPE**

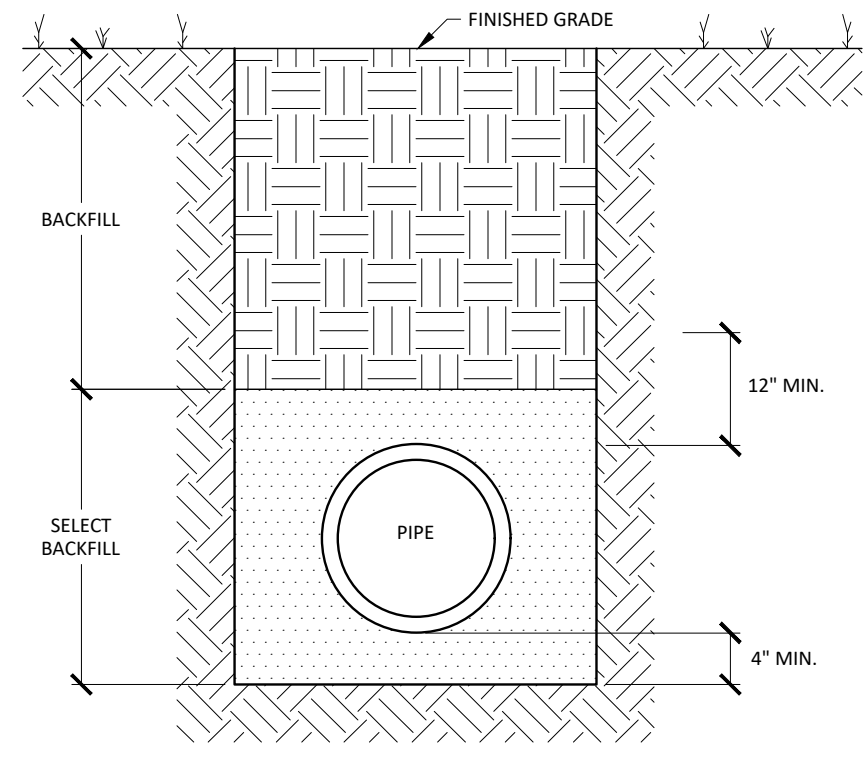
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CLASS 'C'

**TRENCH SECTION DETAIL FOR THE INSTALLATION OF 42" & LARGER RCP & ALL DIP STORM DRAINAGE PIPING**

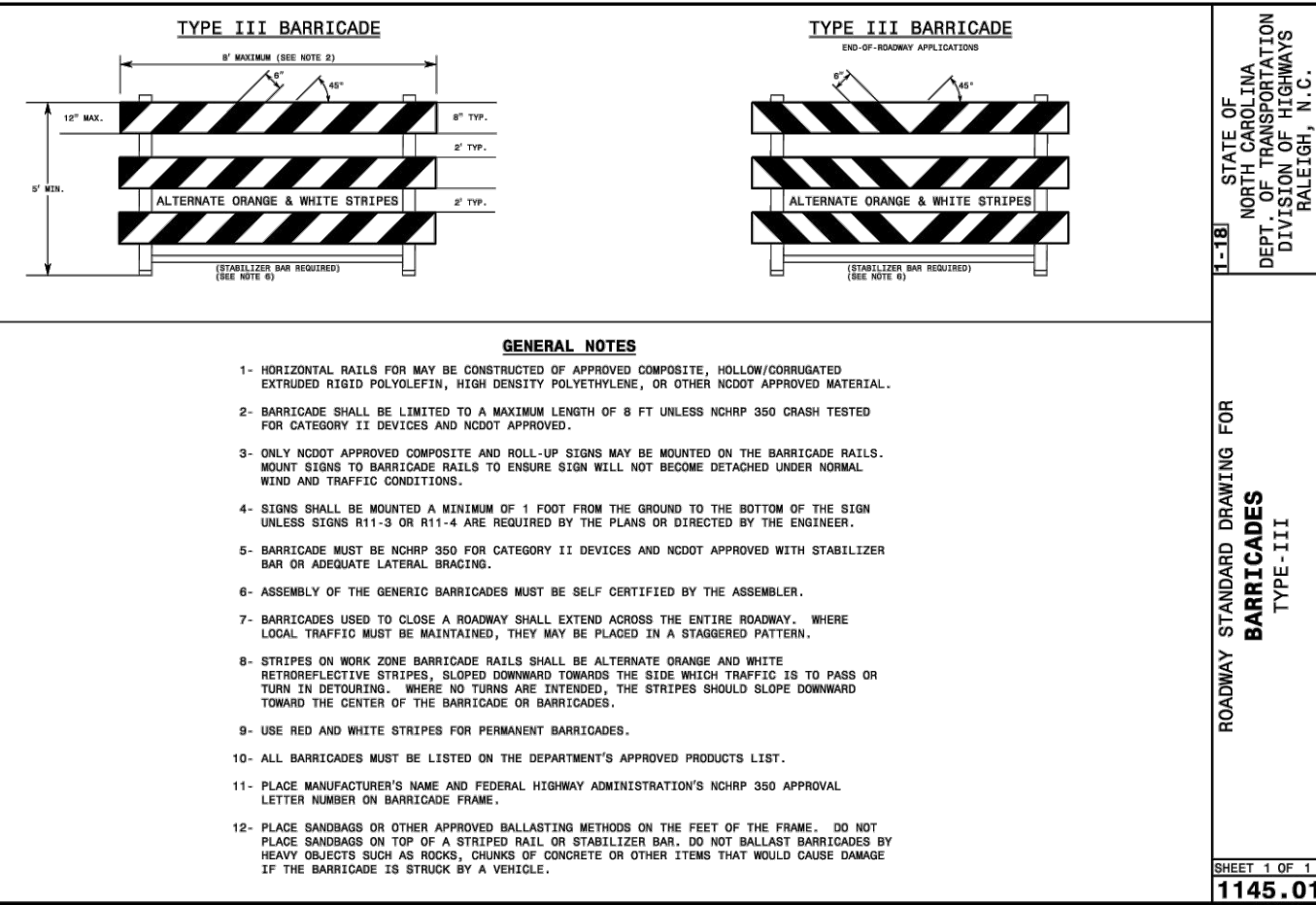
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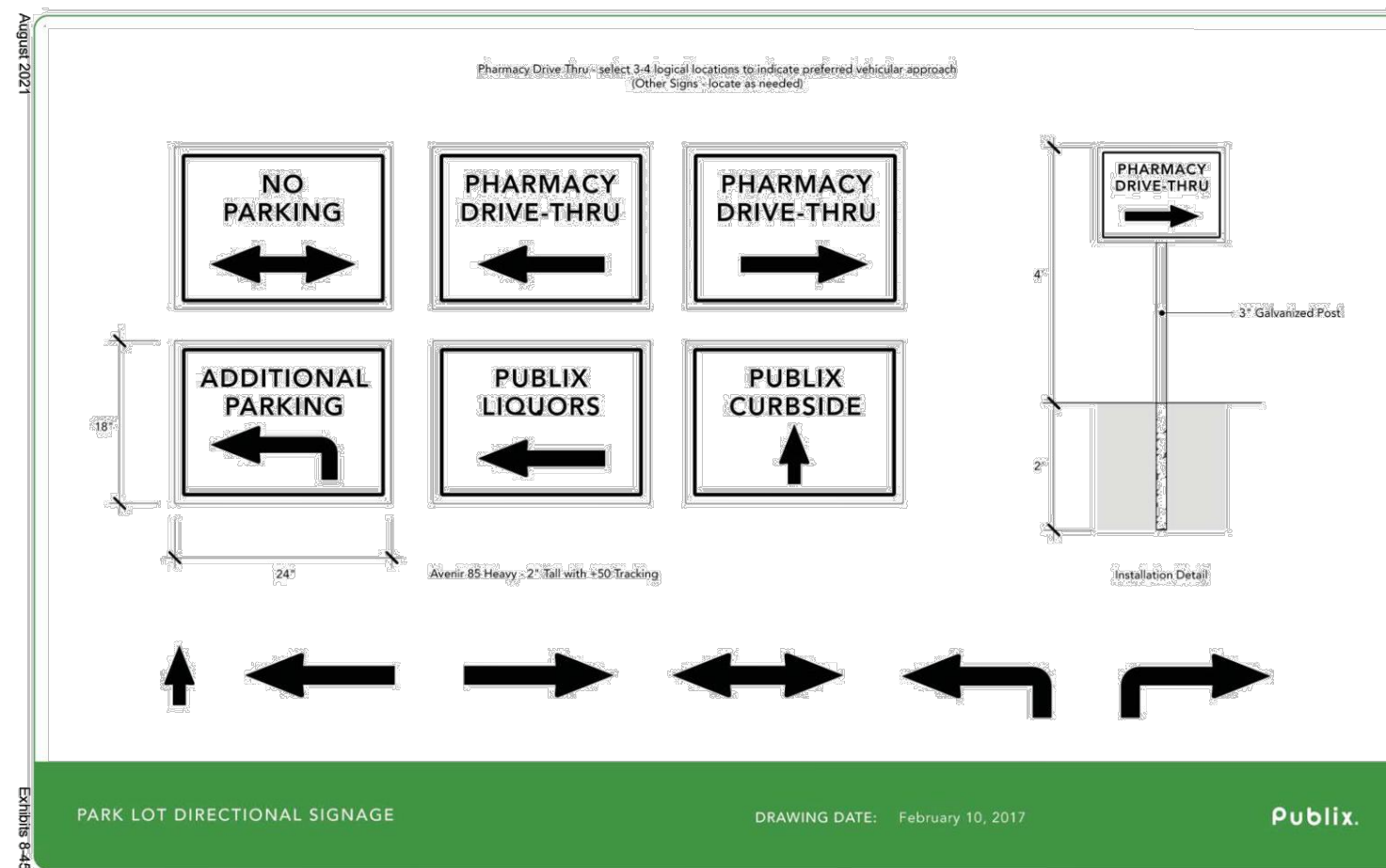
CLASS 'E'

**TRENCH SECTION DETAIL FOR THE INSTALLATION OF PVC PRESSURE PIPE**

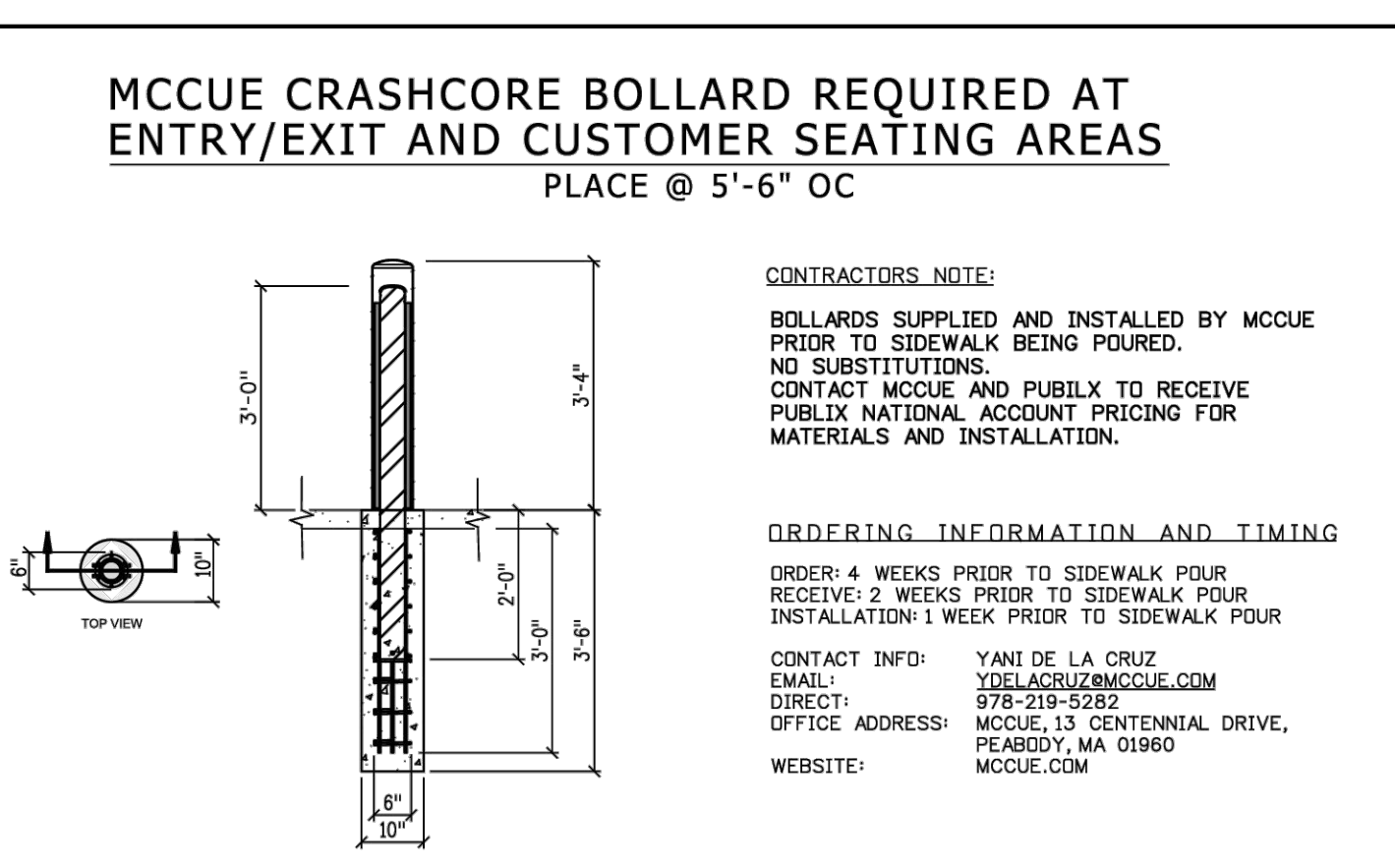
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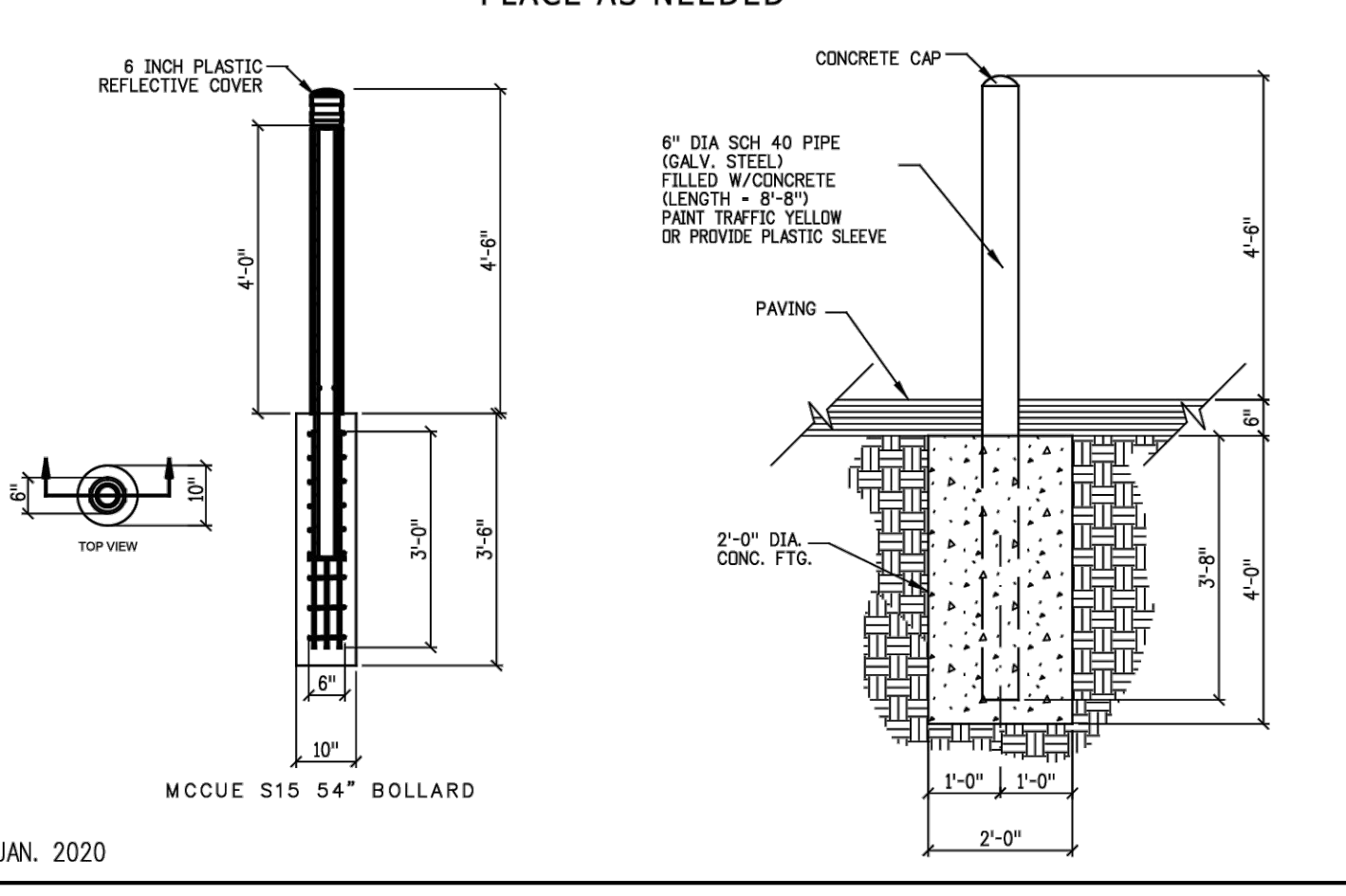
ROADWAY STANDARD DRAWING FOR BARRICADES TYPE III



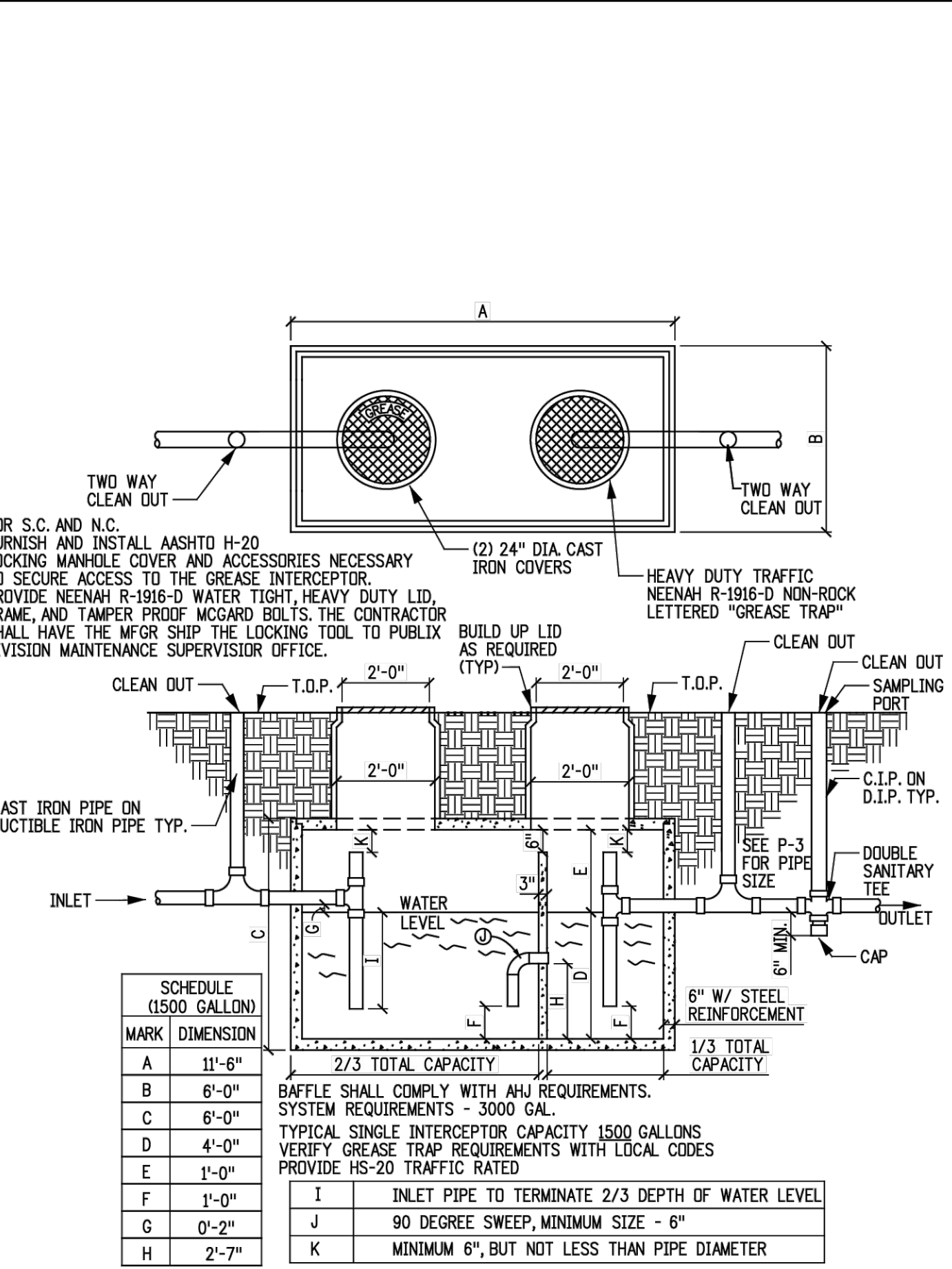
PARK LOT DIRECTIONAL SIGNAGE DRAWING DATE: February 10, 2017 Publix



**ACCEPTABLE DETAILS FOR BOLLARDS PROTECTING EQUIPMENT AND BUILDING COMPONENTS**

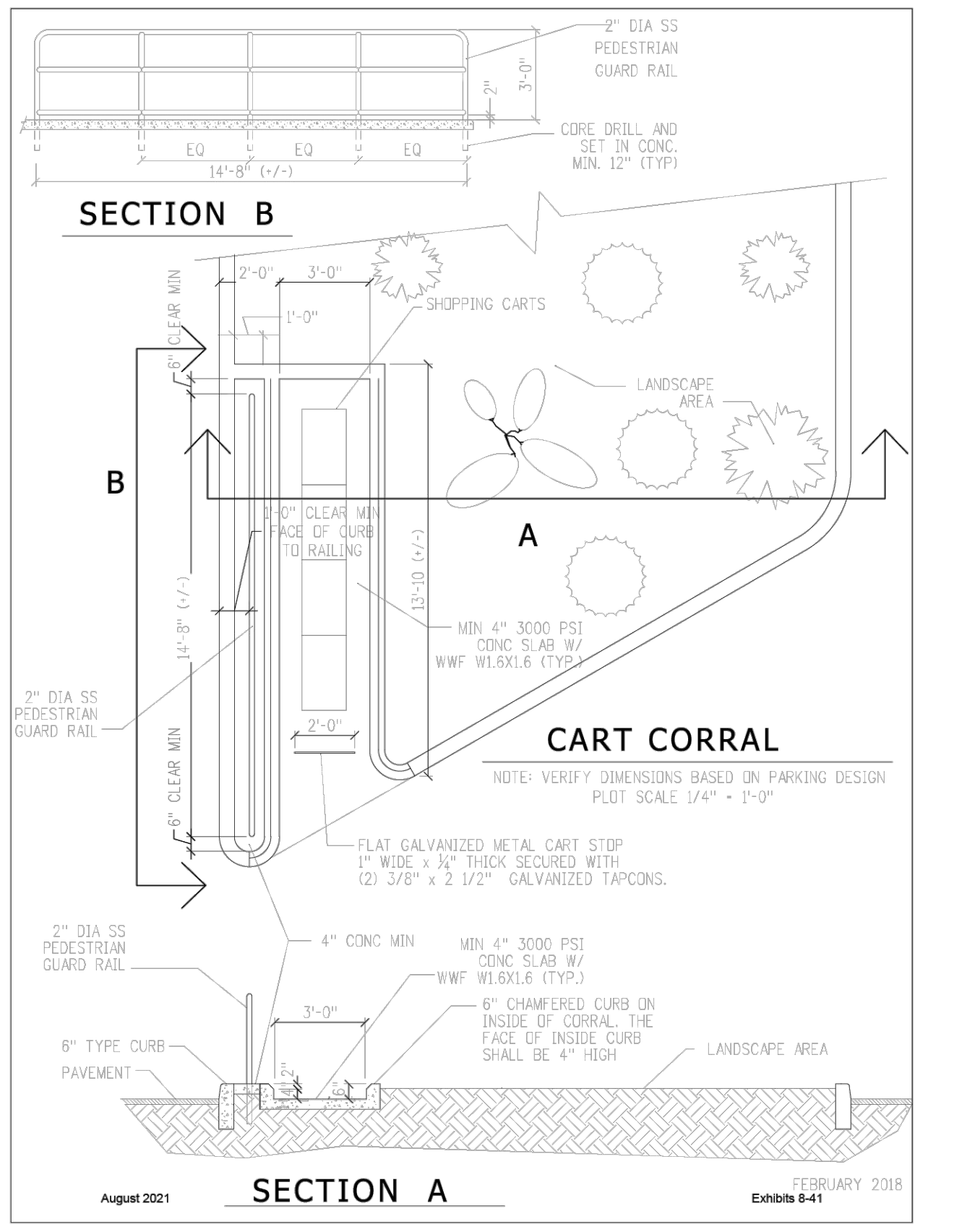


MCCUE S15 54" BOLLARD Exhibits 8-32 August 2021

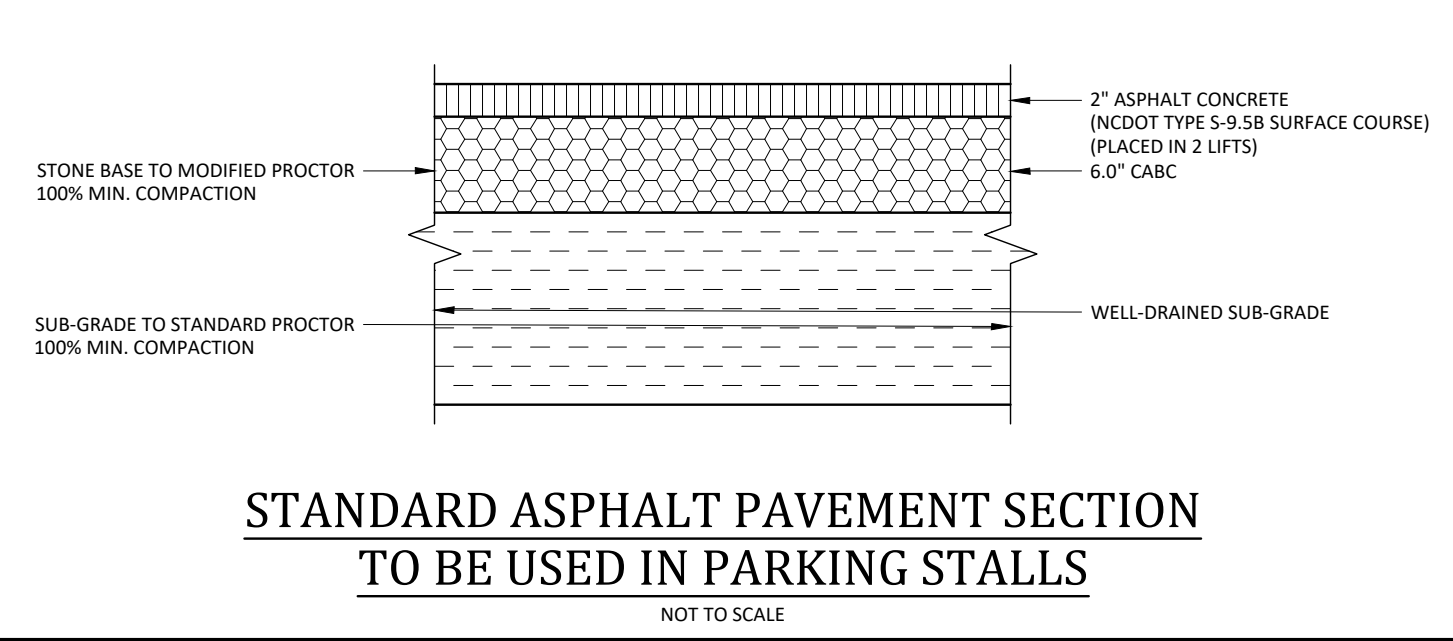


**GREASE INTERCEPTOR DETAIL**

1,500 GAL. GREASE INTERCEPTOR DETAIL N.T.S.



CART CORRAL FEBRUARY 2018 Exhibits 8-41



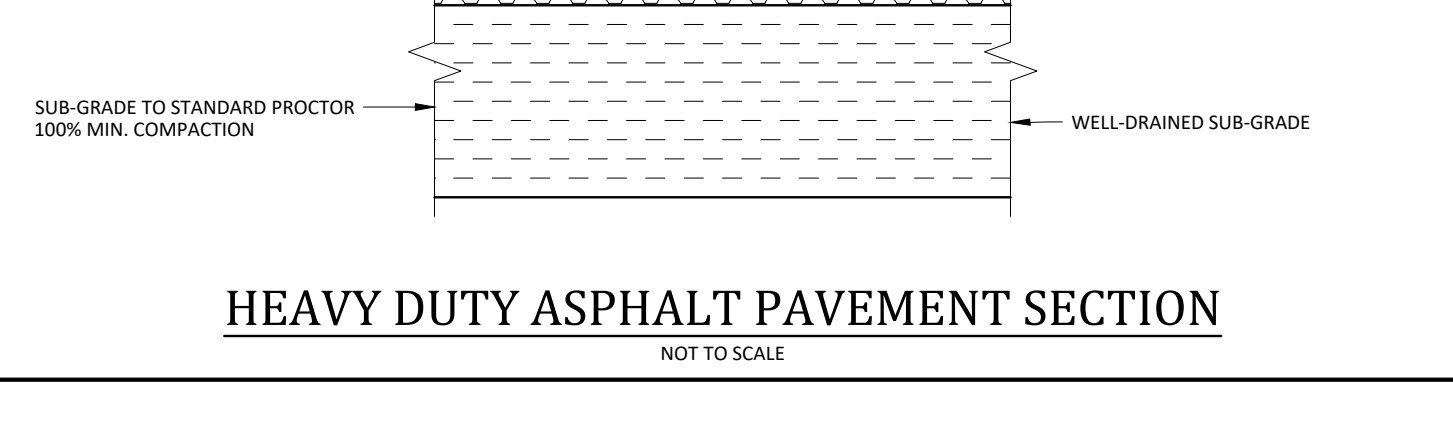
**STANDARD ASPHALT PAVEMENT SECTION TO BE USED IN PARKING STALLS**

NOT TO SCALE



**STANDARD ASPHALT PAVEMENT SECTION TO BE USED IN DRIVE AISLES**

NOT TO SCALE



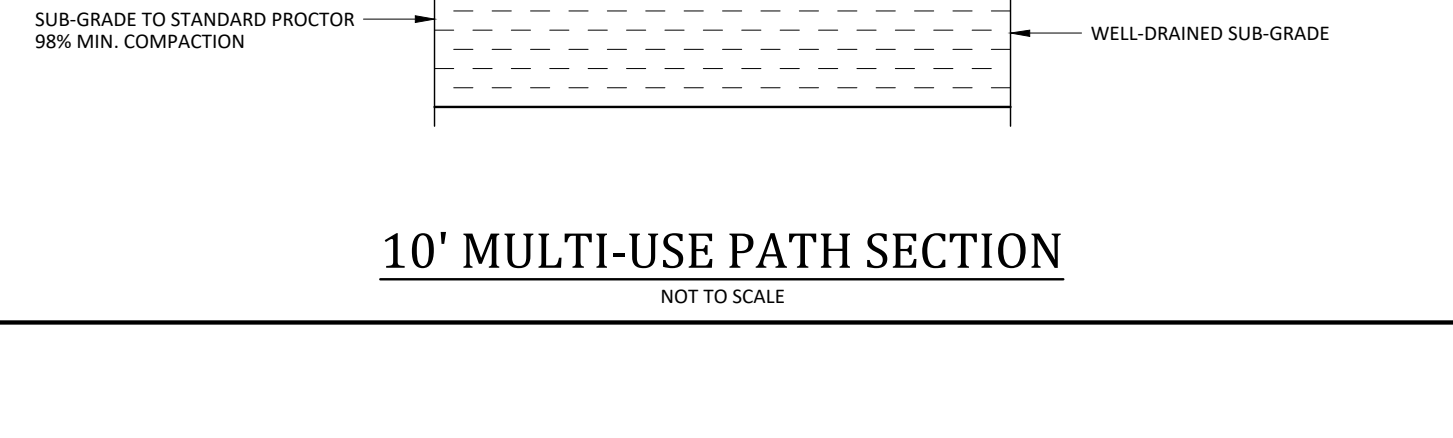
**HEAVY DUTY ASPHALT PAVEMENT SECTION**

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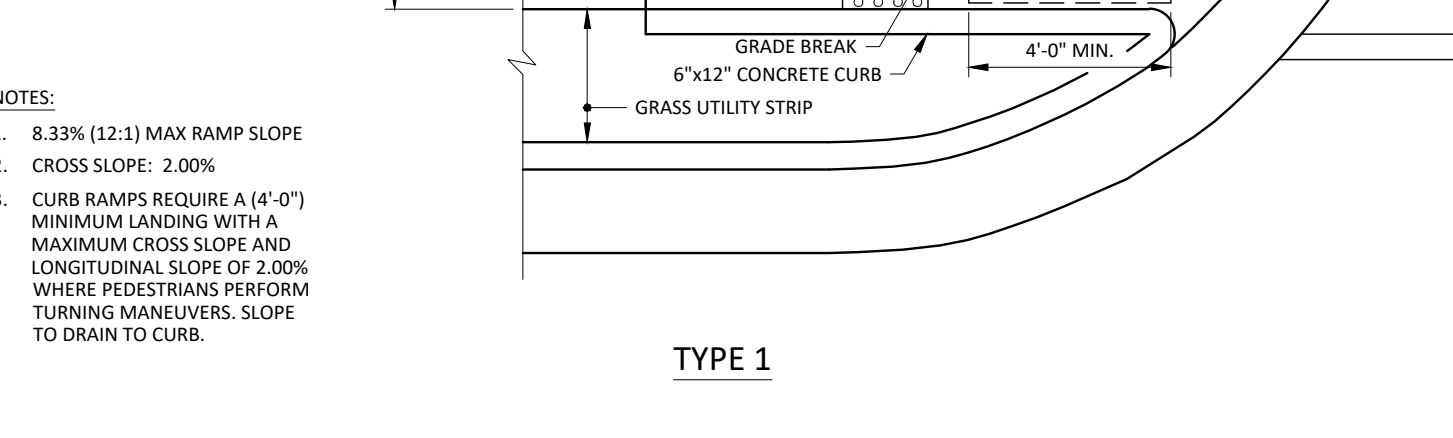
**CONCRETE PAVEMENT SECTION**

NOT TO SCALE



**10' MULTI-USE PATH SECTION**

NOT TO SCALE



**CURB RAMPS - DIRECTIONAL RAMPS**

NOT TO SCALE

**-Final Drawing - Issued for Permit Review Purposes Only**

REVISIONS:

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVED SPECIFICATIONS BUILDING DEPARTMENT REQUEST

**CROSLAND SOUTHEAST**

**MISC. DETAILS - SITE WALLBROOK**

**WALLBROOK CONSULTING GROUP PLLC**  
ENGINEERS & PLANNERS

**SITE DEVELOPMENT PLAN REVISION** (Reference PR 21-04)  
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)  
Rolesville, Wake County, North Carolina

