

THE POINT - PHASES 11-13

15.4.5 - Streets

15.4.5.1
Type of Street Required All subdivision lots shall abut at least 20 feet on a public street. All public streets shall be dedicated to the Town of Rolesville, the State of North Carolina or the public as determined appropriate by the Board of Commissioners of the Town of Rolesville. All public streets shall be built to the standards of this ordinance and all other applicable standards of the Town of Rolesville and the North Carolina Department of Transportation. Public streets not dedicated to the Town which are eligible for acceptance into the State Highway System shall be constructed to the standards necessary to be put on the State Highway System or the standards in this ordinance, whichever is stricter, in regard to each particular item and shall be put on such system. Streets not dedicated to the Town which are not eligible to be put on the State Highway System because there are too few lots or residences shall, nevertheless, be dedicated to the public and shall be in accordance with the standards in this ordinance or the standards necessary to be put on the State Highway System, whichever is stricter in regard to each particular item, so as to be eligible to be put on the system at a later date. A written maintenance agreement with provisions for maintenance of the street until it is put on the State System shall be included with the final plat.

15.4.5.2
Subdivision Street Disclosure Statement All streets shown on the final plat shall be designated in accordance with G.S. § 136-102.6 and designation as public shall be conclusively presumed an offer of dedication to the public. Where streets are dedicated to the public but not accepted into a municipal or the State system, before lots are sold, a statement explaining the status of the street shall be included with the final plat.

PARCEL OWNER LIST		
PIN	OWNER	AREA
1768051864	ASHTON RALEIGH RESIDENTIAL, LLC 4025 LAKE BOONE TRI SUITE 200 RALEIGH, NC 27607-3087	45.39 AC.

DEVELOPER/OWNER

ASHTON RALEIGH RESIDENTIAL, LLC.
900 RIDGEFIELD DRIVE, SUITE 335
RALEIGH, NC 27609
919-422-7663

ATTN: BOB MISHLER

SURVEY BY:

BATEMAN CIVIL SURVEY COMPANY
2424 RELIANCE AVENUE, APEX, NC 27539

TOPOGRAPHIC DECEMBER 22, 2019
ALTA SURVEY DECEMBER 12, 2019

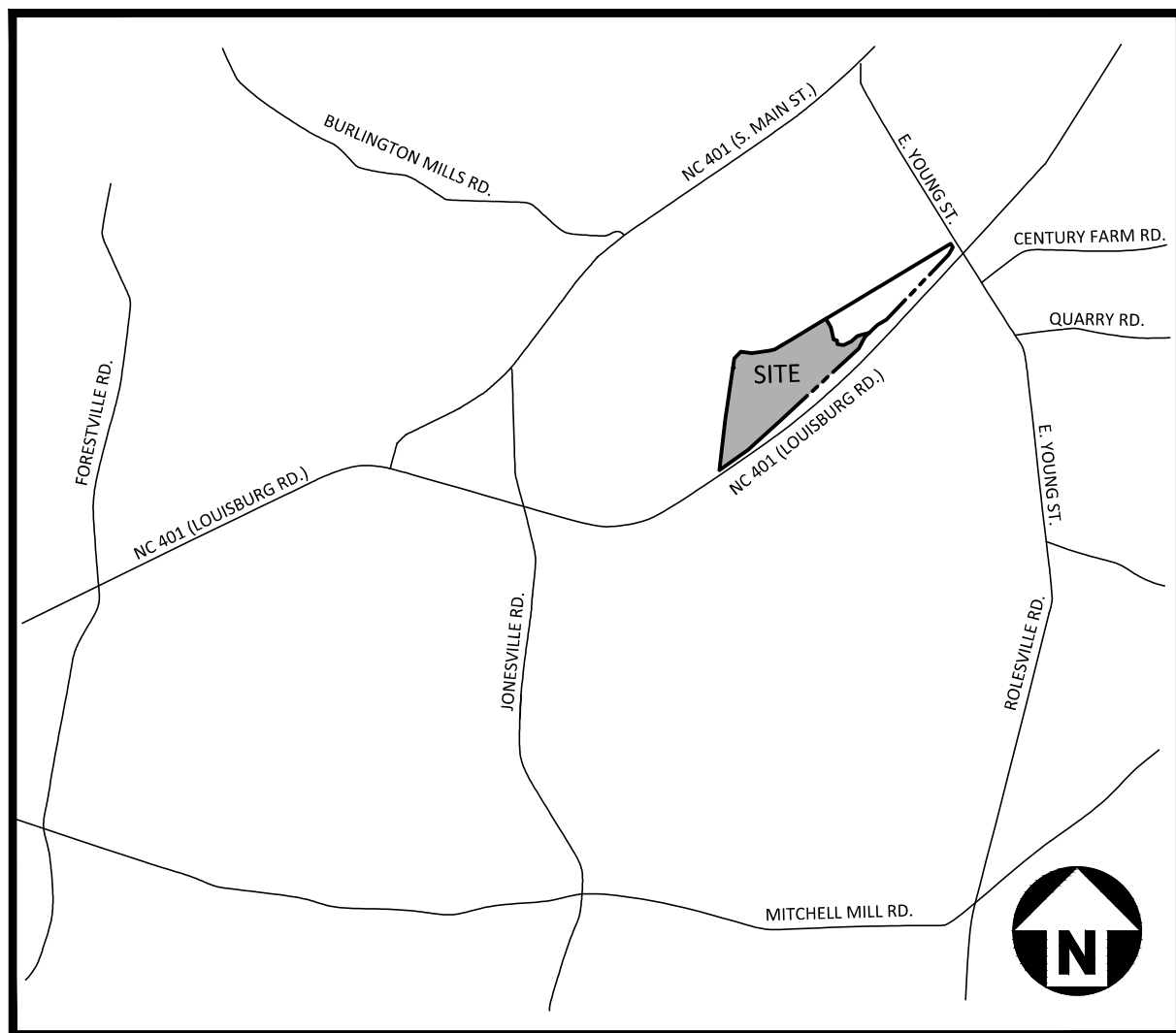
STEVEN P. CARSON, PLS
NC LICENSE # 4752
919-577-1081

SURVEY NOTES

- THE PROPERTY LIES IN ZONE "X" PER NATIONAL FLOOD INSURANCE PROGRAM RATE MAP 37201759000 & 37201768000 DATES 05/02/2006.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE BASED ON OBSERVED GPS CONTROL. NAD 83 / NSRS 2011 / STATE PLANE COORDINATES.
- SUBJECT PARCEL ZONED R & PUD PER WAKE COUNTY GIS.
- SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY COMPANY UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS. FIELD WORK WAS COMPLETED DEC 3 - 21, 2018.
- AREAS COMPUTER BY COORDINATE METHOD.
- SANITARY SEWER LINE EASEMENT WAS CREATED BASED ON CENTER LINES ON MANHOLES USING FIELD EVIDENCE.
- NO CEMETERIES OBSERVED AS A RESULTS OF THE SURVEY.
- BUILDING ARE AS SHOWN ON SURVEY.

