





Client: PULTE HOMES, CHRIS RAUGHEY, 1224 CRESCENT GREEN, CARY, NC 27518, PHONE (919)816-1100

GENERAL NOTES: 1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION... 2. EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY STEWART... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES...

SITE NOTES: 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION LAYDOWN AREA, PERIMETER FENCE, AND ASSOCIATED GATES... 2. THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS, JOINT LOCATIONS, AND INLAY SPECIFICATIONS...

UTILITY NOTES: 1. UNLESS OTHERWISE NOTED, ALL MANHOLES SHALL BE PRE-CAST CONCRETE STRUCTURES... 2. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF UNDERGROUND UTILITIES (WATER, SEWER, STORM, ELECTRICAL, GAS, OR OTHER)...

MATERIALS AND FURNISHINGS NOTES: 1. ABBREVIATIONS FOR SPECIFIC HARDCAPE MATERIALS AND FURNISHINGS ARE LISTED IN THE LEGEND AND ARE USED THROUGHOUT THE DRAWING SET'S HARDCAPE & FURNISHINGS PLANS...

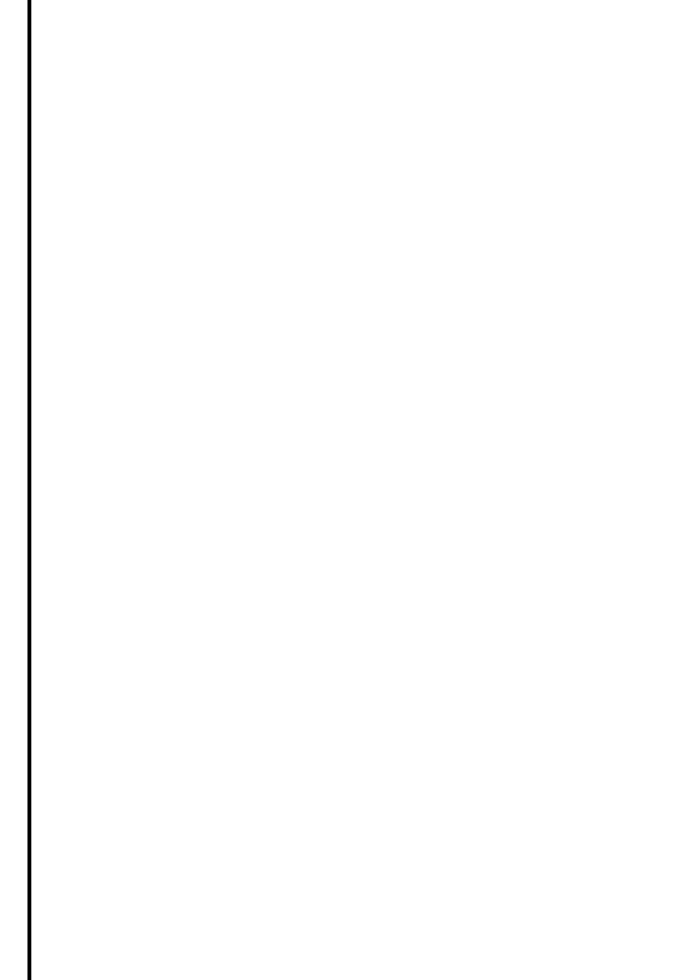
PAVING PATTERN NOTES: 1. END ALL UNIT PAVING PATTERNS WITH A FULL OR HALF SIZE PAVER UNLESS OTHERWISE NOTED... 2. LAYOUT OF UNIT PAVING PATTERNS AND CONCRETE JOINTS AS INDICATED ON THIS PLAN...

EXISTING CONDITION NOTES: 1. THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON THE PROPERTY OF WFVN, LLC... 2. THE PROPERTY LINES SHOWN HEREON HAVE BEEN CONFIRMED FROM A SURVEY BY STEWART ENGINEERING DATED FEBRUARY 7, 2018...

GRADING AND STORM DRAINAGE NOTES: 1. CONTRACTOR SHALL REPORT ANY GRADE DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION OPERATIONS... 2. THE MAXIMUM SLOPE ALONG ANY HANDICAP ACCESSIBLE PATHWAY SHALL NOT EXCEED 5.0%...

PROPOSED UTILITY SEPARATION: 1. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10-FOOT HORIZONTAL SEPARATION...

SIGNAGE, STRIPING AND MARKING NOTES: 1. ALL INTERNAL SIGNAGE SHALL BE COORDINATED WITH OWNER FOR ACTUAL LOCATION AT TIME OF INSTALLATION... 2. ALL PAVEMENT STRIPING (EXCEPT INDIVIDUAL PARKING BAY STRIPING) SHALL BE THERMOPLASTIC REFLECTIVE PAINT...

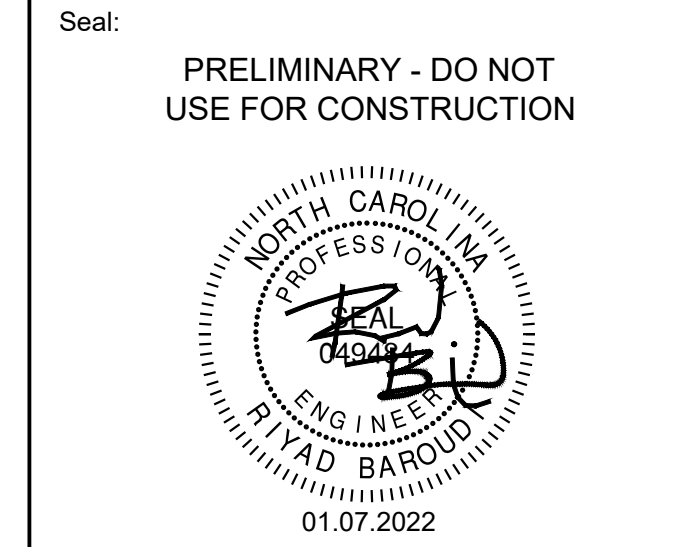
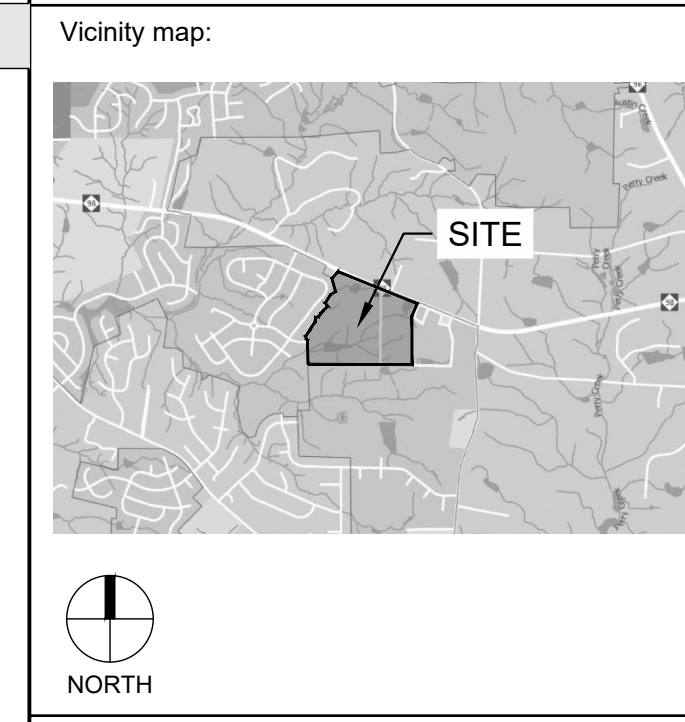


DEMOLITION NOTES: 1. THE CONTRACTOR SHALL REMOVE CONCRETE (WHERE REQUIRED) TO THE FIRST COOLD JOINT OR SAW CUT TO OBTAIN A CLEAN EDGE... 2. THE CONTRACTOR SHALL SAWCUT EXISTING ASPHALT (WHERE REQUIRED) TO OBTAIN A CLEAN EDGE...

SEWER NOTES: 1. SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC BEARING CASTINGS... 2. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIA...

SEWER NOTES: 1. SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC BEARING CASTINGS... 2. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIA...

WATER NOTES: 1. AS INDICATED, ALL WATERLINES SHALL BE DUCTILE IRON PIPE MEETING THE REQUIREMENTS OF ANSI/AWWA C151 PRESSURE CLASS 350 OR SOFT COPPER TYPE K PIPE PER ASTM 888... 2. ALL WATERLINES SHALL HAVE A MINIMUM OF 3.5 FEET OF COVER...



Project number: C19003 Sheet #: 12.23.2020

Drawn by: MD Approved by: RGB

Project number: C19003 Sheet #: 12.23.2020

Drawn by: MD Approved by: RGB

Project: FORMER THALES SITE

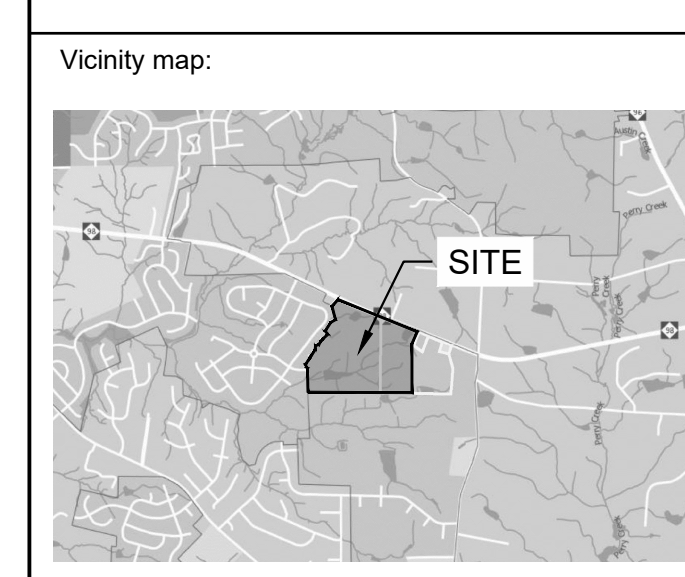
Issued for: PRELIMINARY PLAT

Table with 3 columns: No., Date, Description. Row 1: 1, 4/01/2021, 2ND SUBMITTAL. Row 2: 2, 12/23/2021, 3RD SUBMITTAL.

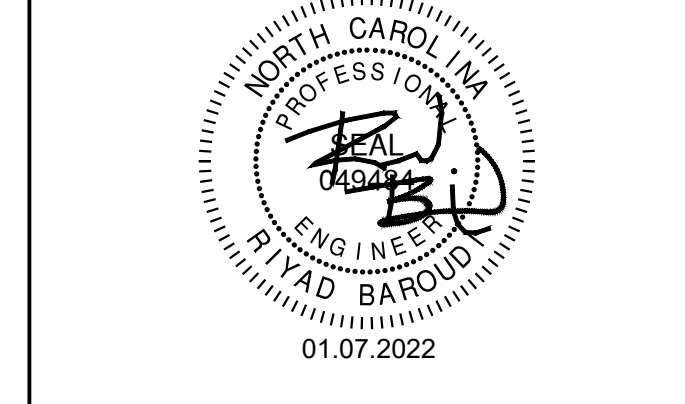
Title: GENERAL NOTES

Project number: C19003 Sheet #: 12.23.2020

Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



Seal:  
 PRELIMINARY - DO NOT  
 USE FOR CONSTRUCTION



Project:  
**FORMER THALES  
 SITE**

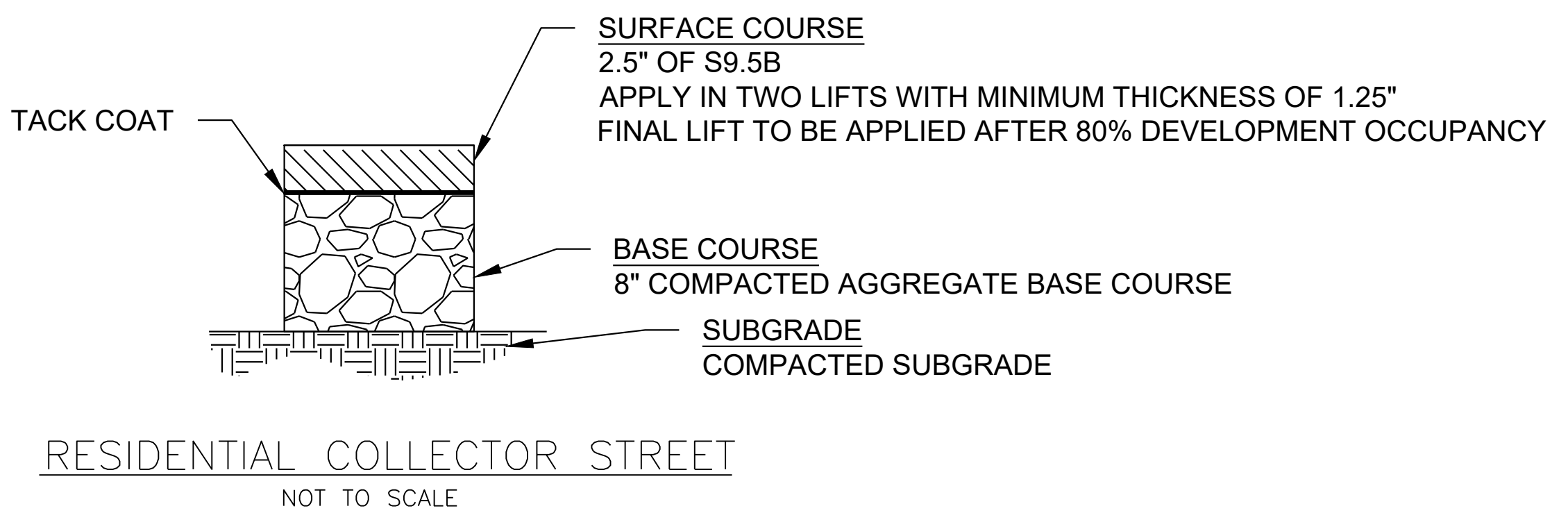
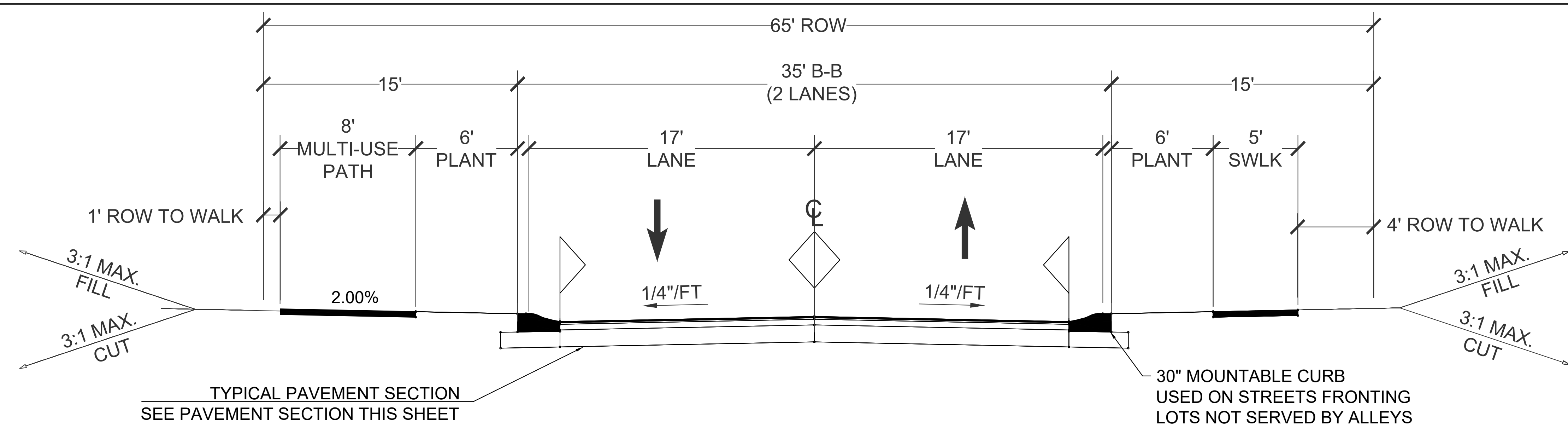
SCALE: N.T.S.  
 Issued for:

**PRELIMINARY PLAT**

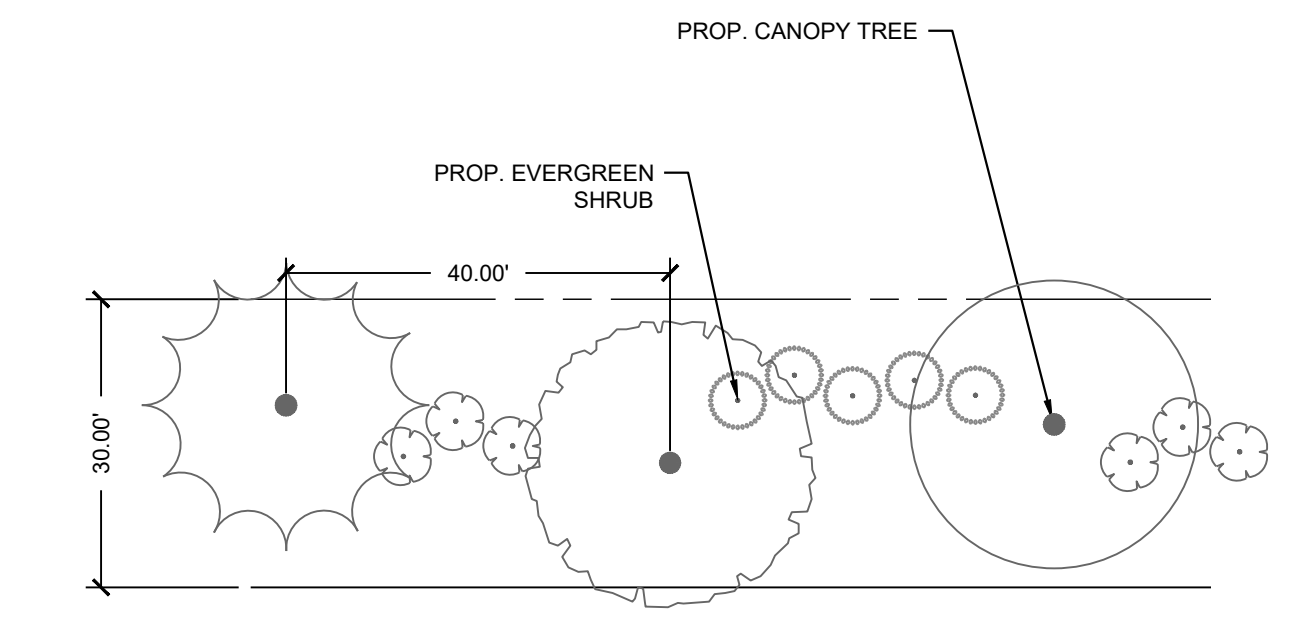
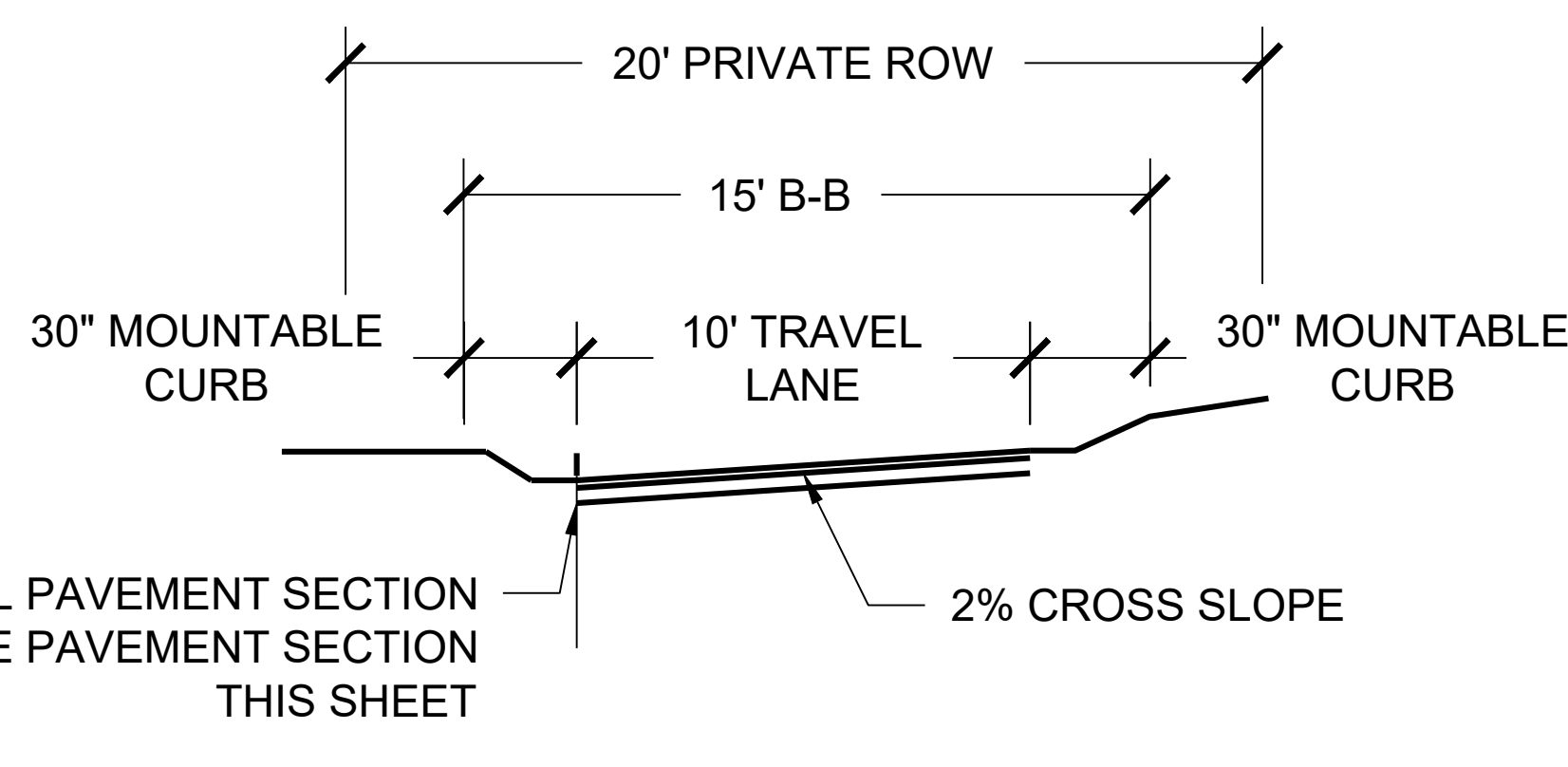
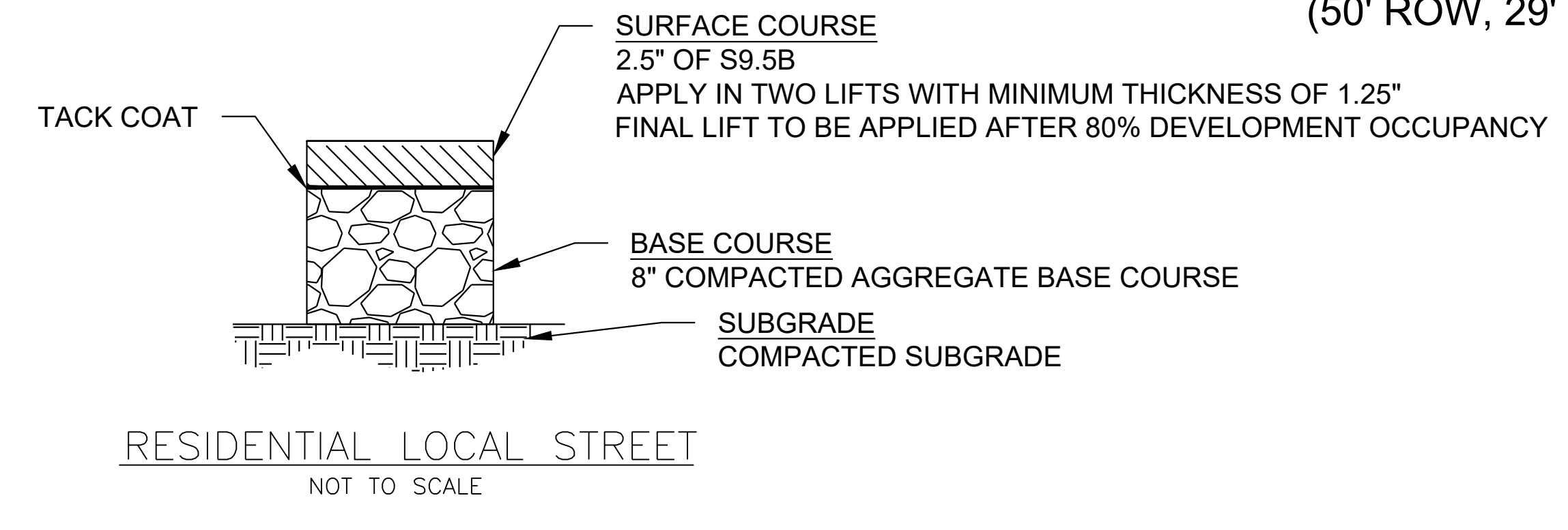
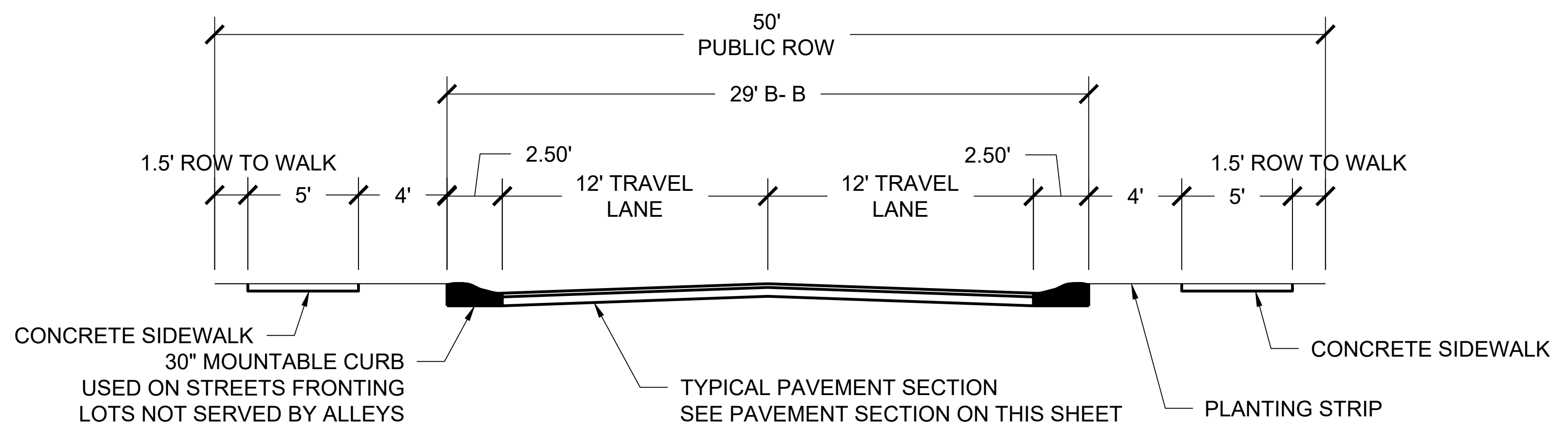
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**TYPICAL SECTIONS &  
 BUFFERS**