NC License: P-1199

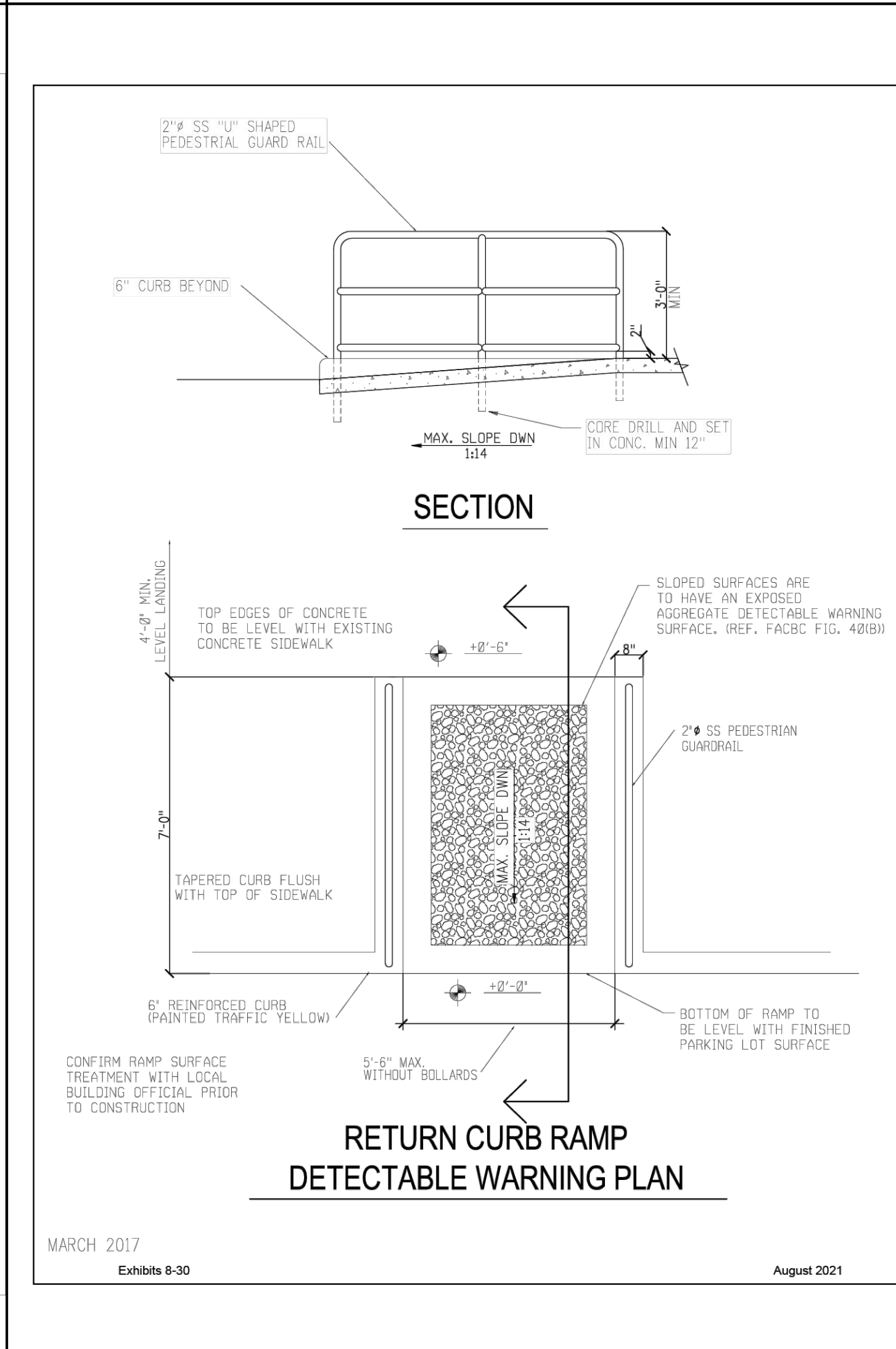
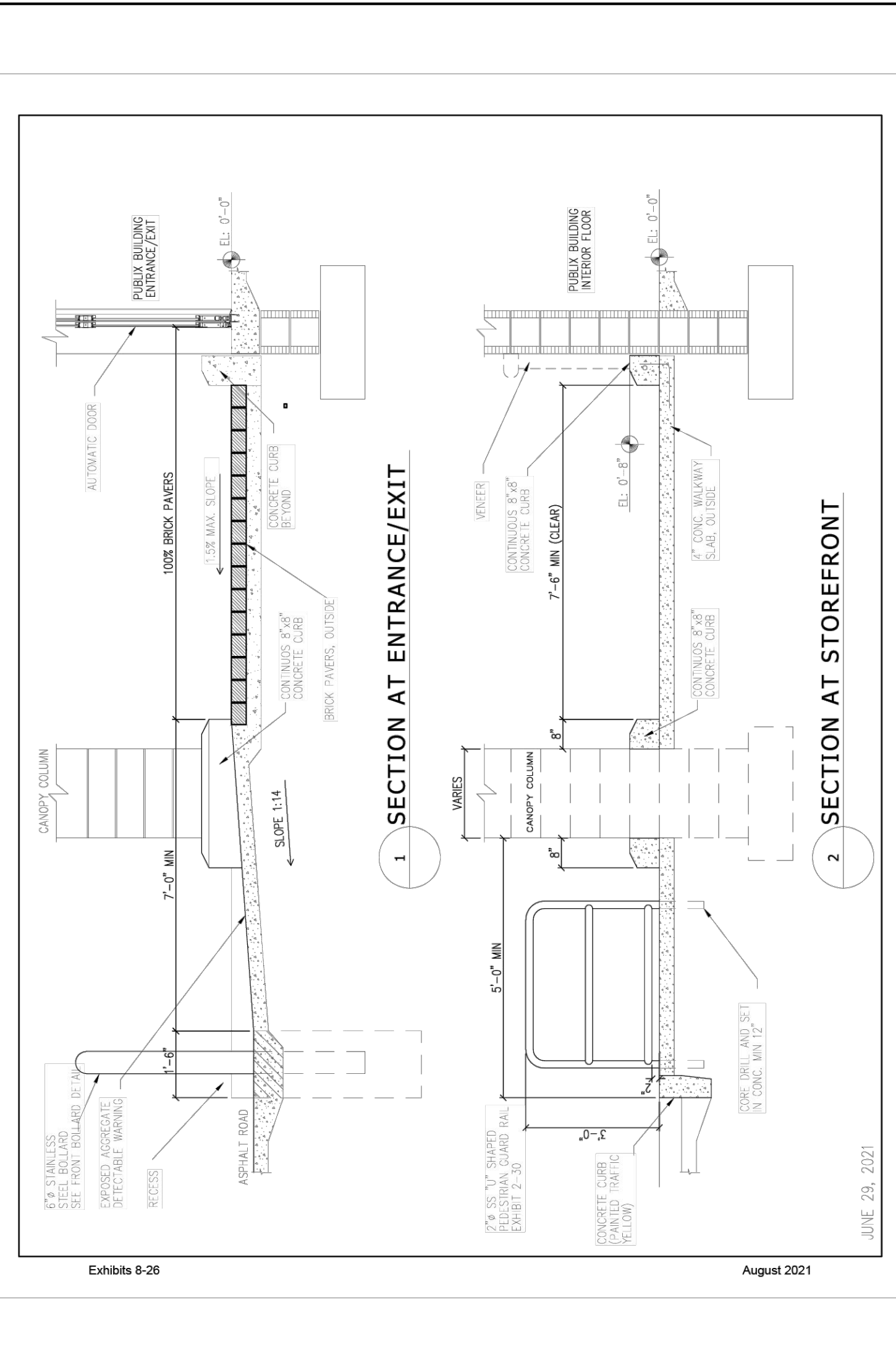
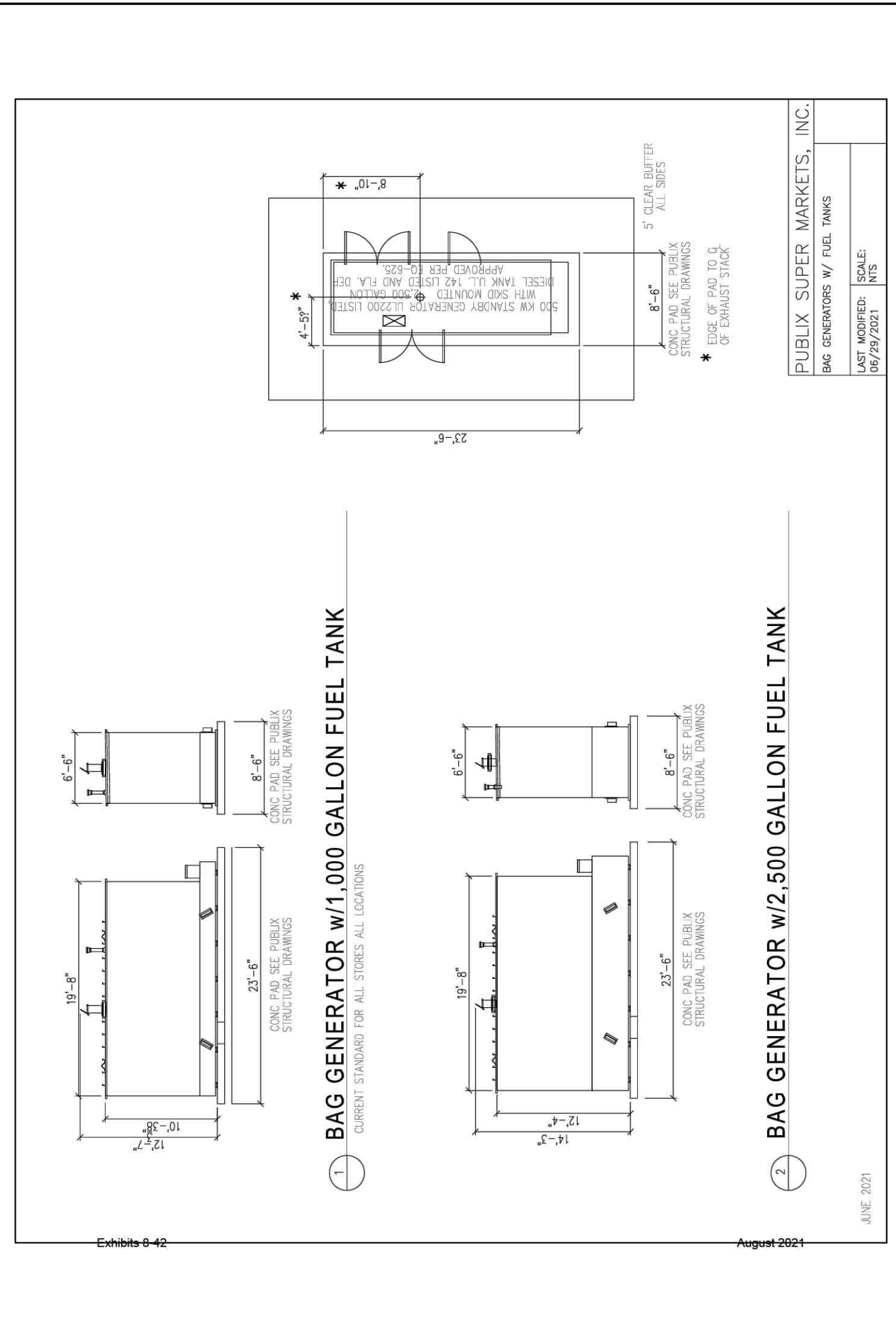
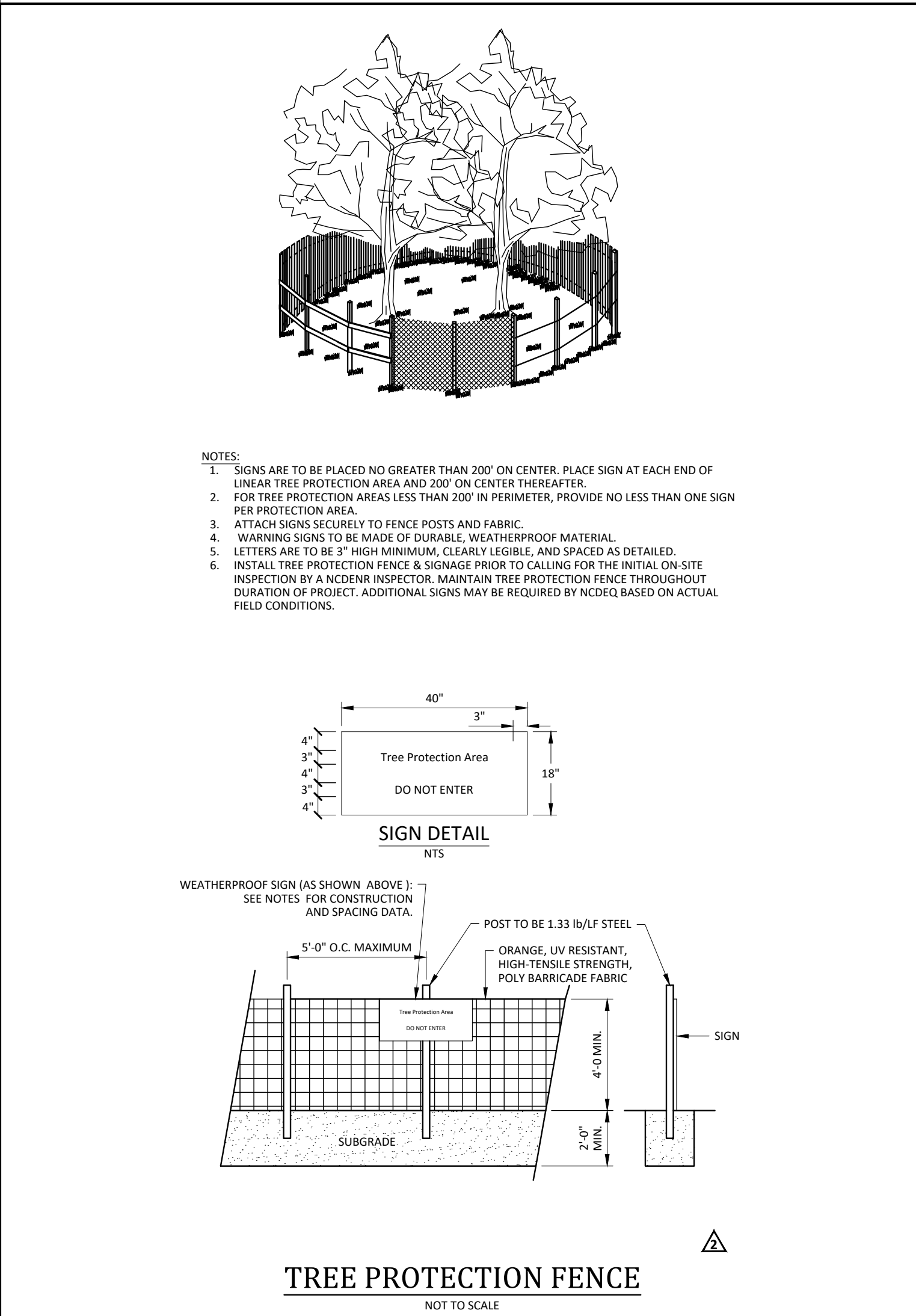
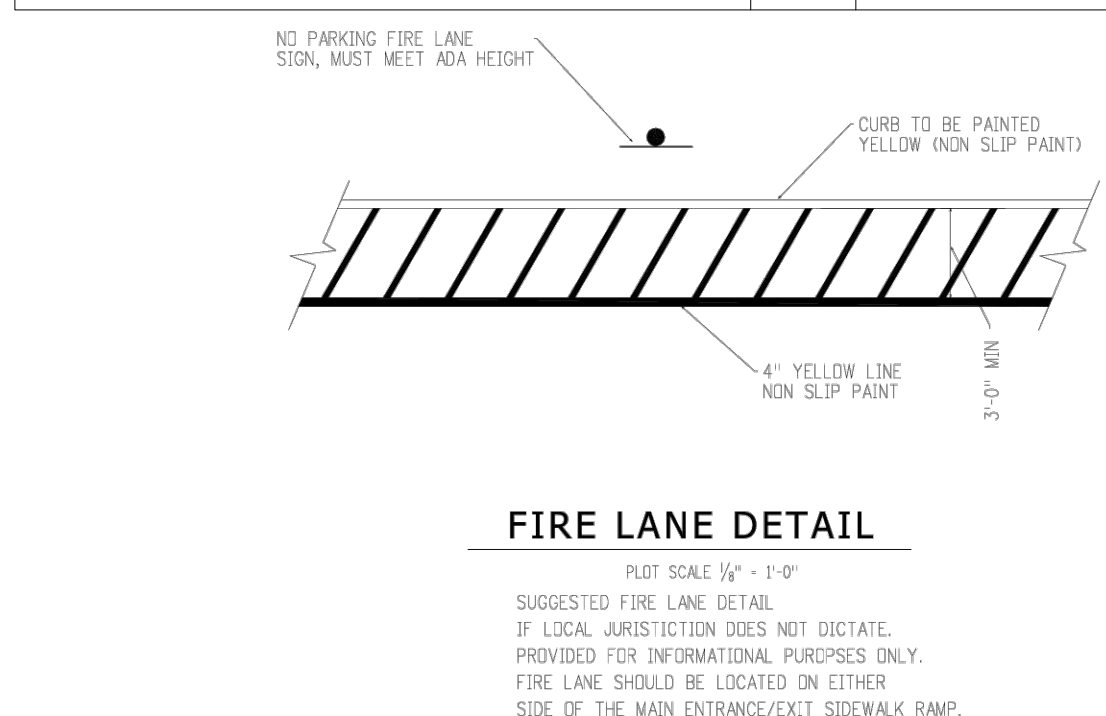
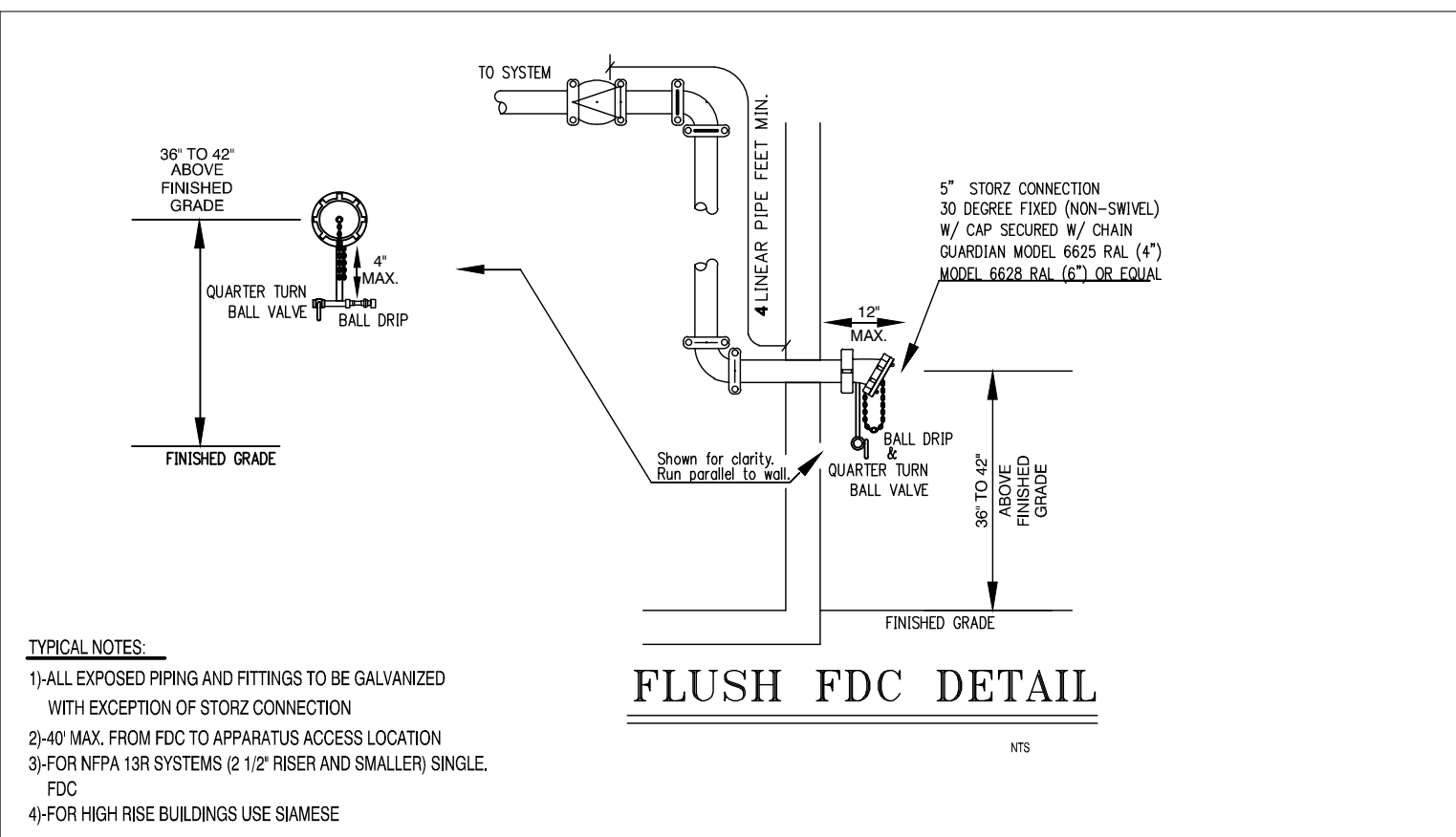
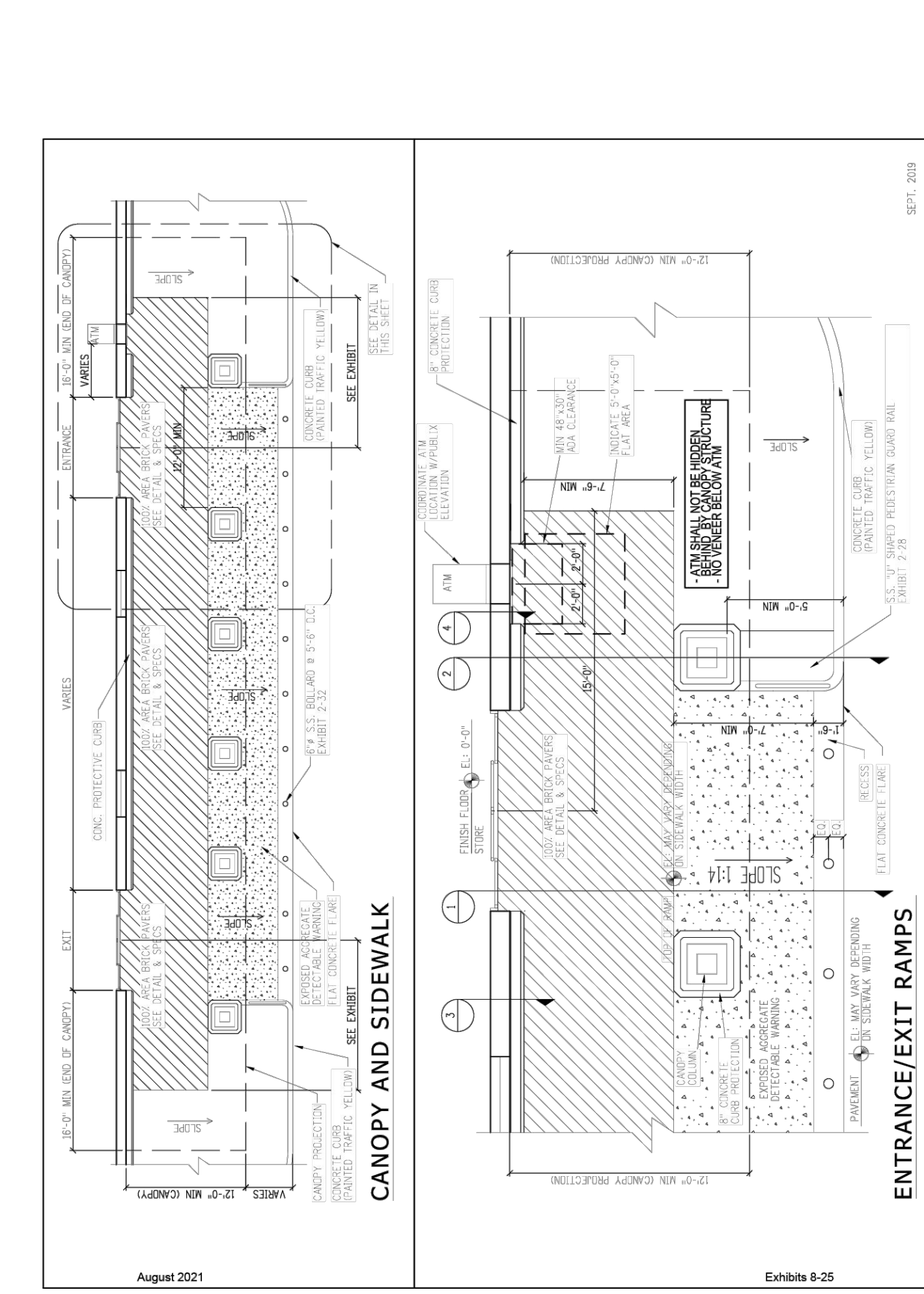
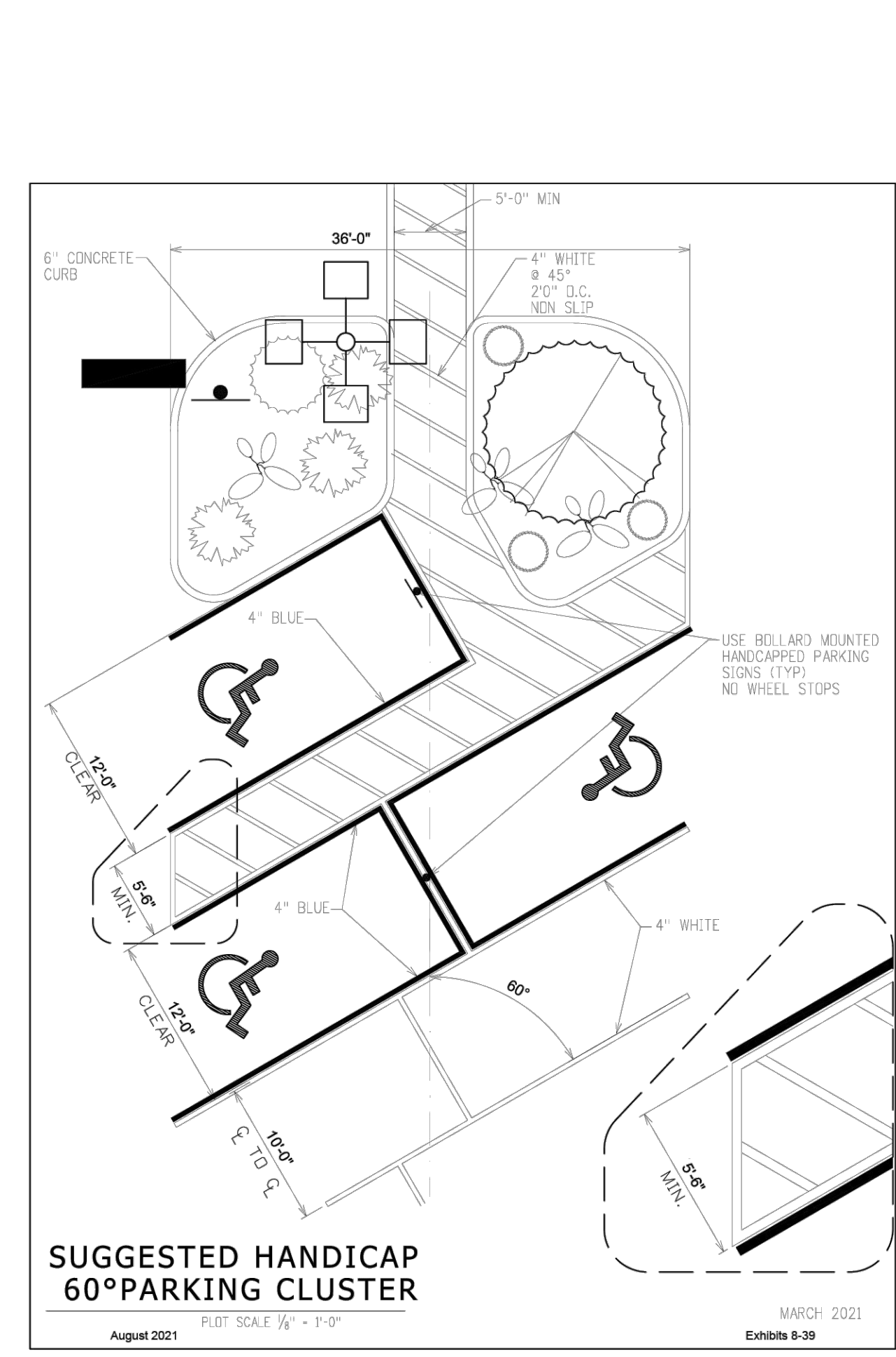
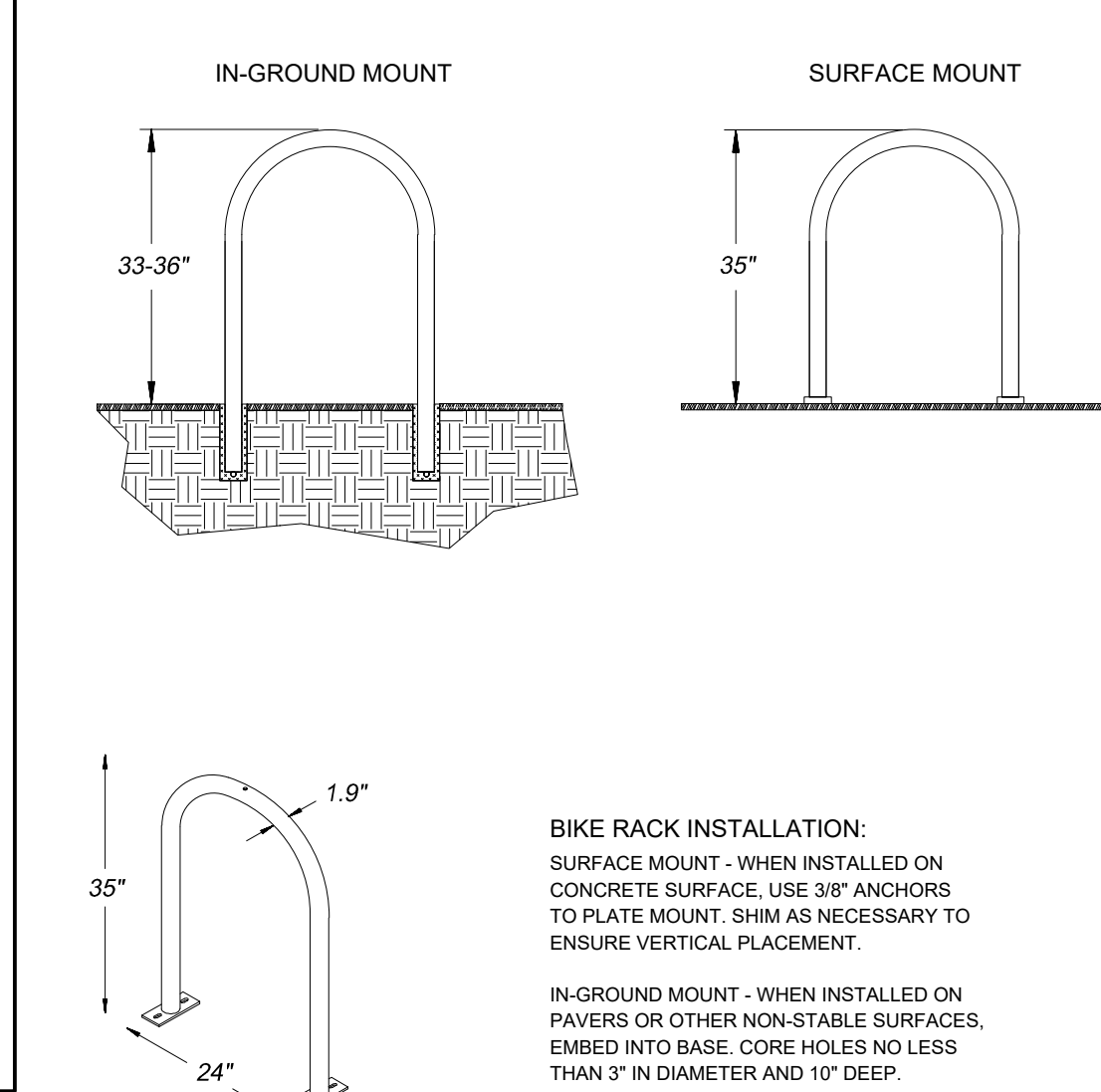
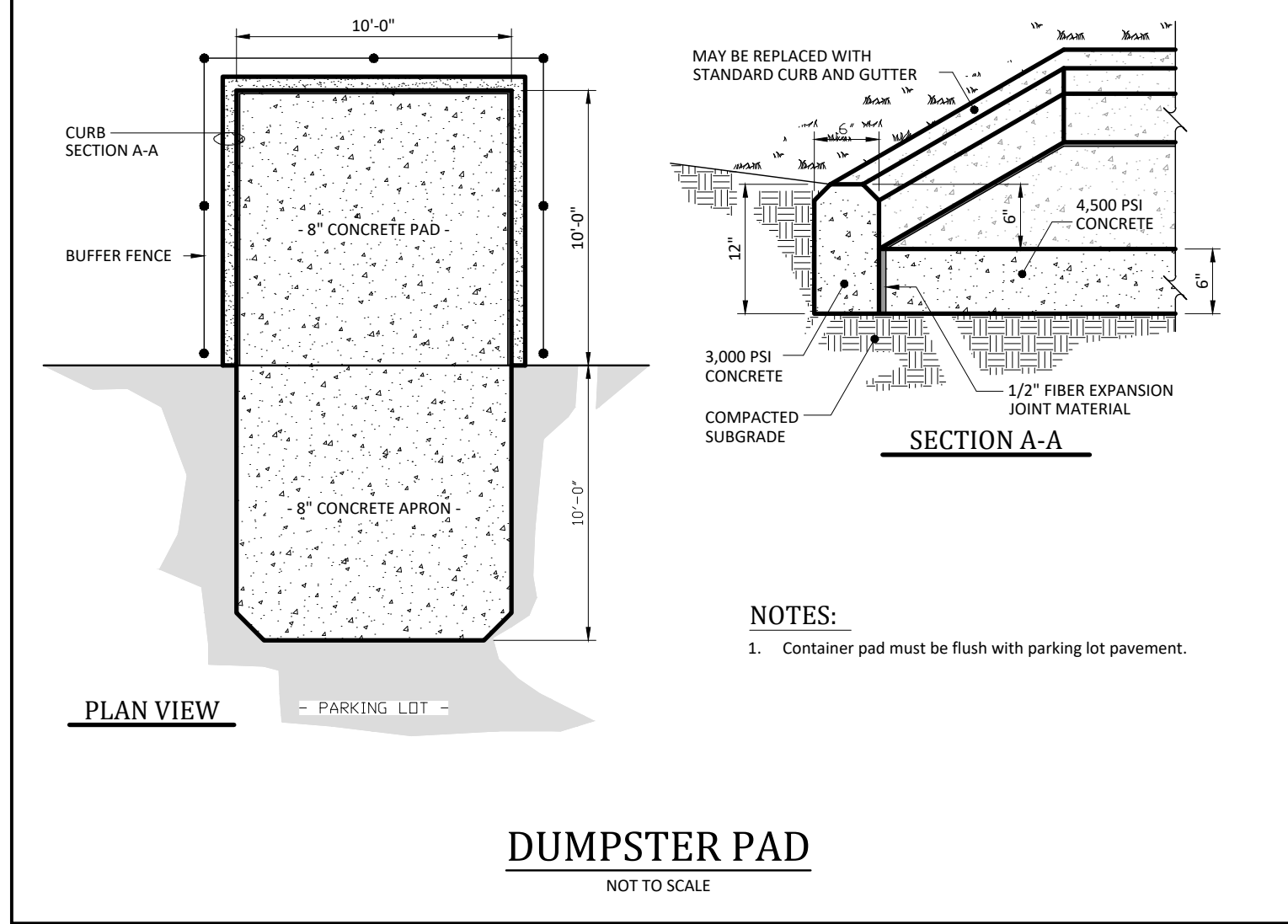
**ARK CONSULTING GROUP PLLC**  
ENGINEERS & PLANNERS

2755-B Charles Blvd  
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(919) 878-0888  
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**Project Manager: BCF**  
**Drawn By: DLC**  
**Checked By: STA**  
**Project Number: 22012**  
**Drawing Number: D-1219-SP**

**C5.4**

Date: February 10, 2023



**- Final Drawing -**  
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Review Purposes Only

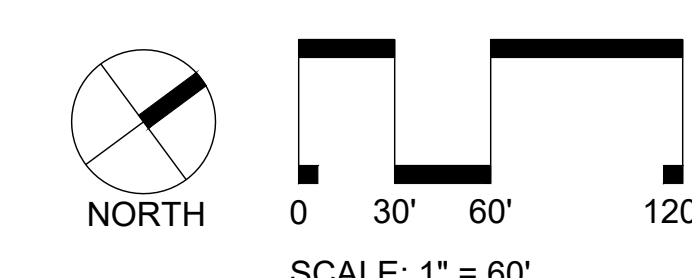
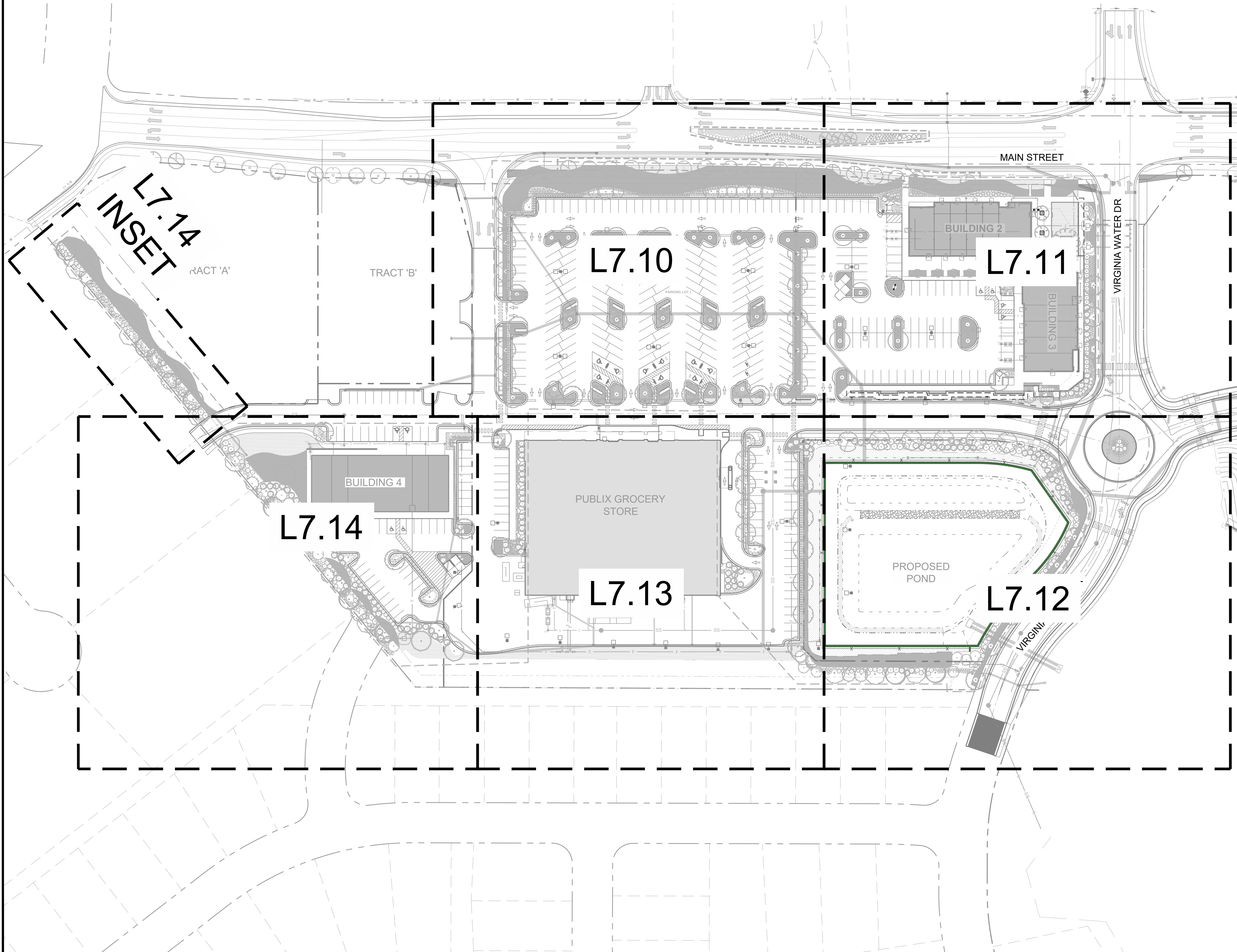
**CROSLAND SOUTHEAST**