IMPERVIOUS SUMMARY

Land Use	Area (sf)	Area (ac)
Roadway Area	131,688	3.02
Lots (Open)	232,350	5.33
Lots (Impervious)	307,999	7.07
Sidewalk / Patio	66,402	1.52
Open	688,639	15.81
Wooded	516,413	11.86
Pond	33,780	0.78
Total	1,977,270	45.39



VICINITY MAP

N.T.S.

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED

EROSION CONTROL ☐ S-_____

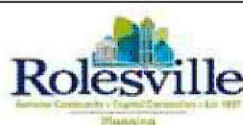
STORMWATER MGMT. ☐ S-_____

FLOOD STUDY ☐ S-_____

DATE _____



ENVIRONMENTAL CONSULTANT SIGNATURE

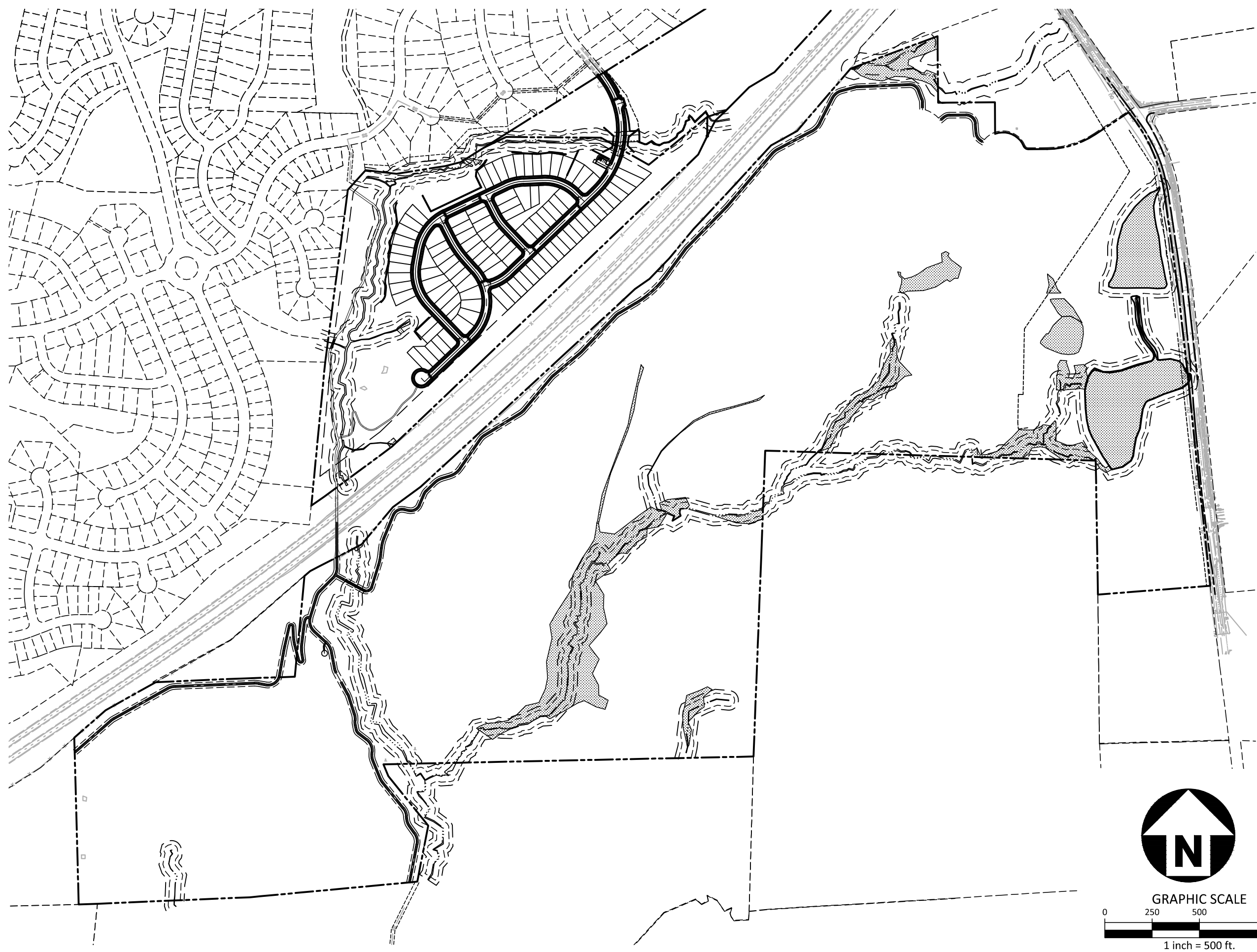


APPROVED FOR COMPLIANCE

Case # _____ Project: _____

By: _____ Date: _____

These plans have been approved for compliance with the Town Code of Ordinance, UDO, and Standard Specifications & Construction Details, subject to statements & conditions hereby incorporated by reference.



CORPUD APPROVAL CONDITION:

CONVEYANCE OF SEWAGE FROM THE PROPOSED LOTS WITHIN THE POINT PHASES 11-13 WILL RELY ON IMPROVEMENTS TO THE HARRIS CREEK INTERCEPTOR THAT ARE BEING DESIGNED BY McADAMS. THE PLAN SET IS TITLED HARRIS CREEK SANITARY SEWER REPLACEMENT AND WILL BE ASSIGNED PERMIT # 5-5037. THE POINT PHASES 11-13 LOTS WILL NOT BE RECORDED AND THE ONSITE WATER/SEWER UTILITIES WILL NOT BE ACCEPTED BY RALEIGH UNTIL THE HARRIS CREEK INTERCEPTOR IMPROVEMENTS UNDER PERMIT # 5-5037 ARE APPROVED, INSTALLED, AND ACCEPTED BY RALEIGH FOR MAINTENANCE.