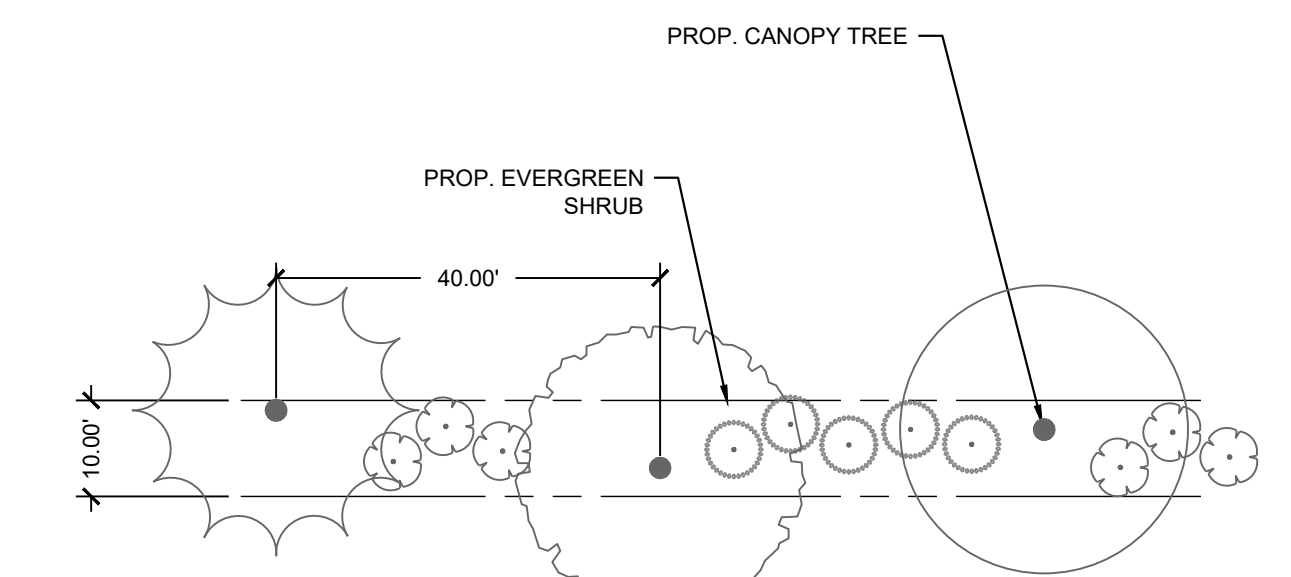
Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB  
**C0.20**



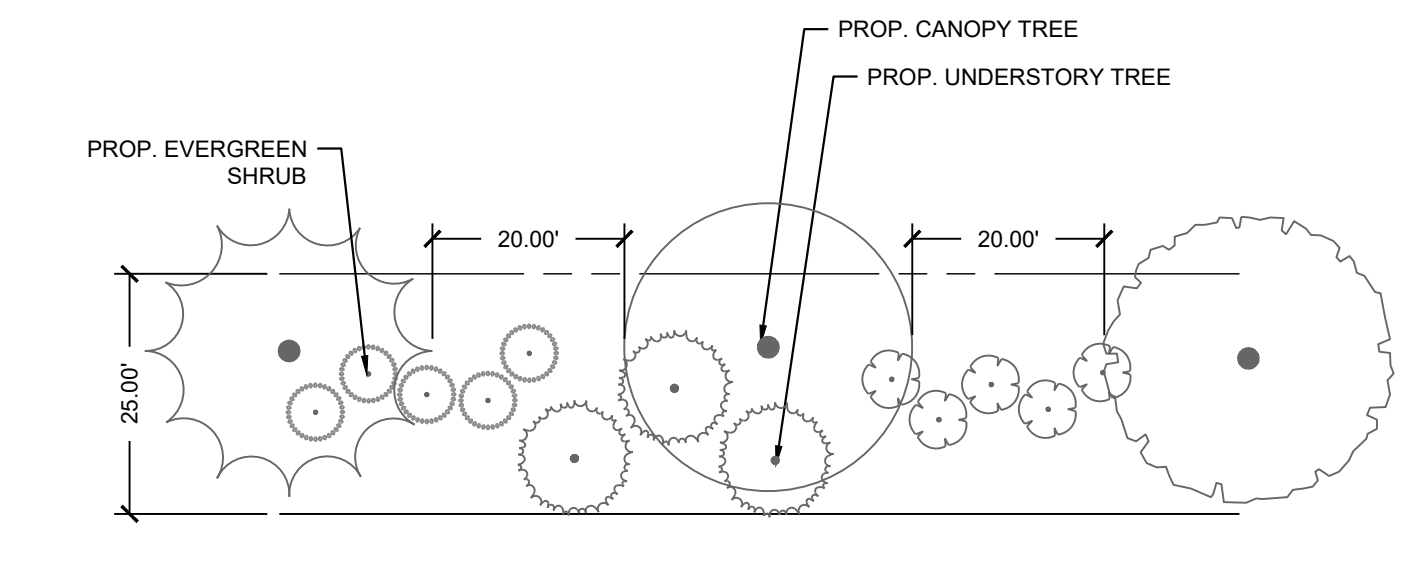
Per UDO 6.2, Bike paths a minimum of four feet wide shall be installed along both sides of minor and major thoroughfares (minor and major arterials). Alternatively, an eight-foot-wide bike path may be installed paralleling the minor or major thoroughfare. In this instance, the bike path can replace the sidewalk normally required on the same side of the roadway.



**30' STREET FRONT TYPE 'D' BUFFER (TYP.):**  
 1 DECIDUOUS OR EVERGREEN TREE / 40' OF FRONTAGE  
 50% EVERGREEN SHRUBS REQ. AT MIN. OF 3' IN HEIGHT  
 NOTE: EXISTING CANOPY TREES TO PARTIALLY FULFILL CANOPY TREE REQUIREMENT WITHIN BUFFER WHERE APPLICABLE

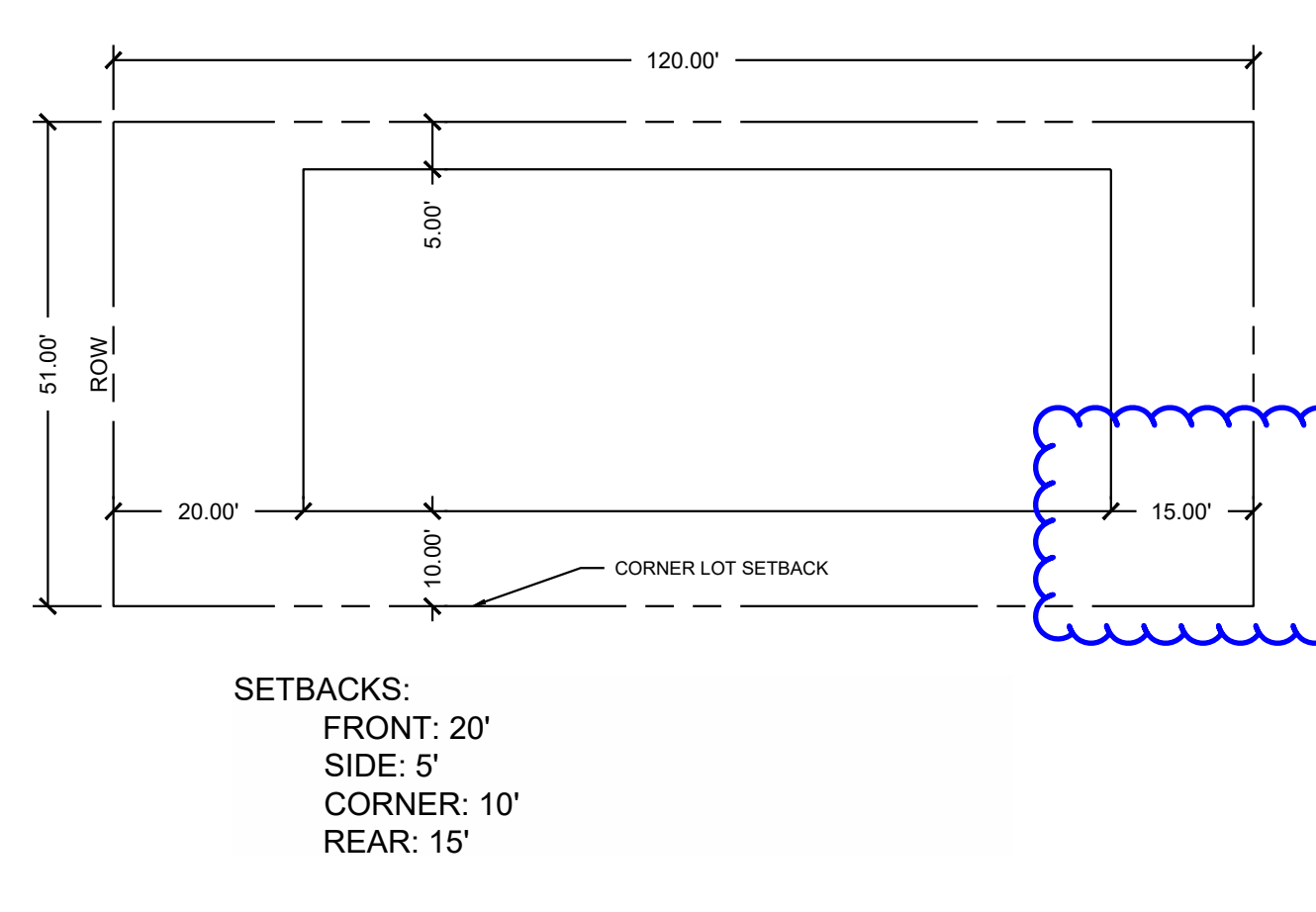


**10' STREET FRONT TYPE 'D' BUFFER (TYP.):**  
 1 DECIDUOUS OR EVERGREEN TREE / 40' OF FRONTAGE  
 50% EVERGREEN SHRUBS REQ. AT MIN. OF 3' IN HEIGHT  
 NOTE: EXISTING CANOPY TREES TO PARTIALLY FULFILL CANOPY TREE REQUIREMENT WITHIN BUFFER WHERE APPLICABLE



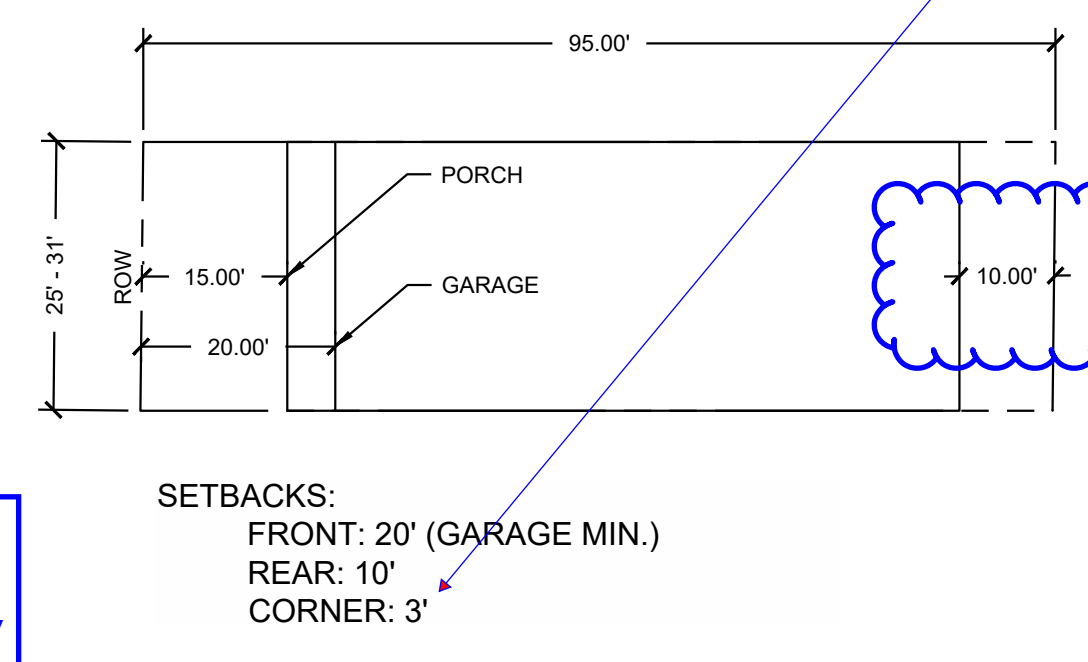
**25' TYPE 'B' BUFFER (TYP.):**  
 CANOPY TREES AT 20' MIN. HEIGHT - < 20' BETWEEN MATURE CANOPIES  
 50% EVERGREEN SHRUBS REQ. AT MIN. OF 3' IN HEIGHT  
 NOTE: EXISTING CANOPY TREES TO PARTIALLY FULFILL CANOPY TREE REQUIREMENT WITHIN BUFFER WHERE APPLICABLE

NOTE:  
 • BUFFER REQUIREMENTS SHOWN ON L1.00  
 • BUFFER LOCATIONS SHOWN ON SITE PLAN



**R1 SINGLE FAMILY  
 RESIDENTIAL LOT**

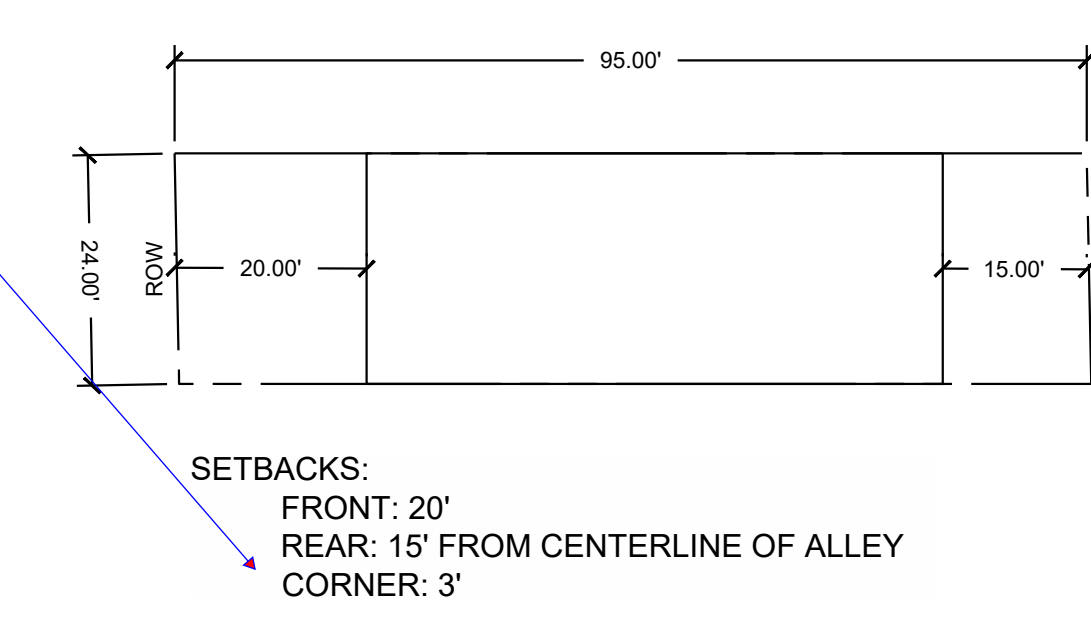
Per UDO Section 6.2.1.2(c)(3), a minimum rear setback of 25 feet is required for lots not serviced by alleys. Building setback from alleys and lanes, including accessory buildings, is 15 feet from the centerline of the alley.



**R3 TOWNHOUSE LOT**

Per UDO Section 6.2.1.2(c)(2) and 6.2.3.2, corner lots will have a minimum of ten feet side setbacks for the sides facing public streets.

Per UDO Section 6.2.3, a minimum rear yard setback of 15 feet is required for townhomes.



**R3 TOWNHOUSE LOT  
 REAR LOADED ALLEY**

Label tree protection fencing around the environmental features as well as the tree save areas. Please ensure this is reflected on landscape plans as well.

Are these structures to be removed?  
If so, a demolition plan should be provided OR the structures need to be marked here to be demoed.

Is this tree line to be preserved and used to meet the buffer requirement? If so, please provide TPF either here, or on the landscape plans, or both sheets.

△	SURVEY CONTROL POINT	⊕	MANHOLE
○	EIP	⊗	TRAFFIC SIGNAL BOX
□	ECM	⊠	TRAFFIC SIGNAL POST
▲	COMPUTED POINT	⦶	MONITORING WELL
■	STORM DRAIN MANHOLE	⦶	BORING LOCATION
⊕	STORM DRAIN CURB INLET	○	BOLLARD
⊕	SANITARY MANHOLE	○	FINISHED FLOOR ELEVATION
⊕	SANITARY SEWER CLEANOUT	○	DECIDUOUS TREE
⊕	SANITARY FORCEMAIN VALVE	○	EVERGREEN TREE
⊕	HYDRANT	○	BUSH
⊕	WATER VALVE	○	WIRE FENCE
⊕	WATER METER	○	CHAIN LINK FENCE
⊕	WATER MANHOLE	○	UNDERGROUND TELEPHONE LINE
⊕	WATER VAULT	○	UNDERGROUND FIBER OPTIC LINE
⊕	WELL	○	UNDERGROUND GAS LINE
⊕	GAS VALVE	○	UNDERGROUND ELECTRIC LINE
⊕	GAS METER	○	UNDERGROUND WATER LINE
⊕	TELEPHONE MANHOLE	○	SANITARY SEWER LINE
⊕	TELEPHONE PEDESTAL	○	STORM DRAIN LINE
⊕	TV PEDESTAL	○	OVERHEAD WIRES
⊕	FIBER OPTIC WITNESS POST	○	UNIDENTIFIED LINE
⊕	FIBER OPTIC BOX	○	UNKNOWN DESTINATION
⊕	ELECTRIC MANHOLE	○	CONCRETE SURFACE
⊕	ELECTRIC METER	○	DUCTILE IRON PIPE
⊕	ELECTRIC BOX	○	POLYVINYL CHLORIDE PIPE
⊕	UTILITY POLE	○	HIGH-DENSITY POLYETHYLENE PIPE
⊕	GUY POLE	○	REINFORCED CONCRETE PIPE
⊕	GUY WIRE	○	CORRUGATED METAL PIPE
⊕	LIGHT POLE	○	CATCH BASIN



Client:  
PULTE HOMES  
CHRIS RAUGHLLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919) 816-1100



0	50	100	200
---	----	-----	-----

SCALE: 1"=100'

Project:  
**FORMER THALES SITE**

Issue for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**EXISTING CONDITIONS PLAN**

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: MD  
Approved by: RGB

**C1.00**

L:\Projects\2019\C19003 - Wait Road\DWGS - Preliminary Plats\Sheets\C19003-C.100 Existing Conditions Plan.dwg Jan 08, 2022 - 12:48am

Client:  
 PULTE HOMES  
 CHRIS RAUGHLAY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100

Vicinity map:

Seal:

Scale:

Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**OVERALL SITE PLAN**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: MD **C3.00**  
 Approved by: RGB

**LOT WIDTH LEGEND:**

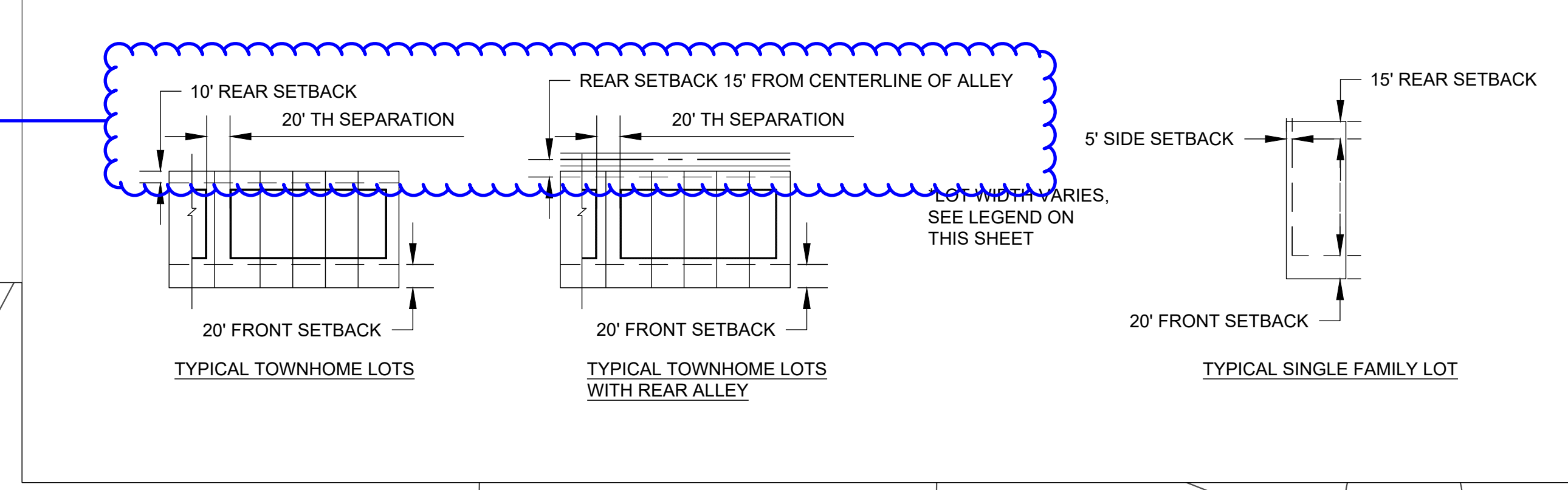
- 51' WIDE SINGLE FAMILY LOTS
- 22' WIDE TOWNHOMES
- 24' WIDE TOWNHOMES
- 28' WIDE TOWNHOMES

**SITE LEGEND:**

SYMBOL	DESCRIPTION
	PROPOSED CONCRETE SIDEWALK
	PROPOSED GRAVEL
	PROPOSED CURB & GUTTER
	PROPOSED STOP BAR
	PROPOSED CROSSWALK
	PROPOSED SIGN
	PROPOSED ADA PARKING SPACE
	PROPOSED RETAINING WALL
	PROPOSED WHEEL STOP
	PROPOSED MULCH
	PROPOSED ASPHALT TRAIL
	PROPOSED AMENITY AREA
	PROPOSED TREE SAVE AREA
	WETLAND
	EXISTING POND
	PROPOSED TREELINE
	PROPOSED FENCE
	LIMITS OF DISTURBANCE

**NOTES:**

- SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.