**MISC. DETAILS - SITE**  
**WALLBROOK**  
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)  
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)  
Rolesville, Wake County, North Carolina

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Charlotte, NC 28205  
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**C5.5**

Date: February 10, 2023



**STEWART**  
 101 WEST MAIN ST.  
 DURHAM, NC 27701  
 1-919-302-8750

FIRM LICENSE # C-1051  
 www.stewartinc.com

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**PRELIMINARY**  
 Do Not Use  
 for Construction

2/10/2023

Project Manager: SMF  
 Drawn By: SM  
 Checked By: SMF  
 Project Number: 22007  
 Drawing Number: D-1219-CD

**L7.00**

Date: February 10, 2023

**ENHANCED PLANTING PLAN**  
**WALLBROOK**  
 SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)  
 Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)  
 Rolesville, Wake County, North Carolina



**- Final Drawing -**  
 Issued for Permit  
 Review Purposes Only

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVAL PERMIT FOR BUILDING CALCULATIONS FROM OWNER REQUEST

C:\PROJECTS\2023\12207 - WALLBROOK\DWG\1 - CD - SHEETS\12207 - 03 - PLANTING PLAN\DWG\_L7.00\_Sheet.dwg, L7.00, Sheet No. 14, Feb 10, 2023 @ 1:43 PM

**PLANT SCHEDULE**

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.
	AR	16	ACER RUBRUM RED MAPLE	B&B	2.5" CAL.				VUA	50 TO 80FT
	JR	8	JUGLANS REGIA ENGLISH WALNUT	B&B	2.5" CAL.				PERIMETER BUFFER	40 TO 60FT
	LC	9	LIRIODENDRON CHINENSE X TULIPIFERA HYBRID TULIP TREE	B&B	2.5" CAL.				PERIMETER BUFFER	70 TO 100FT
	NS	20	NYSSA SYLVATICA TUPELO	B&B	2.5 IN	40 TO 60FT	25 TO 35FT			40 TO 60FT
	QA	7	QUERCUS ALBA WHITE OAK	B&B	2.5" CAL.				PERIMETER BUFFER	60 TO 120FT
	QP2	25	QUERCUS PALUSTRIS PIN OAK	B&B	2.5" CAL.				STREETSCAPE BUFFER VUA	70 TO 90FT
	QP	21	QUERCUS PHELLOS WILLOW OAK	B&B	2.5" CAL.				VUA	50 TO 80FT
	UAPR	1	ULMUS AMERICANA 'PRINCETON' PRINCETON AMERICAN ELM	B&B	3.5" CAL.	14-16'			FULL	
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.
	IO	2	ILEX OPACA AMERICAN HOLLY	B&B	8'-10" HT				STREETSCAPE BUFFER	40 TO 60FT
	JV	21	JUNIPERUS VIRGINIANA EASTERN REDCEDAR	B&B	8'-10" HT				PERIMETER BUFFER STREETSCAPE BUFFER	30 TO 40FT
	MG	9	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	B&B	8'-10" HT				PERIMETER BUFFER STREETSCAPE BUFFER	30 TO 50FT
	PT	6	PINUS TAEDA LOBLOLLY PINE	B&B	8'-10" HT				PERIMETER BUFFER	60 TO 90FT
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.
	AA	9	AMELANCHIER ARBOREA DOWNY SERVICEBERRY	B&B	1.5 IN	15 TO 25FT	10 TO 15FT			10 TO 15FT
	CA2	5	CARPINUS CAROLINIANA AMERICAN HORNBEAM	B&B	1.5 IN	20 TO 30FT	25 TO 35FT			25 TO 35FT
	CE	13	CERCIS CANADENSIS EASTERN REDBUD MULTI-TRUNK	B&B	1.5" CAL.				VUA	25 TO 35FT
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.	
	CA	98	CALLICARPA AMERICANA AMERICAN BEAUTYBERRY	CONT.	24" HT				VUA PERIMETER BUFFER	5FT
	CP	186	CALLICARPA X 'NCCX2' TM PEARL GLAM BEAUTYBERRY	CONT.	24" HT				VUA	4 TO 5FT
	CC	175	CARYOPTERIS X CLANDONENSIS BLUEBEARD	CONT.	24" HT				VUA PERIMETER BUFFER	2 TO 3FT
	FI2	50	FORSYTHIA X INTERMEDIA BORDER FORSYTHIA	CONT.	24" HT				PERIMETER BUFFER	8 TO 10FT
	HQ	139	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	CONT.	24" HT				VUA PERIMETER BUFFER	4 TO 6FT
	HW	30	HYDRANGEA QUERCIFOLIA 'PEE WEE' PEE WEE OAKLEAF HYDRANGEA	CONT.	12-18"	3 TO 4 FT	2 TO 4FT			3 TO 4FT
	IV	12	ITEA VIRGINICA 'HENRY'S GARNET' HENRY'S GARNET SWEETSPIRE	CONT.	24" HT				VUA	3 TO 5FT
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.	
	AG	100	ABELIA X GRANDIFLORA GLOSSY ABELIA	CONT.	24" HT				VUA	3 TO 6FT
	BS	77	BUXUS SEMPERVIRENS COMMON BOXWOOD	CONT.	24" HT				VUA	3 TO 5FT
	DM	212	DISTYLIUM X 'PIDIST-V' TM CINNAMON GIRL DISTYLIUM	CONT.	24" HT				VUA PERIMETER BUFFER	3 TO 5FT
	HG	27	HYPERICUM FRONDOSUM GOLDEN ST. JOHN'S WORT	CONT.	24" HT				VUA	3 FT
	IG2	83	ILEX GLABRA INKBERRY HOLLY	CONT.	24" HT				VUA	5 TO 8FT
	IS	101	ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY HOLLY	CONT.	24" HT				VUA PERIMETER BUFFER	4FT
	IV2	19	ILEX VOMITORIA YAUPON HOLLY	CONT.		10 TO 20 FT	8FT			10 TO 20 FT
	JH	41	JUNIPERUS COMMUNIS 'HIBERNICA' IRISH JUNIPER	CONT.		5 TO 15FT	2 TO 4FT			5 TO 15FT
	JO	110	JUNIPERUS VIRGINIANA 'GREY OWL' GREY OWL EASTERN REDCEDAR	CONT.	24" HT				PERIMETER BUFFER	2 TO 3FT
	LG	74	LOROPETALUM CHINENSE CHINESE FRINGE FLOWER	CONT.	24" HT				VUA	4 TO 8FT
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.	
	AR2	36	ANDROPOGON GERARDII 'RED OCTOBER' RED OCTOBER BIG BLUESTEM	CONT.	4 FT	24 TO 30 IN				4 FT
	MC	9	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS	CONT.		3 TO 4 FT	3 TO 4 FT			3 TO 4 FT
	PN	331	PANICUM VIRGATUM 'NORTHWIND' NORTHWIND SWITCH GRASS	CONT.	24" HT				VUA	4 FT
	PA	176	PENNISETUM ALOPECUROIDES FOUNTAIN GRASS	CONT.	24" HT				VUA	2 TO 3 FT
	SS	29	SCHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM	CONT.		3 FT				2 TO 3 FT

**PLANT SCHEDULE**

PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.
	AM	47	ACHILLEA MILLEFOLIUM COMMON YARROW	CONT.	2 TO 3 FT	2 TO 3 FT			2 TO 3 FT
	ED	13	EUTROCHIMUM DUBIUM JOE PYE WEED	CONT.	3 TO 5FT	2 TO 4FT			3 TO 5FT
VINES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.
	HC	1	HUMULUS LUPULUS 'CASCADE' CASCADE HOPS	CONT.	12" - 24"				
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.
	WF	30,631 SF	ERSNT SEED MIX	---				SEE L7.92 DETAIL 6 FOR COMPOSITION (814)336.2404 SALES@ERNSTSEED.COM	2 TO 3 FT
	SM	28 SF	SEDUM X 'PURE JOY' ROCK 'N GROW™ PURE JOY SEDUM	CONT.	4 TO 6 IN	2 FT	18 IN O.C.		12 TO 24 IN
	SR2	24,458 SF	ZOYSIAGRASS SEED	---					
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.
	VP	555	VERBENA CANADENSIS 'HOMESTEAD PURPLE' HOMESTEAD PURPLE VERBENA	---	12 IN	2 TO 3 FT			8 TO 10 IN

**BUFFER TABLE**

**PERIMETER BUFFER CALCULATIONS:**

PERIMETER BUFFER 1: 10' TYPE 1 PERIMETER BUFFER  
 LENGTH: 175 ft  
**REQUIRED CANOPY TREES (3 PER 100 LF): 175 ÷ 100 \* 3 = 5.25 = 6 TREES REQUIRED**  
 PROPOSED: 6 TREES TOTAL  
**REQUIRED UNDERSTORY TREES (1 PER 100 LF): 175 ÷ 100 = 1.75 = 2 TREES REQUIRED**  
 PROPOSED: 2 TREES TOTAL  
**REQUIRED SHRUBS (50 PER 100 LF): 175 ÷ 100 \* 50 = 70 = 70 SHRUBS REQUIRED**  
 PROPOSED: 71 SHRUBS TOTAL

PERIMETER BUFFER 2: 15' TYPE 2 PERIMETER BUFFER  
 LENGTH: 315 ft  
**REQUIRED CANOPY TREES (3 PER 100 LF): 315 ÷ 100 \* 3 = 9.45 = 10 TREES REQUIRED**  
 PROPOSED: 10 TREES TOTAL  
**REQUIRED UNDERSTORY TREES (1 PER 100 LF): 315 ÷ 100 = 3.15 = 4 TREES REQUIRED**  
 PROPOSED: 4 TREES TOTAL  
**REQUIRED SHRUBS (50 PER 100 LF): 315 ÷ 100 \* 50 = 157.5 = 158 SHRUBS REQUIRED**  
 PROPOSED: 160 SHRUBS TOTAL

**STREET BUFFER CALCULATION:**

MAIN ST.:  
 LENGTH: 680 ft  
**REQUIRED TREES (1 PER 40 LF): 680 ÷ 40 = 17 TREES REQUIRED**  
 PROPOSED: 17 STREET TREES + 9 EVERGREEN TREES = 26 TREES TOTAL \*\*\*

VIRGINIA WATER DR.:  
 LENGTH: 360 ft  
**REQUIRED TREES (1 PER 40 LF): 360 ÷ 40 = 9 TREES REQUIRED**  
 PROPOSED: 9 TREES TOTAL

**VEHICULAR USE AREA (VUA) CALCULATIONS:**

PARKING LOT 1:  
**REQ'D CANOPY TREES IN TERMINAL ISLANDS (1 PER ISLAND): 18 \* 1 = 18 TREES REQUIRED**  
 PROPOSED: 18 TREES TOTAL  
**REQUIRED CANOPY TREES IN INTERIOR ISLANDS (1 PER ISLAND): 10 \* 1 = 10 TREES REQUIRED**  
 PROPOSED: 10 TREES TOTAL  
**REQUIRED CANOPY TREES IN DIVIDER (1 PER 30 LF): 180 ÷ 30 = 6 TREES REQUIRED**  
 PROPOSED: 6 TREES TOTAL  
**REQUIRED UNDERSTORY TREES IN DIVIDER (2 PER 30 LF): 30 ÷ 30 \* 2 = 2 TREES REQUIRED**  
 PROPOSED: 2 TREES TOTAL  
**REQUIRED SHRUBS IN PARKING PERIMETER BUFFER (1 PER 3 LF): 733 ÷ 3 = 244.33 = 245 SHRUBS REQUIRED**  
 PROPOSED: 248 SHRUBS TOTAL

PARKING LOT 2:  
**REQUIRED CANOPY TREES IN TERMINAL ISLANDS (1 PER ISLAND): 2 \* 1 = 2 TREES REQUIRED**  
 PROPOSED: 2 TREES TOTAL  
**REQUIRED SHRUBS IN PARKING PERIMETER BUFFER (1 PER 3 LF): 283 ÷ 3 = 94.33 = 95 SHRUBS REQUIRED**  
 PROPOSED: 95 SHRUBS TOTAL

PARKING LOT 3:  
**REQUIRED CANOPY TREES IN DIVIDER (1 PER 30 LF): 157 ÷ 30 = 5.23 = 6 TREES REQUIRED**  
 PROPOSED: 6 TREES TOTAL  
**REQUIRED SHRUBS IN PARKING PERIMETER BUFFER (1 PER 3 LF): 278 ÷ 3 = 92.67 = 93 SHRUBS REQUIRED**  
 PROPOSED: 94 SHRUBS TOTAL

**NOTE:**

- THE PLANTING SCHEDULE DOES NOT INCLUDE THE STREET TREES ON MAIN ST WHICH IS PART OF THE U-6241 STREETSCAPE PROJECT. SEE STANTEC LANDSCAPE PLAN L-4 FOR STREET TREE SPECIES. A TOTAL OF 26 TREES SHALL BE PROVIDED ALONG MAIN ST. - 16 TREES FROM STANTEC AND 9 FROM THIS PROJECT.  
 - LANDSCAPING WILL BE COMPLIANT WITH LDO SECTION 6.2.4.4. IN THE PARKING LOT ISLANDS

**- Final Drawing -**  
 Issued for Permit  
 Review Purposes Only

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVE PERMIT BUILDING CALCULATIONS FOR OWNER REQUEST



**ENHANCED PLANTING PLAN**

**WALLBROOK**

**SITE DEVELOPMENT PLAN REVISION**  
 Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)  
 Rolesville, Wake County, North Carolina

NC License: P-1109



**PRELIMINARY**  
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 2/10/2023

Project Manager:	SMF
Drawn By:	SM
Checked By:	SMF
Project Number:	22007
Drawing Number:	D-1219-CD

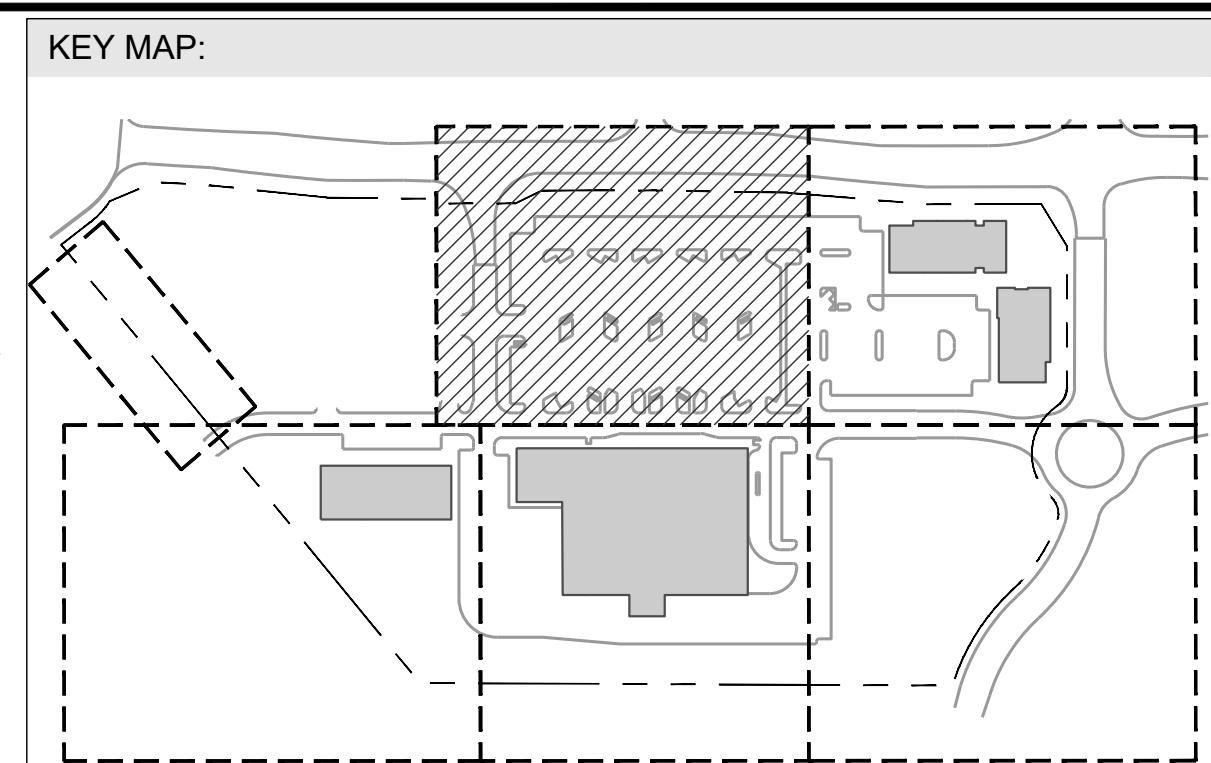
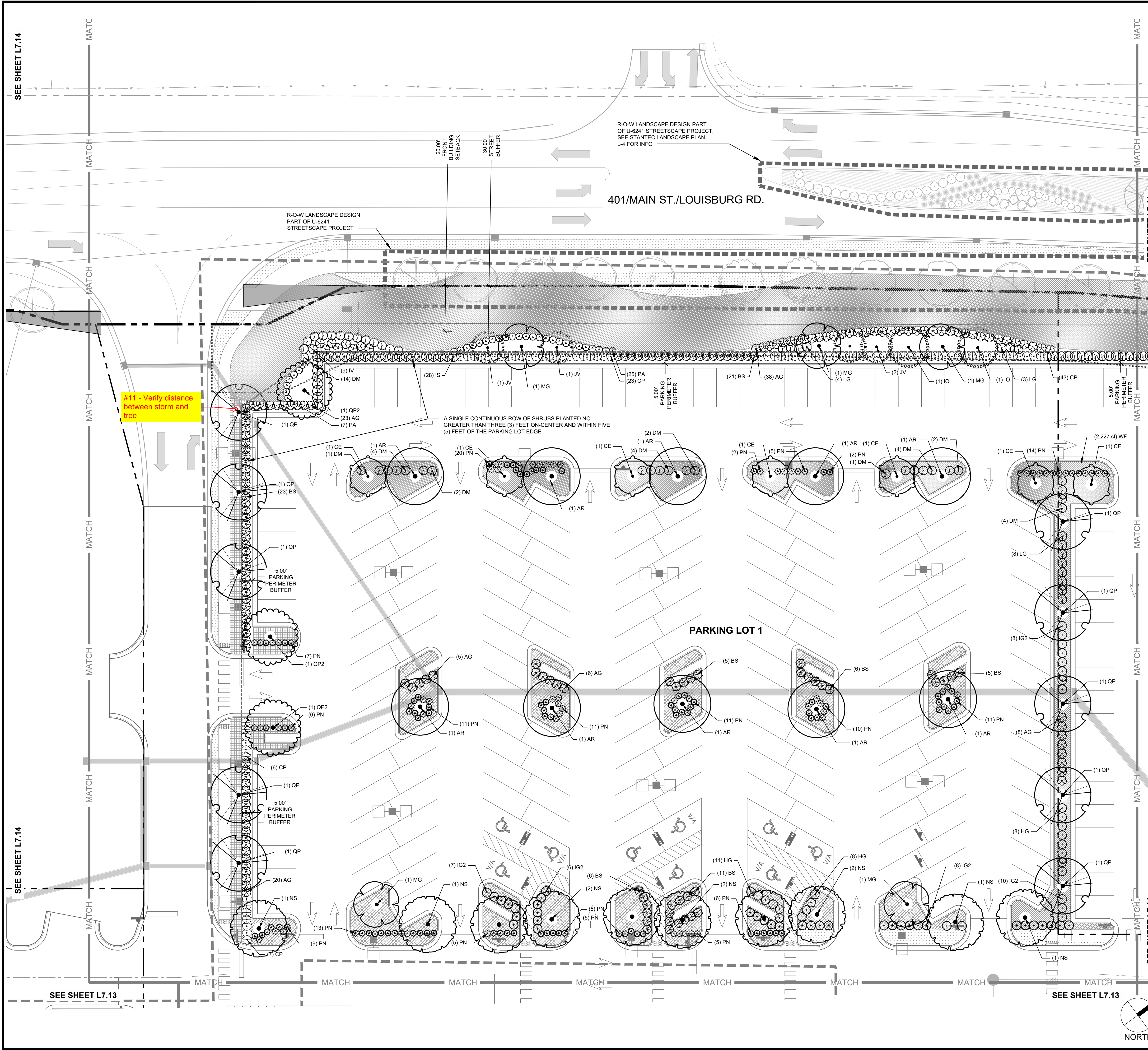


**STEWART**  
 101 WEST MAIN ST. DURHAM, NC 27701  
 1-919-302-1750



**L7.01**

Date: February 10, 2023



LANDSCAPE LEGEND

- PROPERTY LINE / ROW LINE
- SETBACK LINE
- LIMIT OF WORK (LANDSCAPE)
- 30' WIDE STREET BUFFER
- 10' WIDE TYPE 1 BUFFER
- 15' WIDE TYPE 2 BUFFER
- 5' WIDE PARKING PERIMETER BUFFER
- U6241 PROJECT PLANTING DESIGN SCHEME
- TREE PROTECTION FENCE
- EXISTING VEGETATION

PLANT SCHEDULE L7.10

CATEGORY	CODE	QTY	BOTANICAL / COMMON NAME		
CANOPY TREES	AR	10	ACER RUBRUM RED MAPLE		
	NS	10	NYSSA SYLVATICA TURPELO		
	QP2	3	QUERCUS PALUSTRIS PIN OAK		
	QP	10	QUERCUS PHellos WILLOW OAK		
	EVERGREEN TREES	IO	2	ILEX OPACA AMERICAN HOLLY	
		JV	4	JUNIPERUS VIRGINIANA EASTERN REDCEDAR	
		MG	5	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	
		CE	7	CERIS CANADENSIS EASTERN REDBUD MULTI-TRUNK	
	DECIDUOUS SHRUBS	CP	79	CALLICARPA X NICKX2 TM PEARL GLAM BEAUTYBERRY	
		IV	9	ITEA VIRGINICA 'HENRY'S GARNET' HENRY'S GARNET SWEETSPIRE	
EVERGREEN SHRUBS		AG	100	ARELIA X GRANDIFLORA GLOSSY ARELIA	
		BS	77	BUXUS SEMPERVIRENS COMMON BOXWOOD	
GRASSES	DM	38	DISTYLIUM X RHODI-V TM CINNAMON GIRL DISTYLIUM		
	HG	27	HYPERICUM FRONDOSUM GOLDEN ST. JOHN'S WORT		
	IG2	36	ILEX GLABRA INKBERRY HOLLY		
	IS	28	ILEX GLABRA 'SHAMROCK' SHAMROCK INBERRY HOLLY		
	LG	30	LOROPETALUM CHINENSE CHINESE FRINGE FLOWER		
	GROUND COVERS	WF	9,261 SF	ERSNT SEED MIX	
		SRZ	7,066 SF	ZOYSIAGRASS SEED	
		PERENNIALS	PA	32	PENNISETUM ALOPECUROIDES FOUNTAIN GRASS
			VP	362	VERBENA CANADENSIS 'HOMESTEAD PURPLE' HOMESTEAD PURPLE VERBENA

**- Final Drawing -**  
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REVISIONS:

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1	10-FEB-23	REVISION TO APPROVED PERMIT BUILDING FOOTPRINT FOR OWNER REQUEST

**CROSLAND SOUTHEAST**

**ENHANCED PLANTING PLAN**  
**WALLBROOK**  
**SITE DEVELOPMENT PLAN REVISION** (Reference PR 21-04)  
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)  
Rolesville, Wake County, North Carolina

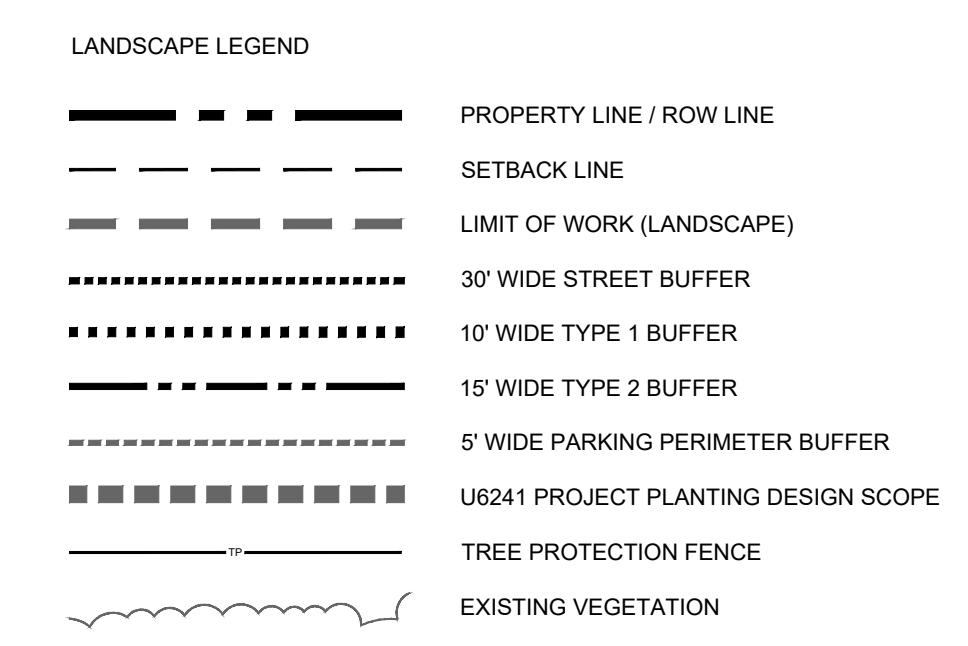
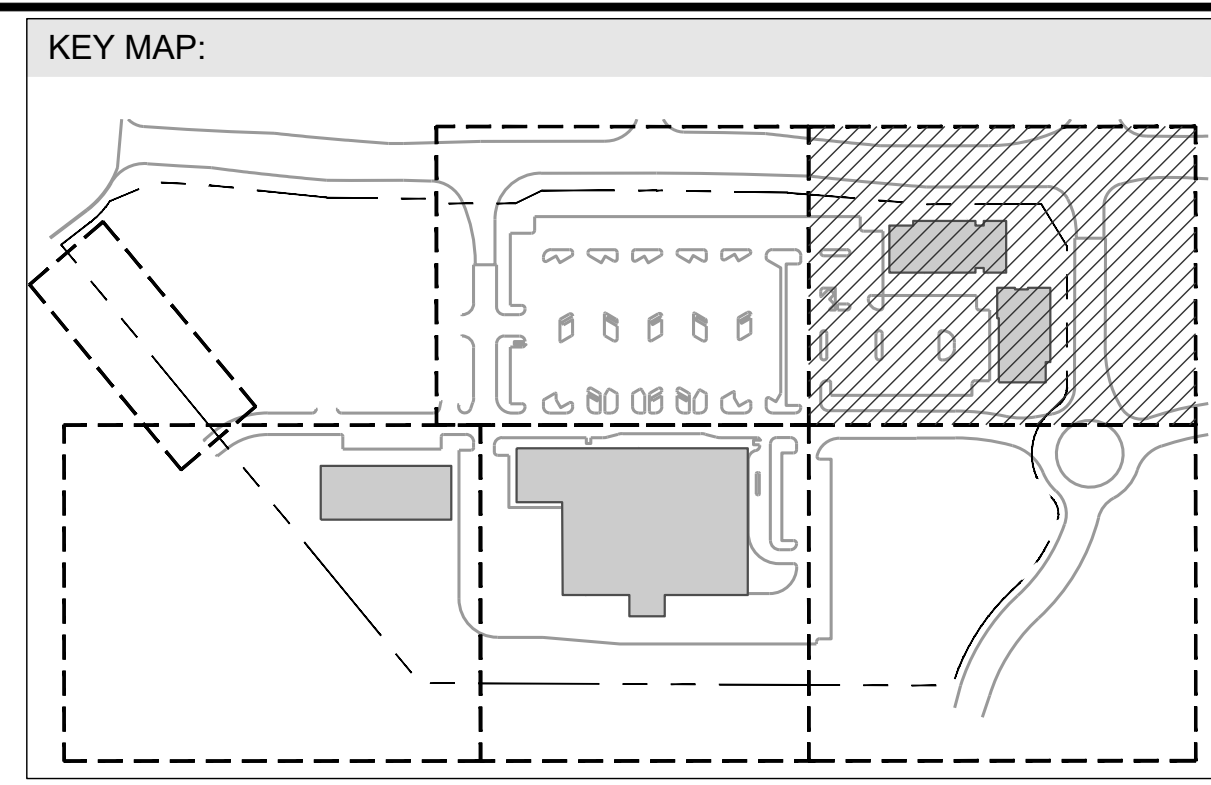
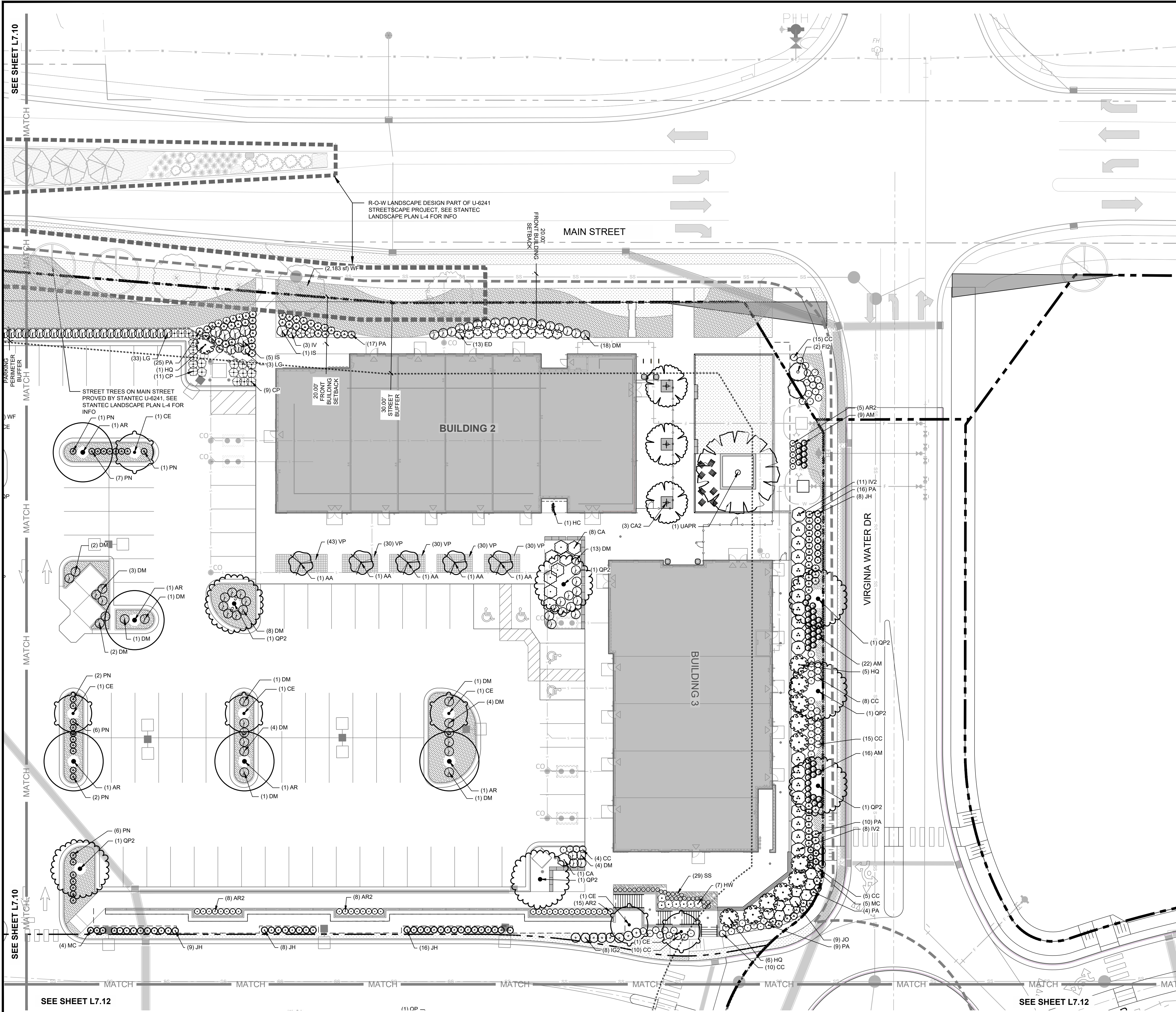
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Project Manager: SMF  
Drawn By: SM  
Checked By: SMF  
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Drawing Number: D-1219-CD

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**L7.10**  
Date: February 10, 2023



PLANT SCHEDULE L7.11

CATEGORY	CODE	QTY	BOTANICAL / COMMON NAME
CANOPY TREES	AR	5	ACER RUBRUM RED MAPLE
	QP2	7	QUERCUS PALUSTRIS PIN OAK
	UAPR	1	ULMUS AMERICANA 'PRINCETON' PRINCETON AMERICAN ELM
UNDERSTORY TREES	AA	5	AMELANCHIER ARBOREA DOWNY SERVICEBERRY
	CA2	3	CARPINUS CAROLINIANA AMERICAN HORNBEAM
	CE	6	CERCIS CANADENSIS EASTERN REDBUD MULTI-TRUNK
	CA	9	CALLICARPA AMERICANA AMERICAN BEAUTYBERRY
DECIDUOUS SHRUBS	CP	20	CALLICARPA X NICOCCO TM PEARL GLAM BEAUTYBERRY
	CC	67	CARYOPTERIS X CLANDONENSIS BLUEBEARD
	FI2	2	FORSYTHIA X INTERMEDIA BORDER FORSYTHIA
	HO	12	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA
EVERGREEN SHRUBS	HW	7	HYDRANGEA QUERCIFOLIA 'PEE WEE' 'PEE WEE OAKLEAF HYDRANGEA
	IV	3	ITEA VIRGINICA 'HENRY'S GARNET' HENRY'S GARNET SWIETSHIRE
	DM	64	DISTYLIUM X 'PROIST-V' TM CINNAMON GIRL DISTYLIUM
	IG2	6	ILEX GLABRA INKBERRY HOLLY
GRASSES	IS	6	ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY HOLLY
	IV2	19	ILEX VOMITORIA YALPON HOLLY
	JH	41	JUNIPERUS COMMUNIS 'HIBERNICA' IRISH JUNIPER
	JO	9	JUNIPERUS VIRGINIANA 'GREY OWL' GREY OWL EASTERN REDCEDAR
	LG	21	LOROPETALUM CHINENSE CHINESE FRINGE FLOWER
	AR2	36	ANDROPOGON GERARDII 'RED OCTOBER' RED OCTOBER BIG BLUESTEM
	MC	9	MULLEBERGIA CAPILLARIS PINK MUHLY GRASS
	PA	28	PANICUM VIRGATUM 'NORTHWIND' NORTHWIND SWITCH GRASS
	PN	61	PENNISETUM ALOPECUROIDES FOUNTAIN GRASS
	SS	29	SCHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM

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REVISIONS:

CROSLAND SOUTHEAST

ENHANCED PLANTING PLAN  
**WALLBROOK**  
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)