QUANTITIES :

STREETS		
GENOVESA DRIVE	50' R/W	1,462 LF
COMMEND PLACE	50' R/W	1,058 LF
LAUDABLE WAY	50' R/W	390 LF
RADIANT WAY	60' R/W	1,642 LF

PUBLIC UTILITY IMPROVEMENTS QUANTITIES (CONSTRUCTION DRAWINGS - PHASES 11-13)

PHASE NUMBER	ALL PHASES
NUMBER OF LOTS	94
LOT NUMBERS	805-898
6" PUBLIC WATER (LF) (FIRE HYDRANT)	265 LF
8" PUBLIC WATER (LF)	4,655 LF
12" PUBLIC WATER (LF)	0 LF
8" PUBLIC SEWER (LF)	4,549 LF
WATER SERVICE STUBS	94
SEWER SERVICE STUBS	94

SHEET INDEX

C0.00	PROJECT NOTES AND TYPICAL SECTIONS
C1.00	EXISTING CONDITIONS
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN - AREA "A"
C2.02	SITE PLAN - AREA "B"
C2.03	PAVEMENT MARKING AND SIGNAGE PLAN - AREA "A"
C2.04	PAVEMENT MARKING AND SIGNAGE PLAN - AREA "B"
C3.00	OVERALL GRADING AND STORM DRAINAGE PLAN
C3.01	GRADING AND STORM DRAINAGE PLAN - AREA "A"
C3.02	GRADING AND STORM DRAINAGE PLAN - AREA "B"
C4.00	OVERALL UTILITY PLAN
C4.01	UTILITY PLAN - AREA "A"
C4.02	UTILITY PLAN - AREA "B"
C5.00	PLAN AND PROFILE - GENOVESA DRIVE STA. 10+00.00 THRU STA. 19+50.00
C5.01	PLAN AND PROFILE - GENOVESA DRIVE STA. 19+50.00 THRU STA. 26+00.00
C5.02	PLAN AND PROFILE - COMMEND PLACE STA. 10+00.00 THRU STA. 19+00.00
C5.03	PLAN AND PROFILE - COMMEND PLACE STA. 19+00.00 THRU STA. 21+00.00
	PLAN AND PROFILE - LAUDABLE WAY
C5.04	PLAN AND PROFILE - RADIANT WAY STA. 10+00.00 THRU STA. 19+50.00
C5.05	PLAN AND PROFILE - RADIANT WAY STA. 19+50.00 THRU STA. 26+50.00
C5.06	PLAN AND PROFILE - GREENWAY "2" STA. 32+00.00 THRU STA. 41+50.00
C5.07	PLAN AND PROFILE - GREENWAY "2" STA. 41+50.00 THRU STA. 50+50.00
C5.08	PLAN AND PROFILE - GREENWAY "3"
C5.09	PLAN AND PROFILE - SS OUTFALL "A"
C6.00	EROSION CONTROL NOTES
C6.01A	EROSION CONTROL PLAN - STAGE 1 - AREA "A"
C6.02A	EROSION CONTROL PLAN - STAGE 1 - AREA "B"
C6.01B	EROSION CONTROL PLAN - STAGE 2 - AREA "A"
C6.02B	EROSION CONTROL PLAN - STAGE 2 - AREA "B"
C6.00	EROSION CONTROL DETAILS
C6.00	EROSION CONTROL DETAILS
C6.00	EROSION CONTROL DETAILS
C6.00	EROSION CONTROL DETAILS
C6.00	EROSION CONTROL DETAILS
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	STORM DRAINAGE DETAILS
C8.03	STORM DRAINAGE DETAILS
C8.04	WATER DETAILS
C8.05	WATER DETAILS
C8.06	SANITARY SEWER DETAILS
C8.07	SANITARY SEWER DETAILS
C9.00	STORMWATER CONTROL MEASURE "M" PLAN VIEW
C9.01	STORMWATER CONTROL MEASURE "M" DETAILS
C9.02	STORMWATER CONTROL MEASURE "M" DETAILS
C9.03	STORMWATER CONTROL MEASURE "M" LANDSCAPE PLAN
C9.04	STORMWATER CONTROL MEASURE "N" PLAN VIEW
C9.05	STORMWATER CONTROL MEASURE "N" DETAILS
C9.06	STORMWATER CONTROL MEASURE "N" DETAILS
C9.07	STORMWATER CONTROL MEASURE "N" LANDSCAPE PLAN
C9.08	STORMWATER CONTROL MEASURE "O" PLAN VIEW
C9.09	STORMWATER CONTROL MEASURE "O" DETAILS
C9.10	STORMWATER CONTROL MEASURE "O" DETAILS
C9.11	STORMWATER CONTROL MEASURE "O" LANDSCAPE PLAN

SITE PERMITTING APPROVAL

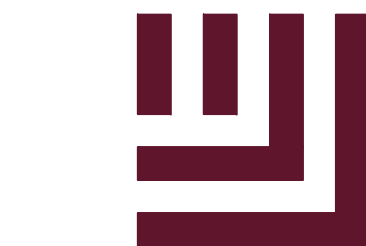
Water and Sewer Permits (if applicable)

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # _____

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # _____

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh Public Utilities Department Permit # _____

#1 - Please submit a revised storm package for review including 10-year designs for storm sewer and 25-year for culverts.



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CONTACT

MIKE SANCHEZ
sanchez@mcadamsco.com
PHONE: 919. 361. 5000

CLIENT

ASHTON RALEIGH RESIDENTIAL, LLC.
900 RIDGEFIELD DRIVE, SUITE 335
RALEIGH, NORTH CAROLINA 27609
PHONE: 919. 422. 7663
CONTACT: BOB MISHLER



ASHTON WOODS.