Building separation is required based upon the height of the structure per UDO 8.3.2.

Additionally, no more than 8 THs are permitted in a single structure. On the site plan sheets, there are more than 8 THs shown per structure.

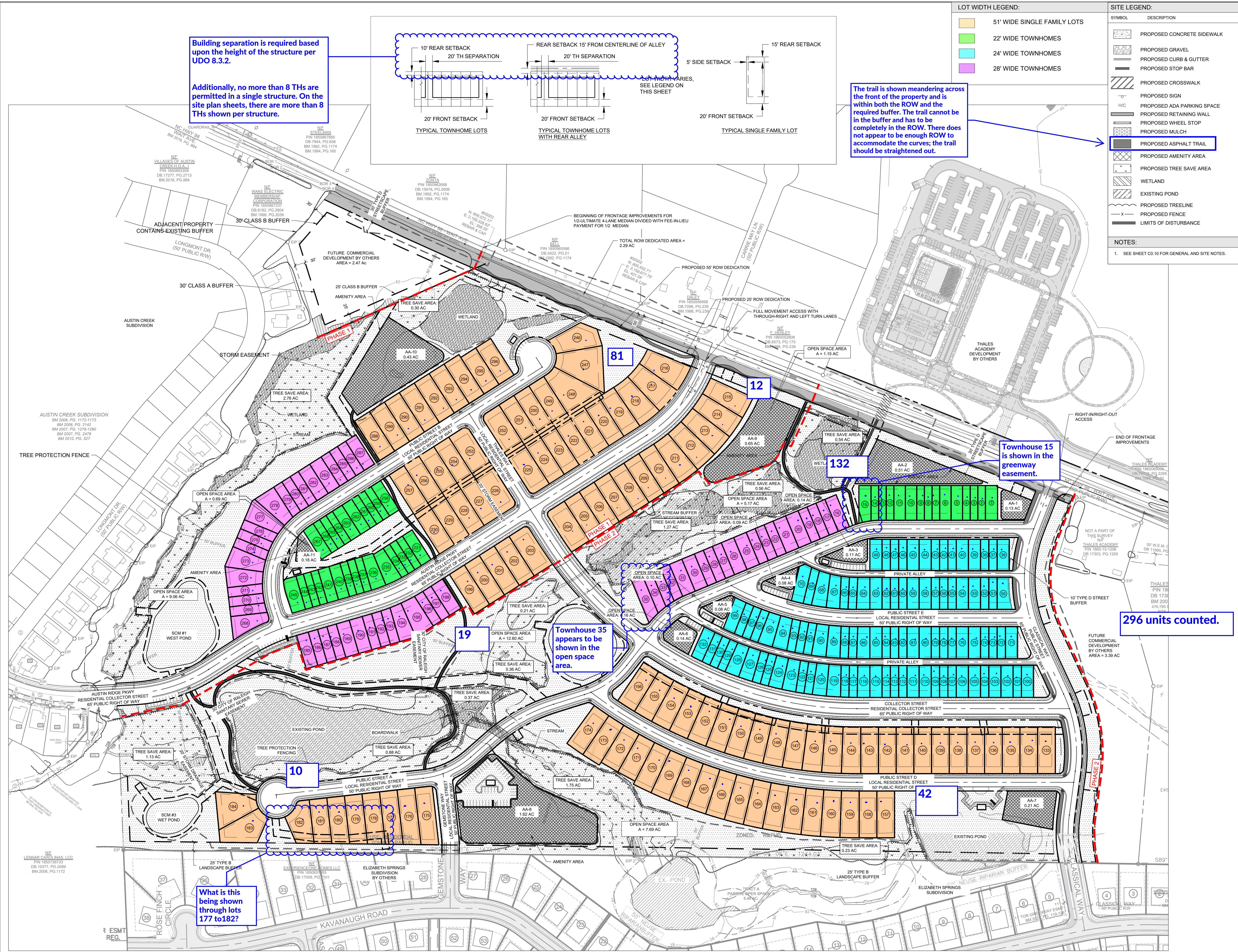
The trail is shown meandering across the front of the property and is within both the ROW and the required buffer. The trail cannot be in the buffer and has to be completely in the ROW. There does not appear to be enough ROW to accommodate the curves; the trail should be straightened out.

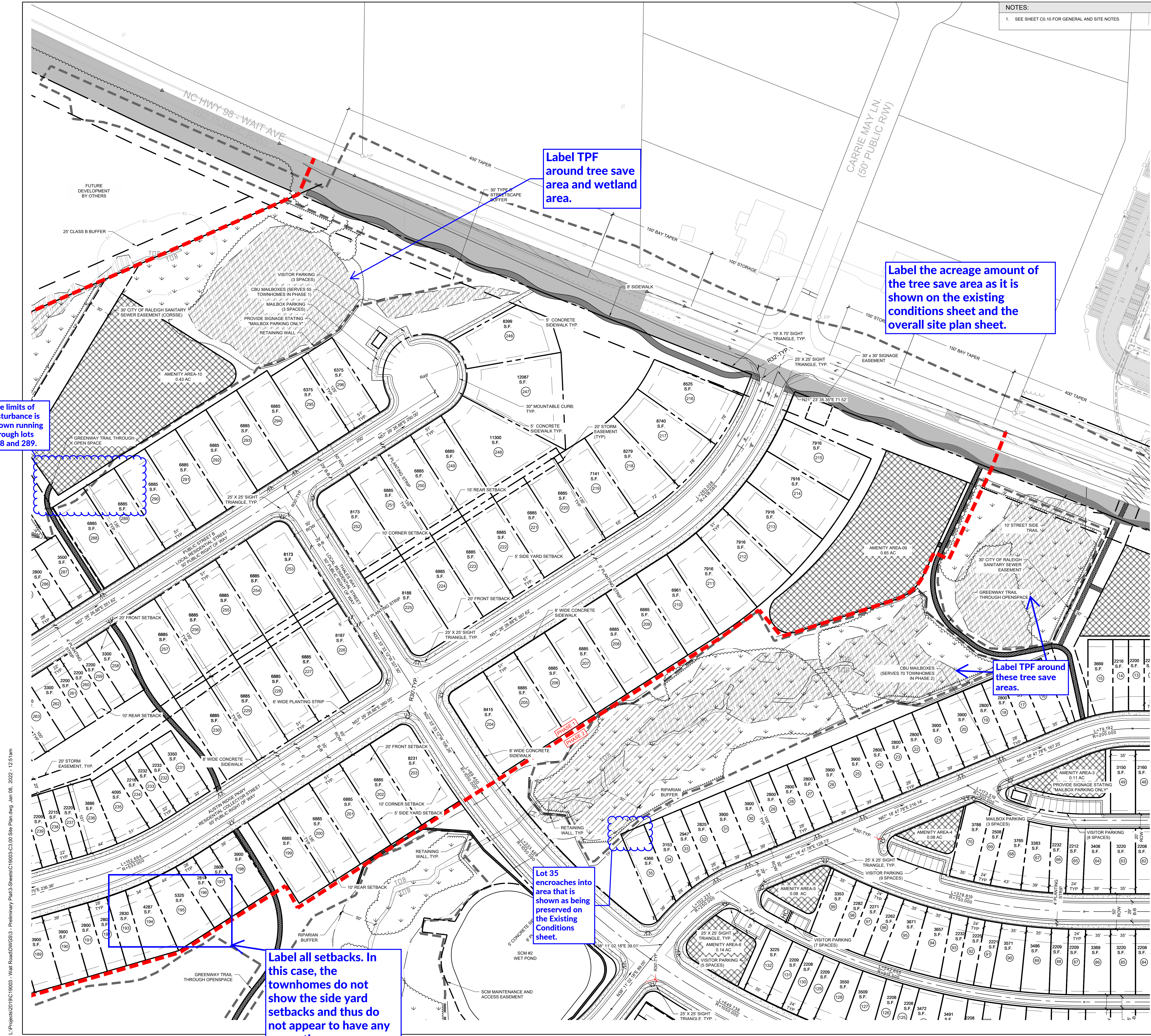
Townhouse 15 is shown in the greenway easement.

Townhouse 35 appears to be shown in the open space area.

296 units counted.

What is this being shown through lots 177 to 182?





NOTES:  
1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

SITE LEGEND:

SYMBOL	DESCRIPTION
[Pattern]	PROPOSED CONCRETE SIDEWALK
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED CURB & GUTTER
[Pattern]	PROPOSED STOP BAR
[Pattern]	PROPOSED CROSSWALK
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED ADA PARKING SPACE
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED WHEEL STOP
[Symbol]	PROPOSED MULCH
[Symbol]	PROPOSED ASPHALT TRAIL
[Symbol]	PROPOSED AMENITY AREA
[Symbol]	PROPOSED TREE SAVE AREA
[Symbol]	WETLAND
[Symbol]	EXISTING POND
[Symbol]	PROPOSED TREELINE
[Symbol]	PROPOSED FENCE
[Symbol]	LIMITS OF DISTURBANCE

NOTE: REFER TO SHEETS C3.10 & C3.11 FOR FULL PAVEMENT MARKING AND SIGNAGE PLAN.

Label TPF around tree save area and wetland area.

Label the acreage amount of the tree save area as it is shown on the existing conditions sheet and the overall site plan sheet.

The limits of disturbance is shown running through lots 288 and 289.

Label TPF around these tree save areas.

Lot 35 encroaches into area that is shown as being preserved on the Existing Conditions sheet.

Label all setbacks. In this case, the townhomes do not show the side yard setbacks and thus do not appear to have any separation.

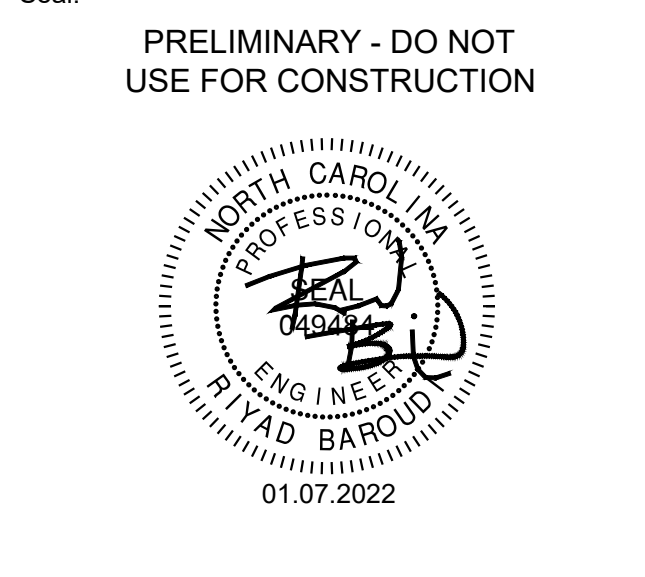
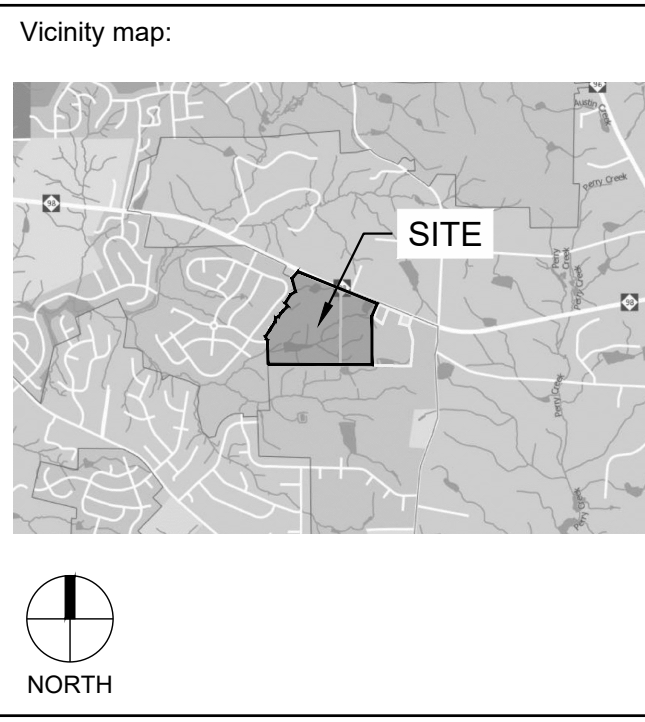


Client:  
PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100

Vicinity map:



Seal:  
PRELIMINARY - DO NOT  
USE FOR CONSTRUCTION



No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Project:  
**FORMER THALES SITE**

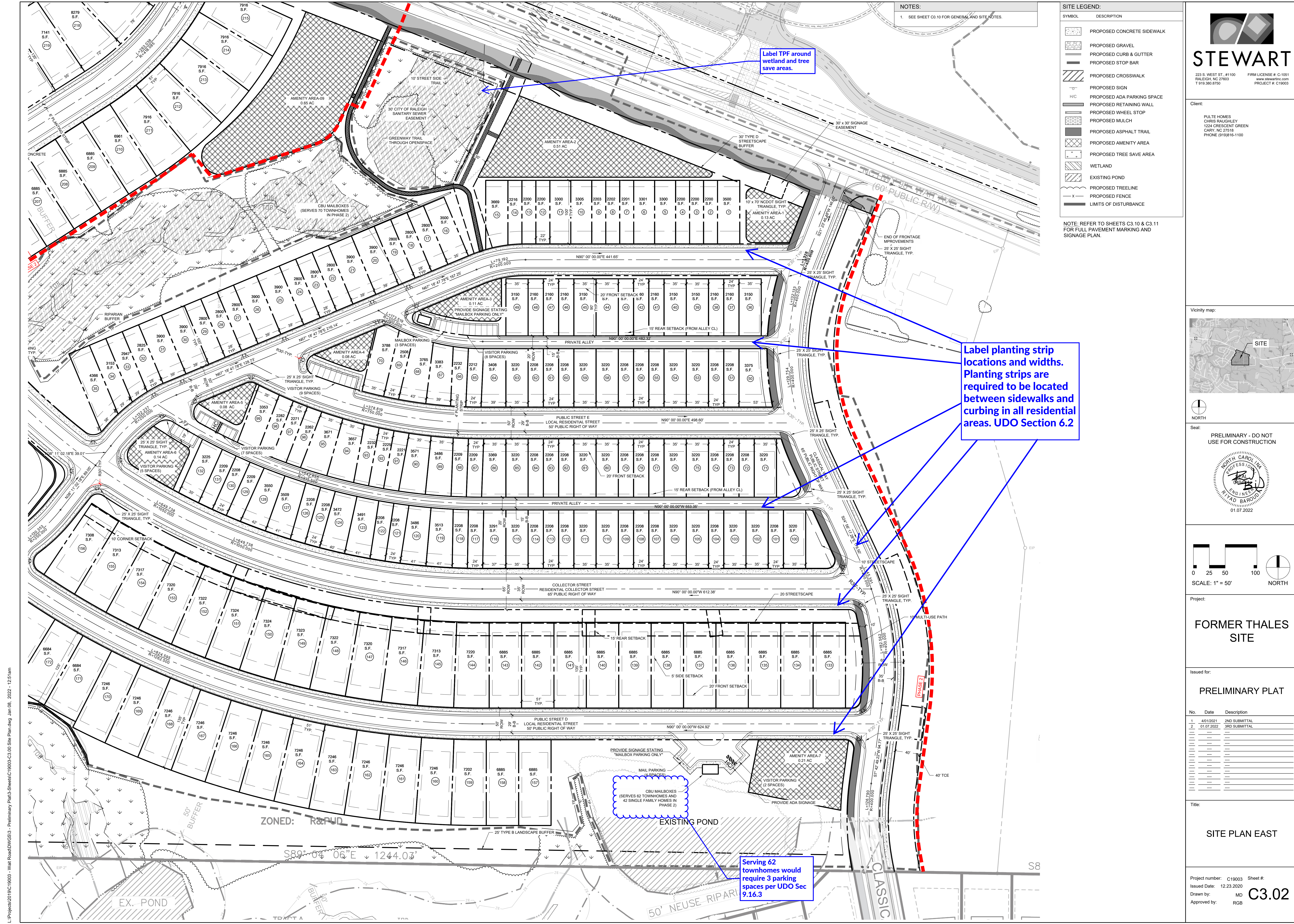
Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		
51		
52		
53		
54		
55		
56		
57		
58		
59		
60		
61		
62		
63		
64		
65		
66		
67		
68		
69		
70		
71		
72		
73		
74		
75		
76		
77		
78		
79		
80		

Title:  
**SITE PLAN NORTHWEST**

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: MD  
Approved by: RGB

**C3.01**



NOTES:  
1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

**SITE LEGEND:**

SYMBOL	DESCRIPTION
[Pattern]	PROPOSED CONCRETE SIDEWALK
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED CURB & GUTTER
[Pattern]	PROPOSED STOP BAR
[Pattern]	PROPOSED CROSSWALK
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED ADA PARKING SPACE
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED WHEEL STOP
[Symbol]	PROPOSED MULCH
[Symbol]	PROPOSED ASPHALT TRAIL
[Symbol]	PROPOSED AMENITY AREA
[Symbol]	PROPOSED TREE SAVE AREA
[Symbol]	WETLAND
[Symbol]	EXISTING POND
[Symbol]	PROPOSED TREELINE
[Symbol]	PROPOSED FENCE
[Symbol]	LIMITS OF DISTURBANCE

NOTE: REFER TO SHEETS C3.10 & C3.11 FOR FULL PAVEMENT MARKING AND SIGNAGE PLAN.

**STEWART**  
223 S. WEST ST., #1100  
RALEIGH, NC 27603  
FIRM LICENSE # C-1051  
T 919.380.8750  
PROJECT # C19003

Client:  
PULTE HOMES  
CHRIS RAUGHLY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100

Vicinity map:  
[Map showing site location]

Seal:  
PRELIMINARY - DO NOT USE FOR CONSTRUCTION  
NORTH CAROLINA PROFESSIONAL ENGINEER  
R. AD BARDOL  
01.07.2022

Scale:  
0 25 50 100  
SCALE: 1" = 50'  
NORTH

Project:  
**FORMER THALES SITE**  
Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	01.07.2022	3RD SUBMITTAL

Title:  
**SITE PLAN EAST**

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: MD  
Approved by: RGB  
**C3.02**

Label TPF around wetland and tree save areas.

Label planting strip locations and widths. Planting strips are required to be located between sidewalks and curbing in all residential areas. UDO Section 6.2

Serving 62 townhomes would require 3 parking spaces per UDO Sec 9.16.3

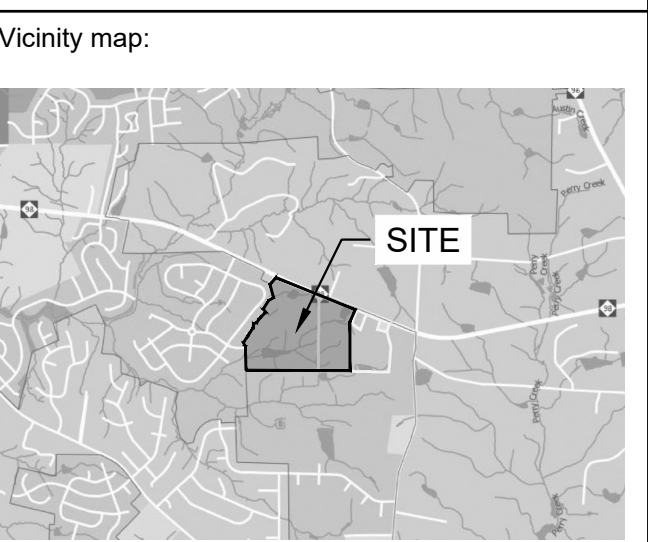
L:\Projects\2019\C19003 - West Road\DWGS - Preliminary\Plan\Site\Sheet\C19003-C3.02 Site Planning Jan 08, 2022 - 12:51am



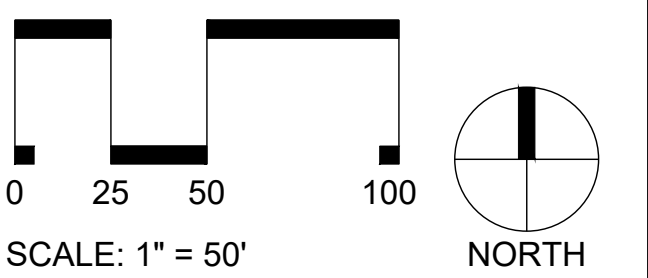
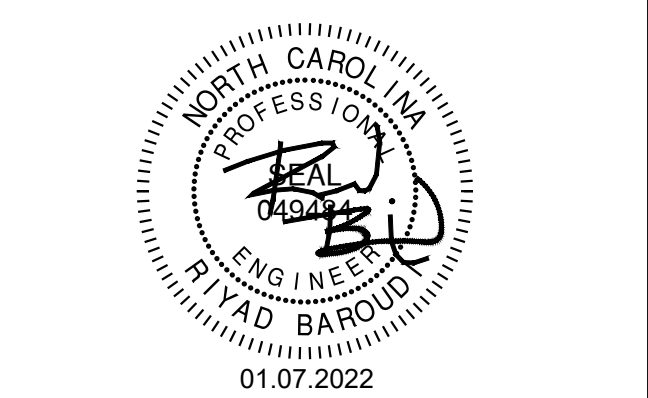
**STEWART**

223 S. WEST ST., #1100  
RALEIGH, NC 27603  
FIRM LICENSE # C-1051  
www.stewartinc.com  
PROJECT # C19003

Client:  
PULTE HOMES  
CHRIS RAUGHLY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100



Seal:  
PRELIMINARY - DO NOT  
USE FOR CONSTRUCTION



Project:  
FORMER THALES  
SITE

Issued for:  
PRELIMINARY PLAT

No. Date Description  
1 4/01/2021 2ND SUBMITTAL  
2 01/07/2022 3RD SUBMITTAL

Table with 3 columns: No., Date, Description. Row 1: 1, 4/01/2021, 2ND SUBMITTAL. Row 2: 2, 01/07/2022, 3RD SUBMITTAL.

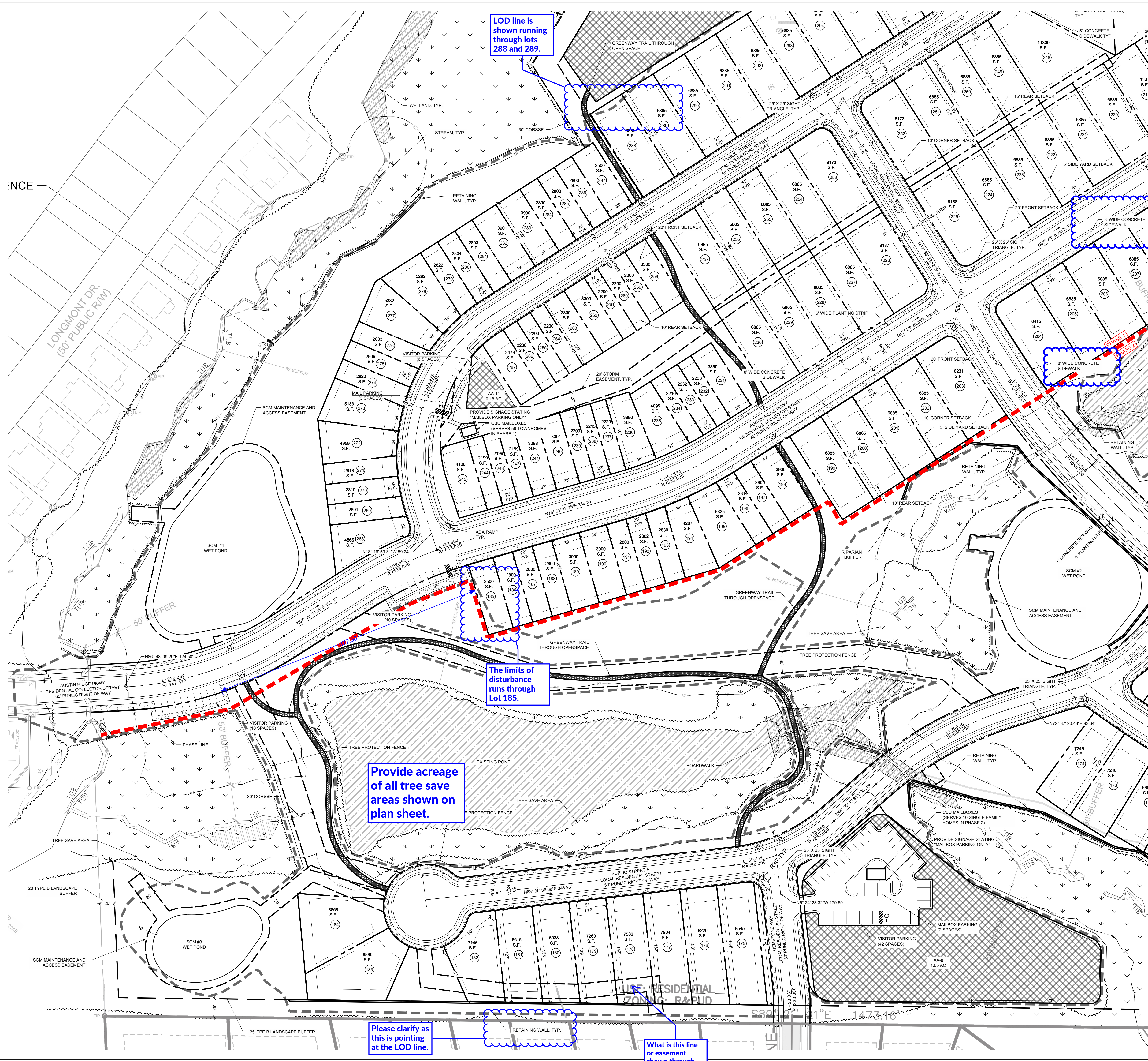
Title:  
SITE PLAN SOUTHWEST

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: MD  
Approved by: RGB  
**C3.03**

SITE LEGEND: Table with columns SYMBOL and DESCRIPTION. Includes items like PROPOSED CONCRETE SIDEWALK, PROPOSED GRAVEL, PROPOSED CURB & GUTTER, etc.