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Project Manager: SMF  
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Checked By: SMF  
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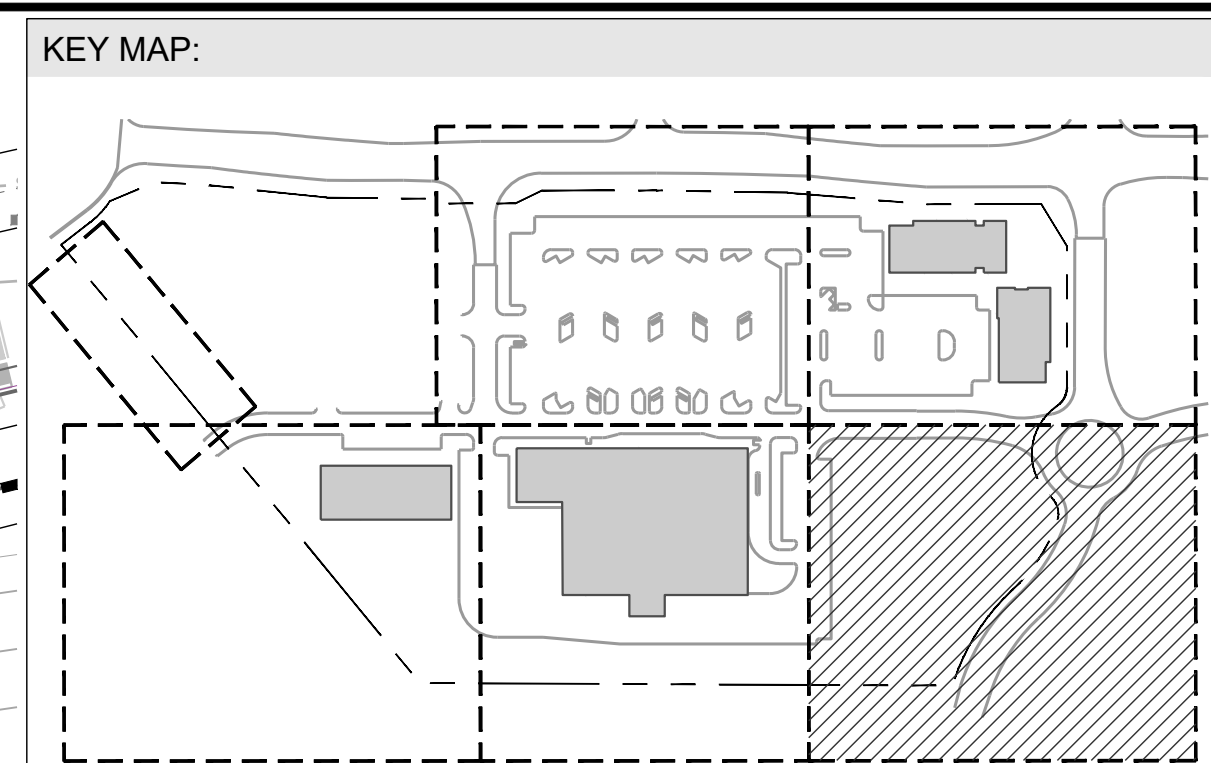
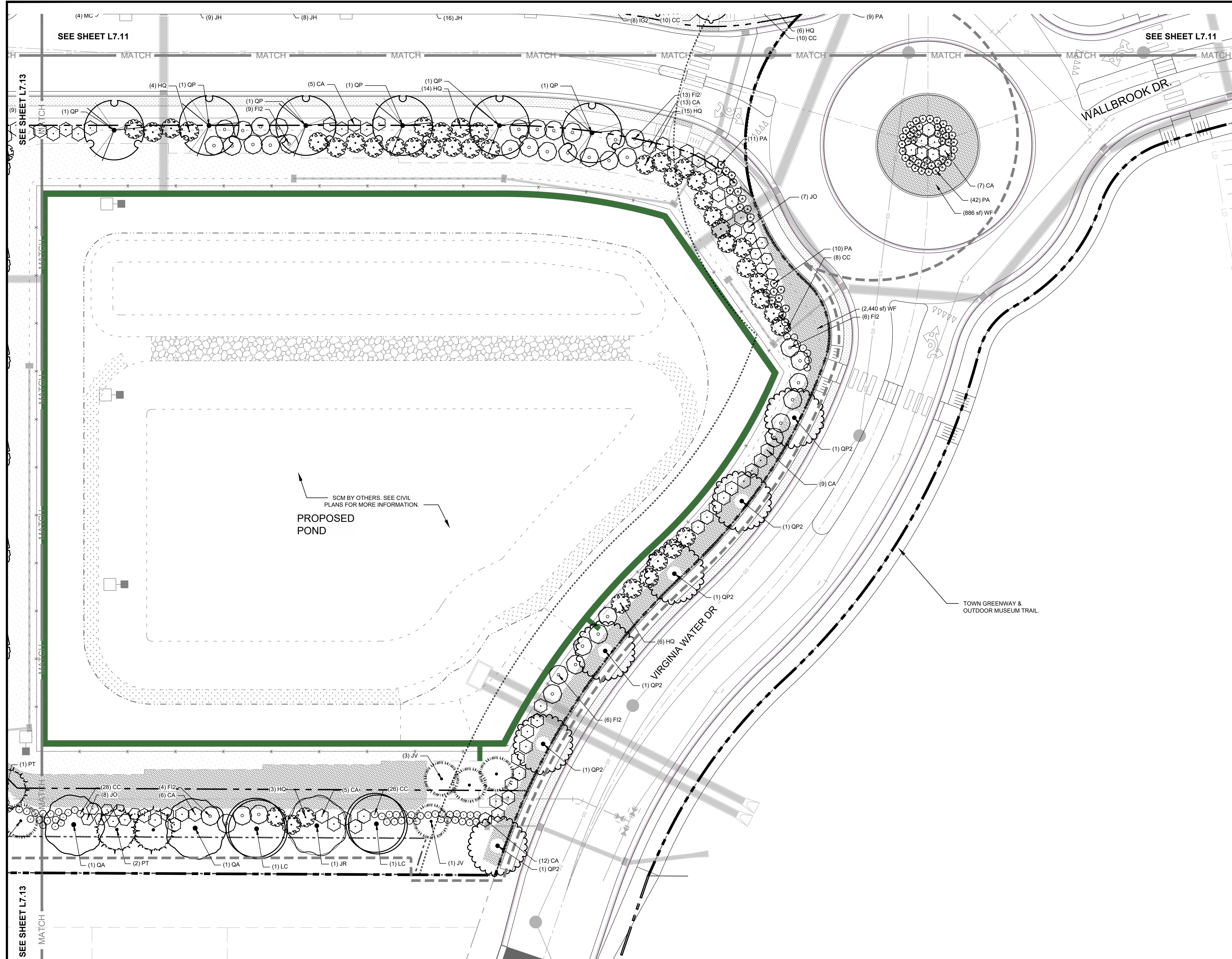
**L7.11**

Date: February 10, 2023

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DURHAM, NC 27701  
1-919-302-8750

FIRM LICENSE # C-1051  
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STEPHEN M. FAHER  
2024



**LANDSCAPE LEGEND**

- PROPERTY LINE / ROW LINE
- SETBACK LINE
- LIMIT OF WORK (LANDSCAPE)
- 30' WIDE STREET BUFFER
- 10' WIDE TYPE 1 BUFFER
- 15' WIDE TYPE 2 BUFFER
- 5' WIDE PARKING PERIMETER BUFFER
- U6241 PROJECT PLANTING DESIGN SCOPE
- TREE PROTECTION FENCE
- EXISTING VEGETATION

**PLANT SCHEDULE L7.12**

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME
	JR	1	JUGLANS REGIA ENGLISH WALNUT
	LC	2	LIRIODENDRON CHINENSE X TULIPIFERA HYBRID TULIP TREE
	QA	2	QUERCUS ALBA WHITE OAK
	QP2	6	QUERCUS PALUSTRIS PIN OAK
	QP	6	QUERCUS PHELLOS WILLOW OAK
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME
	JV	4	JUNIPERUS VIRGINIANA EASTERN REDCEDAR
	PT	2	PINUS TAEDA LOBLOLLY PINE
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	CA	61	CALLICARPA AMERICANA AMERICAN BEAUTYBERRY
	CC	46	CARYOPTERIS X CLANDONENSIS BLUEBEARD
	FI2	38	FORSYTHIA X INTERMEDIA BORDER FORSYTHIA
	HQ	42	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	JO	15	JUNIPERUS VIRGINIANA 'GREY OWL' GREY OWL EASTERN REDCEDAR
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME
	PA	63	PENNISETUM ALOPECUROIDES FONTAIN GRASS
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	WF	3,274 SF	ERSNT SEED MIX
	SR2	2,480 SF	ZOYSIAGRASS SEED

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**ENHANCED PLANTING PLAN**  
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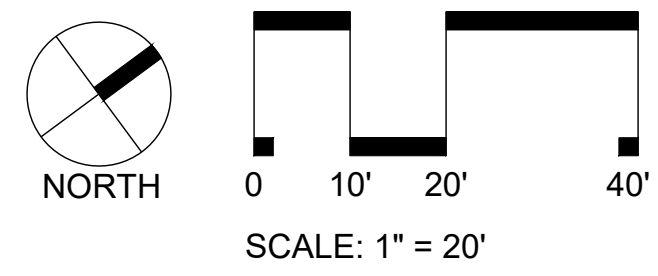
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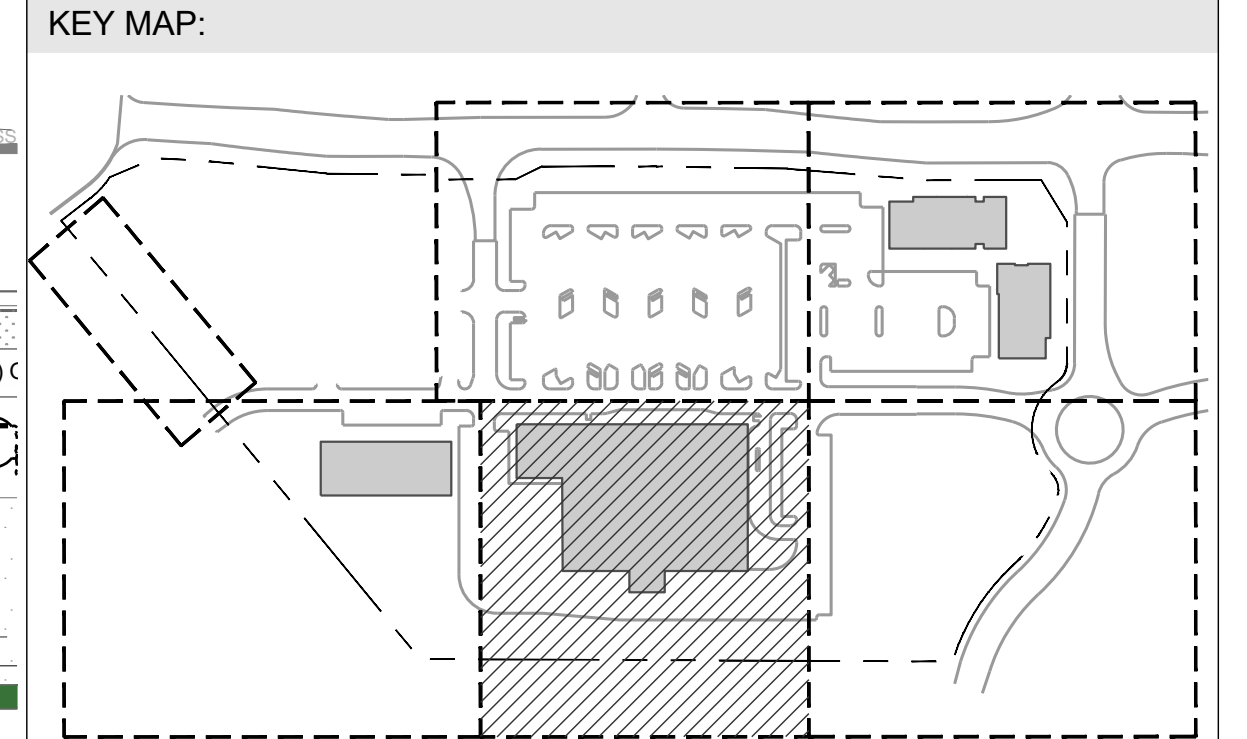
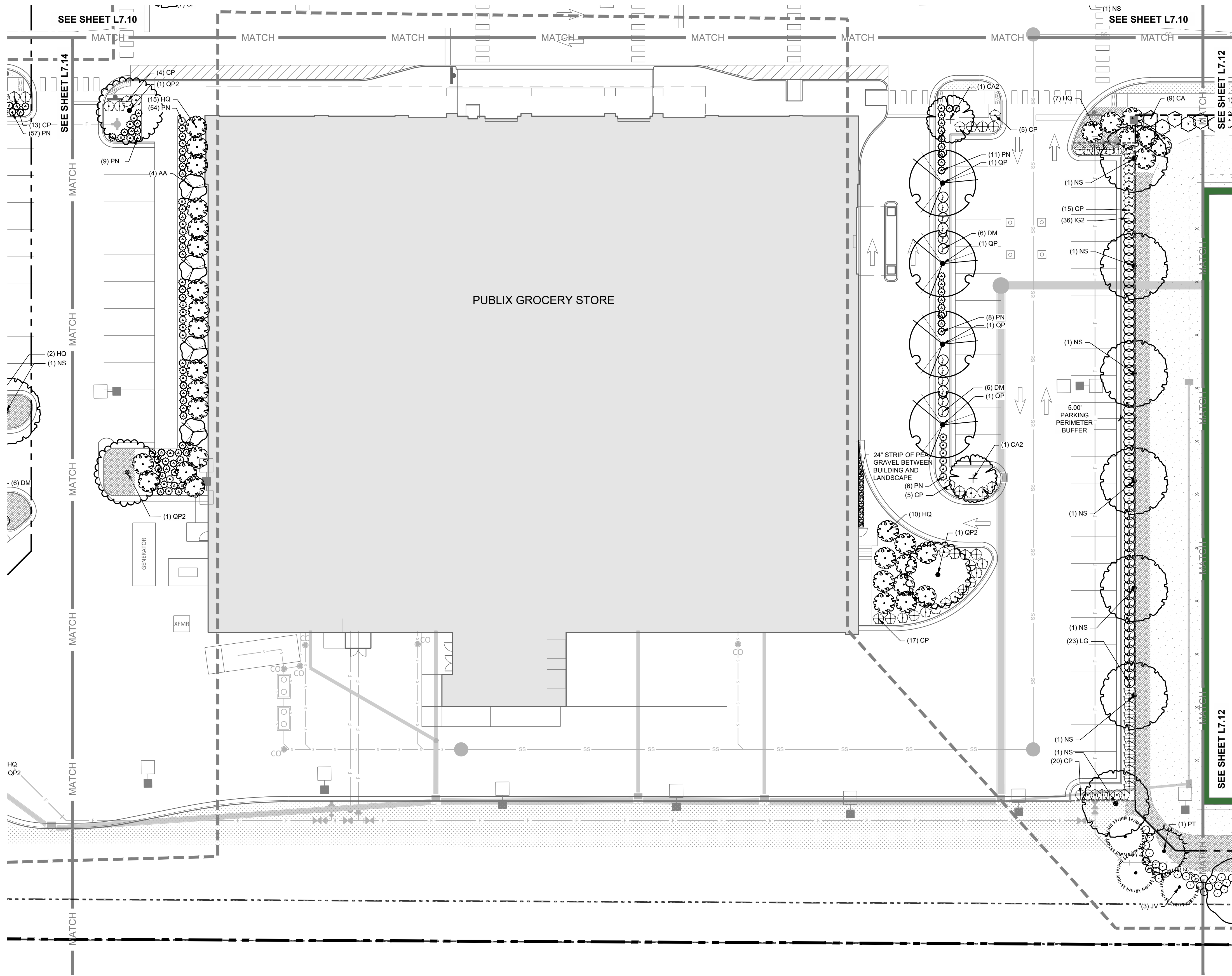
**L7.12**

Date: February 10, 2023



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LANDSCAPE LEGEND

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- EXISTING VEGETATION

PLANT SCHEDULE L7.13

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME
	NS	7	NYSSIA SYLVATICA TUPELO
	QP2	3	QUERCUS PALUSTRIS PIN OAK
	QP	4	QUERCUS PHELLOS WILLOW OAK
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME
	JV	3	JUNIPERUS VIRGINIANA EASTERN REDCEDAR
	PT	1	PINUS TAEDA LOROUX PINE
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME
	AA	4	AMELANCHER ARBOREA DOWNY SERVICEBERRY
	CA2	2	CARPINUS CAROLINIANA AMERICAN HORNBEAM
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	CA	5	CALLICARPA AMERICANA AMERICAN BEAUTYBERRY
	CP	66	CALLICARPA X NICKXZ TM PEARL GLAM BEAUTYBERRY
	CC	16	CARYOPTERIS X GLANDONENSIS BLUEBERRY
	HQ	34	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	DM	12	DISTYLUM X PHIDISTY TM CINNAMON GIRL DISTYLUM
	IG2	36	ILEX GLABRA INBERRY HOLLY
	LG	23	LOROPETALUM CHINENSE CHINESE FRINGE FLOWER
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME
	PN	90	PANICUM VIRGATUM NORTHWIND/ NORTHWIND SWITCH GRASS
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	WF	4.580 SF	ERSNT SEED MIX
	SR2	66 SF	ZOYSIAGRASS SEED

**- Final Drawing -**  
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REVISIONS:

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVAL PERMITS BUILDING DEPARTMENT FOR OWNER REQUEST



**ENHANCED PLANTING PLAN**  
**WALLBROOK**  
 SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)  
 Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)  
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Project Manager: SMF  
 Drawn By: SM  
 Checked By: SMF  
 Project Number: 22007  
 Drawing Number: D-1219-CD

**L7.13**  
 Date: February 10, 2023

NORTH

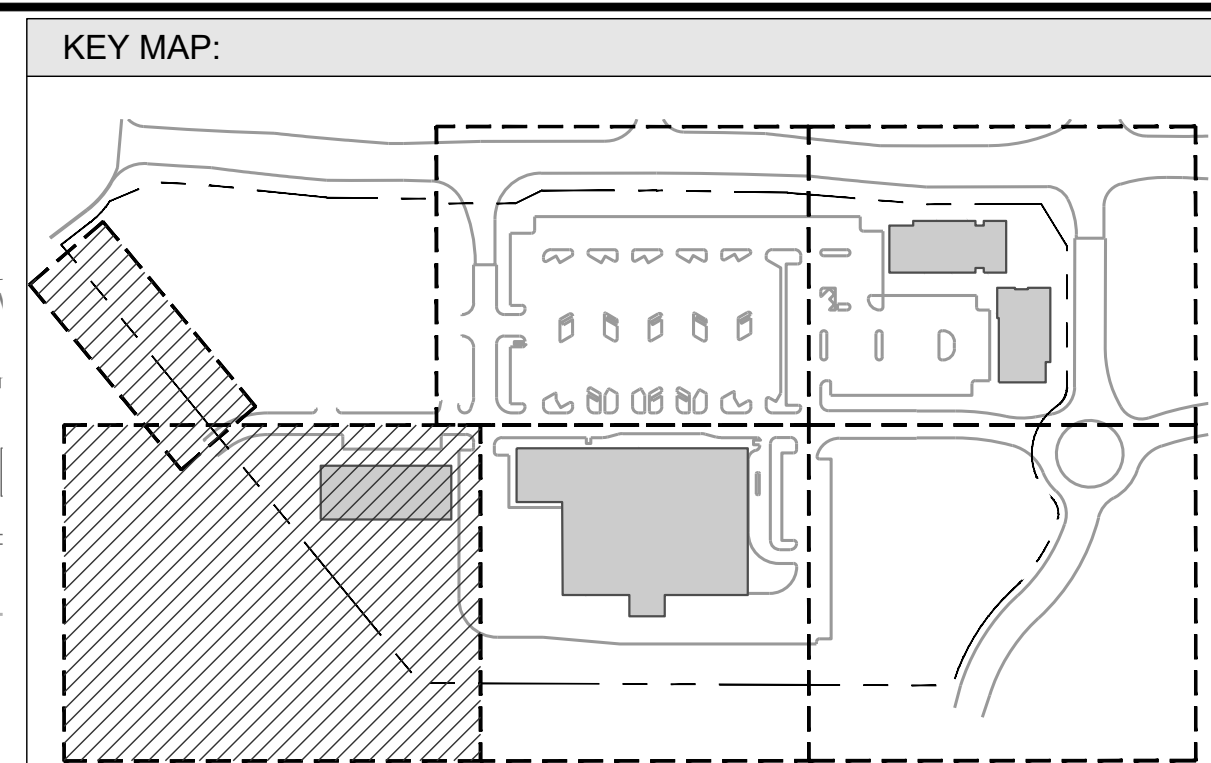
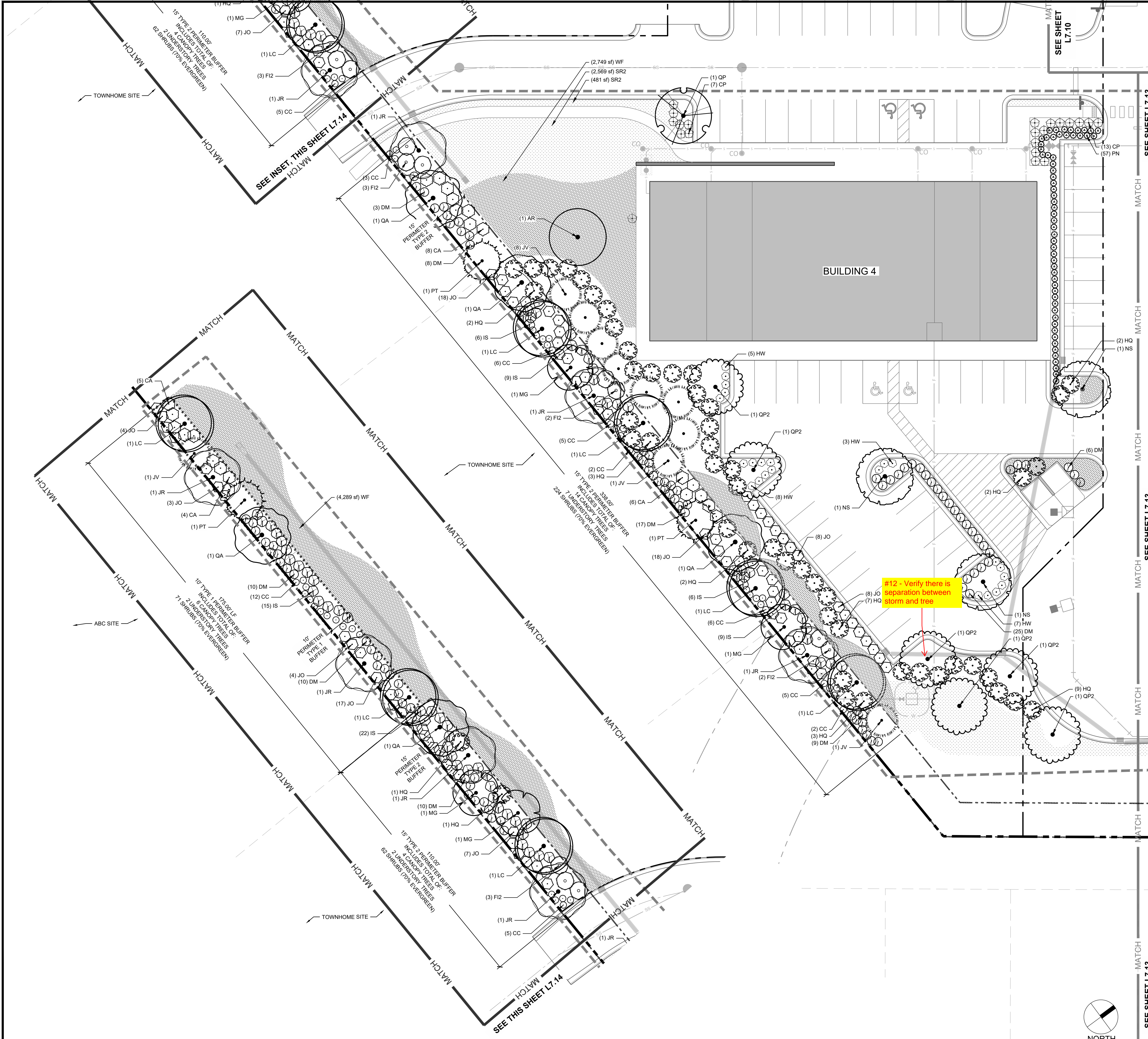
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SCALE: 1" = 20'

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 1-919-302-8750

FIRM LICENSE # C-1051  
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SEE SHEET L7.14



**LANDSCAPE LEGEND**

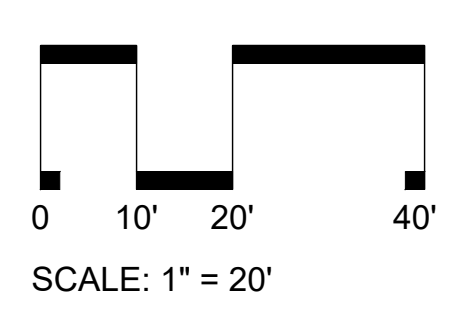
- PROPERTY LINE / ROW LINE
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- U6241 PROJECT PLANTING DESIGN SCOPE
- TREE PROTECTION FENCE
- EXISTING VEGETATION

**PLANT SCHEDULE L7.14**

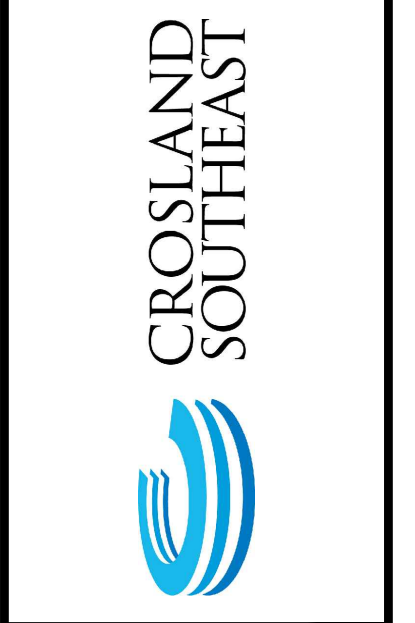
CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME
AR	1	ACER RUBRUM RED MAPLE	
JR	6	JUGLANS REGIA ENGLISH WALNUT	
LC	6	LIRIODENDRON CHINENSE X TULIPIFERA HYBRID TULIP TREE	
NS	3	NYSSA SYLVATICA TUPELO	
QA	5	QUERCUS ALBA WHITE OAK	
QP2	6	QUERCUS PALLISTRIS PIN OAK	
QP	1	QUERCUS PHellos WILLOW OAK	
EVERGREEN TREES			
JV	10	JUNIPERUS VIRGINIANA EASTERN REDCEDAR	
MG	3	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	
PT	3	PRINUS TAEDA LOBLOLLY PINE	
DECIDUOUS SHRUBS			
CA	23	CALLICARPA AMERICANA AMERICAN BEAUTYBERRY	
CP	21	CALLICARPA X NICKX2 TM PEARL, GLAM BEAUTYBERRY	
CC	46	CARYOPTERIS X CLANDONIENSIS BLUEBEARD	
FI2	10	FORSYTHIA X INTERMEDIA BORDER FORSYTHIA	
HQ	52	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	
HW	23	HYDRANGEA QUERCIFOLIA 'PEE WEE' PEE WEE OAKLEAF HYDRANGEA	
EVERGREEN SHRUBS			
DM	98	DISTYLUM X 'PRIDIST-V' TM CINNAMON GIRL DISTYLUM	
IS	67	ILEX GLABRA 'SHAMROCK' SHAMROCK HAWBERRY HOLLY	
JO	86	JUNIPERUS VIRGINIANA 'GREY OWL' GREY OWL EASTERN REDCEDAR	
GRASSES			
PN	57	PANICUM VIRGATUM 'NORTHWIND' NORTHWIND SWITCH GRASS	
GROUND COVERS			
WF	8,360 SF	ERSNT SEED MIX	
SR2	11,256 SF	ZOYSIAGRASS SEED	

#12 - Verify there is separation between storm and tree

**NOTE:**  
- FENCE FOR PERIMETER BUFFER TYPE 1 & 2 ARE PROVIDED ON THE ADJACENT ABC AND FUTURE TOWNHOME PROPERTIES. NO FENCE IS REQUIRED ALONG PERIMETER BUFFER IN THESE LOCATIONS



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**ENHANCED PLANTING PLAN**  
**WALLBROOK**  
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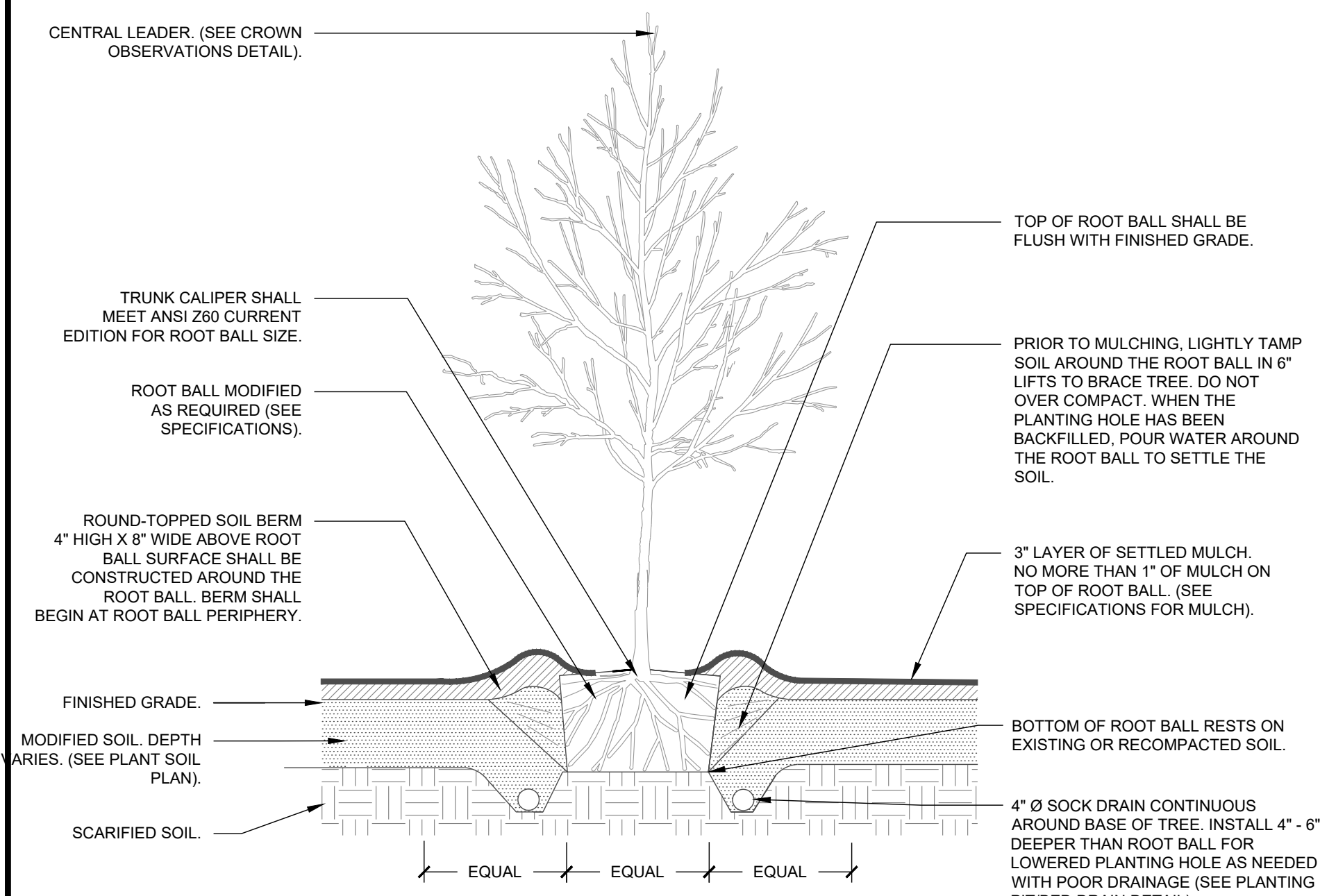
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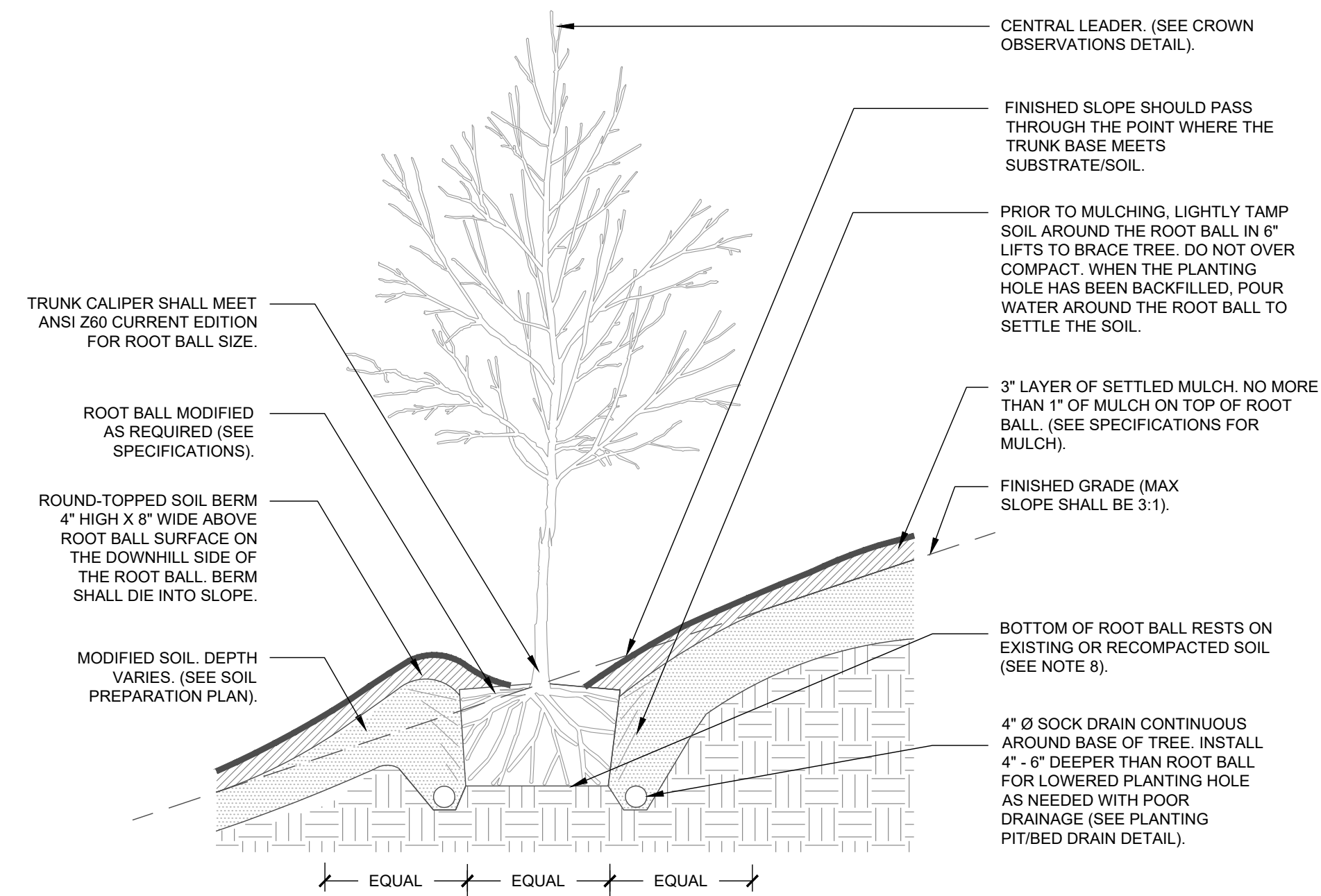
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Drawn By: SM  
Checked By: SMF  
Project Number: 22007  
Drawing Number: D-1219-CD