PROJECT DIRECTORY

CD 22-05



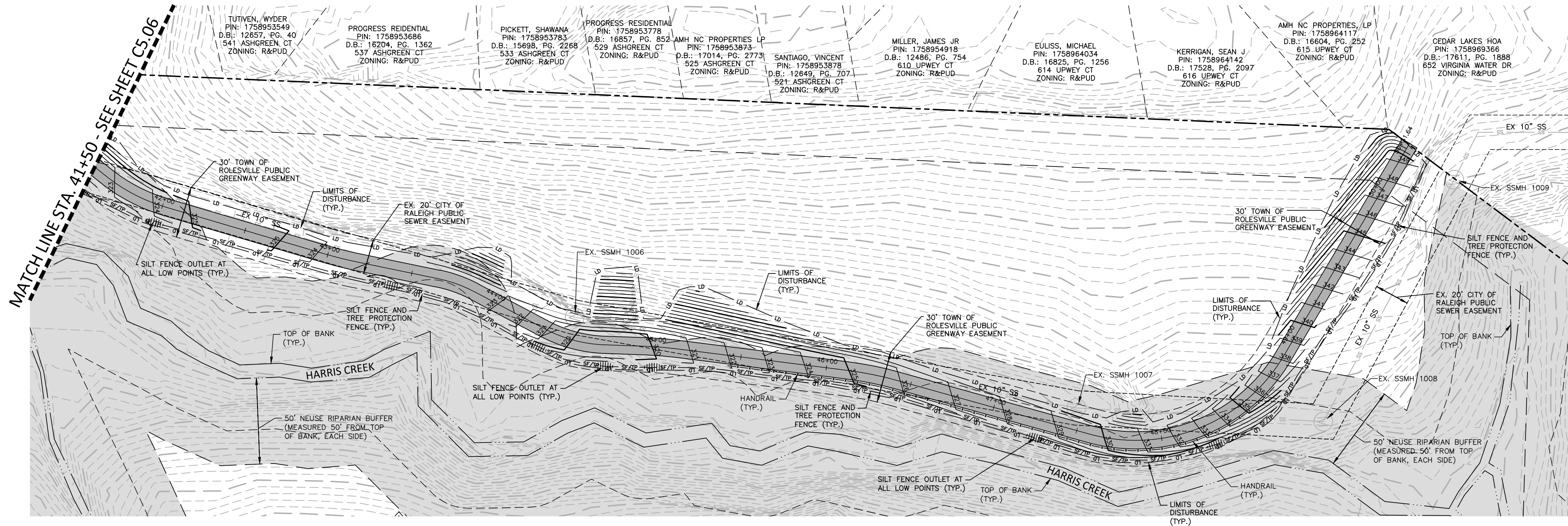
REVISIONS

NO.	DATE
1	12. 12. 2022 REV PER TOWN AND CITY COMMENTS

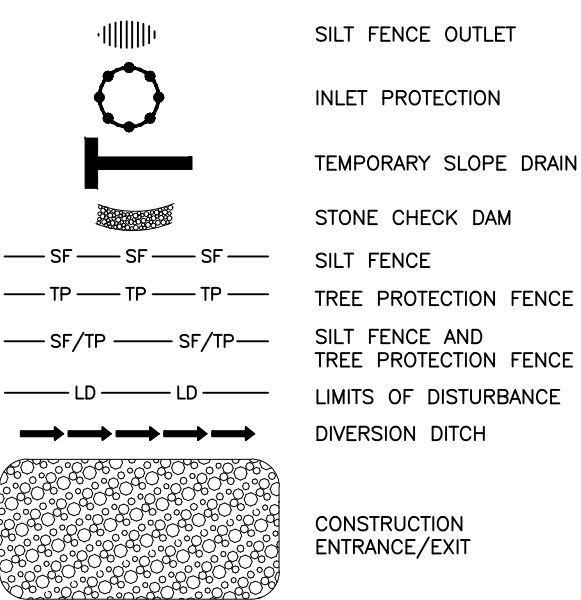
CONSTRUCTION DRAWINGS FOR:

THE POINT
PHASES 11-13
EAST YOUNG STREET
ROLESVILLE, NORTH CAROLINA
PROJECT NUMBER: AWH-20000

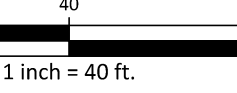
FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