NOTE: REFER TO SHEETS C3.10 & C3.11 FOR FULL PAVEMENT MARKING AND SIGNAGE PLAN.

NOTES:  
1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.



LOD line is shown through lots 288 and 289.

The limits of disturbance runs through Lot 185.

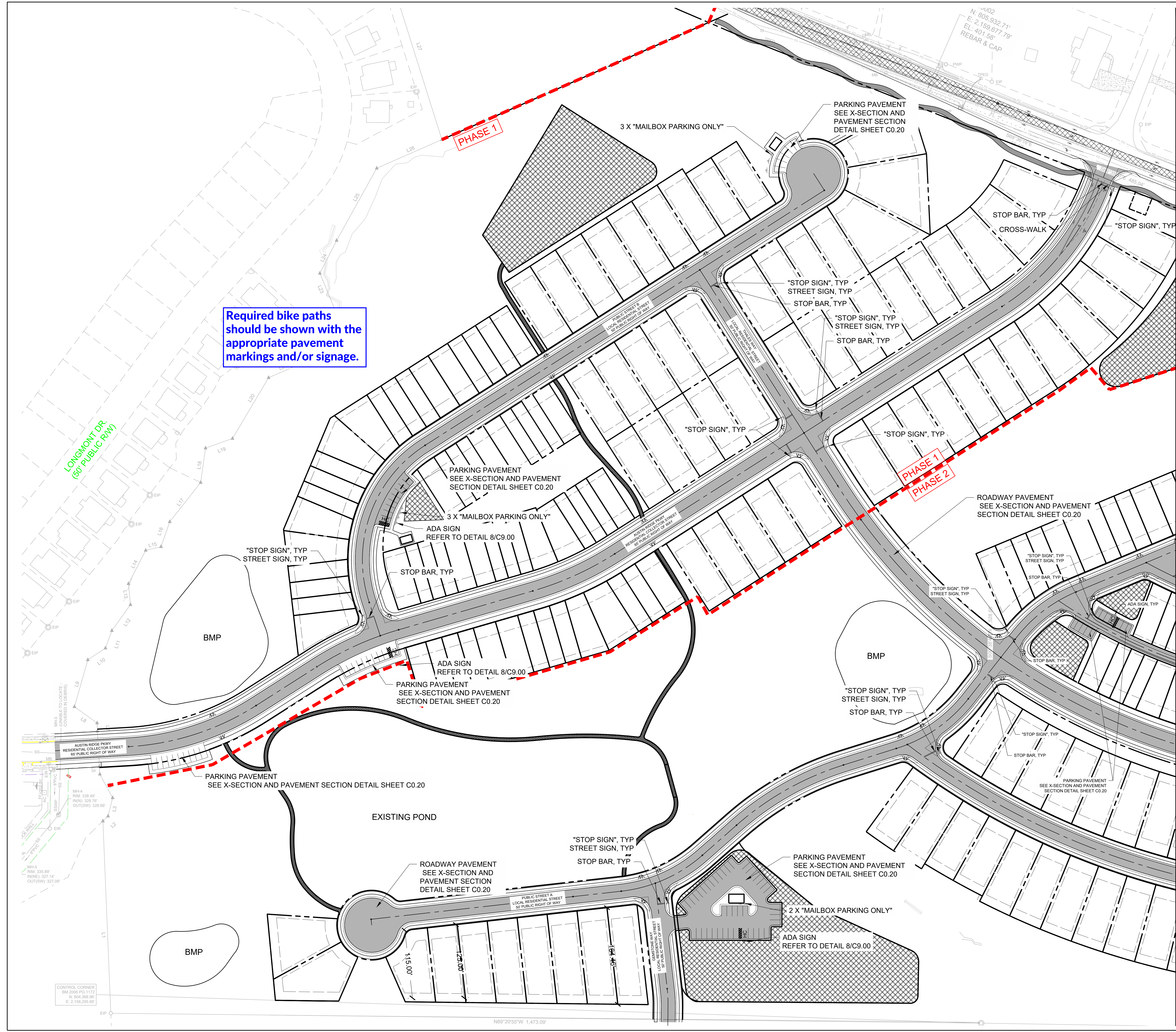
Provide acreage of all tree save areas shown on plan sheet.

Please clarify as this is pointing at the LOD line.

What is this line or easement shown through lots 117 to 182?

L:\Projects\2019\C19003 - West Road\DWG\C3.03 - Preliminary Plat\Site\Sheets\C19003-C3.03 Site Planning Jan 08, 2022 - 12:51am

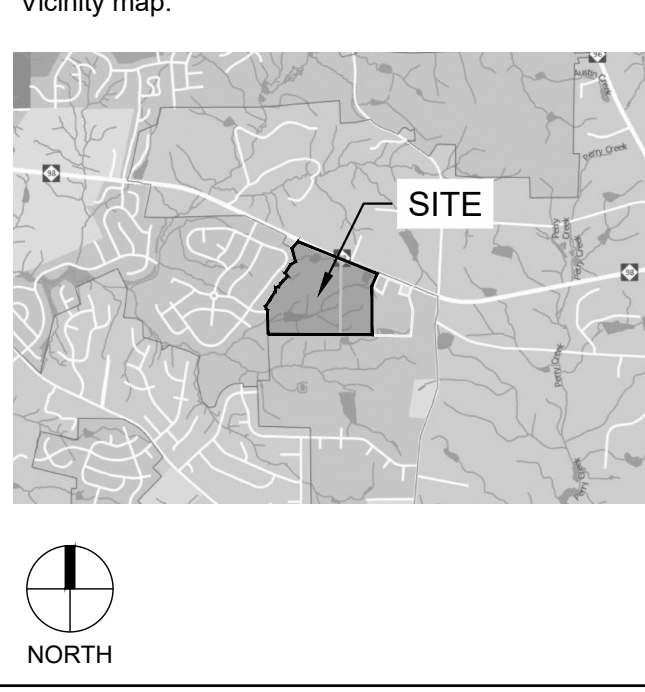




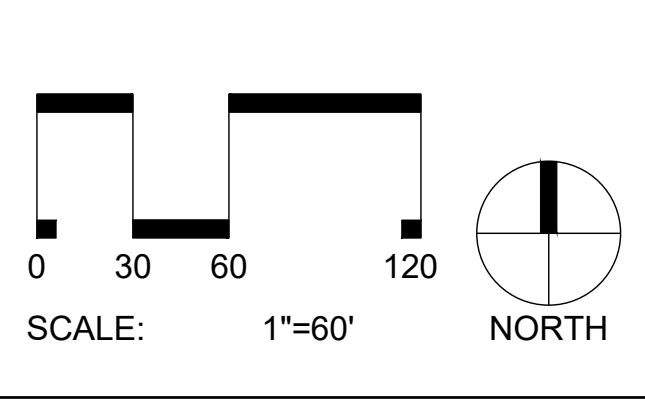
MATCHLINE  
REFER TO SHEET C3.11

**STEWART**  
 223 S. WEST ST., #1100 FIRM LICENSE # C-1051  
 RALEIGH, NC 27603 www.stewartinc.com  
 T 919.380.8750 PROJECT # C19003

Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (619)816-1100



Seal: PRELIMINARY - DO NOT USE FOR CONSTRUCTION



Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

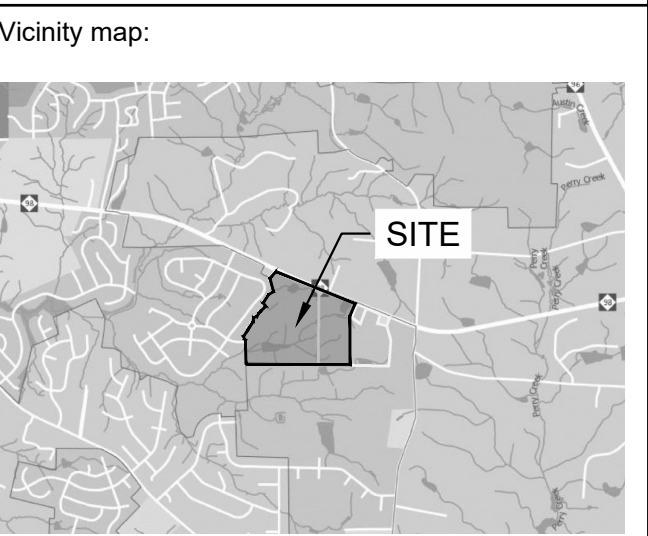
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**PAVEMENT AND SIGNAGE PLAN**

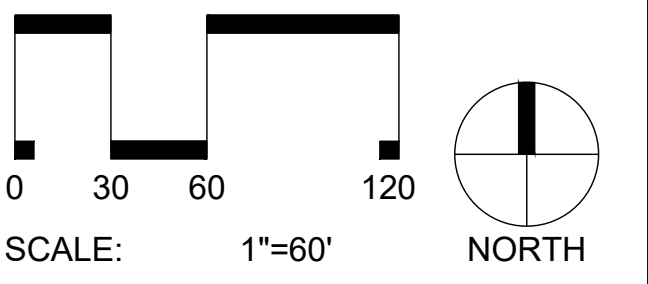
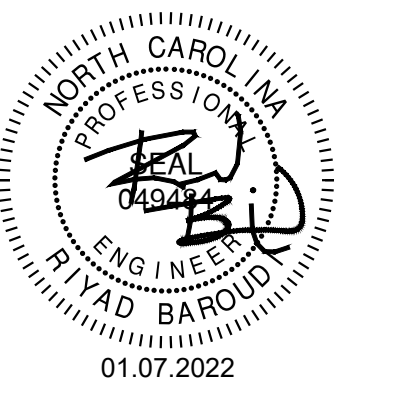
Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: RB **C3.10**  
 Approved by: RGB

L:\Project\2019\C19003 - Neal Road\DWGS\1 - Preliminary Plats\Sheets\C19003-C3.10-Pavement and Signage.dwg Jan 08, 2022 - 12:52am

Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



Seal:  
 PRELIMINARY - DO NOT  
 USE FOR CONSTRUCTION



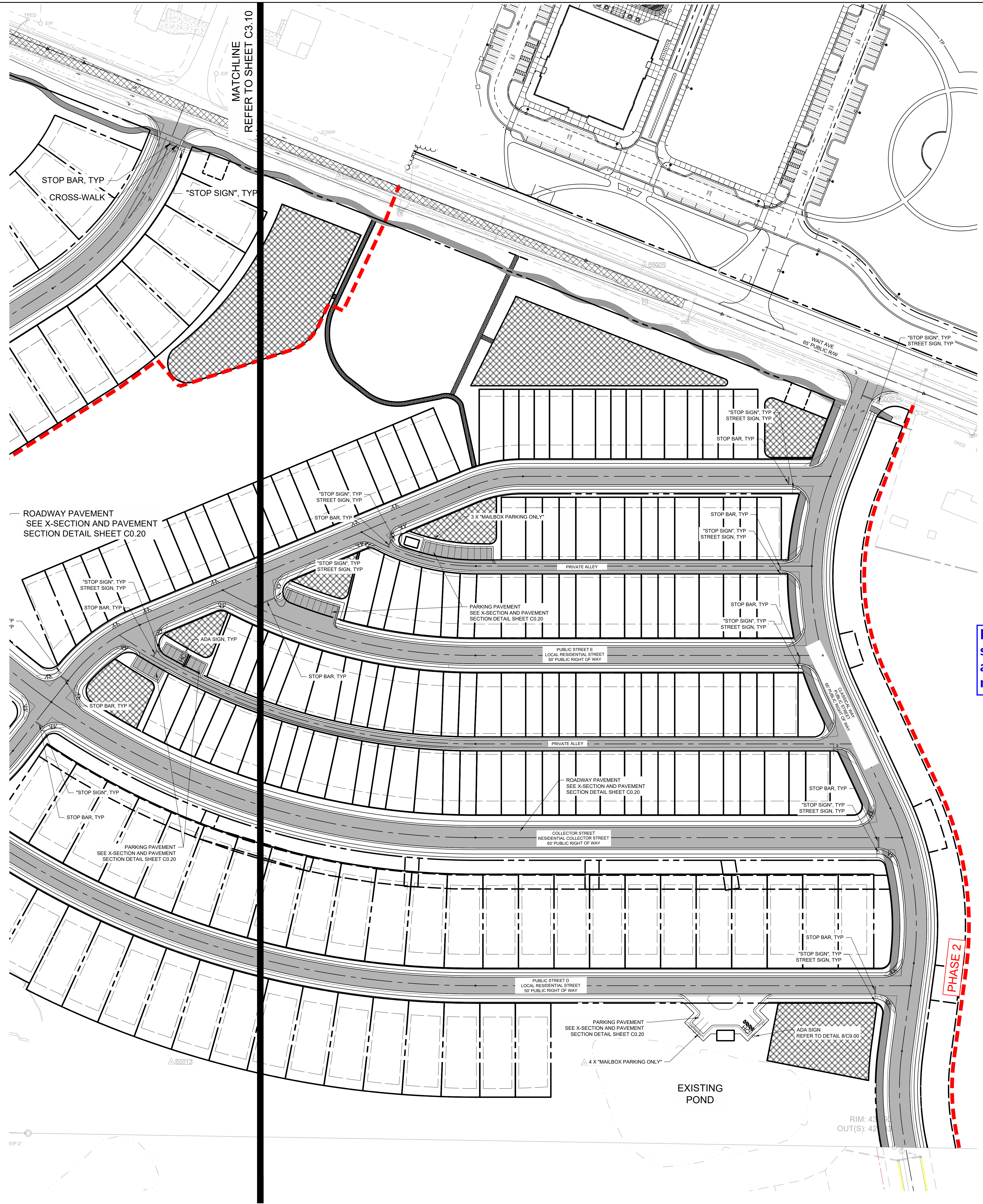
Project:  
**FORMER THALES  
 SITE**

Issued for:  
**PRELIMINARY PLAT**

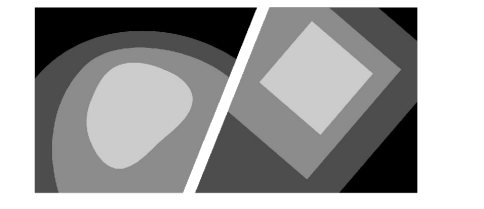
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**PAVEMENT AND  
 SIGNAGE PLAN**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: RB  
 Approved by: RGB  
C3.11



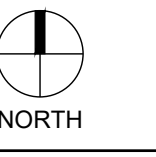
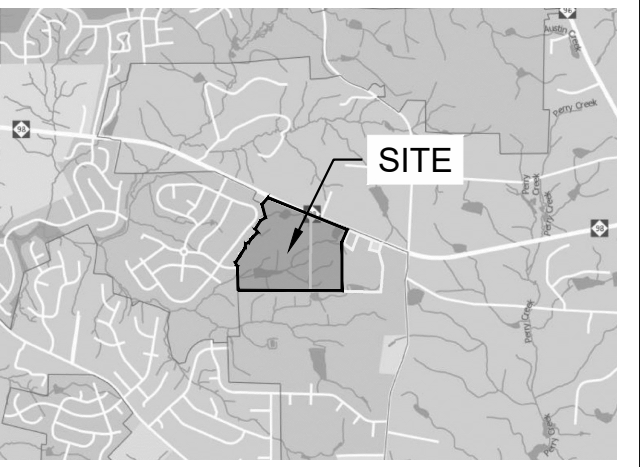
Required bike paths  
 should be shown with the  
 appropriate pavement  
 markings and/or signage.



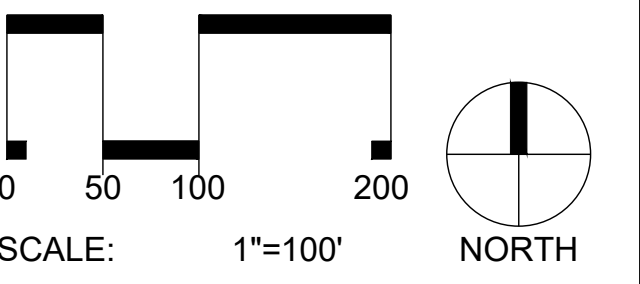
**STEWART**  
 223 S. WEST ST., #1100 FIRM LICENSE # C-1051  
 RALEIGH, NC 27603 www.stewartinc.com  
 T 919.380.8750 PROJECT # C19003

Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100

Vicinity map:



Seal:  
**PRELIMINARY - DO NOT  
 USE FOR CONSTRUCTION**



Project:  
**FORMER THALES  
 SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**GRADING & STORM  
 DRAINAGE PLAN  
 OVERALL**

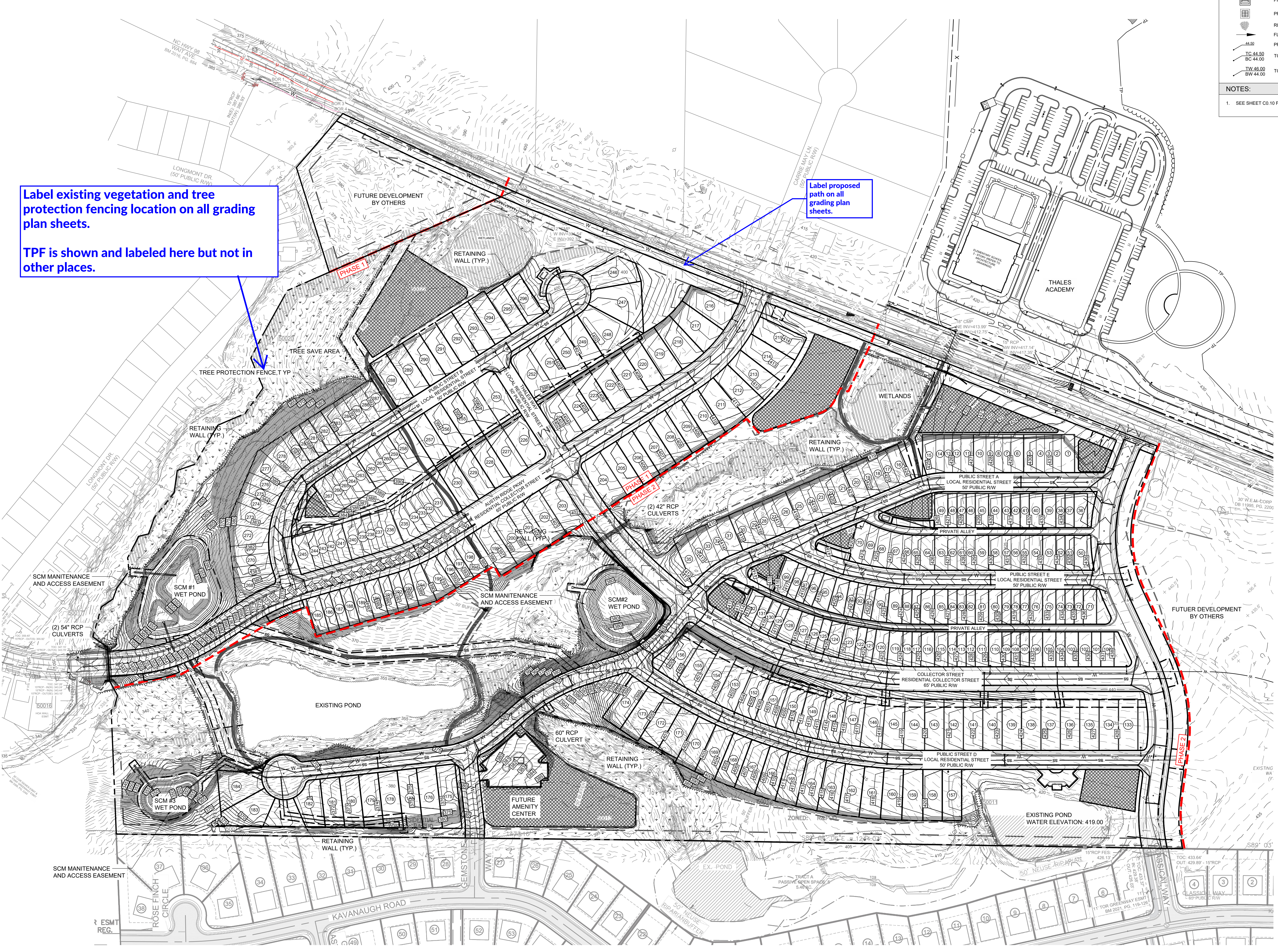
Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: jP  
 Approved by: RGB **C5.00**

GRADING LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
—	LIMITS OF DISTURBANCE	N/A
- - -	PROPOSED MAJOR CONTOUR	N/A
- - -	PROPOSED MINOR CONTOUR	N/A
- - -	EXISTING MAJOR CONTOUR	N/A
- - -	EXISTING MINOR CONTOUR	N/A
- - -	PROPOSED STORM DRAINAGE	#C9.XX
(D)	PROPOSED JUNCTION BOX	#C9.XX
[ ]	PROPOSED CATCH BASIN	#C9.XX
[ ]	PROPOSED AREA DRAIN	#C9.XX
[ ]	PROPOSED RIPRAP	#C9.XX
→	FLOW DIRECTION	N/A
44.50	PROPOSED ELEVATION	N/A
TC 44.50 BC 44.00	TOP/BOTTOM OF CURB	N/A
TW 46.00 BW 44.00	TOP/BOTTOM OF WALL	N/A

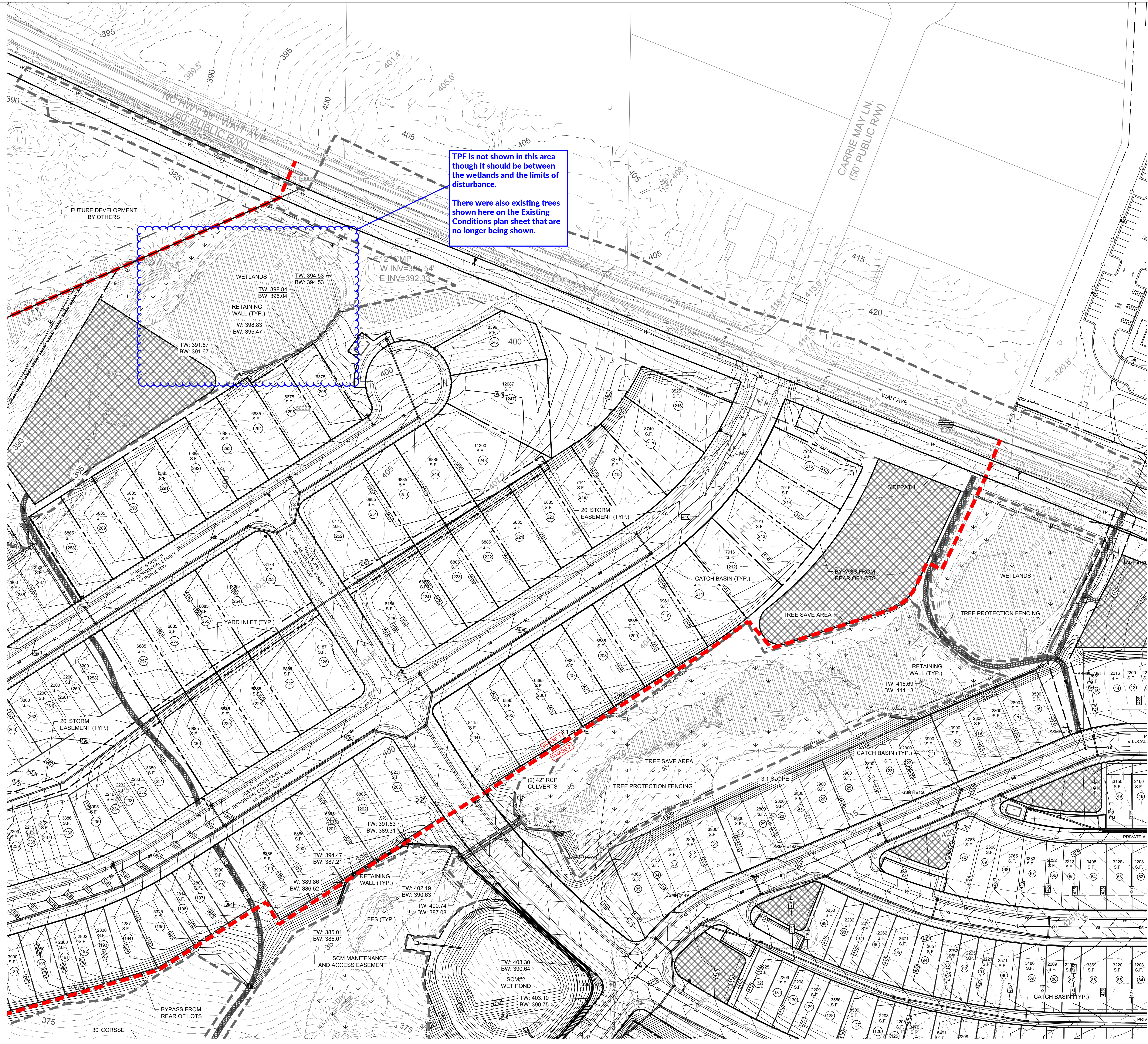
NOTES:  
 1. SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

**Label existing vegetation and tree protection fencing location on all grading plan sheets.**  
 TPF is shown and labeled here but not in other places.