**L7.14**

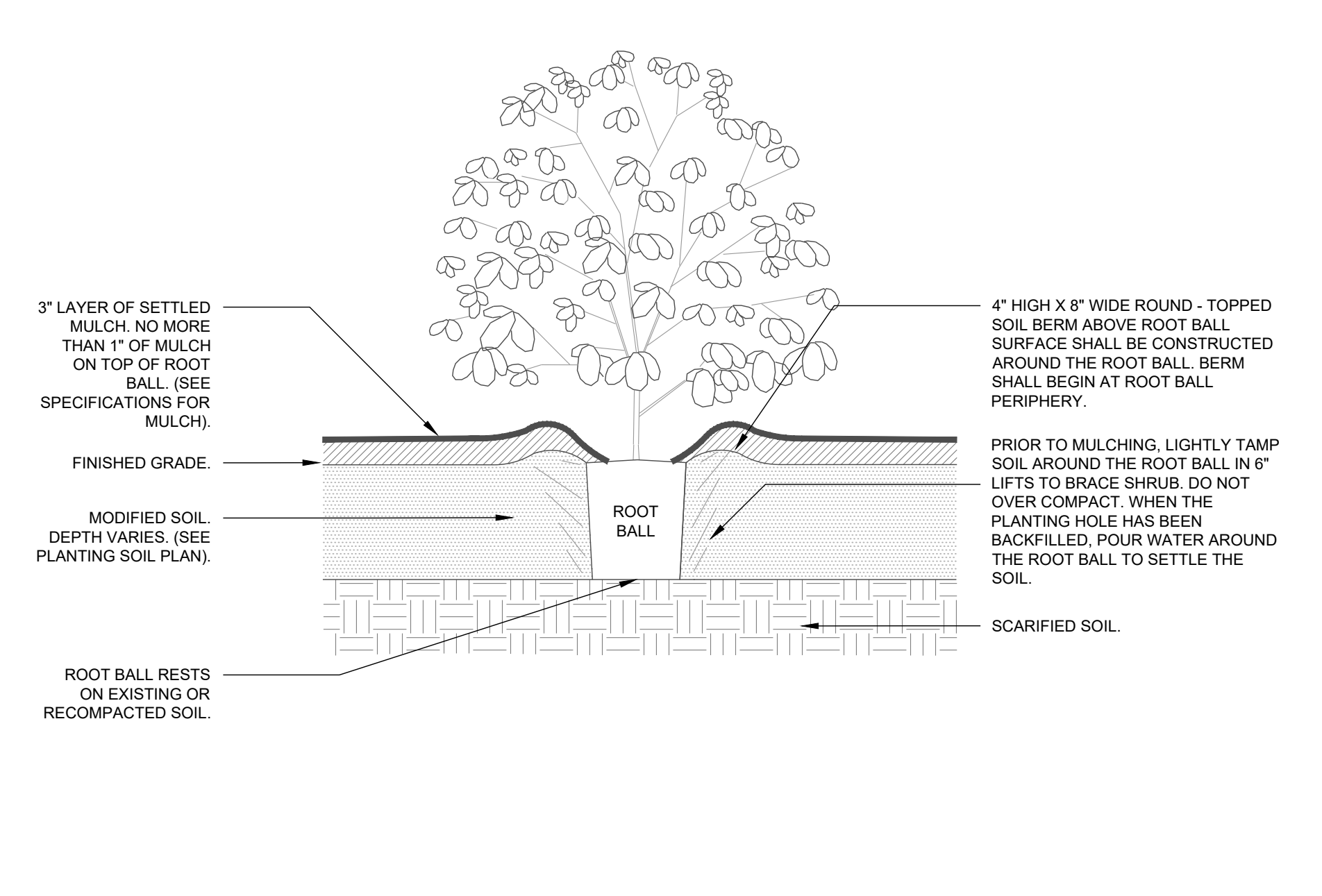
Date: February 10, 2023



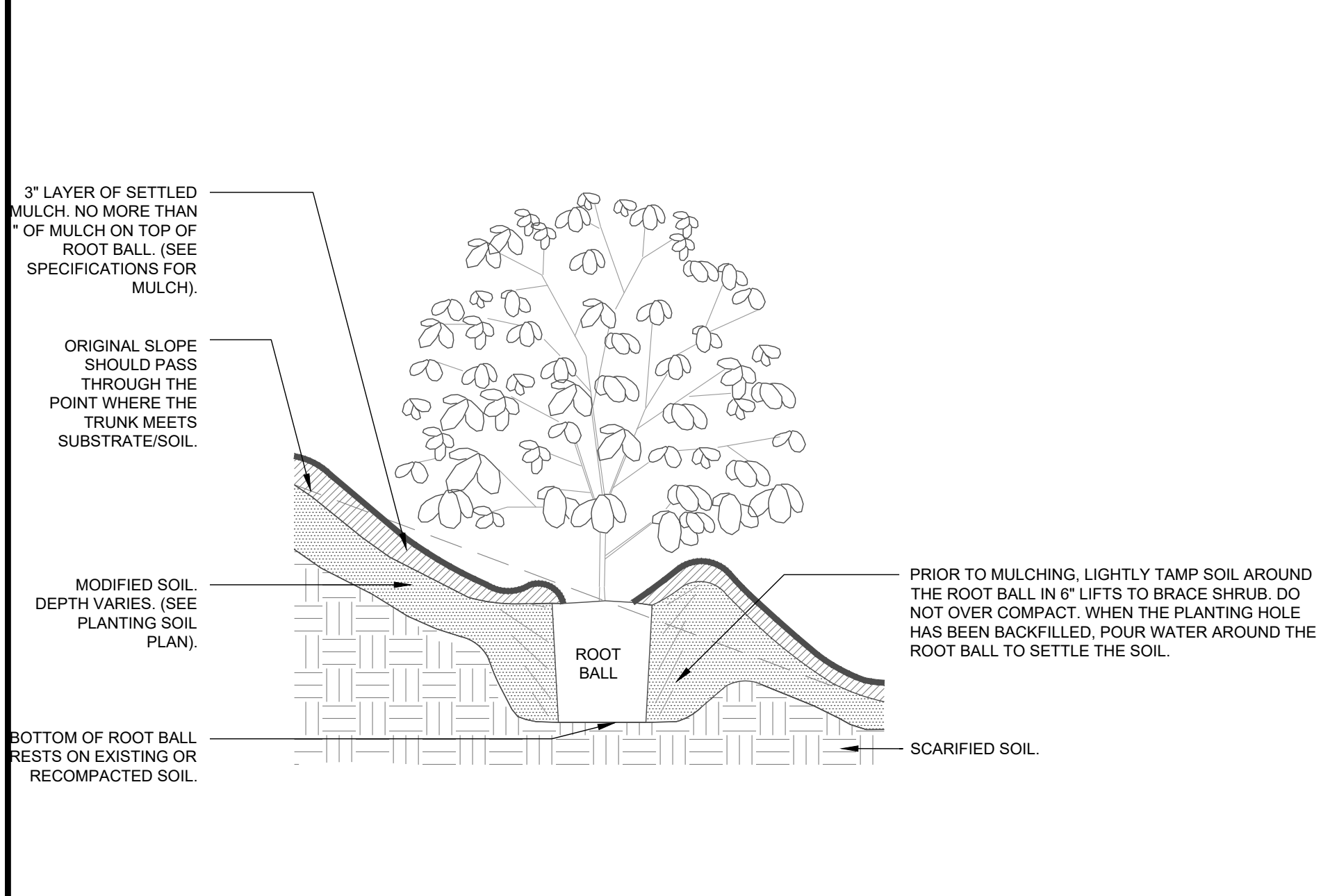
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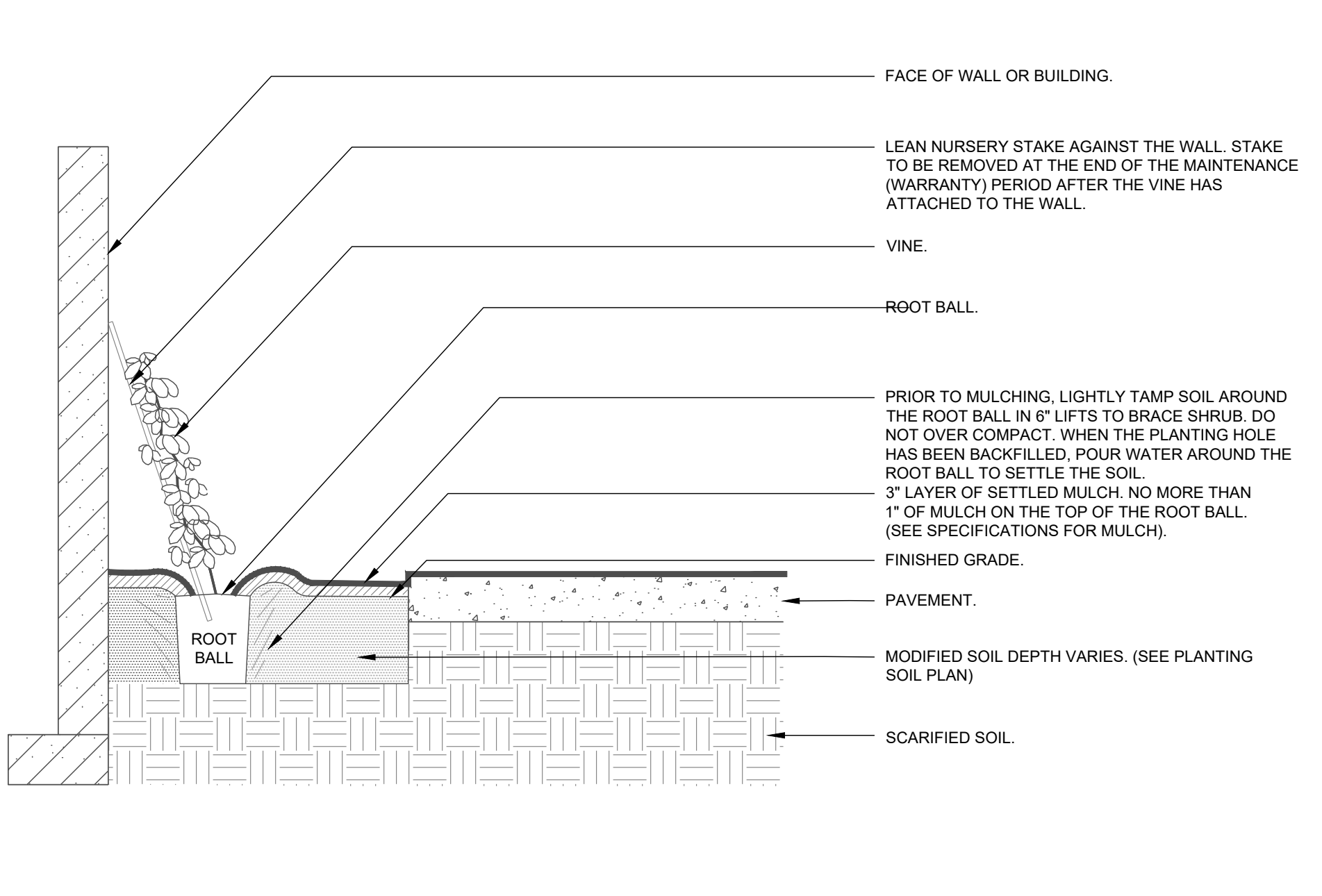
**2 TREE ON SLOPE (TYPICAL) SECTION** NTS



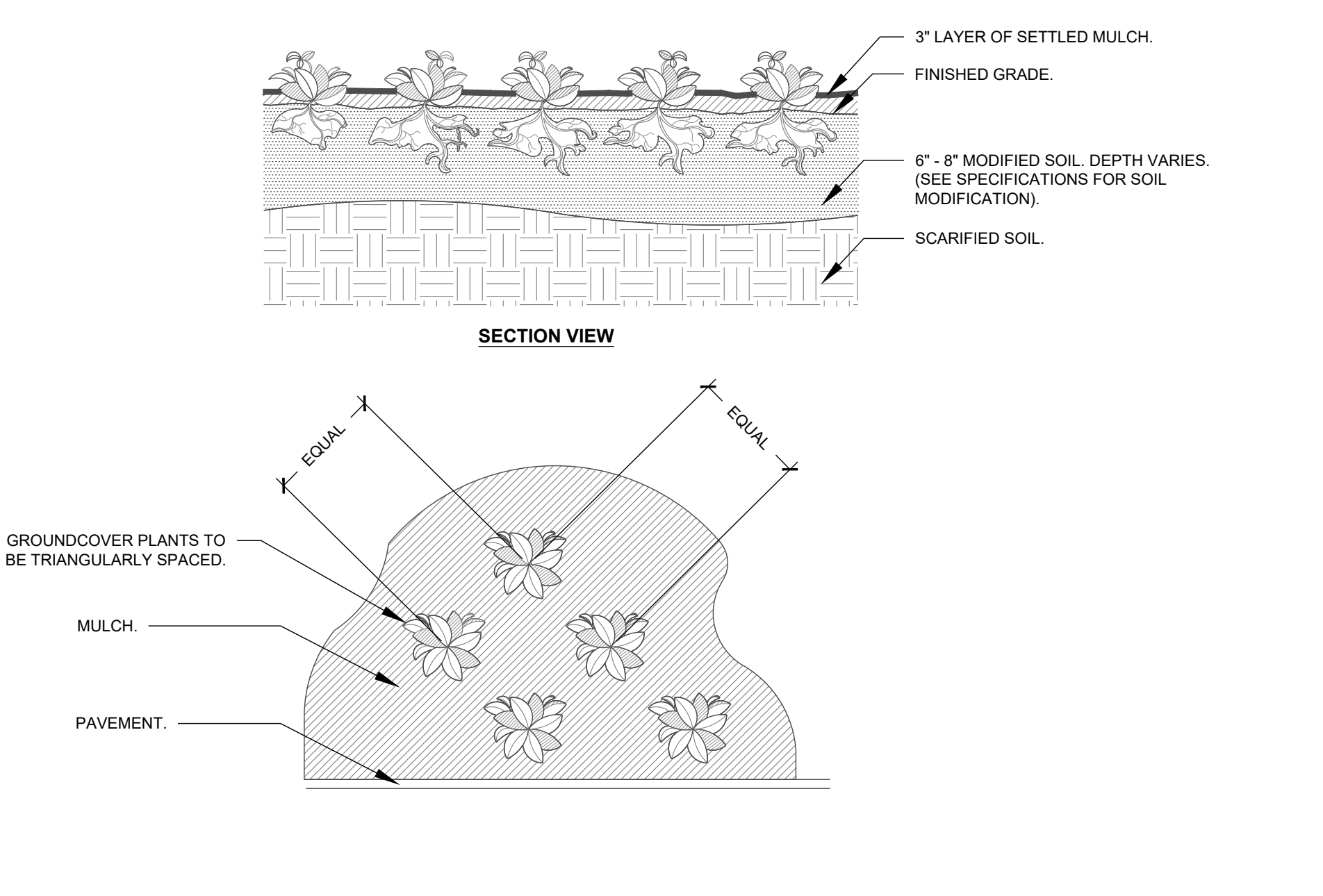
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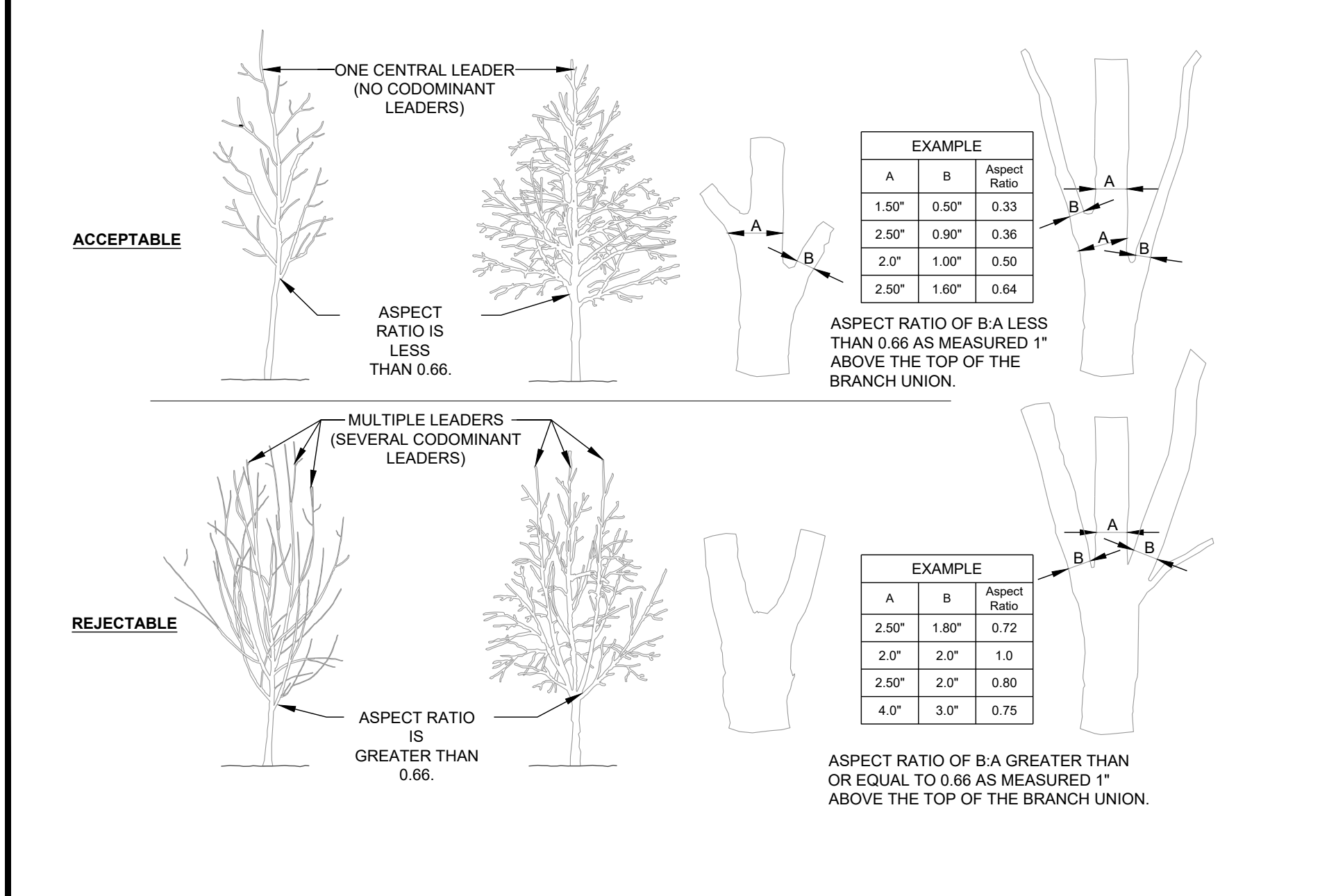
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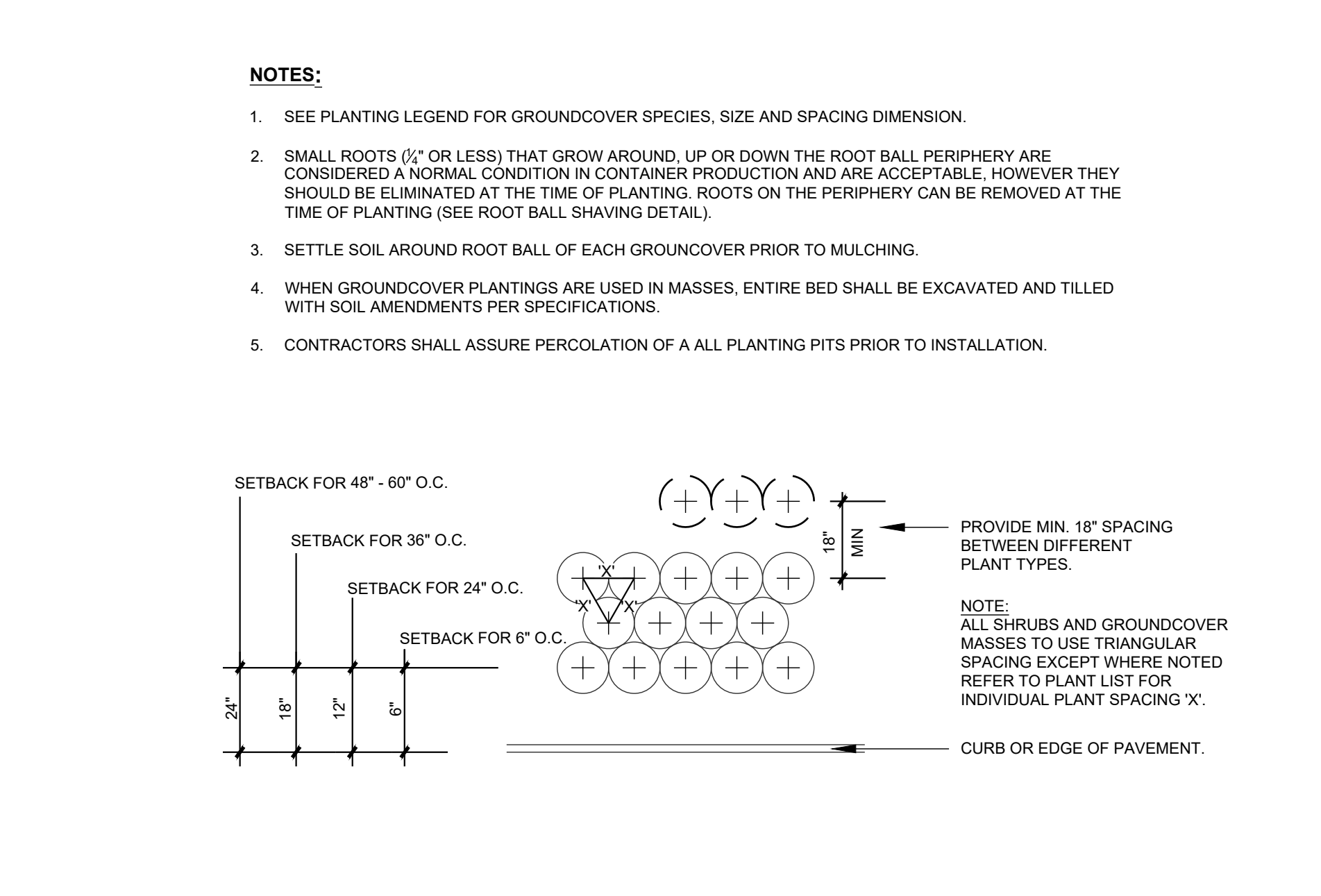
**5 VINE (TYPICAL) SECTION** NTS



**6 GROUNDCOVER PLANTING (TYPICAL) PLAN** NTS



**7 CROWN OBSERVATIONS - HIGH BRANCHED SECTION** NTS



**8 SHRUB AND GROUNDCOVER SPACING PLAN** NTS

- PLANTING NOTES:**
- DO NOT STAKE TREES EXCEPT WHERE SPECIFIED BY LANDSCAPE ARCHITECT. STAKING IS REQUIRED FOR TREES PLANTED ON SLOPES.
  - WHERE SEVERAL TREES WILL BE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL AMENDMENTS TO A DEPTH OF 4-6\"/>

**9 PLANTING NOTES** NTS

**- Final Drawing -**  
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**CROSLAND SOUTHEAST**

**PLANTING & SOIL DETAILS**  
**WALLBROOK**  
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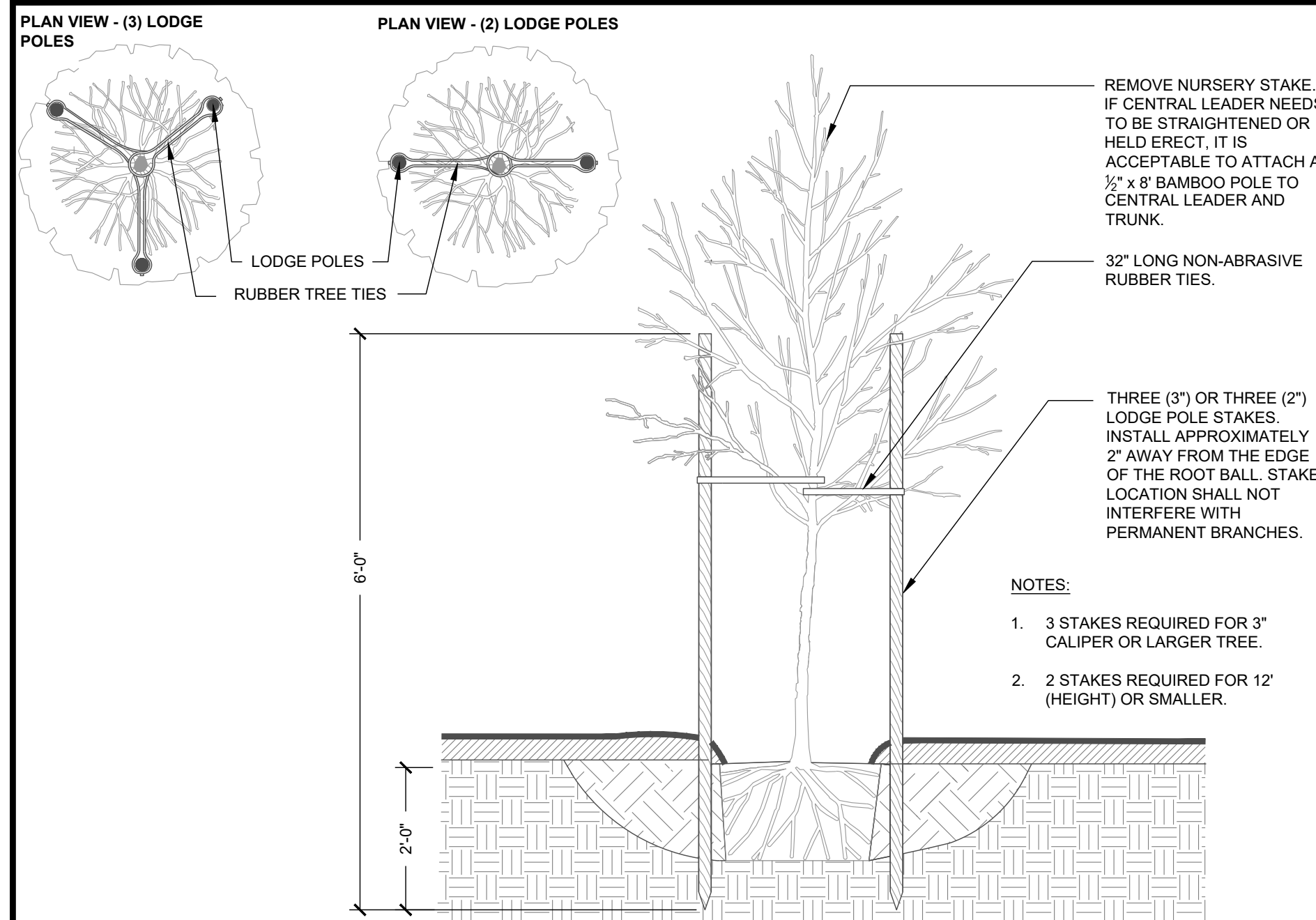
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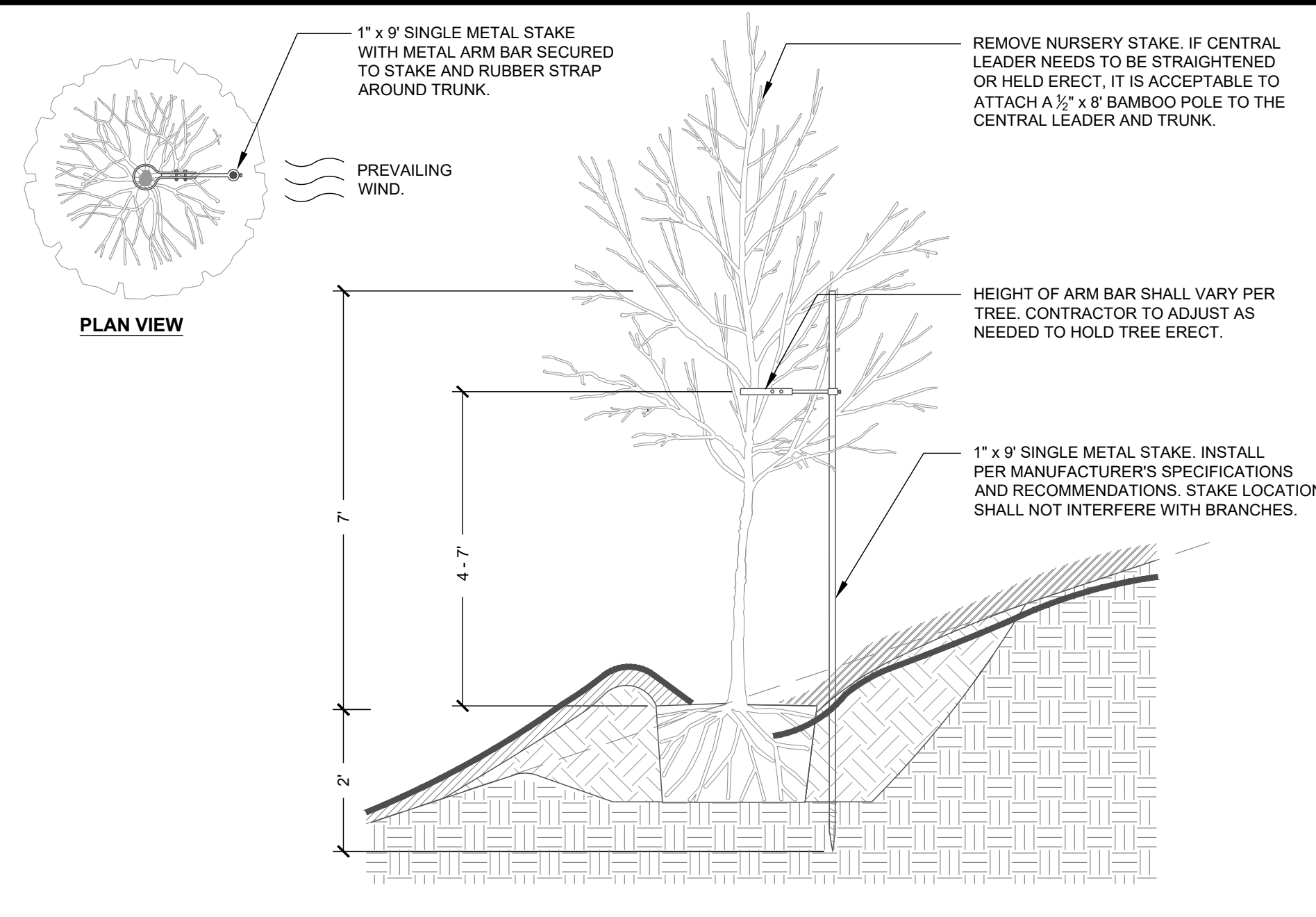
Project Manager: **SMF**  
 Drawn By: **YZ/SM**  
 Checked By: **SMF**  
 Project Number: **22007**  
 Drawing Number: **D-1219-CD**

**STEWART**  
 101 WEST MAIN ST.  
 DURHAM, NC 27701  
 1-919-302-7120  
 FIRM LICENSE # C-1051  
 www.stewartinc.com

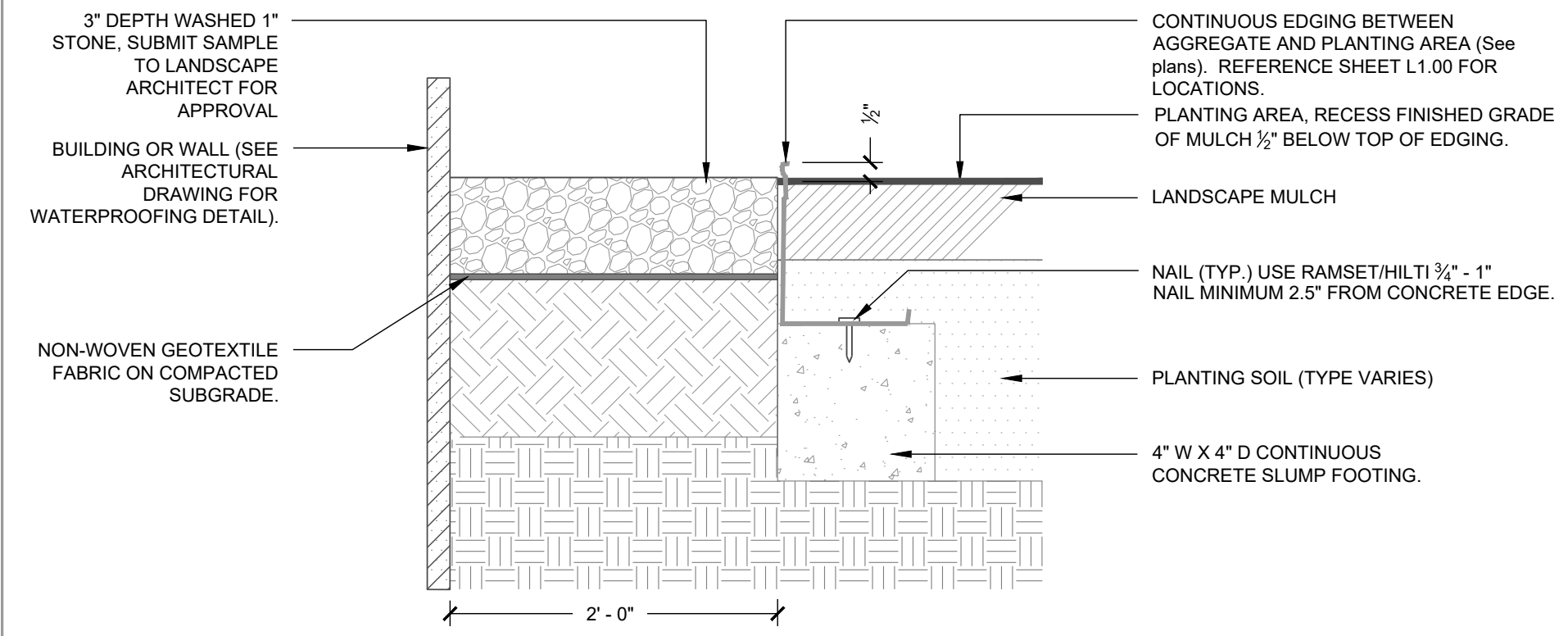
**L7.91**  
 Date: February 10, 2023



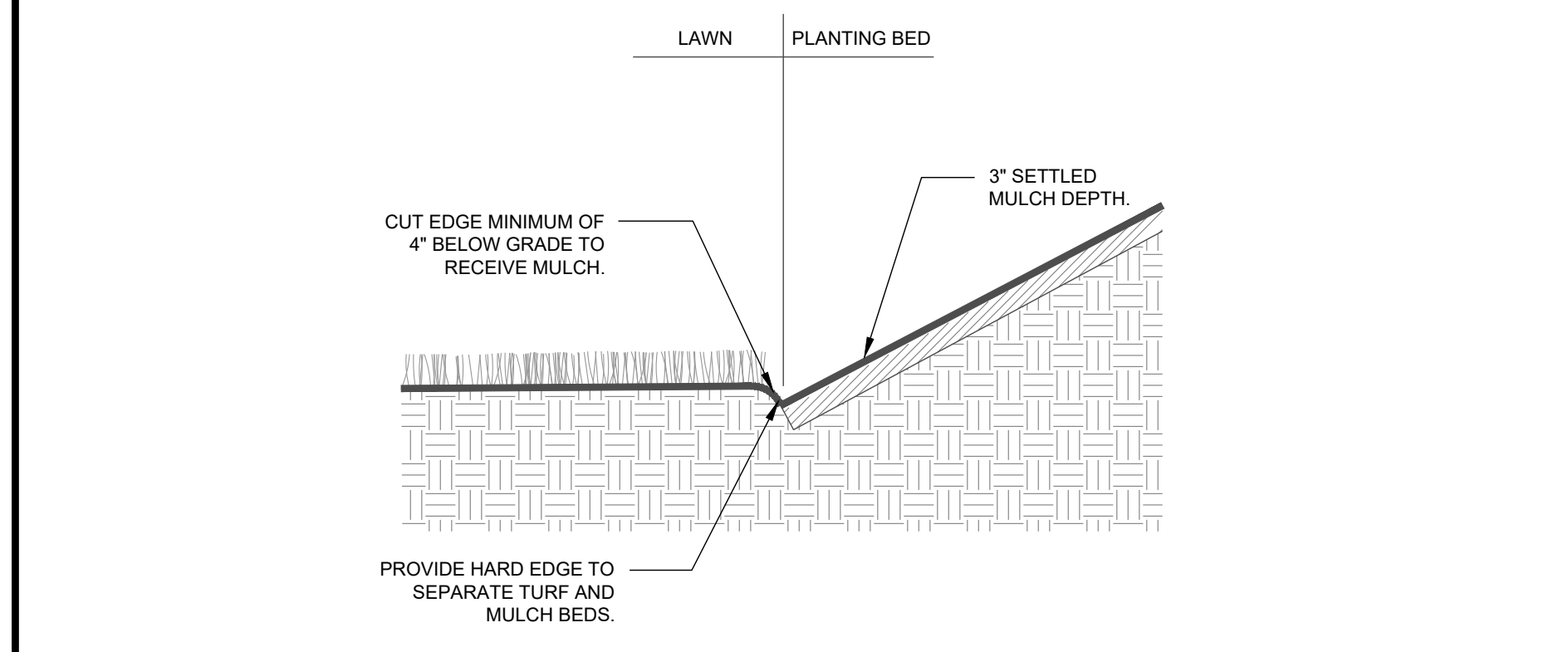
1 TREE STAKING - LODGE POLES SECTION NTS



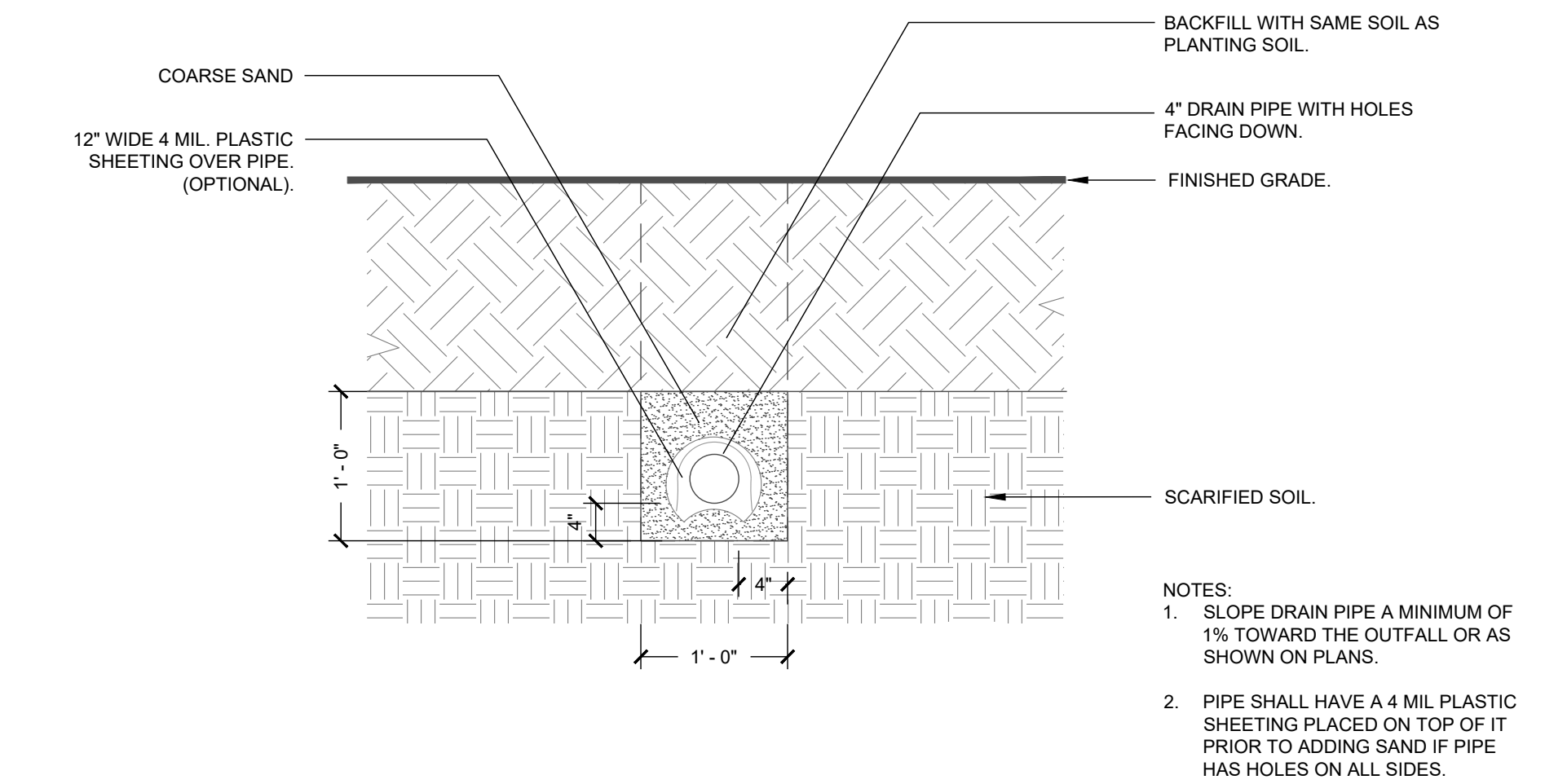
2 TREE STAKING - ON SLOPE SECTION NTS



3 GRAVEL BAND WITH STEEL EDGING SECTION NTS



4 LAWN / PLANT BED TRENCH EDGING SECTION NTS



5 PLANTING PIT / BED DRAIN DETAIL SECTION NTS

Bulk Qty	PLS Qty	UOM	Item Number	Description	Unit Price	Ext. Price
0.000		EACH	CUSTOM NC PIEDMONT		\$0.00000	\$0.00
0.250		LB BLK	SCHSCO01	Little Bluestem, 'Camper'	\$11.46536	\$2.87
0.150		LB BLK	ELYVIR01	Virginia Wildrye, PA Ecotype	\$6.14727	\$0.92
0.050		LB BLK	ANDGER01	Big Bluestem, 'Niagara'	\$12.16520	\$0.61
0.100		LB BLK	SORNUT04	Indiangrass, 'Tomahawk'	\$11.84040	\$1.18
0.100		LB BLK	PANRIG01	Redtop Panicgrass, Coastal Plain NC Ecotype	\$52.80000	\$5.28
0.040		LB BLK	CORLAN01	Lanceleaf Coreopsis	\$26.40000	\$1.06
0.030		LB BLK	RUDHIR01	Blackeyed Susan, Coastal Plain NC Ecotype	\$22.00000	\$0.66
0.020		LB BLK	CHAFAS02	Partridge Pea, FL Ecotype	\$11.00000	\$0.22
0.020		LB BLK	CHANIC04	Sensitive Pea, NC Ecotype	\$66.00000	\$1.32
0.010		LB BLK	ERYYUC01	Rattlesnake Master, OH Ecotype	\$272.80000	\$2.73
0.010		LB BLK	ASCYR02	Common Milkweed	\$215.60000	\$2.16
0.005		LB BLK	LIASPI01	Marsh Blazing Star	\$231.00000	\$1.16
0.010		LB BLK	SOLJUN01	Early Goldenrod, PA Ecotype	\$308.00000	\$3.08
0.005		LB BLK	BAPTIN03	Yellow False Indigo, Coastal Plain SC Ecotype	\$660.00000	\$3.30
0.080		LB BLK	ECHPUR01	Purple Coneflower	\$39.60000	\$3.17
0.030		LB BLK	HELHEL01	Oxeye Sunflower, PA Ecotype	\$39.60000	\$1.19
0.010		LB BLK	MONFIS03	Wild Bergamot, Fort Indiantown Gap-PA Ecotype	\$132.00000	\$1.32
0.005		LB BLK	MONPUN03	Spotted Beebalm, Albany Pine Bush-NY Ecotype	\$198.00000	\$0.99
0.005		LB BLK	RUDFUL01	Orange Coneflower, Northern VA Ecotype	\$330.00000	\$1.65
0.010		LB BLK	ASTPIL01	Heath Aster, PA Ecotype	\$396.00000	\$3.96
0.020		LB BLK	BIDARI01	Showy Tickseed Sunflower (Bur Marigold), Coastal Plain NC Ec	\$19.80000	\$0.40
0.040		LB BLK	ACHMIL01	Common Yarrow	\$35.20000	\$1.41
0.000		EACH	PRICE		\$0.00000	\$0.00
				\$42.67 per lb with 5% mix charge inc.		
				100%		
0.000		EACH	NOTE	Seed at 20 lbs per acre	\$0.00000	\$0.00