EROSION CONTROL LEGEND

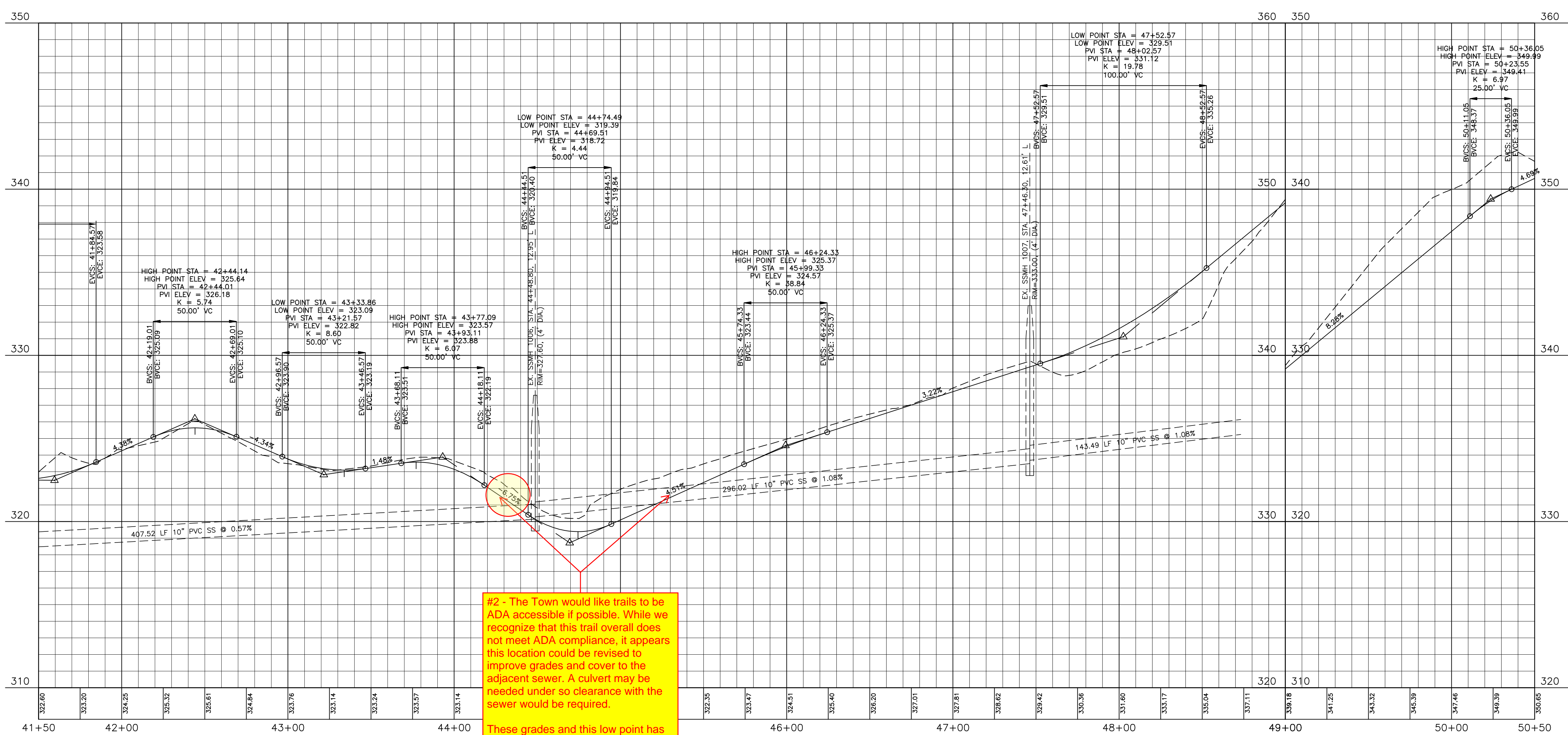


GRAPHIC SCALE



PRIVATE STORM DRAINAGE
EASEMENT TO BE MAINTAINED
BY THE HOA

GREENWAY "2"



#2 - The Town would like trails to be ADA accessible if possible. While we recognize that this trail overall does not meet ADA compliance, it appears this location could be revised to improve grades and cover to the adjacent sewer. A culvert may be needed under so clearance with the sewer would be required.

These grades and this low point has adjusted since the previous submittal.

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CLIENT
ASHTON RALEIGH RESIDENTIAL, LLC.
900 RIDGEFIELD DRIVE, SUITE 335
RALEIGH, NORTH CAROLINA 27609
PHONE: 919. 422. 7663
CONTACT: BOB MISHLER

ASHTON WOODS.

REVISIONS

NO.	DATE	REV PER TOWN AND CITY COMMENTS
1	12.12.2022	



THE POINT PHASES 11-13
CONSTRUCTION DRAWINGS
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,
WAKE COUNTY, NORTH CAROLINA

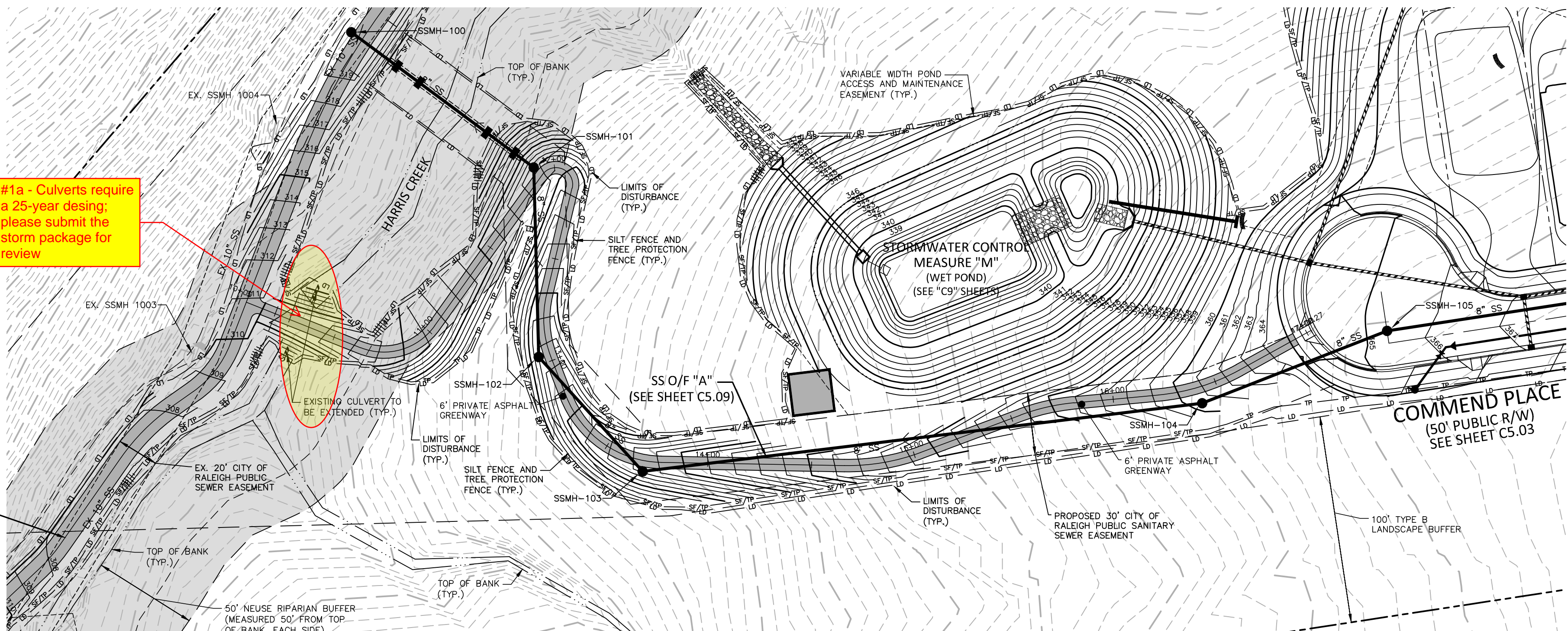
CD 22-05

PLAN INFORMATION

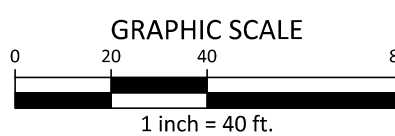
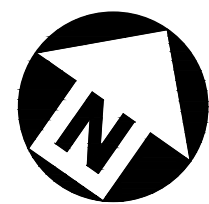
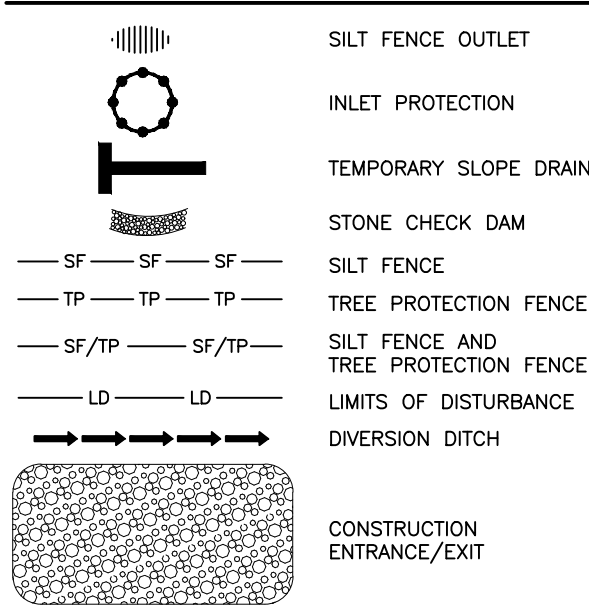
PROJECT NO.	AWH-20000
FILENAME	AWH20000-NORTH-P2
CHECKED BY	.
DRAWN BY	.
SCALE	1"=40'/1"=4'
DATE	10.27.2022