**Label proposed path on all grading plan sheets.**



L:\Projects\2019\C19003 - West Road\DWG\C5.00 Grading & Storm Drainage Plan.dwg Jan 08, 2022 - 12:53am



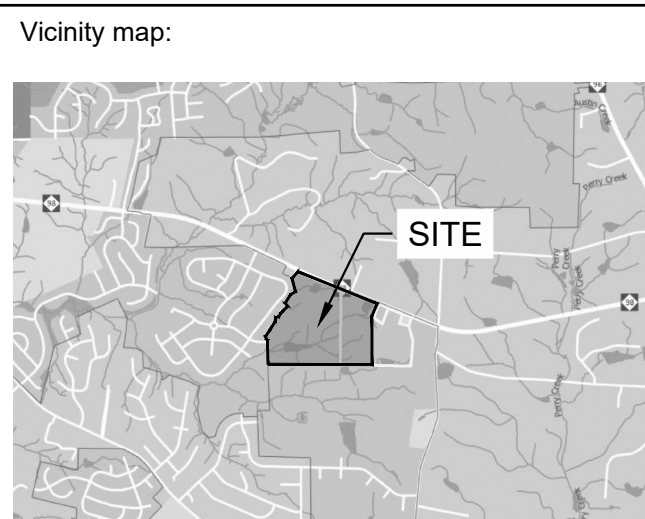
**GRADING LEGEND:**

SYMBOL	DESCRIPTION	DETAIL REFERENCE
(---)	LIMITS OF DISTURBANCE	N/A
(---)	PROPOSED MAJOR CONTOUR	N/A
(---)	PROPOSED MINOR CONTOUR	N/A
(---)	EXISTING MAJOR CONTOUR	N/A
(---)	EXISTING MINOR CONTOUR	N/A
(---)	PROPOSED STORM DRAINAGE	#C9.XX
(○)	PROPOSED JUNCTION BOX	#C9.XX
(□)	PROPOSED CATCH BASIN	#C9.XX
(□)	PROPOSED AREA DRAIN	#C9.XX
(□)	RIPRAP DISSIPATOR	#C9.XX
(---)	FLOW DIRECTION	N/A
(---)	PROPOSED ELEVATION	N/A
(---)	TOP/BOTTOM OF CURB	N/A
(---)	TOP/BOTTOM OF WALL	N/A

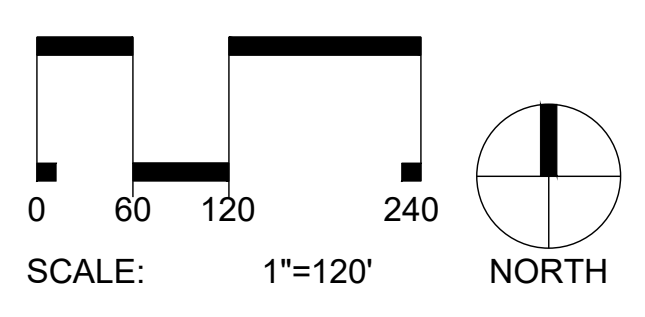
**NOTES:**

- SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



Seal:  
 PRELIMINARY - DO NOT USE FOR CONSTRUCTION



Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

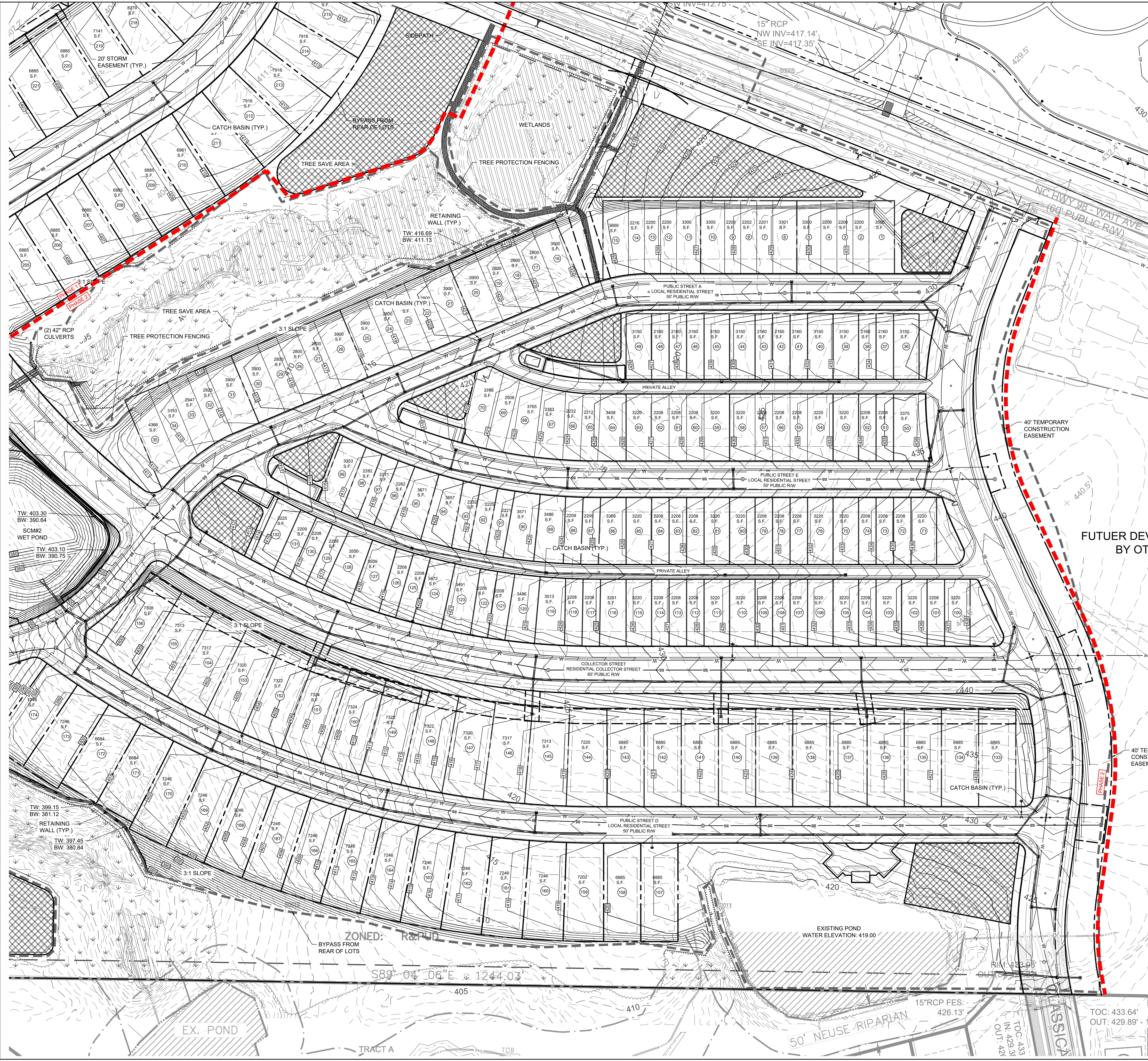
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**GRADING AND DRAINAGE PLAN NORTHWEST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: JP  
 Approved by: RGB

**C5.01**

L:\Projects\2019\C19003 - Wait Road\DWG\C5.01 Grading & Storm Drainage\Plan.dwg Jan 08, 2022 - 12:53am



**GRADING LEGEND:**

SYMBOL	DESCRIPTION	DETAIL REFERENCE
—	LIMITS OF DISTURBANCE	N/A
—	PROPOSED MAJOR CONTOUR	N/A
—	PROPOSED MINOR CONTOUR	N/A
—	EXISTING MAJOR CONTOUR	N/A
—	EXISTING MINOR CONTOUR	N/A
—	PROPOSED STORM DRAINAGE	#/C/XX
(D)	PROPOSED JUNCTION BOX	#/C/XX
[ ]	PROPOSED CATCH BASIN	#/C/XX
[ ]	PROPOSED AREA DRAIN	#/C/XX
[ ]	RIPRAP DISSIPATOR	#/C/XX
→	FLOW DIRECTION	N/A
44.50	PROPOSED ELEVATION	N/A
TC 44.50 BC 44.00	TOP/BOTTOM OF CURB	N/A
TW 46.00 BW 44.00	TOP/BOTTOM OF WALL	N/A

**NOTES:**

- SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

**STEWART**  
 223 S. WEST ST., #1100  
 RALEIGH, NC 27603  
 T 919.380.8750  
 FIRM LICENSE # C-1051  
 www.stewartinc.com  
 PROJECT # C19003

Client:  
 FULLER HOMES  
 CHRIS RAUHLLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100

Vicinity map:

Seal:  
 PRELIMINARY - DO NOT USE FOR CONSTRUCTION

Scale:

Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

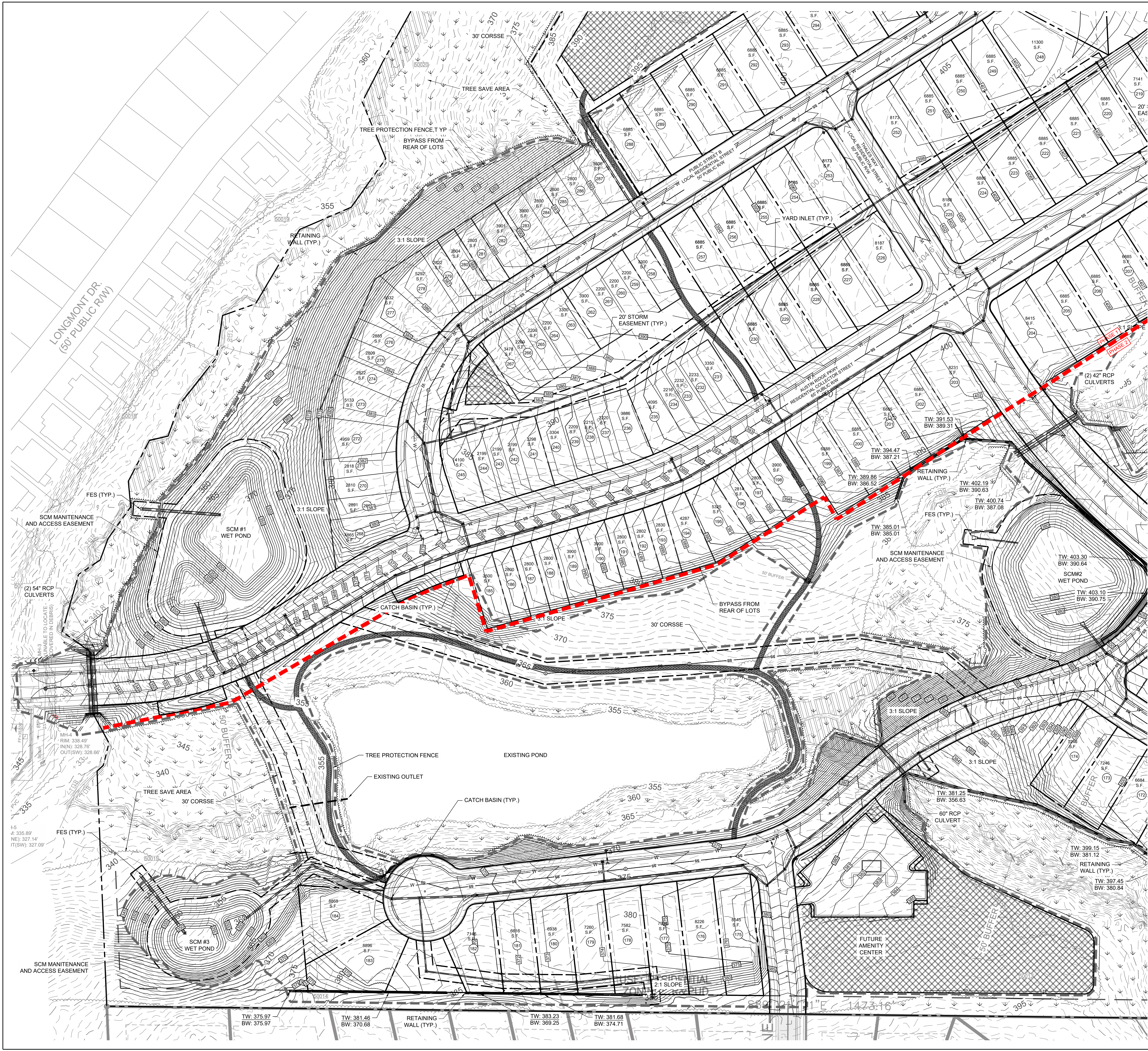
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**GRADING AND DRAINAGE PLAN EAST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: JP  
 Approved by: RGB

**C5.02**

L:\Projects\2019\C19003 - Wait Road\DWCS3 - Preliminary Plat\DWCS3-C5.00 Grading & Storm Drainage Plan.dwg Jan 08, 2022 - 1:22am



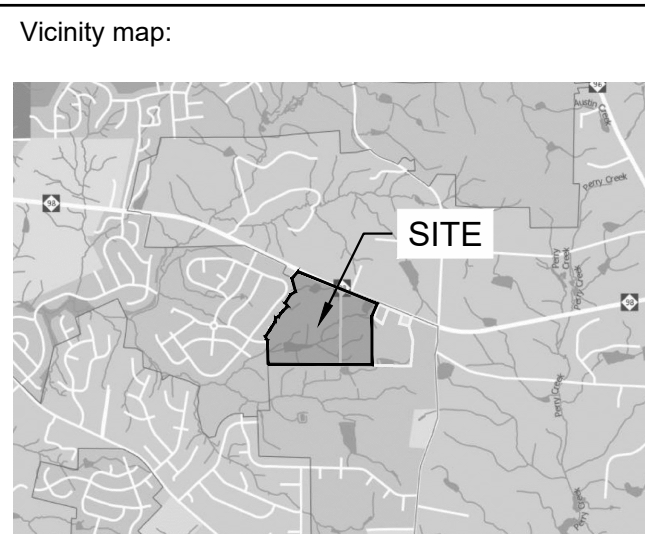
GRADING LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
	LIMITS OF DISTURBANCE	N/A
	PROPOSED MAJOR CONTOUR	N/A
	PROPOSED MINOR CONTOUR	N/A
	EXISTING MAJOR CONTOUR	N/A
	EXISTING MINOR CONTOUR	N/A
	PROPOSED STORM DRAINAGE	#/C/XX
	PROPOSED JUNCTION BOX	#/C/XX
	PROPOSED CATCH BASIN	#/C/XX
	PROPOSED AREA DRAIN	#/C/XX
	RIPRAP DISSIPATOR	N/A
	FLOW DIRECTION	N/A
	PROPOSED ELEVATION	N/A
	TOP/BOTTOM OF CURB	N/A
	TOP/BOTTOM OF WALL	N/A

NOTES:

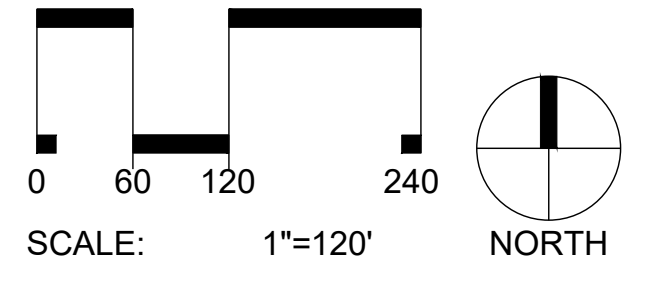
- SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

**STEWART**  
 223 S. WEST ST., #1100  
 RALEIGH, NC 27603  
 T 919.380.8750  
 www.stewartinc.com  
 FIRM LICENSE # C-1051  
 PROJECT # C19003

Client:  
 PULTE HOMES  
 CHRIS RAUGHLLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



Seal:  
**PRELIMINARY - DO NOT USE FOR CONSTRUCTION**



Project:  
**FORMER THALES SITE**

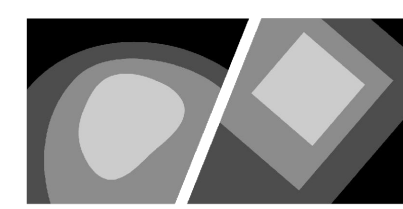
Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**GRADING AND DRAINAGE PLAN  
 SOUTHWEST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: JP  
 Approved by: RGB  
**C5.03**

L:\Projects\2019\C19003 - West Road\DWG\CS3 - Preliminary Plat\CS-Sheridan\C19003-CS-00 Grading & Storm Drainage Plan.dwg Jan 08, 2022 - 12:54am

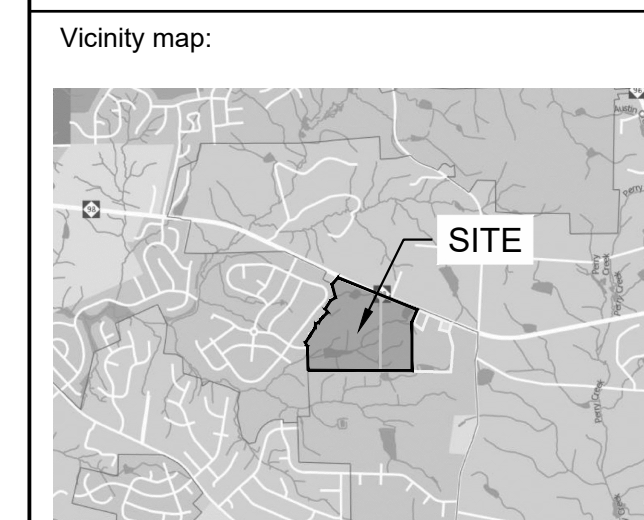


STEWART

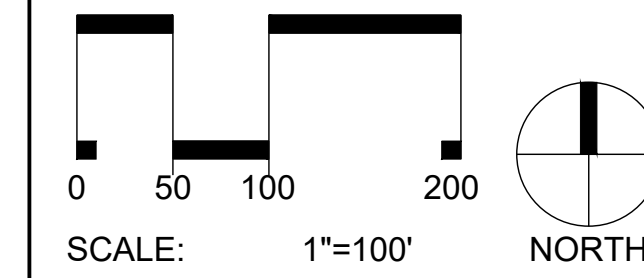
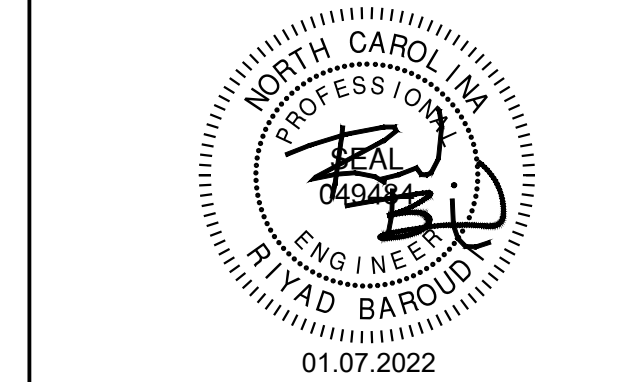
223 S. WEST ST., #1100  
RALEIGH, NC 27603  
1.919.380.8750

FIRM LICENSE # C-1051  
www.stewartinc.com  
PROJECT # C19003

Client:  
PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100



Seal:  
PRELIMINARY - DO NOT  
USE FOR CONSTRUCTION



Project:  
**FORMER THALES  
SITE**

Issued for:  
**PRELIMINARY PLAT**

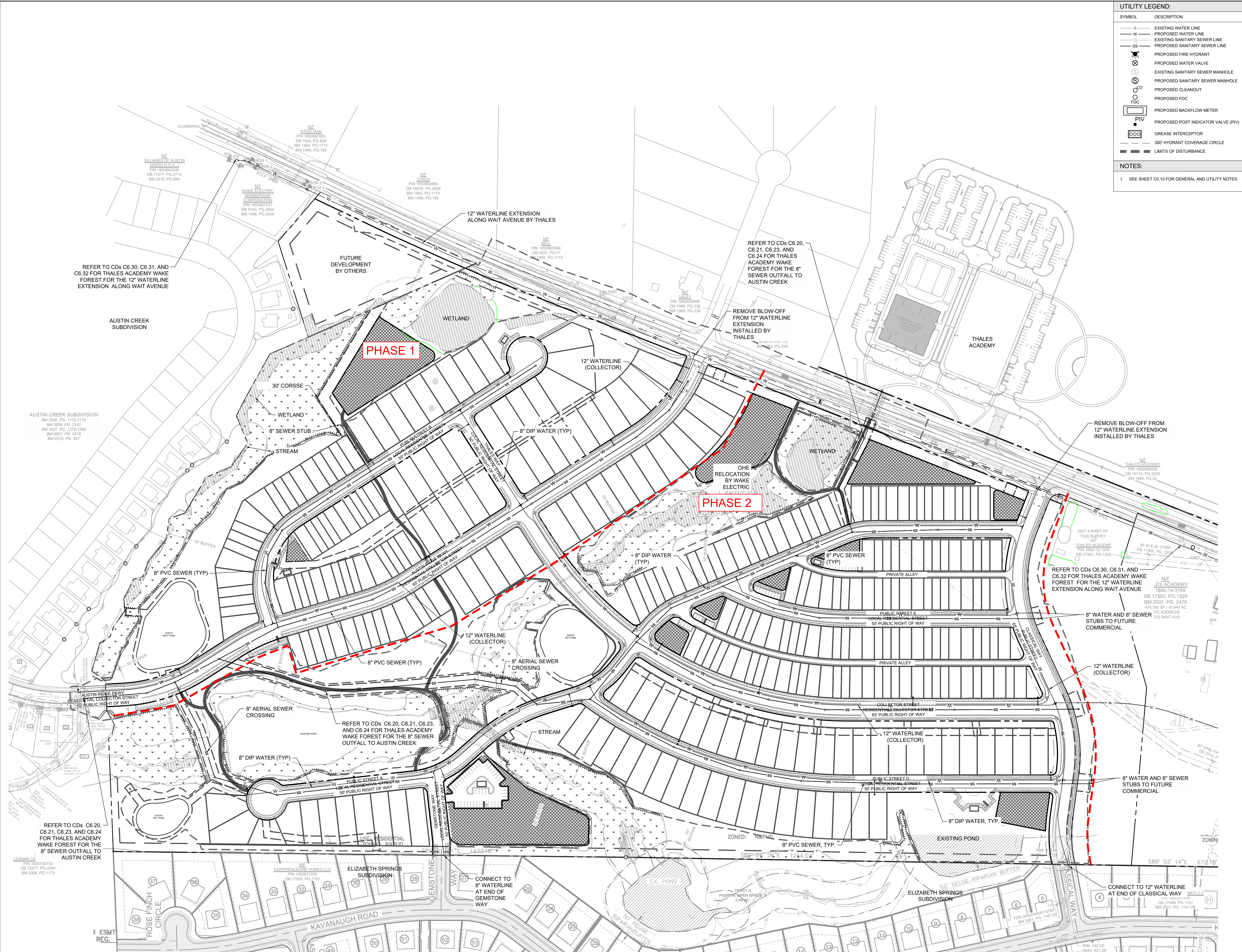
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**UTILITIES PLAN  
OVERALL**

