

VICINITY MAP  
SCALE: 1" = 500'

RIGHT-OF-WAY OBSTRUCTION NOTES:

- LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV FOR APPROVAL.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT 'STANDARD SPECIFICATION FOR ROADWAY STRUCTURES', NCDOT 'ROADWAY STANDARD DRAWING MANUAL', AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

PUBLIC INFRASTRUCTURE SUMMARY		TOTAL
<b>PHASE 1</b>		
<b>PUBLIC WATER</b>		
12" WATER (COLLECTOR)		2,280 LF
8" WATER (LOCAL)		1,650 LF
3/4" METERS (WATER STUBS)		112
<b>PUBLIC SEWER</b>		
8" SEWER		3,000 LF
4" LATERALS (SEWER STUBS)		112
<b>ROADWAYS</b>		
FRONTAGE ALONG WAIT AVENUE		2,140 LF
RESIDENTIAL COLLECTORS		2,280 LF
RESIDENTIAL LOCAL		1,650 LF
STREET AND SITE SIGNS		19
<b>PHASE 2</b>		
<b>PUBLIC WATER</b>		
12" WATER (COLLECTOR)		2,695 LF
8" WATER (LOCAL)		5,200 LF
3/4" METERS		184
<b>PUBLIC SEWER</b>		
8" SEWER		5,090 LF
4" LATERALS		184
<b>ROADWAYS</b>		
RESIDENTIAL COLLECTORS		2,695 LF
RESIDENTIAL LOCAL		4,695 LF
ALLEYS		1,750 LF
STREET AND SITE SIGNS		36

# FORMER THALES SITE

2208 & 2206 Wait Ave  
Rolesville, NC 27587

## PRELIMINARY PLAT PR 21-01

- 1ST SUBMITTAL DECEMBER 23, 2020  
2ND SUBMITTAL APRIL 1, 2021  
3RD SUBMITTAL JANUARY 7, 2022  
4TH SUBMITTAL FEBRUARY 18, 2022  
5TH SUBMITTAL MARCH 31, 2022

SITE DATA

PROJECT NAME: FORMER THALES SITE  
PROJECT NUMBER: PR 21-01  
SITE ADDRESS: 2208 & 2206 WAIT AVE ROLESVILLE, NC 27587  
COUNTY: WAKE  
PARCEL PIN #: 1850950449.00, 1860045778.00, 0.00  
PARCEL OWNER: THALES ACADEMY  
TOTAL SITE AREA: 93.73 AC  
CURRENT ZONING: R-PUD  
PROPOSED ZONING: R-PUD  
EXISTING LAND USE: VACANT  
PROPOSED LAND USE: RESIDENTIAL  
PROPOSED # OF LOTS: 289 LOTS  
SINGLE FAMILY LOTS: 102  
28' WIDE TH LOTS: 54  
24' WIDE TH LOTS (REAR): 97  
22' WIDE TH LOTS: 40  
MINIMUM BUILDING SETBACKS: FRONT: 25' FOR SF / 15' FOR TH  
REAR: 25' FOR SF / 15' FOR TH / 15' FROM CENTERLINE OF ALLEY FOR TH SERVICED BY REAR ALLEY  
SIDE: 5' FOR SF LOTS / 20' SEPARATION FOR TH  
CORNER: 10' FOR BOTH SF AND TH  
FLOODPLAINS: NONE  
RIVER BASIN: NEUSE RIVER BASIN  
WATERSHED: NONE  
CONSTRUCTION TYPE: SINGLE FAMILY ATTACHED AND DETACHED  
MAX BUILDING HEIGHT: 35'  
LIMITS OF DISTURBANCE: 72.62 AC (3,163,335 SF)  
TOTAL IMPERVIOUS AREA: 27.23 AC

Parking	Required	Provided
<b>Phase 1</b>		
9' X 18' Visitor Spaces		15
22' Townhome Resident Spaces		13
CBU Parking		6
<b>Total Parking</b>		34
Included ADA Spaces		1
Included Van Accessible Spaces		1
<b>Phase 2</b>		
9' X 18' Visitor Spaces		33
22' Townhome Resident Spaces		8
Amenity Area Parking		32
CBU Parking		9
<b>Total Parking</b>		82
Included ADA Accessible Spaces		1
Included Van Accessible Spaces		1

\* ALL TOWNHOMES LARGER THAN 22' IN WIDTH WILL PROVIDE 4 PARKING SPACES (2-CAR GARAGE AND DRIVEWAY) AND ARE SELF PARKED. NO OFF-STREET RESIDENT PARKING SPACES WILL BE REQUIRED; SEE CALCULATIONS BELOW FOR VISITOR PARKING SPACES REQUIRED.

ALL TOWNHOMES 22' IN WIDTH WILL PROVIDE 2 PARKING SPACES (1-CAR GARAGE AND DRIVEWAY). ADDITIONAL OFF-STREET RESIDENT PARKING WILL BE PROVIDED

1/2 RESIDENT PARKING SPOT FOR EVERY 22' TOWNHOME WITH 3 BEDROOMS ((25 / 2) + (15 / 2) = 21 RESIDENT SPACES) (CALCULATED PER PHASE)

1 VISITOR PARKING SPACE FOR EVERY 4 TOWNHOMES (191 / 4 = 48 VISITOR SPACES)

1 PARKING SPACE FOR EVERY 100 SF OF GATHERING SPACE IN THE AMENITY AREA CLUBHOUSE (3156 SF / 100 SF = 32 AMENITY AREA SPACES)

SITE DATA BY PHASE

	Phase 1	Phase 2	Future Phase
Total Site Area (AC)	29.75	55.30	8.68
R1 Single Family Lots	53	49	
R1 Single Family Area (AC)	20.18	27.46	
R3 Townhome Lots	59	132	
R3 Townhome Area (AC)	9.57	27.84	
Commercial Area			8.68
<b>Open Space</b>			
<b>Required</b>			
10% R1 Single Family Area (AC)	2.02	2.75	
15% R3 Townhome Area (AC)	1.44	4.18	
35% Active Rec Area (AC)	0.50	1.46	
<b>Total</b>	3.46	6.93	
<b>Provided</b>			
Active Rec Area (AC)	1.71	2.65	
Passive Open Space (AC)	8.9	22.88	
<b>Total Open Space (AC)</b>	<b>10.61</b>	<b>25.53</b>	
<b>Density</b>			
<b>Allowed</b>			
Per Phase (DU/AC)	6	6	
Entire Site (DU/AC)	8	8	
Townhome (DU/AC)	10	10	
<b>Provided</b>			
Per Phase (DU/AC)	3.76	3.27	
Entire Site (DU/AC)	3.13		
Townhome (DU/AC)	6.17	4.74	
<b>Impervious Area</b>			
Total Impervious Area (AC)	10.27	16.96	
Impervious Area from Buildings (AC)	5.94	8.16	
Existing Tree Preservation Area (AC)	2.94	7.36	

PREVIOUS SUP CONDITIONS (SUP 18-01)

CONDITIONS OF APPROVAL:  
THE SPECIAL USE PERMIT APPROVAL IS MADE SUBJECT TO THE FOLLOWING CONDITIONS:  
1. THE PROPOSED DEVELOPMENT HAS AN OVERALL DENSITY OF FOUR UNITS PER GROSS ACRE FOR RESIDENTIAL USES ACROSS THE TRACT TO DEVELOP 143 SINGLE-FAMILY LOTS ON APPROXIMATELY 58.17 ACRES AND SCHOOL/ INSTITUTIONAL USES ON APPROXIMATELY 36.51 ACRES EXCLUDING FUTURE STREET DEDICATIONS. THE APPLICANT WISHES TO DEFER SUBMITTING DETAILED SITE PLAN FOR LATER DEVELOPMENT PHASES AND ASK THAT THE SPECIAL USE PERMIT INCLUDE APPROVAL FOR THE TYPE AND DEVELOPMENT DENSITY FOR A PARTICULAR SITE OR PHASE BE GRANTED ON THE CONDITION THAT NO DEVELOPMENT OF THE SITE TAKE PLACE UNTIL THE TOWN BOARD OF COMMISSIONERS APPROVE A DETAIL SITE PLAN OR PRELIMINARY SUBDIVISION PLAT FOR THE SITE AS AN AMENDMENT TO THE SPECIAL USE PERMIT AS PROVIDED IN SECTION 6.2.7 (5) PROCEDURES FOR APPROVAL OF A PLANNED UNIT DEVELOPMENT.  
2. THE TIA REPORT RECOMMENDS THE FOLLOWING ROADWAY IMPROVEMENTS BE PERFORMED TO ACCOMMODATE THE PROJECTED THALES ACADEMY SITE TRAFFIC BASED ON THE CAPACITY ANALYSIS PRESENTED IN THE REPORT. THE FOLLOWING IS A CONDITION FOR DEVELOPMENT OF THIS PUD MASTER PLAN.  
A. NC 98 AT AVERETTE ROAD:  
I. CONSTRUCT AN EXCLUSIVE EASTBOUND RIGHT-TURN LANE ON NC 98 WITH 200 FEET OF STORAGE AND APPROPRIATE TAPERS.  
II. PROVIDE A NORTHBOUND LEFT-TURN LANE ON AVERETTE ROAD WITH 250 FEET OF STORAGE AND APPROPRIATE TAPERS  
III. MODIFY THE TRAFFIC SIGNAL TO ACCOMMODATE THE RECOMMENDED LANEGE.  
B. AVERETTE ROAD AT OLD PEARCE ROAD AND PROPOSED THALES WAY:  
I. PROVIDE A NORTHBOUND LEFT-TURN LANE ON AVERETTE ROAD WITH 100 FEET OF STORAGE AND APPROPRIATE TAPERS.  
II. CONSTRUCT AND EXCLUSIVE FREE-FLOW SOUTHBOUND RIGHT-TURN LANE ON AVERETTE ROAD WITH 100 FEET OF STORAGE AND APPROPRIATE TAPERS.  
III. CONSTRUCT THALES WAY STREET IMPROVEMENT AS A FOUR-LANE SECTION TO THE PROPOSED CLASSICAL COURT STREET INTERSECTION APPROXIMATELY 800 FEET WEST OF AVERETTE ROAD.

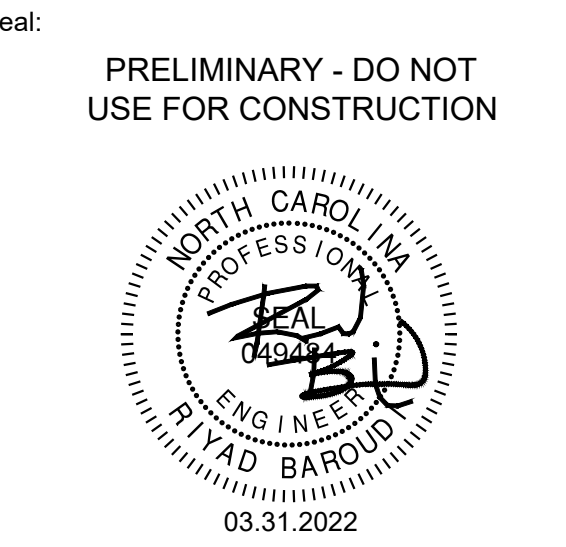
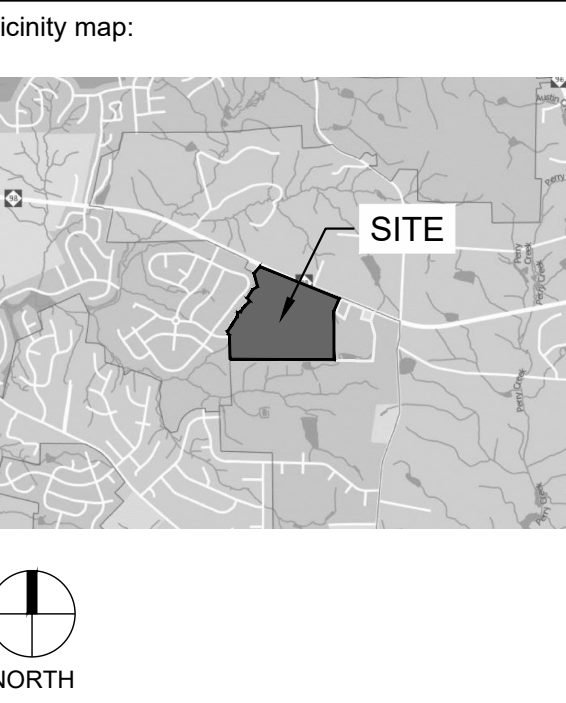
NOTE: PLEASE REFERENCE SUP 21-01 FOR PROPOSED CONDITIONS PERTAINING TO THIS PRELIMINARY PLAT.

STORMWATER INFORMATION

DRAINAGE AREA	PHASE 1			PHASE 2		
	SCM #1	SCM #2	SCM #3	SCM #1	SCM #2	SCM #3
On-site Drainage Area	20.30	25.63	6.54			
Off-site Drainage Area	2.88	0.00	3.11			
<b>TOTAL DRAINAGE (AC)</b>	<b>23.18</b>	<b>25.63</b>	<b>9.65</b>			
<b>IMPERVIOUS AREA</b>						
On-site Buildings/Lots	5.94	7.20	0.96			
On-site Roadways/Sidewalk	4.33	7.76	1.04			
Off-site Areas	0.00	0.00	0.51			
Existing Built Upon Area	0.00	0.00	0.00			
<b>TOTAL IMPERVIOUS (AC)</b>	<b>10.27</b>	<b>14.96</b>	<b>2.51</b>			
<b>%IMPERVIOUS</b>	<b>44%</b>	<b>58%</b>	<b>26%</b>			



Client:  
PULTE HOMES  
CHRIS RAUGHLEY  
1225 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100



## FORMER THALES SITE

### PRELIMINARY PLAT

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	02/17/2022	4TH SUBMITTAL
4	03/31/2022	5TH SUBMITTAL
...	...	...

### COVER SHEET

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: MD  
Approved by: RGB  
**C0.00**



PULTE HOME COMPANY, LLC  
1225 CRESCENT GREEN DRIVE  
CARY, NC 27513  
CONTACT: CHRIS RAUGHLEY  
919.816.1100 (T)  
CHRIS.RAUGHLEY@PULTE.COM



STEWART INC. - CIVIL  
CONTACT: RYAD BAROUDI, PE  
CARY, NC 27513  
PROJECT MANAGER  
704.334.7925 (T)  
RBAROUDI@STEWARTINC.COM

STEWART INC. - LANDSCAPE ARCHITECTURE  
CONTACT: EMILY MICHELLE BLACKWELL, PLA, CLARB, ASLA  
LANDSCAPE ARCHITECT  
704.909.3512 (T)  
EBLACKWELL@STEWARTINC.COM

STEWART INC. - GEOMATICS  
CONTACT: FRANK G. MUNDY, II, PLS  
DIRECTOR OF GEOMATICS  
919.866.4808 (T)  
919.380.8752 (F)  
FMUNDY@STEWARTINC.COM

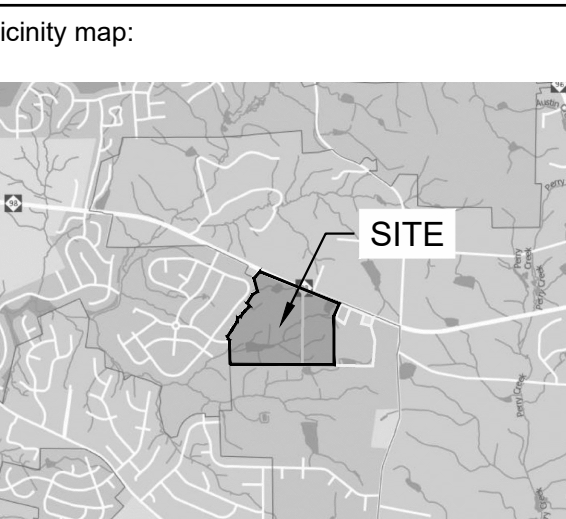
FROEHLING & ROBERTSON, INC  
ADDRESS:  
310 HUBERT STREET  
RALEIGH, NC 27603  
919.826.3441 (T)



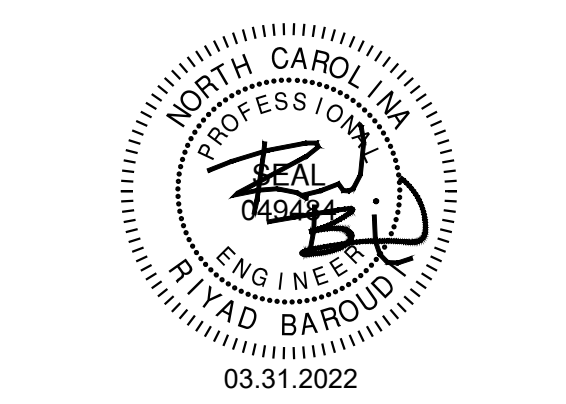
STANTECH  
801 JONES FRANKLIN ROAD, SUITE 300  
RALEIGH, NC 27606  
CONTACT: MATT PEACH  
919.865.7375 (T)  
MATT.PEACH@STANTECH.COM



Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



Seal:  
 PRELIMINARY - DO NOT  
 USE FOR CONSTRUCTION



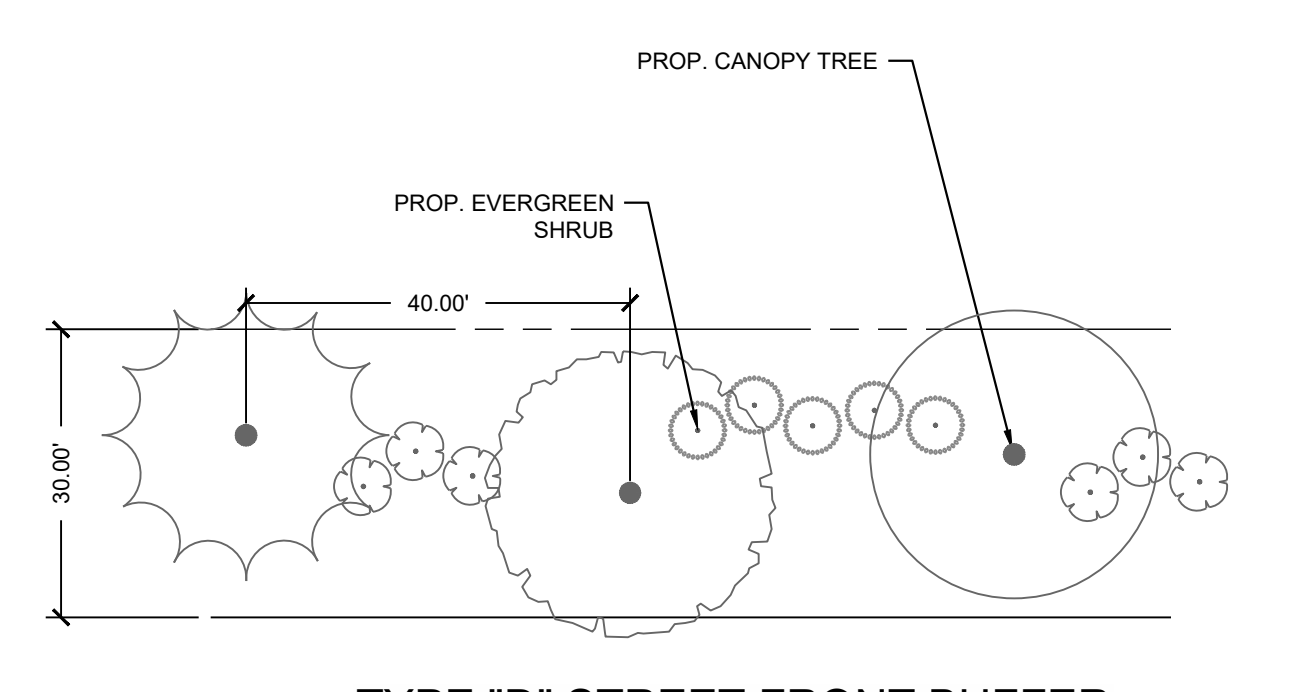
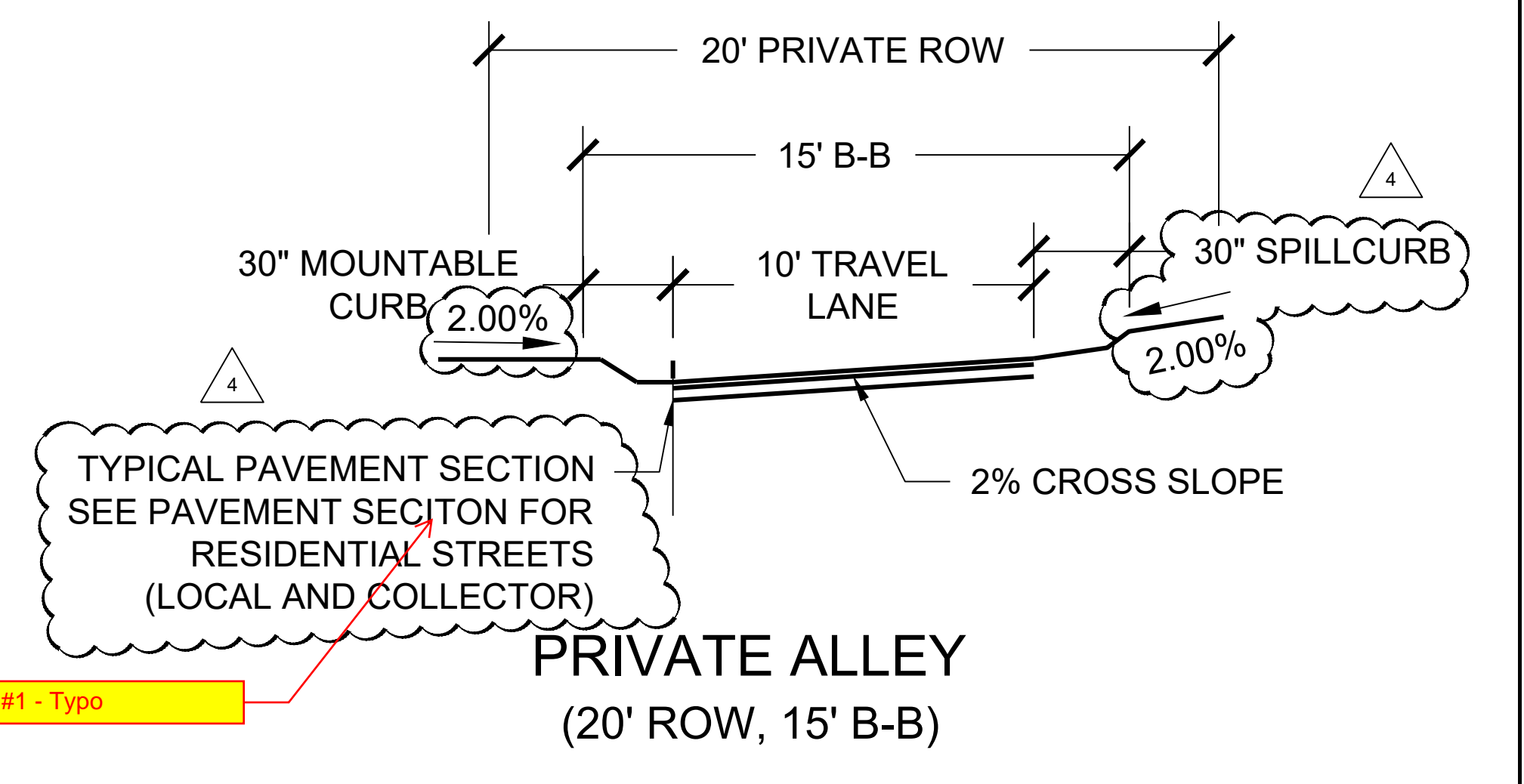
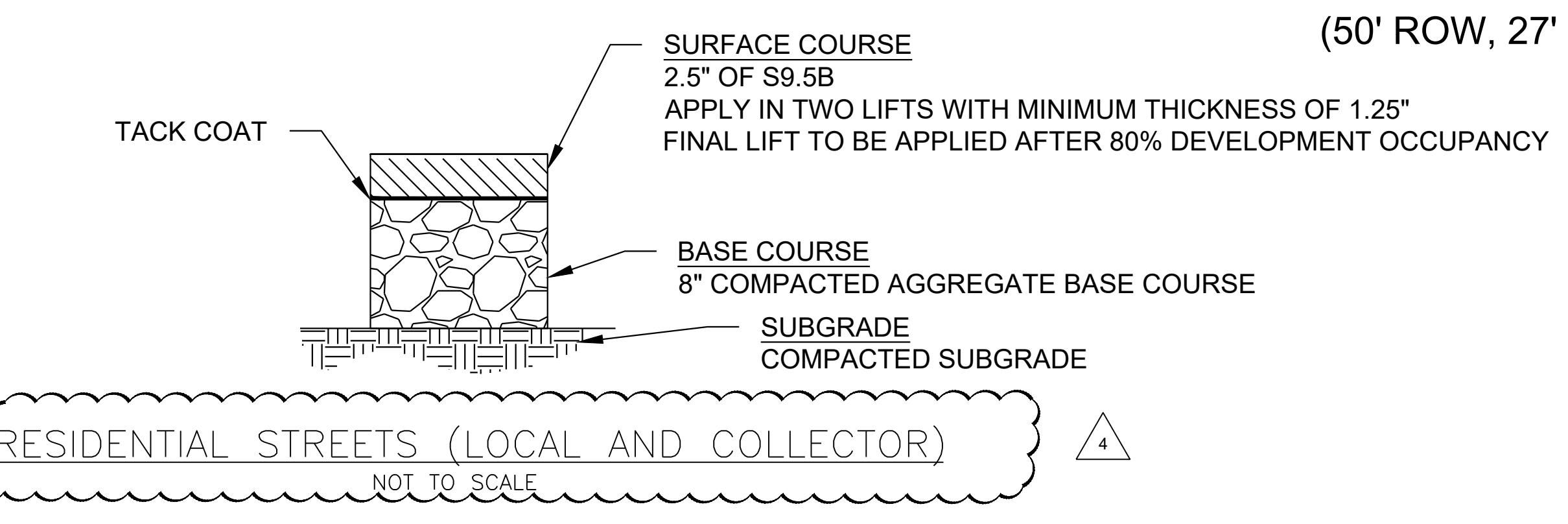
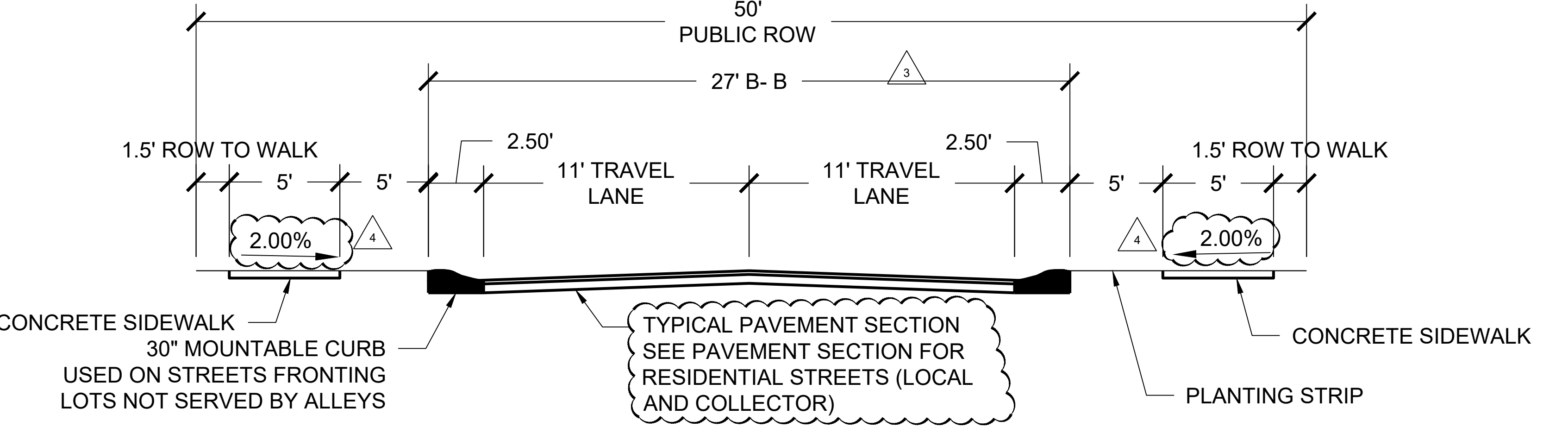
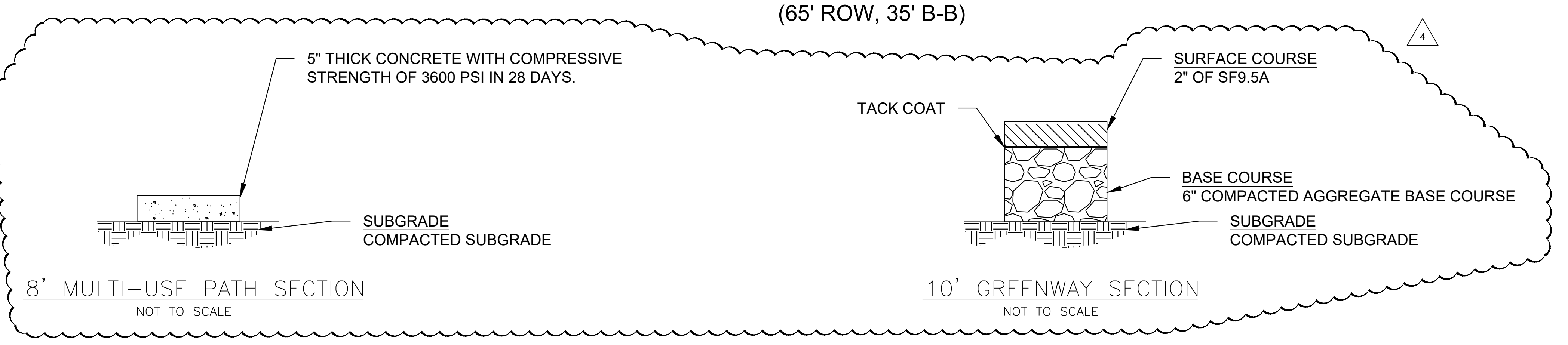
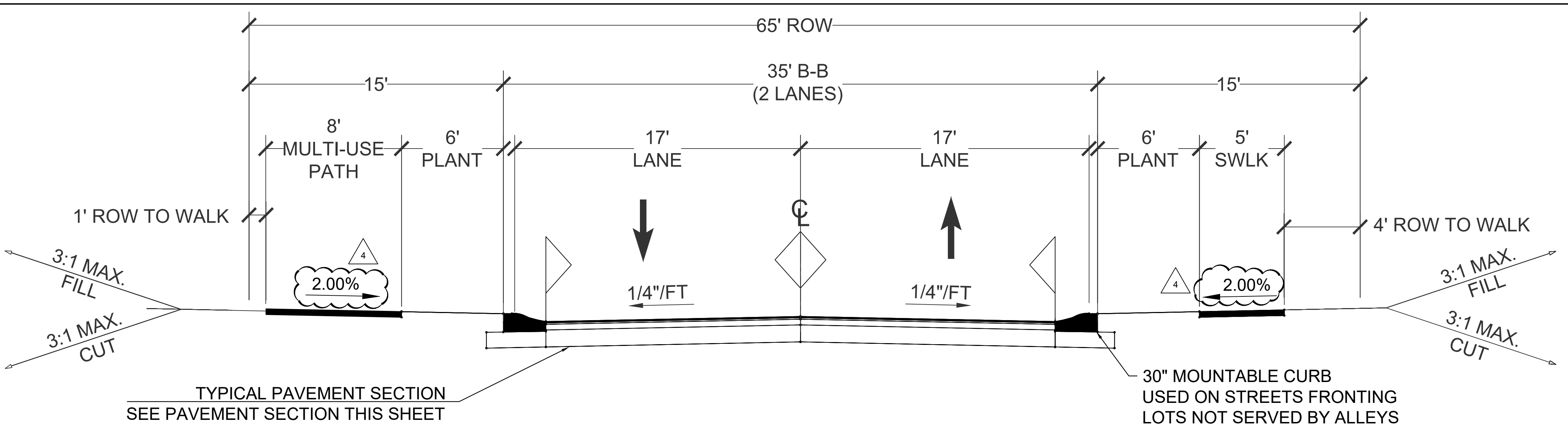
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**FORMER THALES  
 SITE**

SCALE: N.T.S.  
 Issued for:  
**PRELIMINARY PLAT**

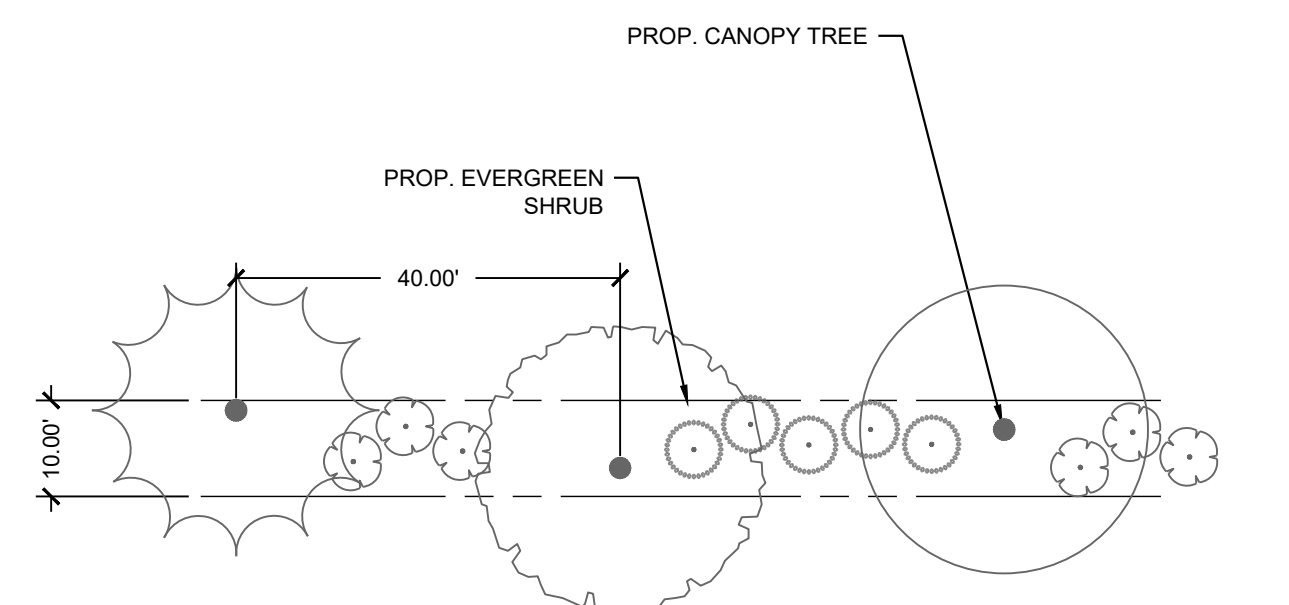
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2	12/23/2021	3RD SUBMITTAL
3	02/17/2022	4TH SUBMITTAL
4	03.31.2022	5TH SUBMITTAL

Title:  
**TYPICAL SECTIONS &  
 BUFFERS**

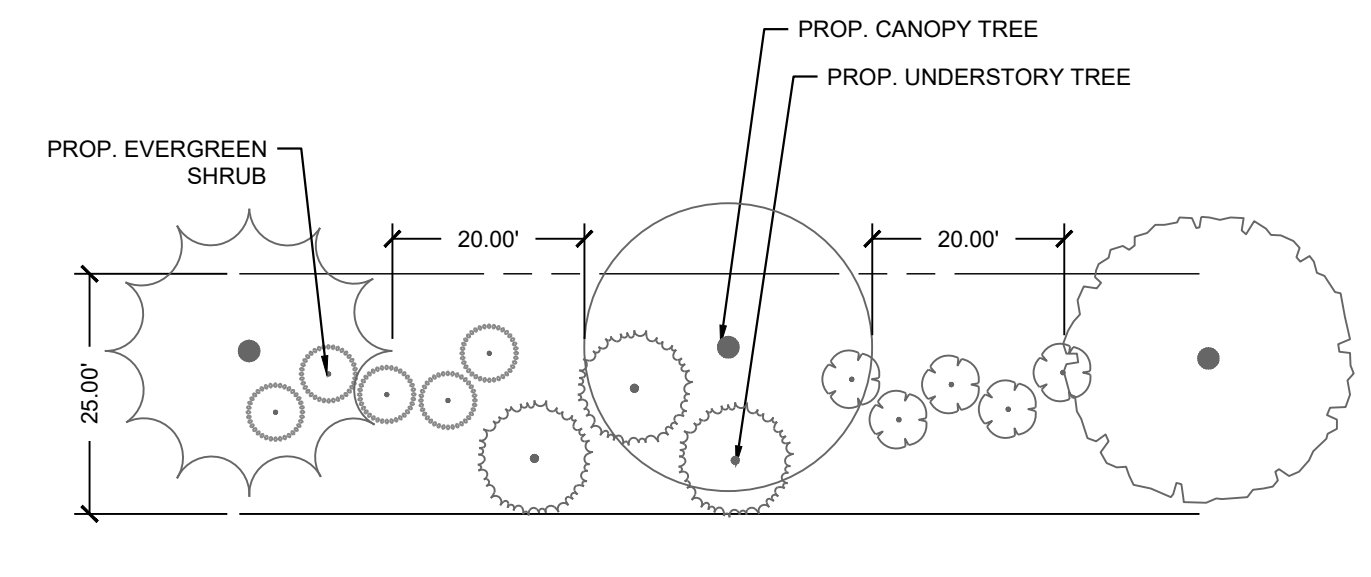
Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB  
**C0.20**



**30' STREET FRONT TYPE 'D' BUFFER (TYP.):**  
 1 DECIDUOUS OR EVERGREEN TREE / 40' OF FRONTAGE  
 50% EVERGREEN SHRUBS REQ. AT MIN. OF 3' IN HEIGHT  
 NOTE: EXISTING CANOPY TREES TO PARTIALLY FULFILL CANOPY TREE  
 REQUIREMENT WITHIN BUFFER WHERE APPLICABLE

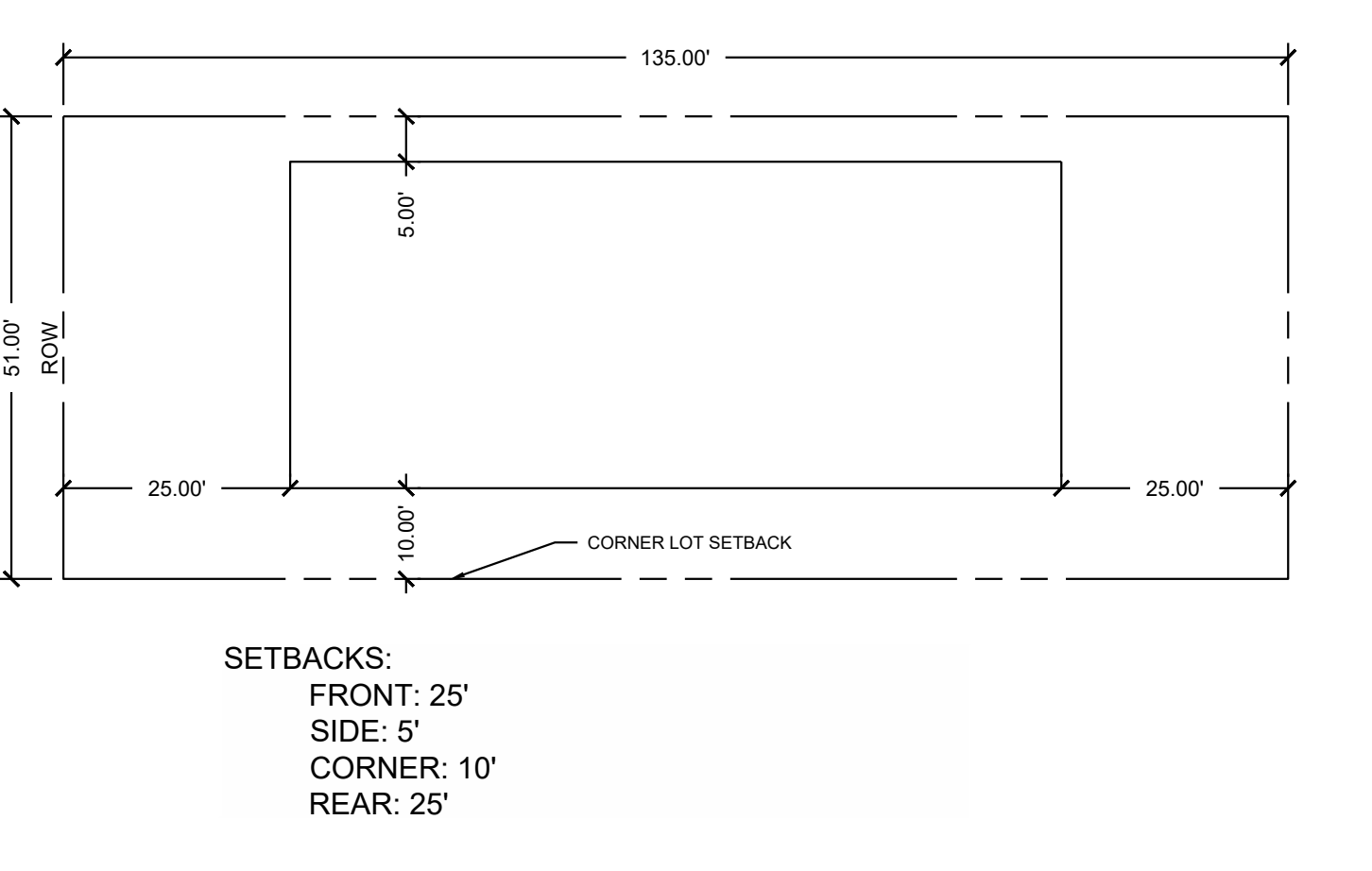


**10' STREET FRONT TYPE 'D' BUFFER (TYP.):**  
 1 DECIDUOUS OR EVERGREEN TREE / 40' OF FRONTAGE  
 50% EVERGREEN SHRUBS REQ. AT MIN. OF 3' IN HEIGHT  
 NOTE: EXISTING CANOPY TREES TO PARTIALLY FULFILL CANOPY TREE  
 REQUIREMENT WITHIN BUFFER WHERE APPLICABLE

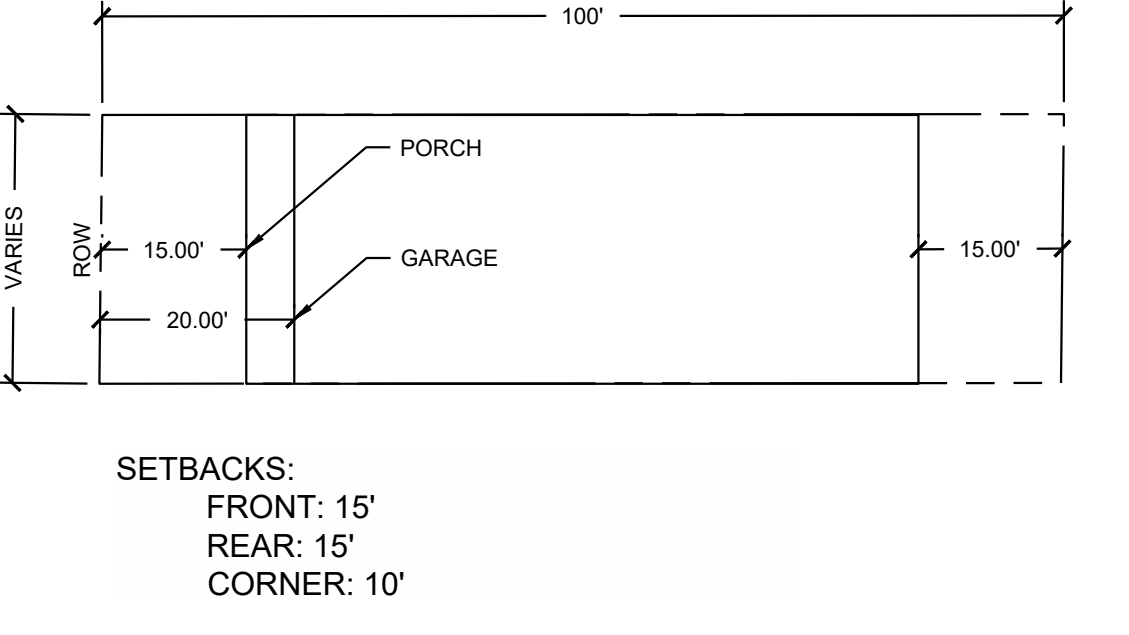


**25' TYPE 'B' BUFFER (TYP.):**  
 CANOPY TREES AT 20' MIN. HEIGHT - < 20' BETWEEN MATURE CANOPIES  
 50% EVERGREEN SHRUBS REQ. AT MIN. OF 3' IN HEIGHT  
 NOTE: EXISTING CANOPY TREES TO PARTIALLY FULFILL CANOPY TREE  
 REQUIREMENT WITHIN BUFFER WHERE APPLICABLE

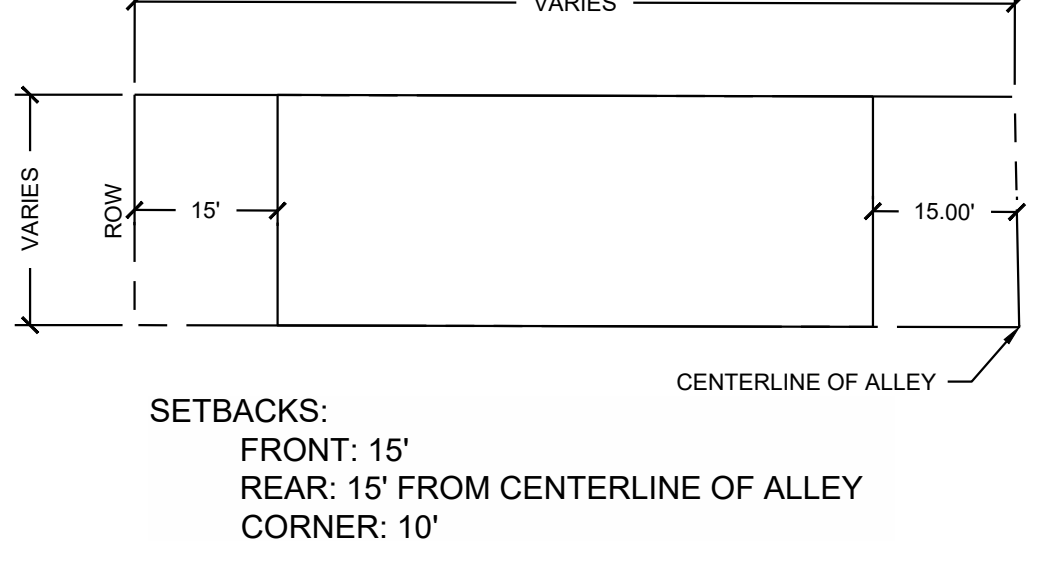
NOTE:  
 • BUFFER REQUIREMENTS SHOWN ON L1.00  
 • BUFFER LOCATIONS SHOWN ON SITE PLAN