PLAN AND PROFILE
GREENWAY "2", STA. 41+50 THRU STA. 50+50

C5.07

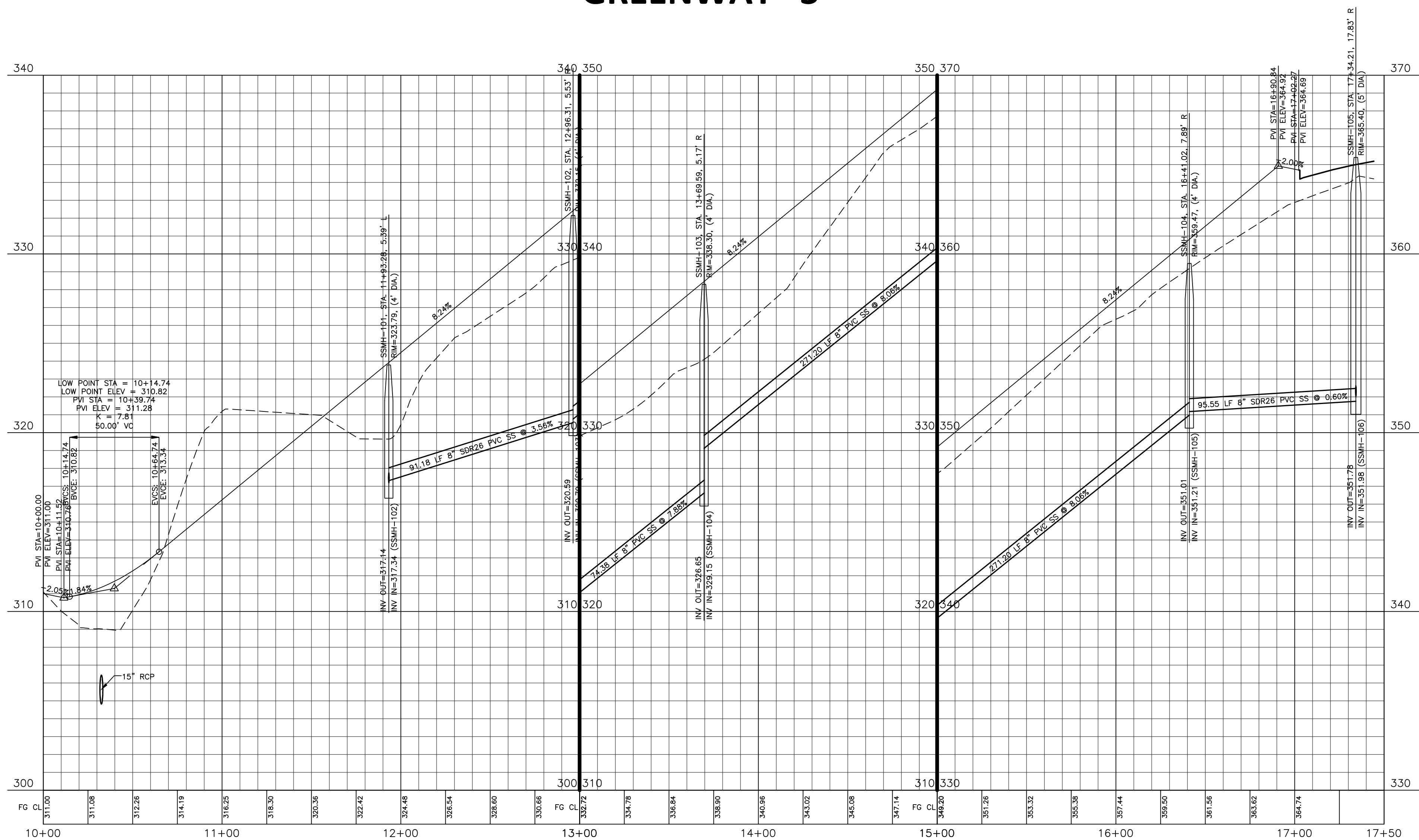


EROSION CONTROL LEGEND



PRIVATE STORM DRAINAGE EASEMENT TO BE MAINTAINED BY THE HOA

GREENWAY "3"



FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

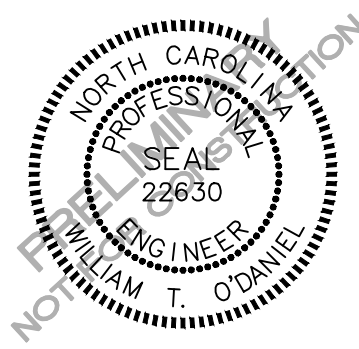
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CLIENT
ASHTON RALEIGH RESIDENTIAL, LLC.
900 RIDGEFIELD DRIVE, SUITE 335
RALEIGH, NORTH CAROLINA 27609
PHONE: 919. 422. 7663
CONTACT: BOB MISHLER

ASHTON WOODS.

REVISIONS		
NO.	DATE	REV PER TOWN AND CITY COMMENTS
1	12.12.2022	



THE POINT PHASES 11-13
CONSTRUCTION DRAWINGS
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,
WAKE COUNTY, NORTH CAROLINA

CD 22-05

PLAN INFORMATION	
PROJECT NO.	AWH-20000
FILENAME	AWH20000-NORTH-P2
CHECKED BY	.
DRAWN BY	.
SCALE	1"=40'/1"=4'
DATE	10.27.2022