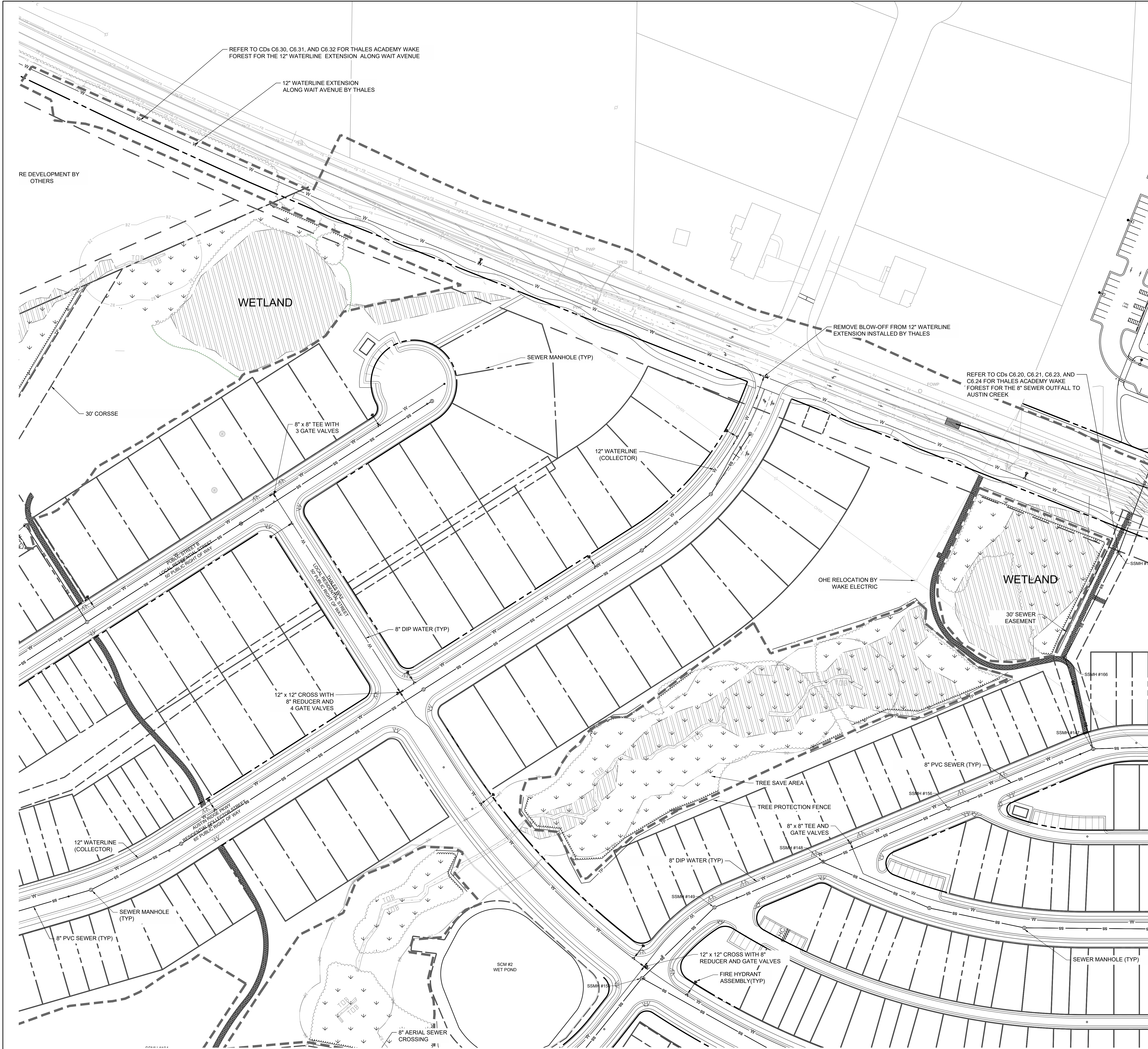
Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: MD  
Approved by: RGB  
**C6.00**

SYMBOL	DESCRIPTION	DETAIL REFERENCE
---	EXISTING WATER LINE	N/A
-W-	PROPOSED WATER LINE	#C9.XX
---	EXISTING SANITARY SEWER LINE	N/A
-SS-	PROPOSED SANITARY SEWER LINE	#C9.XX
⊕	PROPOSED FIRE HYDRANT	#C9.XX
⊕	PROPOSED WATER VALVE	#C9.XX
⊕	EXISTING SANITARY SEWER MANHOLE	N/A
⊕	PROPOSED SANITARY SEWER MANHOLE	#C9.XX
⊕	PROPOSED CLEANOUT	#C9.XX
⊕	PROPOSED FDC	#C9.XX
⊕	PROPOSED BACKFLOW METER	#C9.XX
⊕	PROPOSED POST INDICATOR VALVE (PIV)	#C9.XX
⊕	GREASE INTERCEPTOR	#C9.XX
⊕	300' HYDRANT COVERAGE CIRCLE	N/A
---	LIMITS OF DISTURBANCE	N/A

NOTES:  
1. SEE SHEET C6.10 FOR GENERAL AND UTILITY NOTES.



L:\Projects\2019\C19003 - Wait Road\DWGS - Preliminary Plat\C19003-C6.00 Utility Plan.dwg, Jan 08, 2022 - 12:58pm



UTILITY LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
— W —	EXISTING WATER LINE	N/A
— W —	PROPOSED WATER LINE	#/C9.XX
— SS —	EXISTING SANITARY SEWER LINE	N/A
— SS —	PROPOSED SANITARY SEWER LINE	#/C9.XX
⊗	PROPOSED FIRE HYDRANT	#/C9.XX
⊙	PROPOSED FIRE VALVE	#/C9.XX
⊙	EXISTING SANITARY SEWER MANHOLE	N/A
⊙	PROPOSED SANITARY SEWER MANHOLE	#/C9.XX
⊙	PROPOSED CLEANOUT	#/C9.XX
⊙	PROPOSED FDC	#/C9.XX
⊙	PROPOSED BACKFLOW METER	#/C9.XX
⊙	PROPOSED POST INDICATOR VALVE (PIV)	#/C9.XX
⊙	GREASE INTERCEPTOR	#/C9.XX
⊙	30' HYDRANT COVERAGE CIRCLE	N/A
— — —	LIMITS OF DISTURBANCE	N/A

**NOTES:**

- SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

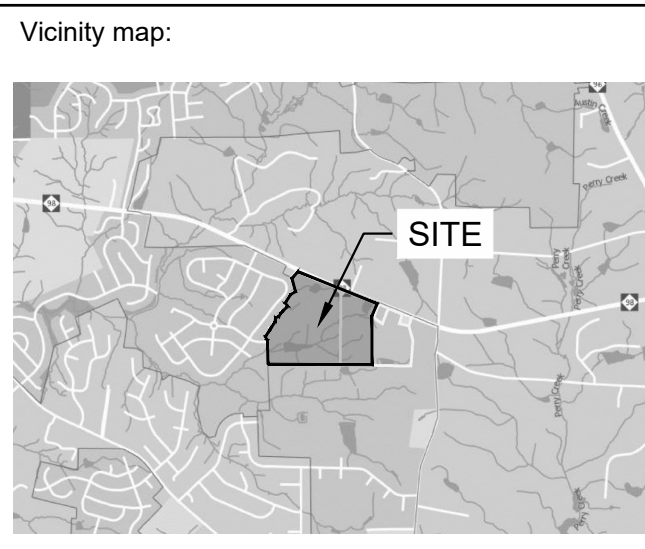


# STEWART

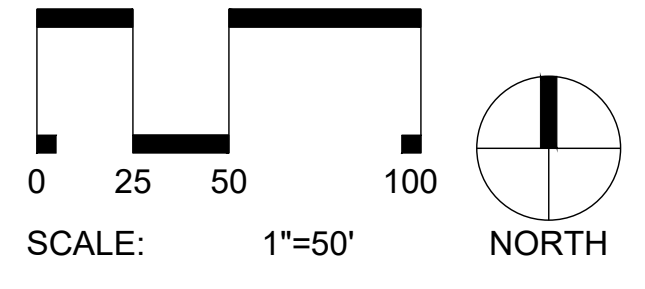
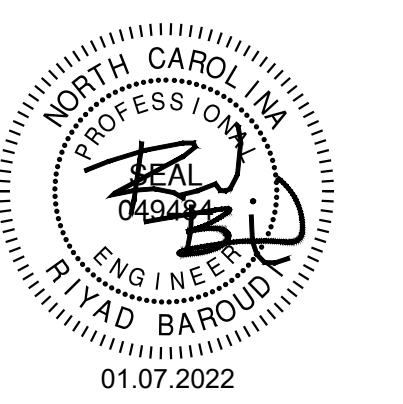
223 S. WEST ST., #1100 FIRM LICENSE # C-1051  
 RALEIGH, NC 27603 www.stewartinc.com  
 T 919.380.8750 PROJECT # C19003

Client:

PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



Seal: PRELIMINARY - DO NOT USE FOR CONSTRUCTION



Project: **FORMER THALES SITE**

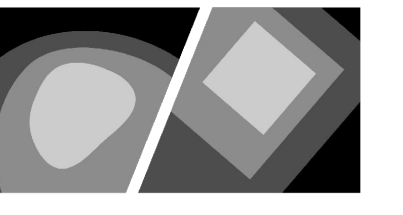
Issued for: **PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title: **UTILITIES PLAN NORTHWEST**

Project number: C19003 Sheet #: **C6.01**  
 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB



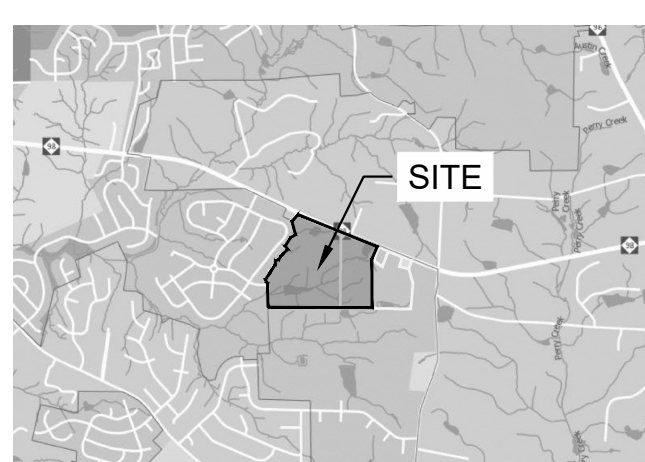


**STEWART**  
 223 S. WEST ST., #1100  
 RALEIGH, NC 27603  
 T 919.380.8750  
 FIRM LICENSE # C-1051  
 www.stewartnc.com  
 PROJECT # C19003

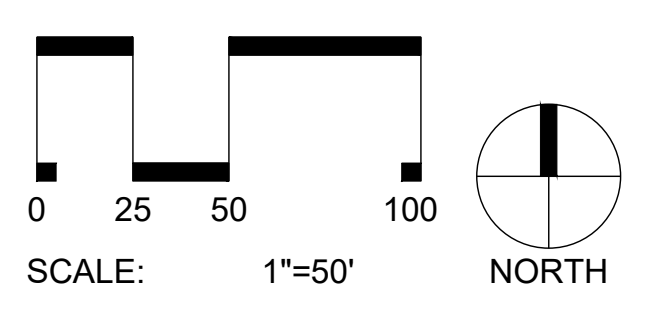
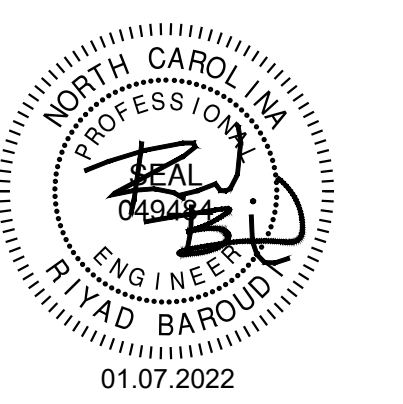
Client:  
 PULTE HOMES  
 CHRIS RAUHLLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100

NOTES:  
 1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

Vicinity map:



Seal:  
 PRELIMINARY - DO NOT USE FOR CONSTRUCTION



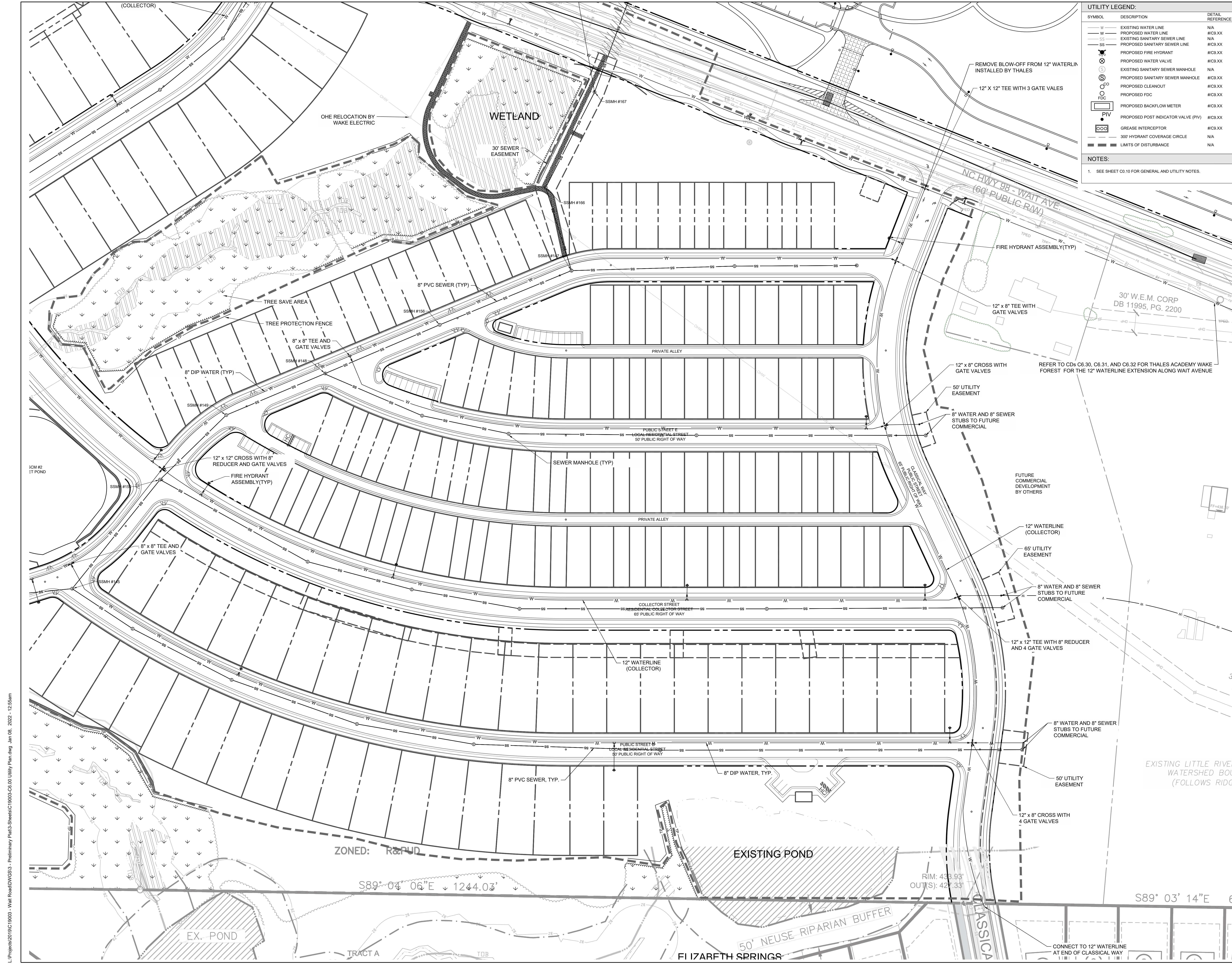
Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**UTILITIES PLAN EAST**

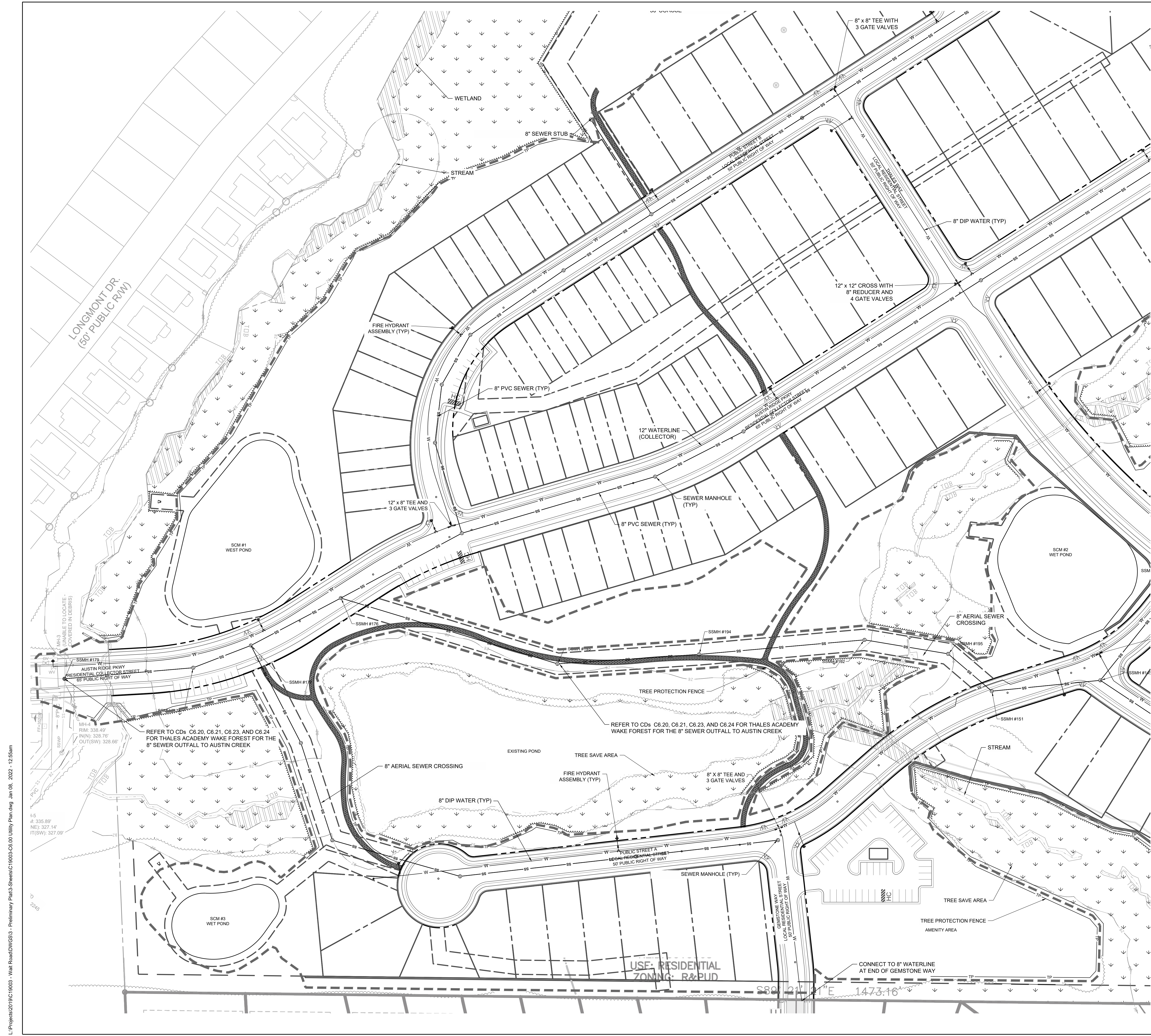
Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB  
**C6.02**



UTILITY LEGEND:

SYMBOL	DESCRIPTION	DETAIL REFERENCE
---	EXISTING WATER LINE	N/A
---	PROPOSED WATER LINE	#C9.XX
---	EXISTING SANITARY SEWER LINE	N/A
---	PROPOSED SANITARY SEWER LINE	#C9.XX
⊗	PROPOSED FIRE HYDRANT	#C9.XX
⊗	PROPOSED WATER VALVE	#C9.XX
⊙	EXISTING SANITARY SEWER MANHOLE	N/A
⊙	PROPOSED SANITARY SEWER MANHOLE	#C9.XX
⊙	PROPOSED CLEANOUT	#C9.XX
⊙	PROPOSED FDC	#C9.XX
⊙	PROPOSED BACKFLOW METER	#C9.XX
⊙	PROPOSED POST INDICATOR VALVE (PIV)	#C9.XX
⊙	GREASE INTERCEPTOR	#C9.XX
⊙	300' HYDRANT COVERAGE CIRCLE	N/A
---	LIMITS OF DISTURBANCE	N/A

L:\Projects\2019\C19003 - Wait Road\DWG\SS - Preliminary Plat\SS-Sheets\C19003-C6.00 Utility Plan.dwg Jan 08, 2022 - 12:55am

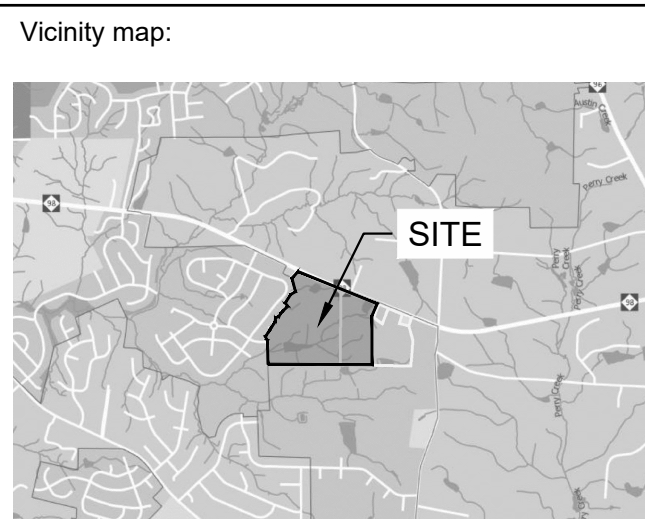


SYMBOL	DESCRIPTION	DETAIL REFERENCE
—	EXISTING WATER LINE	N/A
—	PROPOSED WATER LINE	#C9.XX
- - -	EXISTING SANITARY SEWER LINE	N/A
- - -	PROPOSED SANITARY SEWER LINE	#C9.XX
⊗	PROPOSED FIRE HYDRANT	#C9.XX
⊗	EXISTING FIRE HYDRANT	#C9.XX
⊗	PROPOSED WATER VALVE	#C9.XX
⊗	EXISTING SANITARY SEWER MANHOLE	N/A
⊗	PROPOSED SANITARY SEWER MANHOLE	#C9.XX
⊗	PROPOSED CLEANDOUT	#C9.XX
⊗	PROPOSED FDC	#C9.XX
⊗	PROPOSED BACKFLOW METER	#C9.XX
⊗	PROPOSED POST INDICATOR VALVE (PIV)	#C9.XX
⊗	GREASE INTERCEPTOR	#C9.XX
⊗	300' HYDRANT COVERAGE CIRCLE	N/A
⊗	LIMITS OF DISTURBANCE	N/A

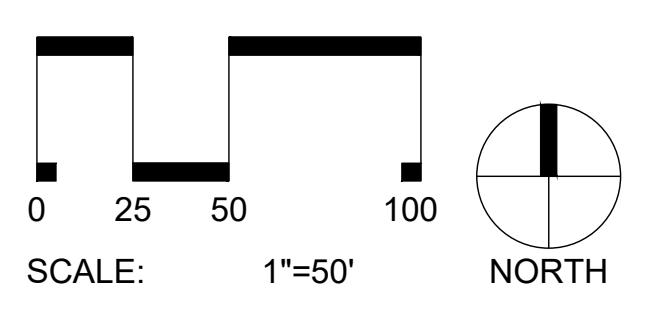
**NOTES:**  
1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.



Client:  
PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100



Seal:  
**PRELIMINARY - DO NOT USE FOR CONSTRUCTION**



Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**UTILITIES PLAN  
SOUTHWEST**

Project number: C19003 Sheet #: C6.03  
Issued Date: 12.23.2020  
Drawn by: MD  
Approved by: RGB

L:\Projects\2019\C19003 - West Road\DWGS - Preliminary Plat\Sheet\C19003-C6.00 Utility Plan.dwg Jan 08, 2022 - 12:58pm

L:\Projects\2019\1903 - Wait Road\DWG\1903 - Preliminary Plat\1903-1.00 Landscape Plan.dwg Jan 08, 2022 - 12:56am

**LANDSCAPE NOTES**

1. VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES OR INACCURACIES IN THE PLANS TO THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
2. LANDSCAPE WORK SHALL INCLUDE THE FURNISHING, INSTALLATION, AND WARRANTY OF ALL PLANTING MATERIALS WITHIN THE PROJECT AREA.
3. THE LANDSCAPE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL EXISTING AND NEW UNDERGROUND UTILITIES PRIOR TO EXCAVATION FOR PLANTING. DAMAGES TO UTILITIES CAUSED BY THE LANDSCAPE OPERATION SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
4. LANDSCAPING SHALL REMAIN CLEAR FROM ANY FIRE HYDRANTS ON THE SITE.
5. ALL TREES TO BE A MINIMUM OF 2" IN CALIPER AND MUST MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
6. TREE PROTECTION NOTE: TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE OR ISSUANCE OF A GRADING PERMIT AND SHALL INCLUDE WARNING SIGNS POSTED IN BOTH ENGLISH AND SPANISH, AS FOLLOWS: "NO TRESPASSING/TREE PROTECTION AREA/PROHIBIDO ENTRAR / ZONA PROTECTORA PARA LOS ARBOLES."
7. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE LOWERING OF EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA.
8. ROOT ZONE PROTECTION AREA: VARIES BASED ON LOCAL JURISDICTION HAVING AUTHORITY. CONTRACTOR SHALL COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS. NO DISTURBANCE ALLOWED WITHIN THIS AREA. AREA MUST BE PROTECTED WITH BOTH TREE PROTECTION FENCING AND WARNING SIGNS.
9. SEED BED PREPARATION: ALL AREAS TO BE SEEDED ARE TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL. ALL DEBRIS, ROCKS, ETC. LARGER THAN 5" ARE TO BE REMOVED. ALL LARGE CONCENTRATIONS OF GRAVEL & DEBRIS REGARDLESS OF SIZE ARE TO BE REMOVED PRIOR TO SEEDING OR PLANTING.
10. ALL PLANT BED AREAS ARE TO RECEIVE A MINIMUM OF 6" OF APPROVED TOPSOIL.
11. SOIL SHOULD BE TESTED AND AMENDED WITH LIME AND FERTILIZER FOR HARDWOOD TREES ACCORDING TO NCDA PROCEDURES. SCARIFY PLANT PIT WALLS. CONSULT LANDSCAPE ARCHITECT FOR ALTERNATE COMPLIANCE.
12. SHREDDED HARDWOOD MULCH 3" DEEP EXCEPT AT CROWN OF PLANT UNLESS OTHERWISE NOTED. FLARE AT CROWN SHOULD BE REVEALED. BACKFILL CONSISTS OF THOROUGHLY BROKEN UP NATIVE SOIL. TOTAL VOLUME OF BACKFILL SHOULD BE AMENDED WITH UP TO ONE THIRD PINE BARK MULCH. PIECES SHOULD BE NO LARGER THAN WHAT PASSES THROUGH A ONE INCH SCREEN. IF ADDITIONAL SOIL IS REQUIRED FOR BACKFILL DUE TO DETRIMENTAL SUBSOIL DRAINAGE CONDITIONS, USE SOIL SIMILAR TO EXISTING NATIVE SOIL. ADDITIONAL SOIL TO BE APPROVED BY LANDSCAPE ARCHITECT. MAXIMUM SAUCER HEIGHT IS 6 INCHES.
13. TOP OF ROOTBALL TO BE RAISED 2-3 INCHES ABOVE EXISTING GRADE.
14. FOR B&B PLANTS, NATURAL FIBER BURLAP SHOULD BE TURNED DOWN BY 1/3 TOTAL HEIGHT OF ROOT BALL. PLASTIC FIBER BURLAP AND WIRE BASKETS SHOULD BE REMOVED TO 2/3'S OF TOTAL HEIGHT OF ROOT BALL.
15. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE TREE UPRIGHT AND PLUMB THROUGHOUT THE WARRANTY PERIOD. IF STABILIZATION IS NECESSARY SEE STAKING IN TREE DETAIL. ORANGE FLAGGING TAPE SHOULD BE ATTACHED TO SUPPORT WIRE. STAKING SHOULD BE REMOVED BY CONTRACTOR AT END OF ONE YEAR WARRANTY PERIOD OR AS DIRECTED BY GROUNDS MANAGEMENT.
16. USE STANDARD "GATOR" BAGS FOR WATERING TREES IN AREAS NOT UNDER IRRIGATION. INCORPORATE TERRA-SORB (OR EQUAL) AS PER MANUFACTURERS RECOMMENDATIONS, FOR AREAS NOT UNDER IRRIGATION.
17. USE "BIO-BARRIER" OR EQUIVALENT ACCORDING TO MANUFACTURER'S RECOMMENDATION FOR TREES THAT WILL BE PLANTED WITHIN 10' OF PAVEMENT
18. LANDSCAPING/C.O. STANDARDS NOTE: ALL LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF COMPLIANCE.

**Provide landscape calculations showing what is required and what is provided. This should be done for street trees as well as all buffers.**

**For example:  
Street Front Type D requires one canopy per 40 linear feet.  
Wait Avenue is "X" linear feet requiring "Y" number of trees. The applicant is providing "Z" street trees.**

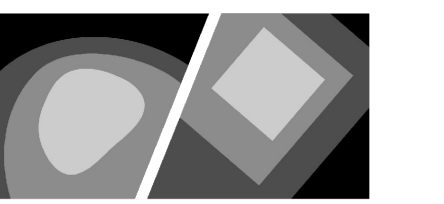
**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPACING	NOTES
	ACRU	73	ACER RUBRUM RED MAPLE	B&B	2.5 IN	8 TO 10 FT	40 FT O.C.	STRONG CENTRAL LEADER
	QUAL	74	QUERCUS ALBA WHITE OAK	B&B	2.5 IN	8 TO 10 FT	40 FT O.C.	STRONG CENTRAL LEADER
	TICO	115	TILIA CORDATA LITTLELEAF LINDEN	B&B	2.5 IN	8 FT	40 FT O.C.	STRONG CENTRAL LEADER
	ULPA	117	ULMUS PARVIFOLIA LACEBARK ELM	B&B	2.5 IN	8 TO 10 FT	40 FT O.C.	STRONG CENTRAL LEADER
	ZSVG	107	ZELKOVA SERRATA 'VILLAGE GREEN' JAPANESE ZELKOVA	B&B	2.5 IN	8'-10' HT	40 FT O.C.	STRONG CENTRAL LEADER

**Within planting schedule, clarify what requirement each planting will be fulfilling.**

NOTES
1. TREES IN BUFFER ALONG CLASSICAL WAY WILL BE COUNTED TOWARD STREET TREE REQUIREMENT.

**Shrubs were not shown on the landscape plan sheets within the buffers.**



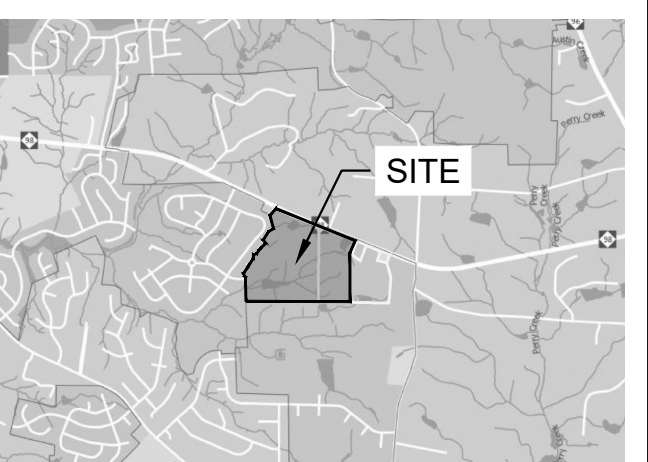
**STEWART**

223 S. WEST ST., #1100 FIRM LICENSE #: C-1051  
RALEIGH, NC 27603 www.stewartinc.com  
T 919.380.8750 PROJECT #: C19003

**Client:**

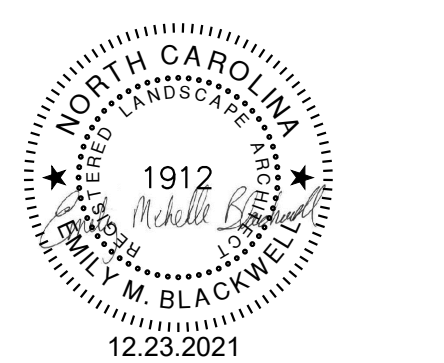
PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100

**Vicinity map:**



**Seal:**

**PRELIMINARY - DO NOT USE FOR CONSTRUCTION**



**Project:**

**FORMER THALES SITE**

**Issued for:**

**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
---	---	---
---	---	---
---	---	---
---	---	---
---	---	---
---	---	---
---	---	---
---	---	---
---	---	---
---	---	---
---	---	---
---	---	---
---	---	---
---	---	---
---	---	---
---	---	---

**Title:**

**LANDSCAPE NOTES**

Project number: C19003 Sheet #: **L1.00**  
Issued Date: 12.23.2020  
Drawn by: TM  
Approved by: EMB

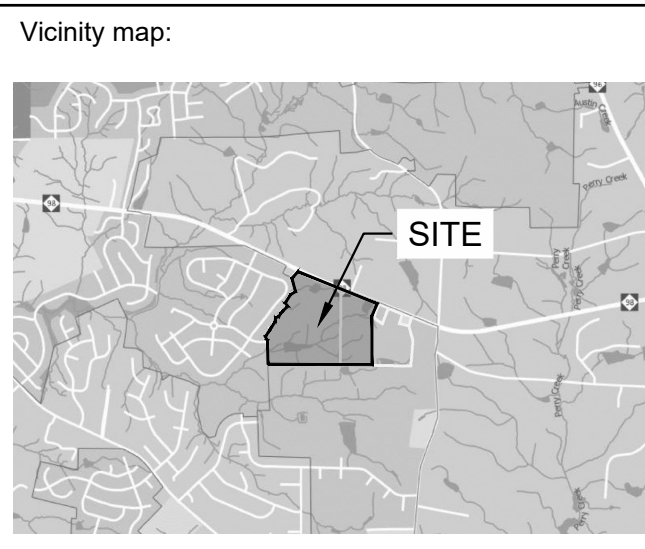
L:\Projects\2019\C19003 - Wait Road\DWG\S1 - Preliminary Plat\19-0003-1.00 Landscape Plan.dwg Jan 08, 2022 - 12:56pm

LINETYPE LEGEND:	
SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	PROPERTY LINE
---	EASEMENT
---	SETBACK
---	RIPIARIAN BUFFER (50')
---	TREE PROTECTION FENCE
---	ACCESSIBLE ROUTE

NOTES:  
1. SEE SHEET C0.10 FOR GENERAL AND PLANTING NOTES.



Client:  
FULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (619)816-1100



Seal:  
NORTH

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

SCALE: 1" = 100'

Project:  
**FORMER THALES SITE**

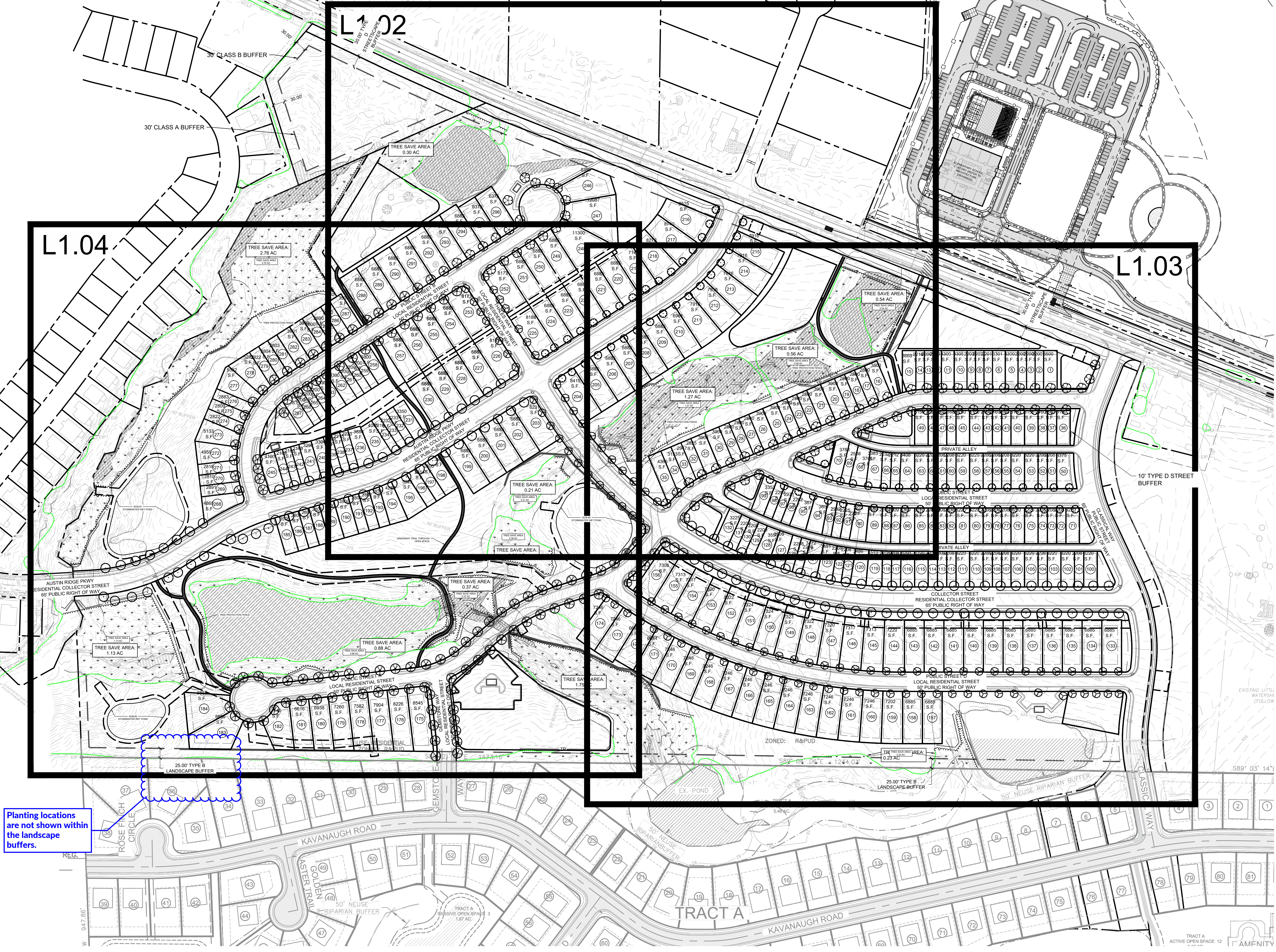
Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**OVERALL LANDSCAPE PLAN**

Project number: C19003 Sheet #: **L1.01**  
Issued Date: 12.23.2020  
Drawn by: TM  
Approved by: EMB

Street trees and/or buffer plantings are not shown along the Wait Avenue frontage.



L1.04

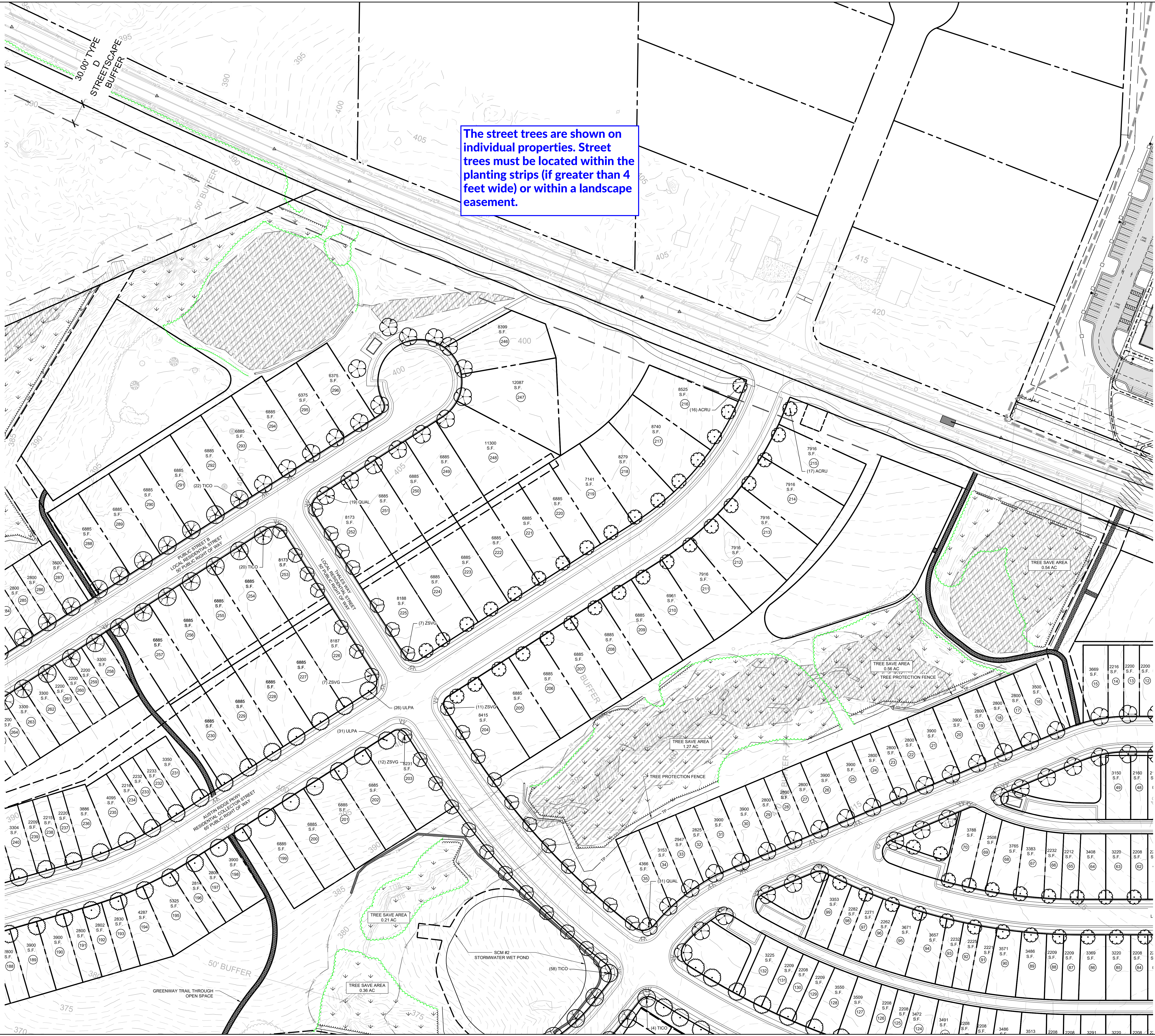
L1.02

L1.03

Planting locations are not shown within the landscape buffers.



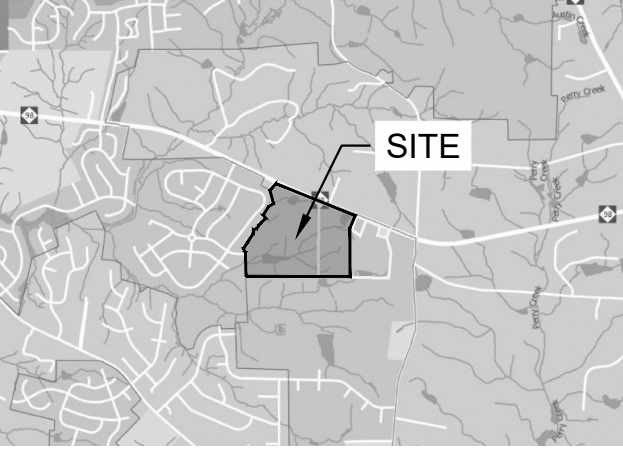
L:\Projects\2019\201903 - Wild Road\DWCS - Preliminary Plat\Sheets\C19003-L1 00 Landscape Plan.dwg Jan 08, 2022 - 12:57am



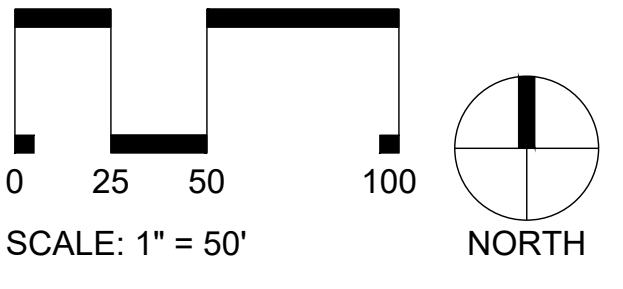
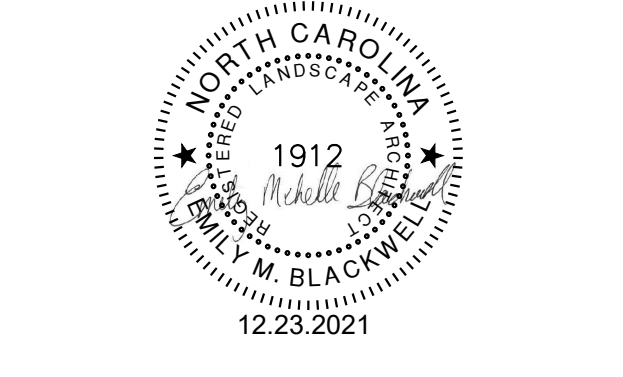
The street trees are shown on individual properties. Street trees must be located within the planting strips (if greater than 4 feet wide) or within a landscape easement.

Client:  
PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100

Vicinity map:



Seal:  
PRELIMINARY - DO NOT USE FOR CONSTRUCTION

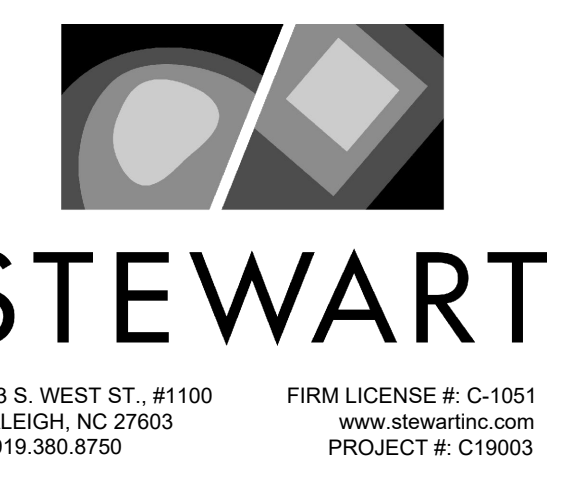
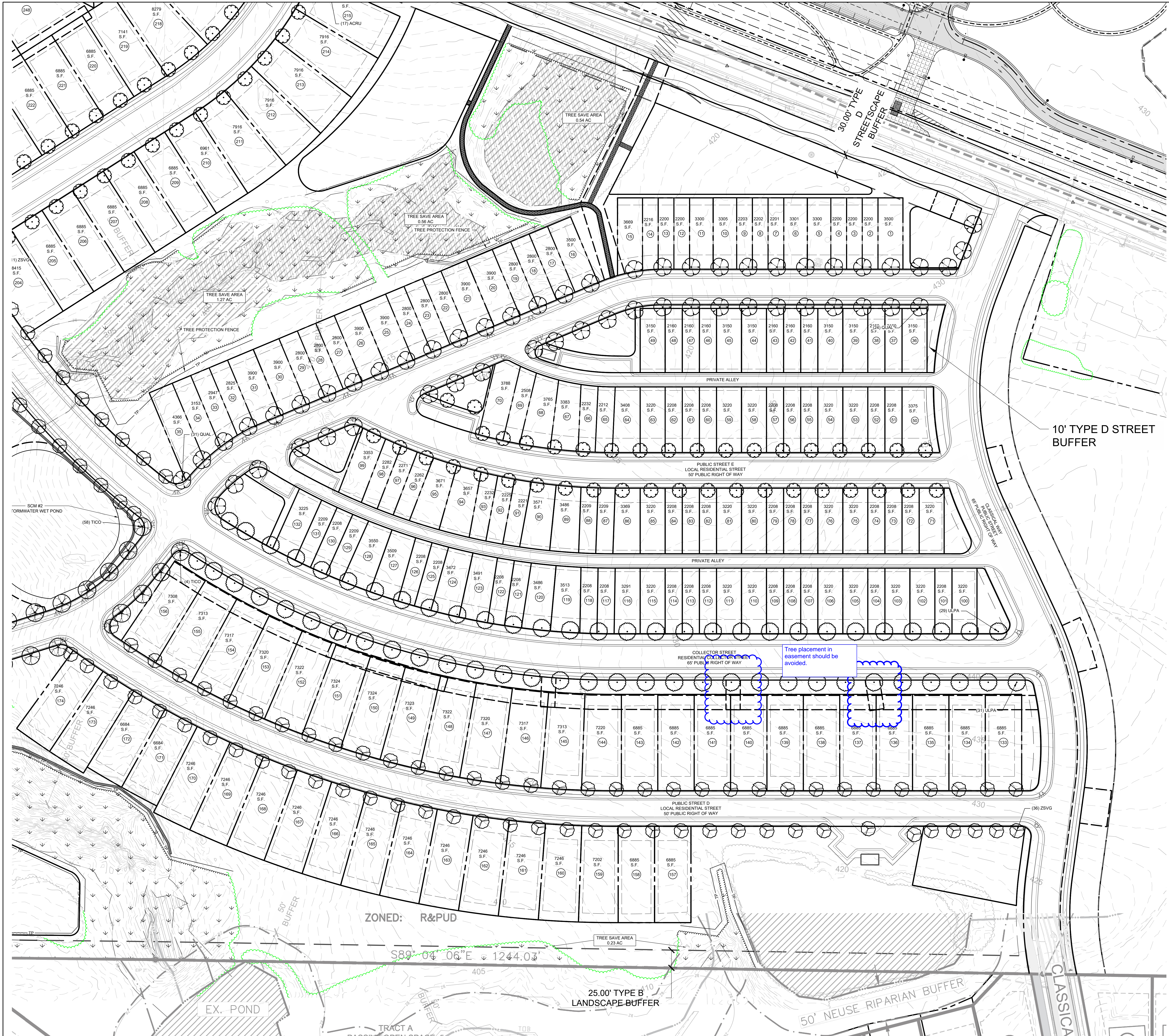


Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

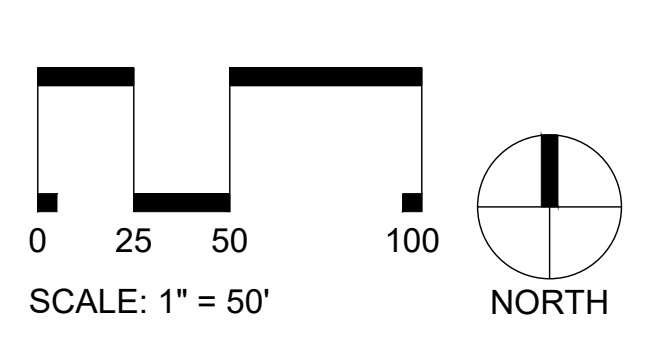
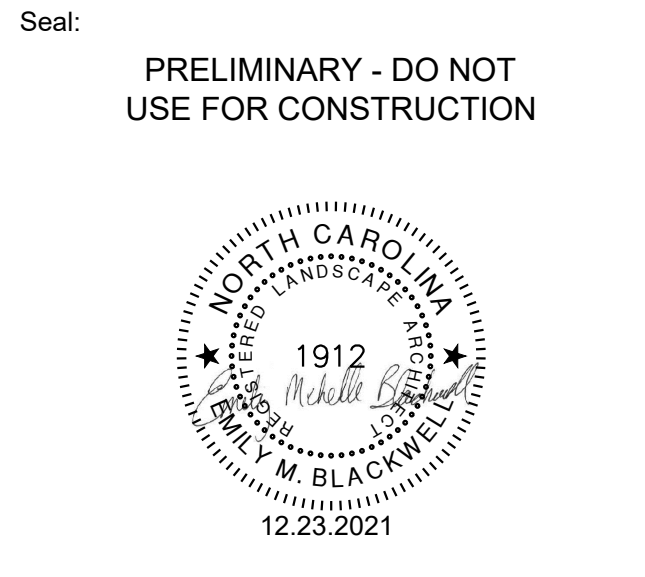
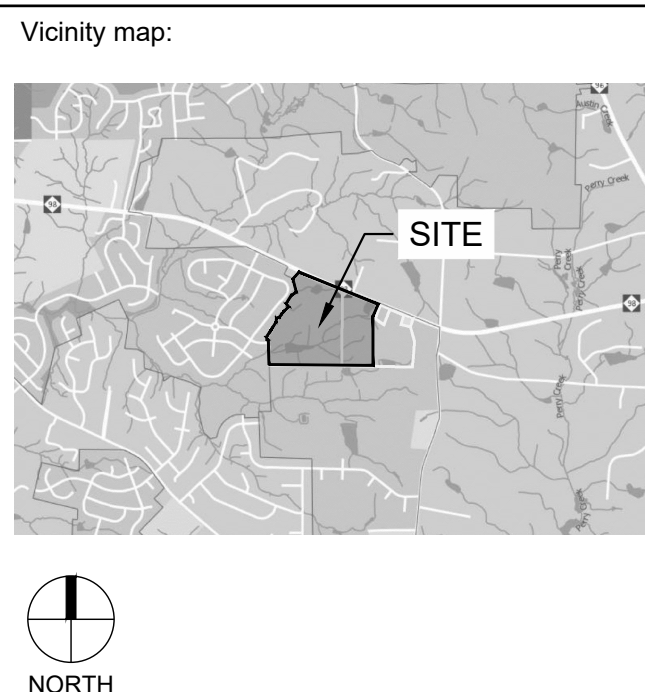
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**LANDSCAPE PLAN NORTHWEST**



Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100

FIRM LICENSE # C-1051  
 RALEIGH, NC 27603  
 www.stewartinc.com  
 T 919.380.8750  
 PROJECT # C19003



Project:  
**FORMER THALES SITE**

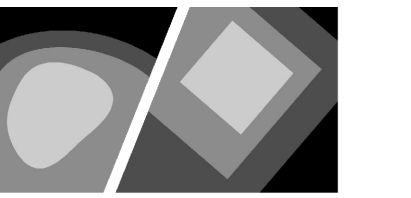
Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**LANDSCAPE PLAN EAST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: TM  
 Approved by: EMB  
**L1.03**

L:\Projects\2019\C19003 - Wair Road\DWGS - Preliminary Plat\Sheets\C19003-L1.00 Landscape Plan.dwg Jan 08, 2022 - 12:57am



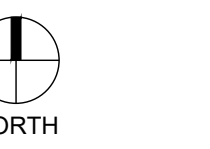
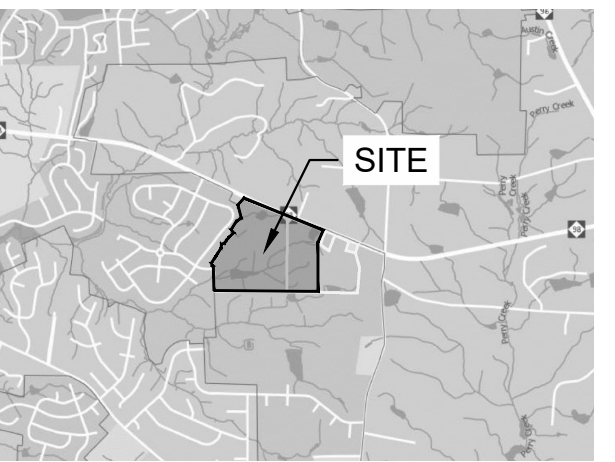
STEWART

223 S. WEST ST., #1100  
RALEIGH, NC 27603  
FIRM LICENSE # C-1051  
www.stewartinc.com  
T 919.380.8750 PROJECT # C19003

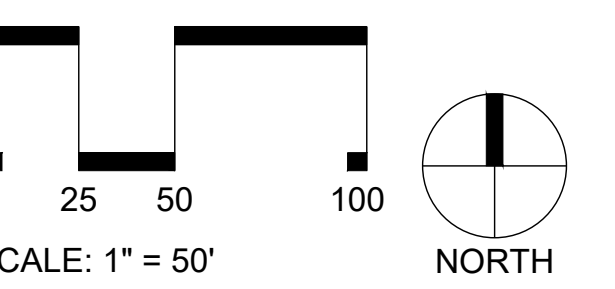
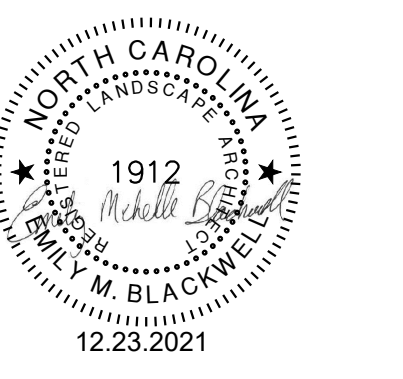
Client:

FULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100

Vicinity map:



Seal: PRELIMINARY - DO NOT USE FOR CONSTRUCTION



Project: FORMER THALES SITE

Issued for: PRELIMINARY PLAT

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title: LANDSCAPE PLAN SOUTHWEST

Project number: C19003 Sheet #: L1.04  
Issued Date: 12.23.2020  
Drawn by: TM  
Approved by: EMB



L:\Projects\2019\2019C19003 - Main Road\DWG\SS - Preliminary Plat\SS-Sheets\C19003-L1.00 Landscape Plan.dwg Jan 08, 2022 - 12:57 am

L:\Projects\2019\C19003 - Wial Road\DWGS\3 - Preliminary Plats\Sheet\C19003.L3.00 Open Space Plan.dwg Jan 08, 2022 - 12:58am

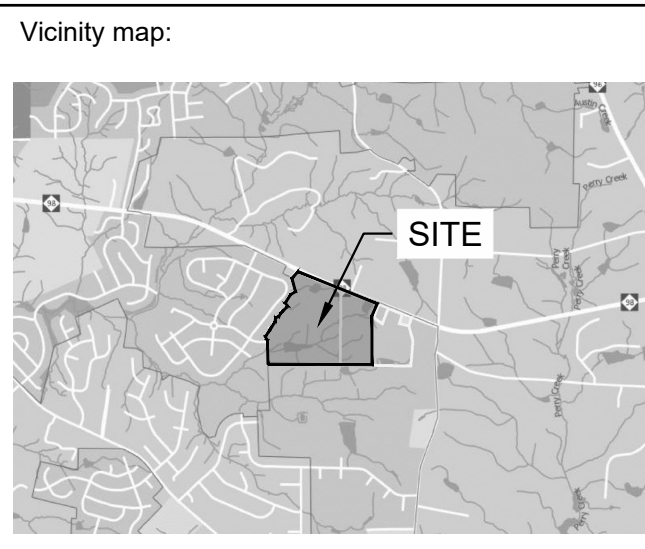
LINETYPE LEGEND:	
SYMBOL	DESCRIPTION
	LIMITS OF DISTURBANCE
	PROPERTY LINE
	EASEMENT
	SETBACK
	RIPARIAN BUFFER (50')
	TREE PROTECTION FENCE
	ACCESSIBLE ROUTE

NOTES:  
 1. SEE SHEET C0.10 FOR GENERAL AND PLANTING NOTES.

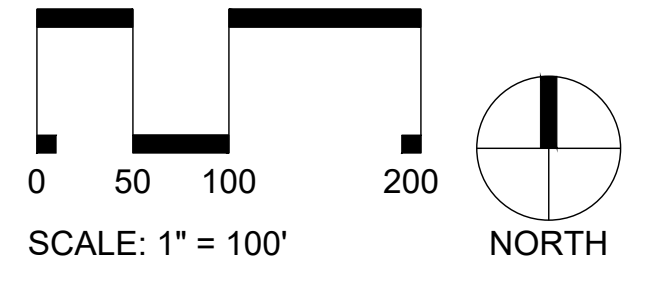
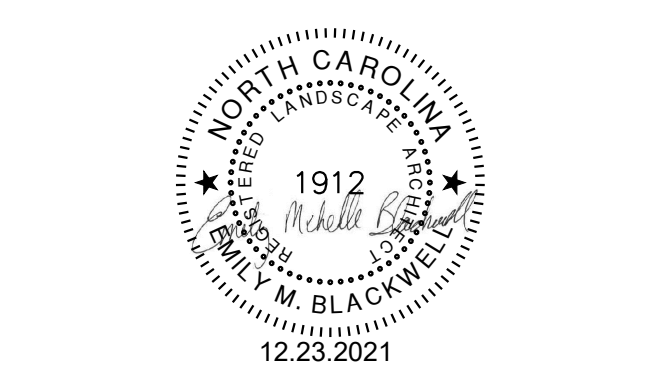
**STEWART**  
 223 S. WEST ST., #1100 FIRM LICENSE #: C-1051  
 RALEIGH, NC 27603 www.stewartinc.com  
 T 919.380.8750 PROJECT #: C19003

Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100

OPEN SPACE REQUIREMENTS	
PLANNED RESIDENTIAL: 10% OF THE GROSS ACREAGE IS REQUIRED TO BE OPEN SPACE. MIN 35% SUITABLE FOR ACTIVE RECREATION (PLAY AREA, BALLFIELD, GREENWAY, ETC) REMAINING 65% CAN BE FOR ENVIRONMENTALLY SENSITIVE AREAS (STREAMS, FLOODPLAIN, WETLAND, ETC).	
TOTAL SITE AGERAGE	85.08 AC (3,706,085 SF)
30% OPEN SPACE REQUIRED	25.52 AC (1,111,825 SF)
100,000 sq ft ACTIVE RECREATION AREA REQUIRED PER SUP 21-01	2.30 AC (100,000 SF)
OPEN SPACE PROVIDED	36.85 AC (1,605,186 SF)
ACTIVE RECREATION AREA PROVIDED	4.59 AC (199,744 SF)
TOTAL OPEN SPACE PROVIDED	36.85 AC (1,605,186 SF)



Seal:  
 PRELIMINARY - DO NOT USE FOR CONSTRUCTION



Project:  
 FORMER THALES SITE

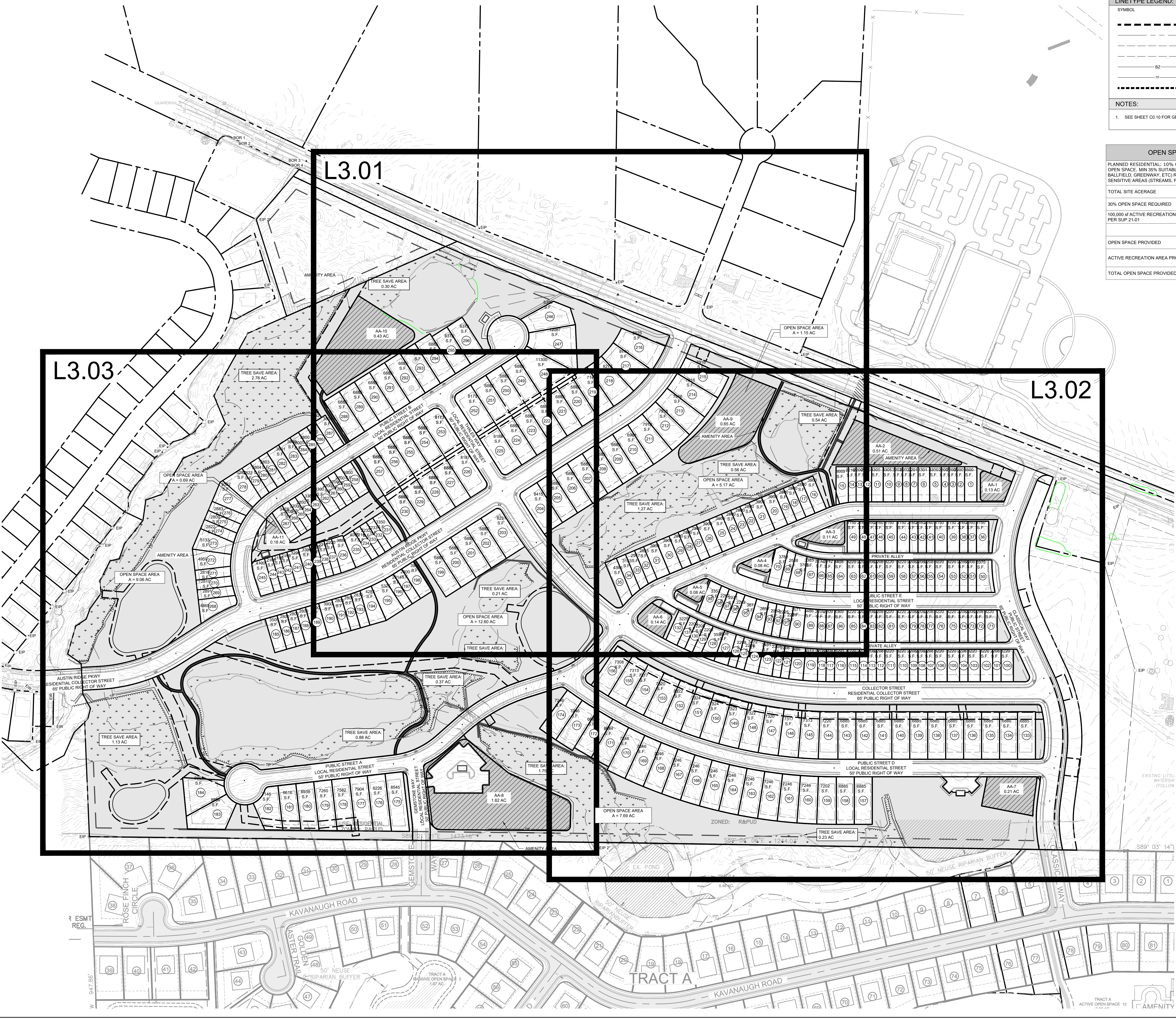
Issued for:  
 PRELIMINARY PLAT

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
 OVERALL OPEN SPACE PLAN

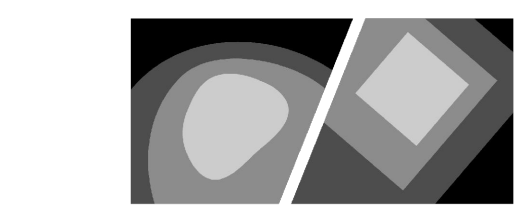
Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: TM  
 Approved by: EMB

# L3.00



L:\Projects\2019\C19003 - Wial Road\DWGS\3 - Preliminary Plats\Sheet\C19003.L3.00 Open Space Plan.dwg Jan 08, 2022 - 12:58am





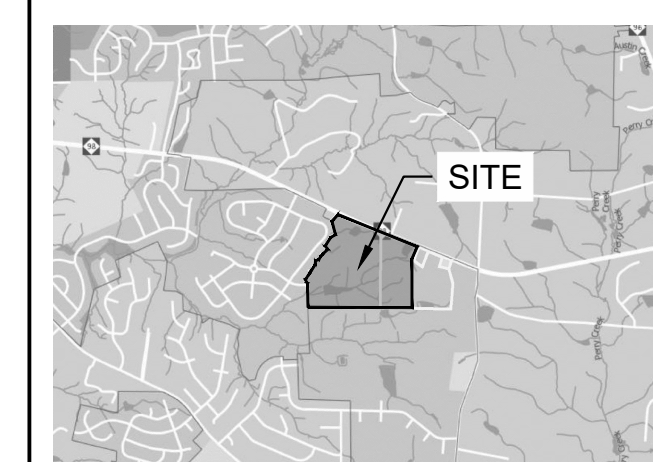
# STEWART

223 S. WEST ST., #1100  
RALEIGH, NC 27603  
FIRM LICENSE # C-1051  
1 919.380.8750 www.stewartinc.com  
PROJECT # C19003

**Client:**

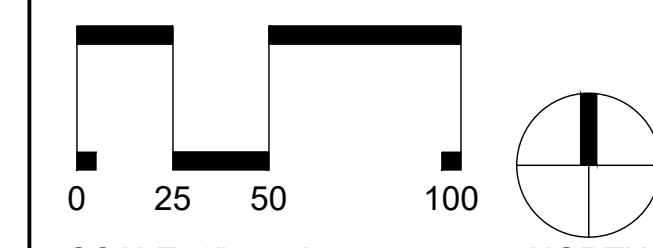
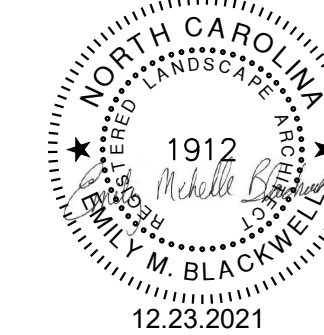
FULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (619)816-1100

**Vicinity map:**



Seal:

PRELIMINARY - DO NOT  
USE FOR CONSTRUCTION



SCALE: 1" = 50' NORTH

**Project:**

**FORMER THALES  
SITE**

**Issued for:**

**PRELIMINARY PLAT**

**No. Date Description**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

**Title:**

**OPEN SPACE PLAN  
NORTHWEST**

Project number: C19003 Sheet #: L3.01  
Issued Date: 12.23.2020  
Drawn by: TM  
Approved by: EMB



L:\Projects\2019\C19003 - Wal Road\DWG\3 - Preliminary Plat\3 - Sheets\C19003.L3.00 Open Space Plan.dwg Jan 08, 2022 - 12:58am



**LEGEND**

- OPEN SPACE
- ACTIVE RECREATION AREA

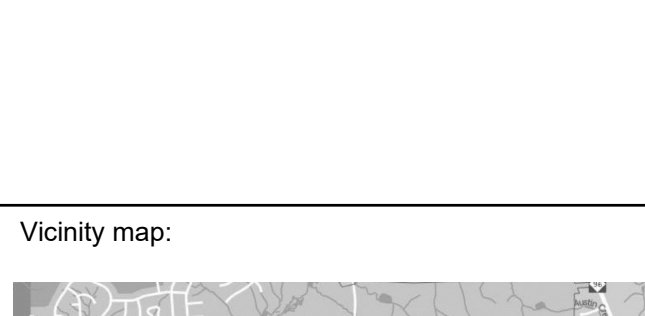
223 S. WEST ST., #1100  
 RALEIGH, NC 27603  
 T 919.380.8750

FIRM LICENSE # C-1051  
 www.stewartinc.com  
 PROJECT # C19003

Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



Seal:  
 PRELIMINARY - DO NOT  
 USE FOR CONSTRUCTION



Project:  
**FORMER THALES  
 SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

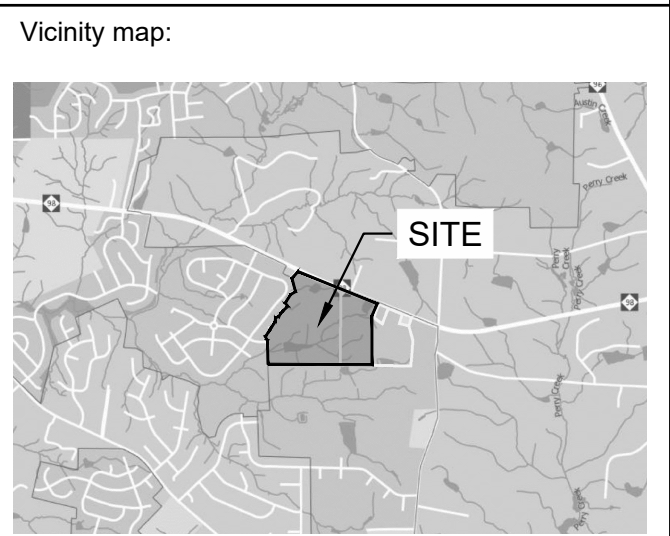
Title:  
**OPEN SPACE PLAN  
 EAST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: TM  
 Approved by: EMB

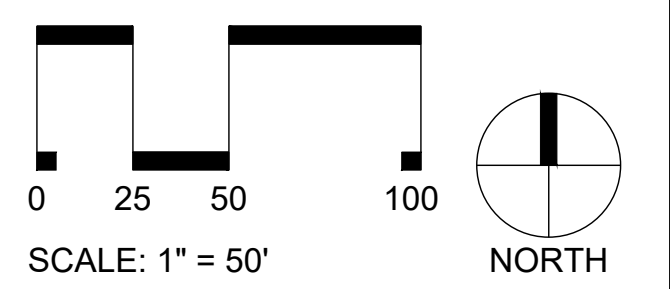
**L3.02**

L:\Projects\2019\C19003 - Walnut Road\DWCS3 - Preliminary Plat\3-Sheets\C19003.L3.00 Open Space Plan.dwg Jan 08, 2022 - 12:56am

Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



Seal:  
 PRELIMINARY - DO NOT  
 USE FOR CONSTRUCTION



Project:  
**FORMER THALES  
 SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL

Title:  
**OPEN SPACE PLAN  
 SOUTHWEST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: TM  
 Approved by: EMB  
**L3.03**

LEGEND

- OPEN SPACE
- ACTIVE RECREATION AREA



L:\Projects\2019\C19003 - Wair Road\DWG\CS-3 - Preliminary Plat\CS-Sheets\C19003-L3-00 Open Space Plan.dwg Jan 08, 2022 - 12:59pm