**R1 SINGLE FAMILY  
 RESIDENTIAL LOT**

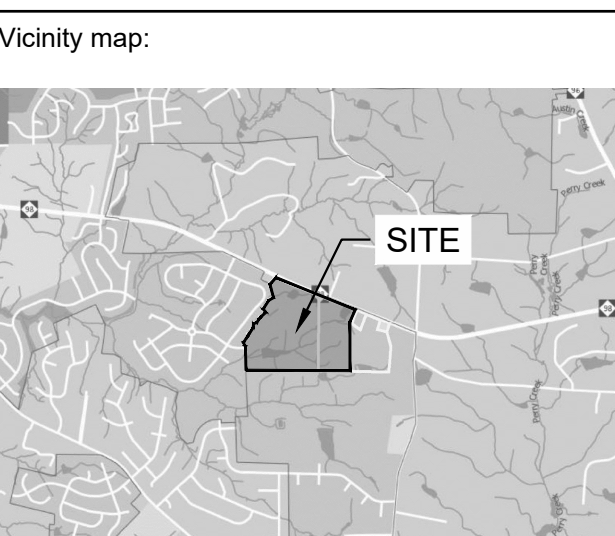


**R3 TOWNHOUSE LOT**

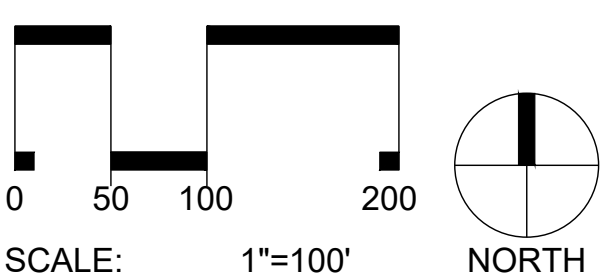


**R3 TOWNHOUSE LOT  
 REAR LOADED ALLEY**

Client:  
PULTE HOMES  
CHRIS RAUGHLLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100



Seal: PRELIMINARY - DO NOT USE FOR CONSTRUCTION



Project: **FORMER THALES SITE**

Issued for: **PRELIMINARY PLAT**

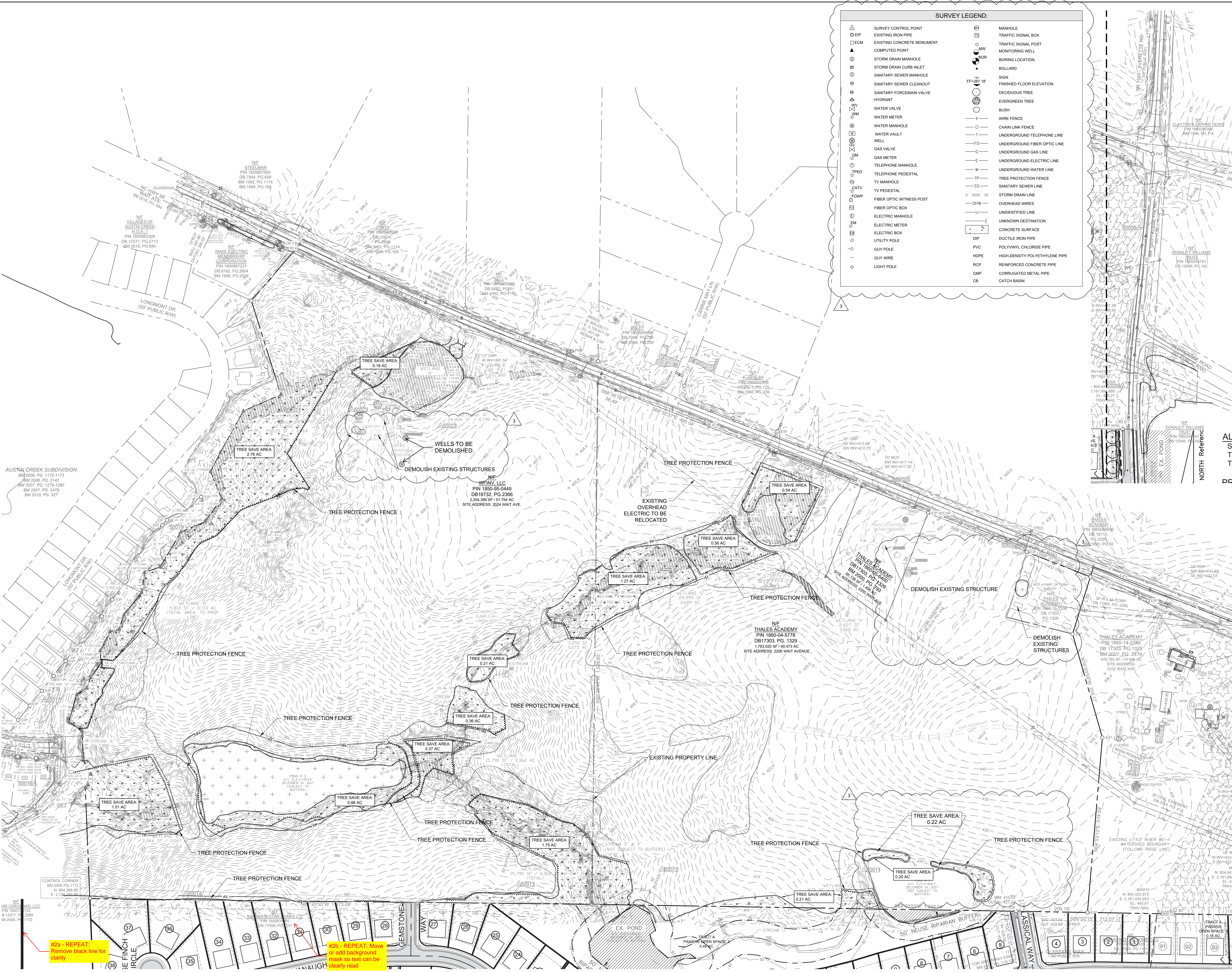
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2	12/23/2021	3RD SUBMITTAL
3	02/17/2022	4TH SUBMITTAL
4	03/31/2022	5TH SUBMITTAL

Title: **EXISTING CONDITIONS PLAN**

Project number: C19003 Sheet #: **C1.00**  
Issued Date: 12.23.2020  
Drawn by: MD  
Approved by: RGB

**SURVEY LEGEND:**

△	SURVEY CONTROL POINT	⊙	MANHOLE
○	EIP	⊠	TRAFFIC SIGNAL BOX
□	EXISTING CONCRETE MONUMENT	⊞	TRAFFIC SIGNAL POST
▲	COMPUTED POINT	⊚	MONITORING WELL
⊙	STORM DRAIN MANHOLE	⊚	BORING LOCATION
⊞	STORM DRAIN CURB INLET	⊚	BOLLARD
⊞	SANITARY SEWER MANHOLE	⊚	SIGN
⊞	SANITARY SEWER CLEANOUT	⊚	FINISHED FLOOR ELEVATION
⊞	SANITARY FORCEMAIN VALVE	⊚	DECIDUOUS TREE
⊞	HYDRANT	⊚	EVERGREEN TREE
⊞	WATER VALVE	⊚	BUSH
⊞	WATER METER	⊚	WIRE FENCE
⊞	WATER MANHOLE	⊚	CHAIN LINK FENCE
⊞	WATER VAULT	⊚	UNDERGROUND TELEPHONE LINE
⊞	WELL	⊚	UNDERGROUND FIBER OPTIC LINE
⊞	GAS VALVE	⊚	UNDERGROUND GAS LINE
⊞	GAS METER	⊚	UNDERGROUND ELECTRIC LINE
⊞	TELEPHONE MANHOLE	⊚	UNDERGROUND WATER LINE
⊞	TELEPHONE PEDESTAL	⊚	TREE PROTECTION FENCE
⊞	TV MANHOLE	⊚	SANITARY SEWER LINE
⊞	TV PEDESTAL	⊚	STORM DRAIN LINE
⊞	FIBER OPTIC WITNESS POST	⊚	OVERHEAD WIRES
⊞	FIBER OPTIC BOX	⊚	UNIDENTIFIED LINE
⊞	ELECTRIC MANHOLE	⊚	UNKNOWN DESTINATION
⊞	ELECTRIC METER	⊚	CONCRETE SURFACE
⊞	ELECTRIC BOX	⊚	DUCTILE IRON PIPE
⊞	UTILITY POLE	⊚	PVC
⊞	GUY POLE	⊚	POLYVINYL CHLORIDE PIPE
⊞	GUY WIRE	⊚	HDPE
⊞	LIGHT POLE	⊚	HIGH-DENSITY POLYETHYLENE PIPE
		⊚	RCP
		⊚	REINFORCED CONCRETE PIPE
		⊚	CMP
		⊚	CORRUGATED METAL PIPE
		⊚	CB
		⊚	CATCH BASIN

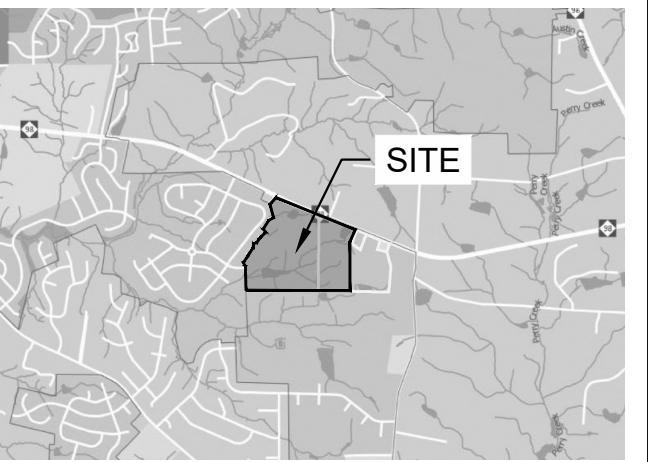


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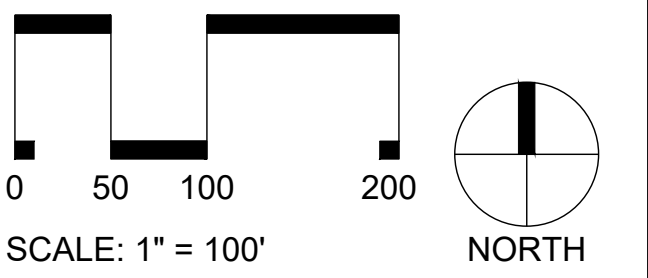
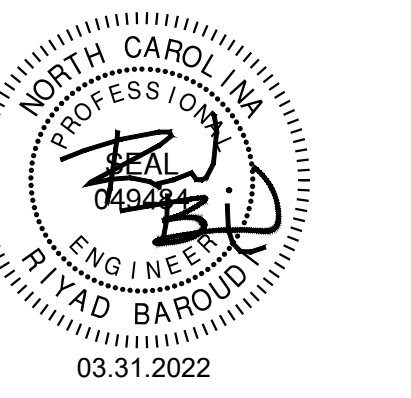
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Client:  
PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100

Vicinity map:



Seal:  
**PRELIMINARY - DO NOT USE FOR CONSTRUCTION**



Scale: 1" = 100'

Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
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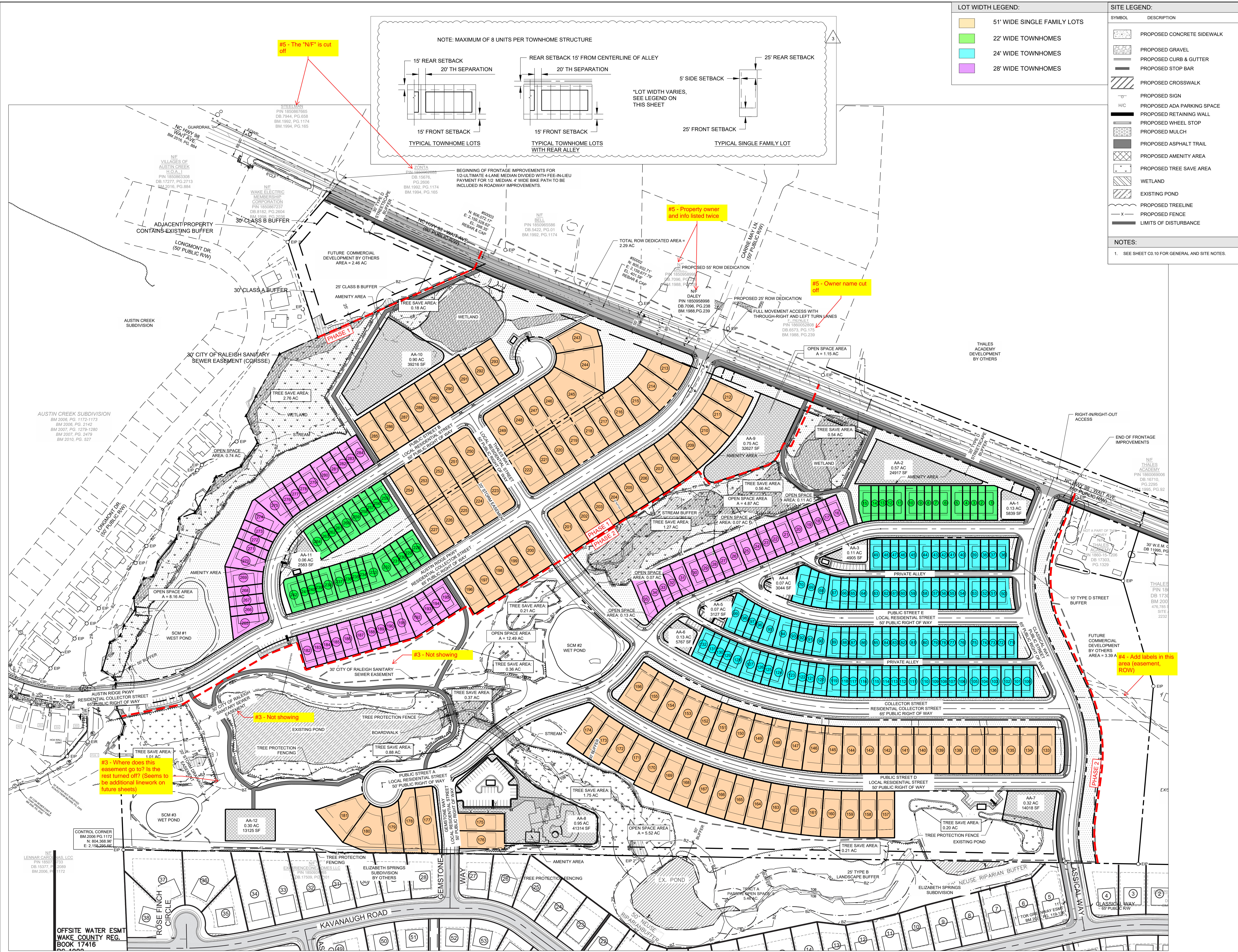
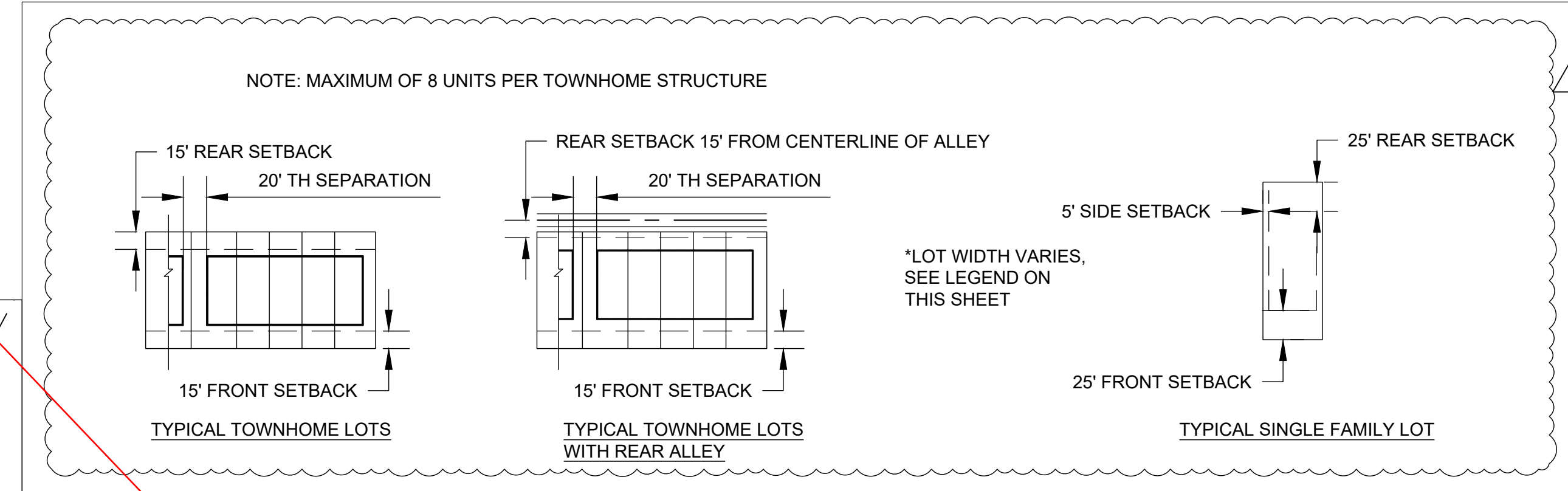
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**OVERALL SITE PLAN**

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: MD  
Approved by: RGB  
**C3.00**

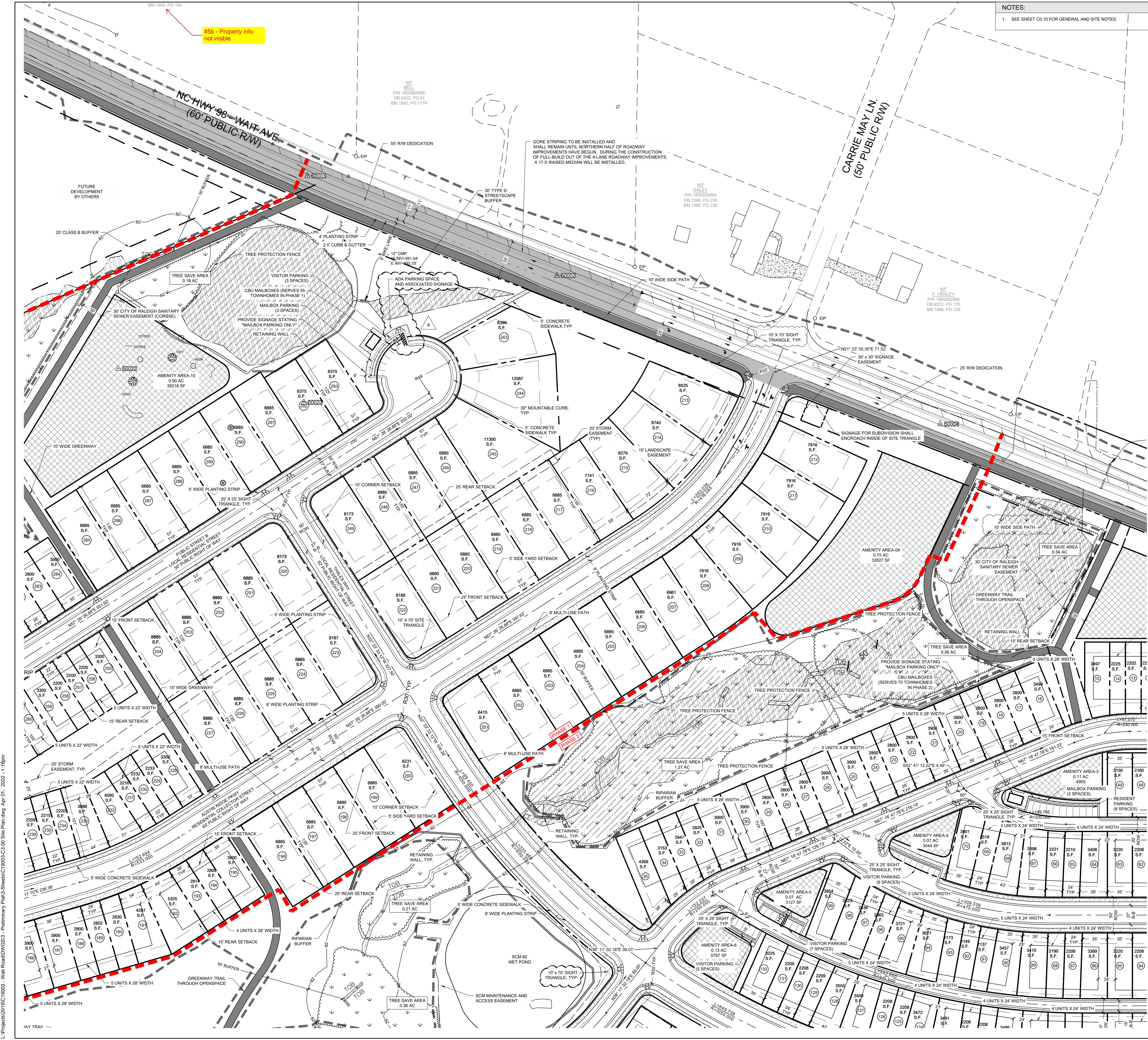
LOT WIDTH LEGEND:	
[Orange Box]	51' WIDE SINGLE FAMILY LOTS
[Green Box]	22' WIDE TOWNHOMES
[Cyan Box]	24' WIDE TOWNHOMES
[Purple Box]	28' WIDE TOWNHOMES

SITE LEGEND:	
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED GRAVEL
[Symbol]	PROPOSED CURB & GUTTER
[Symbol]	PROPOSED STOP BAR
[Symbol]	PROPOSED CROSSWALK
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED ADA PARKING SPACE
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED WHEEL STOP
[Symbol]	PROPOSED MULCH
[Symbol]	PROPOSED ASPHALT TRAIL
[Symbol]	PROPOSED AMENITY AREA
[Symbol]	PROPOSED TREE SAVE AREA
[Symbol]	WETLAND
[Symbol]	EXISTING POND
[Symbol]	PROPOSED TREETRINE
[Symbol]	PROPOSED FENCE
[Symbol]	LIMITS OF DISTURBANCE

NOTES:  
1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.



L:\Projects\2019\C19003 - Wake Road\DWGS\3 - Preliminary Plat\C19003-C3.00 Site Planning Mar 31, 2022 - 9:20pm



#5b - Property info not visible

GORE STRIPING TO BE INSTALLED AND SHALL REMAIN UNTIL NORTHERN HALF OF ROADWAY IMPROVEMENTS HAVE BEGUN. DURING THE CONSTRUCTION OF FULL-BUILD OUT OF THE 4-LANE ROADWAY IMPROVEMENTS, A 17.5' RAISED MEDIAN WILL BE INSTALLED.

NOTES:  
1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

**SITE LEGEND:**

SYMBOL	DESCRIPTION
[Pattern]	PROPOSED CONCRETE SIDEWALK
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED CURB & GUTTER
[Pattern]	PROPOSED STOP BAR
[Pattern]	PROPOSED CROSSWALK
[Symbol]	PROPOSED SIGN
[Pattern]	PROPOSED ADA PARKING SPACE
[Pattern]	PROPOSED RETAINING WALL
[Pattern]	PROPOSED WHEEL STOP
[Pattern]	PROPOSED MULCH
[Pattern]	PROPOSED ASPHALT TRAIL
[Pattern]	PROPOSED AMENITY AREA
[Pattern]	PROPOSED TREE SAVE AREA
[Pattern]	WETLAND
[Pattern]	EXISTING POND
[Symbol]	PROPOSED TRELINNE
[Symbol]	PROPOSED FENCE
[Symbol]	LIMITS OF DISTURBANCE

NOTE: REFER TO SHEETS C3.10 & C3.11 FOR FULL PAVEMENT MARKING AND SIGNAGE PLAN.

**STEWART**  
223 S. WEST ST., #1100 FIRM LICENSE # C-1051  
RALEIGH, NC 27603 www.stewartinc.com  
1.919.380.8750 PROJECT # C19003

Client:  
PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919) 616-1100



Seal:  
**PRELIMINARY - DO NOT USE FOR CONSTRUCTION**

Scale:  
0 25 50 100  
SCALE: 1" = 50'

Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

No. Date Description

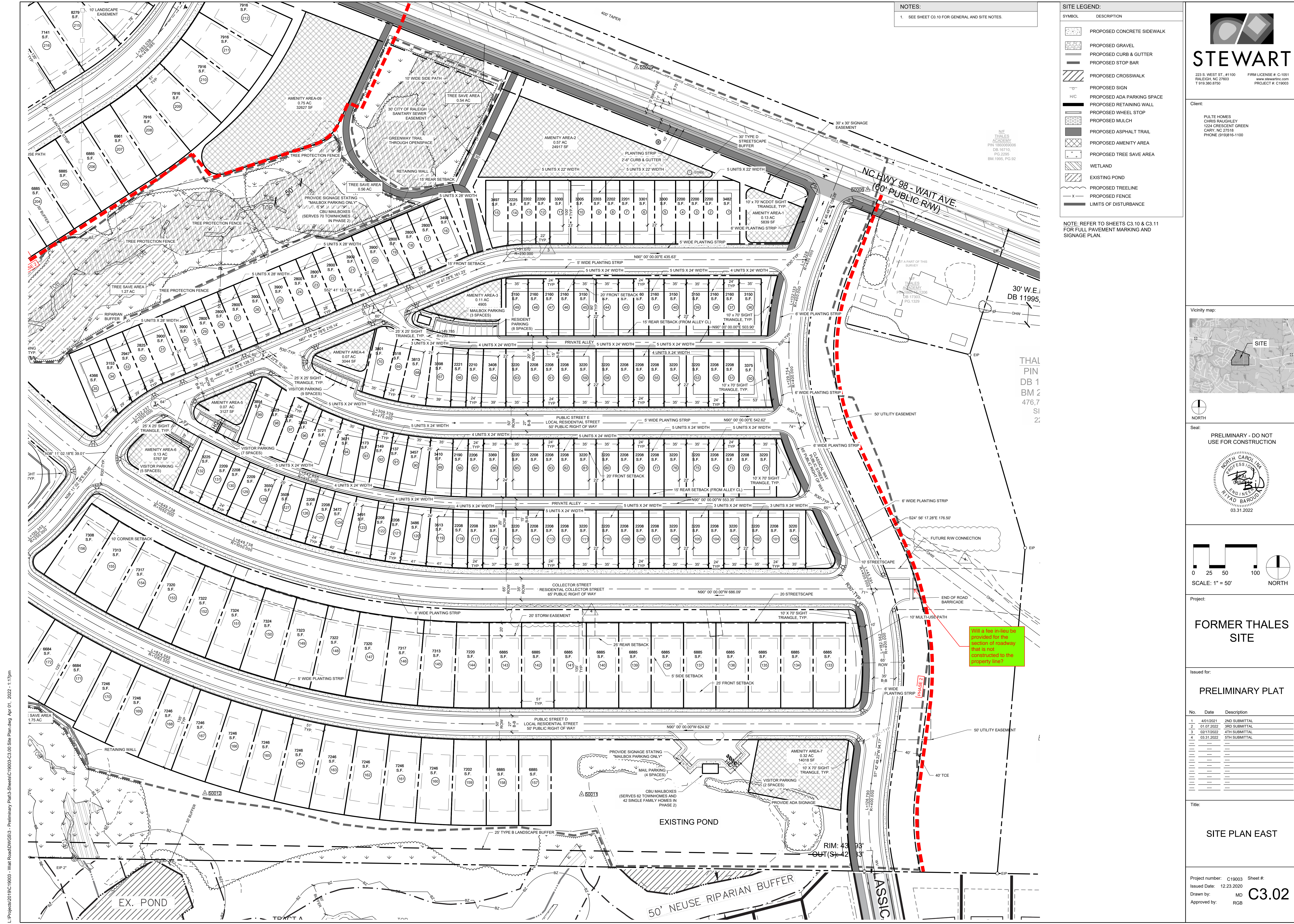
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	02/17/2022	4TH SUBMITTAL
4	03.31.2022	5TH SUBMITTAL

Title:  
**SITE PLAN NORTHWEST**

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: MD  
Approved by: RGB

**C3.01**

L:\Projects\2019\C19003 - West Road\DWGS\S - Preliminary Plat\Sheets\C19003-C3.00 Site Plan.dwg Apr 01, 2022 - 1:16pm



**NOTES:**  
1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

**SITE LEGEND:**

SYMBOL	DESCRIPTION
[Pattern]	PROPOSED CONCRETE SIDEWALK
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED CURB & GUTTER
[Pattern]	PROPOSED STOP BAR
[Pattern]	PROPOSED CROSSWALK
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED ADA PARKING SPACE
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED WHEEL STOP
[Symbol]	PROPOSED MULCH
[Symbol]	PROPOSED ASPHALT TRAIL
[Symbol]	PROPOSED AMENITY AREA
[Symbol]	PROPOSED TREE SAVE AREA
[Symbol]	WETLAND
[Symbol]	EXISTING POND
[Symbol]	PROPOSED TREELINE
[Symbol]	PROPOSED FENCE
[Symbol]	LIMITS OF DISTURBANCE

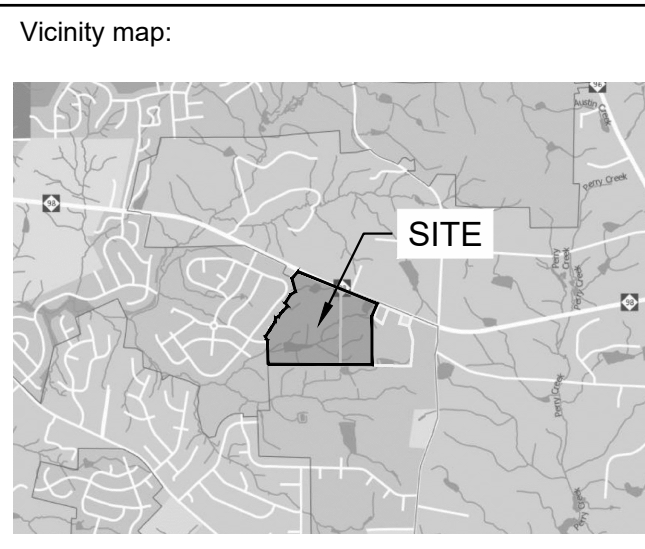
NOTE: REFER TO SHEETS C3.10 & C3.11 FOR FULL PAVEMENT MARKING AND SIGNAGE PLAN.

**STEWART**  
223 S. WEST ST., #1100  
RALEIGH, NC 27603  
FIRM LICENSE # C-1051  
www.stewartinc.com  
PROJECT # C19003

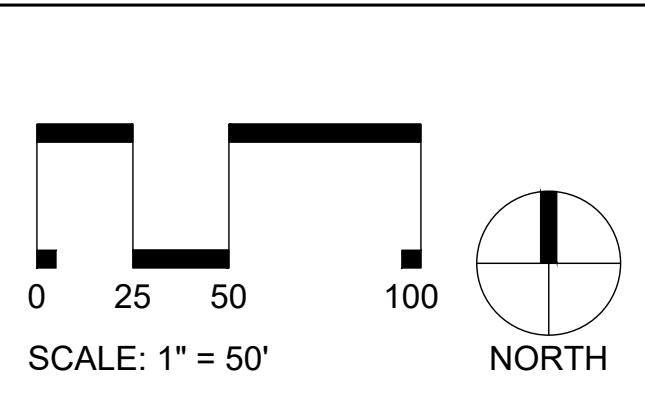
Client:  
PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100

NE THALES ACADEMY  
PIN 176009008  
DB 10710,  
PG.2285  
BM.1995, PG.92

30' W.E.I.  
DB 11995,  
OHW



Seal:  
PRELIMINARY - DO NOT USE FOR CONSTRUCTION  
NORTH CAROLINA PROFESSIONAL ENGINEER  
RITAD BARBOUR  
03.31.2022



Project:  
**FORMER THALES SITE**

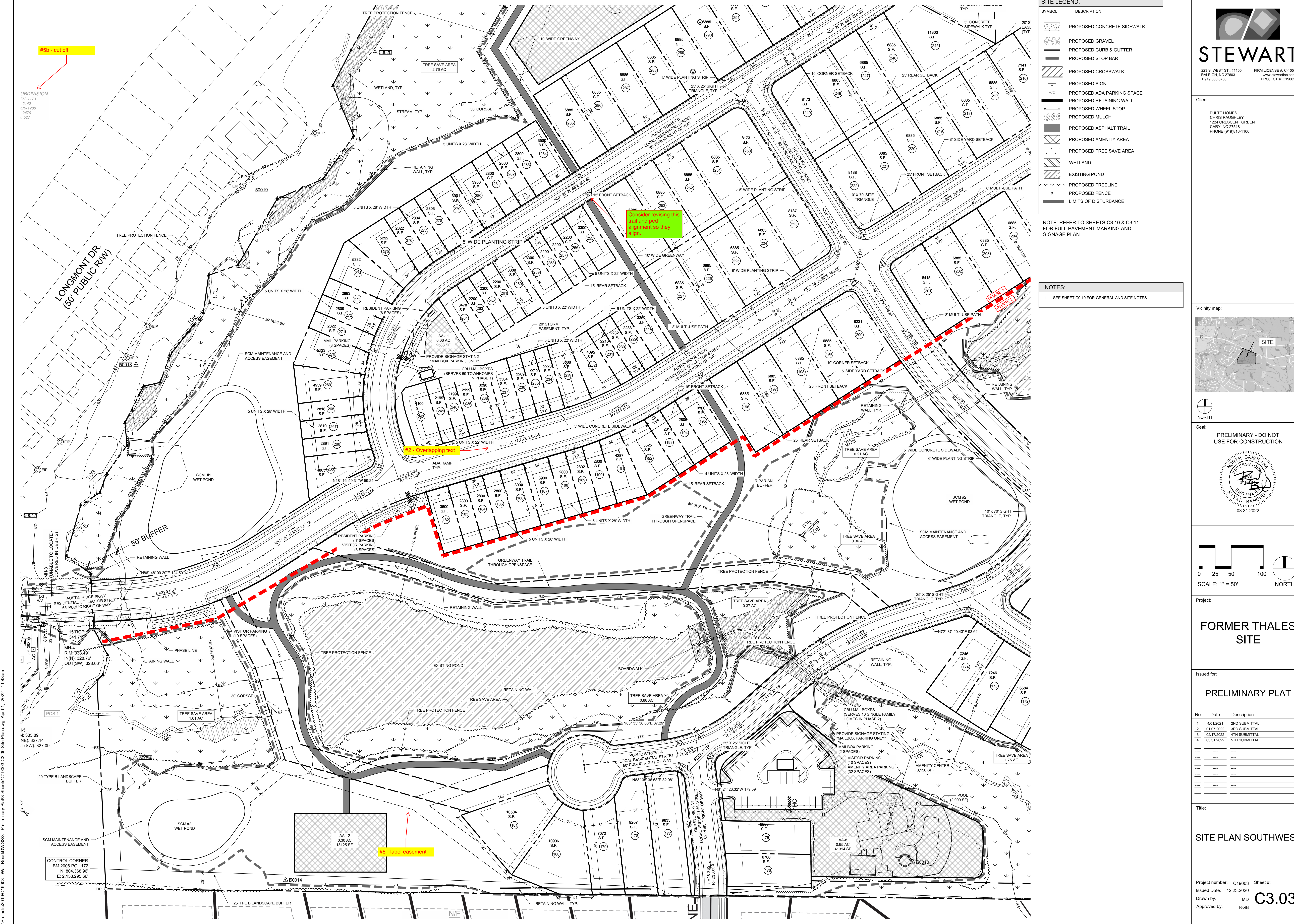
Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	01/07/2022	3RD SUBMITTAL
3	02/17/2022	4TH SUBMITTAL
4	03/31/2022	5TH SUBMITTAL
5		
6		
7		
8		
9		
10		

Title:  
**SITE PLAN EAST**

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: MD  
Approved by: RGB  
**C3.02**

L:\Projects\2019\C19003 - Wait Road\DWG\CS3 - Preliminary Plat\CS3-SitePlan\CS3.02 Site Plan.dwg Apr 01, 2022 - 1:17pm



#5b - cut off

UBDIVISION  
172-1173  
2140  
279-1280  
2479  
1-327

LONGMONT DR.  
(50' PUBLIC R/W)

#2 - Overlapping text

consider revising the trail and paved alignment so they align

#6 - label easement

**SITE LEGEND:**

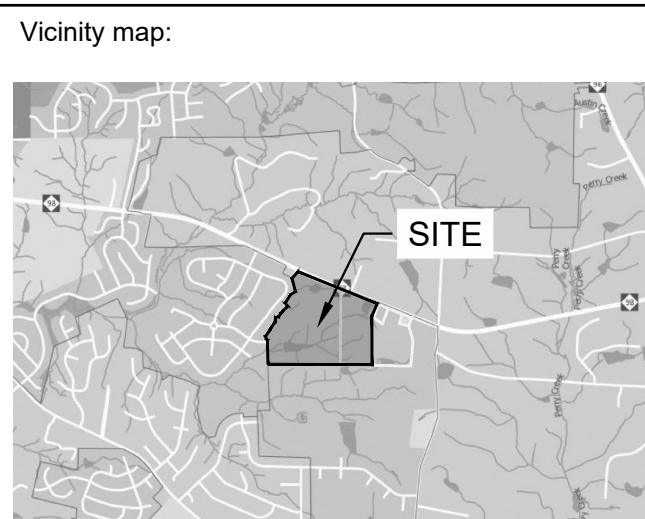
SYMBOL	DESCRIPTION
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED GRAVEL
[Symbol]	PROPOSED CURB & GUTTER
[Symbol]	PROPOSED STOP BAR
[Symbol]	PROPOSED CROSSWALK
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED ADA PARKING SPACE
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED WHEEL STOP
[Symbol]	PROPOSED MULCH
[Symbol]	PROPOSED ASPHALT TRAIL
[Symbol]	PROPOSED AMENITY AREA
[Symbol]	PROPOSED TREE SAVE AREA
[Symbol]	WETLAND
[Symbol]	EXISTING POND
[Symbol]	PROPOSED TRELINE
[Symbol]	PROPOSED FENCE
[Symbol]	LIMITS OF DISTURBANCE

NOTE: REFER TO SHEETS C3.10 & C3.11 FOR FULL PAVEMENT MARKING AND SIGNAGE PLAN.

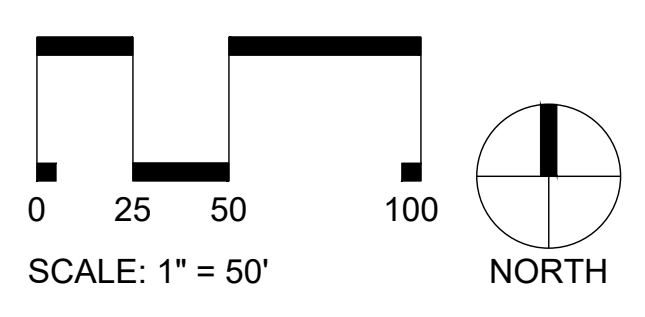
**NOTES:**  
1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.



Client:  
PULTE HOMES  
CHRIS RAUGHLY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)616-1100



Seal:  
PRELIMINARY - DO NOT USE FOR CONSTRUCTION



Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1.	4/01/2021	2ND SUBMITTAL
2.	01/07/2022	3RD SUBMITTAL
3.	02/17/2022	4TH SUBMITTAL
4.	03/31/2022	5TH SUBMITTAL

Title:  
**SITE PLAN SOUTHWEST**

Project number: C19003 Sheet #: C3.03  
 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB

L:\Projects\2019\19003 - West Road\DWG\3.03 - Preliminary Plat\3-Sheets\C19003-C3.03 Site Plan.dwg Apr 01, 2022 - 11:43am







# STEWART

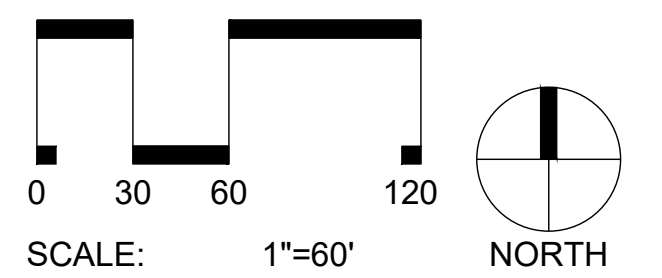
223 S. WEST ST., #1100 FIRM LICENSE #: C-1051  
RALEIGH, NC 27603 www.stewartinc.com  
T 919.380.8750 PROJECT #: C19003

Client:  
PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (619)816-1100

Vicinity map:



Seal:  
PRELIMINARY - DO NOT  
USE FOR CONSTRUCTION



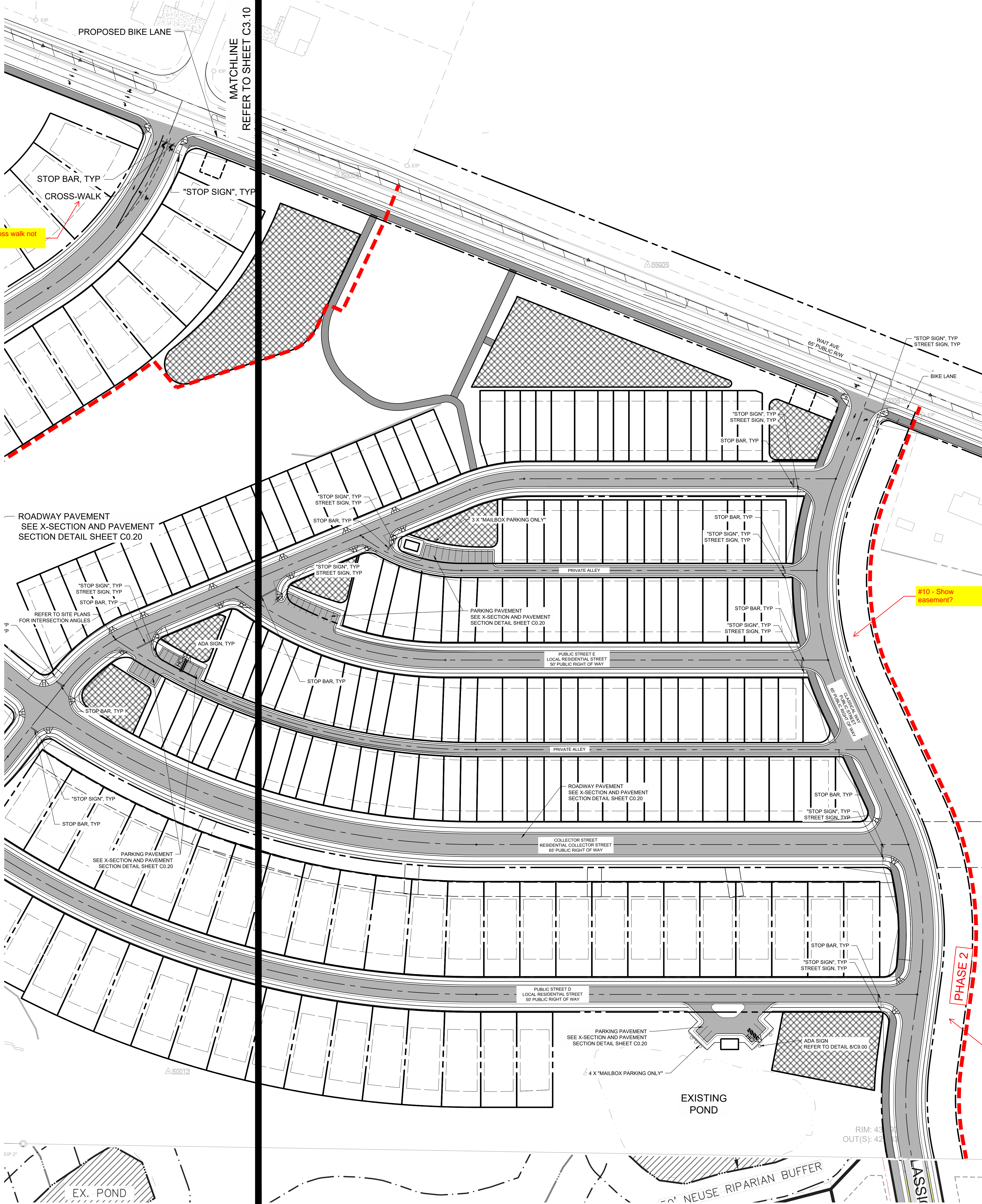
Project:  
**FORMER THALES  
SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

Title:  
**PAVEMENT AND  
SIGNAGE PLAN**

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: RB **C3.11**  
Approved by: RGB



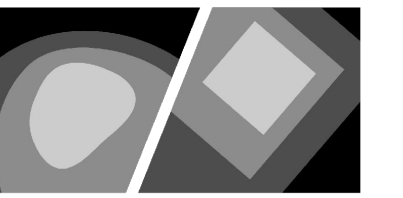
#7a - cross walk not showing

#10 - Show easement?

#9 - REPEAT: Line for 4th submittal is not showing

#10 - Show easement?

L:\Project\2019\C19003 - Weil Road\DWGS\1 - Preliminary Plat\15-Sheets\C19003-C3.10-Pavement and Signage.dwg Mar 31, 2022 - 9:22am



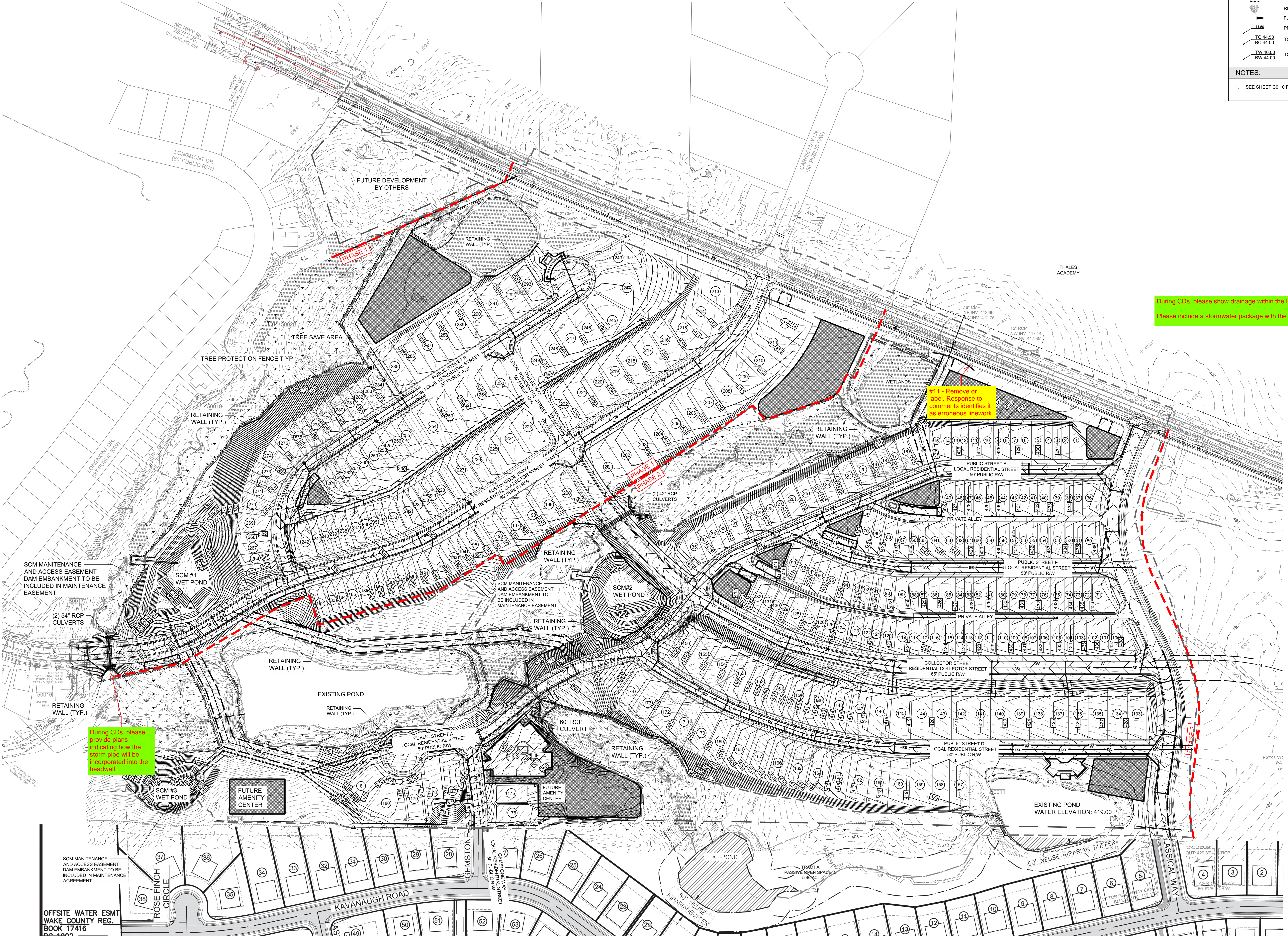
**STEWART**

223 S. WEST ST., #1100 FIRM LICENSE # C-1051  
RALEIGH, NC 27603 www.stewartinc.com PROJECT # C19003  
T 919.380.8750

Client:  
PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100

GRADING LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
	LIMITS OF DISTURBANCE	N/A
	PROPOSED MAJOR CONTOUR	N/A
	PROPOSED MINOR CONTOUR	N/A
	EXISTING MAJOR CONTOUR	N/A
	EXISTING MINOR CONTOUR	N/A
	PROPOSED STORM DRAINAGE	#/CA.XX
	PROPOSED JUNCTION BOX	#/CA.XX
	PROPOSED CATCH BASIN	#/CA.XX
	PROPOSED AREA DRAIN	#/CA.XX
	RIPRAP DISSIPATOR	#/CA.XX
	FLOW DIRECTION	N/A
	PROPOSED ELEVATION	N/A
	TOP/BOTTOM OF CURB	N/A
	TOP/BOTTOM OF WALL	N/A

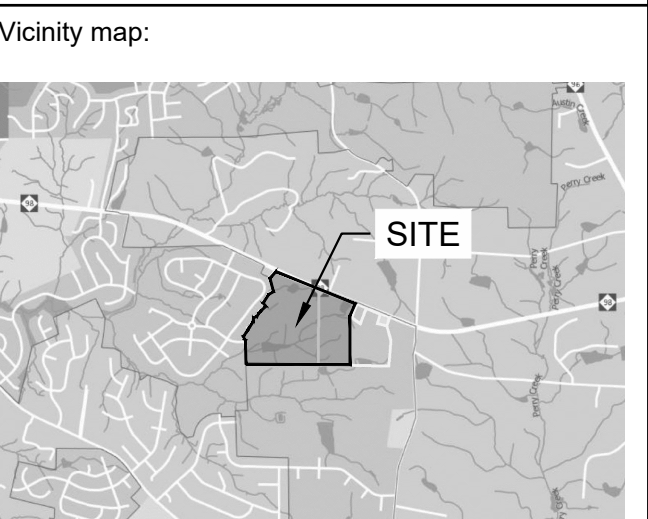
NOTES:  
1. SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.



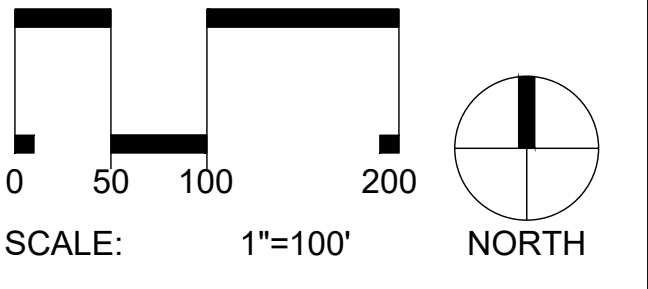
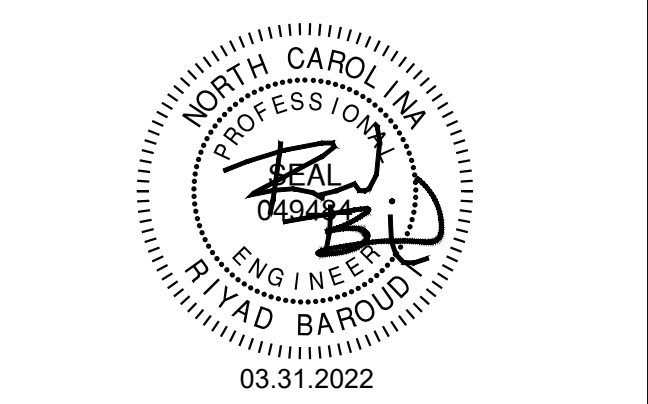
During CDs, please show drainage within the ROW.  
Please include a stormwater package with the CDs.

111 - Remove of label. Response to comments identifies it as erroneous linework.

During CDs, please provide plans indicating how the storm pipe will be incorporated into the headwall.



Seal:  
PRELIMINARY - DO NOT USE FOR CONSTRUCTION



Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
4	03.31.2022	5TH SUBMITTAL

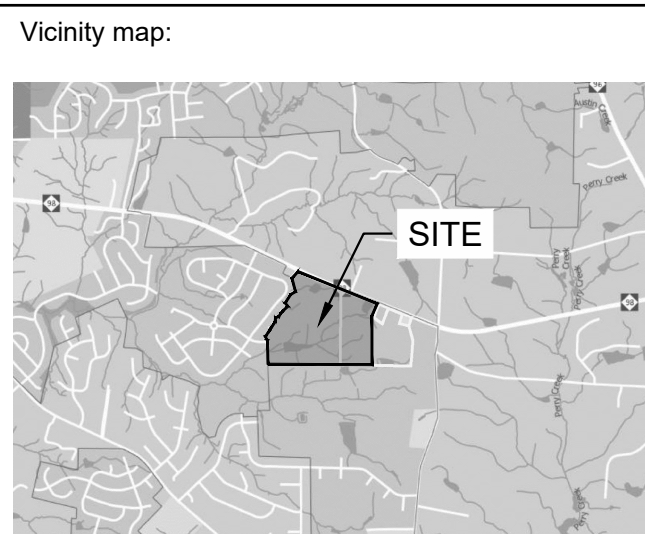
Title:  
**GRADING & STORM DRAINAGE PLAN OVERALL**

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: JP  
Approved by: RGB  
**C5.00**

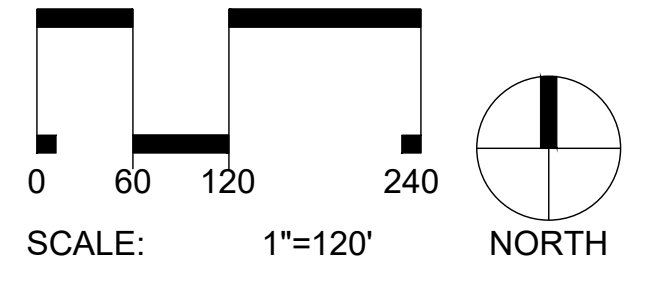
L:\Projects\2019\C19003 - Vail Road\DWG\CS-3 - Preliminary Plat\CS-Sheets\C19003-CS-00 Grading & Storm Drainage Plan.dwg Mar 31, 2022 - 9:23am

Client:  
 PULTE HOMES  
 CHRIS RAUGHLLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100

NOTES:  
 1. SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.



Seal:  
 PRELIMINARY - DO NOT  
 USE FOR CONSTRUCTION



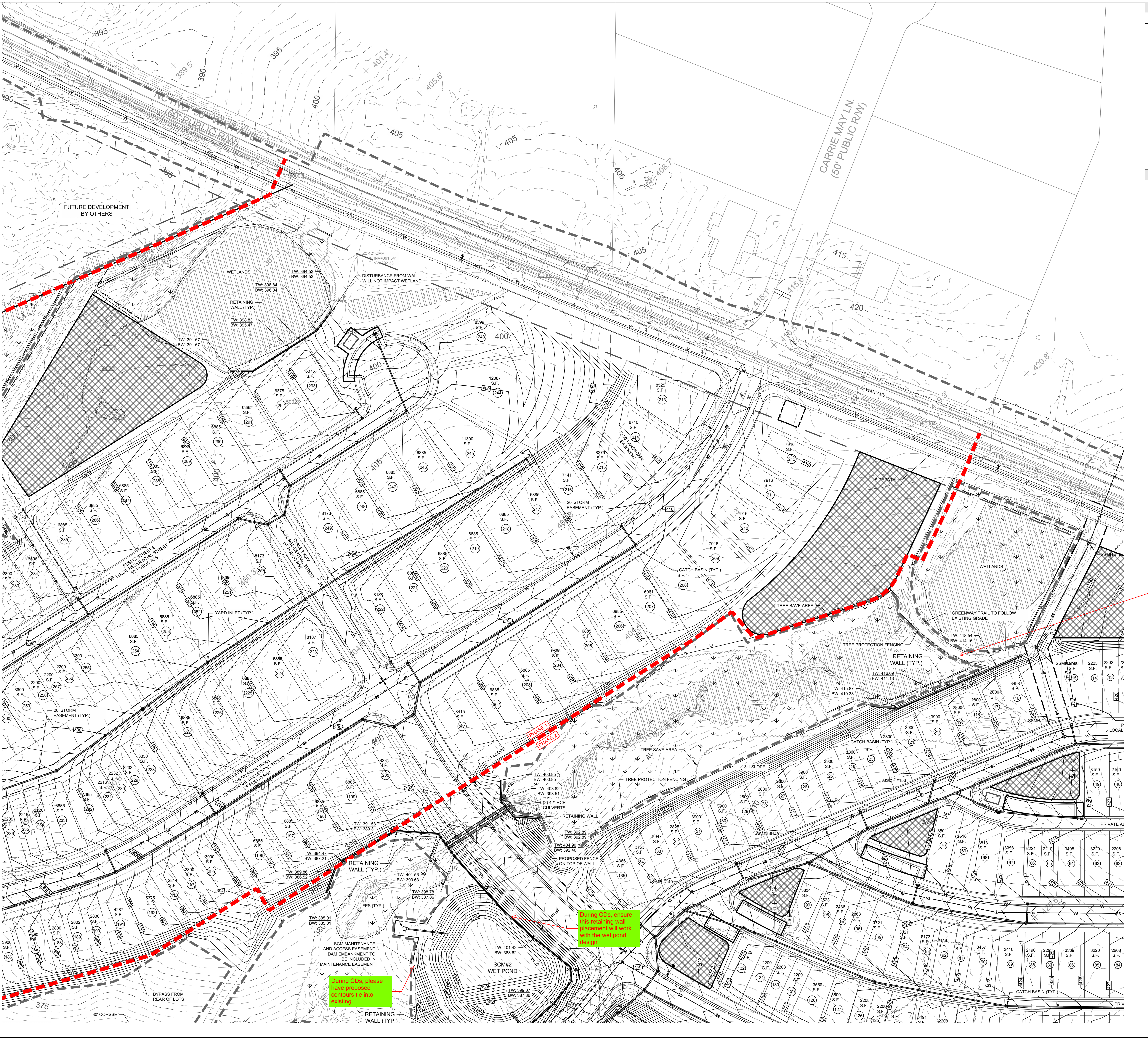
Project:  
**FORMER THALES  
 SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

Title:  
**GRADING AND  
 DRAINAGE PLAN  
 NORTHWEST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: JP  
 Approved by: RGB  
**C5.01**

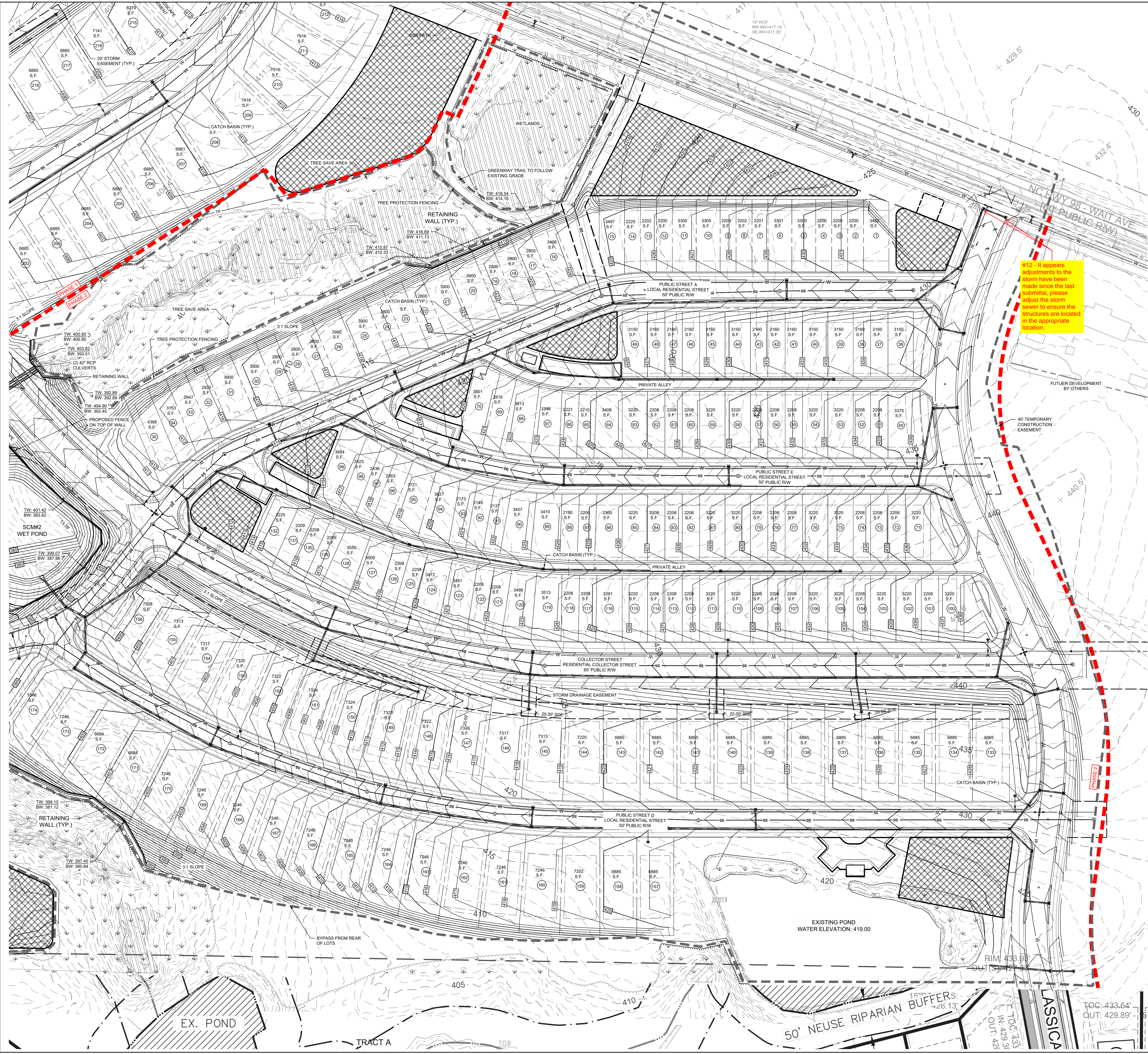


For CD's, please make sure appropriate measures to protect wetlands are taken for the construction of the greenway trail.

During CD's, ensure this retaining wall placement will work with the wet pond design.

During CD's, please have proposed contours tie into existing.

L:\Projects\2019\C19003 - Wait Road\DWG\C5.01 - Preliminary Plat\3-Sheets\C19003-C5.00 Grading & Storm Drainage Plan.dwg Apr 01, 2022 - 11:45am



GRADING LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
---	LIMITS OF DISTURBANCE	N/A
---	PROPOSED MAJOR CONTOUR	N/A
---	PROPOSED MINOR CONTOUR	N/A
---	EXISTING MAJOR CONTOUR	N/A
---	EXISTING MINOR CONTOUR	N/A
---	PROPOSED STORM DRAINAGE	#C3.XX
⊕	PROPOSED JUNCTION BOX	#C3.XX
⊕	PROPOSED CATCH BASIN	#C3.XX
⊕	PROPOSED AREA DRAIN	#C3.XX
⊕	RIPRAP DISSIPATOR	#C3.XX
→	FLOW DIRECTION	N/A
44.50	PROPOSED ELEVATION	N/A
BC 44.00	TOP/BOTTOM OF CURB	N/A
TW 44.00	TOP/BOTTOM OF WALL	N/A

NOTES:  
1. SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

**STEWART**  
223 S. WEST ST., #1100  
RALEIGH, NC 27603  
T 919.380.8750

FIRM LICENSE # C-1051  
www.stewartinc.com  
PROJECT # C19003

Client:  
PULTE HOMES  
CHRIS RAUGHLY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100

Vicinity map:  
SITE

Seal:  
**PRELIMINARY - DO NOT USE FOR CONSTRUCTION**

SCALE: 1"=120'  
NORTH

Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

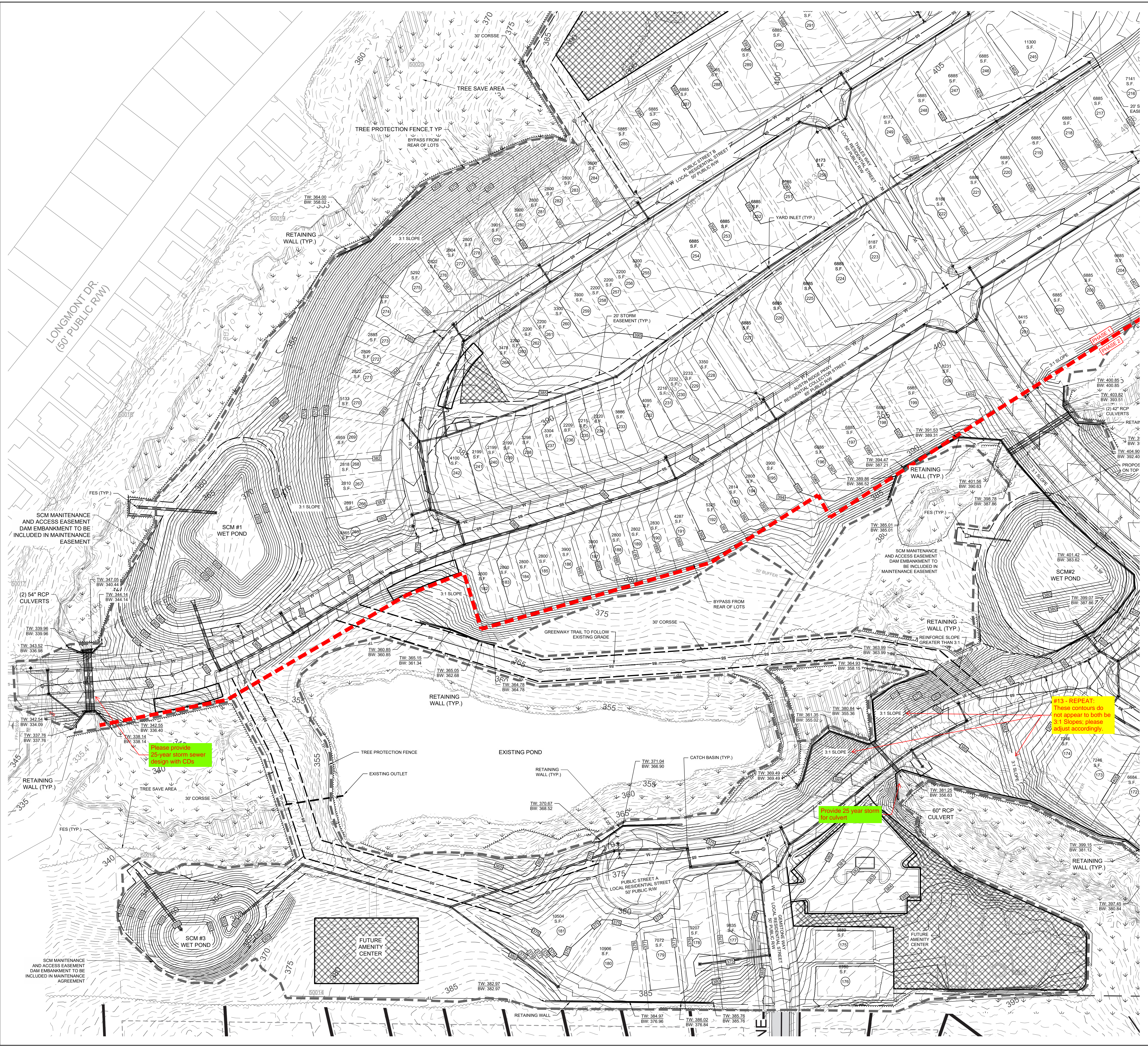
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
4	03.31.2022	5TH SUBMITTAL

Title:  
**GRADING AND DRAINAGE PLAN EAST**

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: J.P. **C5.02**  
Approved by: RGB

L:\Projects\2019\C19003 - Wait Road\DWG\C5.00 Grading & Storm Drainage\Plan.dwg Apr 01, 2022 - 11:45am

L:\Projects\2019\201903 - West Road\DWG\CS-3 - Preliminary Plat\3-Sheets\C19003-CS-00 Grading & Storm Drainage Plan.dwg Apr 01, 2022 - 11:45am



**GRADING LEGEND:**

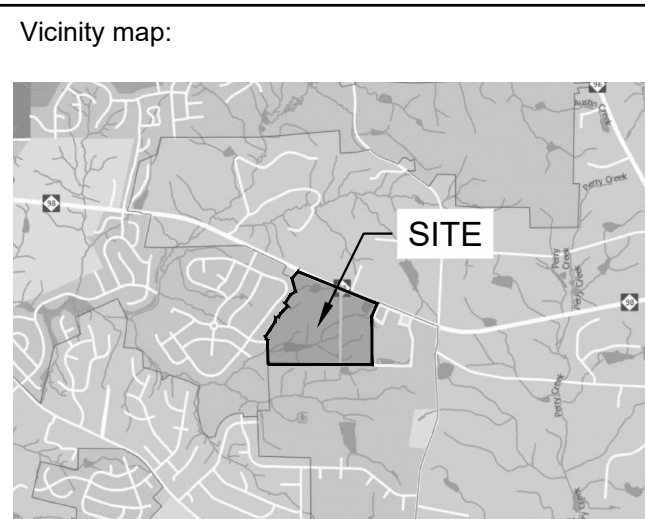
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[Symbol]	LIMITS OF DISTURBANCE	N/A
[Symbol]	PROPOSED MAJOR CONTOUR	N/A
[Symbol]	PROPOSED MINOR CONTOUR	N/A
[Symbol]	EXISTING MAJOR CONTOUR	N/A
[Symbol]	EXISTING MINOR CONTOUR	N/A
[Symbol]	PROPOSED STORM DRAINAGE	#/CA/XX
[Symbol]	PROPOSED JUNCTION BOX	#/CA/XX
[Symbol]	PROPOSED CATCH BASIN	#/CA/XX
[Symbol]	PROPOSED AREA DRAIN	#/CA/XX
[Symbol]	RIPRAP DISSIPATOR	#/CA/XX
[Symbol]	FLOW DIRECTION	N/A
[Symbol]	PROPOSED ELEVATION	N/A
[Symbol]	TOP/BOTTOM OF CURB	N/A
[Symbol]	TOP/BOTTOM OF WALL	N/A

**NOTES:**

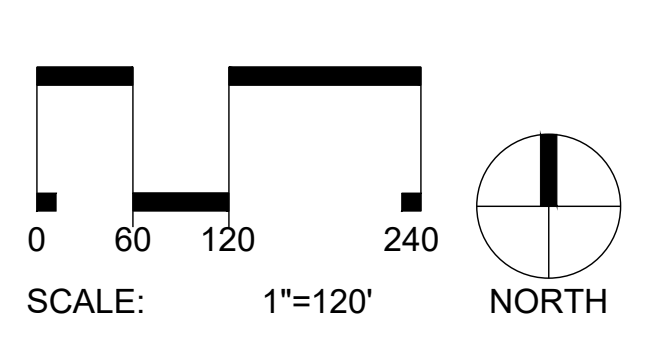
- SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

**STEWART**  
 223 S. WEST ST., #1100  
 RALEIGH, NC 27603  
 T 919.380.8750  
 FIRM LICENSE #: C-1051  
 www.stewartinc.com  
 PROJECT #: C19003

Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



Seal:  
**PRELIMINARY - DO NOT USE FOR CONSTRUCTION**



Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

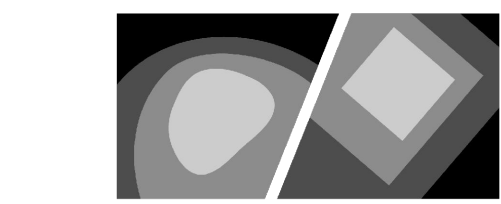
Title:  
**GRADING AND DRAINAGE PLAN  
 SOUTHWEST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: J.P. **C5.03**  
 Approved by: RGB

Please provide 25-year storm sewer design with CDs

Please provide 25-year storm sewer design

#13 - REPEAT: These contours do not appear to both be 3:1 Slopes; please adjust accordingly



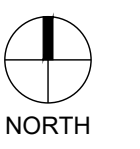
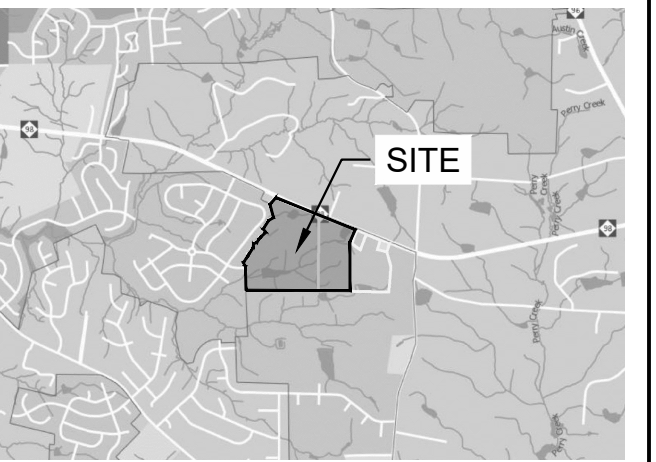
**STEWART**  
ENGINEERING

223 S. WEST ST., #1100  
RALEIGH, NC 27603  
FIRM LICENSE # C-1051  
www.stewarteng.com  
PROJECT # C19003

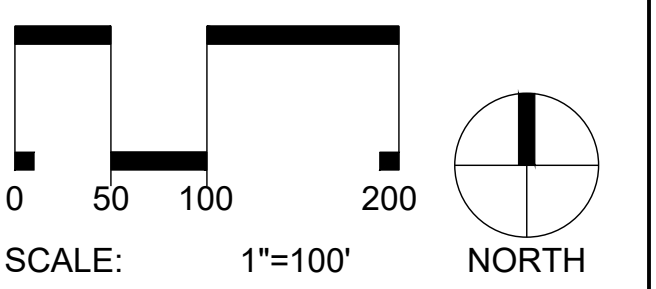
Client:

PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (619)816-1100

Vicinity map:



Seal:  
PRELIMINARY - DO NOT  
USE FOR CONSTRUCTION



Project:  
**FORMER THALES  
SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

Title:  
**UTILITIES PLAN  
OVERALL**

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: MD  
Approved by: RRB  
**C6.00**

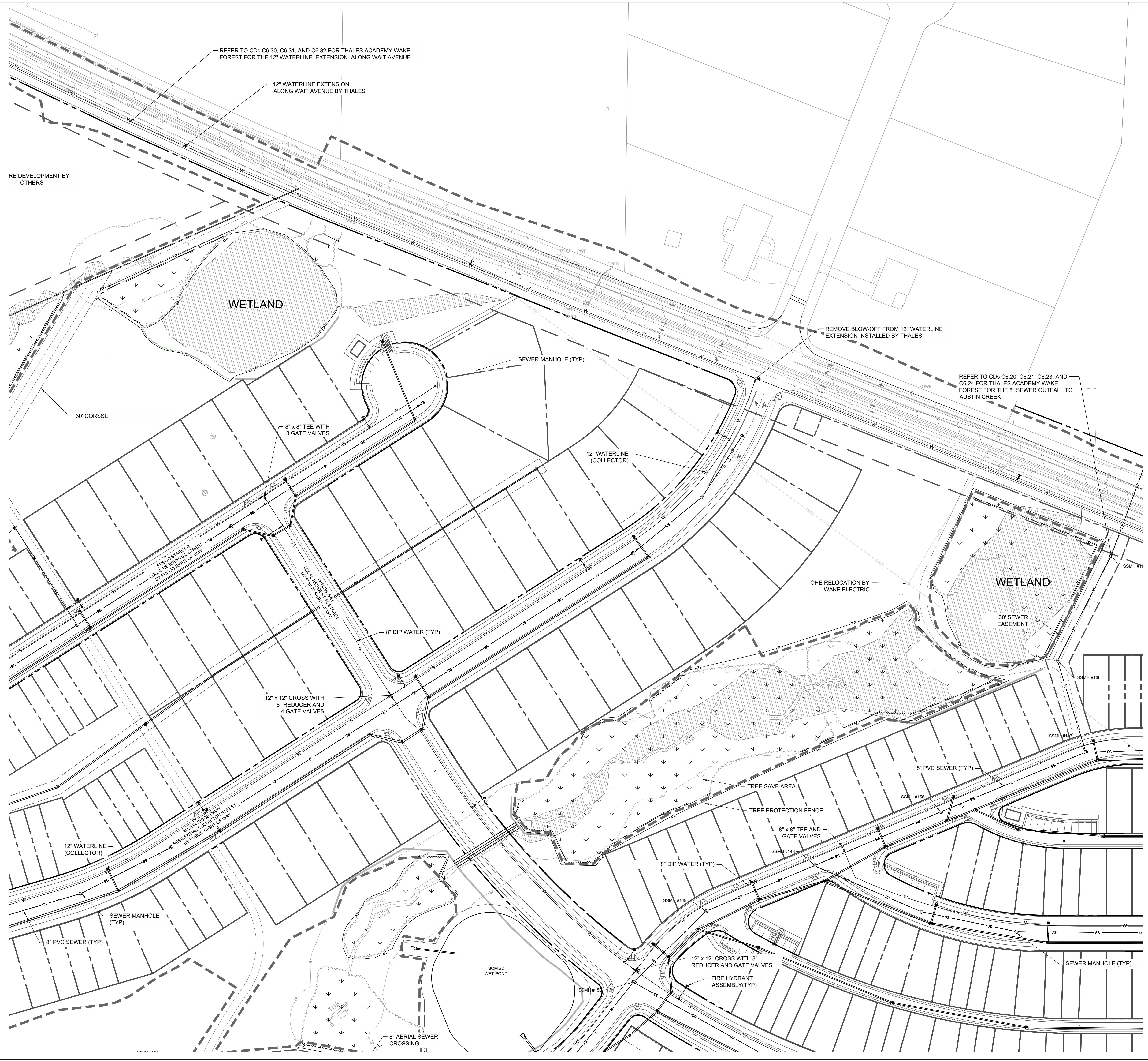
SYMBOL	DESCRIPTION	DETAIL REFERENCE
— W —	EXISTING WATER LINE	N/A
— W —	PROPOSED WATER LINE	#C9.XX
— SS —	EXISTING SANITARY SEWER LINE	N/A
— SS —	PROPOSED SANITARY SEWER LINE	#C9.XX
⊕	PROPOSED FIRE HYDRANT	#C9.XX
⊕	PROPOSED WATER VALVE	#C9.XX
⊕	EXISTING SANITARY SEWER MANHOLE	N/A
⊕	PROPOSED SANITARY SEWER MANHOLE	#C9.XX
⊕	PROPOSED CLEANOUT	#C9.XX
⊕	PROPOSED FDC	#C9.XX
⊕	PROPOSED BACKFLOW METER	#C9.XX
⊕	PROPOSED POST INDICATOR VALVE (PIV)	#C9.XX
⊕	GREASE INTERCEPTOR	#C9.XX
⊕	300' HYDRANT COVERAGE CIRCLE	N/A
---	LIMITS OF DISTURBANCE	N/A

NOTES:  
1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

For the construction drawings please review your structure and pipe placement to ensure there are no conflicts (vertically and horizontally) between water, sewer, and storm.



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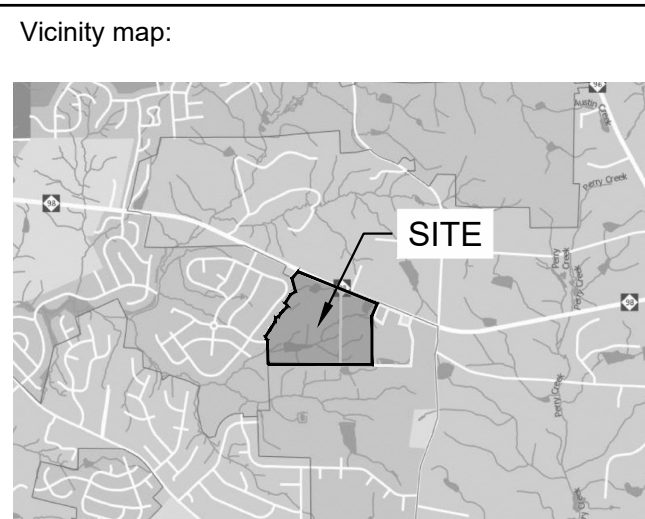


UTILITY LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
	EXISTING WATER LINE	N/A
	PROPOSED WATER LINE	#C9.XX
	EXISTING SANITARY SEWER LINE	N/A
	PROPOSED SANITARY SEWER LINE	#C9.XX
	PROPOSED FIRE HYDRANT	#C9.XX
	PROPOSED FIRE VALVE	#C9.XX
	EXISTING SANITARY SEWER MANHOLE	N/A
	PROPOSED SANITARY SEWER MANHOLE	#C9.XX
	PROPOSED CLEANOUT	#C9.XX
	PROPOSED FDC	#C9.XX
	PROPOSED BACKFLOW METER	#C9.XX
	PROPOSED POST INDICATOR VALVE (PIV)	#C9.XX
	GREASE INTERCEPTOR	#C9.XX
	30' HYDRANT COVERAGE CIRCLE	N/A
	LIMITS OF DISTURBANCE	N/A

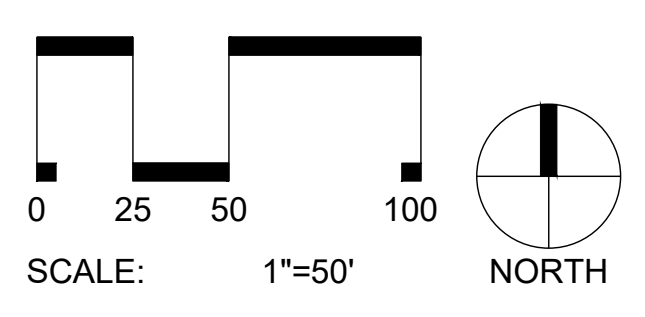
**NOTES:**  
 1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

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Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



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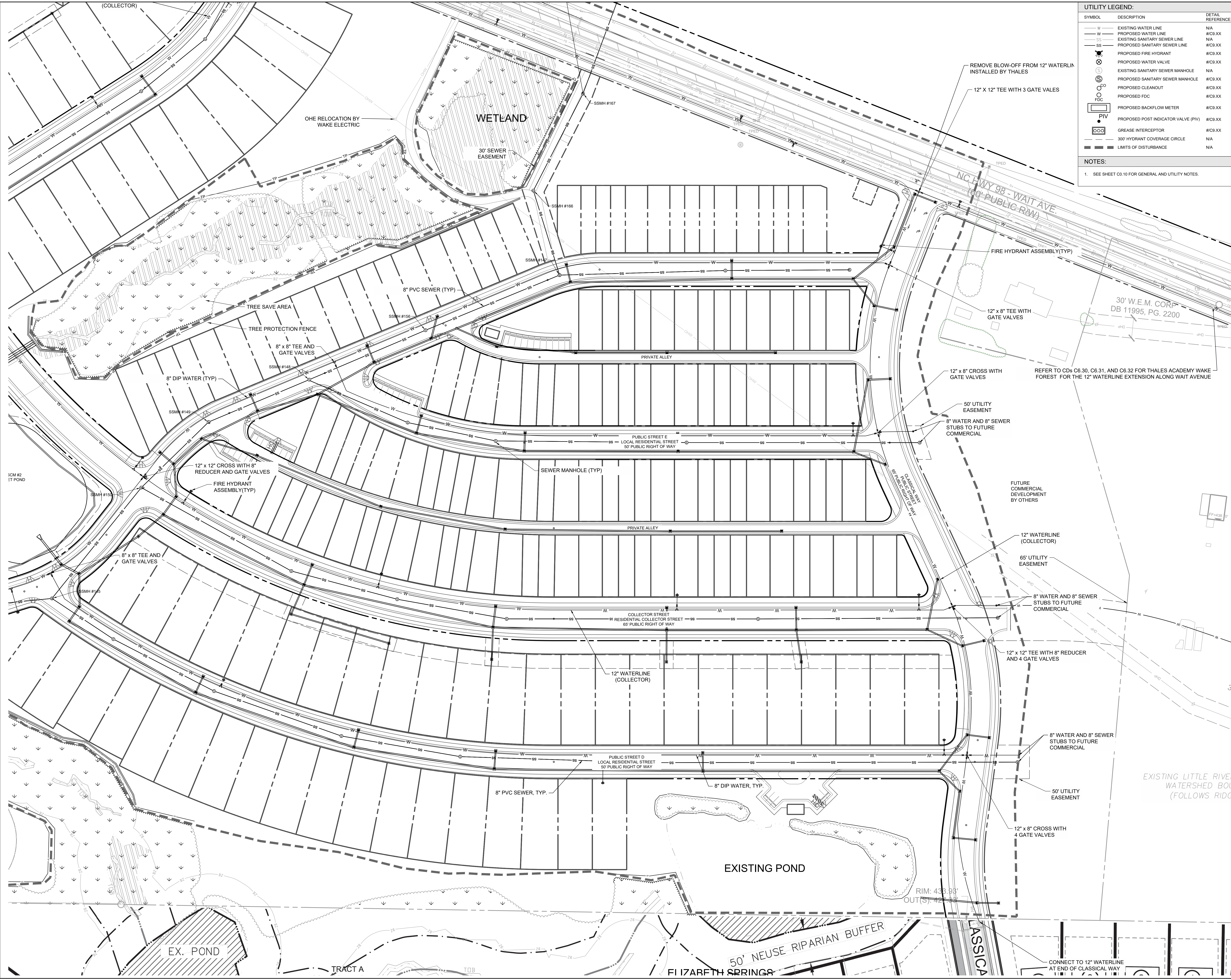
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

Title:  
**UTILITIES PLAN  
 NORTHWEST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: MD **C6.01**  
 Approved by: RGB

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**UTILITY LEGEND:**

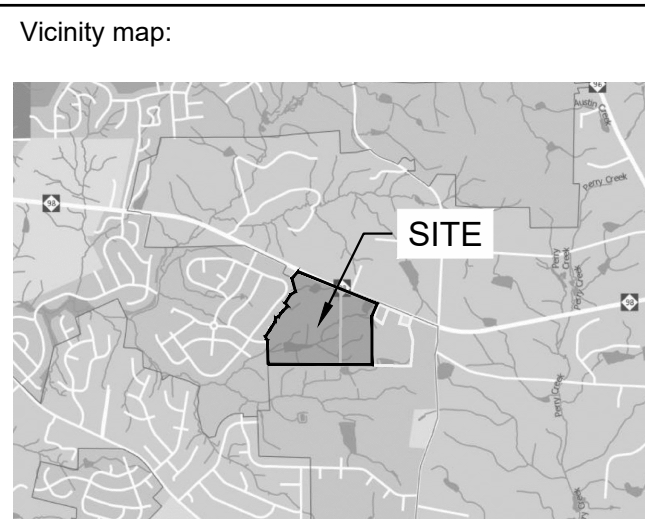
SYMBOL	DESCRIPTION	DETAIL REFERENCE
— W —	EXISTING WATER LINE	N/A
- - - W - - -	PROPOSED WATER LINE	#/C9.XX
- - - SS - - -	EXISTING SANITARY SEWER LINE	N/A
- - - SS - - -	PROPOSED SANITARY SEWER LINE	#/C9.XX
⊗	PROPOSED FIRE HYDRANT	#/C9.XX
⊗	PROPOSED WATER VALVE	#/C9.XX
⊙	EXISTING SANITARY SEWER MANHOLE	N/A
⊙	PROPOSED SANITARY SEWER MANHOLE	#/C9.XX
⊙	PROPOSED CLEANOUT	#/C9.XX
⊙	PROPOSED FDC	#/C9.XX
⊙	PROPOSED BACKFLOW METER	#/C9.XX
⊙	PROPOSED POST INDICATOR VALVE (PIV)	#/C9.XX
⊙	GREASE INTERCEPTOR	#/C9.XX
⊙	300' HYDRANT COVERAGE CIRCLE	N/A
—	LIMITS OF DISTURBANCE	N/A

**NOTES:**

- SEE SHEET C6.10 FOR GENERAL AND UTILITY NOTES.

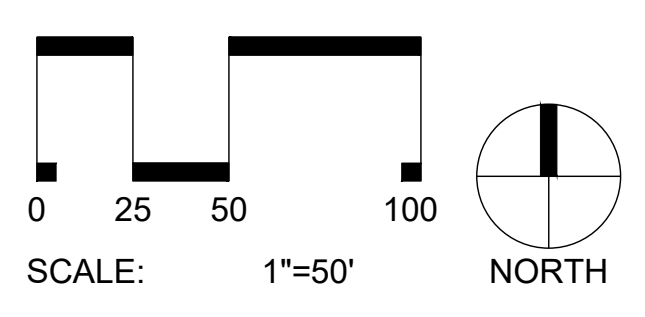
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 PROJECT # C19003

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 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
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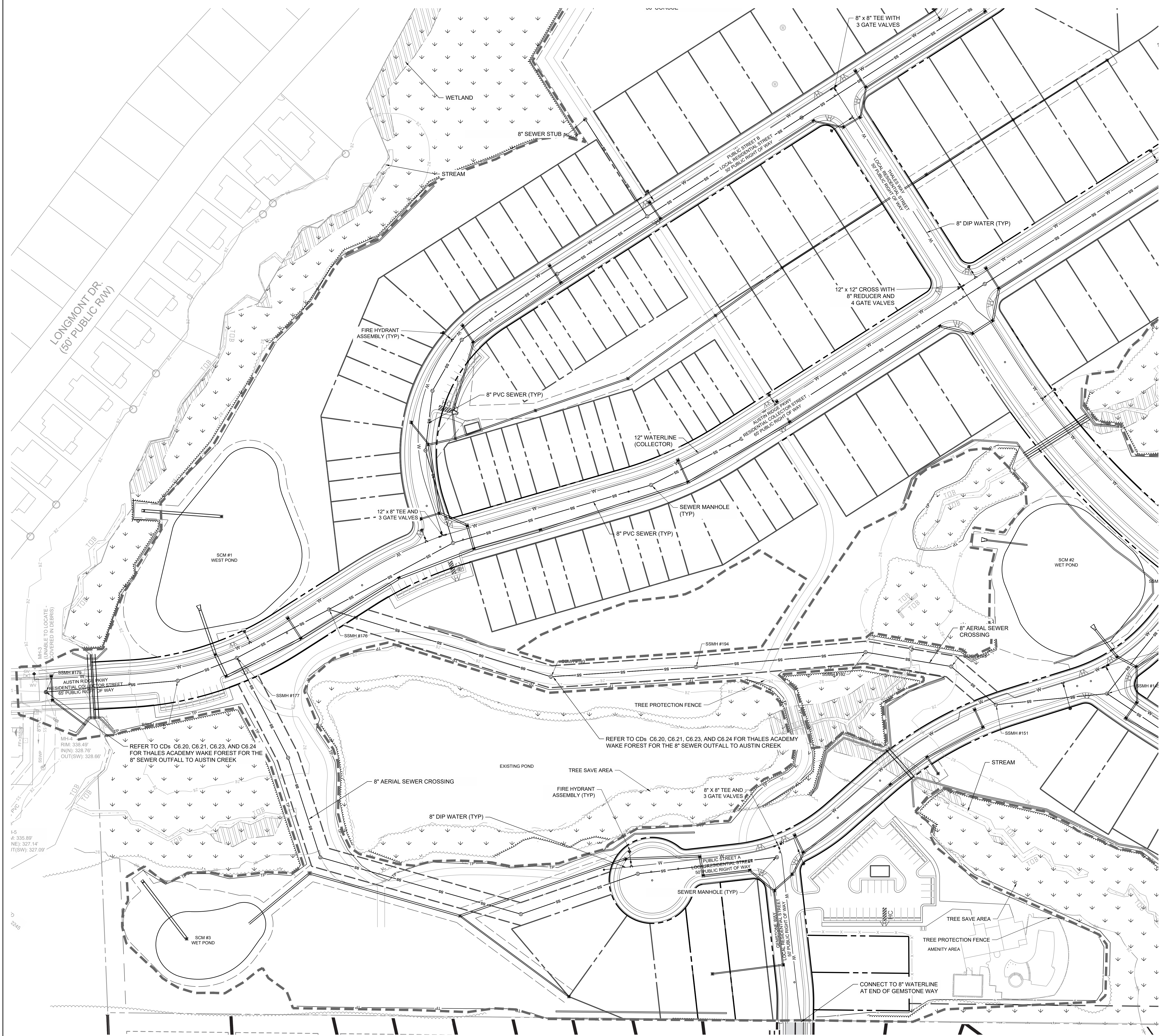
No.	Date	Description
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2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

Title:

**UTILITIES PLAN EAST**

Project number: C19003 Sheet #: **C6.02**  
 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB

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**UTILITY LEGEND:**

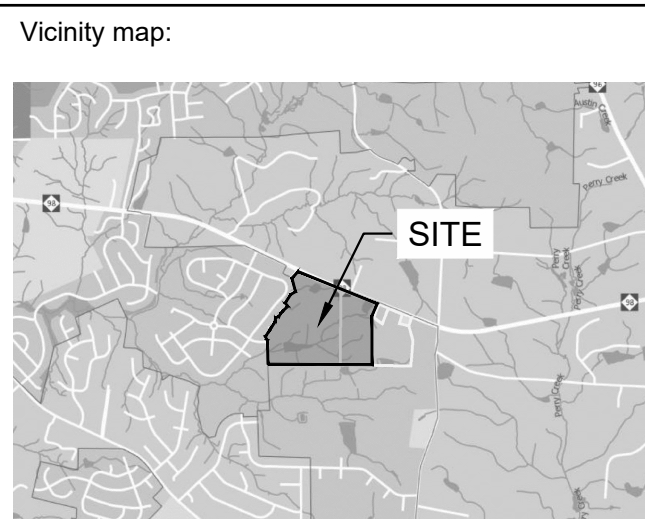
SYMBOL	DESCRIPTION	DETAIL REFERENCE
— W —	EXISTING WATER LINE	N/A
— W —	PROPOSED WATER LINE	#/C9.XX
— SS —	EXISTING SANITARY SEWER LINE	N/A
— SS —	PROPOSED SANITARY SEWER LINE	#/C9.XX
⊗	PROPOSED FIRE HYDRANT	#/C9.XX
⊗	PROPOSED WATER VALVE	#/C9.XX
⊙	EXISTING SANITARY SEWER MANHOLE	N/A
⊙	PROPOSED SANITARY SEWER MANHOLE	#/C9.XX
⊙	PROPOSED CLEANDOUT	#/C9.XX
⊙	PROPOSED FDC	#/C9.XX
⊙	PROPOSED BACKFLOW METER	#/C9.XX
⊙	PROPOSED POST INDICATOR VALVE (PIV)	#/C9.XX
⊙	GREASE INTERCEPTOR	#/C9.XX
⊙	300' HYDRANT COVERAGE CIRCLE	N/A
— — —	LIMITS OF DISTURBANCE	N/A

**NOTES:**

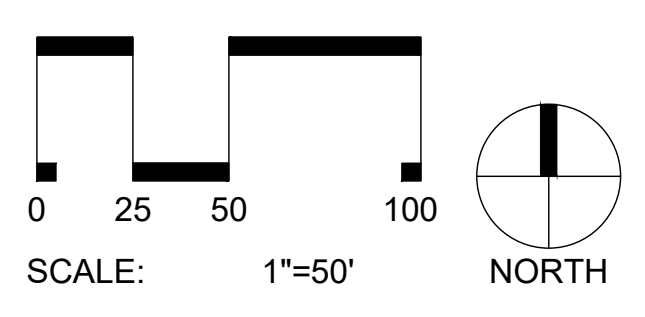
- SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

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No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

Title:  
**UTILITIES PLAN  
 SOUTHWEST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB **C6.03**

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BUFFER TABLE						
Buffer name	Type	Length (LF)	Planting requirement	Required Trees Total [# per #LF]	Required Evergreen Trees [50% Total trees]	Required Shrubs [continuous shrub border, avg 5'o.c.]
Buffer 1	30' Type D	244	1 tree / 40' Frontage; 50% evergreen	7	4	49
Buffer 2	30' Type D	122	1 tree / 40' Frontage; 50% evergreen	4	2	25
Buffer 3	30' Type D	2132	1 tree / 40' Frontage; 50% evergreen	54	27	427
Buffer 4	10' Type D	730	1 tree / 40' Frontage; 50% evergreen	19	10	146
Buffer 5	25' Type B	273	1 tree / 20' Frontage; 50% evergreen	14	7	55
Buffer 6	25' Type B	200	1 tree / 20' Frontage; 50% evergreen	10	5	40

STREET TREE REQUIREMENTS						
Street Name	Side of Street	Collector	Length (LF)	Tree spacing (LF)	Required Trees	Provided Trees
Wait Ave	South Side		2193	50	44	51
Austin Ridge Pkwy	North Side	X	1813	50	37	42
	South Side	X	1961	50	40	48
Collector St	North Side	X	1588	50	32	40
	South Side	X	1682	50	34	43
Classical Way	West Side		823	40	21	21
	East Side		1090	40	28	28
Gemstone Way	West Side		200	40	5	5
	East Side		215	40	6	6
Public Street A	North Side		2087	40	53	53
	South Side		1822	40	46	46
Public Street B	North Side		1266	40	32	32
	South Side		1138	40	29	29
Public Street D	North Side		1351	40	34	34
	South Side		1409	40	36	36
Public Street E	North Side		749	40	19	19
	South Side		837	40	21	21
Thales Way	West Side		264	40	7	7
	East Side		264	40	7	7

**LANDSCAPE NOTES**

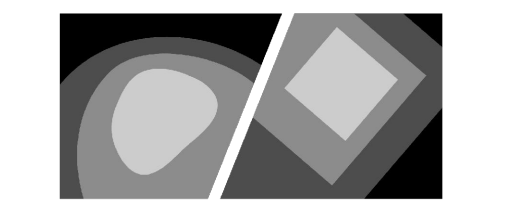
- VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES OR INACCURACIES IN THE PLANS TO THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- LANDSCAPE WORK SHALL INCLUDE THE FURNISHING, INSTALLATION, AND WARRANTY OF ALL PLANTING MATERIALS WITHIN THE PROJECT AREA.
- THE LANDSCAPE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL EXISTING AND NEW UNDERGROUND UTILITIES PRIOR TO EXCAVATION FOR PLANTING. DAMAGES TO UTILITIES CAUSED BY THE LANDSCAPE OPERATION SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
- LANDSCAPING SHALL REMAIN CLEAR FROM ANY FIRE HYDRANTS ON THE SITE.
- ALL TREES TO BE A MINIMUM OF 2" IN CALIPER AND MUST MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- TREE PROTECTION NOTE: TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE OR ISSUANCE OF A GRADING PERMIT AND SHALL INCLUDE WARNING SIGNS POSTED IN BOTH ENGLISH AND SPANISH, AS FOLLOWS: "NO TRESPASSING/TREE PROTECTION AREA/PROHIBIDO ENTRAR / ZONA PROTECTORA PARA LOS ARBOLES."
- PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE LOWERING OF EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA.
- ROOT ZONE PROTECTION AREA: VARIES BASED ON LOCAL JURISDICTION HAVING AUTHORITY. CONTRACTOR SHALL COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS. NO DISTURBANCE ALLOWED WITHIN THIS AREA. AREA MUST BE PROTECTED WITH BOTH TREE PROTECTION FENCING AND WARNING SIGNS.
- SEED BED PREPARATION: ALL AREAS TO BE SEEDED ARE TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL. ALL DEBRIS, ROCKS, ETC. LARGER THAN 5" ARE TO BE REMOVED. ALL LARGE CONCENTRATIONS OF GRAVEL & DEBRIS REGARDLESS OF SIZE ARE TO BE REMOVED PRIOR TO SEEDING OR PLANTING.
- ALL PLANT BED AREAS ARE TO RECEIVE A MINIMUM OF 6" OF APPROVED TOPSOIL.
- SOIL SHOULD BE TESTED AND AMENDED WITH LIME AND FERTILIZER FOR HARDWOOD TREES ACCORDING TO NCDA PROCEDURES. SCARIFY PLANT PIT WALLS. CONSULT LANDSCAPE ARCHITECT FOR ALTERNATE COMPLIANCE.
- SHREDDED HARDWOOD MULCH 3" DEEP EXCEPT AT CROWN OF PLANT UNLESS OTHERWISE NOTED. FLARE AT CROWN SHOULD BE REVEALED. BACKFILL CONSISTS OF THOROUGHLY BROKEN UP NATIVE SOIL. TOTAL VOLUME OF BACKFILL SHOULD BE AMENDED WITH UP TO ONE THIRD PINE BARK MULCH. PIECES SHOULD BE NO LARGER THAN WHAT PASSES THROUGH A ONE INCH SCREEN. IF ADDITIONAL SOIL IS REQUIRED FOR BACKFILL DUE TO DETRIMENTAL SUBSOIL DRAINAGE CONDITIONS, USE SOIL SIMILAR TO EXISTING NATIVE SOIL. ADDITIONAL SOIL TO BE APPROVED BY LANDSCAPE ARCHITECT. MAXIMUM SAUCER HEIGHT IS 6 INCHES.
- TOP OF ROOTBALL TO BE RAISED 2-3 INCHES ABOVE EXISTING GRADE.
- FOR B&B PLANTS, NATURAL FIBER BURLAP SHOULD BE TURNED DOWN BY 1/3 TOTAL HEIGHT OF ROOT BALL. PLASTIC FIBER BURLAP AND WIRE BASKETS SHOULD BE REMOVED TO 2/3'S OF TOTAL HEIGHT OF ROOT BALL.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING THE TREE UPRIGHT AND PLUMB THROUGHOUT THE WARRANTY PERIOD. IF STABILIZATION IS NECESSARY SEE STAKING IN TREE DETAIL. ORANGE FLAGGING TAPE SHOULD BE ATTACHED TO SUPPORT WIRE. STAKING SHOULD BE REMOVED BY CONTRACTOR AT END OF ONE YEAR WARRANTY PERIOD OR AS DIRECTED BY GROUNDS MANAGEMENT.
- USE STANDARD "GATOR" BAGS FOR WATERING TREES IN AREAS NOT UNDER IRRIGATION. INCORPORATE TERRA-SORB (OR EQUAL) AS PER MANUFACTURERS RECOMMENDATIONS, FOR AREAS NOT UNDER IRRIGATION.
- USE "BIO-BARRIER" OR EQUIVALENT ACCORDING TO MANUFACTURER'S RECOMMENDATION FOR TREES THAT WILL BE PLANTED WITHIN 10' OF PAVEMENT
- LANDSCAPING/C.O. STANDARDS NOTE: ALL LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF COMPLIANCE.

**STREET TREE SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPACING	NOTES
	ACRU	73	ACER RUBRUM RED MAPLE	B&B	2.5 IN	8 TO 10 FT	40 FT O.C.	STRONG CENTRAL LEADER
	QUAL	125	QUERCUS ALBA WHITE OAK	B&B	2.5 IN	8 TO 10 FT	40 FT O.C.	STRONG CENTRAL LEADER
	TICO	146	TILIA CORDATA LITTLELEAF LINDEN	B&B	2.5 IN	8 FT	40 FT O.C.	STRONG CENTRAL LEADER
	ULPA	117	ULMUS PARVIFOLIA LACEBARK ELM	B&B	2.5 IN	8 TO 10 FT	40 FT O.C.	STRONG CENTRAL LEADER
	ZSVG	107	ZELKOVA SERRATA 'VILLAGE GREEN' JAPANESE ZELKOVA	B&B	2.5 IN	8'-10' HT	40 FT O.C.	STRONG CENTRAL LEADER

**NOTES**

- TREES IN BUFFER ALONG CLASSICAL WAY WILL BE COUNTED TOWARD STREET TREE REQUIREMENT.



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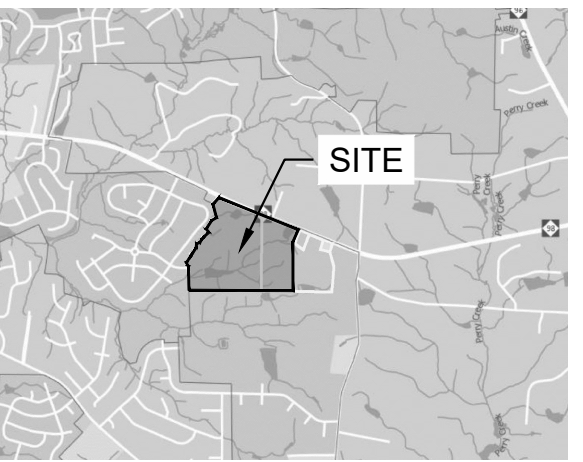
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PROJECT # C19003

Client:

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CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (619)816-1100

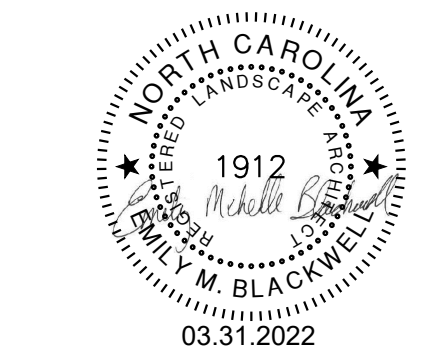
Vicinity map:



NORTH

Seal:

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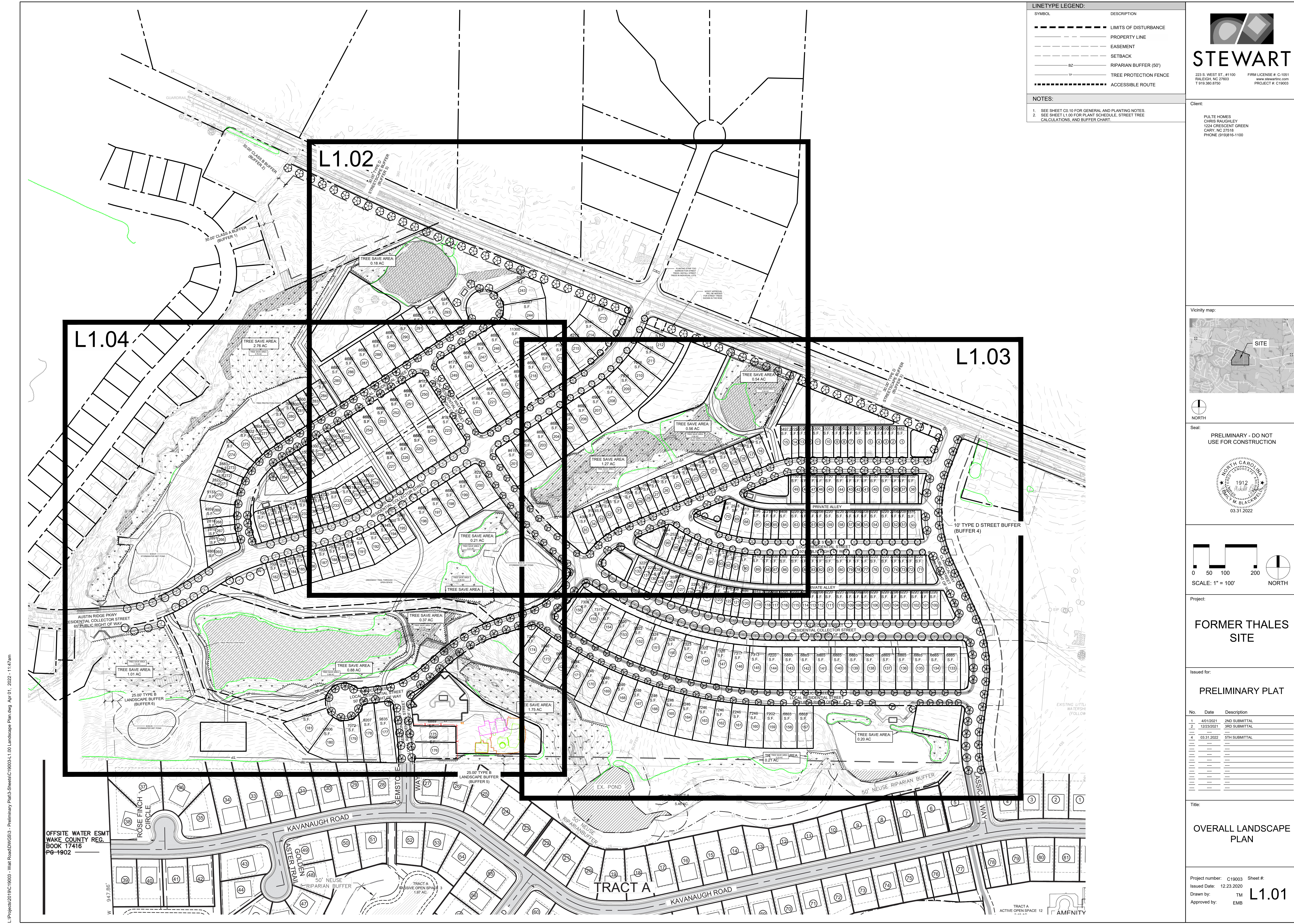
Title:

**LANDSCAPE NOTES**

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: TM  
Approved by: EMB

**L1.00**

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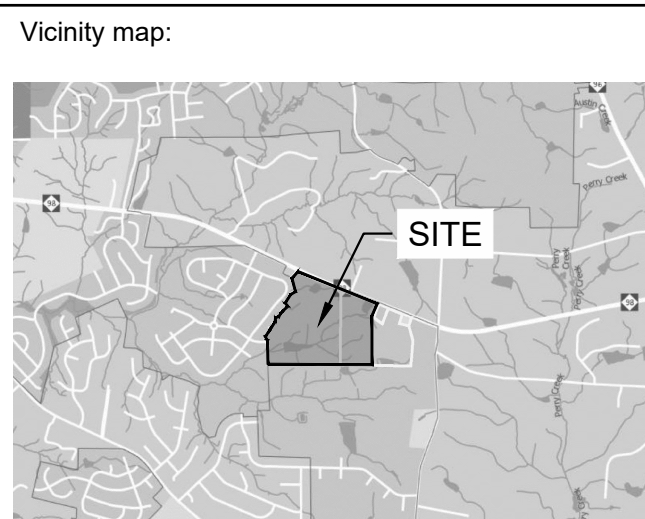
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SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	PROPERTY LINE
---	EASEMENT
---	SETBACK
---	RIPIARIAN BUFFER (50')
---	TREE PROTECTION FENCE
---	ACCESSIBLE ROUTE

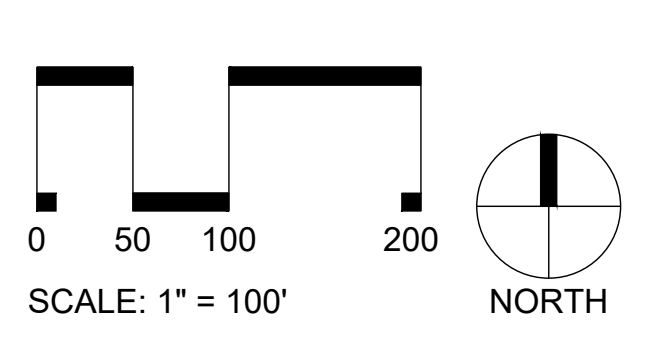
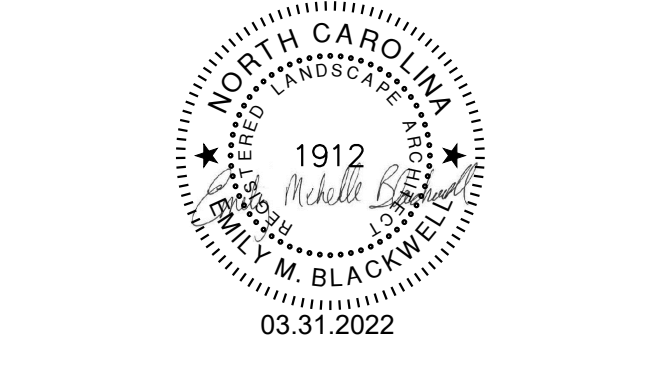
- NOTES:**
- SEE SHEET C0.10 FOR GENERAL AND PLANTING NOTES.
  - SEE SHEET L1.00 FOR PLANT SCHEDULE, STREET TREE CALCULATIONS, AND BUFFER CHART.

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 CARY, NC 27518  
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Project:  
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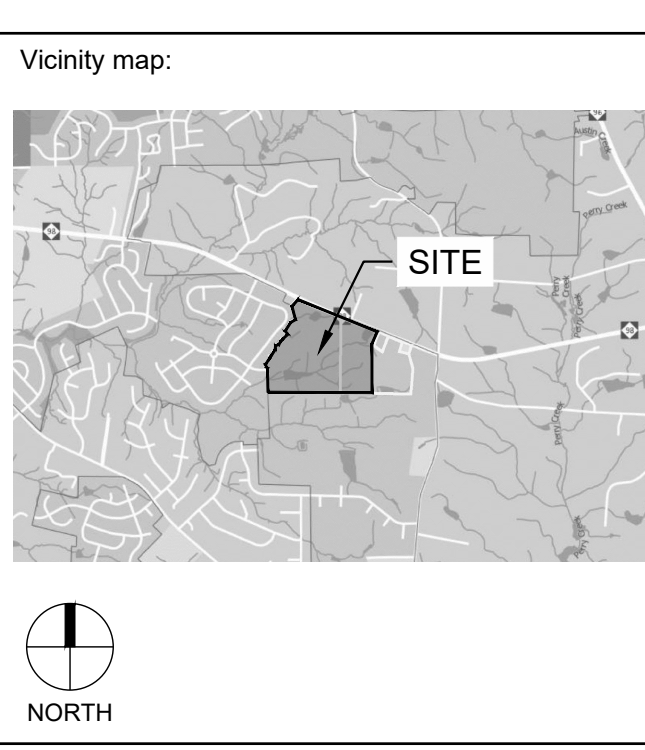
Title:  
**OVERALL LANDSCAPE PLAN**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: TM  
 Approved by: EMB  
**L1.01**

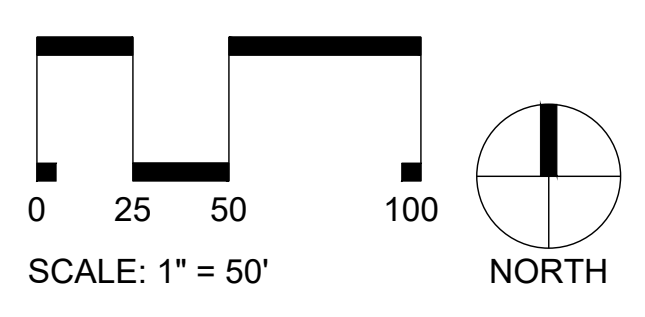
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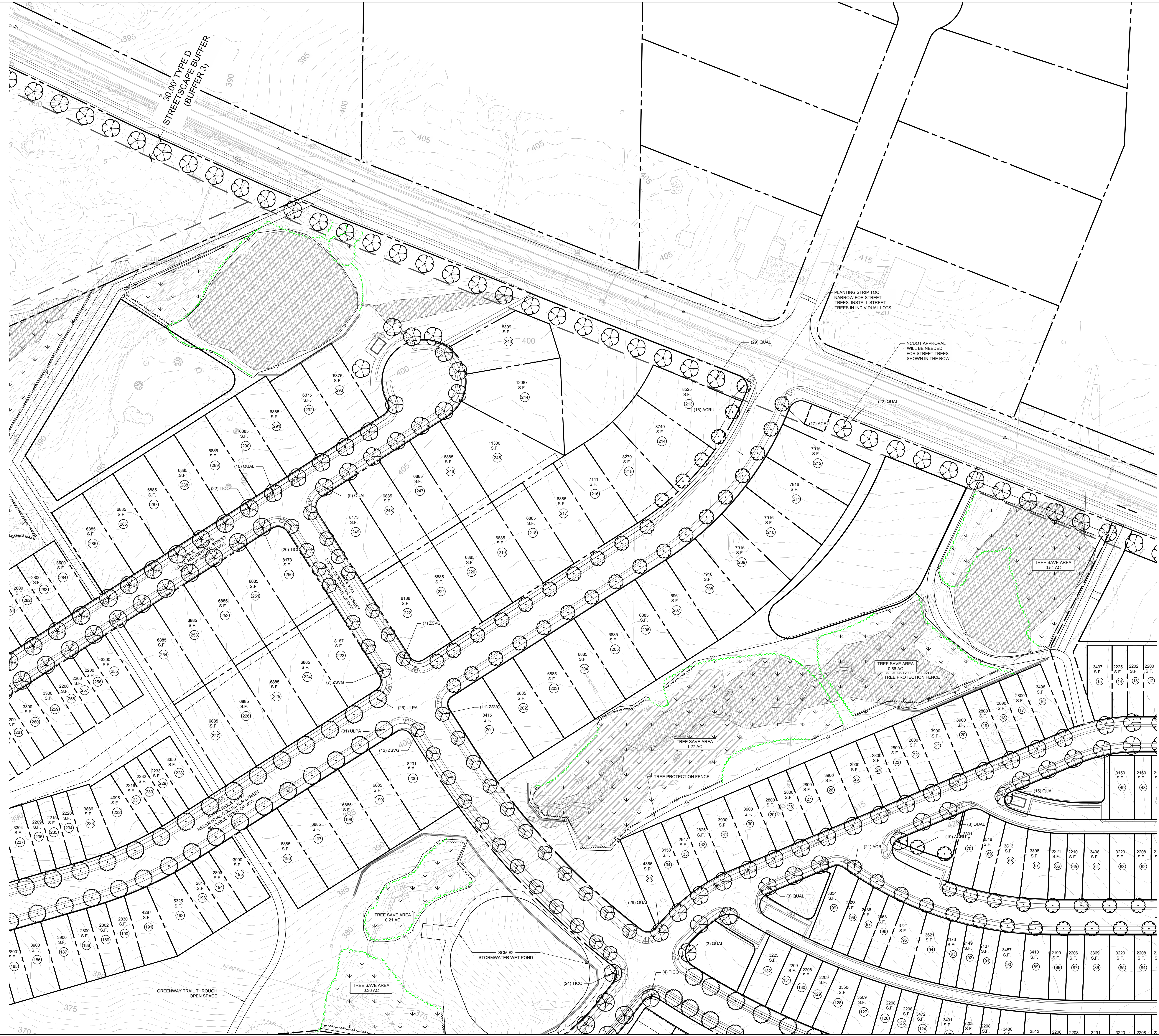
Project:  
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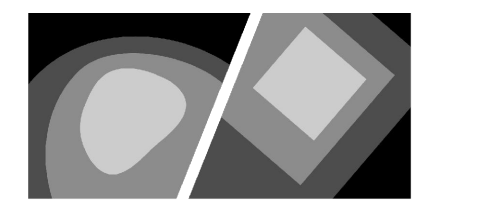
No.	Date	Description
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3	03.31.2022	5TH SUBMITTAL

Title:  
**LANDSCAPE PLAN  
 NORTHWEST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: TM  
 Approved by: EMB **L1.02**



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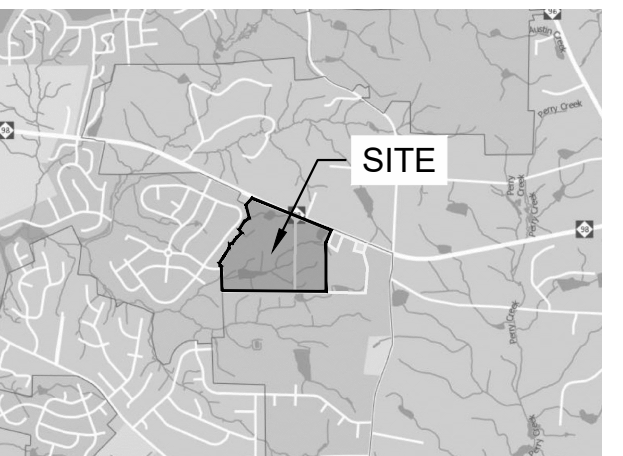
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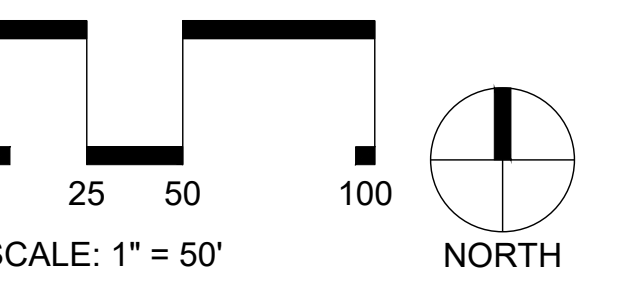
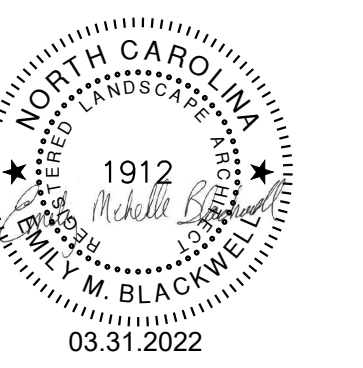
Client:

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CHRIS RAUGHLEY  
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CARY, NC 27516  
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Vicinity map:



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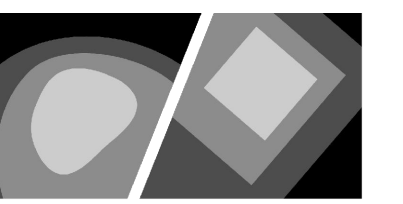
Title:

**LANDSCAPE PLAN EAST**

Project number: C19003 Sheet #: **L1.03**  
Issued Date: 12.23.2020  
Drawn by: **TM**  
Approved by: **EMB**



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# STEWART

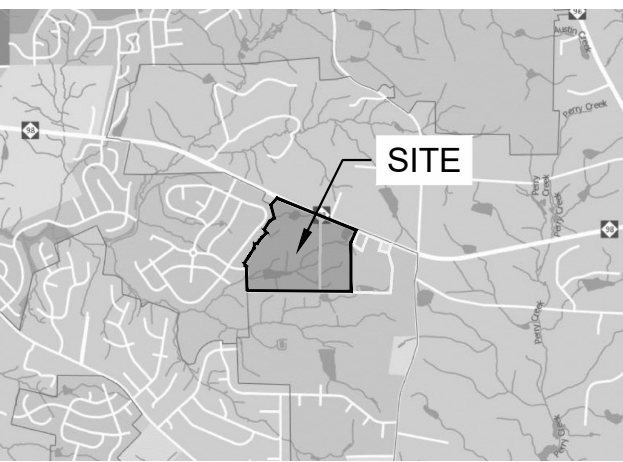
223 S. WEST ST., #1100  
RALEIGH, NC 27603  
T 919.380.8750

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PROJECT # C19003

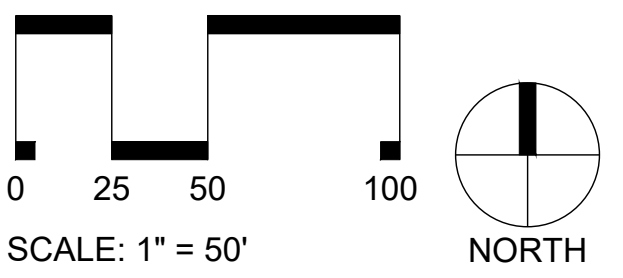
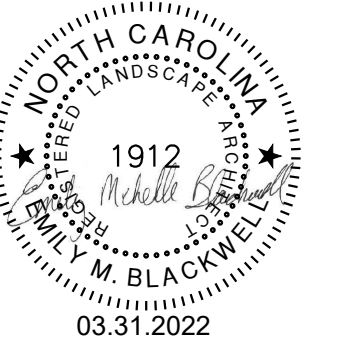
Client:

PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100

Vicinity map:



Seal:  
**PRELIMINARY - DO NOT  
USE FOR CONSTRUCTION**



SCALE: 1" = 50'  
NORTH

Project:

**FORMER THALES  
SITE**

Issued for:

**PRELIMINARY PLAT**

No. Date Description

1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

Title:

**LANDSCAPE PLAN  
SOUTHWEST**

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: TM  
Approved by: EMB

## L1.04



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LINETYPE LEGEND:	
SYMBOL	DESCRIPTION
----	LIMITS OF DISTURBANCE
----	PROPERTY LINE
----	EASEMENT
----	SETBACK
----	RIPIARIAN BUFFER (50')
----	TREE PROTECTION FENCE
----	ACCESSIBLE ROUTE

NOTES:  
1. SEE SHEET C0.10 FOR GENERAL AND PLANTING NOTES.

**OPEN SPACE REQUIREMENTS**

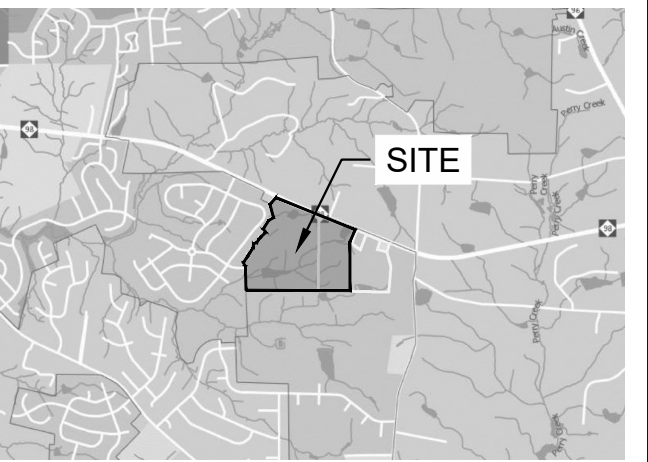
PLANNED RESIDENTIAL: 10% OF THE GROSS ACREAGE IS REQUIRED TO BE OPEN SPACE. MIN 35% SUITABLE FOR ACTIVE RECREATION (PLAY AREA, BALLFIELD, GREENWAY, ETC) REMAINING 65% CAN BE FOR ENVIRONMENTALLY SENSITIVE AREAS (STREAMS, FLOODPLAIN, WETLAND, ETC).

TOTAL SITE AGERAGE	85.08 AC (3,706,085 SF)
30% OPEN SPACE REQUIRED	25.52 AC (1,111,825 SF)
100,000 sq ACTIVE RECREATION AREA REQUIRED PER SUP 21-01	2.30 AC (100,000 SF)
OPEN SPACE PROVIDED	36.85 AC (1,605,186 SF)
ACTIVE RECREATION AREA PROVIDED	4.59 AC (199,744 SF)
<b>TOTAL OPEN SPACE PROVIDED</b>	<b>36.85 AC (1,605,186 SF)</b>

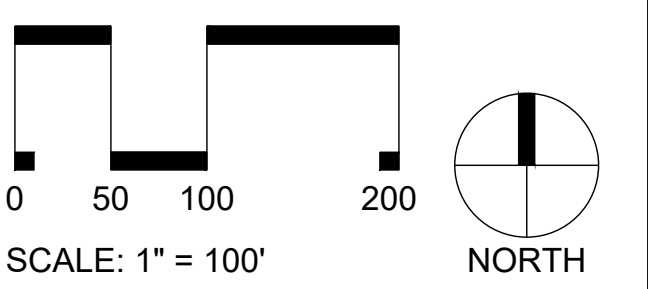
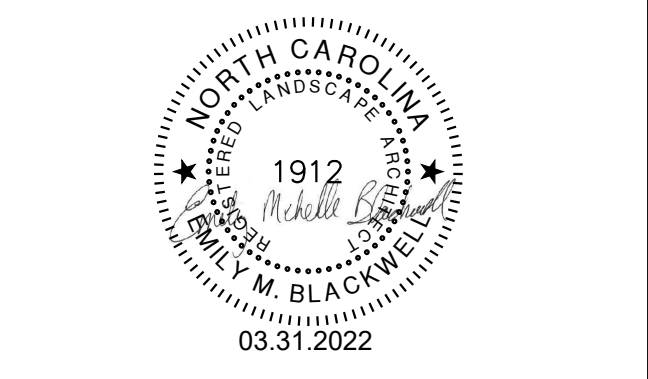
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223 S. WEST ST. #1100 FIRM LICENSE #: C-1051  
RALEIGH, NC 27603 www.stewartinc.com  
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Client:  
PULTE HOMES  
CHRIS RAUGHLLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100

Vicinity map:



Seal:  
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Project:  
**FORMER THALES SITE**

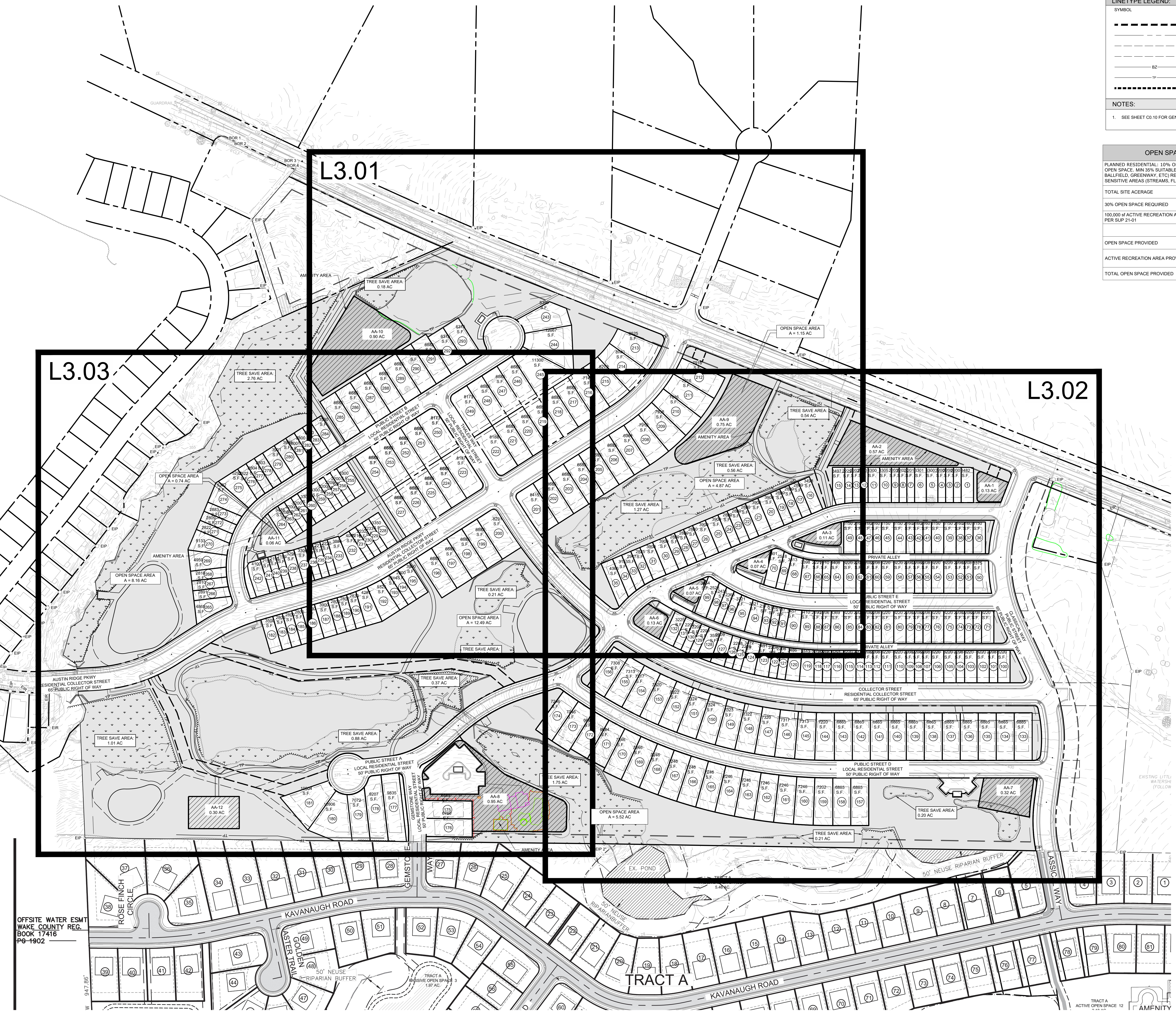
**FORMER THALES SITE**

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2	12/23/2021	3RD SUBMITTAL
4	03/31/2022	5TH SUBMITTAL

Title:  
**OVERALL OPEN SPACE PLAN**

Project number: C19003 Sheet #: L3.00  
Issued Date: 12.23.2020  
Drawn by: TM  
Approved by: EMB



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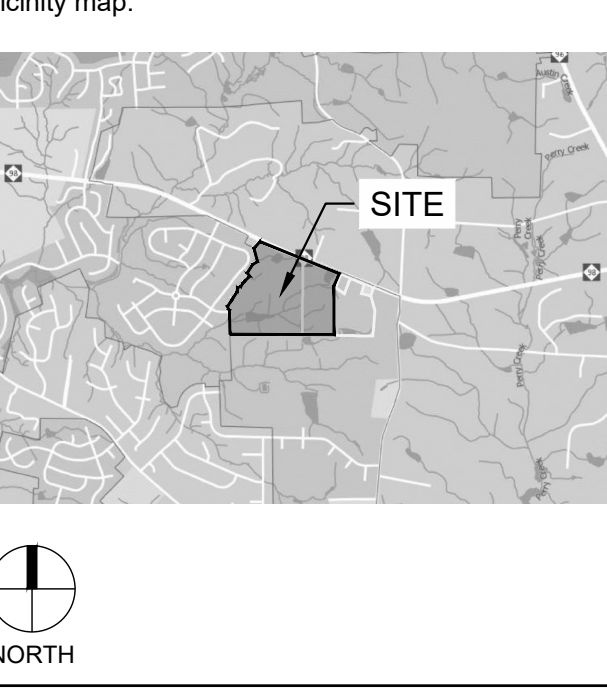
OFFSITE WATER ESMT  
WAKE COUNTY REG.  
BOOK 17416  
PG-1902

TRACT A  
ACTIVE OPEN SPACE 12

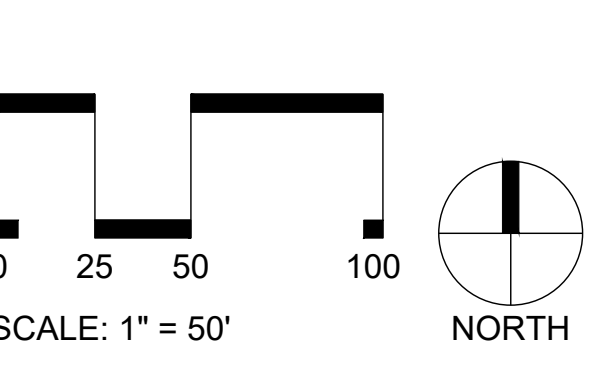




Client:  
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 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
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Seal:  
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Project:  
 FORMER THALES  
 SITE

Issued for:  
 PRELIMINARY PLAT

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

Title:  
 OPEN SPACE PLAN  
 NORTHWEST

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: TM  
 Approved by: EMB

**L3.01**

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**LEGEND**

- OPEN SPACE
- ACTIVE RECREATION AREA

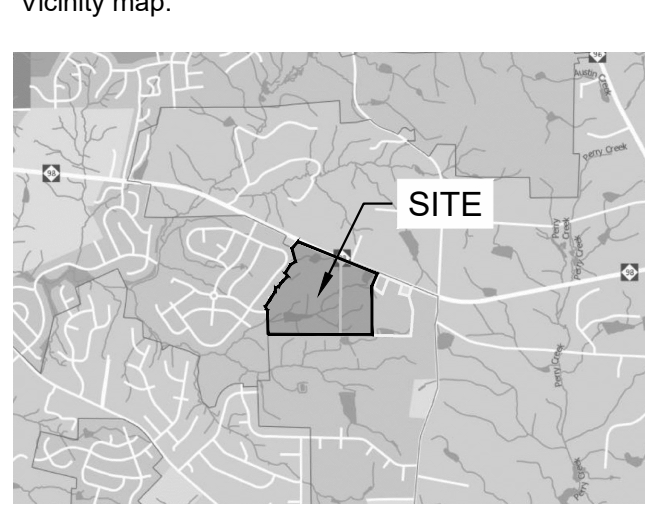
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 PROJECT # C19003

Client:  
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 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100

Vicinity map:



Seal:  
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Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

Title:  
**OPEN SPACE PLAN EAST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: TM  
 Approved by: EMB  
**L3.02**

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**LEGEND**

- OPEN SPACE
- ACTIVE RECREATION AREA



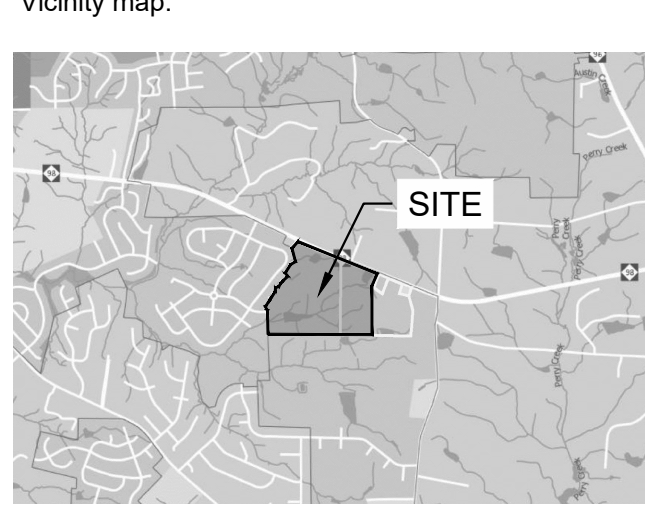
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 PROJECT #: C19003

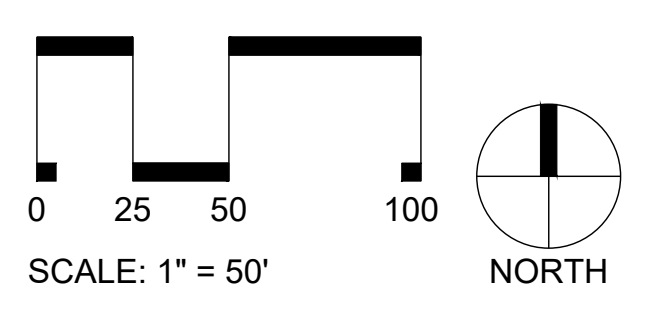
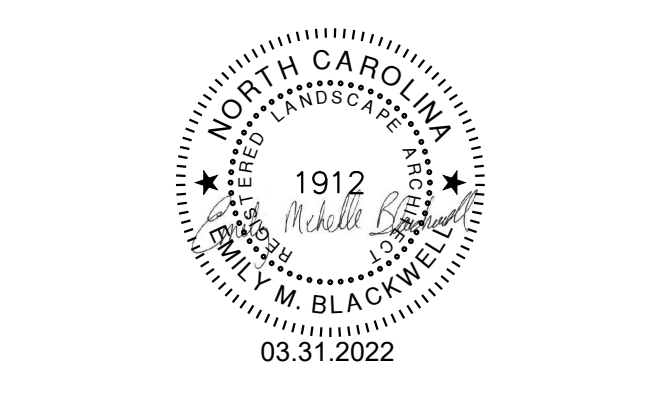
Client:

PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



Seal:

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Project:

**FORMER THALES  
 SITE**

Issued for:

**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

Title:

**OPEN SPACE PLAN  
 SOUTHWEST**

Project number: C19003 Sheet #: **L3.03**

Issued Date: 12.23.2020

Drawn by: TM

Approved by: EMB

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