PLAN AND PROFILE
GREENWAY "3", STA. 10+00 THRU STA. 17+50

C5.08

STORMWATER CONTROL MEASURE 'N' PLANTING PLAN SPECIFICATIONS

LEGEND								
QTY.	SYM.	SCIENTIFIC NAME	COMMON NAME	HATCH	TYPE	SPACING	% OF TOTAL AREA	PROVIDED AREA
HIGH MARSH (SHALLOW LAND, TOTAL AREA = 5,062 SF)								
257	SC	SAURURUS CERNUUS	LIZARD'S TAIL		4-INCH CONTAINER	24" O.C.	PROVIDED PERCENTAGE = 30%	1027 SF
395	HA	HELENIUM AUTUMNALE	SNEEZEWEEED		4-INCH CONTAINER	24" O.C.	PROVIDED PERCENTAGE = 34%	1579 SF
614	CG	CHELONE GLABRA	WHITE TURTLEHEAD		4-INCH CONTAINER	24" O.C.	PROVIDED PERCENTAGE = 35%	2456 SF
LOW MARSH (SHALLOW WATER, TOTAL AREA = 6,981 SF)								
515	AC	ACORUS CALAMUS	SWEETFLAG		4-INCH CONTAINER	24" O.C.	PROVIDED PERCENTAGE = 32%	2057 SF
615	PP	PONTERDERIA PECTINATUS	PICKEREL WEEED		4-INCH CONTAINER	24" O.C.	PROVIDED PERCENTAGE = 34%	2457 SF
617	NL	NUPHAR LUTEA SSP. ADVENA	YELLOW POND-LILY		4-INCH CONTAINER	24" O.C.	PROVIDED PERCENTAGE = 34%	2467 SF

(ASSUMED 1 STEM PER 4 SF FOR ALL CALCULATIONS)

SOD PREPARATION

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3-4 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE. TOPSOIL SHOULD BE INCORPORATED INTO THE FINAL GRADING OF THE BASIN SIDE SLOPES AND AQUATIC SHELF. CONTRACTOR SHOULD SCARIFY THE TOP 3-4 INCHES OF THE COMPACTED FILL TO PROMOTE BONDING WITH TOPSOIL.
- RIP THE ENTIRE AREA TO 6 INCHES DEPTH.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- PER ONE TIME ONLY, APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL.
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM REASONABLY UNIFORM SODDED IS PREPARED 4 TO 6 INCHES DEEP.
- SOD ON A FRESHLY PREPARED SODDED AND COVER.
- INSPECT ALL SODDED AREAS AND MAKE NECESSARY REPAIRS OR RESODDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. AFTER PERMANENT COVER IS ESTABLISHED.
- CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT.

TEMPORARY SEEDING SCHEDULE

SEEDING DATE	SEEDING MIXTURE	APPLICATION RATE
JAN 1 - MAY 1	RYE (GRAIN)	120 LBS/AC
	KOBE LESPEDEZA	50 LBS/AC
MAY 1 - AUG 15	GERMAN MILLET	40 LBS/AC
AUG 15 - DEC 30	RYE (GRAIN)	120 LBS/AC

SOIL AMENDMENTS
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/AC GROUND AGRICULTURE LIMESTONE AND 750 LB/AC 10-10-10 FERTILIZER (FROM AUG 15 - DEC 30, INCREASE 10-10-10 FERTILIZER TO 1000 LB/AC).

MULCH
APPLY 4000 LB/AC STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
JAN 1 - AUG 15: REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

AUG 15 - DEC 30: REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOP DRESS WITH 50 LB/AC OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/AC KOBE LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

NOTE: USE THE TEMPORARY SEEDING SCHEDULE ONLY WHEN DATE IS NOT CORRECT TO USE THE PERMANENT SEEDING SCHEDULE.

PERMANENT SEEDING SCHEDULE (DAM EMBANKMENTS)

SEEDING DATE	SEEDING MIXTURE	APPLICATION RATE
MAY 1 - AUG 31	CENTPEDE RAW	30 LBS/AC
APRIL 1 - SEPT 1	SUMMER MIX (80% HULLED BERUMDA/20% MILLET)	200 LBS/AC
OCT 1 - MARCH 1	FALL MIX (80% TALL FESCUE/20% ANNUAL RYGRASS)	200 LBS/AC

SOIL AMENDMENTS
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 4,000 LB/AC GROUND AGRICULTURE LIMESTONE AND 1000 LB/AC 10-10-10 FERTILIZER.

MULCH
APPLY 4000 LB/AC STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
INSPECT AND REPAIR MULCH FREQUENTLY. REFERTILIZE IN LATE WINTER OF THE FOLLOWING YEAR; USE SOIL TESTS OR APPLY 150 LB/AC 10-10-10 FERTILIZER. MOW REGULARLY TO A HEIGHT OF 2-4 INCHES.

NOTE: PERMANENT SEEDING SCHEDULE IS FOR SLOPES OF THE BASIN AND DAM EMBANKMENT.