6 WILDFLOWER SEED MIX COMPOSITION

TREE IN DECOMPOSED GRANITE

8 DET NAME HERE PLAN

3/8" = 1'-0"

- Final Drawing -  
Issued for Permit  
Review Purposes Only



PLANTING & SOIL DETAILS  
**WALLBROOK**  
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)  
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)  
Rolesville, Wake County, North Carolina

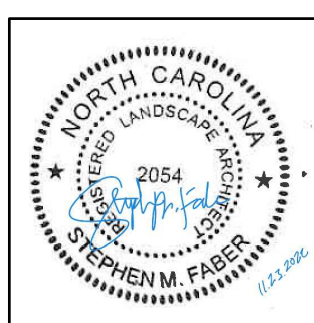
NC License: P-1199  
**ARK CONSULTING GROUP PLLC**  
ENGINEERS & PLANNERS  
2755-B Charles Blvd.  
Durham, NC 27688  
(919) 488-0888  
www.arkconsultinggroup.com

**PRELIMINARY**  
Do Not Use  
for Construction  
2/10/2023

Project Manager: **SMF**  
Drawn By: **YZ/SM**  
Checked By: **SMF**  
Project Number: **22007**  
Drawing Number: **D-1219-CD**

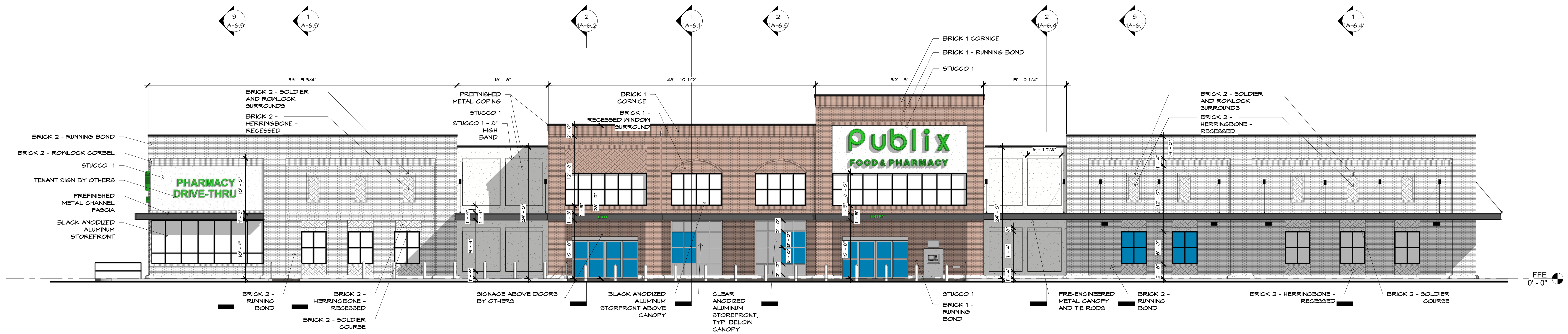
101 WEST MAIN ST.  
DURHAM, NC 27701  
1-919-302-1750

FIRM LICENSE # C-1051  
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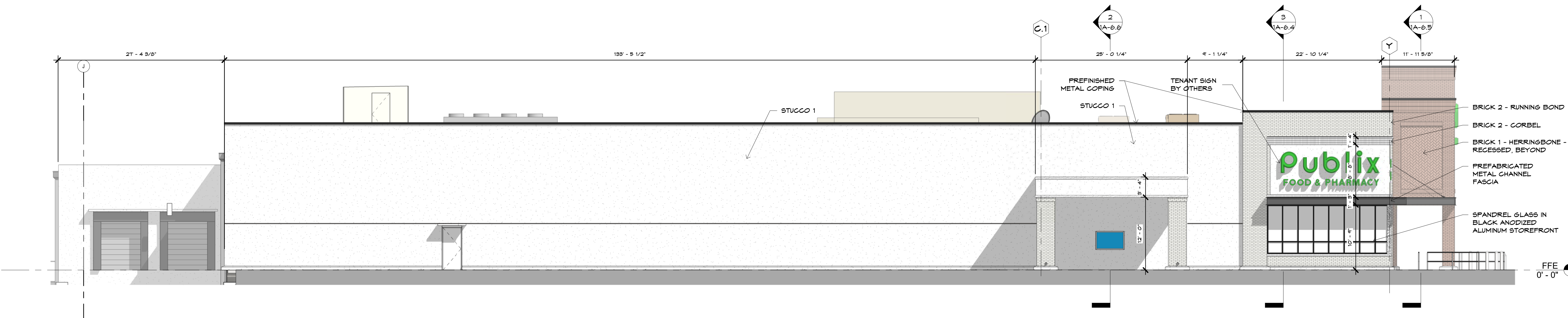


**L7.92**

Date: February 10, 2023



1  
1A-4.1 FRONT ELEVATION  
SCALE 1/8" = 1'-0"



2  
1A-4.1 LEFT ELEVATION  
SCALE 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE			
MATERIAL DESCRIPTION	MANUFACTURER	COLOR	REMARKS:
BR-1 - BRICK 1	CHEROKEE BRICK	"MELROSE"	MODULAR
BR-2 - BRICK 2	CHEROKEE BRICK	"BROOKHAVEN"	MODULAR
BR-2 - BRICK 3	CHEROKEE BRICK	"MELROSE"	MODULAR THIN BRICK
BRICK MORTAR	CEMEX	"IVORY"	
STC-1 - FIELD STUCCO	FINESTONE STUCCO	MATCH DRYVIT 110 "VAN DYKE"	SAND FINE
SF-1 - ALUMINUM STOREFRONT FRAME 1		CLEAR ANODIZED FRAME	
SF-2 ALUMINUM STOREFRONT FRAME 2		BLACK ANODIZED FRAME	
PREFINISHED ALUMINUM SCUPPERS & DOWNSPOUTS	PAC-GLAD	"MATTE BLACK"	
MTL-1 - PREFINISHED METAL PANEL	PAC-GLAD	"WEATHERED STEEL"	FLUSH PANELS
MTL-2 - PREFINISHED METAL CANOPY & COPING	PAC-GLAD	"MATTE BLACK"	STANDING SEAM JOINTS
MTL-3 - PREFINISHED METAL COPING	PAC-GLAD	"BONE WHITE"	STANDING SEAM JOINTS

FINISH MATERIAL NOTES:

- SUBMIT AND OBTAIN APPROVED SAMPLES BEFORE PROCEEDING WITH WORK.
- ALL MASONRY VENEER SHALL BE OBTAINED FROM SAME MANUFACTURER'S RUN FOR COLOR CONSISTENCY. MASON TO BREAK APART AND MIX PALETTES ON JOB SITE FOR CONSISTENT COLOR MIXING. NO EXCEPTIONS.
- A MOCK UP PANEL IS REQUIRED TO BE APPROVED BY ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE FINISH WORK MAY BEGIN.

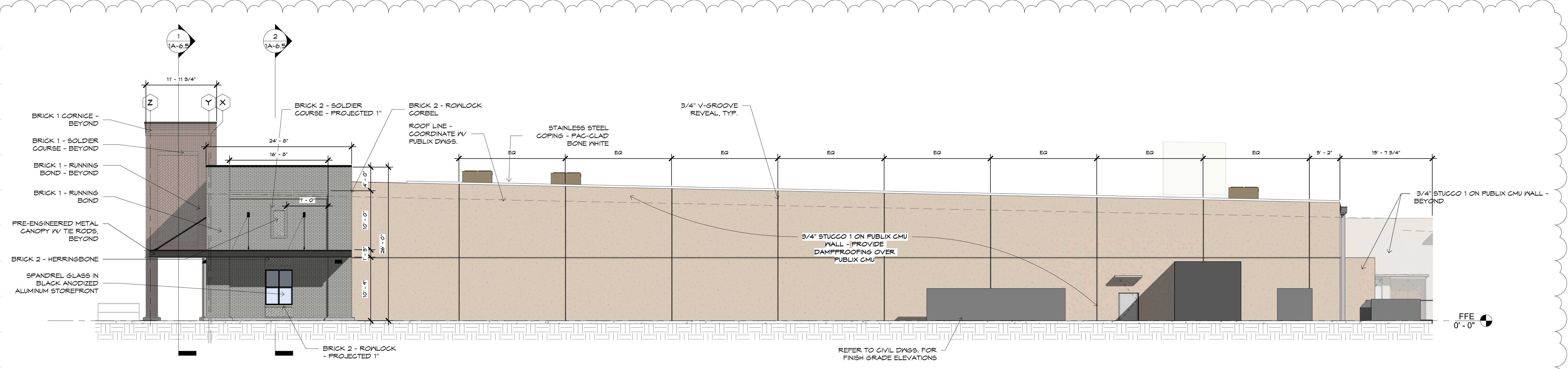
PROJECT: **PUBLIX CANOPY at WALLBROOK**  
US 401 at Virginia Water Drive  
WAKE COUNTY, NORTH CAROLINA  
FOR: CROSLAND SOUTHEAST  
CHARLOTTE, NC

SHEET TITLE:  
EXTERIOR ELEVATIONS

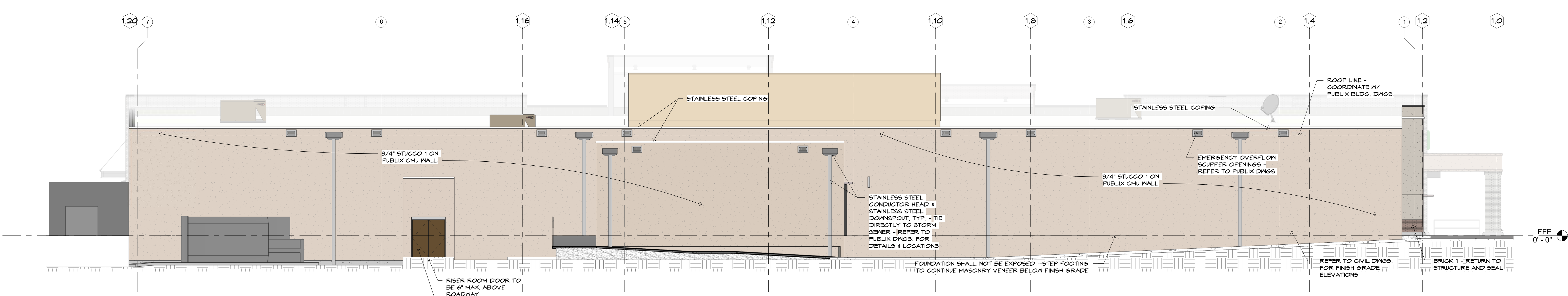
ISSUE DATE:  
1 3/04/22 PUBLIX SUBMITTAL  
2 5/04/22 PUBLIX COMMENTS  
4 6/23/22 PUBLIX COMMENTS

PROJECT NO: 20-117  
FILE: 20-117  
DRAWN BY: SML

SHEET OF  
**1A-4.1**



**1 RIGHT ELEVATION**  
SCALE 1/8" = 1'-0"



**2 REAR ELEVATION**  
SCALE 1/8" = 1'-0"

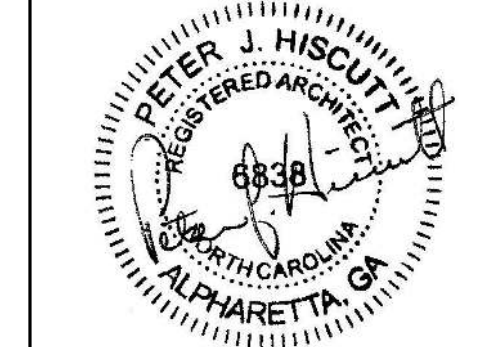
PROJECT: **PUBLIX CANOPY at WALLBROOK**  
US 401 at Virginia Water Drive  
WAKE COUNTY, NORTH CAROLINA  
FOR: **CROSLAND SOUTHEAST CHARLOTTE, NC**

SHEET TITLE: **EXTERIOR ELEVATIONS**

ISSUE DATE:  
1 3/04/22 PUBLIX SUBMITTAL  
7 01/16/23 PUBLIX SHIFT REVISION

PROJECT NO: 20-117  
FILE: 20-117  
DRAWN BY: SML

SHEET OF  
**1A-4.2**



01/17/23  
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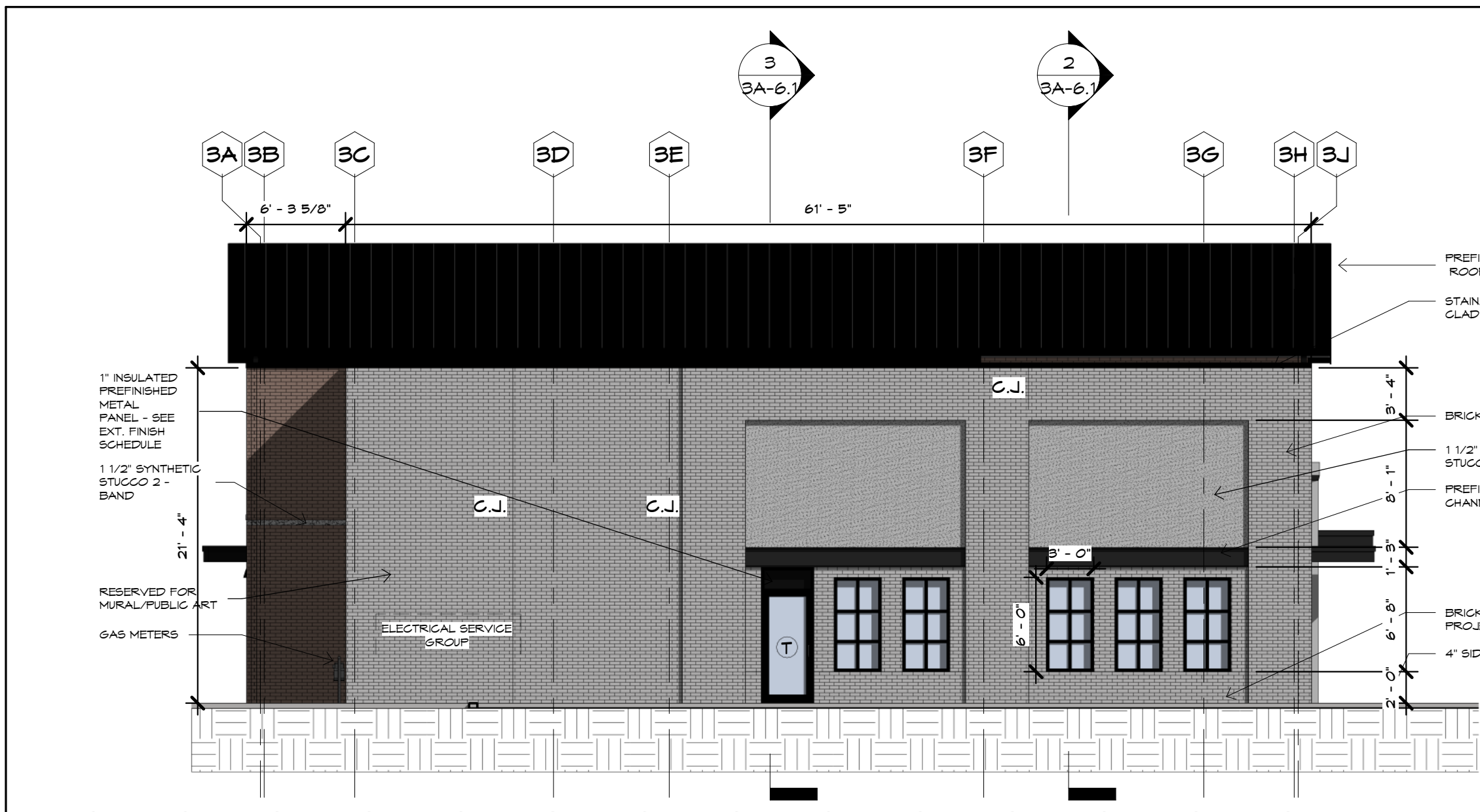
PROJECT: **BLDG.2 SHOPS at WALLBROOK**  
 US 401 at Virginia Water Drive  
 WAKE COUNTY, NORTH CAROLINA  
 FOR: **CROSLAND SOUTHEAST**  
 CHARLOTTE, NC

SHEET TITLE: **BLDG.2 FLOOR PLAN & ELEVATIONS**

ISSUE DATE: 8/1/17/23  
 OWNER'S COMMENTS

PROJECT NO: 20-117  
 FILE: 20-117  
 DRAWN BY: KDM

SHEET OF 3A-1.1



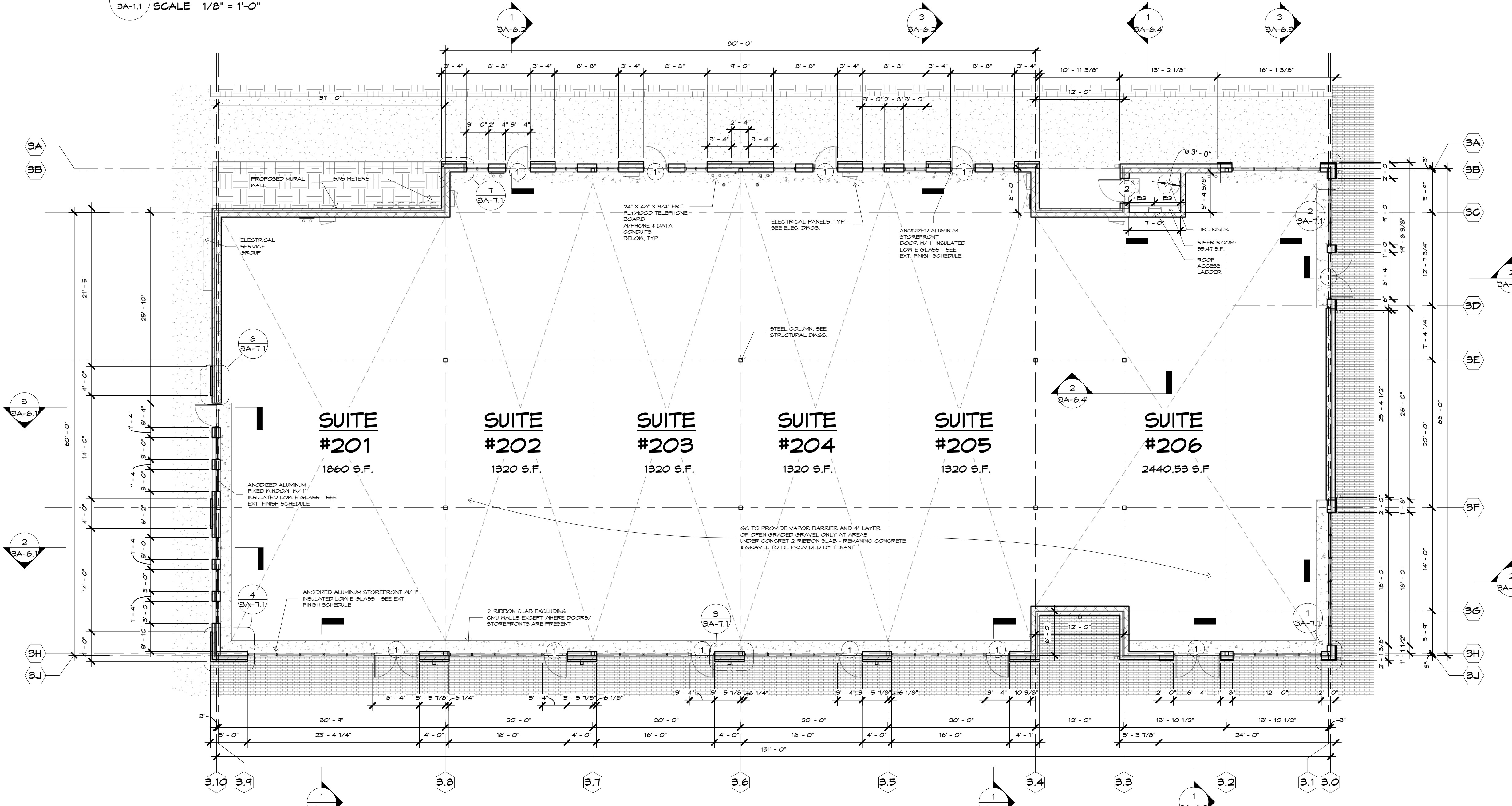
**4 LEFT ELEVATION**  
 3A-1.1 SCALE 1/8" = 1'-0"



**2 STREET ELEVATION**  
 3A-1.1 SCALE 1/8" = 1'-0"

MATERIAL DESCRIPTION	MANUFACTURER	COLOR	REMARKS:
BR-1 - BRICK 1	TRIANGLE BRICK	"SAVANNAH"	MODULAR
BR-2 - BRICK 2	LEE BRICK	"459 WILLIAMSBURG"	PAINTED - COLOR TBD
BRICK MORTAR	CEMEX	"IVORY"	
SYNTHETIC STUCCO 1	DRYVIT	110 "VAN DYKE"	SAND FINE
SYNTHETIC STUCCO 2	DRYVIT	192 "MOUNTAIN FOG"	SAND FINE
ALUMINUM STOREFRONT FRAME	KAWNEER, YKK	BLACK ANODIZED FRAME	
PREFINISHED ALUMINUM SCUPPERS & DOWNSPOUTS	PAC-GLAD	"MATTE BLACK"	
MTL-2 - PREFINISHED METAL CANOPY & COPING	PAC-GLAD	"BONE WHITE"	
MTL-3 - PREFINISHED METAL CANOPY & COPING	PAC-GLAD	"MATTE BLACK"	STANDING SEAM JOINTS
MTL-4 - PREFINISHED METAL PANEL	PAC-GLAD	"MATTE BLACK"	FLUSH PANELS

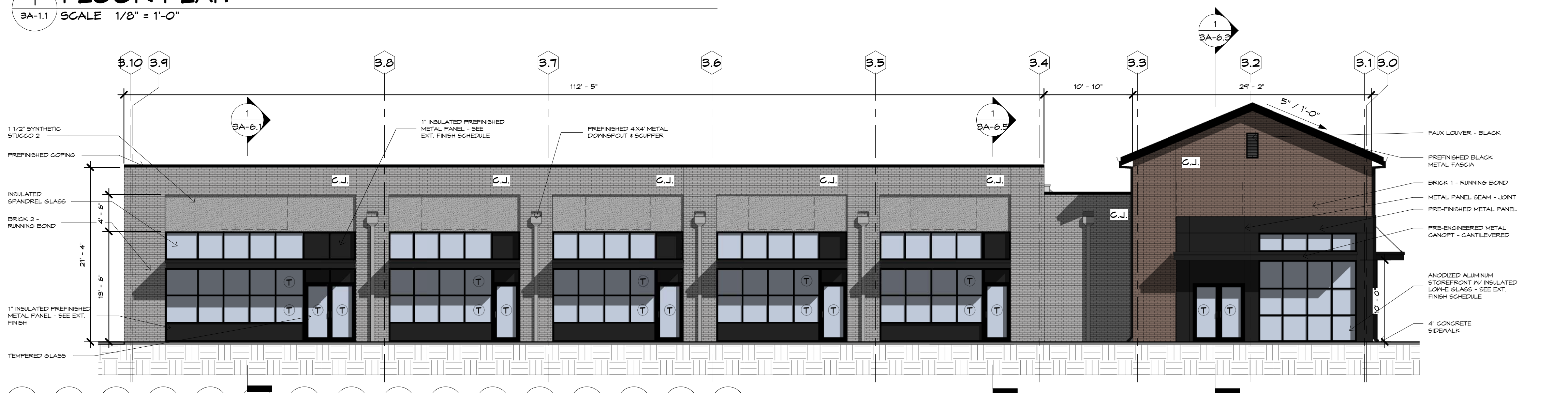
- FINISH MATERIAL NOTES:**
- SUBMIT AND OBTAIN APPROVED SAMPLES BEFORE PROCEEDING WITH WORK.
  - ALL MASONRY VENEER SHALL BE OBTAINED FROM SAME MANUFACTURER'S RUN FOR COLOR CONSISTENCY. MASON TO BREAK APART AND MIX PALETTES ON JOB SITE FOR CONSISTENT COLOR MIXING. NO EXCEPTIONS.
  - A MOCK UP PANEL IS REQUIRED TO BE APPROVED BY ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE FINISH WORK MAY BEGIN.



**1 FLOOR PLAN**  
 3A-1.1 SCALE 1/8" = 1'-0"

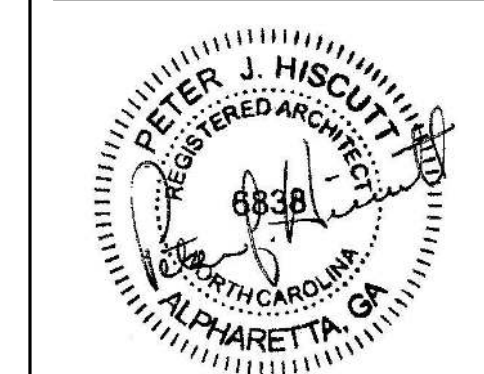


**5 RIGHT ELEVATION**  
 3A-1.1 SCALE 1/8" = 1'-0"



**3 PARKING LOT ELEVATION**  
 3A-1.1 SCALE 1/8" = 1'-0"

○ DENOTES AREA OF 4'x8' PLYWOOD BACKING FOR SIGNAGE ATTACHMENT  
 ○ PROVIDE TEMPERED GLASS AS REQUIRED BY CODE  
 NOTE: ELEVATIONS ARE BASED ON DESIGN GRADES AND G.C. IS RESPONSIBLE FOR ADJUSTING EXTERIOR FINISHES TO MEET FINAL GRADES



02/06/23  
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PROJECT: **BLDG.3 SHOPS at WALLBROOK**  
US 401 at Virginia Water Drive  
WAKE COUNTY, NORTH CAROLINA  
FOR: **CROSLAND SOUTHEAST**  
CHARLOTTE, NC

SHEET TITLE: **BLDG. 3 FLOOR PLAN & ELEVATIONS**

OWNER'S COMMENTS

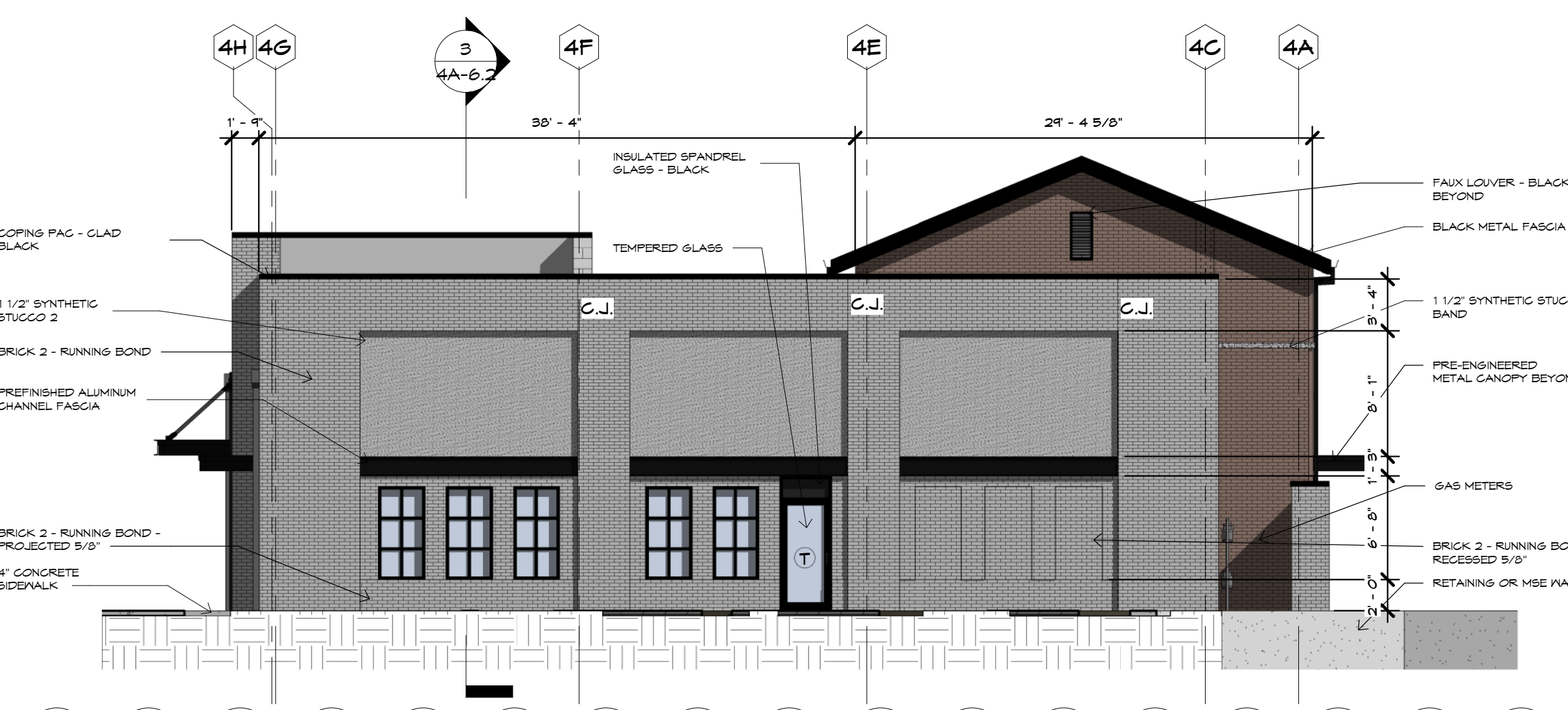
ISSUE DATE: 8/17/23

PROJECT NO: 20-117  
FILE: 20-117  
DRAWN BY: KDM

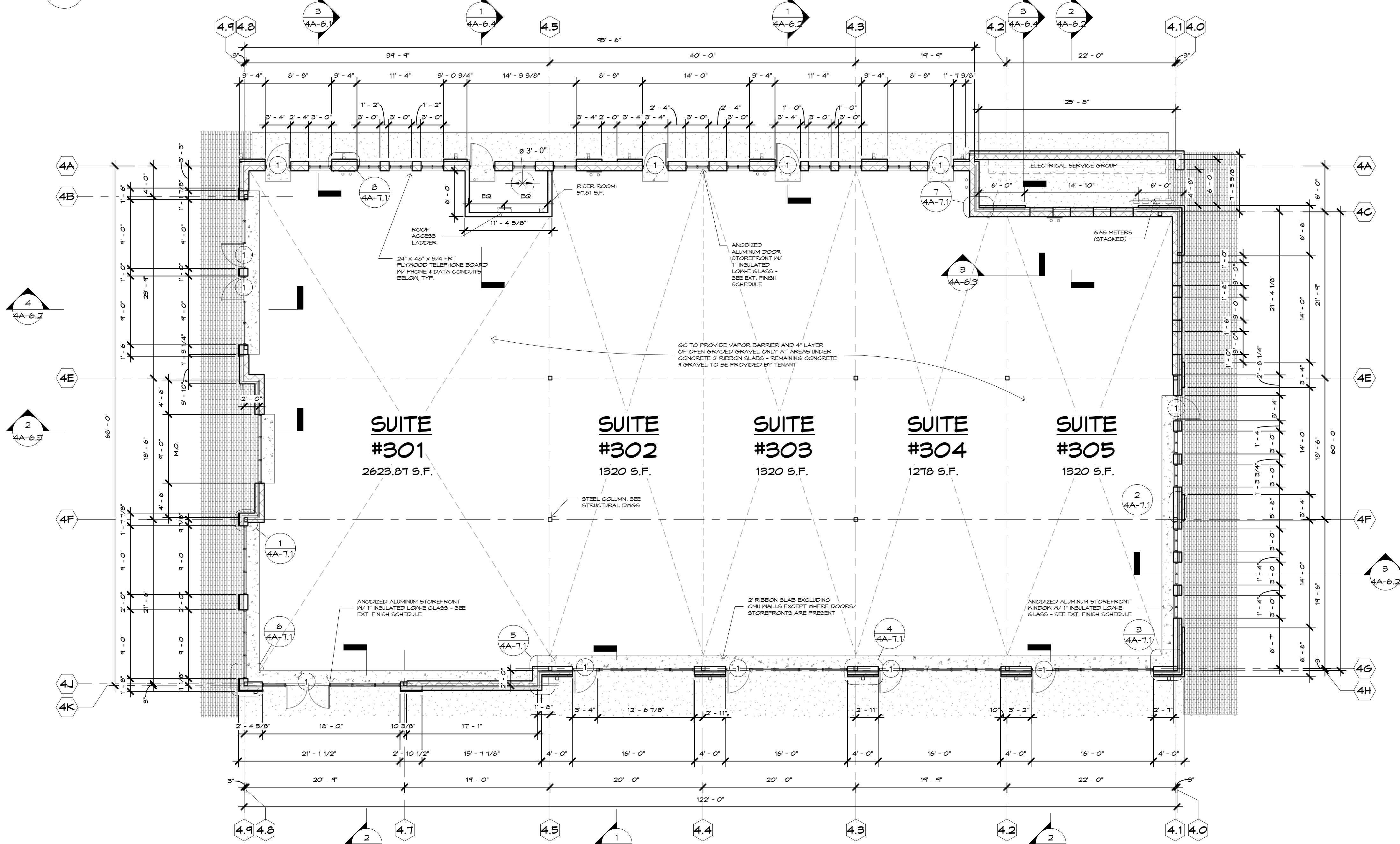
SHEET OF 4A-1.1



**3 Street Elevation**  
4A-1.1 SCALE 1/8" = 1'-0"



**4 Right Elevation**  
4A-1.1 SCALE 1/8" = 1'-0"



**1 Floor Plan**  
4A-1.1 SCALE 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE			
MATERIAL DESCRIPTION	MANUFACTURER	COLOR	REMARKS:
BR-1 - BRICK 1	TRIANGLE BRICK	"SAVANNAH"	MODULAR
BR-2 - BRICK 2	LEE BRICK	"459 WILLIAMSBURG"	PAINTED - COLOR TBD
BRICK MORTAR	CEMEX	"IVORY"	
SYNTHETIC STUCCO 1	DRYVIT	110 "VAN DYKE"	SAND FINE
SYNTHETIC STUCCO 2	DRYVIT	192 "MOUNTAIN FOG"	SAND FINE
ALUMINUM STOREFRONT FRAME	KAWNEER, YKK	BLACK ANODIZED FRAME	
PREFINISHED ALUMINUM SCUPPERS & DOWNPOUTS	PAC-GLAD	"MATTE BLACK"	
MTL-2 - PREFINISHED METAL CANOPY & COPINGS	PAC-GLAD	"BONE WHITE"	
MTL-3 - PREFINISHED METAL CANOPY & COPINGS	PAC-GLAD	"MATTE BLACK"	STANDING SEAM JOINTS
MTL-4 - PREFINISHED METAL PANEL	PAC-GLAD	"MATTE BLACK"	FLUSH PANELS

**FINISH MATERIAL NOTES:**

- SUBMIT AND OBTAIN APPROVED SAMPLES BEFORE PROCEEDING WITH WORK.
- ALL MASONRY VENEER SHALL BE OBTAINED FROM SAME MANUFACTURER'S RUN FOR COLOR CONSISTENCY. MASON TO BREAK APART AND MIX PALETTES ON JOB SITE FOR CONSISTENT COLOR MIXING. NO EXCEPTIONS.
- A MOCK UP PANEL IS REQUIRED TO BE APPROVED BY ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE FINISH WORK MAY BEGIN.



**2 Parking Lot Elevation**  
4A-1.1 SCALE 1/8" = 1'-0"



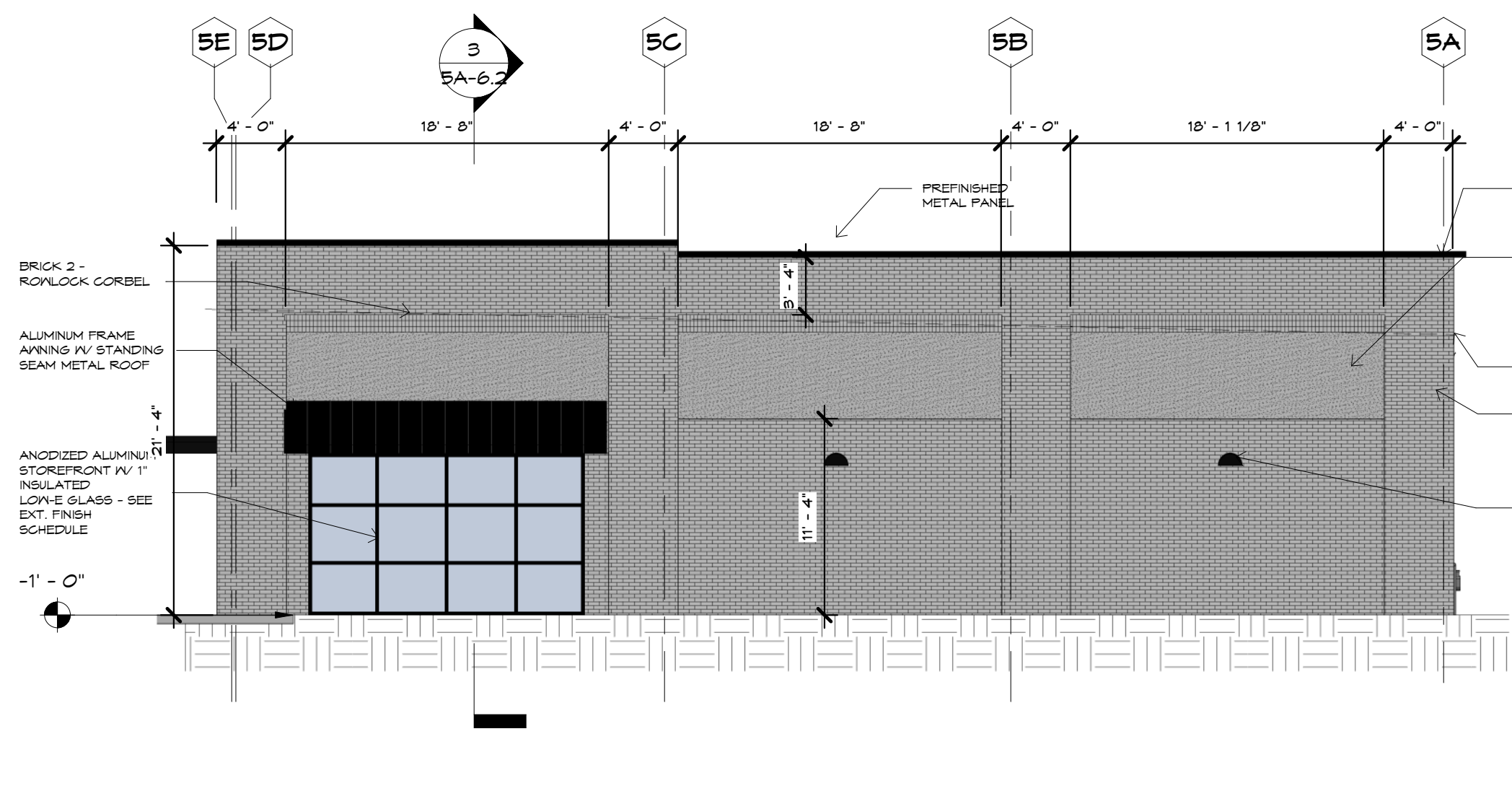
**5 Left Elevation**  
4A-1.1 SCALE 1/8" = 1'-0"

NOTE: ELEVATIONS ARE BASED ON DESIGN GRADES AND G.C. IS RESPONSIBLE FOR ADJUSTING EXTERIOR FINISHES TO MEET FINAL GRADES

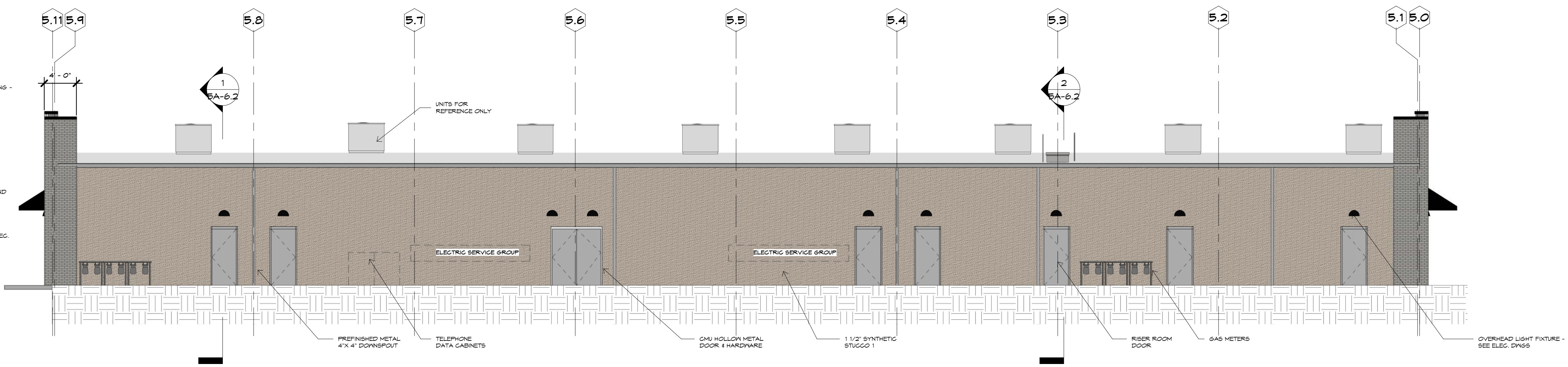
○ DENOTES AREA OF 4x8 PLYWOOD BACKING FOR SIGNAGE ATTACHMENT

○ PROVIDE TEMPERED GLASS AS REQUIRED BY CODE





**4 RIGHT ELEVATION**  
5A-1.1 SCALE 1/8" = 1'-0"

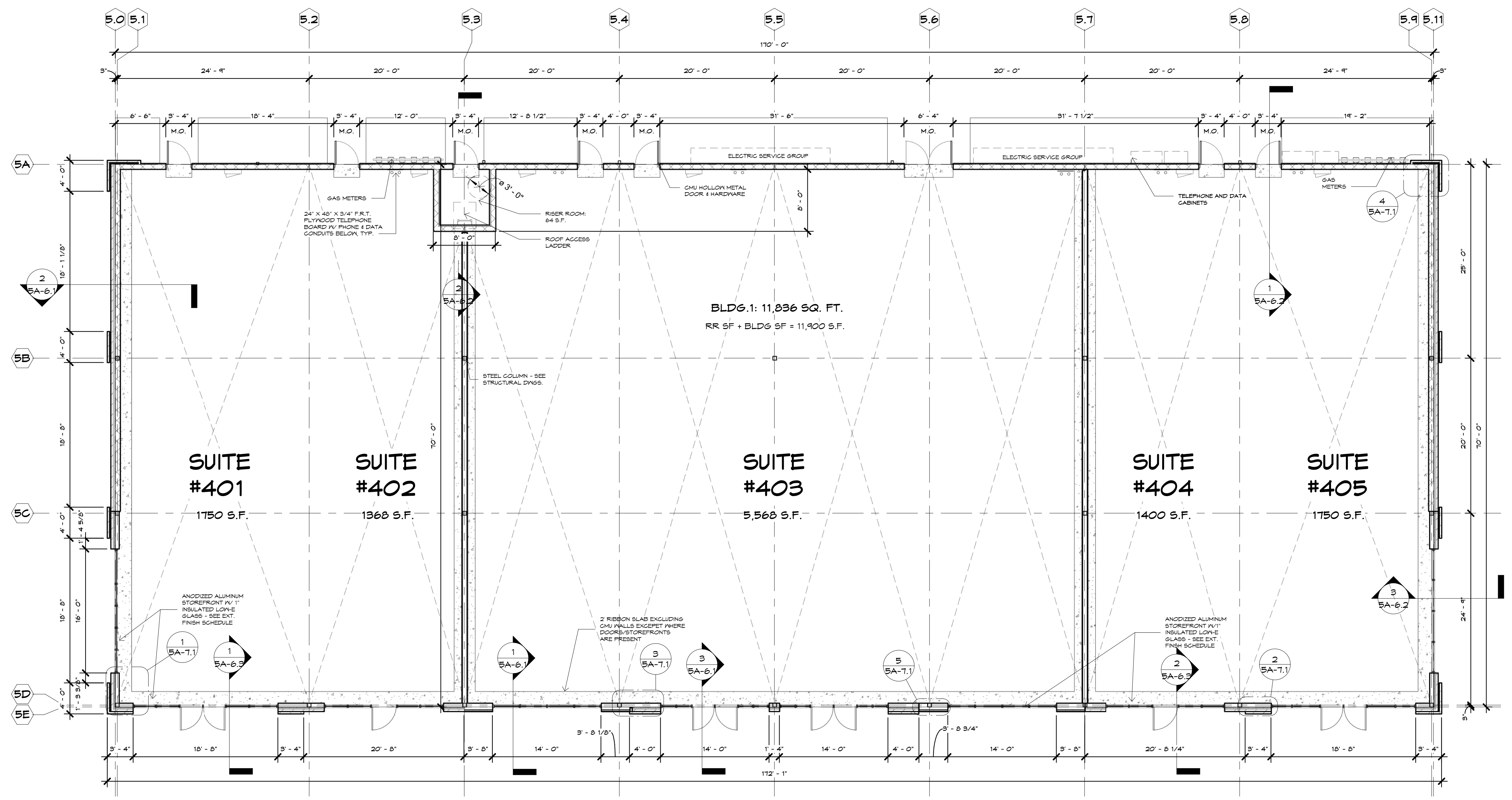


**3 REAR ELEVATION**  
5A-1.1 SCALE 1/8" = 1'-0"

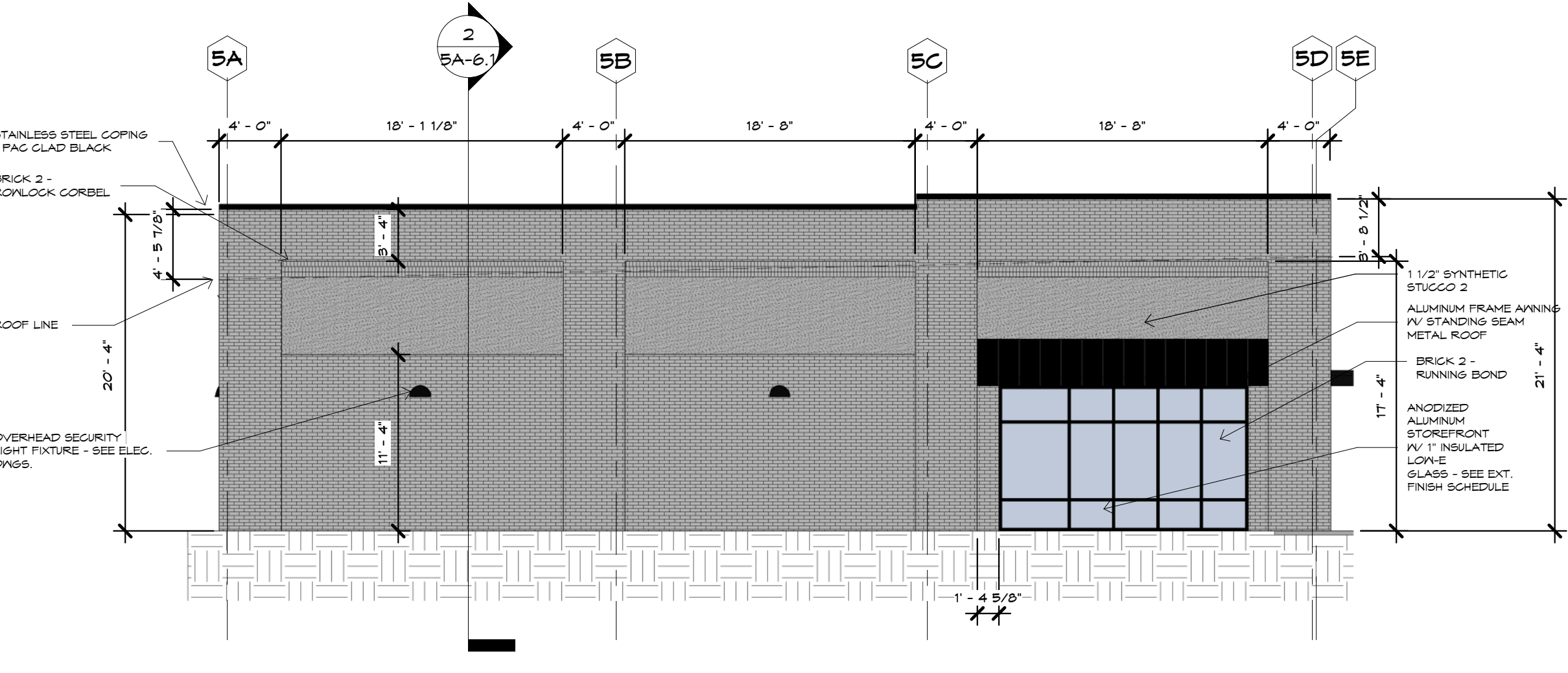
EXTERIOR FINISH SCHEDULE			
MATERIAL DESCRIPTION	MANUFACTURER	COLOR	REMARKS:
BR-1 - BRICK 1	CHEROKEE BRICK	"MELROSE"	MODULAR
BR-2 - BRICK 2	LEE BRICK	"459 WILLIAMSBURG"	PAINTED - COLOR TBD
BRICK MORTAR	CEMEX	"IVORY"	
SYNTHETIC STUCCO 1	DRYVIT	110 "VAN DYKE"	SAND FINE
SYNTHETIC STUCCO 2	DRYVIT	152 "MOUNTAIN FOG"	SAND FINE
ALUMINUM STOREFRONT FRAME	KAWNEER, YKK	BLACK ANNOZED FRAME	
PREFINISHED ALUMINUM SCUFFERS & DOWNSPOUTS	FAG-CLAD	"MATTE BLACK"	
MTL-2 - PREFINISHED METAL CANOPY & COPING	FAG-CLAD	"BONE WHITE"	
MTL-3 - PREFINISHED METAL CANOPY & COPING	FAG-CLAD	"MATTE BLACK"	STANDING SEAM JOINTS
MTL-4 - PREFINISHED METAL PANEL	FAG-CLAD	"MATTE BLACK"	FLUSH PANELS

**FINISH MATERIAL NOTES:**

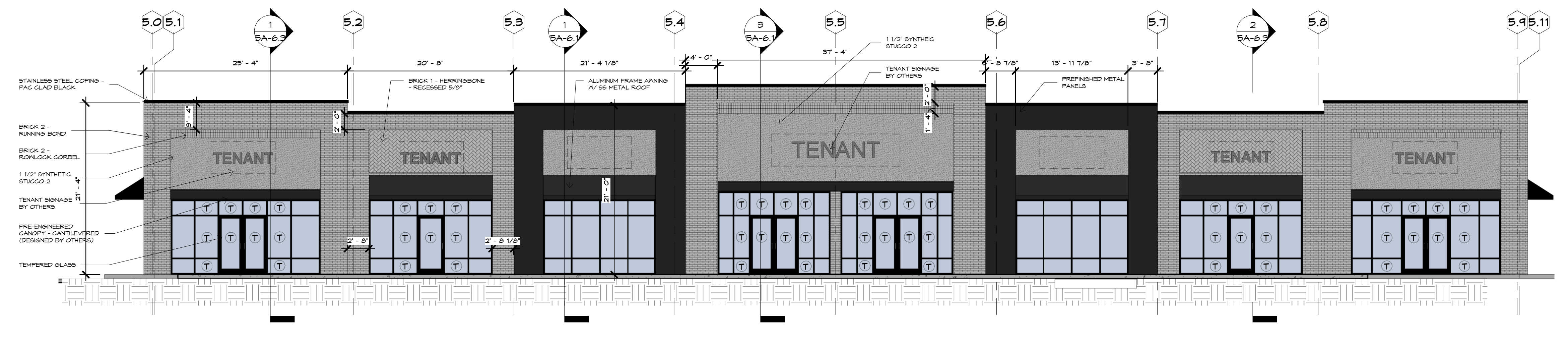
- SUBMIT AND OBTAIN APPROVED SAMPLES BEFORE PROCEEDING WITH WORK.
- ALL MASONRY VENEER SHALL BE OBTAINED FROM SAME MANUFACTURER'S RUN FOR COLOR CONSISTENCY. MASON TO BREAK APART AND MIX PALETTES ON JOB SITE FOR CONSISTENT COLOR MIXING. NO EXCEPTIONS.
- A MOCK UP PANEL IS REQUIRED TO BE APPROVED BY ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE FINISH WORK MAY BEGIN.



**1 FLOOR PLAN**  
5A-1.1 SCALE 1/8" = 1'-0"



**5 LEFT ELEVATION**  
5A-1.1 SCALE 1/8" = 1'-0"



**2 FRONT ELEVATION**  
5A-1.1 SCALE 1/8" = 1'-0"

DENOTES AREA OF 4'x8' PLYWOOD BACKING FOR SIGNAGE ATTACHMENT  
T PROVIDE TEMPERED GLASS AS REQUIRED BY CODE  
**FAÇADE PERCENTAGES:**  
 57.6% BRICK  
 31% GLASS  
**NOTE: ELEVATIONS ARE BASED ON DESIGN GRADES AND S.C. IS RESPONSIBLE FOR ADJUSTING EXTERIOR FINISHES TO MEET FINAL GRADES**

PROJECT: **BLDG-4 SHOPS at WALLBROOK**  
 US 401 at Virginia Water Drive  
 WAKE COUNTY, NORTH CAROLINA  
 FOR: **CROSLAND SOUTHEAST**  
 CHARLOTTE, NC

SHEET TITLE: **BLDG. 4 FLOOR PLAN & ELEVATIONS**

ISSUE DATE:	
PROJECT NO:	20-117
FILE:	20-117
DRAWN BY:	KDM
SHEET OF	

**5A-1.1**

GENERAL NOTES:

- 1. THIS ALTA/NSPS LAND TITLE SURVEY WAS PREPARED FOR THE BENEFIT OF WALLBROOK LANDCO, LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY.
2. THE PROPERTY AS SHOWN HEREON IS BASED ON A FIELD-RUN BOUNDARY SURVEY WITH A REW CLOSURE OF 1:34,600.
3. THE IMPROVEMENTS SHOWN HEREON ARE BASED ON A FIELD-RUN PLANIMETRIC SURVEY PERFORMED BY JOHNSON, MIRMIRAN & THOMPSON FROM DECEMBER 2019 THROUGH MARCH 2020 AND REFLECTS SITE CONDITIONS AS OF THAT DATE.
4. ELEVATIONS ARE BASED ON NAVD88 DATUM.
5. THE SURVEY IS REFERENCED TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NCSPCS), NORTH AMERICAN DATUM, 1983, 2001 ADJUSTMENT, NAD83(2001).
6. THE USE OF THE WORD CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE, INFORMATION AND BELIEF, AND IN ACCORDANCE WITH THE COMMONLY ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED.
7. THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X, AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 3720175800J, EFFECTIVE DATE: MAY 2, 2006.
8. AT THE TIME OF THE SURVEY, THERE WERE NO PARKING SPACES.
9. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR LANDFILL.
10. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF A CEMETERY.
11. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

AREA TABULATION

Table with 4 columns: PARCEL, PIN#, NET (AC.), GROSS (AC.). Rows include parcels A, B, C, D and a TOTALS row.

RECORD LEGAL DESCRIPTIONS FOR TAX PARCELS 1758-48-9229 & 1758-58-2090:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800776CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 14, 2018 AT 5:00 P.M.

IN THE STATE OF NC, COUNTY OF WAKE,

PARCEL ONE (REID #: 0224145) (PIN #1758-58-2090) (PARCEL 'B'):

BEING LOT 2-3, CONTAINING 10.723 NET ACRES, AS THE SAME IS SHOWN ON THAT PLAT RECORDED IN BOOK OF MAPS 1996, PAGE 1582, WAKE COUNTY REGISTRY.

PARCEL TWO (REID #: 0092211) (PIN #1758-48-9229) (PARCEL 'A'):

BEING THAT PARCEL DESCRIBED AS FOLLOWS: BEGINNING AT A STAKE IN THE EDGE OF THE ROLESVILLE-WALKERS CROSSROAD ROAD, CORNER OF O. V. WIGGINS, THENCE IN A SOUTHWESTERN DIRECTION ABOUT 300 FEET TO A STAKE AND W. H. MARSHALL'S LINE; THENCE IN A NORTHWESTERN DIRECTION 246 FEET WITH MARSHALL'S LINE TO THE EDGE OF THE ROAD; THENCE IN AN EASTERN DIRECTION WITH SAID ROAD ABOUT 410 FEET TO THE POINT OF BEGINNING, CONTAINING 1/8 OF AN ACRE BY ESTIMATION. BEING A PART OF THE LAND FORMERLY OWNED BY JAMES WALL.

RECORD LEGAL DESCRIPTIONS FOR TAX PARCELS 1758-56-8976 & 1758-45-8905:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800751CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 10, 2018 AT 5:00 P.M.

IN THE STATE OF NC, COUNTY OF WAKE,

TRACT 1 (PIN #1758-56-8976) (PARCEL 'C'):

BEING ALL OF TRACT 2A (2.894 ACRES) AND TRACT 3 (41.221 ACRES) AS SHOWN ON PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY," DATED NOVEMBER 17, 1995, PREPARED BY W. GRAHAM CAWTHORNE, JR., RLS AND RECORDED IN BOOK OF MAPS 1995, PAGE 2034, WAKE COUNTY REGISTRY.

LESS AND EXCEPT FROM TRACT 1 THAT 0.175 ACRE PORTION AS CONVEYED TO THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION IN DEED RECORDED IN BOOK 14395, PAGE 2080, WAKE COUNTY REGISTRY.

TRACT 2 (PIN #1758-45-8905) (PARCEL 'D'):

BEING ALL OF TRACT 2 (15.057 ACRE) AS SHOWN ON PLAT ENTITLED "RECOMBINATION MAP OF BOBBY L. MURRAY TRUST, TRACTS 1 & 2" DATED NOVEMBER 7, 2002, PREPARED BY MICHAEL D. GOODFRED, RLS, AND RECORDED IN BOOK OF MAPS 2005, PAGES 1195 AND 1196, WAKE COUNTY REGISTRY.

LESS AND EXCEPT FROM TRACT 2 THAT 0.03 ACRE PORTION AS CONVEYED TO CARLTON GROUP OF NORTH CAROLINA, LLC IN DEED RECORDED IN BOOK 13993, PAGE 2591, WAKE COUNTY REGISTRY.

SCHEDULE B, PART II EXCEPTIONS:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800776CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 14, 2018 AT 5:00 P.M.

1. (ITEM 3) MATTERS SHOWN ON RECORDED BOOK OF MAPS 1996 AT PAGE 1582 SHOWS THE FOLLOWING LOCATED ON THE LAND:

- (a) OVERHEAD LINES [PLOTTED HEREON]
(b) POWER POLE [PLOTTED HEREON]
(c) RIGHT OF WAY FOR U.S. HWY 401 LOUISBURG ROAD [PLOTTED HEREON]

2. (ITEM 4) EASEMENT(S) AND/OR RIGHT(S) OF WAY RECORDED IN BOOK 3868 AT PAGE 917 (PARCEL ONE). [PLOTTED HEREON]

SCHEDULE B, PART II EXCEPTIONS:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800751CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 10, 2018 AT 5:00 P.M.

3. (ITEM 2) TITLE TO THAT PORTION OF THE LAND WITHIN THE RIGHT-OF-WAY OF U.S. HIGHWAY 401 (LOUISBURG ROAD). [PLOTTED HEREON]

4. (ITEM 3) RIGHTS OF OTHERS THERETO ENTITLED IN AND TO THE CONTINUED UNINTERRUPTED FLOW OF THE CREEK, LOCATED ON THE LAND. [CREEK LOCATION PLOTTED HEREON]

5. (ITEM 4) ELECTRIC LINE RIGHT-OF-WAY EASEMENT TO WAKE ELECTRIC MEMBERSHIP CORPORATION RECORDED IN BOOK 3868 AT PAGE 917. [PLOTTED HEREON]

AS TO TRACT 1 ONLY (PIN #1758-56-8976):

6. (ITEM 8) SUBJECT TO MATTERS SHOWN ON RECORDED BOOK OF MAPS 1995 AT PAGE 2034 SHOWS THE FOLLOWING LOCATED ON THE LAND:

- (a) OVERHEAD LINE [PLOTTED HEREON]
(b) POWER POLE [PLOTTED HEREON]

7. (ITEM 9) EASEMENT(S) TO WAKE ELECTRIC MEMBERSHIP CORPORATION RECORDED IN BOOK 863 AT PAGES 211 AND 212. [BLANKET EASEMENT - EXISTING ELECTRIC LINES PLOTTED HEREON]

8. (ITEM 10) RURAL LINE PERMIT TO CAROLINA TELEPHONE AND TELEGRAPH COMPANY RECORDED IN BOOK 1338 AT PAGES 143 AND 145. [LOCATIONS CANNOT BE DETERMINED FROM THE RECORD DOCUMENT, EXISTING POLES AND GUY WIRES PLOTTED HEREON]

9. (ITEM 11) SLOPE EASEMENT RECORDED IN BOOK 14395 AT PAGE 2087 AS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 2011 AT PAGE 383. [PLOTTED HEREON]

AS TO TRACT 2 ONLY (PIN #1758-45-8905):

10. SUBJECT TO MATTERS SHOWN ON RECORDED BOOK OF MAPS 2005 AT PAGES 1195 AND 1196 SHOWS THE FOLLOWING LOCATED ON THE LAND:

- (a) UNDERGROUND SEWER MAIN MARKER [NOT FOUND]
(b) POWER BOX [NOT FOUND]
(c) RIGHTS OF OTHERS IN AND TO THE USE OF THE SOIL PATH (TO BE ABANDONED) [PATH NO LONGER VISIBLE]

11. (ITEM 13) DEED OF EASEMENT WITH GENERAL WARRANTY FOR WATERLINE EASEMENT TEMPORARY CONSTRUCTION EASEMENT RECORDED IN BOOK 16679 AT PAGE 132. [WATERLINE EASEMENT PLOTTED HEREON, TEMPORARY CONSTRUCTION EASEMENT NOT PLOTTED]

12. (ITEM 14) SANITARY SEWER EASEMENT RECORDED IN BOOK 10071 AT PAGE 2179 AS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 2003 AT PAGE 647. [PLOTTED HEREON]

13. (ITEM 15) RESERVATION OF EASEMENT RECORDED IN BOOK 13993 AT PAGE 2591. [PLOTTED HEREON]

14. (ITEM 16) TITLE TO THAT PORTION OF THE LAND WITHIN THE RIGHT-OF-WAY OF S.R. 2226. [RIGHT OF WAY OF S.R. 2226 PLOTTED HEREON - PROPERTY DOES NOT EXTEND INTO RIGHT OF WAY]

15. (ITEM 17) RIGHT OF WAY AGREEMENT TO STATE HIGHWAY COMMISSION RECORDED IN BOOK 2052 AT PAGE 545. [RIGHT OF WAY OF S.R. 2226 PLOTTED HEREON]

16. (ITEM 18) RIGHTS OF OTHERS THERETO ENTITLED IN AND TO THE CONTINUED UNINTERRUPTED FLOW OF BRANCH/CREEK, LOCATED ON THE LAND. [BRANCH/CREEK LOCATION PLOTTED HEREON]

CURRENT ZONING SETBACK REQUIREMENTS:

Table with 2 columns: TAX PARCEL and ZONING. Rows include parcels 1758-48-9229, 1758-58-2090, 1758-56-8976, and 1758-45-8905 with their respective zoning types.

Table with 4 columns: FRONT, SIDE, CORNER, REAR. Rows include zoning types R-1 and CO with their respective setback dimensions.

NOTE: ZONING INFORMATION BASED ON INFORMATION AS PROVIDED BY CURRENT COUNTY ZONING DEPARTMENT, NO ZONING REPORT OR LETTER WAS PROVIDED TO SURVEYOR AT TIME OF SURVEY.

NEW LEGAL DESCRIPTIONS

PARCEL 'A' (PIN #1758-48-9229)

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE MARKING THE NORTHWEST CORNER OF LOT 2-3 AS SAID LOT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY, TRACTS 2-2 & 2-3, TWITTY PROP.", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995, REVISED JANUARY 12, 1996 AND RECORDED IN BOOK OF MAPS 1996, PAGE 1582, WAKE COUNTY RECORDS, SAID PIPE ALSO BEING ON THE EAST LINE OF TRACT #3 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "W. H. MARSHALL ESTATE", BY C. W. RUSSUM, RLS, DATED JULY, 1961 AND RECORDED IN BOOK OF MAPS 1961, PAGE 97, WAKE COUNTY RECORDS; THENCE ALONG SAID EAST LINE OF TRACT 3 N01°11'04"W 240.24' TO AN IRON PIPE ON THE SOUTHWEST RIGHT OF WAY LINE OF BURLINGTON MILLS ROAD (S.R. 2051); THENCE ALONG SAID SOUTHWEST RIGHT OF WAY LINE THE FOLLOWING FOUR COURSES: (1) S47°12'51"E 130.81'; (2) ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 600.00', THROUGH A CENTRAL ANGLE OF 26°22'04", AN ARC LENGTH OF 276.12' AND BEING SUBTENDED BY A CHORD BEARING S60°23'53"E 273.69'; (3) S75°02'10"E 50.12'; AND (4) S77°31'31"E 22.85' TO THE NORTH LINE OF AFORESAID LOT 2-3; THENCE ALONG SAID NORTH LINE OF LOT 2-3 N89°45'02"W 399.74' TO THE POINT OF BEGINNING.

CONTAINING 0.828 ACRES, MORE OR LESS.

PARCEL 'B' (PIN #1758-58-2090)

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE MARKING THE SOUTHWEST CORNER OF PARCEL 2 AS SAID PARCEL IS DESCRIBED IN DEED BOOK 15498, PAGE 1302, WAKE COUNTY RECORDS; THENCE ALONG THE SOUTH LINE OF SAID PARCEL 2 S89°45'02"E 399.74' TO THE SOUTHWEST RIGHT OF WAY LINE OF BURLINGTON MILLS ROAD (S.R. 2051); THENCE CONTINUING S89°45'02"E 200.72' TO THE NORTHWEST CORNER OF LOT 2-4 AS SAID LOT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY, TRACTS 2-2 & 2-3, TWITTY PROP.", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995, REVISED JANUARY 12, 1996 AND RECORDED IN BOOK OF MAPS 1996, PAGE 1582, WAKE COUNTY RECORDS; THENCE ALONG THE SOUTHWEST LINE OF SAID LOT 2-4 S37°53'38"E 39.01' TO A FOUND BENT IRON PIPE AT AN ANGLE POINT IN THE SOUTH RIGHT OF WAY LINE OF BURLINGTON MILLS ROAD; THENCE CONTINUING S37°53'38"E 454.70' TO A FOUND IRON PIPE AT AN ANGLE POINT IN THE NORTHWEST RIGHT OF WAY LINE OF LOUISBURG ROAD (U.S. 401); THENCE CONTINUING S37°53'38"E 45.31' TO THE CENTERLINE OF LOUISBURG ROAD; THENCE ALONG THE CENTERLINE OF SAID ROAD, ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 3,750.00', THROUGH A CENTRAL ANGLE OF 08°13'06", AN ARC LENGTH OF 537.89' AND BEING SUBTENDED BY A CHORD BEARING S41°12'09"W 537.43'; THENCE LEAVING SAID CENTERLINE, ALONG THE NORTHEAST LINE OF LOTS 1 AND 2 AS SAID LOTS ARE SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "SURVEY FOR GRAND PARK PROPERTIES, LOTS 1 AND 2", BY CAWTHORNE, MOSS & PANCIERA, P.C., DATED OCTOBER 7, 1998 AND RECORDED IN BOOK OF MAPS 1999, PAGE 1039, WAKE COUNTY RECORDS, N49°16'09"W 479.09' TO A FOUND IRON PIPE MARKING AN ANGLE POINT IN SAID LOT 2; THENCE CONTINUING ALONG THE NORTHEAST LINE OF SAID LOT 2 N66°40'58"W 215.40' TO A FOUND IRON PIPE AT THE NORTHWEST CORNER THEREOF, SAID PIPE ALSO BEING ON THE EAST LINE OF TRACT #3 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "W. H. MARSHALL ESTATE", BY C. W. RUSSUM, RLS, DATED JULY, 1961 AND RECORDED IN BOOK OF MAPS 1961, PAGE 97, WAKE COUNTY RECORDS; THENCE ALONG SAID EAST LINE OF TRACT 3 N01°36'18"W 428.68' TO THE POINT OF BEGINNING.

THIS PARCEL IS THE SAME AS LOT 2-3 AS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY, TRACTS 2-2 & 2-3, TWITTY PROP.", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995, REVISED JANUARY 12, 1996 AND RECORDED IN BOOK OF MAPS 1996, PAGE 1582, WAKE COUNTY RECORDS.

CONTAINING 11.168 ACRES, MORE OR LESS.

NEW LEGAL DESCRIPTIONS

PARCEL 'C' (PIN #1758-56-8976)

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE MARKING THE NORTHEAST CORNER OF TRACT 2 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION MAP OF BOBBY L. MURRAY TRUST, TRACTS 1+2", BY KENNETH CLOSE, INC., DATED NOVEMBER 7, 2002 AND RECORDED IN BOOK OF MAPS 2005, PAGES 1195 AND 1196, WAKE COUNTY RECORDS; THENCE ALONG THE NORTH LINE OF SAID TRACT 2 N75°27'01"W 704.12' TO A FOUND IRON PIPE ON THE SOUTHEAST RIGHT OF WAY LINE OF LOUISBURG ROAD (U.S. 401); THENCE CONTINUING N75°27'01"W 32.34' TO THE CENTERLINE OF LOUISBURG ROAD; THENCE ALONG THE CENTERLINE OF SAID ROAD N36°33'22"E 1,116.98'; THENCE CONTINUING ALONG SAID CENTERLINE, ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT, CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 3,750.00', THROUGH A CENTRAL ANGLE OF 18°18'05", AN ARC LENGTH OF 1,197.82' AND BEING SUBTENDED BY A CHORD BEARING N45°42'25"E 1,192.73'; THENCE LEAVING SAID CENTERLINE S89°44'38"E 134.33' TO AN ANGLE POINT IN THE SOUTHWEST LINE OF THAT CERTAIN PARCEL DESCRIBED IN DEED BOOK 6821, PAGE 005, WAKE COUNTY RECORDS; THENCE ALONG THE SOUTHWEST LINE OF SAID PARCEL AND ALONG THE WEST LINE OF WALL CREEK SUBDIVISION, PHASES 2, 4 AND 5-A AS RECORDED IN BOOK OF MAPS 1997, PAGE 1162, BOOK OF MAPS 2001, PAGE 628 AND BOOK OF MAPS 2002, PAGE 825, WAKE COUNTY RECORDS, S03°05'32"W 2,131.93' TO A POINT ON THE NORTH LINE OF CARLTON POINTE SUBDIVISION, PHASE I AS RECORDED IN BOOK OF MAPS 2008, PAGES 5 TO 10, WAKE COUNTY RECORDS; THENCE ALONG SAID NORTH LINE OF CARLTON POINTE SUBDIVISION N75°27'01"W 852.86' TO THE POINT OF BEGINNING.

THIS PARCEL IS THE SAME AS TRACTS 2A AND 3 AS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995 AND RECORDED IN BOOK OF MAPS 1995, PAGE 2034, WAKE COUNTY RECORDS.

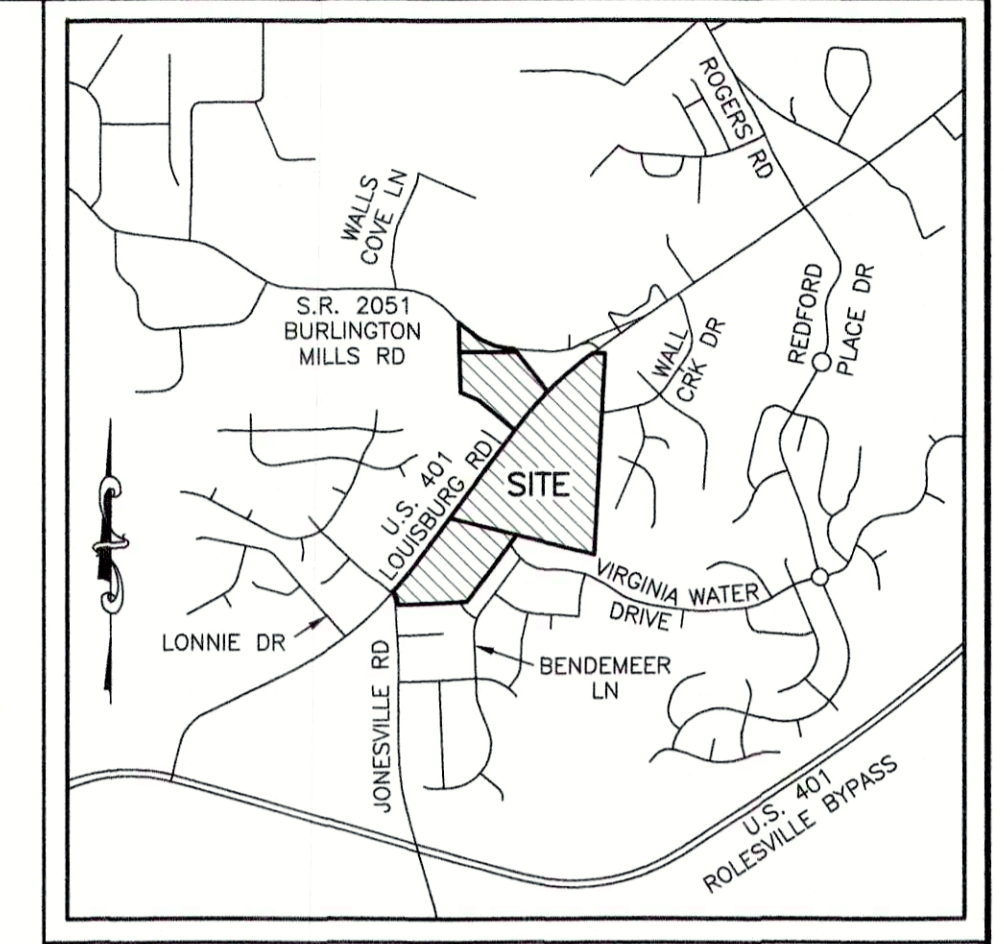
CONTAINING 44.100 ACRES, MORE OR LESS.

PARCEL 'D' (PIN #1758-45-8905)

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE ON THE SOUTH LINE OF TRACT 3 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995 AND RECORDED IN BOOK OF MAPS 1995, PAGE 2034, WAKE COUNTY RECORDS, SAID PIPE ALSO BEING AN ANGLE POINT IN THE NORTHWEST LINE OF CARLTON POINTE SUBDIVISION, PHASE I AS RECORDED IN BOOK OF MAPS 2008, PAGES 5 TO 10, WAKE COUNTY RECORDS; THENCE ALONG THE NORTHWEST LINE OF SAID CARLTON POINTE SUBDIVISION S36°44'45"W 877.98' TO AN ANGLE POINT; THENCE CONTINUING ALONG SAID NORTHWEST LINE AND ALONG THE NORTH LINE OF LOTS 1, 2 AND 3 AS SAID LOTS ARE SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "SUBDIVISION PLAT FOR BARRETT VENTURES, LLC", BY CAWTHORNE, MOSS & PANCIERA, P.C., DATED APRIL 4, 2007 AND RECORDED IN BOOK OF MAPS 2008, PAGE 702, WAKE COUNTY RECORDS, S87°10'58"W 737.24' TO AN ANGLE POINT IN THE EAST RIGHT OF WAY LINE OF JONESVILLE ROAD (S.R. 2226) AND THE SOUTHEAST CORNER OF THAT CERTAIN PARCEL DESCRIBED IN DEED BOOK 13993, PAGE 2591, WAKE COUNTY RECORDS; THENCE ALONG THE EAST LINE OF SAID PARCEL N02°07'15"W 48.32'; THENCE CONTINUING ALONG SAID EAST LINE, ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE WEST, HAVING A RADIUS OF 123.92', THROUGH A CENTRAL ANGLE OF 30°27'05", AN ARC LENGTH OF 65.86' AND BEING SUBTENDED BY A CHORD BEARING N17°21'49"W 65.09' TO THE EAST RIGHT OF WAY LINE OF JONESVILLE ROAD; THENCE ALONG SAID EAST RIGHT OF WAY LINE N03°10'03"W 17.67' TO THE SOUTHEAST RIGHT OF WAY LINE OF LOUISBURG ROAD (U.S. 401); THENCE ALONG SAID SOUTHEAST RIGHT OF WAY LINE THE FOLLOWING EIGHT COURSES: (1) N41°10'16"E 41.30'; (2) N40°37'47"E 49.15'; (3) N39°31'43"E 50.83'; (4) N38°52'58"E 49.80'; (5) N38°22'04"E 50.40'; (6) N37°17'31"E 50.37'; (7) N36°44'45"E 304.20'; AND (8) N36°27'57"E 396.53' TO A FOUND IRON PIPE ON THE SOUTH LINE OF THE AFORESAID TRACT 3; THENCE ALONG SAID SOUTH LINE OF TRACT 3 S75°27'01"E 704.12' TO THE POINT OF BEGINNING.

CONTAINING 15.024 ACRES, MORE OR LESS.



VICINITY MAP SCALE: 1"=2000'

LEGEND

- (1) = RECORD DATA PER BM 1996 PG 1582
(2) = RECORD DATA PER BM 2011 PG 383
(3) = RECORD DATA PER BM 1995 PG 2034
(4) = RECORD DATA PER BM 2002 PG 825
(5) = RECORD DATA PER BM 2005 PG 1195-1196
(6) = RECORD DATA PER DB 13993 PG 2591
● = FOUND MONUMENT AS NOTED
○ = SET IRON PIN
+ = NCOS MONUMENT
\* = DIMENSION POINT (NOTHING SET)
R = PROPERTY LINE
R/W = RIGHT OF WAY
C&G = CURB AND GUTTER
C&G = CABLE TV PEDESTAL
DI = DROP INLET
ELEC = ELECTRIC BOX
EM = ELECTRIC METER
F/O = FIBER OPTIC
FH = FIRE HYDRANT
GV = GAS VALVE
H = HAND BOX
LP = LIGHT POLE
PP = POWER POLE
- - - = GUY WIRE
RCP = REINFORCED CONCRETE PIPE
S.F. = SQUARE FEET (AREA)
= SIGN
= TRAFFIC SIGNAL POLE
= SANITARY SEWER MANHOLE
= SANITARY SEWER FORCE MAIN VALVE
= STORM DRAIN MANHOLE
= TELEPHONE PEDESTAL
= TRAFFIC BOX
= WATER BOX
WM = WATER METER
WMH = WATER MANHOLE
WV = WATER VALVE
= WELL
X-WALK = PEDESTRIAN X-WALK POLE
- - - = ELECTRIC LINE
- - - = SANITARY SEWER FORCE MAIN
- - - = FIBER OPTIC LINE
- - - = GAS LINE
- - - = OVERHEAD ELECTRIC LINE
- - - = SANITARY SEWER LINE
- - - = TELEPHONE LINE
- - - = CABLE TV LINE
- - - = WATER LINE

SURVEYOR'S CERTIFICATION:

TO WALLBROOK LANDCO, LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 7A, 7B1, 8, 9, 11, 13, 16 AND 17 OF TABLE "A" THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 6, 2020.

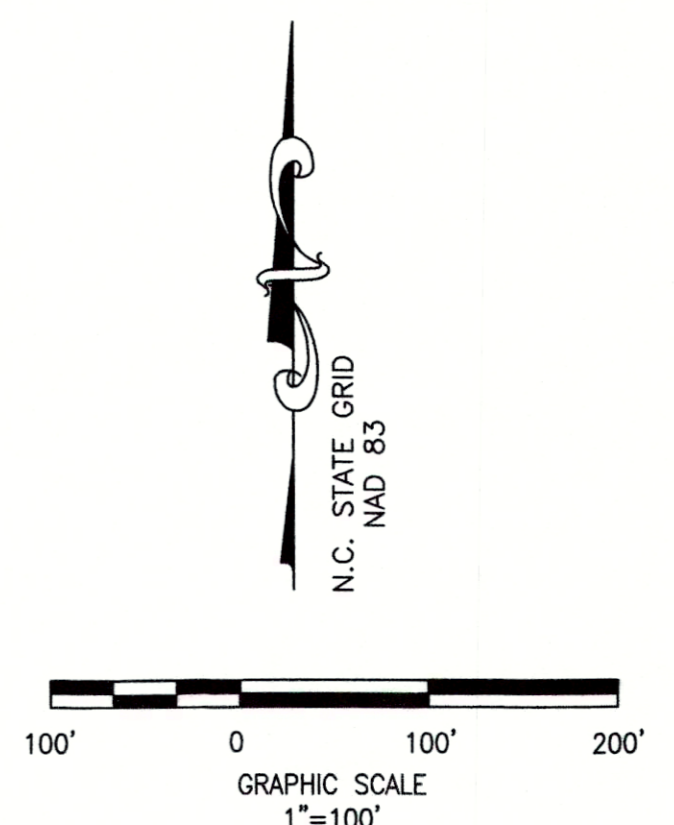
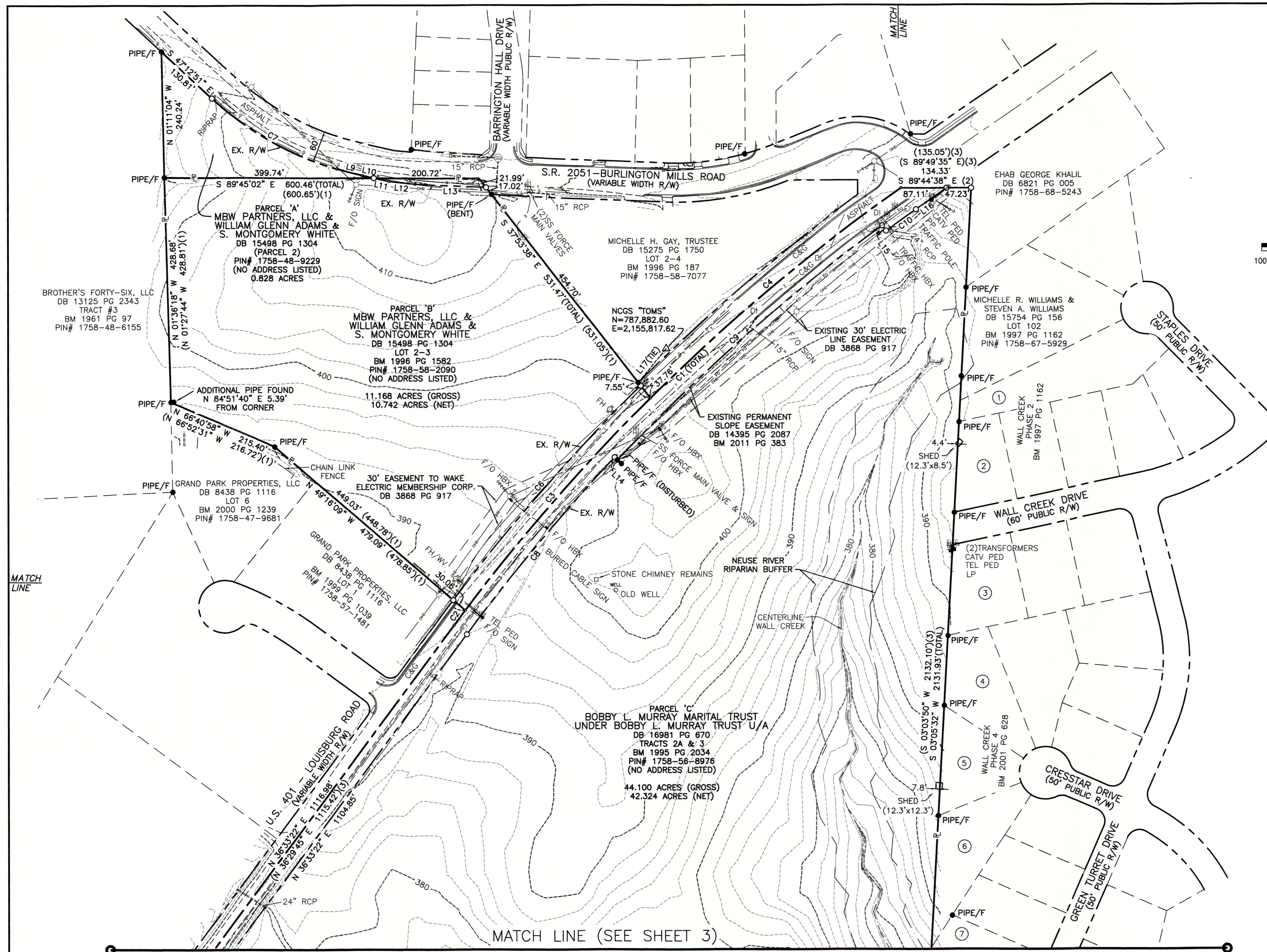
Signature of William T. Robbins, II, dated 10/1/2020. P.L.S. #L-4192



Logo for Johnson, Mirmiran & Thompson Engineering A Brighter Future, with contact information including phone, fax, and email.

Table with 3 columns: REVISION #, DATE, REASON FOR REVISION. Row 1: 1, 10/01/2020, ADDED RIPARIAN BUFFER ALONG WALL CREEK.

ALTA/NSPS LAND TITLE SURVEY PREPARED FOR WALLBROOK LANDCO, LLC. WAKE FOREST TOWNSHIP TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA. Includes drawing and project information.



**ADJOINING PROPERTY OWNERS**

- ① RODERICK BLACKWELL & CHRISTINE BLACKWELL  
DB 8769 PG 1894  
LOT 101  
BM 1997 PG 1162  
PIN# 1758-67-6836
- ② CHARLES CULBERTSON & TERESA CULBERTSON  
DB 17393 PG 896  
LOT 96  
BM 1997 PG 1162  
PIN# 1758-67-4619
- ③ ANTONIO G. CATTARUZZA & SHEILA B. CATTARUZZA  
DB 8149 PG 422  
LOT 92  
BM 1997 PG 1162  
PIN# 1758-67-4416
- ④ JOHN DANIEL BONO, III & SABRINA MICHELE BONO  
DB 13369 PG 2170  
LOT 85  
BM 2001 PG 628  
PIN# 1758-67-4204
- ⑤ RONALD G. PATTERSON & LAURA A. PATTERSON  
DB 10087 PG 2409  
LOT 84  
BM 2001 PG 628  
PIN# 1758-67-4100
- ⑥ MICHAEL A. HADDER & JENNIFER H. HADDER  
DB 16143 PG 2477  
LOT 83  
BM 2001 PG 628  
PIN# 1758-66-3984
- ⑦ JOSEPH L. KEELEY, III & SARAH E. KEELEY  
DB 10496 PG 1314  
LOT 79  
BM 2002 PG 825  
PIN# 1758-66-4723

- LEGEND**
- (1) = RECORD DATA PER BM 1996 PG 1582
  - (2) = RECORD DATA PER BM 2011 PG 383
  - (3) = RECORD DATA PER BM 1995 PG 2034
  - (4) = RECORD DATA PER BM 2002 PG 825
  - (5) = RECORD DATA PER BM 2005 PG 1195-1196
  - (6) = RECORD DATA PER DB 13993 PG 2591
  - = FOUND MONUMENT AS NOTED
  - = SET IRON PIN
  - △ = NCGS MONUMENT
  - = DIMENSION POINT (NOTHING SET)
  - ▭ = PROPERTY LINE
  - R/W = RIGHT OF WAY

- C&G = CURB AND GUTTER
- CAV = CABLE TV PEDESTAL
- DI = DROP INLET
- ELEC = ELECTRIC BOX
- EM = ELECTRIC METER
- F/O = FIBER OPTIC
- FH = FIRE HYDRANT
- GV = GAS VALVE
- HBX = HAND BOX
- LP = LIGHT POLE
- PP = POWER POLE
- ← = GUY WIRE
- RCP = REINFORCED CONCRETE PIPE
- S.F. = SQUARE FEET (AREA)
- SIGN = SIGN
- TRAF = TRAFFIC SIGNAL POLE
- SS = SANITARY SEWER MANHOLE
- SSM = SANITARY SEWER FORCE MAIN VALVE
- SDM = STORM DRAIN MANHOLE
- TELE = TELEPHONE PEDESTAL
- TRAF = TRAFFIC BOX
- WB = WATER BOX
- WM = WATER METER
- WMH = WATER MANHOLE
- WV = WATER VALVE
- WELL = WELL
- PE = PEDESTRIAN X-WALK POLE
- E = ELECTRIC LINE
- SSM = SANITARY SEWER FORCE MAIN
- F/O = FIBER OPTIC LINE
- G = GAS LINE
- OE = OVERHEAD ELECTRIC LINE
- S = SANITARY SEWER LINE
- T = TELEPHONE LINE
- TV = CABLE TV LINE
- W = WATER LINE

LINE	BEARING	DISTANCE
L1	N 02°07'15" W	48.32'
L2	N 03°10'03" W	17.67'
L3	N 41°10'16" E	41.30'
L4	N 40°37'47" E	49.15'
L5	N 39°31'43" E	50.83'
L6	N 38°52'58" E	49.80'
L7	N 38°22'04" E	50.40'
L8	N 37°17'31" E	50.37'
L9	S 75°02'10" E	50.12'
L10	S 77°31'31" E	22.85'
L11	S 77°31'31" E	29.16'
L12	S 84°03'28" E	50.67'
L13	S 87°10'20" E	135.52'
L14	S 46°39'44" E	7.50'
L15	S 36°12'58" E	12.50'
L16	N 55°13'38" E	70.99'
L17	N 39°21'58" E	83.92'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1197.82'	3750.00'	18°18'05"	S 45°42'25" W	1192.73'
C2	35.15'	3750.00'	0°32'13"	S 36°49'29" W	35.15'
C3	537.89'	3750.00'	8°13'06"	S 41°12'09" W	537.43'
C4	624.78'	3750.00'	9°32'45"	S 50°05'04" W	624.06'
C5	65.86'	123.92'	30°27'05"	S 17°21'49" E	65.09'
C6	543.86'	3780.00'	8°14'37"	S 41°14'38" W	543.40'
C7	276.12'	600.00'	26°22'04"	N 60°23'53" W	273.69'
C8	440.32'	3720.00'	6°46'55"	S 39°56'50" W	440.07'
C9	675.86'	3712.50'	10°25'52"	S 48°33'13" W	674.95'
C10	70.31'	3700.00'	1°05'20"	S 54°18'48" W	70.31'

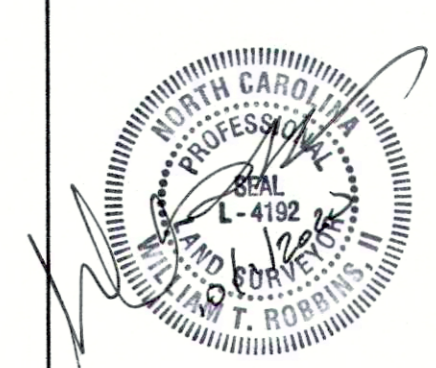
(R=3750.00', L=1199.06')(3)

**JMT JOHNSON, MIRMIRAN & THOMPSON**  
 Engineering A Brighter Future  
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 EMAIL: jmtva@jmt-engineering.com

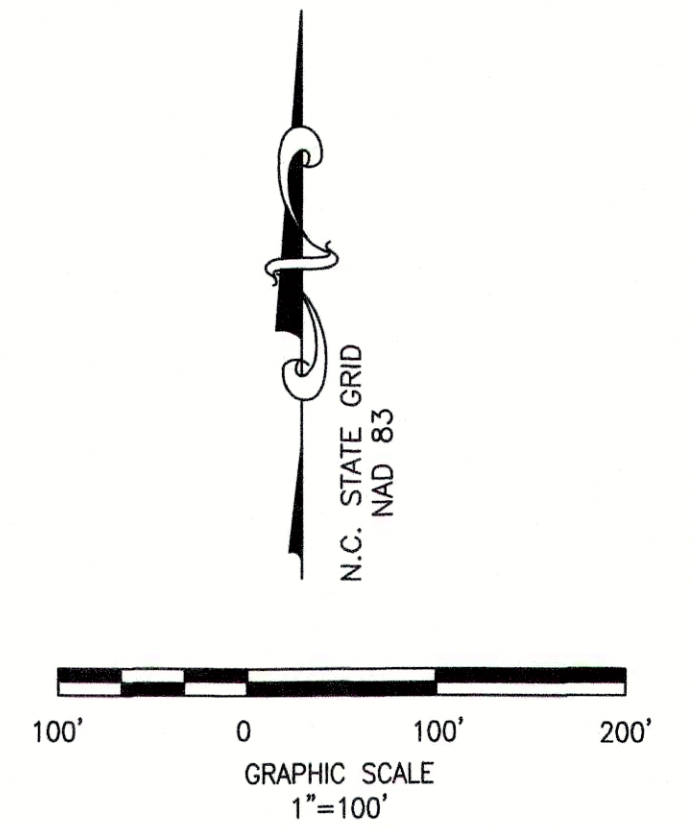
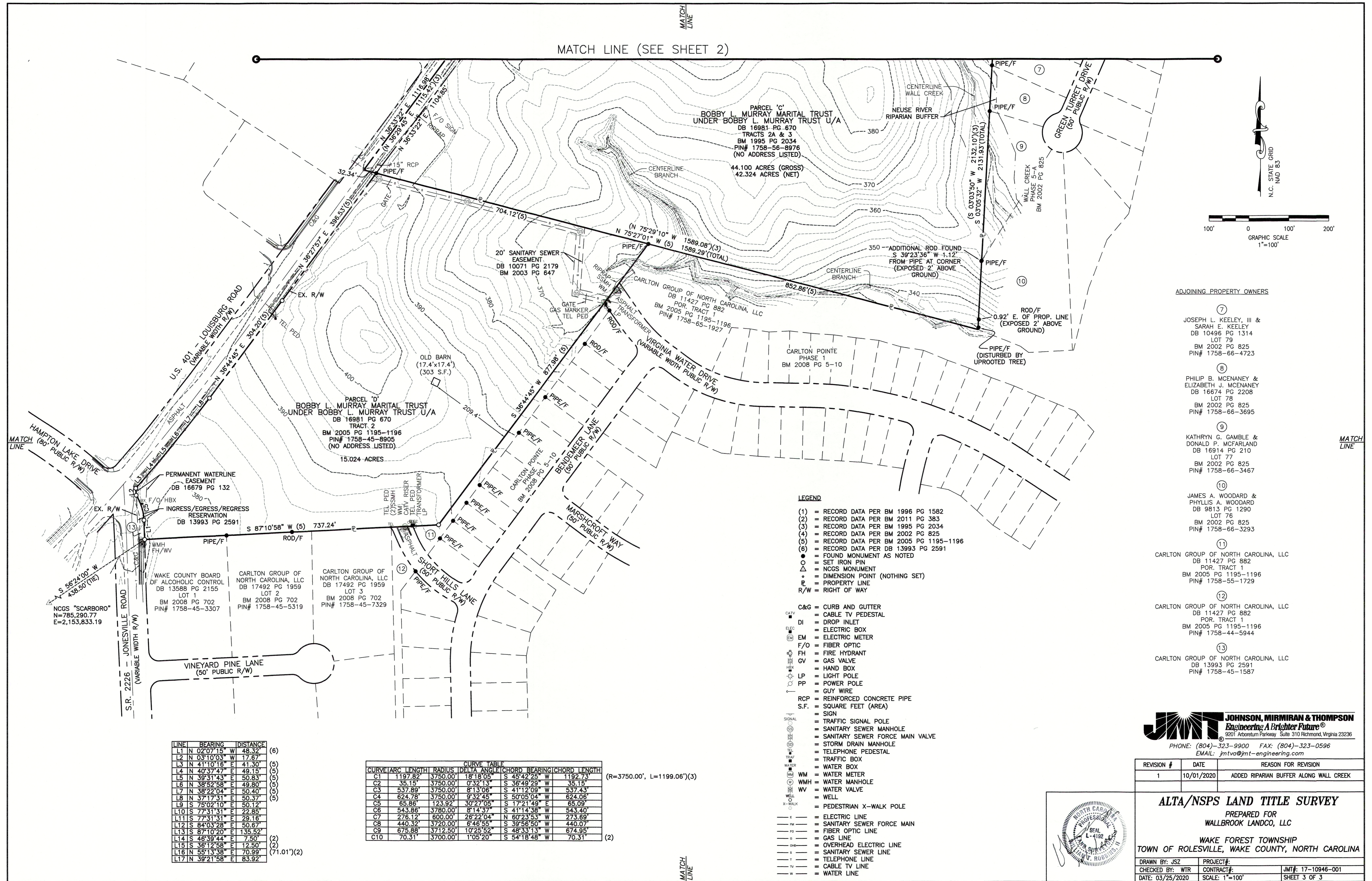
REVISION #	DATE	REASON FOR REVISION
1	10/01/2020	ADDED RIPARIAN BUFFER ALONG WALL CREEK

**ALTA/NSPS LAND TITLE SURVEY**  
 PREPARED FOR  
**WALLBROOK LANDCO, LLC**  
 WAKE FOREST TOWNSHIP  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

DRAWN BY: JSZ PROJECT#: JMT# 17-10946-001  
 CHECKED BY: WTR CONTRACT#: SHEET 2 OF 3  
 DATE: 03/25/2020 SCALE: 1"=100'



MATCH LINE (SEE SHEET 2)



ADJOINING PROPERTY OWNERS

- 7 JOSEPH L. KEELEY, III & SARAH E. KEELEY  
DB 10496 PG 1314  
LOT 79  
BM 2002 PG 825  
PIN# 1758-66-4723
- 8 PHILIP B. MCENANEY & ELIZABETH J. MCENANEY  
DB 16674 PG 2208  
LOT 78  
BM 2002 PG 825  
PIN# 1758-66-3695
- 9 KATHRYN G. GAMBLE & DONALD P. MCFARLAND  
DB 16914 PG 210  
LOT 77  
BM 2002 PG 825  
PIN# 1758-66-3467
- 10 JAMES A. WOODARD & PHYLLIS A. WOODARD  
DB 9813 PG 1290  
LOT 76  
BM 2002 PG 825  
PIN# 1758-66-3293
- 11 CARLTON GROUP OF NORTH CAROLINA, LLC  
DB 11427 PG 882  
POR. TRACT 1  
BM 2005 PG 1195-1196  
PIN# 1758-55-1729
- 12 CARLTON GROUP OF NORTH CAROLINA, LLC  
DB 11427 PG 882  
POR. TRACT 1  
BM 2005 PG 1195-1196  
PIN# 1758-44-5944
- 13 CARLTON GROUP OF NORTH CAROLINA, LLC  
DB 13993 PG 2591  
PIN# 1758-45-1587

LEGEND

- (1) = RECORD DATA PER BM 1996 PG 1582
- (2) = RECORD DATA PER BM 2011 PG 383
- (3) = RECORD DATA PER BM 1995 PG 2034
- (4) = RECORD DATA PER BM 2002 PG 825
- (5) = RECORD DATA PER BM 2005 PG 1195-1196
- (6) = RECORD DATA PER DB 13993 PG 2591
- = FOUND MONUMENT AS NOTED
- = SET IRON PIN
- △ = NCGS MONUMENT
- = DIMENSION POINT (NOTHING SET)
- ▭ = PROPERTY LINE
- R/W = RIGHT OF WAY

- C&G = CURB AND GUTTER
- DI = DROP INLET
- ELEC = ELECTRIC BOX
- EM = ELECTRIC METER
- F/O = FIBER OPTIC
- FH = FIRE HYDRANT
- GV = GAS VALVE
- HB = HAND BOX
- LP = LIGHT POLE
- PP = POWER POLE
- GUY = GUY WIRE
- RCP = REINFORCED CONCRETE PIPE
- S.F. = SQUARE FEET (AREA)
- SIGN = SIGN
- TS = TRAFFIC SIGNAL POLE
- SSM = SANITARY SEWER MANHOLE
- SSFMV = SANITARY SEWER FORCE MAIN VALVE
- SDM = STORM DRAIN MANHOLE
- TP = TELEPHONE PEDESTAL
- TB = TRAFFIC BOX
- WB = WATER BOX
- WM = WATER METER
- WMH = WATER MANHOLE
- WV = WATER VALVE
- WELL = WELL
- X-WALK = PEDESTRIAN X-WALK POLE
- E = ELECTRIC LINE
- FM = SANITARY SEWER FORCE MAIN
- FO = FIBER OPTIC LINE
- G = GAS LINE
- OHE = OVERHEAD ELECTRIC LINE
- S = SANITARY SEWER LINE
- T = TELEPHONE LINE
- TV = CABLE TV LINE
- W = WATER LINE

LINE	BEARING	DISTANCE	
L1	N 02°07'15" W	48.32	(6)
L2	N 03°10'03" W	17.67	(5)
L3	N 41°10'16" E	41.30	(5)
L4	N 40°37'47" E	49.15	(5)
L5	N 39°31'43" E	50.83	(5)
L6	N 38°52'58" E	49.80	(5)
L7	N 38°22'04" E	50.40	(5)
L8	N 37°17'31" E	50.37	(5)
L9	S 75°02'10" E	50.12	(5)
L10	S 77°31'31" E	22.85	(2)
L11	S 77°31'31" E	29.16	(2)
L12	S 84°03'28" E	50.67	(2)
L13	S 87°10'20" E	135.52	(2)
L14	S 46°39'44" E	7.50	(2)
L15	S 36°12'58" E	12.50	(2)
L16	N 55°13'38" E	70.99	(2)
L17	N 39°21'58" E	83.92	(2)

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1197.82	3750.00	18°18'05"	S 45°42'25" W	1192.73
C2	35.15	3750.00	0°32'13"	S 36°49'29" W	35.15
C3	537.89	3750.00	8°13'06"	S 41°12'09" W	537.43
C4	624.78	3750.00	9°32'45"	S 50°05'04" W	624.06
C5	65.86	123.92	30°27'05"	S 17°21'49" E	65.09
C6	543.86	3780.00	8°14'37"	S 41°14'38" W	543.40
C7	276.12	600.00	26°22'04"	N 60°23'53" W	273.69
C8	440.32	3720.00	6°46'55"	S 39°56'50" W	440.07
C9	675.88	3712.50	10°25'52"	S 48°33'13" W	674.95
C10	70.31	3700.00	1°05'20"	S 54°18'48" W	70.31

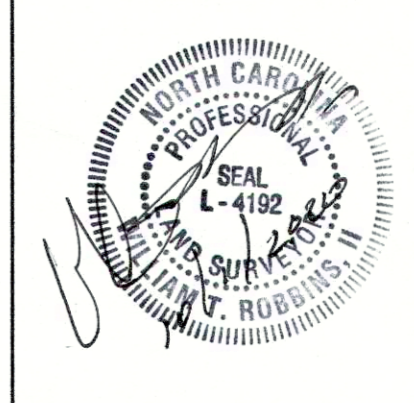
(R=3750.00', L=1199.06')(3)

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REVISION #	DATE	REASON FOR REVISION
1	10/01/2020	ADDED RIPARIAN BUFFER ALONG WALL CREEK

**ALTA/NSPS LAND TITLE SURVEY**  
 PREPARED FOR  
**WALLBROOK LANDCO, LLC**  
 WAKE FOREST TOWNSHIP  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

DRAWN BY: JSZ	PROJECT#:	JMT#: 17-10946-001
CHECKED BY: WTR	CONTRACT#:	
DATE: 03/25/2020	SCALE: 1"=100'	SHEET 3 OF 3



I DECLARE THAT THIS SURVEY COMPLIES WITH THE NORTH CAROLINA STANDARDS OF PRACTICE FOR SURVEYING, (SECTION 1600) FOR CLASS A SURVEYS AND HAS THE CALCULATED RATIO OF PRECISION BEFORE ADJUSTMENTS IS 1:10,000+. FURTHERMORE, PROPERTY CORNERS SHOWN ARE PRIMARY CONTROL MONUMENTATION FOR THE RE-ESTABLISHMENT OF PROPERTY CORNERS IN THE ABSENCE OF GRID MONUMENTS AND OTHER SUBDIVISION PROPERTY CORNERS. THIS SURVEY IS NOT TO BE RECORDED WITHOUT THE WRITTEN AUTHORIZATION OF THE SURVEYOR.

#13 - Where is this survey for related to the rest of the site?

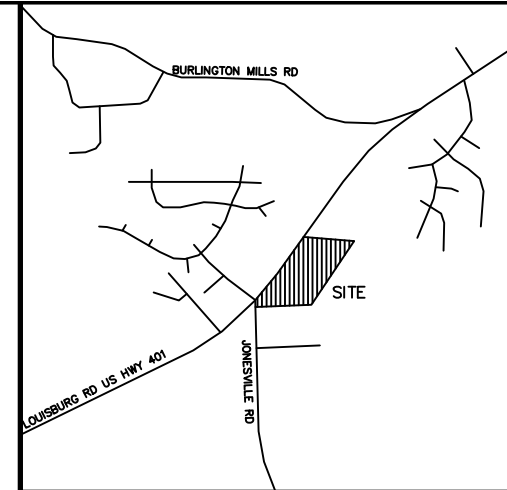
**PRELIMINARY**  
FOR REVIEW PURPOSE ONLY

PROFESSIONAL LAND SURVEYOR L-

**LEGEND:**

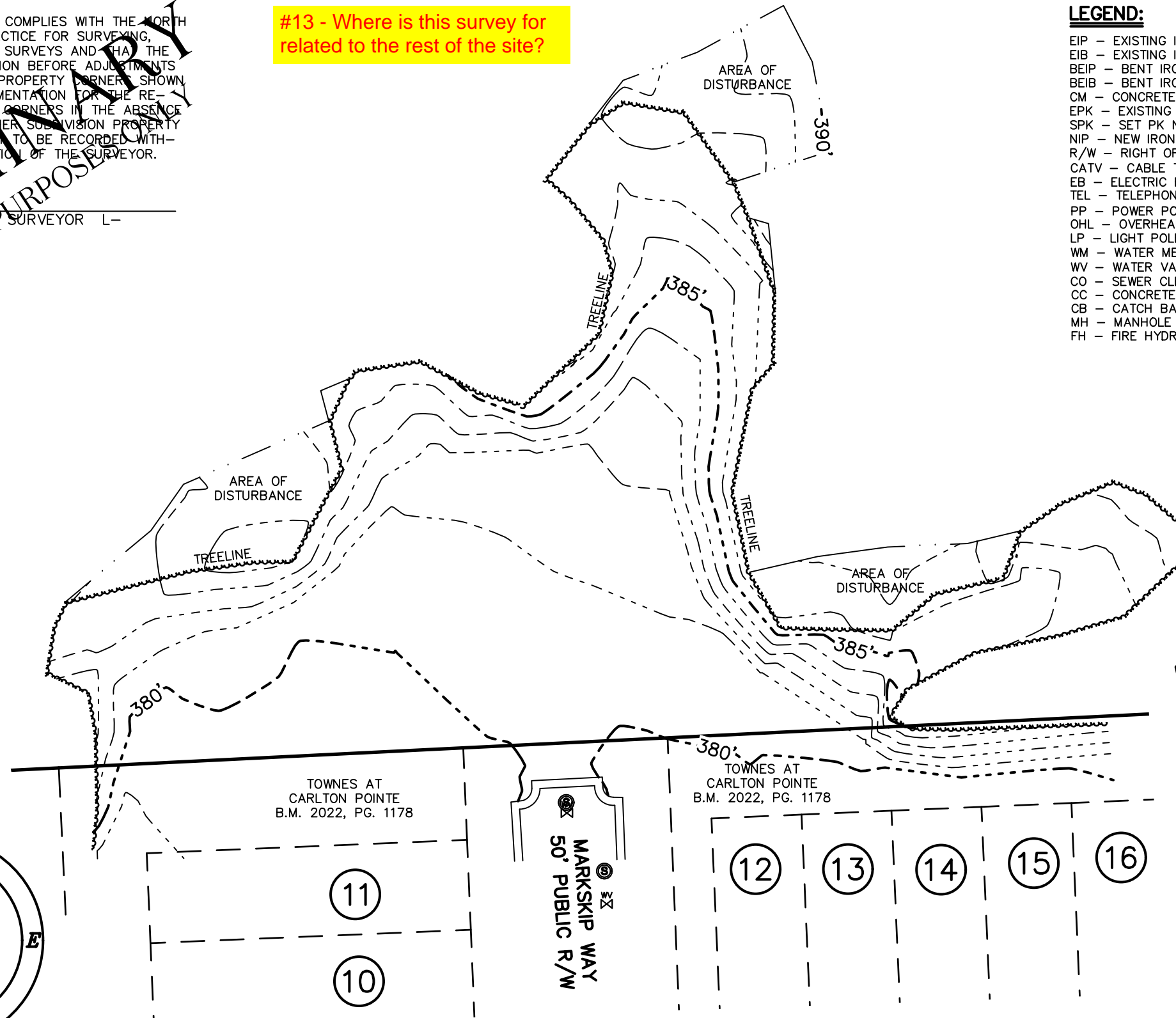
- EIP - EXISTING IRON PIPE
- EIB - EXISTING IRON BAR
- BEIP - BENT IRON PIPE
- BEIB - BENT IRON BAR
- CM - CONCRETE MONUMENT
- EPK - EXISTING PK NAIL
- SPK - SET PK NAIL
- NIP - NEW IRON PIPE SET
- R/W - RIGHT OF WAY
- CATV - CABLE TV BOX
- EB - ELECTRIC BOX
- TEL - TELEPHONE PEDESTAL
- PP - POWER POLE
- OHL - OVERHEAD LINE
- LP - LIGHT POLE
- WM - WATER METER
- WV - WATER VALVE
- CO - SEWER CLEAN-OUT
- CC - CONCRETE
- CB - CATCH BASIN
- MH - MANHOLE
- FH - FIRE HYDRANT

NC GRID NAD 83' (2011)



VICINITY MAP  
LINE TYPE LEGEND

	PROPERTY LINE - LINE SURVEYED
	RIGHT-OF-WAY
	ADJOINING LINE - LINE NOT SURVEYED
	OVERHEAD LINE
	BUILDING SETBACK
	EASEMENT
	BUFFER
	FLOOD HAZARD SOILS

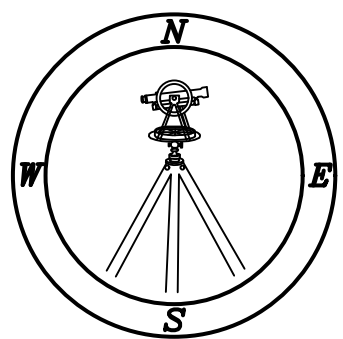


TOPOGRAPHIC SURVEY FOR  
**WALLBROOK LANDCO, LLC**  
OWNER: WALLBROOK LANDCO, LLC  
REF: DEED BOOK 18103, PAGE 1563  
REF: B.M. 1995, PG. 2034  
TOWN OF ROLESVILLE  
WAKE COUNTY, NORTH CAROLINA



SCALE 1"=30'

JULY 7, 2022  
REVISED JULY 13, 2022  
ZONED GC-CZ  
PIN #1758.01-45-8905



PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148

(CARLTON TOWNHOMES-TOPO AREA.DWG - TW)