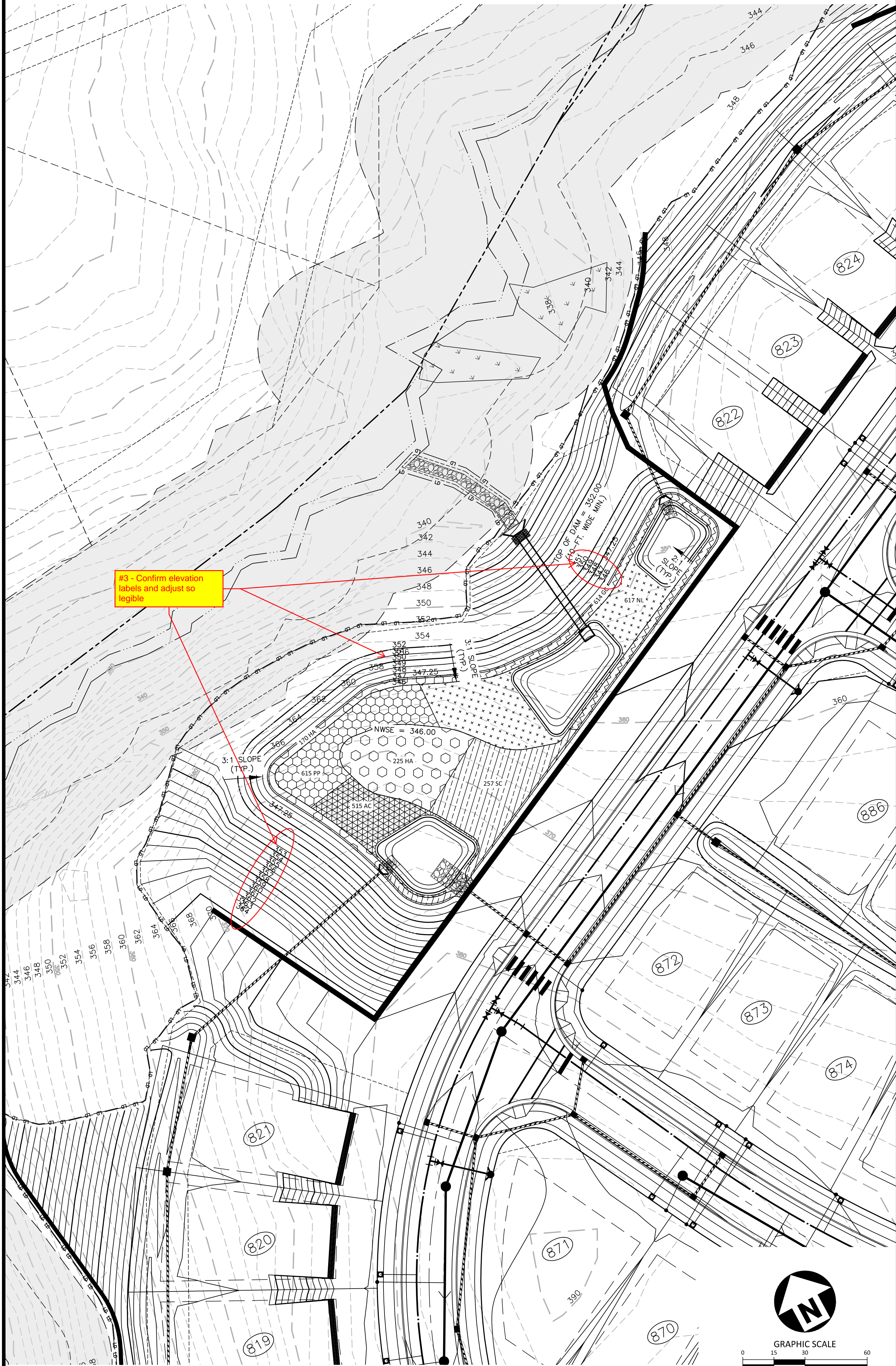
PLANTING INSTRUCTIONS

- PLANTING TECHNIQUES
- INSURE THAT ROOTS, ONCE REMOVED FROM POT, ARE STRAIGHTENED AND FACE DOWNWARD.
 - CREATE PLANTING AREA FOR EACH PLANT AND EXCAVATE PIT.
 - PLACE PLANTS IN PIT INSURING ROOTS ARE FACING COMPLETELY DOWNWARD.
 - HEEL IN SOIL AROUND PLANT AND PROCEED TO NEXT PLANTING LOCATION.
 - NEWLY PLANTED PLANTS NEED TO BE FASTENED TO THE SUBSTRATE FOR THE ESTABLISHMENT OF NEW ROOTS.
 - ROOTS SHALL BE SPREAD IN THEIR NORMAL POSITION. ALL BROKEN OR FRAYED ROOTS SHALL BE CUT OFF CLEANLY.
 - THE DIAMETER OF THE PITS FOR ALL VEGETATIVE STOCK SHALL BE AT LEAST THREE TIMES THE DIAMETER OF THE ROOT MASS. PLANT PIT WALL SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
 - SET THE PLANTS UPRIGHT, IN THE CENTER OF THE PIT. THE BOTTOM OF THE ROOT MASS SHOULD BE RESTING ON UNDISTURBED SOIL.
 - PLACE THE BACKFILL AROUND THE BASE AND SIDES OF THE ROOT MASS, AND WORK EACH LAYER TO SETTLE BACKFILL AND TO ELIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE PLACING REMAINDER OF THE BACKFILL. WATER AGAIN AFTER PLACING FINAL LAYER OF BACKFILL.
 - BROKEN OR DAMAGED PARTS WILL BE CUT BACK TO UNDAMAGED TISSUE, LEAVING AS MUCH GREEN BASAL TISSUE AS POSSIBLE ABOVE THE ROOTS. IF MORE THAN FIFTY PERCENT (50%) OF THE PLANT IS DAMAGED THEN CONTRACTOR SHALL REPLACE THE PLANT.

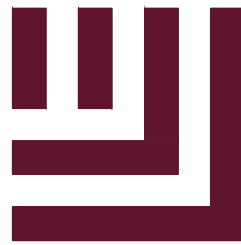
- CONTAINER STOCK / BARE ROOT
- STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER ONCE REMOVED FROM THE CONTAINER.
 - CONTAINER PLANTS WILL NEED TO BE WATERED REGULARLY AND PLACED IN SHADY CONDITIONS UNTIL PLANTING OCCURS.
 - BARE ROOT PLANTS ARE FOR IMMEDIATE PLANTING, OTHERWISE SEE D) BELOW.
 - IF BARE ROOTS SPECIMENS ARE NOT TO BE PLANTED WITHIN FOUR (4) DAYS, TEMPORARY HOLDING OF BARE ROOT SPECIMENS ARE TO BE COVERED ENTIRELY BY A SUITABLE MEDIUM (ETC. SOIL, SAWDUST, MULCH OR THE LIKE) AND WATERED REGULARLY SO AS TO NOT DRY OUT.

- PLANT LOCATIONS
- NEW PLANTINGS SHALL BE LOCATED WHERE SHOWN ON PLAN EXCEPT WHERE CHANGES HAVE BEEN MADE IN PROPOSED CONSTRUCTION.
 - NECESSARY ADJUSTMENTS SHALL BE MADE ONLY AFTER APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

WATER
WATER SHALL BE POTABLE AND SHALL NOT CONTAIN ELEMENTS TOXIC TO PLANT LIFE.



STORMWATER CONTROL MEASURE 'N' PLAN VIEW
1" = 30'



McAdams

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CLIENT

ASHTON RALEIGH RESIDENTIAL, LLC.
900 RIDGEFIELD DRIVE, SUITE 335
RALEIGH, NORTH CAROLINA 27609
PHONE: 919. 422. 7663
CONTACT: BOB MISHLER



ASHTON WOODS.

THE POINT
PHASES 11-13
CONSTRUCTION DRAWINGS
EAST YOUNG STREET
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,
WAKE COUNTY, NORTH CAROLINA

CD 22-05



REVISIONS

NO.	DATE	REV PER TOWN AND CITY COMMENTS
1	12. 12. 2022	

PLAN INFORMATION

PROJECT NO.	AWH-20000
FILENAME	AWH20000 - SCM N
CHECKED BY	KEG
DRAWN BY	ABT
SCALE	1" = 30'
DATE	10. 27. 2022

SHEET

STORMWATER CONTROL
MEASURE 'N' LANDSCAPE PLAN

C9.07

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION