

COMMENT #1 - REPEAT - Remove word "Administrative"

# Administrative Site Plan South Main

Town of Rolesville  
Wake County, North Carolina  
Case # SP22-06  
Rezoning Case # MA22-07

Comment #4 - REPEAT Comment #9 - Scope of this submittal is both Site Plan and Construction Drawing (infrastructure regarding stormwater and water/sewer utilities) - Suggest term this 'Site/Construction Plan'. Thank you for pivoting with Town as Town creates new application types.



**SITE DATA:**

SITE ADDRESS:	503 SOUTH MAIN
PIN:	0753-97-1338
SITE AREA:	1.80 AC (78,408 SF)
AREA FROM ADJACENT PARCEL:	23 AC (10,197 SF)
ADJACENT PARCEL PIN:	1758.08-78-5571
IMPERVIOUS PROPOSED:	1.19 ACRES (51,836 SF)
IMPERVIOUS PERCENT (%):	66%
WATERSHED:	MILBURNIE LAKE - NEUSE
HUC:	0302020107
LATTITUDE:	35.916120
LONGITUDE:	-78.488430
ZONING DISTRICT:	GC
FUTURE LAND USE:	COMMERCIAL
OPEN SPACE SIZE REQ'D:	3820 SF (5%)
OPEN SPACE SIZE PROVIDED:	5330 SF (6.8)
BUILDING SETBACKS:	20' (FRONT) 15' (SIDE) 35' (REAR)
BUILDING HEIGHT (MAX):	35'
PARKING SUMMARY:	
RESIDENTIAL UPPER STORY:	MIN 1 / UNIT
COMMERCIAL:	MIN 2.5 SPACE / 1000 SF
PARKING MIN REQUIRED:	45 SPACES
PARKING PROVIDED:	64 SPACES
BIKE PARKING (REQUIRED):	1 PER BLDG
BIKE PARKING (PROVIDED):	2
TOTAL DENUDED AREA:	87,654 SF (2.01 ACRES)

**OPEN AREA SUMMARY**

ACTIVE OPEN AREA 1 = 1600 SF  
ACTIVE OPEN AREA 2 = 1900 SF  
GREENWAY OPEN AREA 3 = 1830 SF  
TOTAL = 5330 SF

**PEDESTRAIN AMENITIES - 4 REQUIRED**

PATIO SEATING IN OPEN AREA 1  
PUBLIC ART MURAL ON WALL CREEK RD SIDE OF THE BUILDING  
PAVERS IN OPEN AREA 1  
PATIO SEATING - ROOF TOP OF BUILDING  
POCKET PARK - ACTIVE AREA 2

**Comment #2 - REPEAT Comment #6 - Explain Milburnie Lake-Neuse reference in Watershed entry.**

**Comment #3 - REPEAT Comment #7 - Add "General Commercial after 'GC' in Zoning District entry.**

**PROJECT INFORMATION:**

PROJECT:	MAIN STREET COMMERCIAL
OWNER / DEVELOPER:	TOY STORAGE, LLC 2700 GRESHAM LAKE RD. RALEIGH, NC 27615 (919) 604-0505
PHONE:	ALLEN MASSEY
CONTACT:	STORIT@AOL.COM
EMAIL:	
ENGINEER:	KEITH P. GETTLE, PE GETTLE ENGINEERING AND DESIGN, PLLC 3616 WAXWING CT. WAKE FOREST, NC 27587
PHONE:	(919) 210-3934
EMAIL:	KPGETTLE@GMAIL.COM
SURVEYOR:	CAWTHORNE MOSS AND PANCIERA P.C. 333 SOUTH WHITE STREET WAKE FOREST NORTH CAROLINA 27588 (919) 556-3148
PHONE:	
PROJECT ADDRESS:	503 SOUTH MAIN STREET, ROLESVILLE NC
PIN:	1758784708
ZONING:	GC
EXIST USE:	VACANT
OVERLAY:	NONE
FLOOD ZONE:	NO FLOOD HAZARDS AREAS PER FEMA FIRM 3720175800K
IMPERVIOUS:	EXISTING: 4195 SF (.1 ACRES)

SHEET	DESCRIPTION
	Cover Sheet
	Existing Conditions Survey
	Existing Conditions & Demolition Plan
	Demo and Erosion SS Extension
	Site Plan
	Grading Plan
	Utility Plan
	Utility Plan and Profile
	Preservation Plan
	Landscape Plan
	Landscape Details
	Site Lighting Plan
	Site Lighting Fixtures
	Standard Site Details
	Site and Stormwater Details
	BMP Device Detail
	Water and Sanitary Sewer Details
	Phase 1 - Erosion Control Plan
	Phase 2 - Erosion Control Plan
	Phase 3 - Erosion Control Plan
	Phase 4 - Erosion Control Plan
	Erosion Control Details
	Erosion Control Details
	NCG01 Requirements
	Architectural Plans and Elevations

- GENERAL NOTES**
- BOUNDARY AND TOPO INFORMATION TAKEN FROM CAWTHORNE, MOSS & PANCIERA, P.C., SURVEYING, TITLED TOPOGRAPHIC SURVEY FOR TOY STORAGE LLC, DATED MARCH 3, 2022.
  - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES & SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS ACTIVITIES. CALL UTILITY LOCATOR SERVICE AT LEAST 48 HOURS PRIOR TO DIGGING.
  - ALL CONSTRUCTION WILL BE IN STRICT CONFORMANCE TO THE TOWN OF ROLESVILLE, CITY OF RALEIGH, WAKE COUNTY AND NCDOT STANDARDS AND SPECIFICATIONS.
  - NO CHANGES MAY BE MADE TO THE APPROVED DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE ISSUING AUTHORITY.

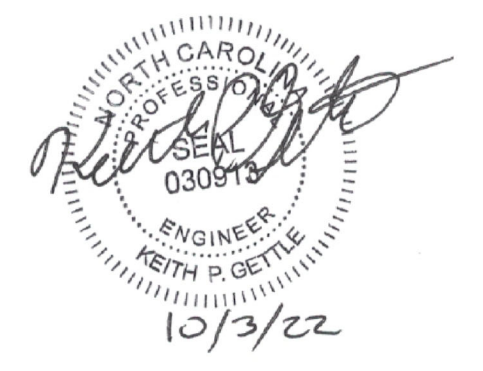
**LEGEND**

	NEW	EXISTING
DRAINAGE STRUCTURE	▣ □ △	□ ○ △
SANITARY SEWER MANHOLE	⊙	⊙
SANITARY SEWER CLEANOUT	— C.O.	— C.O.
WATER VALVE	⊙	⊙
FIRE HYDRANT	⊙	⊙
OVERHEAD UTILITY LINE	— OH	— OH
UNDERGROUND ELECTRIC LINE	— E	— UE
UNDERGROUND TELECOM/DATA LINE	— TD	— XTD
FIBER OPTIC CABLE	— FO	— XFO
GAS LINE	— G	— XG
STORM DRAINAGE PIPE	— SD	— XSD
SANITARY SEWER LINE	— SS	— XSS
WATER LINE	— W	— XW
SURFACE ELEVATION CONTOUR	400	400
SURFACE SPOT ELEVATION	⊕ 308.44	x 308.44
CLEARING LIMIT/TREE LINE	~ ~ ~ ~ ~	○ ○ ○ ○ ○
LIMIT OF DISTURBANCE	— — — — —	— — — — —
ELECTRICAL TRANSFORMER PAD	T	T
TOWNHOME PARKING (NUMBER)	71	

Comment #5 - REPEAT Comment #5 - What does 'Number of Units - 1' Mean?

**PUBLIC IMPROVEMENT QUANTITIES**

PHASE NUMBER(S)	PHASE 1
NUMBER OF LOT (S)	1
LOT NUMBERS BY PHASE	1
NUMBER OF UNITS	1
LIVABLE OF UNITS	11 UNITS
OPEN SPACE (YES/NO)	YES
NUMBER OF OPEN SPACE LOTS	0
PUBLIC WATER (LF)	0
PUBLIC 8" PVC SEWER	389 LF
WATER SERVICE STUBS	1
WATER SERVICE ABANDONED	2
SEWER SERVICE STUBS (NEW)	1
SEWER SERVICE REMOVED	0



**PRELIMINARY  
DO NOT USE FOR  
CONSTRUCTION**

**SITE PERMITTING APPROVAL**

Water and Sewer Permits (if applicable)

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

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**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

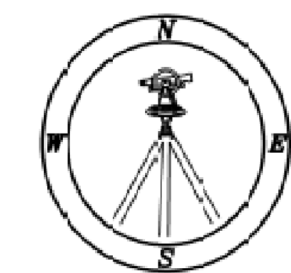
Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered as approval or endorsement with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Laws. All construction must be in accordance with all local, State, and Federal rules and regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans signed on file with the City. This electronic approval may not be called upon issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval \_\_\_\_\_  
City of Raleigh Review Officer \_\_\_\_\_

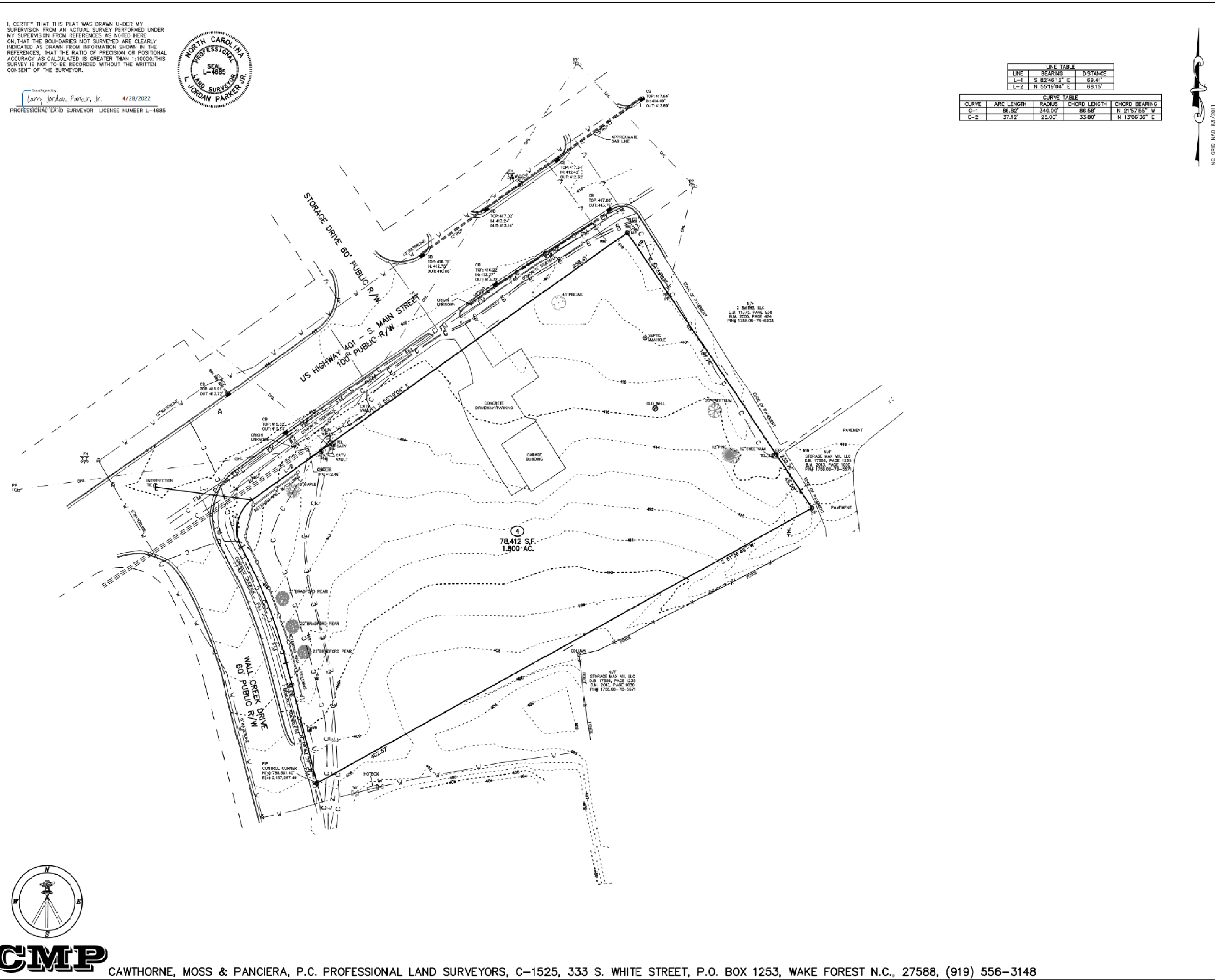
I, CERTIFY THAT THIS PLAN WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION FROM REFERENCES AS NOTED HERE ON; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION SHOWN IN THE REFERENCES; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALIBRATED IS GREATER THAN 1:10000; THIS SURVEY IS NOT TO BE RECORDED WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR.

Prepared by: Jerry Jordan Parker, Jr. 4/28/2022  
 PROFESSIONAL LAND SURVEYOR LICENSE NUMBER L-4885



**CMP**

CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148



LINE TABLE			
LINE	BEARING	DISTANCE	
L-1	S 82°41'12" E	89.61'	
L-2	N 59°19'04" E	68.15'	

CURVE TABLE			
CURVE	ARC LENGTH	RADIUS	CHORD BEARING
C-1	86.50'	340.00'	88.58' N 21°57'55" W
C-2	37.12'	22.00'	33.80' N 13°56'36" E



VICINITY MAP

- LEGEND:**
- EP - EXISTING IRON PIPE
  - EB - EXISTING IRON BAR
  - BP - BENT IRON PIPE
  - BB - BENT IRON BAR
  - CB - CONCRETE MONUMENT
  - EPK - EXISTING P.V. NAIL
  - SPK - SET P.V. NAIL
  - NP - NEW IRON PIPE SET
  - RP - RIGHT OF WAY
  - CATV - CABLE TV BOX
  - EB - ELECTRIC BOX
  - TEL - TELEPHONE PEDESTAL
  - PP - POWER POLE
  - OL - OVERHEAD LINE
  - LP - LIGHT POLE
  - WW - WATER WATER
  - WM - WATER MAIN
  - CCO - SEWER CLEAN-OUT
  - CO - CONCRETE
  - CB - CATCH BASIN
  - M - MANHOLE
  - PH - FIRE HYDRANT

- NOTES:**
- THIS PLAN SUBJECT TO ALL EASEMENTS, AGREEMENTS AND RIGHTS OF WAY OF RECORD PRIOR TO THE DATE OF THIS PLAN.
  - UNDERGROUND UTILITIES HAVE BEEN MARKED OR LOCATED FOR THIS PLAN BY SO MAPPING, PLLC.
  - ALL BEARINGS AND DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS.
  - ALL ELEVATIONS ARE BASED ON NAVD 83.
  - ALL CONTOURS ARE AT 1' INTERVALS HIGHLIGHTED EVERY 5'.

**LINE TYPE LEGEND**

---	PROPERTY LINE - LINE SURVEYED
---	RIGHT-OF-WAY
---	ADJOINING LINE - LINE NOT SURVEYED
---	CONCRETE LINE
---	BUILDING SETBACK
---	EASEMENT
---	BLUFFS
---	FLOOD HAZARDOUS SOILS
---	ELECTRIC LINE
---	POWER MAIN (EMER)
---	WATER LINE
---	SEWER
---	COMMUNICATION
---	GAS

TOPOGRAPHIC SURVEY FOR  
**TOY STORAGE, LLC**  
 503 S. MAIN STREET  
 LOT 4, HESS INC.  
 OWNER: TOY STORAGE, LLC  
 REF: D.B. 18244, PAGE 2611  
 TOWN OF ROLESVILLE  
 WAKE COUNTY, NORTH CAROLINA

SCALE 1"=30'

MARCH 3, 2022  
 REVISED APRIL 22, 2022  
 ZONED R-1  
 PIN #1758.07-78-4708

**Gettle Engineering and Design, PLLC**  
 3616 Waxwing Court,  
 Wake Forest, North Carolina 27587  
 (919) 210-3934 Firm License P-2538

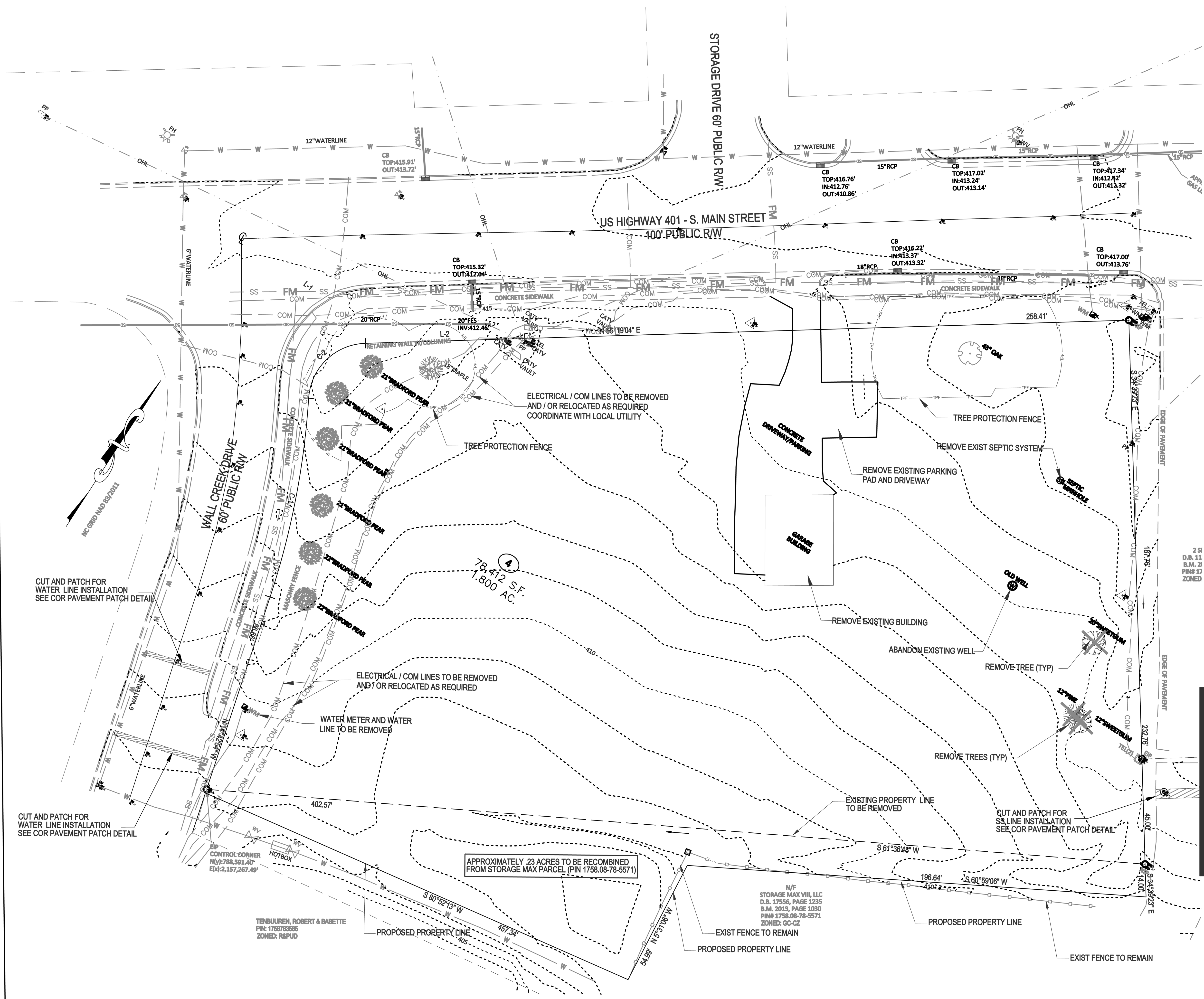
NO.	DATE	REVISION/DESCRIPTION	BY
1	07-26-2022	INITIAL SUBMITTAL	BY
2	10-3-2022	Revised per Town COR Comment	BY
3	DATE	COMMENT	BY
4	DATE	COMMENT	BY
5	DATE	COMMENT	BY
6	DATE	COMMENT	BY
7	DATE	COMMENT	BY
8	DATE	COMMENT	BY



**Existing Conditions Survey**  
 South Main  
 503 South Main Street  
 Rolesville, Wake County, North Carolina

Project No. 22003  
 Dwg No.

PRELIMINARY  
 DO NOT USE FOR  
 CONSTRUCTION



- DEMOLITION NOTES**
- DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES. (1) NOTIFY OWNER NOT LESS THAN ONE WEEK IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. (2) DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING OWNER WRITTEN PERMISSION. (3) COORDINATE ALL UTILITY RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
  - SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.
  - VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND REPAIR OR REPLACE ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.

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 Wake Forest, North Carolina 27687  
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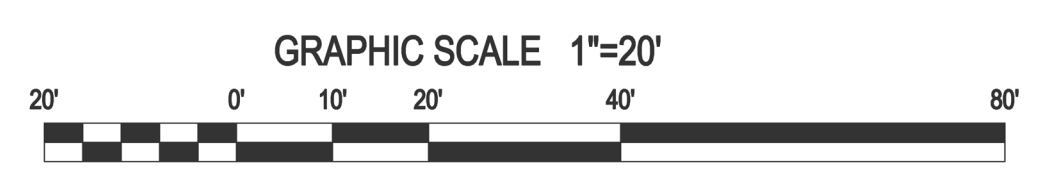
NO.	DATE	DESCRIPTION	BY
1	07-26-2022	INITIAL SUBMITTAL	KFG
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3	DATE	COMMENT	BY
4	DATE	COMMENT	BY
5	DATE	COMMENT	BY
6	DATE	COMMENT	BY
7	DATE	COMMENT	BY
8	DATE	COMMENT	BY



**Existing Conditions / Demolition Plan**  
**South Main**  
 503 South Main Street  
 Rolesville, Wake County, North Carolina

Project No. 22003  
 Dwg No. **C1**

**PRELIMINARY  
 DO NOT USE FOR  
 CONSTRUCTION**



TENJUREN, ROBERT & BABETTE  
 P/N: 175878385  
 ZONED: R8PUD

N/F  
 STORAGE MAX VIII, LLC  
 D.B. 17556, PAGE 1235  
 B.M. 2013, PAGE 1030  
 PIN# 1758-08-78-5571  
 ZONED: GC-C2

APPROXIMATELY .23 ACRES TO BE RECOMBINED  
 FROM STORAGE MAX PARCEL (PIN 1758-08-78-5571)

78,412 S.F.  
 1.800 AC.

2 SI  
 D.B. 11  
 B.M. 21  
 PIN# 17  
 ZONED.

MATCH LINE SEE SHEET C2

CUT AND PATCH FOR  
 WATER LINE INSTALLATION  
 SEE COR PAVEMENT PATCH DETAIL

CUT AND PATCH FOR  
 WATER LINE INSTALLATION  
 SEE COR PAVEMENT PATCH DETAIL

CUT AND PATCH FOR  
 S3 LINE INSTALLATION  
 SEE COR PAVEMENT PATCH DETAIL

ELECTRICAL / COM LINES TO BE REMOVED  
 AND / OR RELOCATED AS REQUIRED  
 COORDINATE WITH LOCAL UTILITY

ELECTRICAL / COM LINES TO BE REMOVED  
 AND / OR RELOCATED AS REQUIRED

WATER METER AND WATER  
 LINE TO BE REMOVED

REMOVE EXISTING BUILDING

ABANDON EXISTING WELL

REMOVE TREE (TYP)

REMOVE TREES (TYP)

EXISTING PROPERTY LINE  
 TO BE REMOVED

EXIST FENCE TO REMAIN

EXIST FENCE TO REMAIN

REMOVE EXISTING PARKING  
 PAD AND DRIVEWAY

REMOVE EXIST SEPTIC SYSTEM

TREE PROTECTION FENCE

CONCRETE  
 DRIVEWAY/PARKING

GARAGE  
 BUILDING

OLD WELL

SEPTIC  
 TANK

TELEPHONE

TELEPHONE

TELEPHONE

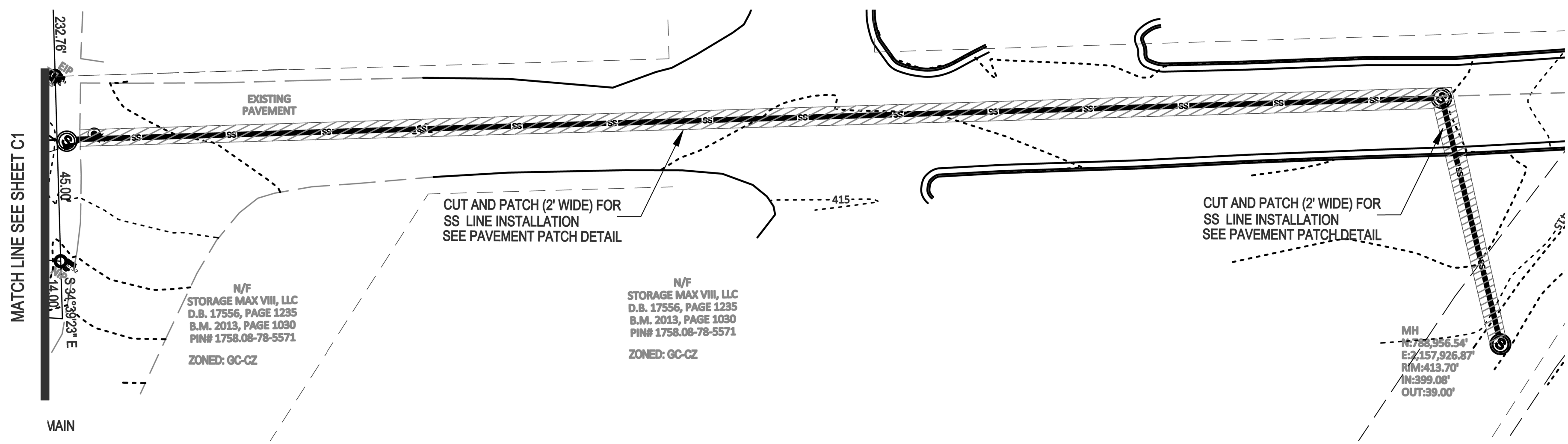
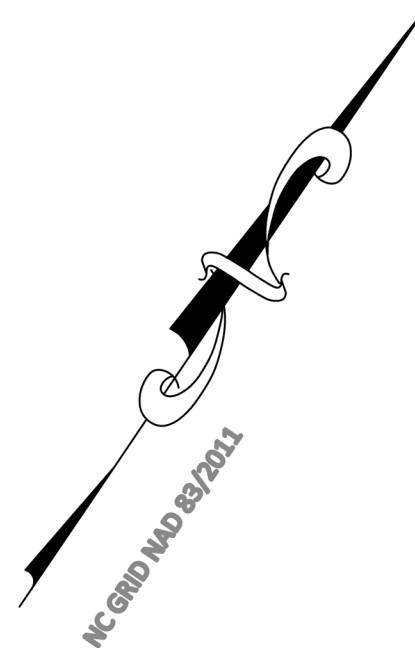
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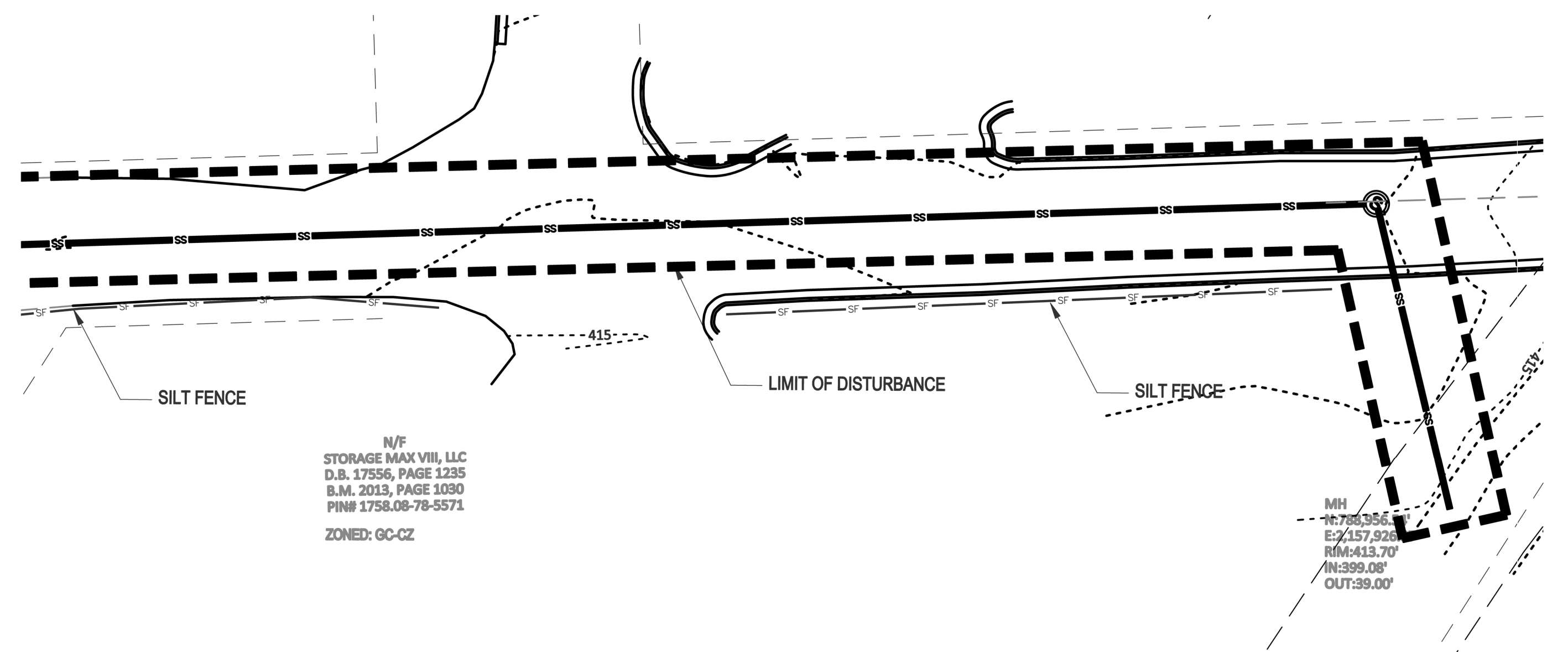
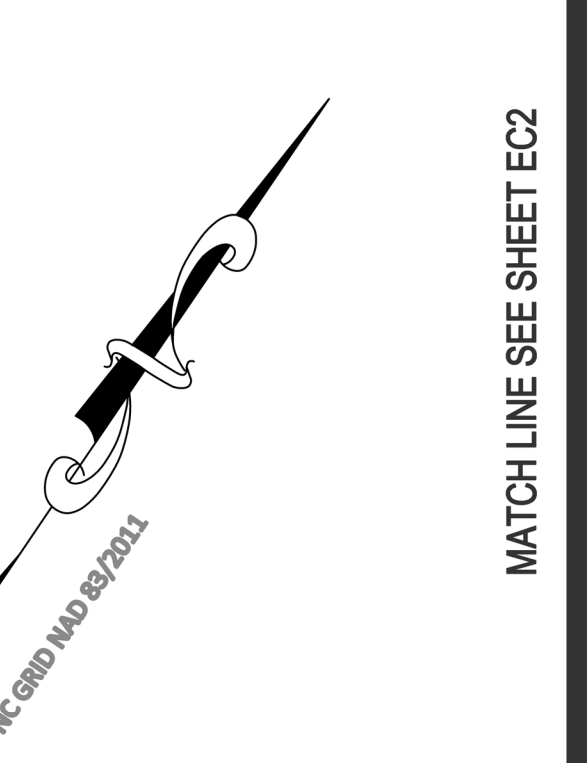
TELEPHONE

TELEPHONE

TELEPHONE



SS Extension - Existing Conditions and Demo



SS Extension - Erosion Control



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4	DATE	COMMENT	BY
5	DATE	COMMENT	BY
6	DATE	COMMENT	BY



**Demo & Erosion SS Extension**  
South Main  
503 South Main Street  
Rolesville, Wake County, North Carolina

- NOTES**
- SEE SHEET C6 FOR UTILITY NOTES.

**SITE PERMITTING APPROVAL**

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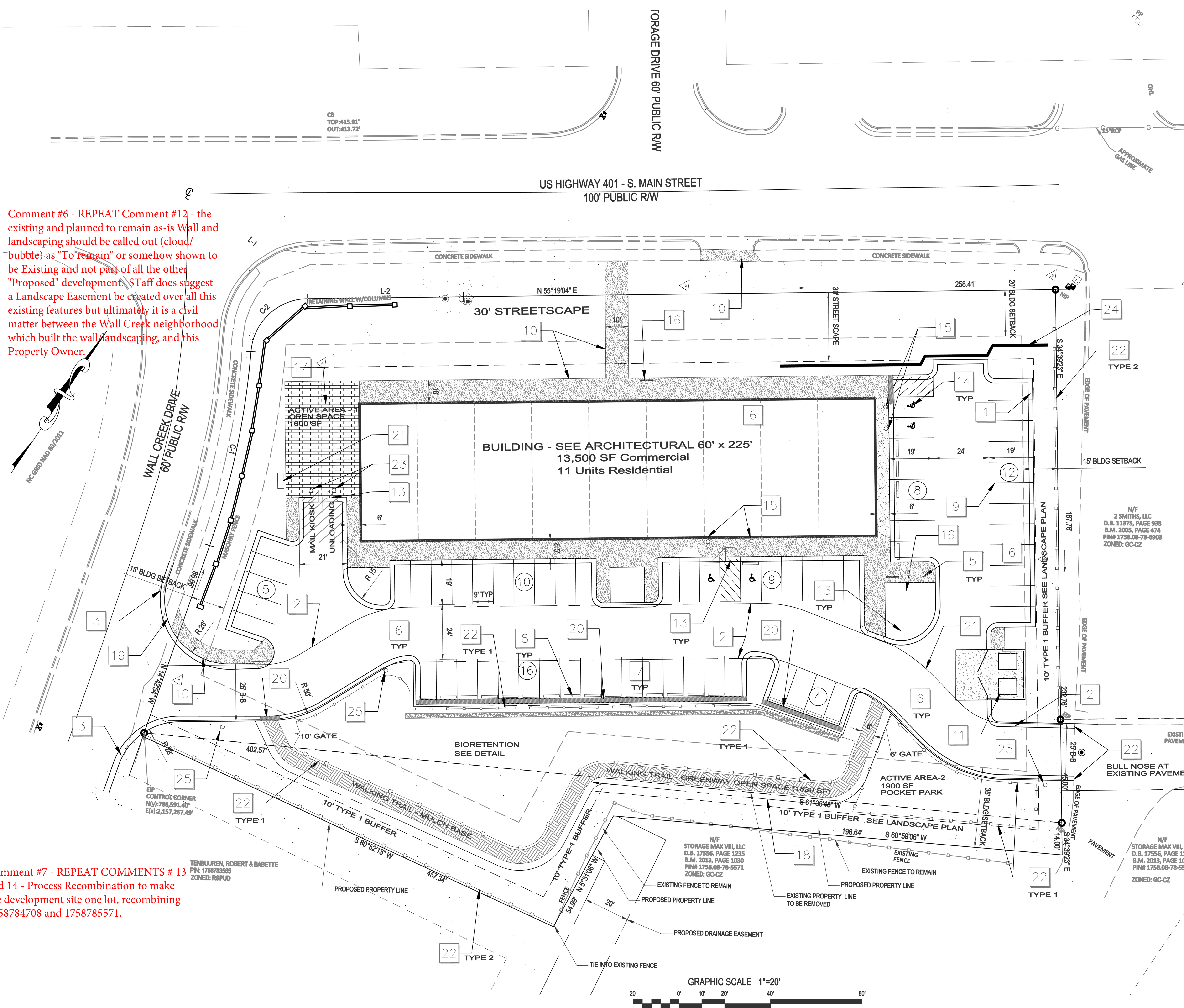
City of Raleigh Development Approval \_\_\_\_\_  
City of Raleigh Review Officer \_\_\_\_\_

Project No. 22003

Dwg No. **C2**

Comment #6 - REPEAT Comment #12 - the existing and planned to remain as-is Wall and landscaping should be called out (cloud/bubble) as "To remain" or somehow shown to be Existing and not part of all the other "Proposed" development. STaff does suggest a Landscape Easement be created over all this existing features but ultimately it is a civil matter between the Wall Creek neighborhood which built the wall/landscaping, and this Property Owner.

Comment #7 - REPEAT COMMENTS # 13 and 14 - Process Recombination to make the development site one lot, recombining 1758784708 and 1758785571.



- KEY**
- 24" STANDARD CONCRETE CURB AND GUTTER - ON SITE
  - 25' CROSS ACCESS EASEMENT WITH 24" WIDE DRIVE
  - TRANSITION FROM 30" CURB & GUTTER TO 24" CURB & GUTTER AT CURB TURNOUT. TIE INTO EXISTING CURB PAINTED STRIPING FOR CROSOWALK
  - LANDSCAPE ISLAND - SEE LANDSCAPE PLAN
  - STANDARD-DUTY BITUMINOUS PAVING - PRIMARILY IN PARKING AREAS
  - HEAVY-DUTY BITUMINOUS PAVING - PRIMARILY IN DRIVE AISLES - SEE DETAIL
  - WHEEL STOP - SET 24" CLEAR FROM EDGE OF SPACE AT HANDICAP PARKING.
  - PAINTED PARKING SPACE STRIPING USING 4" WIDE WHITE STRIPES.
  - 4" THK. STANDARD CONCRETE WALK, 6" WIDE UNLESS OTHERWISE NOTED.
  - DUMPSTER ENCLOSURE & PAD - SEE DETAIL
  - LIGHT POLE AND FIXTURE - SEE LIGHTING PLAN
  - HANDICAP RAMP, SEE DETAIL.
  - PAINTED UNIVERSAL HANDICAPPED SYMBOL AND HANDICAPPED ACCESS AISLE STRIPING.
  - HANDICAP PARKING SIGNAGE - SEE DETAIL TYPICAL AT HANDICAP PARKING SPACES
  - BICYCLE PARKING RACK - SEE DETAIL
  - PAVERS AT OPEN AREA - MATCH ARCHITECTURAL
  - BMP EASEMENT
  - TIE INTO EXISTING SIDEWALK
  - 24" CONCRETE EDGE FLUSH TO PAVEMENT (AREA SHADED)
  - MAIL KIOSK - SEE DETAIL
  - FENCE - SEE DETAILS - SHEET D1
  - MAIL KIOSK AND UNLOADING PARKING SIGNS
  - SEGMENTAL BLOCK RETAINING WALL SEE DETAIL SHEET D2
  - "NO PARKING - FIRE LANE" SIGN

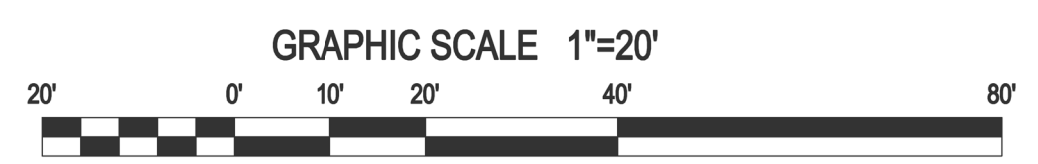
- SITE NOTES**
- WHERE NEW CURB AND GUTTER IS INSTALLED IN A PUBLIC STREET RIGHT-OF-WAY, USE 30" CURB AND GUTTER. IN OTHER LOCATIONS, USE 24" CURB AND GUTTER.
  - ALL CURB DIMENSIONS ARE MEASURED TO BACK OF CURB, AND ALL CURB RADII ARE 3 FEET, UNLESS INDICATED OTHERWISE.
  - USE REVERSE-PITCH CURB AND GUTTER WHERE ADJACENT PAVEMENT SLOPES AWAY FROM CURB, AND STANDARD-PITCH CURB AND GUTTER ELSEWHERE, UNLESS OTHERWISE NOTED. PROVIDE POSITIVE DRAINAGE ALONG AND FROM ALL GUTTERS.
  - ALL SITE CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 5000 PSI UNLESS OTHERWISE INDICATED.
  - ALL BASE AND PAVING WORK SHALL COMPLY WITH LOCAL STANDARDS. INDICATED PAVEMENT THICKNESSES REFER TO COMPACTED THICKNESS.
  - INSTALL ALL PAVEMENT WITH POSITIVE SURFACE DRAINAGE.
  - ALL HANDICAPPED PARKING SPACES, AISLES, RAMPS, SIGNAGE, PAVEMENT MARKINGS, CROSSWALKS, AND ACCESSIBLE ROUTES SHALL MEET APPLICABLE REQUIREMENTS OF THE NORTH CAROLINA ACCESSIBILITY CODE.
  - ALL HANDICAP ACCESSIBLE PARKING SPACES SHALL HAVE AN R7-8 AND R7-40 SIGN. ALL SIGNS FOR VAN ACCESSIBLE SPACES SHALL ALSO INCLUDE A "VAN ACCESSIBLE" SIGN.
  - CONTRACTOR SHALL PROVIDE ADEQUATE TRAFFIC CONTROL MEASURES DURING THE COURSE OF PROJECT WORK IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS, THE N.C. SUPPLEMENT TO THE MUTCD, ANY REGULATORY AGENCY REQUIREMENTS, AND PROJECT-SPECIFIC SAFETY CONSIDERATIONS.
  - TIE-INS TO EXISTING PAVEMENT, CURBS, WALKS, ETC. SHALL BE MADE WITH NEAT EDGES AND SMOOTH, GRADUAL TRANSITIONS THAT ARE SAFE, FUNCTIONAL, DURABLE, AND VISUALLY ACCEPTABLE TO THE OWNER AND REVIEW AUTHORITIES.
  - BUILDING SIZE, CONFIGURATION, ARCHITECTURAL ELEMENTS, UTILITY STUBS, AND OTHER BUILDING FEATURES SHOWN ON THESE DRAWINGS ARE TAKEN FROM INFORMATION PROVIDED BY OTHERS. BUILDING LINES SHOWN GENERALLY REPRESENT THE EXTERIOR FACE OF THE BUILDING, BUT SHOULD NOT BE USED FOR BUILDING STAGING OR CONSTRUCTION. REFER TO BUILDING PLANS FOR ACTUAL BUILDING DIMENSIONS, DOOR LOCATIONS, COLUMN AND FOOTING LOCATIONS, WALL THICKNESSES, OVERHANGS, ROOF LINES, AND OTHER FEATURES. CONTRACTOR SHALL CORROBORATE UTILITY AND DRAINAGE LOCATIONS, ELEVATIONS, MATERIALS, AND SIZES WITH INFORMATION SHOWN ON THE BUILDING DRAWINGS, AND SHALL VERIFY THAT BUILDING ELEMENTS WILL NOT ENCRUCH INTO REQUIRED SETBACKS.

**OPEN AREA SUMMARY**

ACTIVE OPEN AREA 1 = 1600 SF  
 ACTIVE OPEN AREA 2 = 1900 SF  
 GREENWAY OPEN AREA 3 = 1830 SF  
 TOTAL = 5330 SF

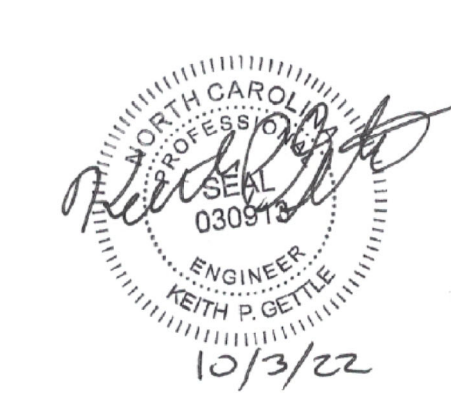
**PEDESTRAIN AMENITIES - 4 REQUIRED**

PATIO SEATING IN OPEN AREA 1  
 PUBLIC ART MURAL ON WALL CREEK RD SIDE OF THE BUILDING  
 PAVERS IN OPEN AREA 1  
 PATIO SEATING - ROOF TOP OF BUILDING  
 POCKET PARK - ACTIVE AEA 2



**Gettle Engineering and Design, PLLC**  
 3616 Waxwing Court,  
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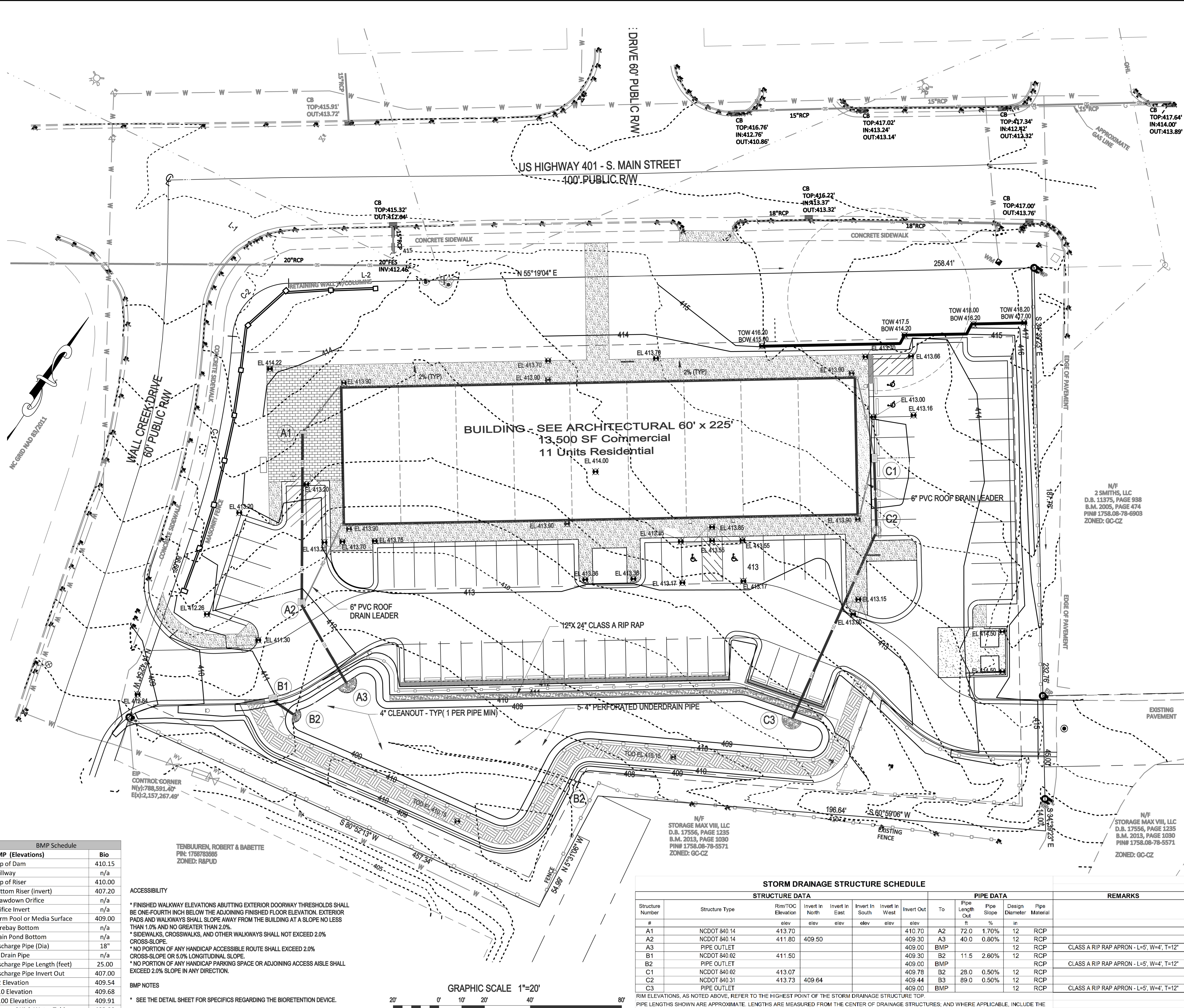
NO.	DATE	BY	REVISION/DESCRIPTION
1	07-26-2022	INITIAL SUBMITTAL	
2	10-2-2022	Revised per Town / COR Comment	
3	DATE	COMMENT	
4	DATE	COMMENT	
5	DATE	COMMENT	
6	DATE	COMMENT	
7	DATE	COMMENT	



**Site Plan**  
 South Main Street  
 503 South Main Street  
 Rolesville, Wake County, North Carolina

Project No. 22003  
 Dwg No. **C3**

PRELIMINARY  
 DO NOT USE FOR  
 CONSTRUCTION



**BMP Schedule**

BMP (Elevations)	Bio
Top of Dam	410.15
Spillway	n/a
Top of Riser	410.00
Bottom Riser (invert)	407.20
Drawdown Orifice	n/a
Orifice Invert	n/a
Perm Pool or Media Surface	409.00
Forebay Bottom	n/a
Main Pond Bottom	n/a
Discharge Pipe (Dia)	18"
8" Drain Pipe	n/a
Discharge Pipe Length (feet)	25.00
Discharge Pipe Invert out	407.00
Q2 Elevation	409.54
Q10 Elevation	409.68
Q100 Elevation	409.91
Seasonal High Water Table	403.00

**ACCESSIBILITY**

\* FINISHED WALKWAY ELEVATIONS ABUTTING EXTERIOR DOORWAY THRESHOLDS SHALL BE ONE-FOURTH INCH BELOW THE ADJOINING FINISHED FLOOR ELEVATION. EXTERIOR PADS AND WALKWAYS SHALL SLOPE AWAY FROM THE BUILDING AT A SLOPE NO LESS THAN 1.0% AND NO GREATER THAN 2.0%.

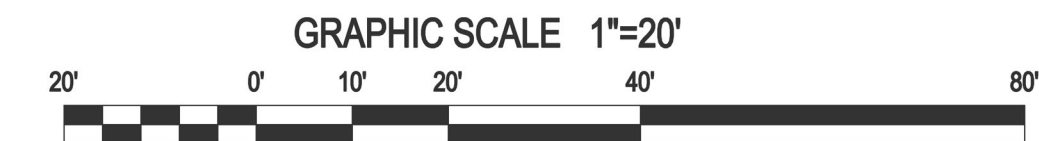
\* SIDEWALKS, CROSSWALKS, AND OTHER WALKWAYS SHALL NOT EXCEED 2.0% CROSS-SLOPE.

\* NO PORTION OF ANY HANDICAP ACCESSIBLE ROUTE SHALL EXCEED 2.0% CROSS-SLOPE OR 5.0% LONGITUDINAL SLOPE.

\* NO PORTION OF ANY HANDICAP PARKING SPACE OR ADJOINING ACCESS AISLE SHALL EXCEED 2.0% SLOPE IN ANY DIRECTION.

**BMP NOTES**

\* SEE THE DETAIL SHEET FOR SPECIFICS REGARDING THE BIOTENTION DEVICE.



**STORM DRAINAGE STRUCTURE SCHEDULE**

Structure Number	Structure Type	STRUCTURE DATA						PIPE DATA				REMARKS	
		Rim/TOC Elevation	Invert In North	Invert In East	Invert In South	Invert In West	Invert Out	To	Pipe Length ft	Pipe Slope %	Design Diameter in		Pipe Material
A1	NCDDT 840.14	413.70					410.70	A2	72.0	1.70%	12	RCP	
A2	NCDDT 840.14	411.80	409.50				409.30	A3	40.0	0.80%	12	RCP	
A3	PIPE OUTLET						409.00	BMP			12	RCP	CLASS A RIP RAP APRON - L=5', W=4', T=12"
B1	NCDDT 840.02	411.50					409.30	B2	11.5	2.60%	12	RCP	
B2	PIPE OUTLET						409.00	BMP			12	RCP	CLASS A RIP RAP APRON - L=5', W=4', T=12"
C1	NCDDT 840.02	413.07					409.78	B2	28.0	0.50%	12	RCP	
C2	NCDDT 840.31	413.73	409.64				409.44	B3	89.0	0.50%	12	RCP	
C3	PIPE OUTLET						409.00	BMP			12	RCP	CLASS A RIP RAP APRON - L=5', W=4', T=12"

RIM ELEVATIONS, AS NOTED ABOVE, REFER TO THE HIGHEST POINT OF THE STORM DRAINAGE STRUCTURE TOP.  
PIPE LENGTHS SHOWN ARE APPROXIMATE. LENGTHS ARE MEASURED FROM THE CENTER OF DRAINAGE STRUCTURES, AND WHERE APPLICABLE, INCLUDE THE TOTAL LENGTH OF THE FLARED END SECTION.

**GENERAL GRADING AND STORM DRAINAGE SPECIFICATIONS**

**EXISTING CONDITIONS**

- INFORMATION ABOUT EXISTING UNDERGROUND FACILITIES AND SUBSURFACE CONDITIONS INDICATED ON THESE DRAWINGS IS NOT BASED ON AN EXHAUSTIVE INVESTIGATION OF SUCH FACILITIES OR CONDITIONS, AND THE ENGINEER MAKES NO WARRANTY TO ANY PARTY REGARDING THEM. EXISTING UTILITY LINE LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE, AND ACTUAL UTILITIES AND CONDITIONS MAY DIFFER FROM THOSE INDICATED. IF DIFFERING UTILITIES OR CONDITIONS EXIST, THEY MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT WORK, AND MAY IMPACT THE PROJECT SCOPE AND TIME REQUIREMENTS.

**PROTECTION AND SAFETY**

- PRIOR TO BEGINNING WORK, AND AS NEEDED DURING THE COURSE OF PROJECT WORK, CONTRACTOR SHALL NOTIFY ALL APPLICABLE UTILITY LOCATION SERVICES AND UTILITY PROVIDERS TO REASONABLY VERIFY THE LOCATION OF ALL KNOWN OR SUSPECTED UTILITIES, IN ACCORDANCE WITH STATE REGULATIONS. CONTRACTOR IS ADVISED THAT SOME UTILITY PROVIDERS DO NOT SUBSCRIBE TO ONE-CALL SERVICES, AND MUST BE CONTACTED SEPARATELY. CONTRACTOR SHALL PROVIDE ADEQUATE MEANS AND METHODS FOR PROTECTION OF ALL EXISTING UTILITIES AND SITE FEATURES WHICH ARE INTENDED TO REMAIN IN SERVICE OR IN PLACE.
- CONTRACTOR SHALL PROVIDE ADEQUATE TRAFFIC CONTROL MEASURES DURING THE COURSE OF PROJECT WORK IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS, THE N.C. SUPPLEMENT TO THE MUTCD, ANY REGULATORY AGENCY REQUIREMENTS, AND PROJECT-SPECIFIC SAFETY CONSIDERATIONS.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY PROGRAMS AND MEASURES ON THE PROJECT SITE OR OTHERWISE RELATING TO THE PROJECT WORK, AND SHALL COMPLY WITH ALL SAFETY CODES AND REGULATIONS APPLICABLE THERETO, FOR THE PROTECTION OF WORKERS, VISITORS, AND THE GENERAL PUBLIC.

**COMPLIANCE**

- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE STANDARDS AND REQUIREMENTS OF THE CITY OF RALEIGH, TOWN OF ROLESVILLE, WAKE COUNTY SEDIMENTATION AND EROSION CONTROL OFFICE, AND THE N.C. STATE BUILDING CODES.

**NOTIFICATIONS**

- NOTIFY THE ENGINEER AT LEAST TWO BUSINESS DAYS PRIOR TO BEGINNING OR RESUMING ANY STORM DRAINAGE OR STORMWATER IMPOUNDMENT BASIN WORK.
- NOTIFY THE APPLICABLE LOCAL GOVERNMENT AUTHORITIES IN ACCORDANCE WITH THEIR REQUIREMENTS PRIOR TO BEGINNING ANY WORK.
- NOTIFY THE GEOTECHNICAL ENGINEER AND TESTING SERVICE AT LEAST TWO BUSINESS DAYS PRIOR TO BEGINNING OR RESUMING ANY GRADING OR STORMWATER IMPOUNDMENT BASIN WORK.

**QUALITY CONTROL**

- ALL EARTHWORK OPERATIONS, INCLUDING TOPSOIL STRIPPING, STOCKPILING, EXCAVATION, FILLING, COMPACTING, TRENCHING, BACKFILLING, RETAINING WALLS, AND FINE-GRADING, SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER, WHO SHALL VERIFY THE SUITABILITY OF SOIL MATERIALS, MONITOR EARTHWORK ACTIVITIES, DIRECT AND SUPERVISE PROOFROLLING, AND PROVIDE COMPACTATION AND STABILITY TESTINGS DURING THE PROGRESS OF THE WORK.
- NO SOIL SHALL BE PLACED IN A PERMANENT LOCATION UNLESS IT HAS BEEN APPROVED BY THE GEOTECHNICAL ENGINEER FOR THE INTENDED USE AND LOCATION.
- PRIOR TO PLACEMENT OF ANY FILL, THE SUBGRADE OR PREVIOUS LIFT OF FILL SHALL BE SUCCESSFULLY TESTED OR OTHERWISE APPROVED, AND DETERMINED TO BE READY FOR SUBSEQUENT WORK.
- PRIOR TO PLACEMENT OF ANY AGGREGATE, PAVING, SLABS, STRUCTURES, FOOTINGS, PIPING, OR OTHER WORK, SUBGRADES AND OTHER BEARING SURFACES SHALL BE SUCCESSFULLY TESTED OR OTHERWISE APPROVED, AND DETERMINED TO BE READY FOR SUBSEQUENT WORK.
- CONTRACTOR SHALL ALLOW AND PARTICIPATE IN SOIL TESTING ACTIVITIES, INCLUDING ACTIVE COORDINATION WITH THE GEOTECHNICAL ENGINEER AND FURNISHING PROOFROLLING EQUIPMENT, MATERIALS, AND MANPOWER AS NEEDED.

**CLEARING & GRUBBING**

- ALL VEGETATIVE MATERIAL DISLOCATED BY CLEARING AND GRUBBING ACTIVITIES SHALL BE COMPLETELY REMOVED FROM THE PROJECT SITE AND LEGALLY DISPOSED. NO ONSITE BURNING OF CLEARING WASTE SHALL OCCUR.
- ALL PAVEMENT, CURB, PIPE, STRUCTURES AND OTHER PHYSICAL SITE FEATURES THAT ARE INDICATED OR REQUIRED TO BE REMOVED SHALL BE LEGALLY DISPOSED IN AN OFFSITE LOCATION.

**GRADING**

- STRUCTURAL FILL IS DEFINED AS SOIL CLASSIFIED AS SM, SC, ML, AND CL, FREE OF VEGETATIVE MATTER, DEBRIS OR OTHER UNSUITABLE MATTER, FREE OF ROCKS LARGER THAN 3 INCHES IN ANY DIMENSION, CAPABLE OF BEING COMPACTED TO THE REQUIRED DENSITY, AND WHICH HAS BEEN APPROVED FOR USE BY THE GEOTECHNICAL ENGINEER.
- OTHER SOIL NOT MEETING THE DEFINITION FOR STRUCTURAL FILL MAY BE APPROVED BY THE GEOTECHNICAL ENGINEER FOR USE UNDER LIMITED CONDITIONS OR IN LIMITED AREAS.
- STRUCTURAL FILL SHALL GENERALLY BE PLACED AND COMPACTED WHEN THE SOIL'S MOISTURE CONTENT IS WITHIN 1 PERCENTAGE POINTS OF THE SOIL'S OPTIMUM MOISTURE CONTENT, IN LIFTS NOT TO EXCEED 8 INCHES LOOSE THICKNESS. THE IN-PLACE COMPACTED DENSITY SHALL BE AT LEAST 90 PCF. TIGHTER SPECIFICATIONS MAY BE REQUIRED FOR CERTAIN AREAS, SOIL TYPES, OR COMPACTION METHODS.
- STRUCTURAL ZONES SHALL INCLUDE ALL AREAS SUBJECT TO DIRECT BEARING PRESSURE PLUS 10 FEET HORIZONTAL PLUS A 1:1 DOWNWARD SLOPE IN ANY AREAS OF FILL.
- ALL SOIL UNDER PAVEMENTS, BUILDINGS, AND WALKWAYS, OR IN STRUCTURAL ZONES ASSOCIATED WITH THESE AREAS SHALL BE APPROVED IN-SITU SOIL OR STRUCTURAL FILL, COMPACTED TO AT LEAST 95% OF THE SOIL'S MAXIMUM DRY DENSITY (MDD) PER ASTM D-698. TIGHTER REQUIREMENTS MAY APPLY FOR CERTAIN AREAS.
- IN THE BUILDING AREA, THE REQUIRED DENSITY OF FILL SHALL BE 100% MDD, EXCEPT THE TOP 12 INCHES OF FILL SHALL BE AT LEAST 98% MDD. WHERE THE BUILDING WILL BE PLACED ON IN-SITU SOIL, THE SOIL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER AND COMPACTED TO AT LEAST 98% MDD.
- ALL EXCESS OR UNSUITABLE SOIL SHALL BE LEGALLY DISPOSED IN AN OFFSITE OR APPROVED ONSITE LOCATION.
- WHERE LANDSCAPED OR YARD AREAS ADJUT EXTERIOR BUILDING WALLS, FINISHED GROUND ELEVATIONS ADJACENT TO THE WALL SHALL BE AT LEAST 3 INCHES BELOW THE FINISHED FLOOR ELEVATION, AND SHALL SLOPE AWAY FROM THE BUILDING WITH POSITIVE DRAINAGE.

**TRENCHING AND BACKFILLING**

- WHERE ROCK OR OTHER HARD MATERIAL OCCURS AT THE DESIGNED TRENCH BOTTOM, OVEREXCAVATE TRENCH DEPTH 8 INCHES AND REPLACE OVEREXCAVATION MATERIAL WITH #67 STONE BEDDING.
- WHERE THE DESIGNED TRENCH BOTTOM CONSISTS OF UNSTABLE BEARING SOIL, UNDERCUT TRENCH BOTTOM AND REPLACE UNDERCUT MATERIAL IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- BACKFILL SOIL SHALL BE STRUCTURAL FILL, PLACED AND COMPACTED IN ACCORDANCE WITH REQUIREMENTS FOR THE SPECIFIC AREA OF WORK, WITHOUT DAMAGING OR DISPLACING PIPE OR STRUCTURES.

**STORM DRAINAGE SYSTEM**

- STORM DRAINAGE STRUCTURES SHALL CONFORM TO ROLESVILLE AND NCDOT STANDARDS, AND MAY BE CONSTRUCTED OF EITHER SOLID MASONRY OR PRE-CAST CONCRETE.
- "KNOCK-OUT" TYPE PRE-CAST STRUCTURES SHALL NOT BE USED WHERE THE DESIGNED PIPE CONFIGURATION WOULD REQUIRE REMOVAL OF STRUCTURAL CORNERS OR ALTERATION OF DESIGNED PIPE ENTRY ANGLES.
- STORM DRAINAGE PIPE LENGTHS SHOWN ARE APPROXIMATE, AS MEASURED FROM THE CENTER OF DRAINAGE STRUCTURES, AND TO THE END OF ANY FLARED END SECTION (FES), AS APPLICABLE.
- CONTRACTOR SHALL VERIFY AND COORDINATE EXACT POSITIONING OF STORM DRAINAGE STRUCTURES AND STRUCTURES, AND SHALL MAKE ADJUSTMENTS AS NEEDED TO PROVIDE PROPER CONNECTIONS, STRUCTURE LOCATIONS, ORIENTATIONS, DIMENSIONS, ELEVATIONS, FRAME PLACEMENT, AND SURFACE DRAINAGE. REFER TO STORM DRAINAGE STRUCTURE DETAILS FOR DIMENSIONS, OFFSETS, CLEARANCES, SETBACKS FROM CURB, AND OTHER REQUIREMENTS. MODIFY STRUCTURES AS NEEDED TO ACCOMMODATE LARGE-DIAMETER PIPING, MULTIPLE PIPE PENETRATIONS, AND PIPE CONNECTION ANGLES.
- STORM DRAINAGE PIPING SHALL BE REINFORCED CONCRETE PIPE (RCP), CLASS III, CONFORMING TO ASTM C76, UNLESS OTHERWISE SPECIFIED. ALL JOINTS SHALL BE FULLY SEALED USING PREFORMED FLEXIBLE BUTYL RUBBER SEALING COMPOUND.

**SURFACE DRAINAGE**

- ALL SPOT ELEVATIONS SHOWN ARE FINISHED SURFACE ELEVATIONS. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER ELEVATION CONTOURS. ALL ELEVATIONS SHOWN ON CURB AND GUTTER REFER TO TOP OF CURB, UNLESS OTHERWISE INDICATED.
- ALL FINISHED PAVEMENT AND YARD SURFACES SHALL BE FINE-GRADED AND FINISHED TO HAVE POSITIVE SURFACE DRAINAGE TO A FREE-FLOWING DRAINAGE OUTLET, WITH NO IRREGULARITIES OR DEPRESSIONS THAT WOULD CAUSE UNINTENDED WATER PONDING.
- USE REVERSE-PITCH CURB AND GUTTER WHERE ADJACENT PAVEMENT SLOPES AWAY FROM CURB, AND STANDARD-PITCH CURB AND GUTTER ELSEWHERE, UNLESS OTHERWISE NOTED. PROVIDE POSITIVE DRAINAGE ALONG AND FROM ALL GUTTERS.
- TRANS TO EXISTING PAVEMENT, CURBS, WALKS, ETC. SHALL BE MADE WITH NEAT EDGES AND SMOOTH GRAD TRANSITIONS THAT ARE SAFE, FUNCTIONAL, DURABLE, AND VISUALLY ACCEPTABLE TO THE OWNER AND REVIEW AUTHORITIES.

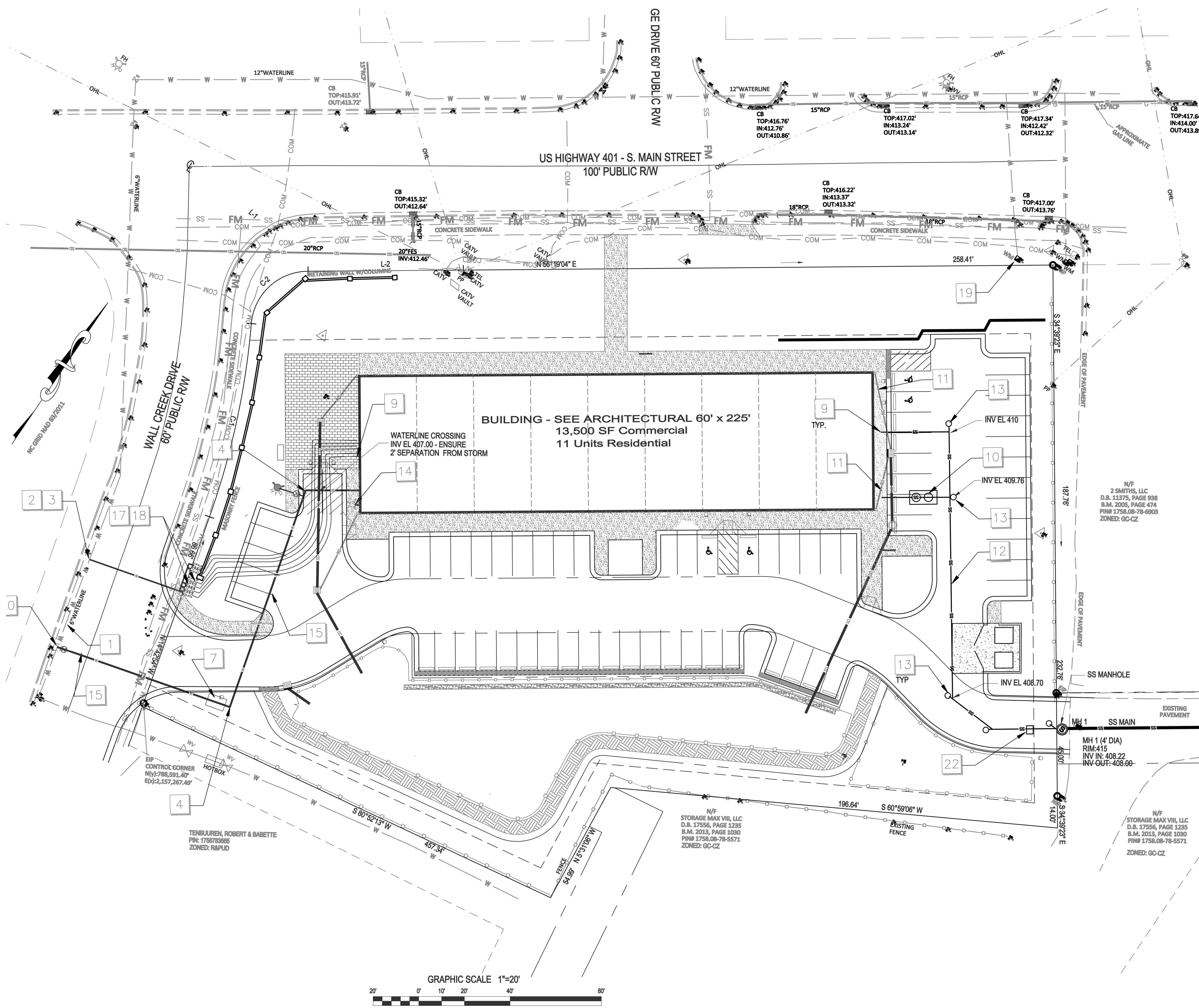
**Gettle Engineering and Design, PLLC**  
 3616 Waxwing Court,  
 Wake Forest, North Carolina 27587  
 Firm License P-2538  
 (919) 210-3934

**Grading \ Storm Drainage**  
**South Main**  
**503 South Main Street**  
 Rolesville, Wake County, North Carolina

**PRELIMINARY**  
**DO NOT USE FOR**  
**CONSTRUCTION**

Project No. 22003  
 Dwg No. **C4**

10/3/22



- KEY**
- 6" EXISTING WATER LINE LOCATION SHOWN IS APPROXIMATE. COORDINATE WITH CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO STARTING WATERLINE CONSTRUCTION. CONFORM TO ALL WATER AUTHORITY STANDARDS AND REQUIREMENTS, AND TO ALL RIGHT-OF-WAY ENCROACHMENT CONDITIONS. VERIFY EXISTING PIPE SIZE AND MATERIAL, AND NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES.
  - 2" CORPORATION STOP.
  - 2" COPPER SERVICE LINE
  - 90 DEGREE, OR 45 DEGREE, OR 22.5 DEGREE MJ BEND AND RESTRAINT.
  - CONTRACTOR SHALL MAKE APPLICATION FOR ELECTRIC SERVICE. COORDINATE INSTALLATION, AND PROVIDE ALL MATERIALS AND WORK NOT PROVIDED BY THE ELECTRIC COMPANY. VERIFY ROUTE AND LOCATIONS WITH ARCHITECT AND SERVICE PROVIDER.
  - ELECTRIC METER LOCATION ON BUILDING - VERIFY EXACT LOCATION WITH ARCHITECT AND SERVICE PROVIDER.
  - 6" BACKFLOW PREVENTER DEVICE (RP2) LOCATED IN AN "ABOVE GROUND" HEATED ENCLOSURE.
  - INSTALL SITE LIGHTING CIRCUIT IN BUILDING ELECTRICAL PANEL AND ROUTE TO SITE LIGHTING FIXTURES. PROVIDE AND INSTALL CONDUIT AS NEEDED. VERIFY DETAILS WITH OWNER AND ARCHITECT, AND SERVICE PROVIDER.
  - EXTEND SITE UTILITIES TO A POINT WITHIN 5 FEET OF THE BUILDING WALL(S). BUILDING PLUMBER SHALL MAKE ALL UTILITY CONNECTIONS.
  - 1500 GALLON GREASE INTERCEPTOR w/ TRAFFIC RATED ACCESS LIDS
  - PVC DOWNSPOUT PIPE HEADER. TIE INTO STORM DRAIN STRUCTURE. FIELD VERIFY LOCATION / ELEVATION
  - 6" PVC, SDR-35, PRIVATE SANITARY SEWER LATERAL WITH CLEANOUTS AT ALL BENDS AND A MAX SPACING OF 75 FEET-MIN 1% SLOPE.
  - SANITARY SEWER CLEANOUT (SEE DETAIL AND NOTES). USE TRAFFIC BEARING CLEANOUT IN PAVEMENT AREAS.
  - FIRE DEPARTMENT CONNECTION TYPE SHALL BE 6 INCH STORZ, WITH MJ FITTINGS AS NEEDED.
  - 6" DUCTILE IRON PIPE WATER LINE, 30" BELOW FINISH GRADE
  - FIRE HYDRANT ASSEMBLY WITH 6" VALVE AND BOX. SEE COR DETAIL W4.
  - 1" GANG METER ASSEMBLY - SEE COR DETAIL W26
  - 1" RP BACKFLOW ASSEMBLY BY WATTS OR APPROVED EQUAL
  - EXISTING WATER METER TO BE REMOVED / ABANDONED
  - 6"x6" TAPPING SLEEVE AND 6" GATE VALVE
  - 20" PRIVATE SANITARY SEWER EASEMENT
  - SANITARY SEWER BACKWATER VALVE - SEE COR DETAIL S-38

- NOTES**
- SEE SHEET C4 FOR STORM DRAIN SCHEDULE.
  - SEE SHEET C6 FOR SANITARY SEWER PLAN AND PROFILE.

**SITE PERMITTING APPROVAL**

*Water and Sewer Permits (if applicable)*

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization does not constitute a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all Local, State, and Federal laws and regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh former Official below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be relied upon for any modification to this approval once issued and shall constitute this approval.

City of Raleigh Development Approval \_\_\_\_\_  
 City of Raleigh Review Officer \_\_\_\_\_

**Utility Plan**  
**South Main Street**  
 503 South Main Street  
 Rolesville, Wake County, North Carolina

**Gettle Engineering and Design, PLLC**  
 3616 Waxwing Court,  
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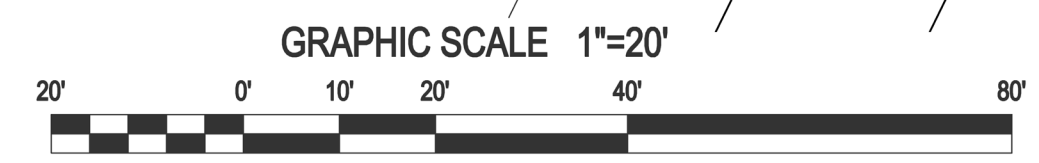
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2	10-2-2022	BY	Revised per Town / COR Comment
3	DATE	BY	COMMENT
4	DATE	BY	COMMENT
5	DATE	BY	COMMENT
6	DATE	BY	COMMENT
22	DATE	BY	SANITARY SEWER BACKWATER VALVE - SEE COR DETAIL S-38

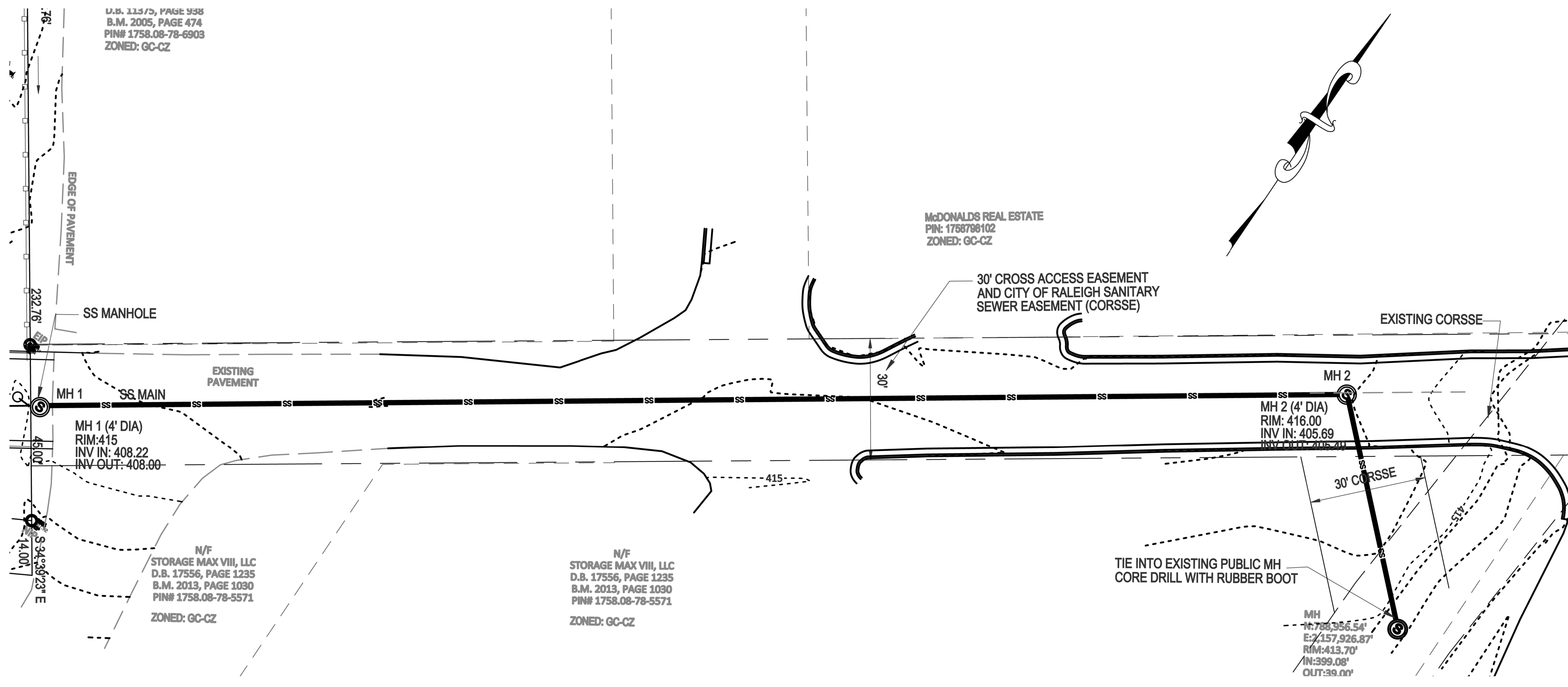
10/13/22

MATCH LINE SEE SHEET C6

PROJECT NO. 22003  
 DWG NO. C5



U.S. 1127.7, PAGE 938  
B.M. 2005, PAGE 474  
PIN# 1758.08-78-5903  
ZONED: GC-CZ



**UTILITY SPECIFICATIONS**

- EXISTING CONDITIONS**
- INFORMATION ABOUT EXISTING UNDERGROUND FACILITIES AND SUBSURFACE CONDITIONS INDICATED ON THESE DRAWINGS IS NOT BASED ON AN EXHAUSTIVE INVESTIGATION OF SUCH FACILITIES OR CONDITIONS, AND THE ENGINEER MAKES NO WARRANTY TO ANY PARTY REGARDING THEM. EXISTING UTILITY LINE LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE, AND ACTUAL UTILITIES AND CONDITIONS MAY DIFFER FROM THOSE INDICATED. IF DIFFERING UTILITIES OR CONDITIONS EXIST, THEY MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT WORK, AND MAY IMPACT THE PROJECT SCOPE AND TIME REQUIREMENTS.
- PROTECTION AND SAFETY**
- PRIOR TO BEGINNING WORK, AND AS NEEDED DURING THE COURSE OF PROJECT WORK, CONTRACTOR SHALL NOTIFY ALL APPLICABLE UTILITY LOCATION SERVICES AND UTILITY PROVIDERS TO REASONABLY VERIFY THE LOCATION OF ALL KNOWN OR SUSPECTED UTILITIES, IN ACCORDANCE WITH STATE REGULATIONS. CONTRACTOR IS ADVISED THAT SOME UTILITY PROVIDERS DO NOT SUBSCRIBE TO ONE-CALL SERVICES, AND MUST BE CONTACTED SEPARATELY.
  - CONTRACTOR SHALL PROVIDE ADEQUATE MEANS AND METHODS FOR PROTECTION OF ALL EXISTING UTILITIES AND SITE FEATURES WHICH ARE INTENDED TO REMAIN IN SERVICE OR IN PLACE.
  - CONTRACTOR SHALL PROVIDE ADEQUATE TRAFFIC CONTROL MEASURES DURING THE COURSE OF PROJECT WORK IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS, THE N.C. SUPPLEMENT TO THE MUTCD, ANY REGULATORY AGENCY REQUIREMENTS, AND PROJECT-SPECIFIC SAFETY CONSIDERATIONS.
  - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY PROGRAMS AND MEASURES ON THE PROJECT SITE OR OTHERWISE RELATING TO THE PROJECT WORK, AND SHALL COMPLY WITH ALL SAFETY CODES AND REGULATIONS APPLICABLE THERETO, FOR THE PROTECTION OF WORKERS, VISITORS, AND THE GENERAL PUBLIC.
- COMPLIANCE**
- REQUIREMENTS OF THE CITY OF RALEIGH, INCLUDING THE LATEST EDITION OF CONSTRUCTION STANDARDS AND SPECIFICATIONS, CONSTRUCTION DETAILS, POLICIES AND PROCEDURES, AND FIELD DIRECTIVES BY THE UTILITY INSPECTOR.
  - REGULATIONS OF NC DENR-DIVISION OF WATER QUALITY, INCLUDING NCAC 22Z REGULATIONS AND MINIMUM DESIGN CRITERIA FOR THE PERMITTING OF GRAVITY SEWERS.
  - REGULATIONS OF NC DENR-DIVISION OF WATER SUPPLY, RULES GOVERNING PUBLIC WATER SYSTEMS.
  - STREET RIGHT-OF-WAY ENCROACHMENT PERMIT REQUIREMENTS, AS APPLICABLE.
  - OSHA REQUIREMENTS RELATED TO SAFETY.
  - REQUIREMENTS OF THE N.C. PLUMBING CODE.
- NOTIFICATIONS**
- NOTIFY THE ENGINEER AT LEAST TWO BUSINESS DAYS PRIOR TO BEGINNING OR RESUMING WATERLINE OR SANITARY SEWER WORK. THE ENGINEER MUST OBSERVE CONNECTIONS, INSTALLATION, BACKFILLING, AND TESTING WORK, IN ORDER TO PROVIDE NECESSARY PROJECT CERTIFICATIONS AND CLOSE-OUT DOCUMENTS.
  - NOTIFY THE APPLICABLE UTILITY AND ROADWAY AUTHORITIES IN ACCORDANCE WITH THEIR REQUIREMENTS PRIOR TO BEGINNING UTILITY WORK.
  - NOTIFY THE GEOTECHNICAL ENGINEER AND TESTING SERVICE AT LEAST TWO BUSINESS DAYS PRIOR TO BEGINNING OR RESUMING TRENCHING OR BACKFILLING WORK.
- TRENCHING AND BACKFILLING**
- WHERE ROCK OR OTHER HARD MATERIAL OCCURS AT THE DESIGNED TRENCH BOTTOM, OVEREXCAVATE TRENCH DEPTH 6 INCHES AND REPLACE OVEREXCAVATION MATERIAL WITH #7 STONE BEDDING.
  - WHERE THE DESIGNED TRENCH BOTTOM CONSISTS OF UNSUITABLE BEARING SOIL, UNDERCUT TRENCH BOTTOM AND REPLACE UNDERCUT MATERIAL IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
  - BACKFILL SOIL SHALL BE SUITABLE MATERIAL AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
  - BACKFILL SOIL SHALL BE PLACED IN LOOSE LIFTS OF 8 INCH MAXIMUM THICKNESS AND COMPACTED TO 90% OF THE SOIL'S MAXIMUM DRY DENSITY, WITHOUT DAMAGING OR DISPLACING PIPE.
  - INSTALL MARKING TAPE OR TRACER WIRE OVER UTILITY LINES AS REQUIRED BY THE LOCAL UTILITY AUTHORITY.
- STORAGE AND HANDLING**
- PIPE, FITTINGS, GASKETS, AND OTHER MATERIALS SHALL BE KEPT CLEAN WHILE BEING STORED AND DURING CONSTRUCTION ACTIVITIES. PIPE BUNDLES SHALL BE STORED ON FLAT SURFACES WITH UNIFORM SUPPORT, AND PROTECTED FROM PROLONGED EXPOSURE TO SUNLIGHT WITH A COVERING ALLOWING AIR FLOW UNDERNEATH. GASKETS SHALL NOT BE EXPOSED TO OIL, GREASE, COOLANT, EXCESSIVE HEAT OR DIRECT SUNLIGHT. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR STORAGE AND HANDLING OF ALL MATERIALS.
- WATER SYSTEM**
- PROVIDE ALL WATER SYSTEM MATERIALS IN ACCORDANCE WITH LOCAL WATER AUTHORITY REQUIREMENTS.
  - INSTALL WATERLINES TO PROVIDE 36" COVER TO FINISHED GRADE, UNLESS OTHERWISE SHOWN OR APPROVED BY THE ENGINEER AND INSPECTOR.
  - ALL WATERLINE BENDS, CROSSINGS, TEES, AND ENDS SHALL BE RESTRAINED USING CONCRETE BLOCKING OR A MECHANICAL JOINT WEDGE-ACTION RESTRAINT SYSTEM RATED FOR 350 PSF.
  - DO NOT OPERATE WATER SYSTEM VALVES WITHOUT PERMISSION OF THE WATER AUTHORITY.
  - CONTRACTOR SHALL COORDINATE EXACT FIRE HYDRANT, WATER METER, AND BACKFLOW PREVENTER LOCATIONS WITH WATER AUTHORITY INSPECTOR PRIOR TO INSTALLATION.
- BACKFLOW PREVENTION**
- BACKFLOW PREVENTER ASSEMBLIES AND ENCLOSURES SHALL CONFORM TO ALL LOCAL WATER AUTHORITY REQUIREMENTS, AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE INITIAL TESTING AND CERTIFICATIONS AS REQUIRED FOR ACCEPTANCE.
- FIRE PROTECTION**
- WATER MAINS SHALL BE INSTALLED AND MADE OPERATIONAL AS SOON AS PRACTICAL TO PROVIDE ACTIVE FIRE HYDRANT SERVICE DURING BUILDING CONSTRUCTION.
  - COORDINATE TYPE AND LOCATION OF HYDRANTS, FIRE DEPARTMENT CONNECTIONS, AND OTHER FIRE PROTECTION SYSTEM COMPONENTS WITH LOCAL FIRE CODE OFFICIAL PRIOR TO INSTALLATION.

**CITY OF RALEIGH UTILITY NOTES:**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: COR PUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER & OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSINGS MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN & OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS. 4' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. (NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW AND PRESSURE).
- INSTALL 4" PVC SEWER SERVICES AT 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE AND SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSF; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWR, USACE & OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND & OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCODT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS AND SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATION AND INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919)996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX C OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 212-9923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

**NOTES**

- SEE SHEET C5 FOR UTILITY PLAN.

**ATTENTION CONTRACTORS**

The Contractor is responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

**Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.**

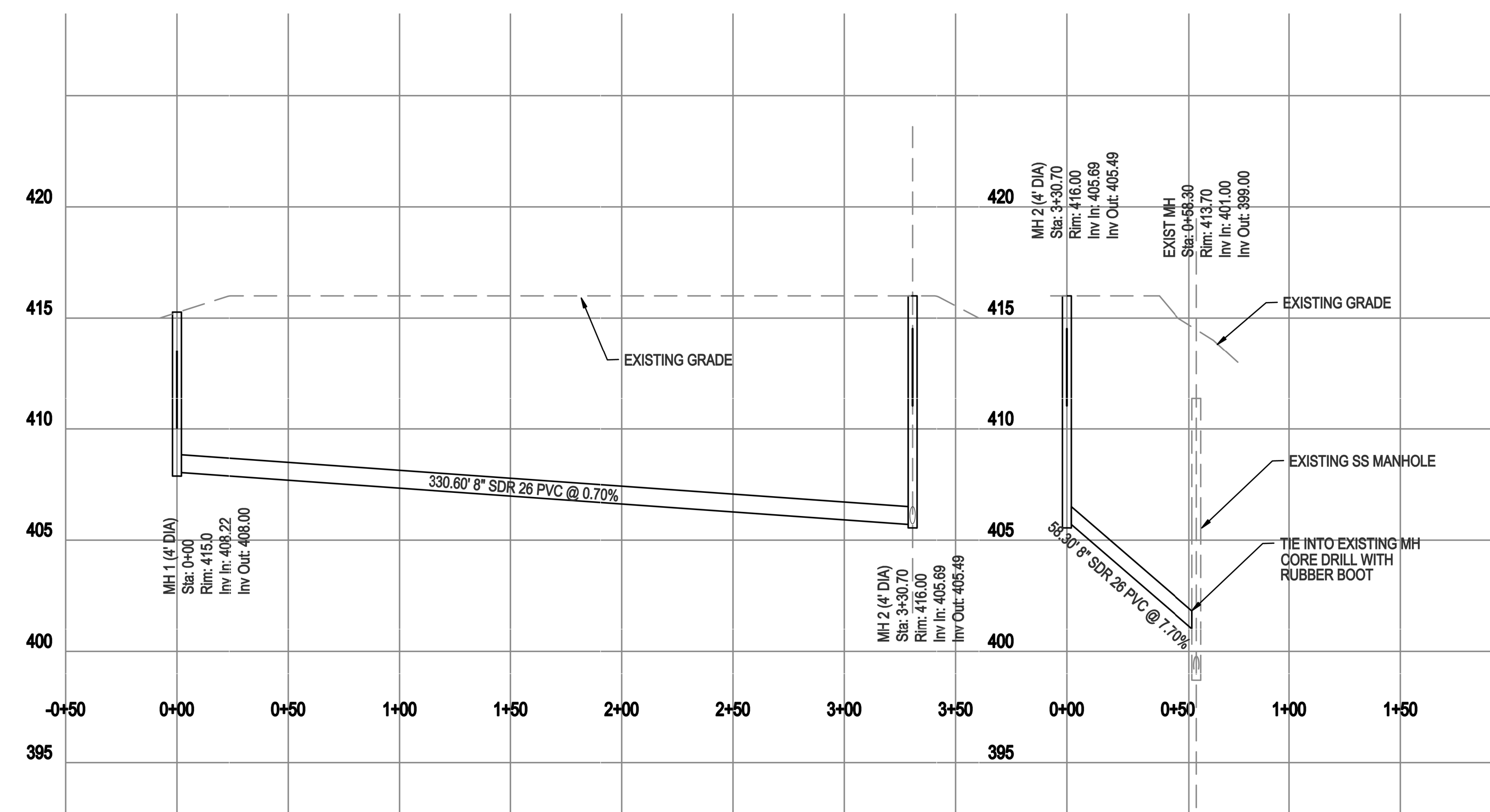
**Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.**

**SITE PERMITTING APPROVAL**

*(Notes and Sever Permits Not Applicable)*

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # **S-777**.

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # \_\_\_\_\_.



**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

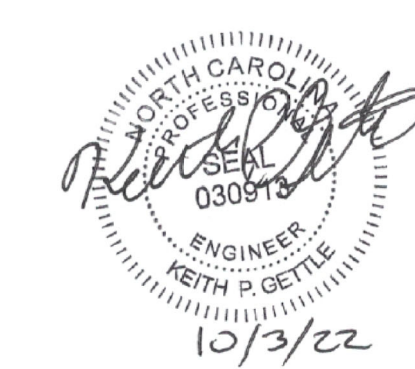
Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all local, State, and Federal laws and regulations.

The work approval. This approval is based on the information provided on this plan. This approval is not a guarantee of construction or results. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be used once issued. Any modification to this approval must be approved by the City.

City of Raleigh Development Approval  
City of Raleigh Review Officer

**Gettle Engineering and Design, PLLC**  
3616 Waxwing Court,  
Wake Forest, North Carolina 27587  
Firm License P-2538  
(919) 210-3934

NO.	DATE	INITIAL SUBMITTAL	REVISED PER	REASON FOR
1	07-26-2022	Rev 1	Rev 1	Initial Submittal
2	10-13-2022	Rev 2	Rev 2	Comments
3	DATE	COMMENT	BY	BY
4	DATE	COMMENT	BY	BY
5	DATE	COMMENT	BY	BY
6	DATE	COMMENT	BY	BY

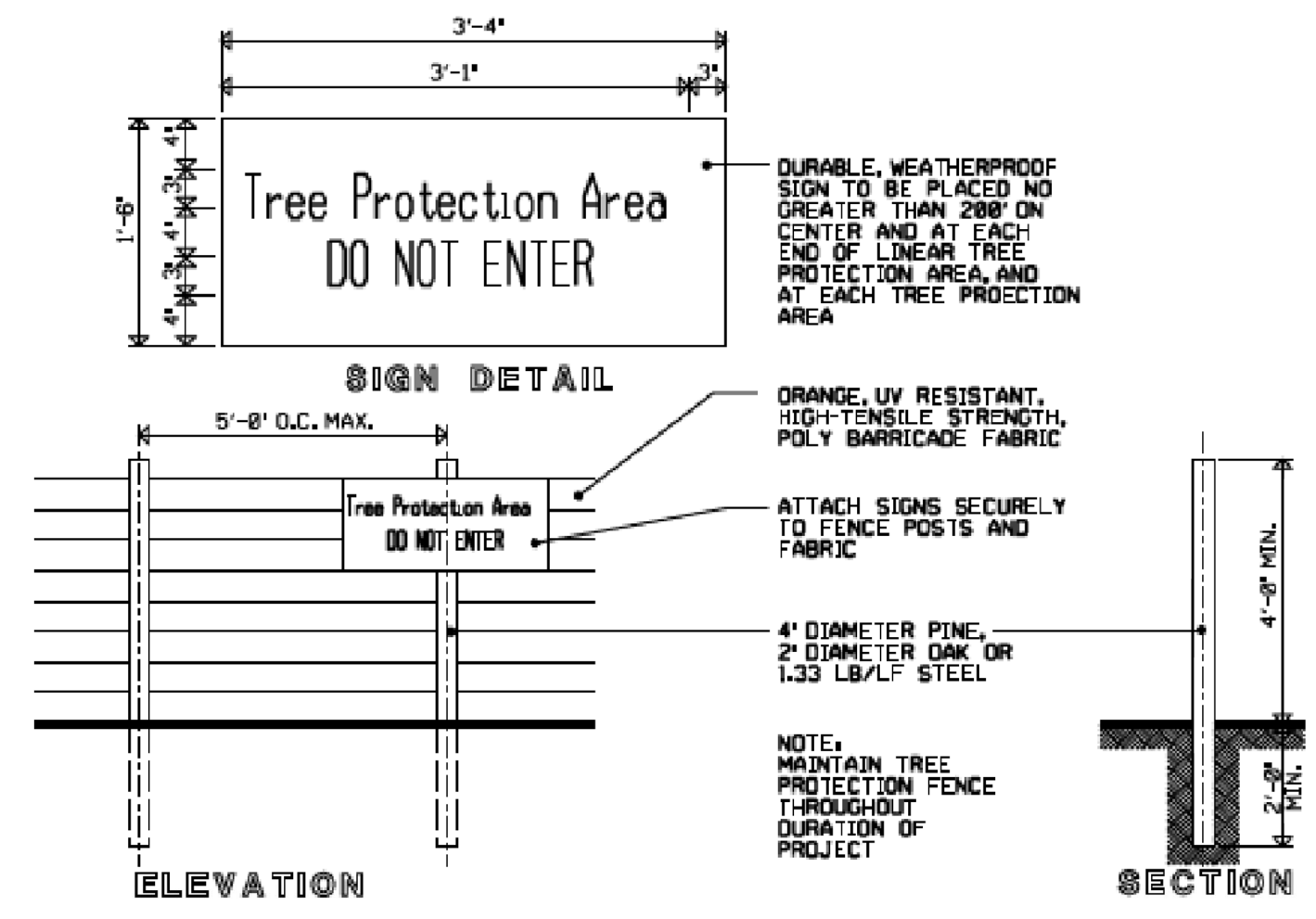
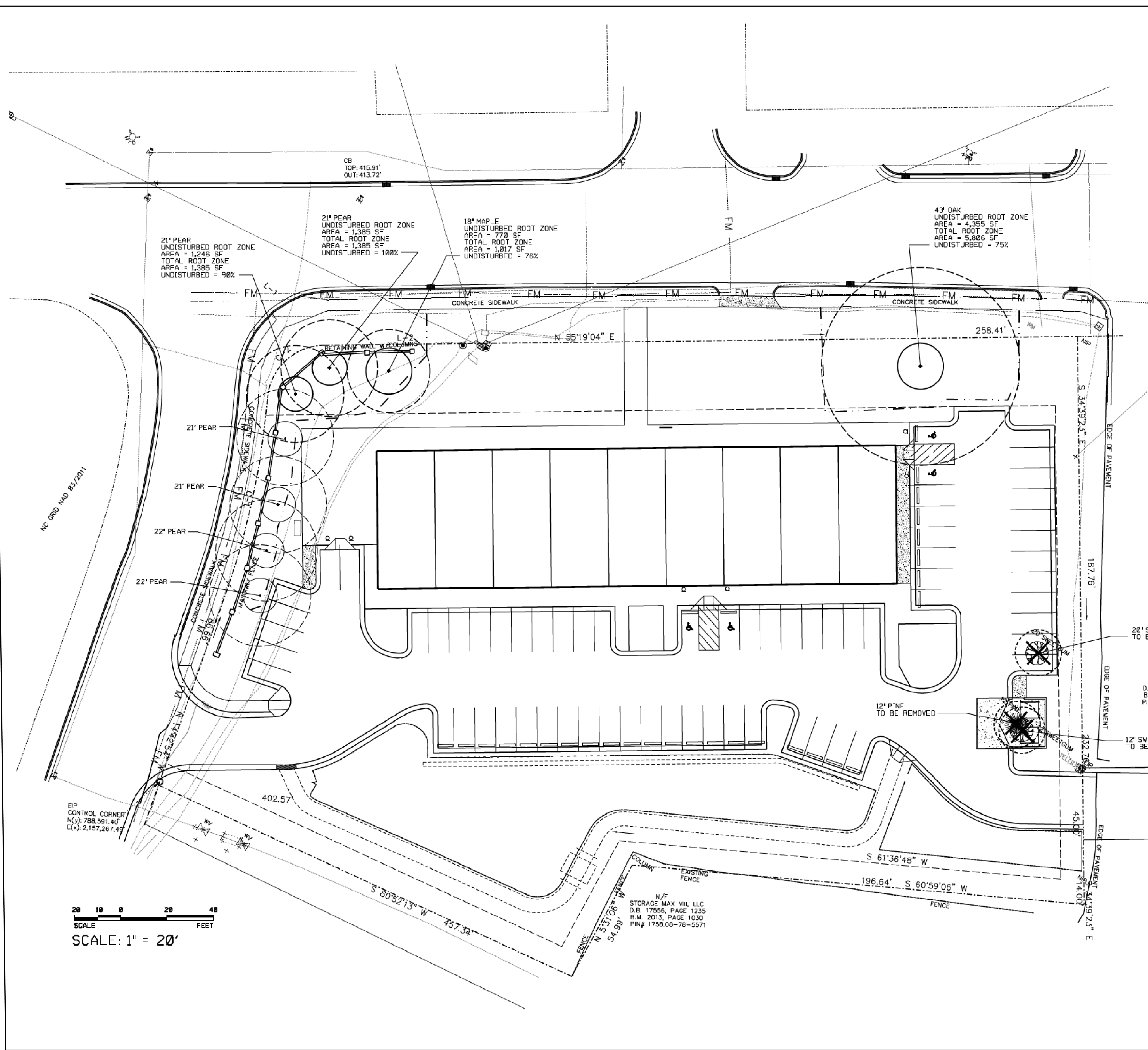


**Plan and Profile - Sanitary Sewer South Main**  
503 South Main Street  
Rolesville, Wake County, North Carolina

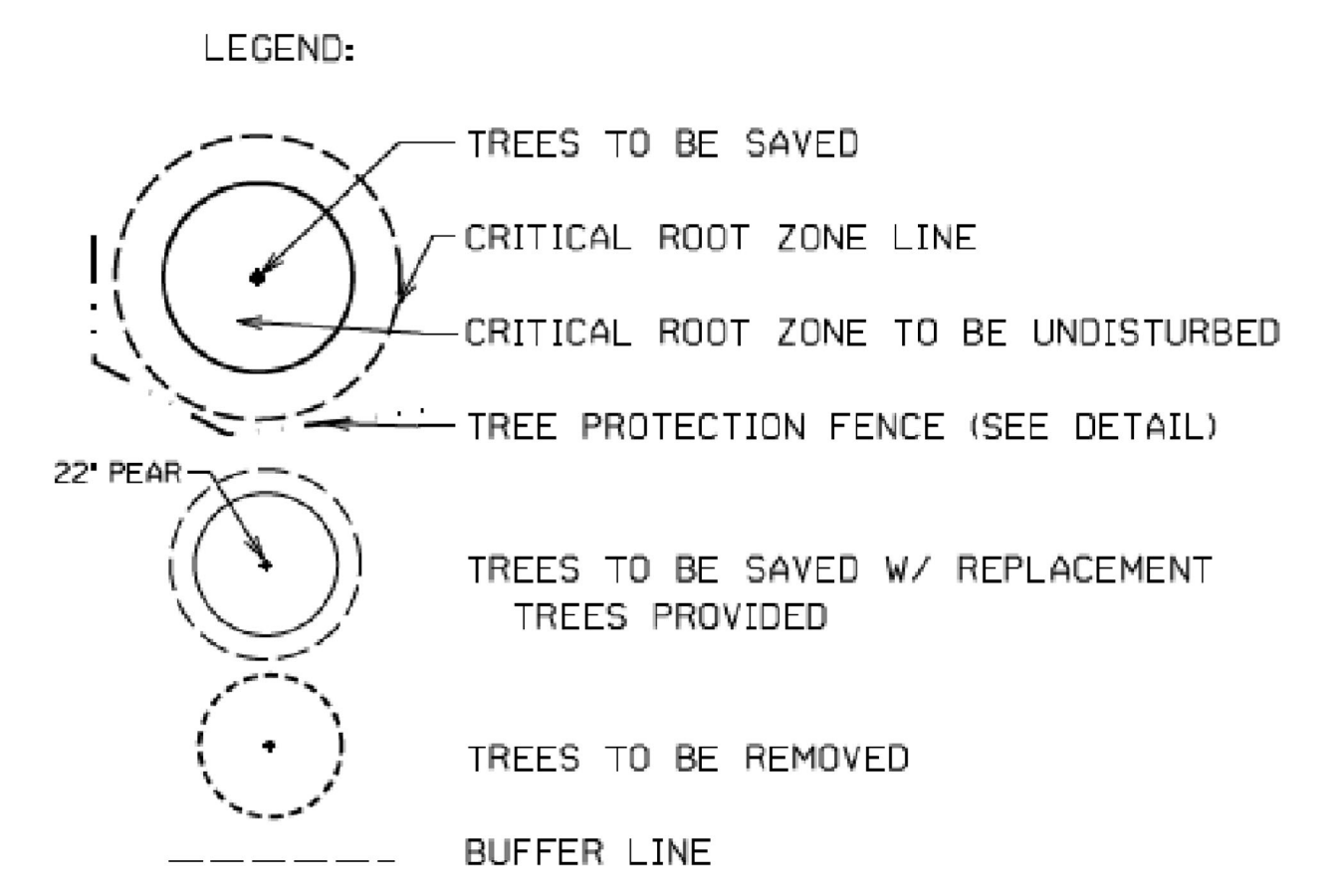
Project No. 22003  
Dwg No. **C6**

**PRELIMINARY DO NOT USE FOR CONSTRUCTION**

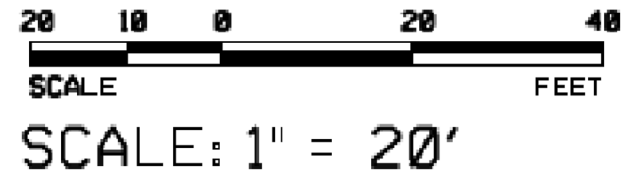




**TREE PROTECTION FENCE  
NTS**



- NOTE:
1. LOCATE AND INSTALL TREE PROTECTION FENCING PRIOR TO ANY CLEARING OR LAND DISTURBANCE.
  2. CRITICAL ROOT ZONE AREAS - AREAS WITHIN THE TREE PROTECTION FENCING - SHALL REMAIN FREE OF ANY DISTURBANCE AND OF ALL BUILDING MATERIALS AND DEBRIS.



N/F  
STORAGE MAX VIII, LLC  
D.B. 17556, PAGE 1235  
B.M. 2013, PAGE 1030  
PIN# 1758.08-78-5571

N/F  
2 SMITHS, LLC  
D.B. 11375, PAGE 938  
B.M. 2005, PAGE 474  
PIN# 1758.08-78-6903

Gettle Engineering and Design, PLLC

3616 Waxwing Court,  
Wake Forest, North Carolina 27587  
Firm License P-2538  
(919) 210-3934

PRELIMINARY  
DO NOT USE FOR  
CONSTRUCTION

Preservation Plan  
South Main  
503 South Main Street  
Rolesville, Wake County, North Carolina

NO.	DATE	BY	REVISION/DESCRIPTION
1	07-28-2022	INITIAL SUBMITTAL	
2	10-2-2022	Revised per Town/COR Comment	
3	DATE	COMMENT	
4	DATE	COMMENT	
5	DATE	COMMENT	
6	DATE	COMMENT	

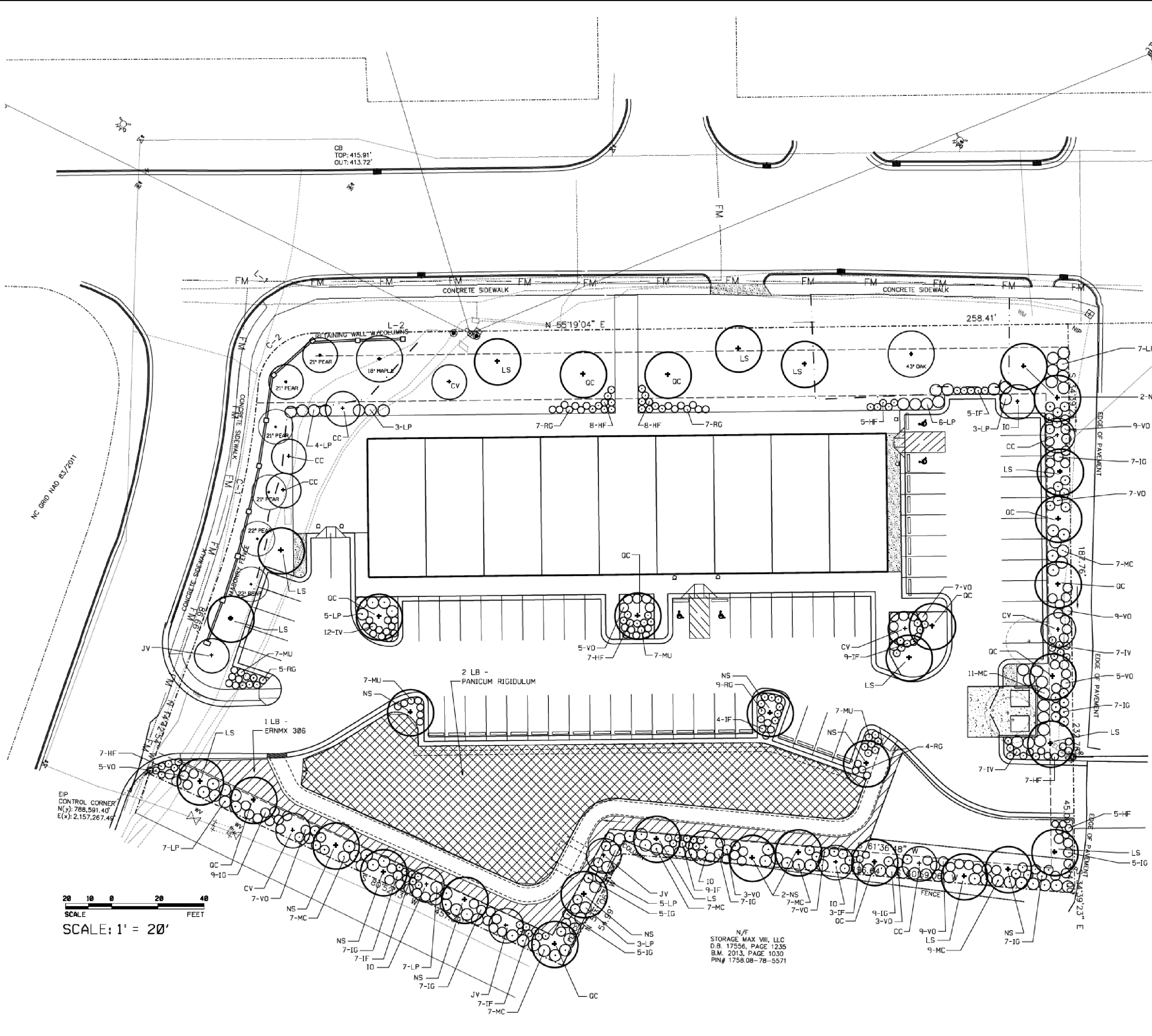


ALISON A. POCKAT, ASLA  
LANDSCAPE ARCHITECT  
LAND PLANNER

(919) 363-4415  
106 STEEPBANK DRIVE  
CARY, NC 27510



Project No. 22003  
Dwg No. **LS1**



**LEGEND:**

- PROPOSED PLANT MATERIAL
- PLANT KEY
- COUNT WITHIN CLUSTER
- SEEDED AREA - SEE PLANT NOTES
- EXISTING PLANT MATERIAL TO REMAIN
- TREE PROTECTION FENCE LOCATION

N/F  
 2 SMITHS, LLC  
 D.B. 11375, PAGE 938  
 B.M. 2005, PAGE 474  
 PIN# 1758.08-78-6903

- PLANT NOTES**
1. THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE DETERMINED AND VERIFIED IN THE FIELD BY THE LANDSCAPE CONTRACTOR. PLANTINGS SHALL BE ADJUSTED TO AVOID CONFLICT WITH SAID UTILITIES.
  2. SUBSOIL CONDITIONS AND SUBSURFACE DRAINAGE REQUIREMENTS OF ALL PLANT MATERIALS SHALL BE DETERMINED IN THE FIELD BY THE LANDSCAPE CONTRACTOR.
  3. ALL PLANT MATERIALS SHALL BEAR THE SAME RELATIONSHIP TO THE NEW GRADE THAT THEY BORE TO THE PREVIOUS GRADE.
  4. THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL TREES AND SHRUBS AND CHECK FOR CORRECT SPACING PRIOR TO PLANTING.
  5. ALL PLANT MATERIALS ARE AS STATED. NO SUBSTITUTIONS INCLUDING PLANT VARIETY WITHOUT THE CONSENT OF THE LANDSCAPE ARCHITECT.
  6. ALL NYLON OR POLYESTER TREATED BURLAP AND SYNTHETIC ROPING SHALL BE REMOVED ENTIRELY PRIOR TO PLANTING. ALL WIRES, ROPES AND HOSES USED TO STAKE THE TREES SHALL BE REMOVED NO LATER THAN 18 MONTHS AFTER PLANTING.
  7. THE OPTIMUM PLANTING SEASON IS APRIL 15 - MAY 15 AND SEPT. 15 - OCT. 15. ALL PLANTS ARE TO MEET OR EXCEED THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS FOR THE SIZES SPECIFIED. BEDS SHALL BE TILLED TO A DEPTH OF 6" AND AMENDED WITH A 2" LAYER OF CERTIFIED ORGANIC COMPOST MATERIAL ALONG WITH 8-8-8 FERTILIZER (AT A RATE OF 25 LBS PER 5,000 SQ. FT.) AND DOLICMITIC LIME (AT A RATE OF 10 LBS PER 5,000 SQ. FT.). THESE RATES ARE TO BE ADJUSTED AS PER SOIL TESTING RESULTS AS NEEDED. ALL BEDS SHALL BE MULCHED WITH A 2" THICK LAYER OF SHREDDED HARDWOOD MULCH. PLANTS SHALL BE WATERED THOROUGHLY IMMEDIATELY UPON INSTALLATION.
  8. THE CONTRACTOR SHALL PROVIDE AN 18 MONTH GUARANTEE ON ALL PLANT MATERIAL AND WORK.
  9. ALL SOIL SURFACES ARE TO BE COVERED WITH PLANTS, MULCH, BUILDING OR PAVING. LEAVE NO SOIL BARE. ALL PLANTINGS SHALL BE BEDDED AND MULCHED.
  10. SEEDED AREAS ARE TO BE AMENDED AND SEEDED AS PER THE AMOUNTS LISTED. MOW SEEDED AREAS ANNUALLY TO KEEP DOWN WEED TREES.
  11. SEED ALL OPEN LAWN AREAS WITH HYBRID BERMUDA GRASS AT A RATE OF 1 LB / 1000 SF.

SCALE: 1" = 20'

N/F  
 STORAGE MAX VII, LLC  
 D.B. 17556, PAGE 1235  
 B.M. 2013, PAGE 1030  
 PIN# 1758.08-78-5571

ALISON A. POKKAT, ASLA  
 LANDSCAPE ARCHITECT  
 LAND PLANNER



Gettle Engineering and Design, PLLC  
 3616 Waxwing Court,  
 Wake Forest, North Carolina 27587  
 (919) 210-3934 Firm License P-2538

**Landscape Plan**  
 South Main  
 503 South Main Street  
 Rolesville, Wake County, North Carolina

Project No. 22003  
 Dwg No. **LS2**

NO.	DATE	REVISION/DESCRIPTION	BY
1	07-28-2022	INITIAL SUBMITTAL	N/F
2	10-3-2022	Revised per Town / COR Comment	2 SMITHS, LLC
3	DATE	COMMENT	BY
4	DATE	COMMENT	BY
5	DATE	COMMENT	BY
6	DATE	COMMENT	BY



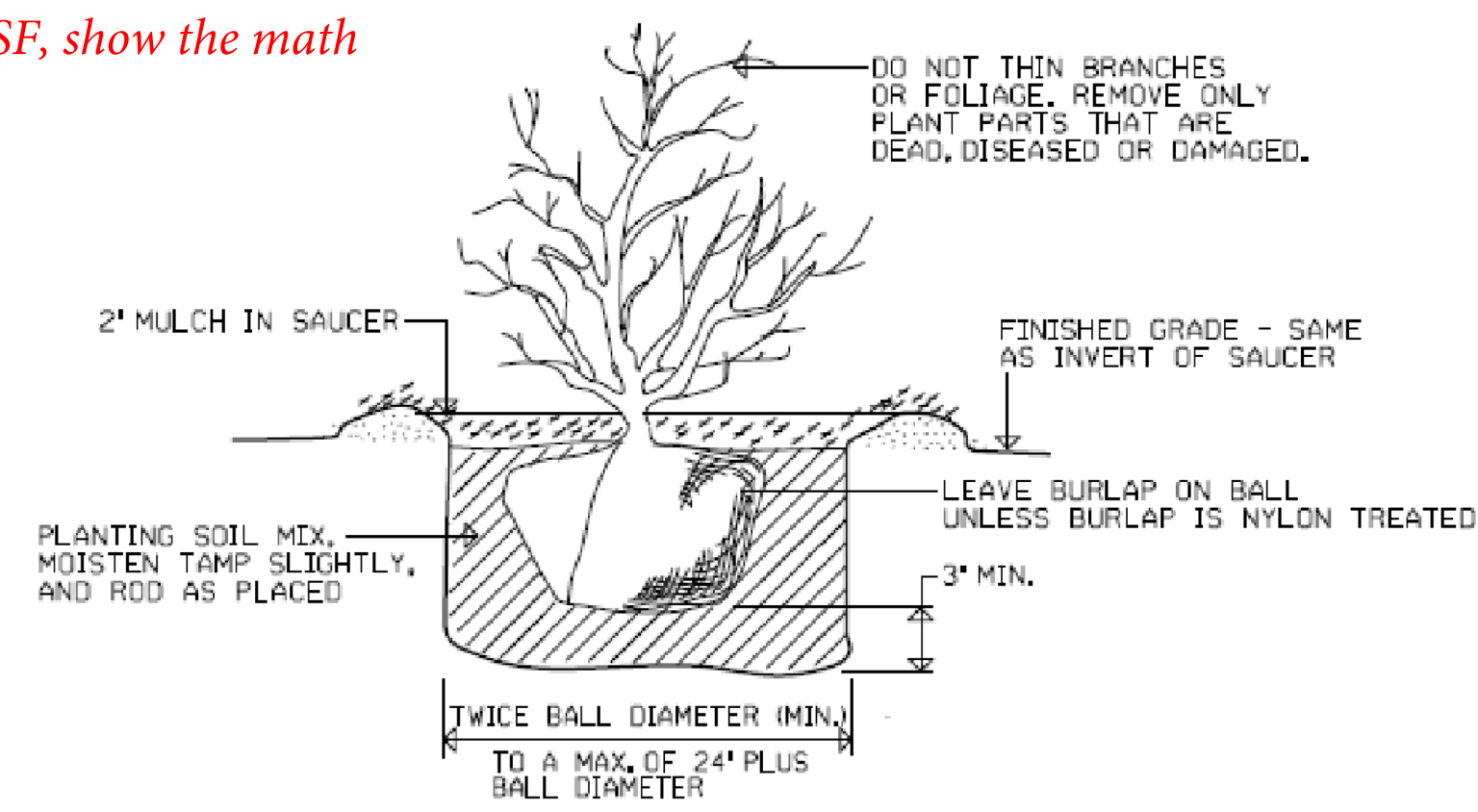
PRELIMINARY  
 DO NOT USE FOR  
 CONSTRUCTION

COMMENT #8 - Overall, please revise the information below to a table that shows/compares "REQUIRED" with "PROVIDED/PROPOSED" as that is the best and most direct way to demonstrate compliance with the LDO standards and allows Staff to directly review and approve the amounts. When a regulation is area based, provide the area and 'show the math' of the calculation (EX: if a standard is 1 tree/500SF, and the area is 2250 SF, show the math of  $2250/500=4.5$  trees, rounded up to 5 trees required).

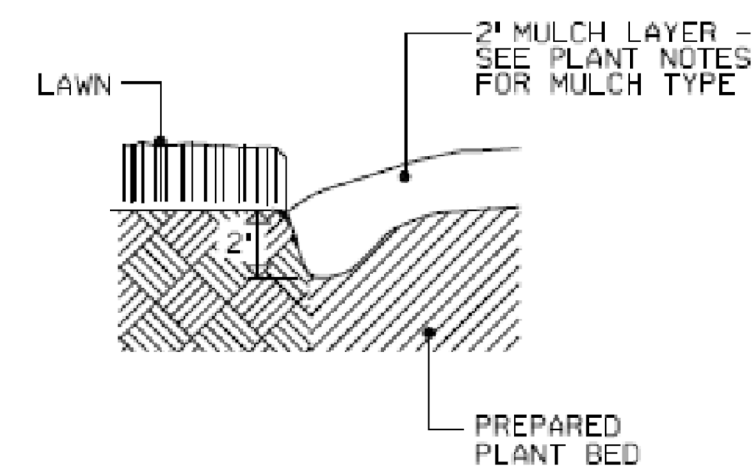
KEY	COUNT	PLANT NAME	SIZE	ON / CENTER SPACING
<b>SHADE TREES</b>				
LS	11	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA', FRUITLESS SWEETGUM	2.5" CAL, 8-10' HT	20'
NS	12	NYSSA SYLVATICA, BLACK GUM	2.5" CAL, 8-10' HT	20'
QC	11	QUERCUS COCCINEA, SCARLET OAK	2.5" CAL, 8-10' HT	20'
<b>UNDERSTORY TREES</b>				
CC	5	CERCIS CANADENSIS, EASTERN REDBUD	#10, 8' HT	15'
CV	4	CHIONANTHUS VIRGINICUS, FRINGE TREE	#10, 8' HT	15'
JO	4	ILEX OPACA 'TINGA', TINGA AMERICAN HOLLY	8' HT, B&B	15'
JV	3	JUNIPERUS VIRGINIANA, EASTERN RED CEDAR	8' HT, B&B	15'
<b>SHRUBS</b>				
HF	47	HYPERICUM FRONDOSUM 'SUNBURST', ST JOHN'S WORT	#03, 15-18' HT	3'
JF	44	ILLICIJM FLORIDANUM 'MISS SCARLET', ANISE	#03, 18-24' HT	3'
IG	75	ILEX CLABRA 'SHAMROCK', SHAMROCK INKBERRY	#03, 24-30' HT	4'
IV	26	ITEA VIRGINICA 'LITTLE HENRY', SWEETSPIRE	#03, 15-18' HT	3'
LP	50	LEUCOTHOE POPULIFOLIA, FLORIDA LEUCOTHOE	#03, 24-30' HT	5'
MC	55	MYRICA CERIFERA, WAX MYRTLE	#03, 24-30' HT	5'
RG	32	RHUS X 'GROW LOW', GROW LOW SUMAC	#03, 15-18' HT	3'
VO	66	VIBURNUM OBOVATUM 'MRS SCHILLER'S DELIGHT', VIBURNUM	#03, 18-24' HT	4'
<b>GRASSES</b>				
MU	28	MUHLENBERGIA CAPILLARIS, PINK MUHLY GRASS	#03	3'
<b>SEEDING AREAS</b>				
ERNMX 306 - NC PIEDMONT UPL MEADOW MIX - 1 LB				
PANICUM RIGIDULUM - REDTOP PANIC GRASS - 2 LB				

NOTES:  
 1. PLANT COUNTS ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY AND ARE NOT GUARANTEED.  
 2. SEED LISTED ON THE PLAN CAN BE OBTAINED THROUGH ERNST SOUTHERN NATIVE SEEDS - [www.ernstseed.com](http://www.ernstseed.com) - PHONE NUMBER 1-800-873-3321.

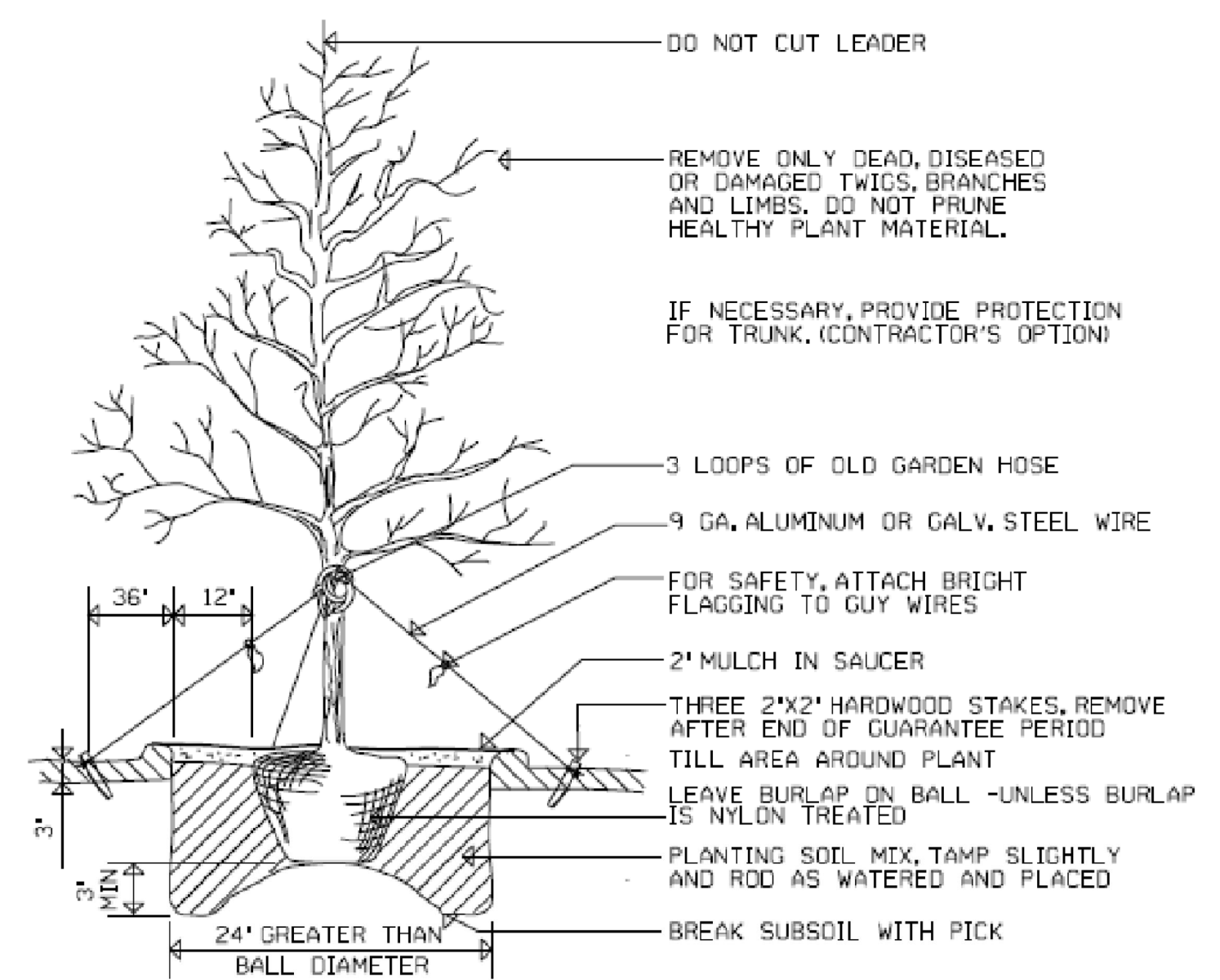
Comment #9 - Strike or revise Note 1 to the left - this is a Regulatory set of landscape plans demonstrating compliance and they shall be built to - the counts are not for convenience.



SHRUB PLANTING DETAIL  
NTS



LAWN/BED EDGING  
NTS

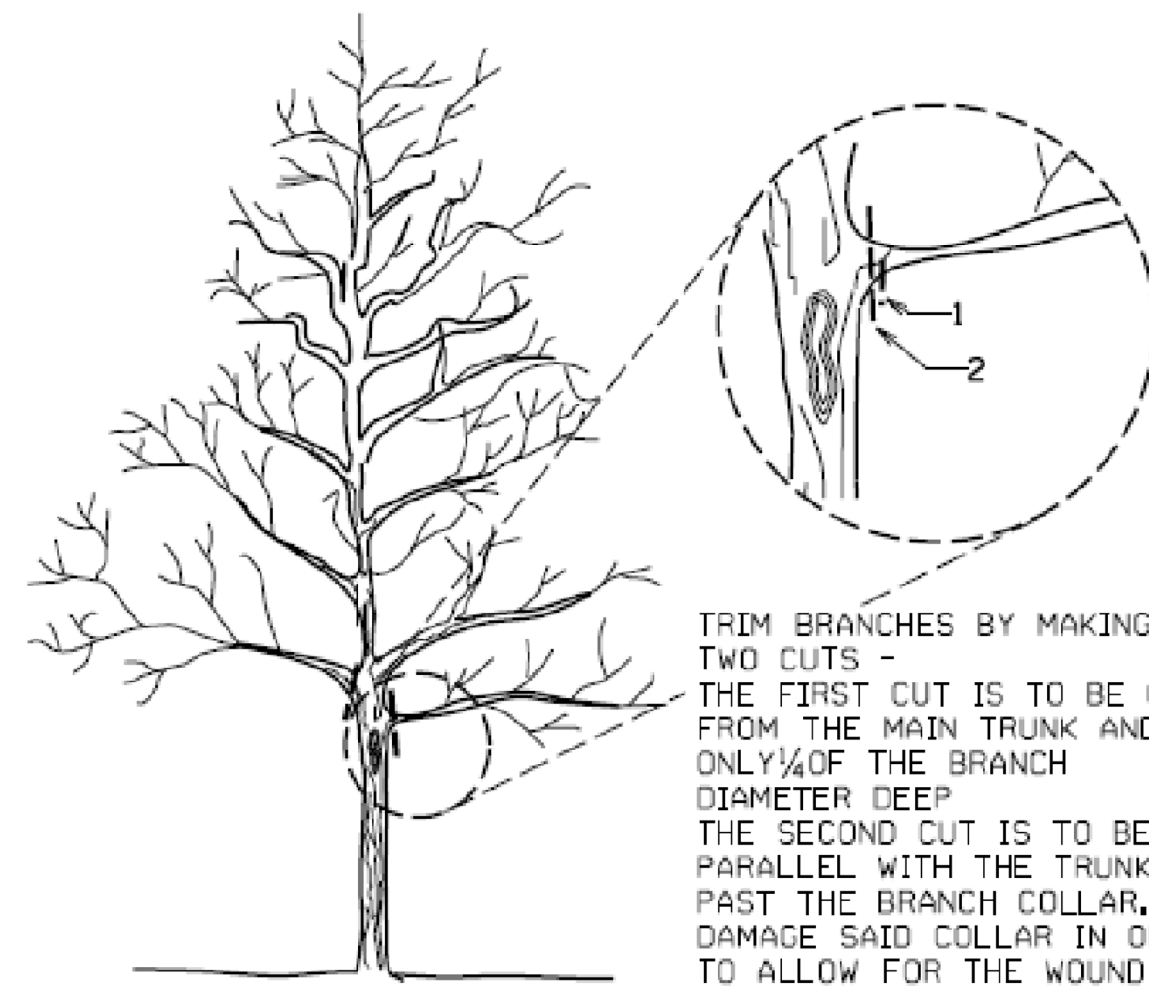


NOTE: GUYING IS REQUIRED ONLY ON TREES OVER 10' HIGH. SET TREE AT IT'S ORIGINAL GRADE. COLLAR LINE MUST MATCH THE NEW SOIL LINE.

TREE PLANTING DETAIL  
NTS

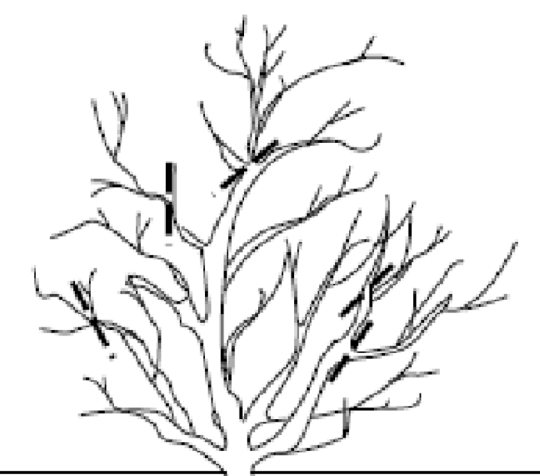
MAINTENANCE NOTES:

1. PROVIDE A HALF INCH ANNUAL APPLICATION OF YARD WASTE COMPOST TO ALL LAWN AND BEDDED AREAS IN THE EARLY SPRING. RAKE OUT EVENLY BUT DO NOT TILL IN. FERTILIZE GRASS IN EARLY FALL WITH A RATIO OF 4-3-1 OR MULTIPLES THEREOF.
2. REFURBISH MULCH TWICE PER YEAR - SPRING AND FALL. DO NOT EXCEED 2" OF MULCH AND COMPOST COMBINED AT ANY ONE TIME.
3. HAND WEED UNLESS WEED NUMBERS BECOME EXCESSIVE. TREAT EXCESSIVE BROADLEAF WEEDS WITH AN APPLICATION OF 2,4-D AS DIRECTED ON PACKAGE. TREAT EXCESSIVE WEED GRASS PROBLEMS WITH ROUNDUP.
4. MINOR PEST INFESTATIONS CAN GO UNTREATED. EXCESSIVE INSECT AND GRUB INFESTATIONS NEED TO BE TREATED AS DIAGNOSED WITH AN APPROPRIATE PESTICIDE. EXCESSIVE FUNGAL INFESTATIONS NEED TO BE TREATED IN TWO TO THREE SUCCESSIVE TREATMENTS OVER A PERIOD OF TWO TO THREE WEEKS WITH AN APPROPRIATE FUNGICIDE.
5. PRUNING / TRIMMING OF SHRUBS SHOULD BE DONE IN EARLY SPRING JUST PRIOR TO LEAFFING OUT. HEAD LIMBS WITH EXCESSIVE HEIGHT - REMOVE LIMB BACK TO THE CROTCH IN THE MAIN STEM. DO NOT HEDGE!
6. MOWING OF LAWN GRASS SHOULD BE DONE AS NEEDED TO KEEP NEAT AND PASSABLE. MOW TO A HEIGHT OF 2.5 - 3".
7. MOW ORNAMENTAL GRASSES AND SEEDING AREAS - MUHLY GRASS, PANIC GRASS, ERNMX 306 - ANNUALLY IN LATE FALL OR EARLY SPRING TO A HEIGHT OF 8" TO KEEP DOWN WEED TREES..



TRIM BRANCHES BY MAKING TWO CUTS - THE FIRST CUT IS TO BE OUT FROM THE MAIN TRUNK AND ONLY 1/4 OF THE BRANCH DIAMETER DEEP. THE SECOND CUT IS TO BE PARALLEL WITH THE TRUNK BUT JUST PAST THE BRANCH COLLAR. DO NOT DAMAGE SAID COLLAR IN ORDER TO ALLOW FOR THE WOUND TO HEAL

TREE PRUNING  
NTS



TRIM SHRUBS BY HEADING BACK - TRIM BACK TO A CROTCH IN THE BRANCHING WITH A CUT FLUSH TO THE REMAINING STEM DO NOT HEDGE!

SHRUB PRUNING  
NTS

ALISON A. POKCAT, ASLA  
LANDSCAPE ARCHITECT  
LAND PLANNER

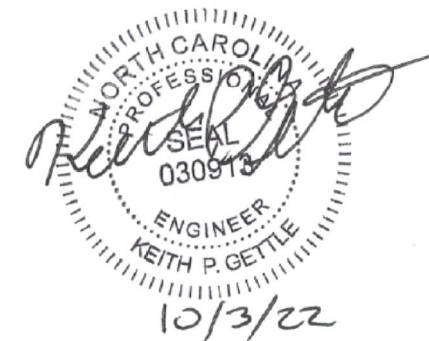


Gettle Engineering and Design, PLLC

3616 Waxwing Court,  
Wake Forest, North Carolina 27587  
Firm License P-2538  
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PRELIMINARY  
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NO.	DATE	BY	REVISION/DESCRIPTION
1	07-26-2022	INITIAL SUBMITTAL	
2	10-2-2022	Revised per Town / COR Comment	
3	DATE	COMMENT	
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5	DATE	COMMENT	
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Landscape Details  
South Main  
503 South Main Street  
Rolesville, Wake County, North Carolina

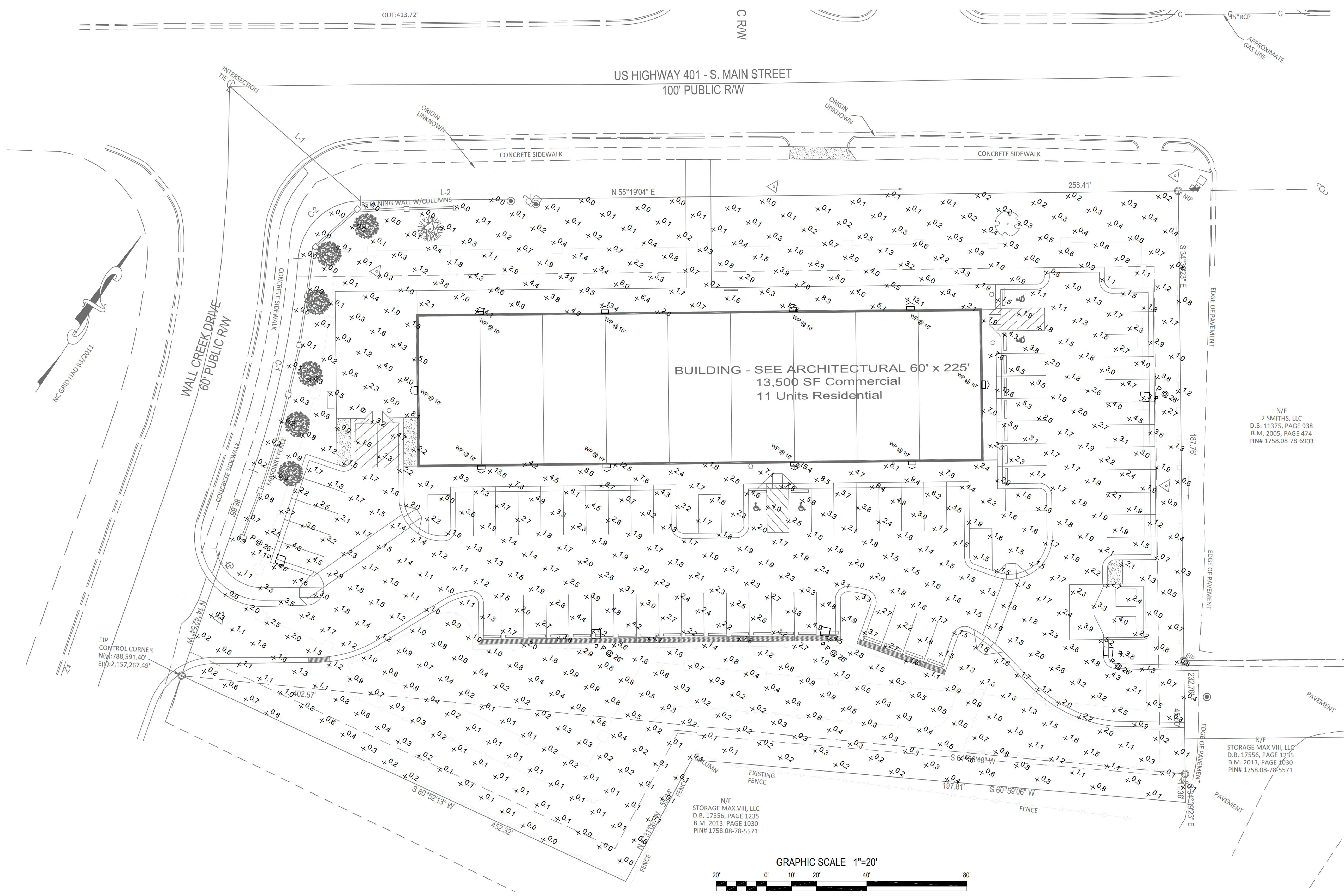
Project No. 22003

Dwg No.

LS3

Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Notes
	P		5	Lithonia Lighting	RSX2 LED P2 40K R4	RSX Area Fixture Size 2 P2 Lumen Package 4000K CCT Type R4 Distribution	1	17427	1	114.07	26' POLE MOUNTED
	WP		10	Lithonia Lighting	WDGE3 LED P1 70CRI R3 40K	WDGE3 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 3 OPTIC	1	7523	1	51.1717	MOUNTING HEIGHT AS NOTED ON PLAN.

Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
PARKING LOT	+	2.5 fc	7.0 fc	1.0 fc	2.5:1
PROPERTY LINE	+	0.2 fc	1.3 fc	0.0 fc	N/A



**Gettle Engineering and Design, PLLC**  
 3616 Waxwing Court,  
 Wake Forest, North Carolina 27587  
 (919) 210-3934 Firm License P-2538

NO.	DATE	REVISION DESCRIPTION	BY
1	10/28/2022	INITIAL SUBMITTAL	

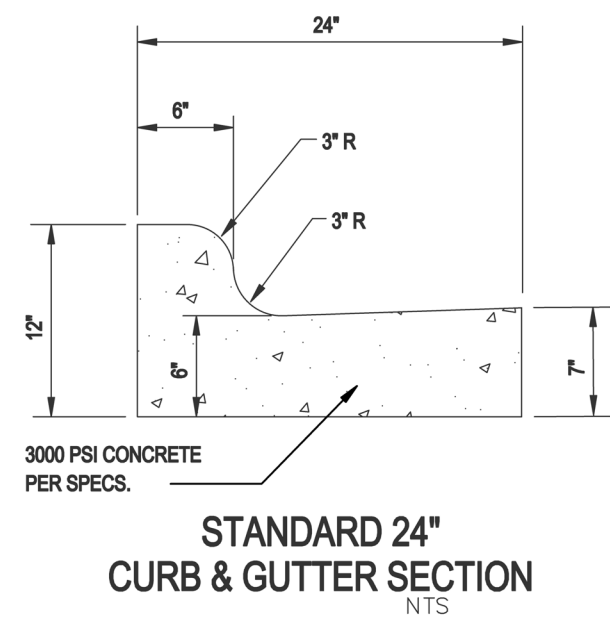


**Site Lighting Plan**  
 South Main  
 503 South Main Street  
 Rolesville, Wake County, North Carolina

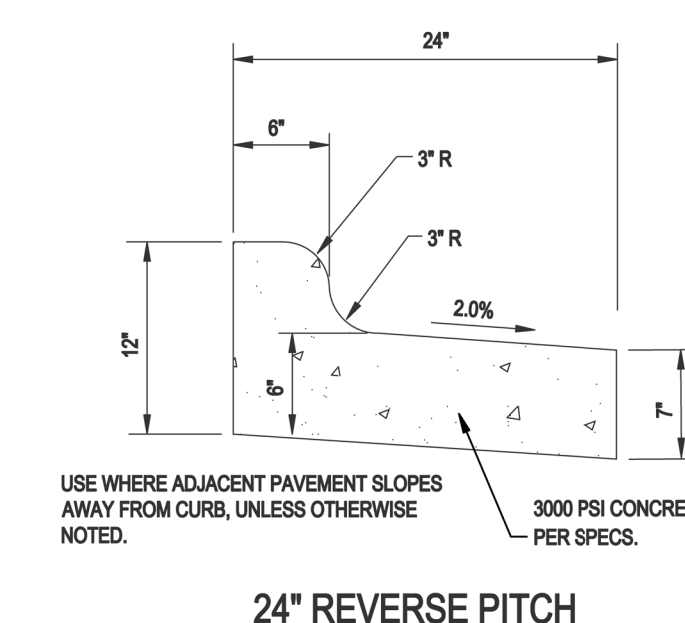
**ANGUS CLARK**  
**ENGINEERING PC**  
 NCBEES #C-2726  
 543 KEISLER DRIVE  
 SUITE 101  
 CARY NORTH CAROLINA 27518  
 919 859.2674  
 919 859.2675 FAX

Project No. XXXXX  
 Dwg No. **SL1**

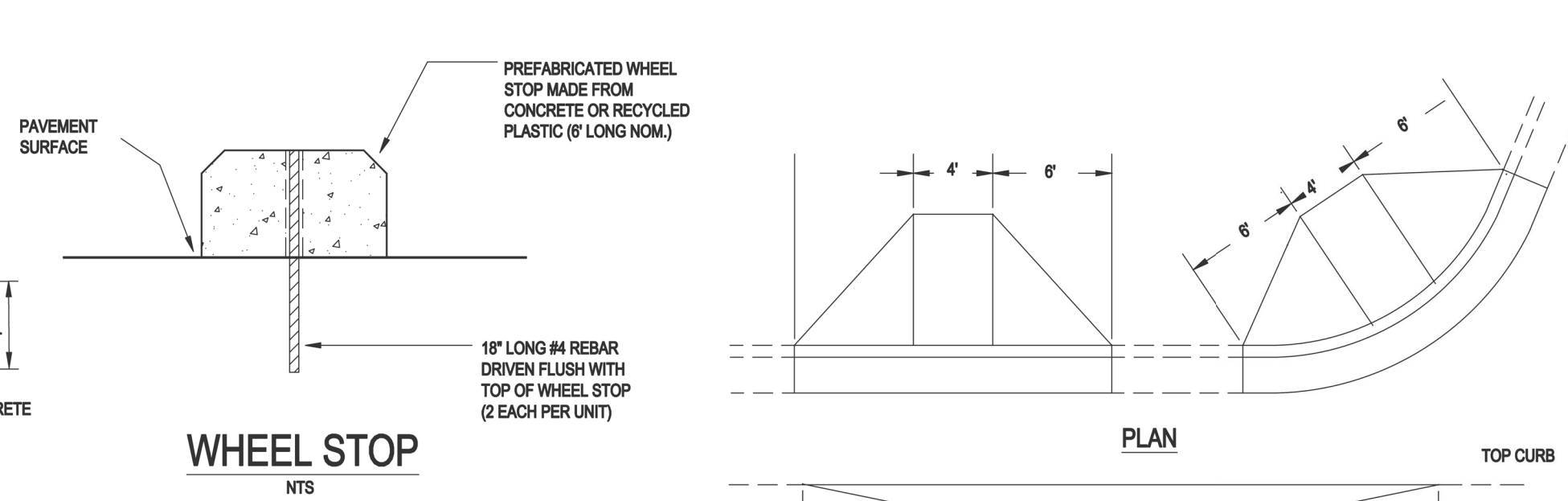




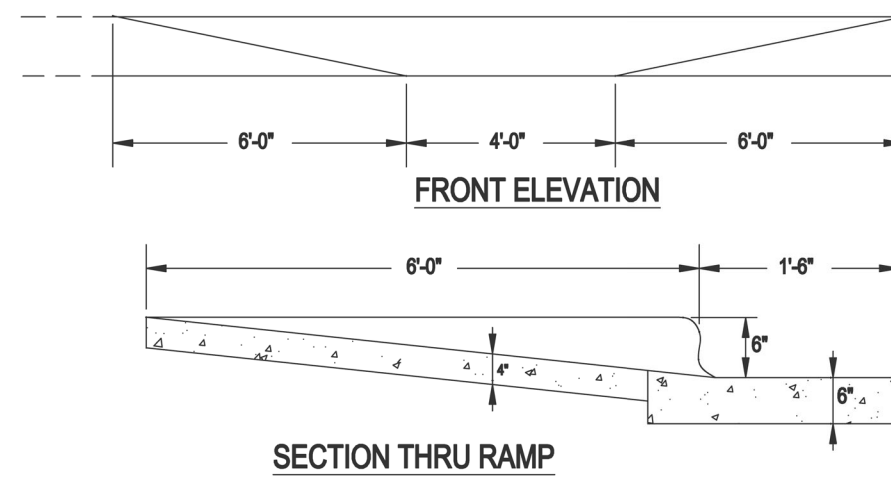
**STANDARD 24\"/>**



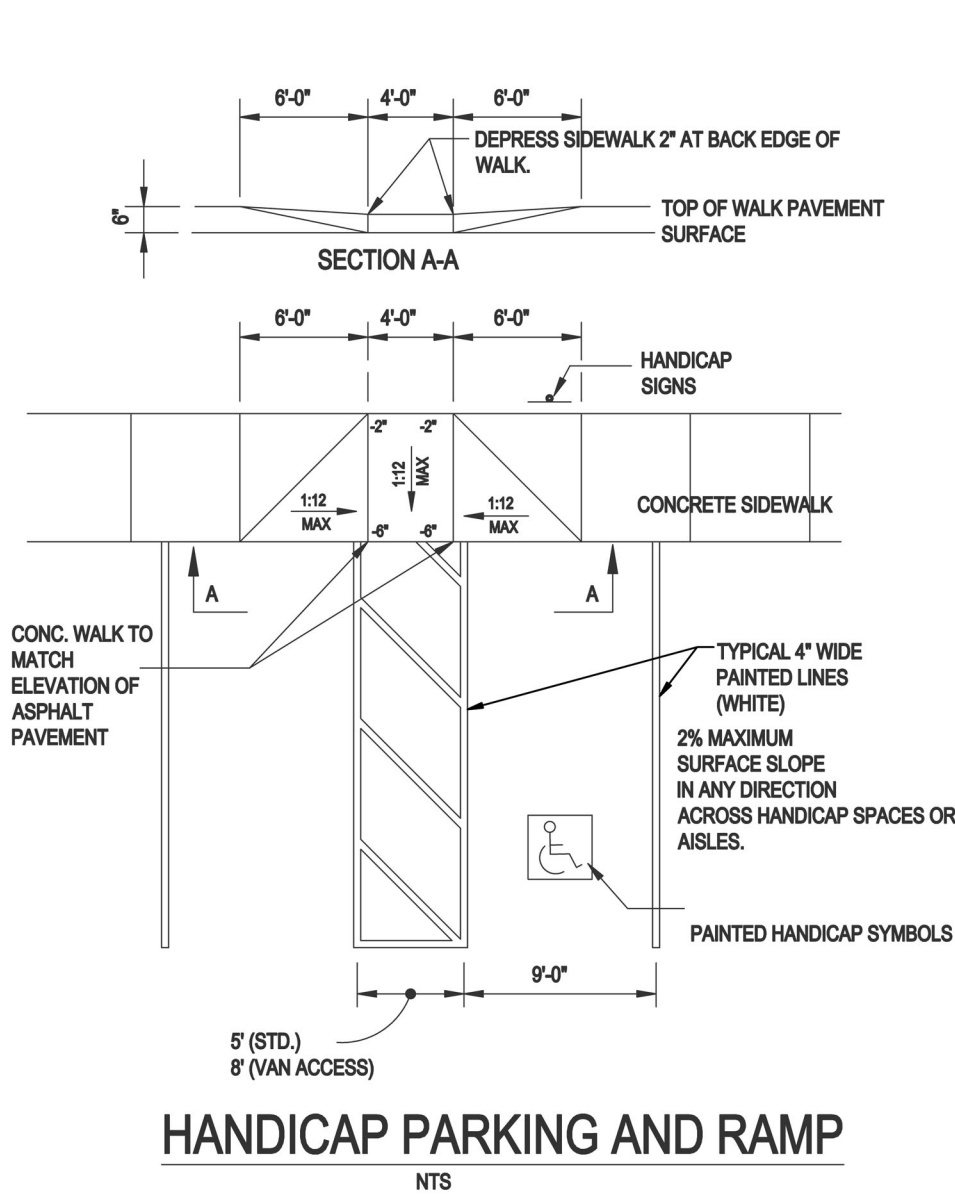
**24\"/>**



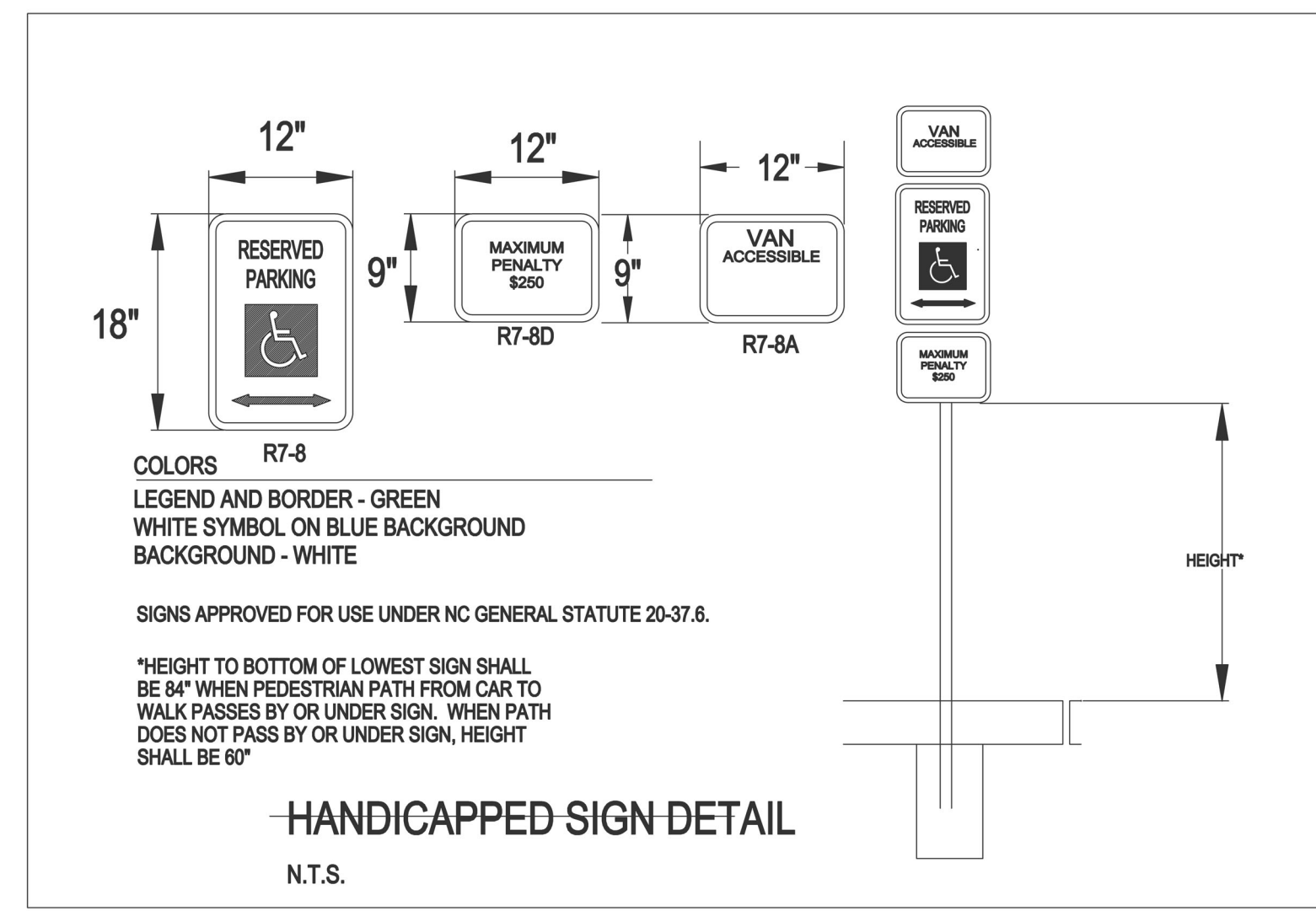
**WHEEL STOP**  
NTS



**HANDICAP RAMP CURB CUT**  
NTS

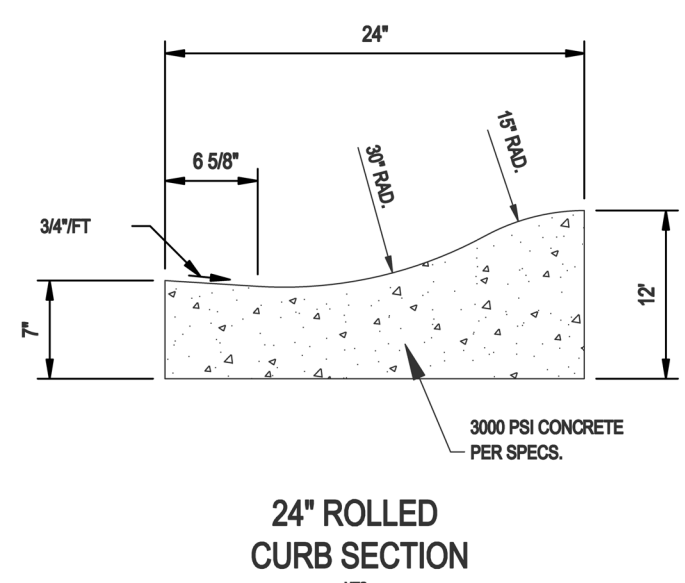


**HANDICAP PARKING AND RAMP**  
NTS



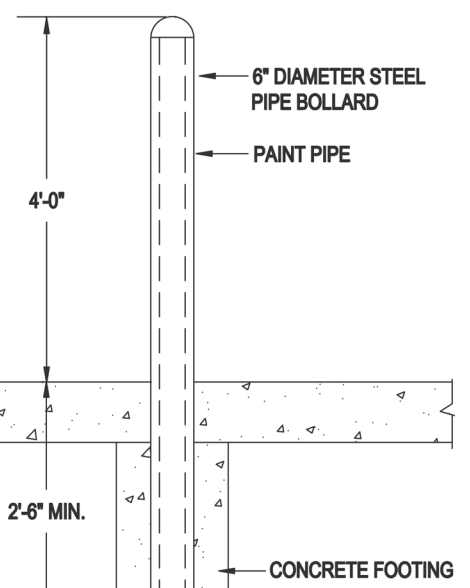
**HANDICAPPED SIGN DETAIL**  
N.T.S.

- NOTES:**
1. 10' MAXIMUM BETWEEN CONSTRUCTION JOINTS.
  2. 1/2" EXPANSION JOINT EVERY 90'.
  3. 3000 PSI CONCRETE MINIMUM, 4" SLUMP MAXIMUM.
  4. LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 1028-2 OF NCDOT STANDARDS & SPECIFICATIONS FOR ROADS AND STRUCTURES.
  5. ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER IN ACCORDANCE WITH NCDOT ROADWAY STANDARD DETAIL 946.01. THE JOINT MATERIAL SHALL CONFORM TO SECTION 1028-2 OF NCDOT'S STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
  6. ABC STONE REQUIRED UNDER ALL CURB & GUTTER.



**24\"/>**

**STEEL PIPE BOLLARD (TYPICAL) (TO BE CONCRETE FILLED)**  
NTS



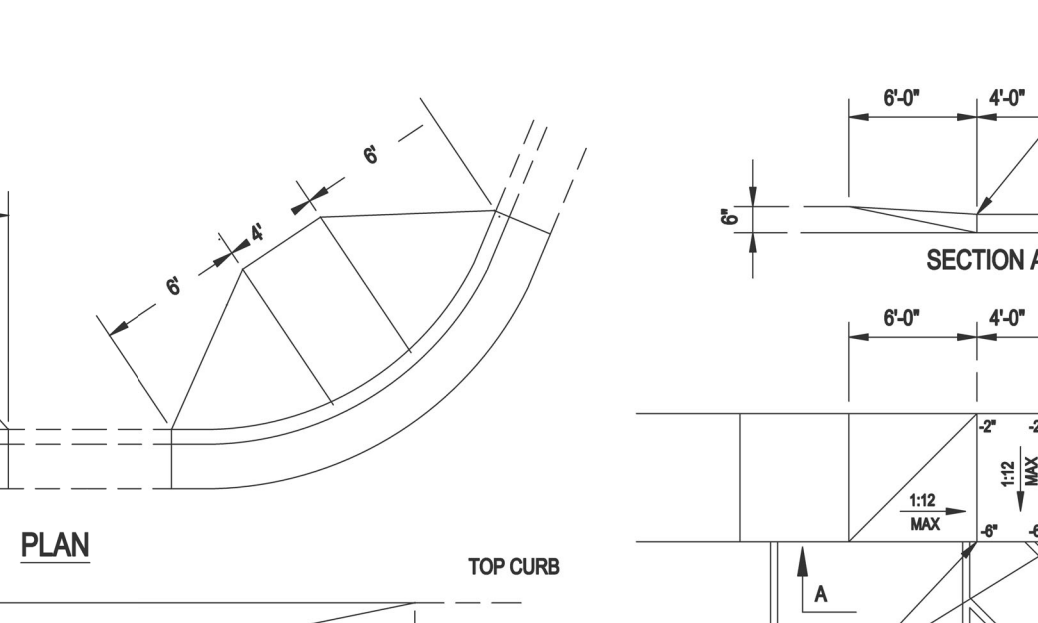
- SPECIFICATIONS FOR CAST-IN-PLACE PORTLAND CEMENT CONCRETE**
1. NOTIFY THE ENGINEER AND ANY AGENCY HAVING JURISDICTION OVER THE CONCRETE AT LEAST TWO BUSINESS DAYS PRIOR TO PLACEMENT OF ANY CONCRETE.
  2. ENSURE THAT SUBGRACES COMPLY WITH PROJECT REQUIREMENTS FOR ELEVATION, SLOPE, SOIL CHARACTERISTICS AND SLOPE PRIOR TO PLACING ANY FORMS, BASE MATERIAL, OR CONCRETE.
  3. VERIFY THAT CURRENT AND FORECASTED WEATHER CONDITIONS ARE APPROPRIATE FOR CONCRETE PLACEMENT.
  4. CONCRETE MATERIALS AND WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS, AS APPLICABLE:

DESCRIPTION	STANDARD	COMMENT
READY-MIX CONCRETE	ASTM C94	TYPE I OR ONLY
CONCRETE ADMIXTURE	ASTM C494	
WATER REDUCING ADJUTANT	ASTM C494	
NON-REDUCING ADJUTANT	ASTM C494	
CONCRETE CEMENT	ASTM C150	TYPE I ONLY
PORTLAND CEMENT	ASTM C150	
PORTLAND CEMENT FINE	ASTM C150	
PORTLAND CEMENT MEDIUM	ASTM C150	
PORTLAND CEMENT COARSE	ASTM C150	
PORTLAND CEMENT VERY COARSE	ASTM C150	
PORTLAND CEMENT SUPER FINE	ASTM C150	
PORTLAND CEMENT FINEST	ASTM C150	
SLUMP TEST METHOD	ASTM C138	
COMPRESSIVE STRENGTH TEST	ASTM C39	
TEMPERATURE CORRECTION	ASTM C31	
NOT REVISIONS	NOT REVISIONS	

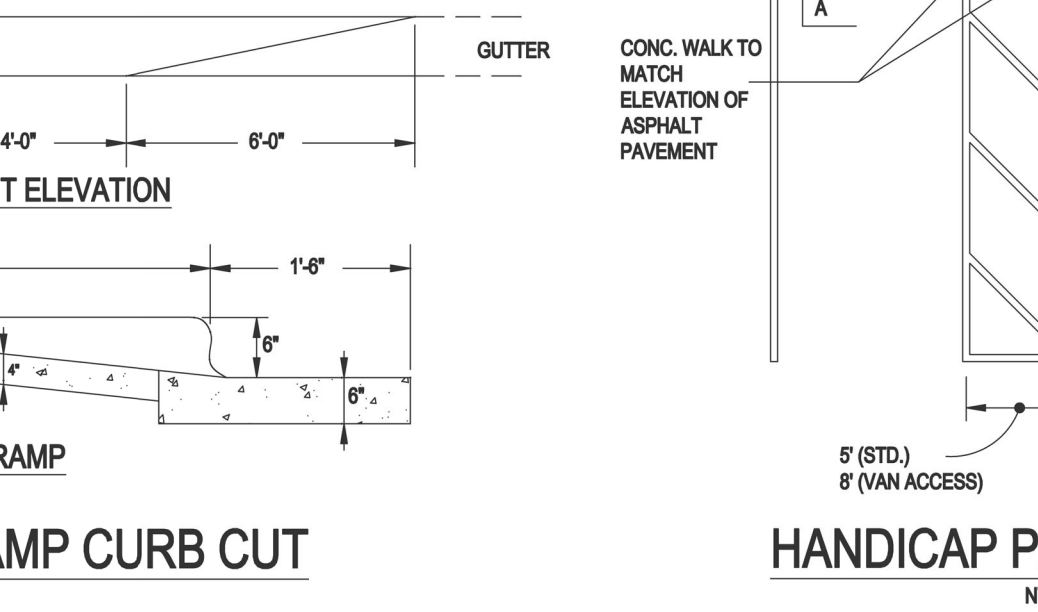
5. PROVIDE ALL CONCRETE MATERIALS AND WORK IN COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS AND GOVERNING AUTHORITY REQUIREMENTS. IN CASE OF CONFLICTING REQUIREMENTS THE MORE STRINGENT SHALL APPLY.
6. FOR CONCRETE WORK IN EXISTING OR ANTICIPATED FUTURE NCDOT RIGHTS OF WAY, COMPLY WITH REQUIREMENTS OF THE LATEST EDITION OF NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, AND AASHTO STANDARDS SPECIFIED THEREIN.
7. UNLESS OTHERWISE SPECIFIED OR REQUIRED, PROVIDE NORMAL WEIGHT CONCRETE HAVING A 28-DAY MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI WITH A MAXIMUM WATER/CEMENT RATIO OF 0.45, AND A SLOPE RANGE BETWEEN 1.5:1 AND 3.0:1 UNLESS THE PROJECT LINE PROVIDE AIR-ENTRAINED CONCRETE WITH AN AIR CONTENT OF 5% BY VOLUME, PLUS OR MINUS 1.5% BY PROPEX, AT A MINIMUM RATE OF 1.5 LBS. PER CUBIC YARD OF CONCRETE, OR APPROVED EQUAL.
8. UNLESS OTHERWISE SPECIFIED, SYNTHETIC FIBER REINFORCEMENT SHALL BE FIBERON 300 BY PROPEX, AT A MINIMUM RATE OF 1.5 LBS. PER CUBIC YARD OF CONCRETE, OR APPROVED EQUAL.
9. UNLESS OTHERWISE SHOWN OR NOTED, PROVIDE CONTROL JOINTS AND EXPANSION JOINTS WITH MAXIMUM SPACING AND PHYSICAL CHARACTERISTICS AS FOLLOWS:

SPACING	MAX	MIN	MIN. SPACING	MAX. SPACING	REMARKS
CONTROL	12'	12'	12'	12'	DO NOT EXCEED A FULL SUPPLY OF REINFORCEMENT
EXPANSION	30'	30'	30'	30'	

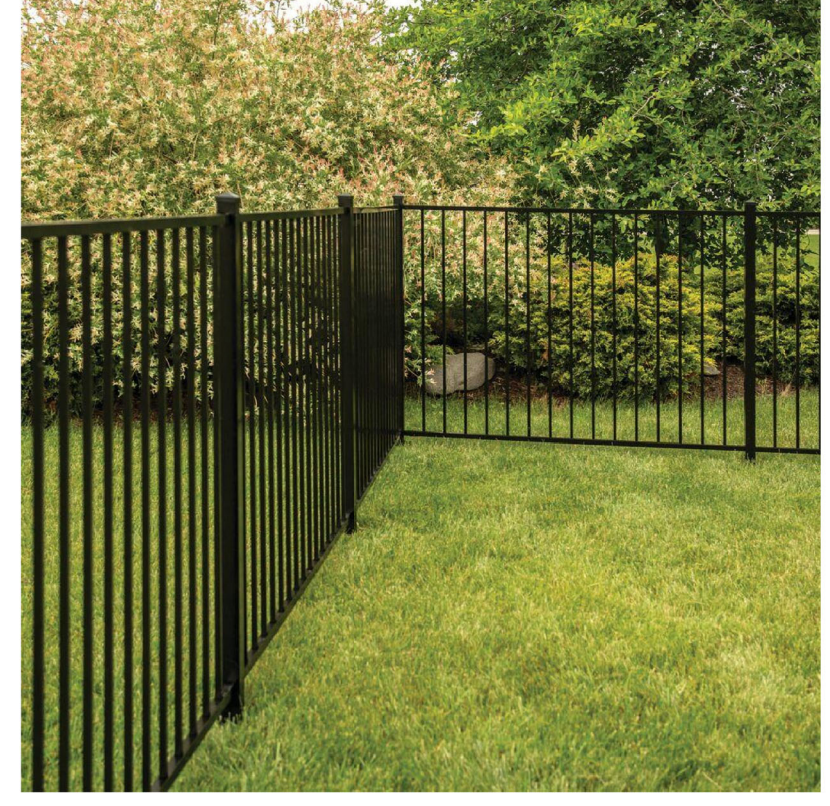
11. PROVIDE EXPANSION JOINTS AGAINST ALL METAL FRAMES, CASTINGS, BOLLARDS, STRUCTURES, FOOTINGS, SIGNS, ARCHES, OR OTHER FIXED OBJECTS.
12. PROVIDE CONTROL JOINTS AGAINST ALL EXISTING OR ANTICIPATED FUTURE NCDOT RIGHTS OF WAY EDGES, WHERE PLACEMENT OPERATIONS ARE DISCONTINUED FOR LONGER THAN 30 MINUTES.
13. COMPLY WITH MATERIAL SAMPLING AND TESTING REQUIREMENTS AS SPECIFIED FOR THE PROJECT.
14. PROVIDE ADEQUATE CONCRETE FINISHING, PROTECTION, AND CURING MEASURES, UNLESS OTHERWISE NOTED. PROVIDE A LIGHT-BROOM FINISH ON ALL SURFACES THAT WILL EXPOSED TO FOOT TRAFFIC.
15. EXPOSED CONCRETE SURFACES SHALL HAVE A UNIFORM APPEARANCE WITHOUT UNDESIRABLE CRACKS, AND WITH PROPER DIMENSIONS, ELEVATIONS, AND SLOPES. JOINTS SHALL BE FINISHED, HEAT, AND PROPERLY SPACED WITH LEVEL SURFACE CONDITIONS ACROSS THE WIDTH OF EACH JOINT.
16. PATCH OUT CONCRETE CRACKS AND DRUMS IN APPROVED LOCATIONS ONLY.



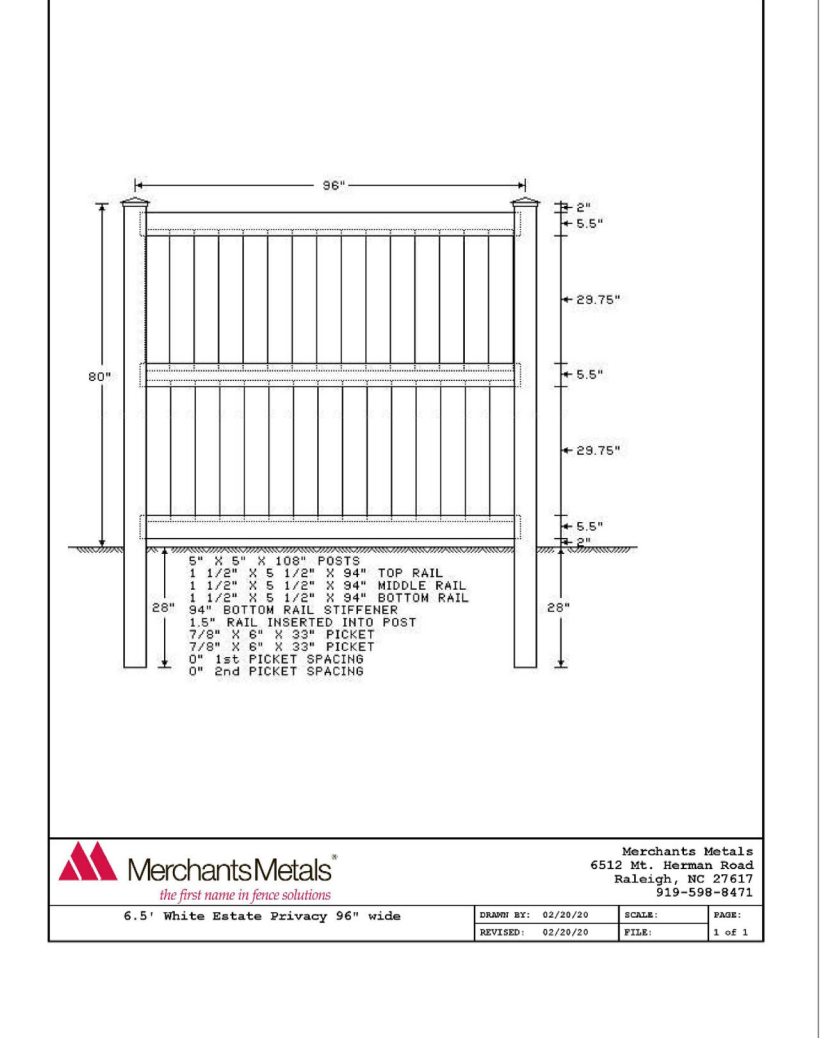
**CONCRETE WALK**  
NTS



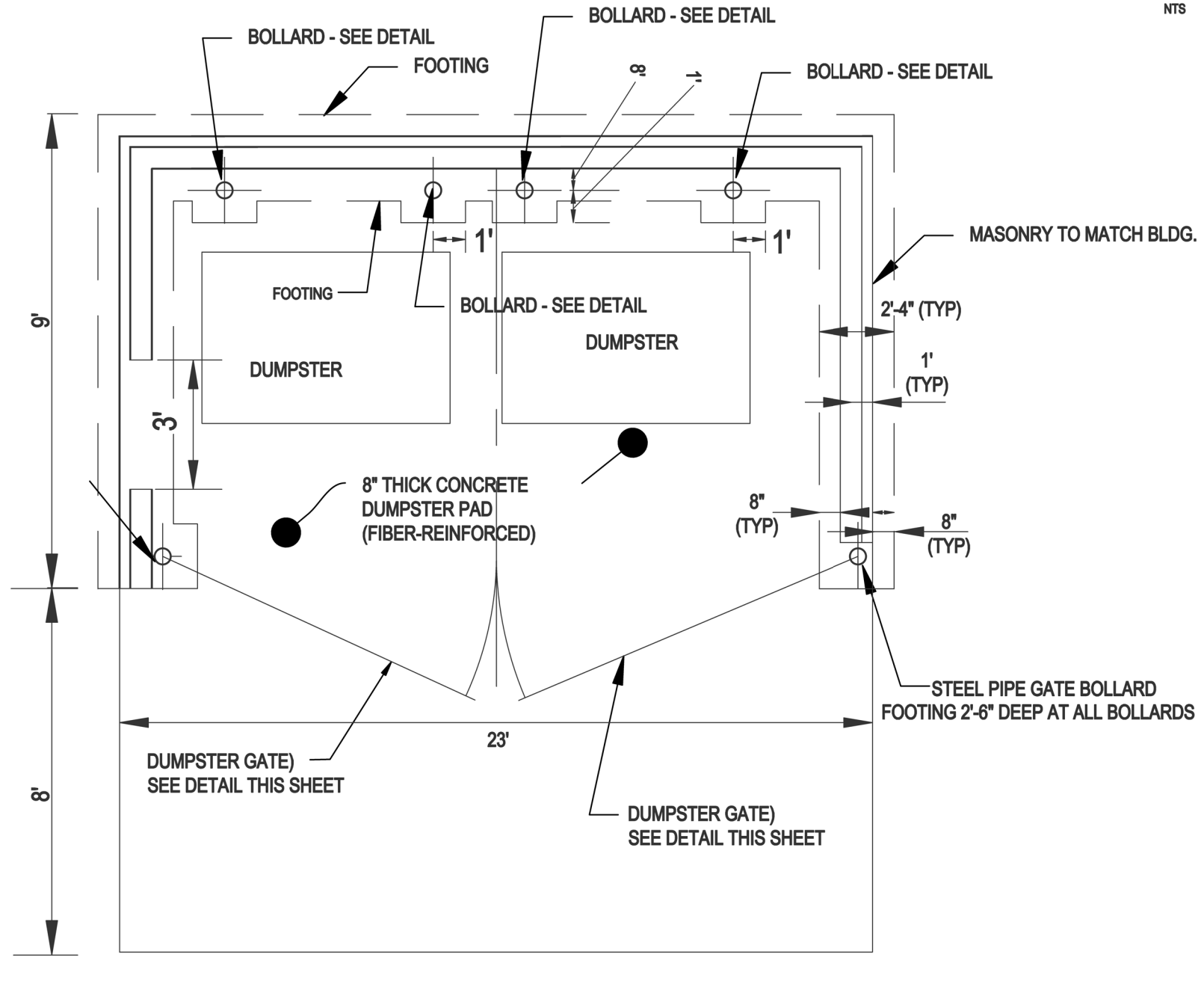
**SECTION A-A**



**FENCE DETAIL TYPE 1**

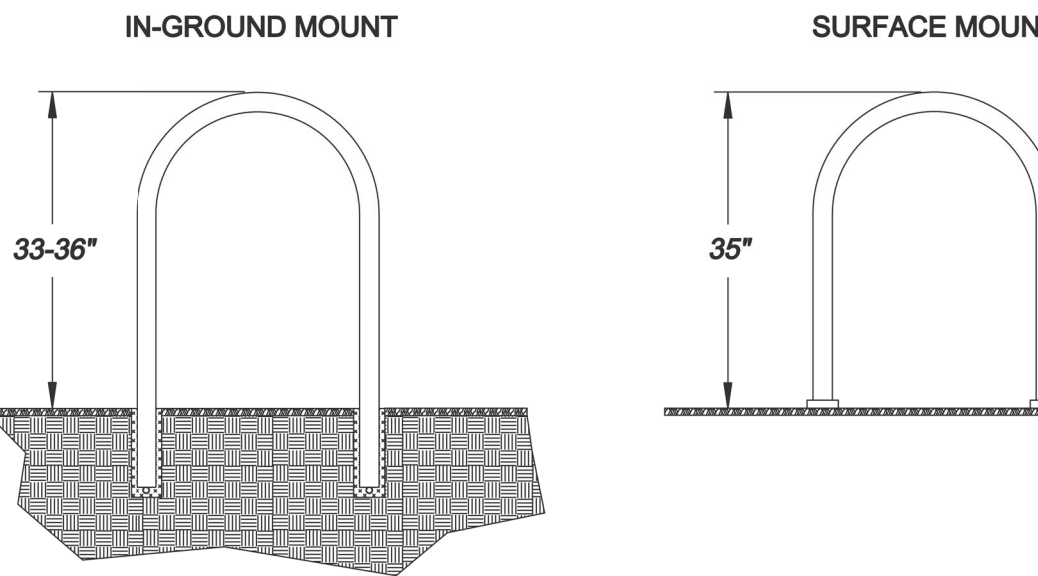


**FENCE DETAIL TYPE 2**



**PLAN VIEW - DUMPSTER ENCLOSURE & PAD**  
NTS

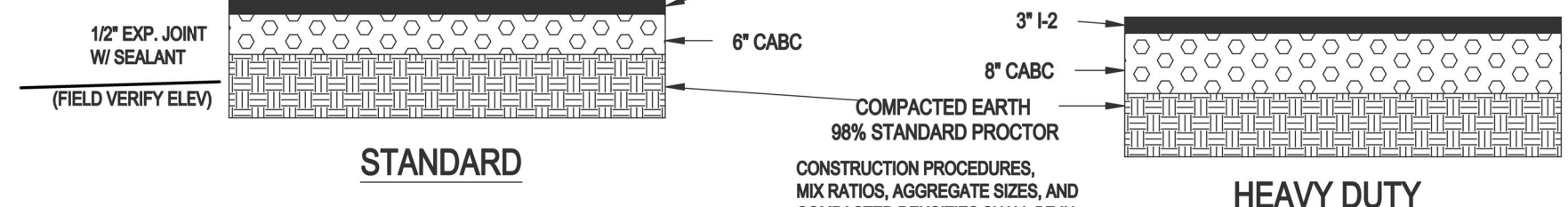
**SPECIFICATION FOR CAST IN PLACE CEMENT**



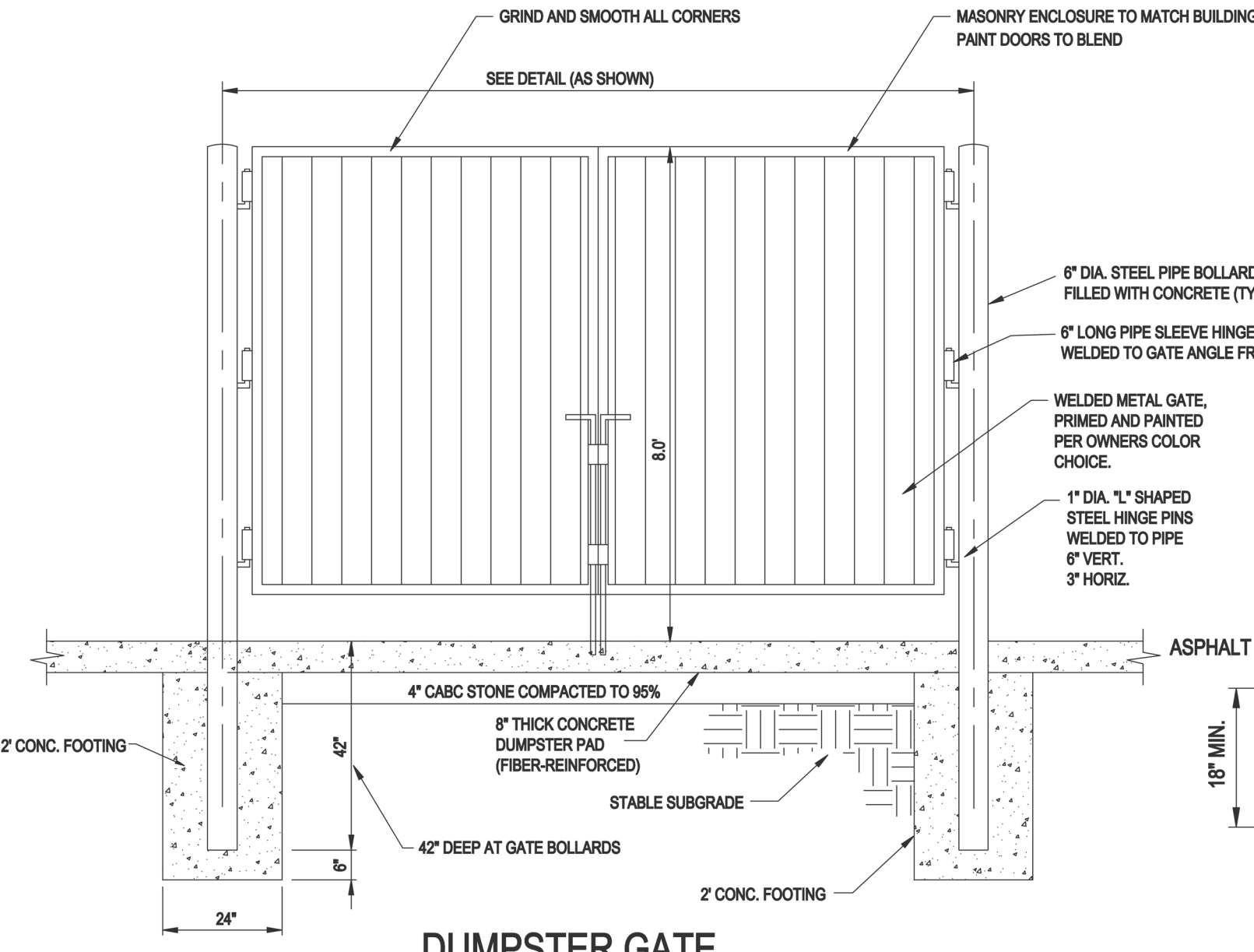
**BIKE RACK INSTALLATION:**

- SURFACE MOUNT - WHEN INSTALLED ON CONCRETE SURFACE, USE 3/8\"/>**
- IN-GROUND MOUNT - WHEN INSTALLED ON PAVERS OR OTHER NON-STABLE SURFACES, EMBED INTO BASE. CORE HOLES NO LESS THAN 3\"/>**

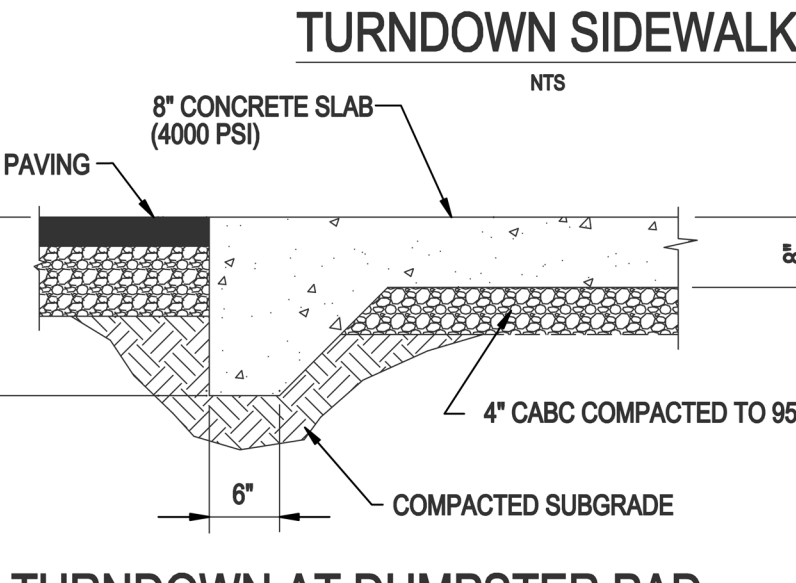
**STANDARD BIKE RACK**



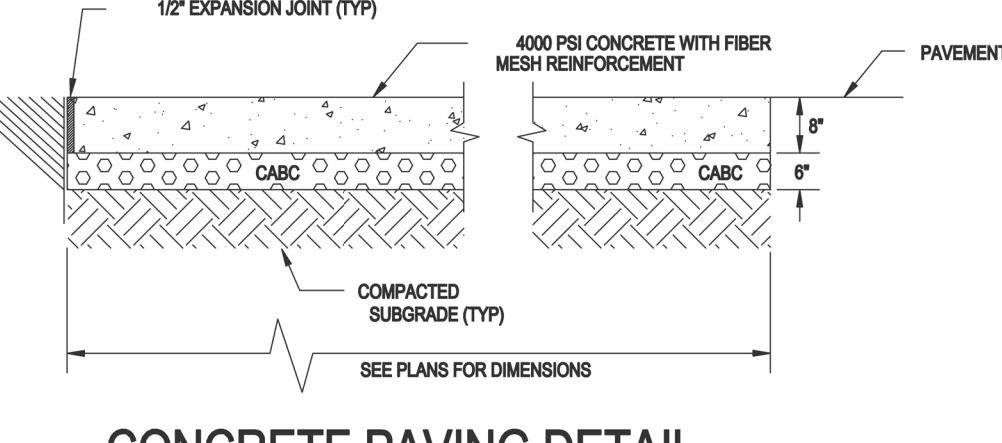
**PAVEMENT DETAIL**  
NTS



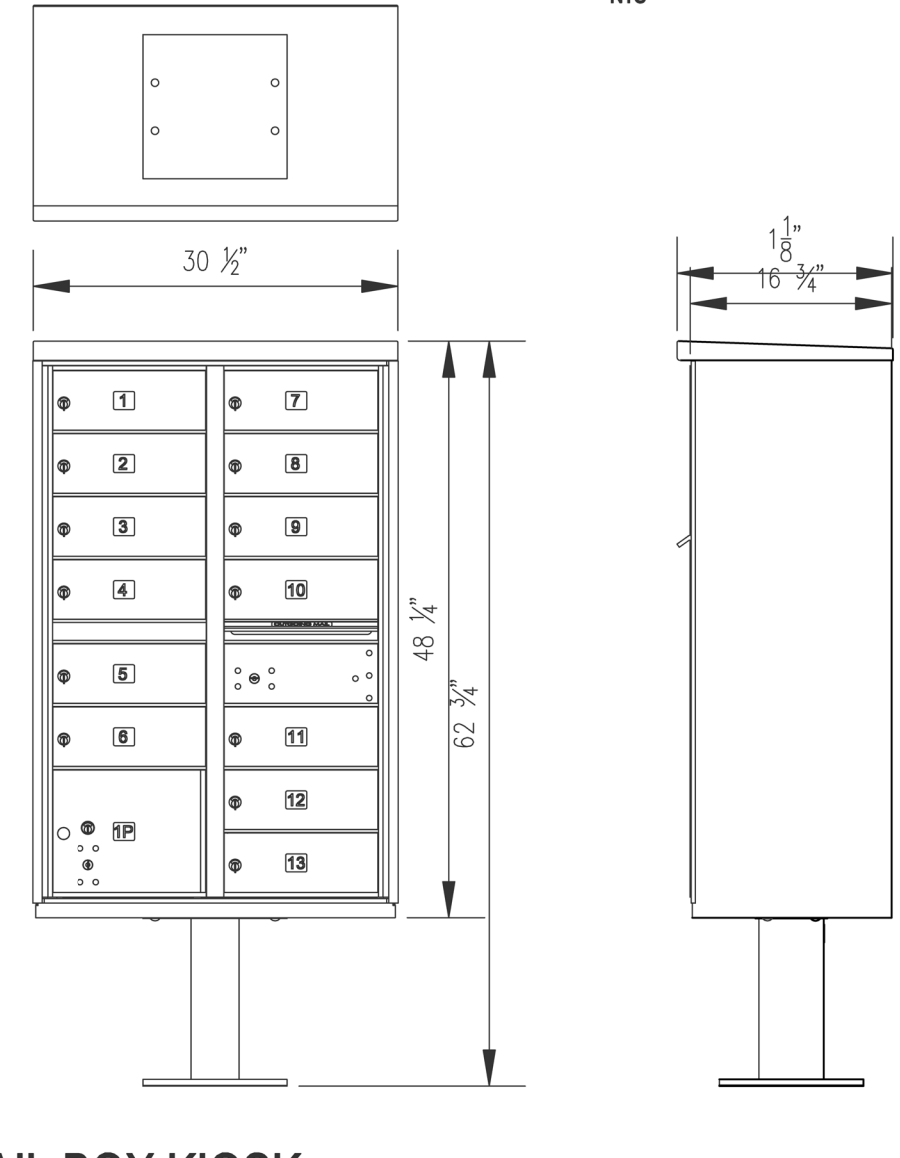
**DUMPSTER GATE**  
NTS



**TURNDOWN AT DUMPSTER PAD**  
NTS



**CONCRETE PAVING DETAIL**  
NTS

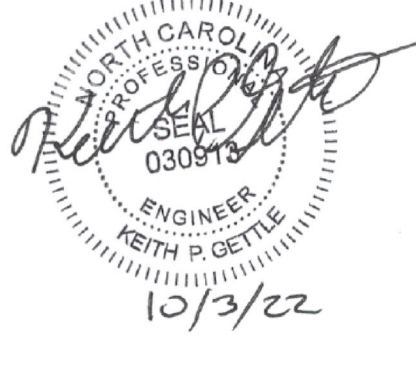


**MAIL BOX KIOSK**  
NTS

**PRELIMINARY  
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CONSTRUCTION**

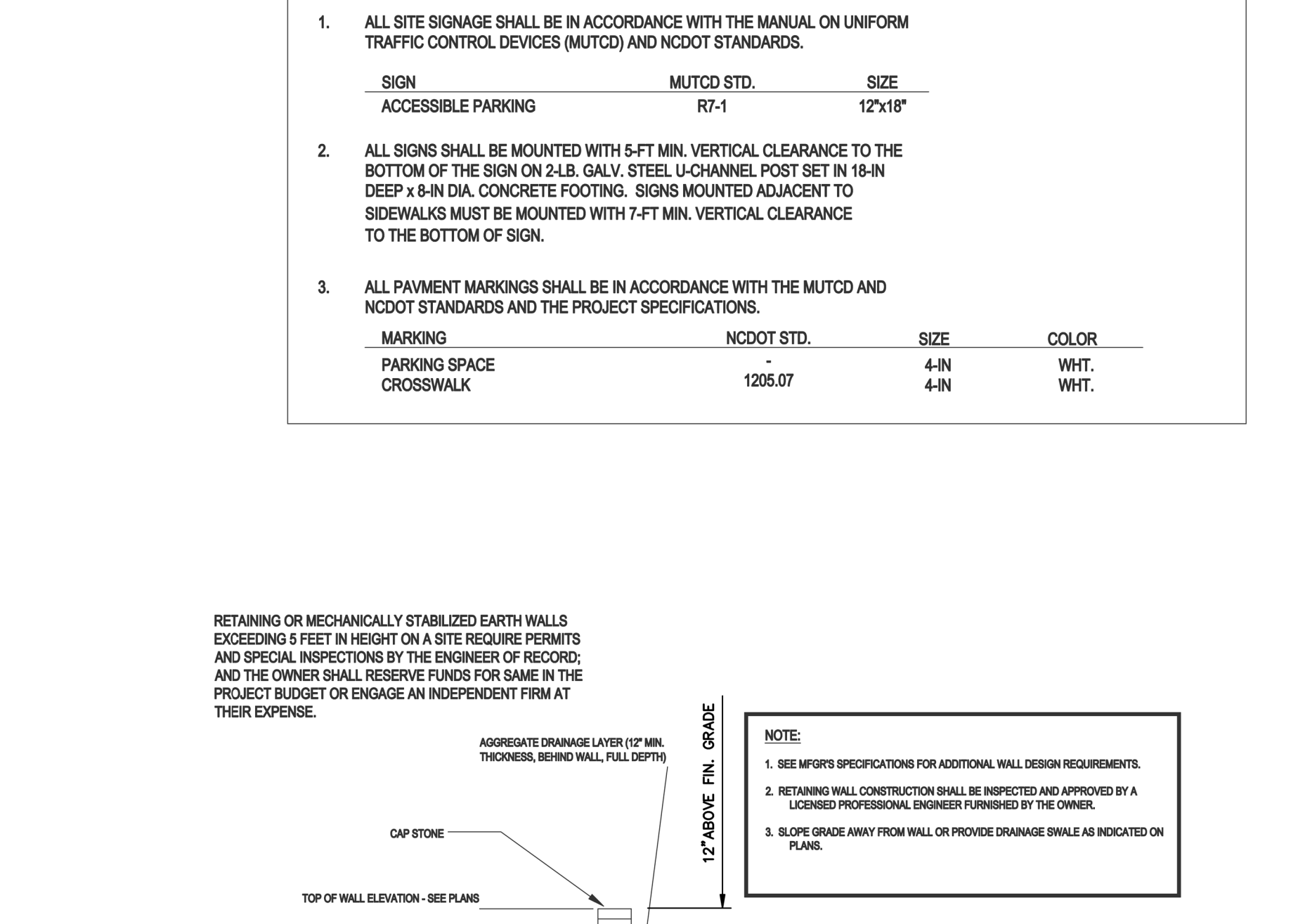
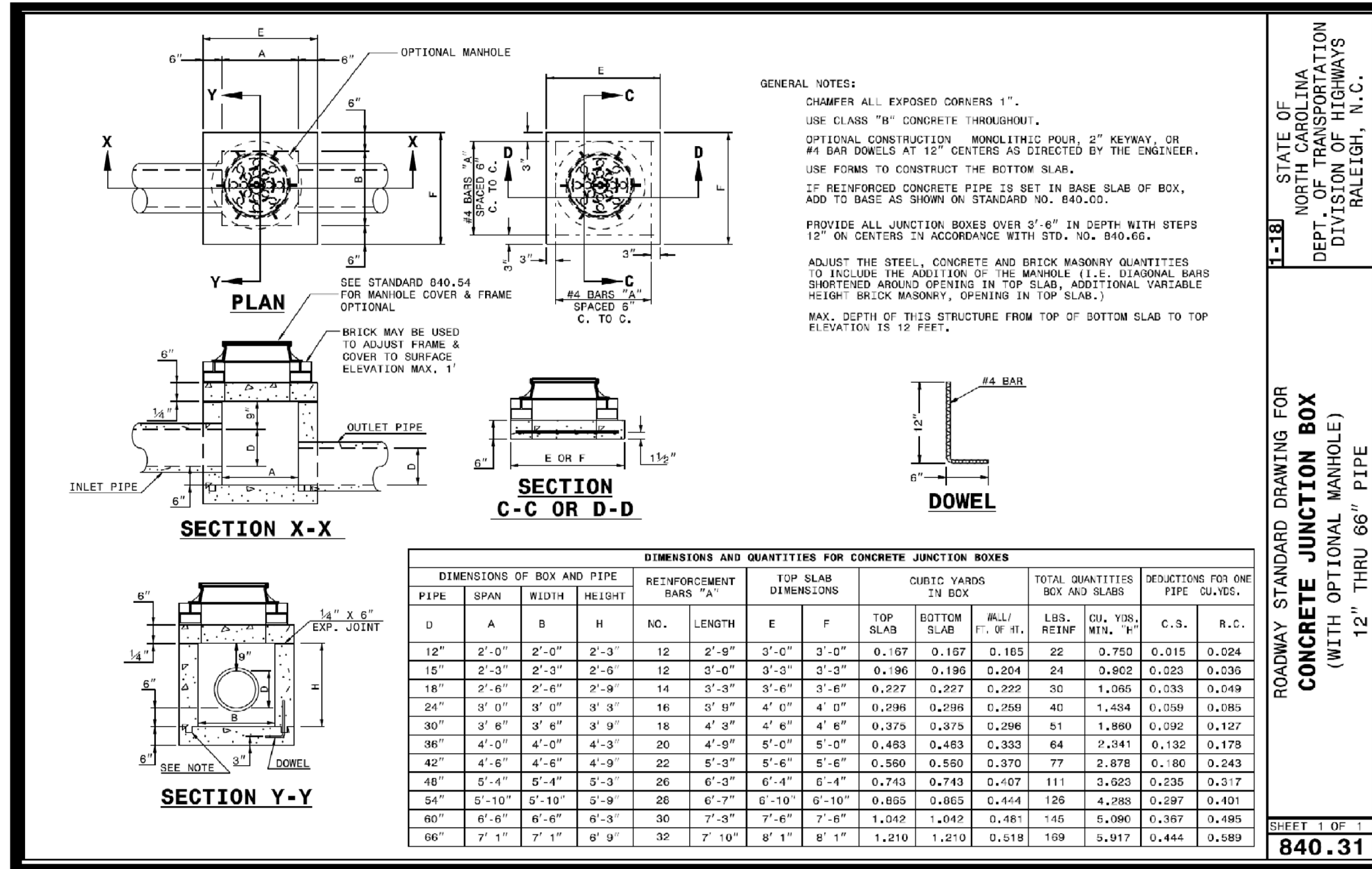
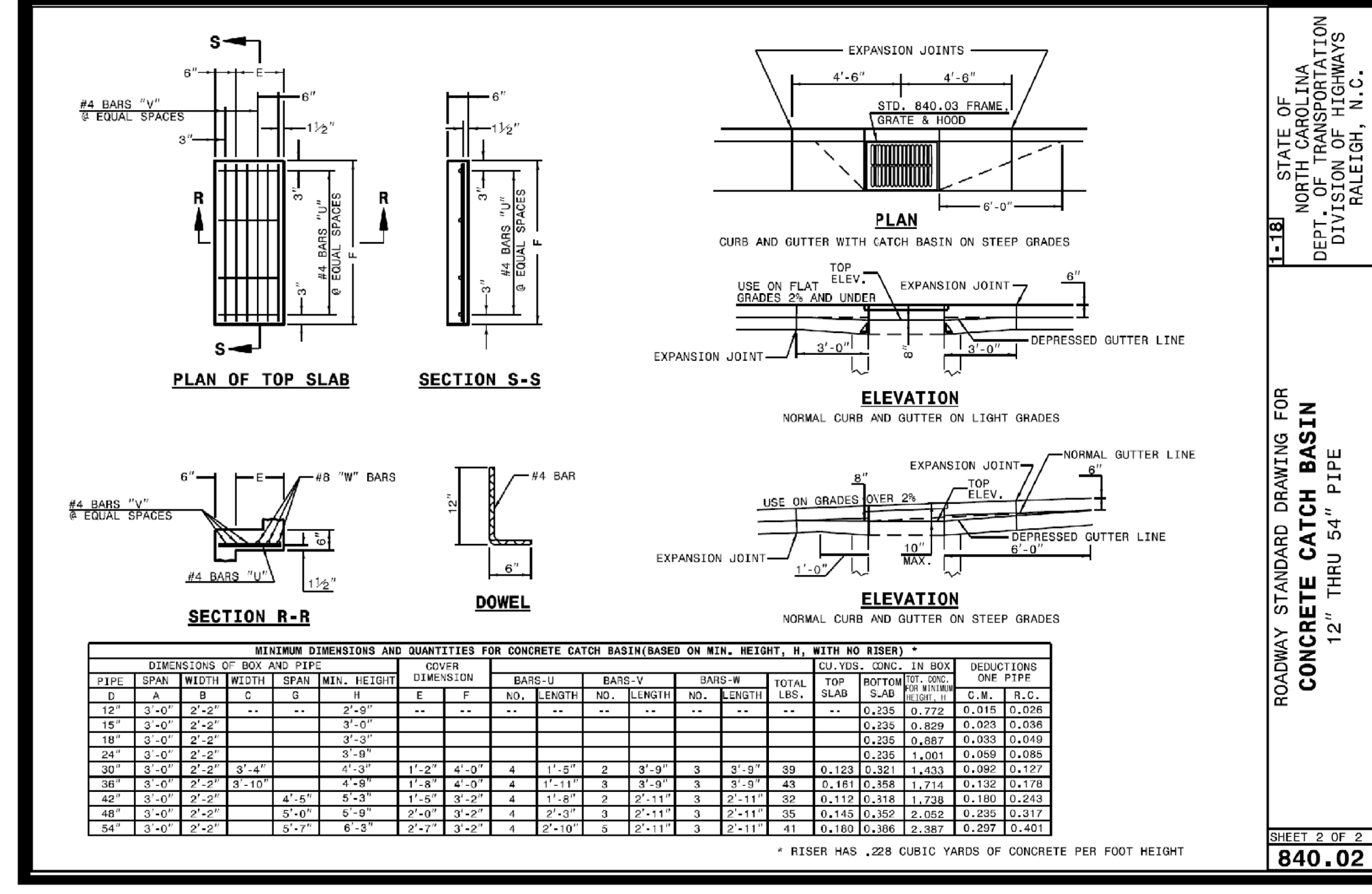
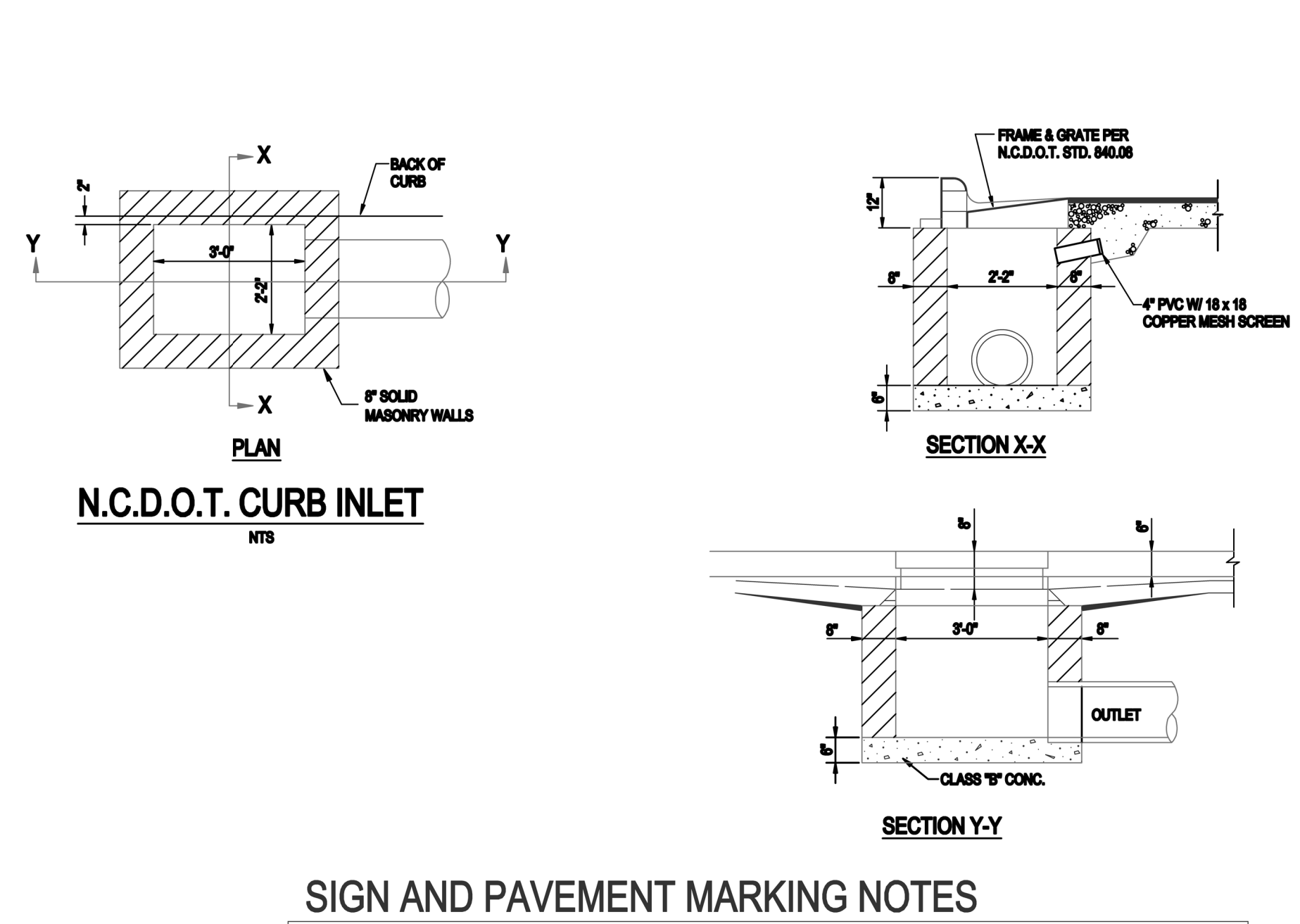
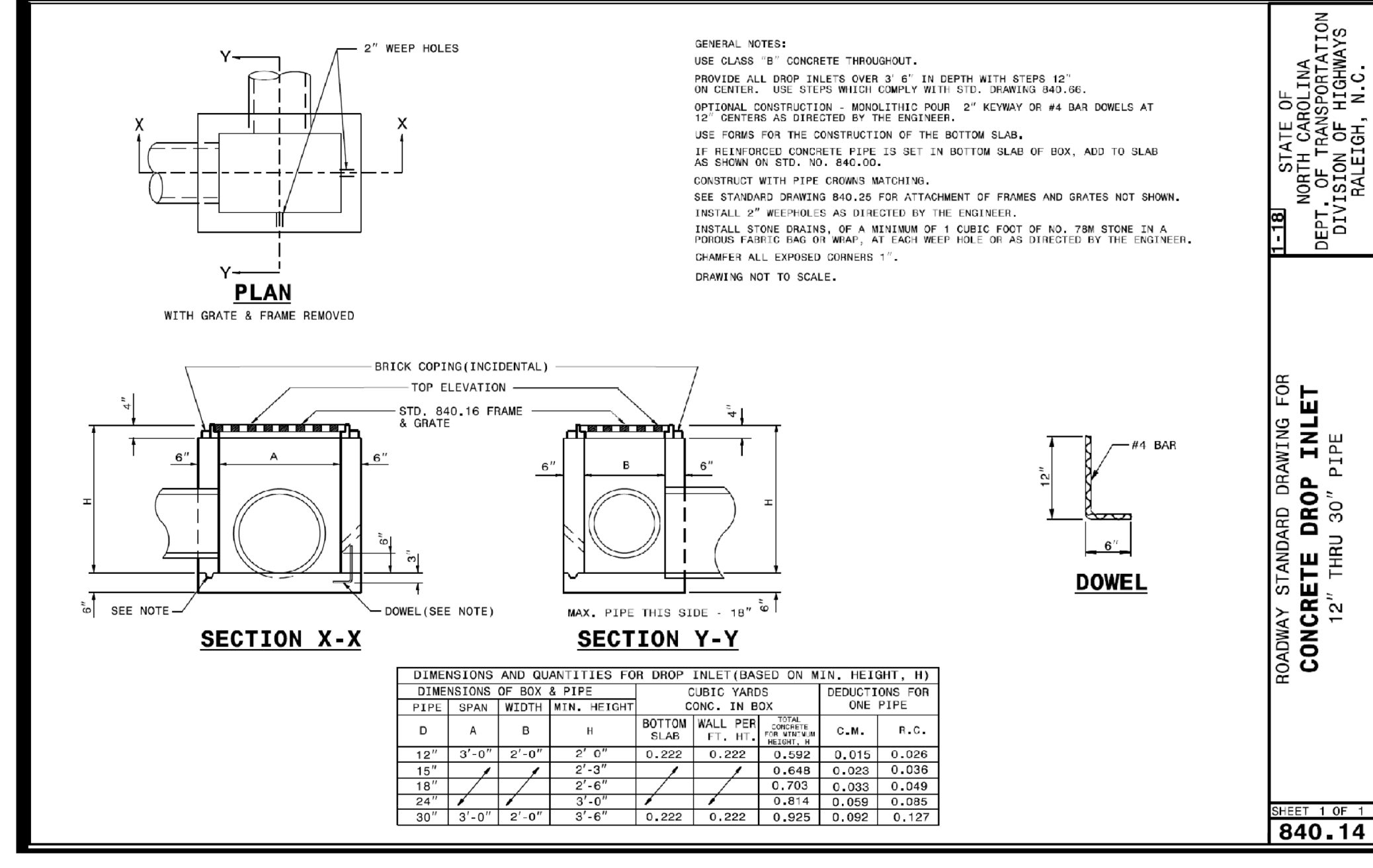
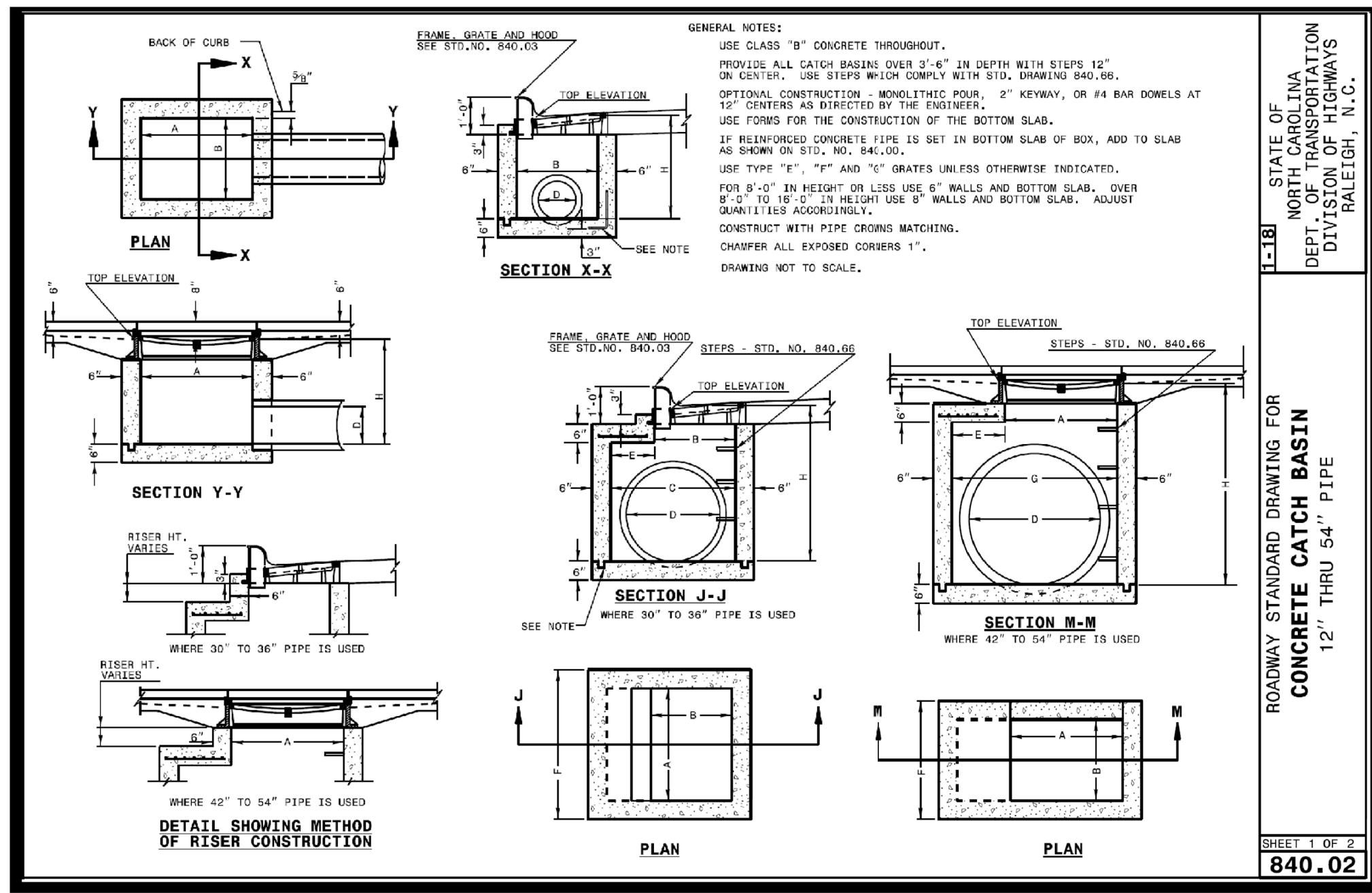
**Gettle Engineering and Design, PLLC**  
3616 Waxwing Court,  
Wake Forest, North Carolina 27587  
(919) 210-3934 Firm License P-2538

NO.	DATE	REVISION DESCRIPTION	BY
1	07/28/2022	INITIAL SUBMITTAL	BY
2	10/13/2022	Revised per Town COR Comment	BY
3	DATE	COMMENT	BY
4	DATE	COMMENT	BY
5	DATE	COMMENT	BY
6	DATE	COMMENT	BY



**Standard Site Details**  
**South Main**  
503 South Main Street  
Rolesville, Wake County, North Carolina

Project No. 22003  
Dwg No. **D1**



**Gettle Engineering and Design, PLLC**  
 3616 Waxwing Court,  
 Wake Forest, North Carolina 27587  
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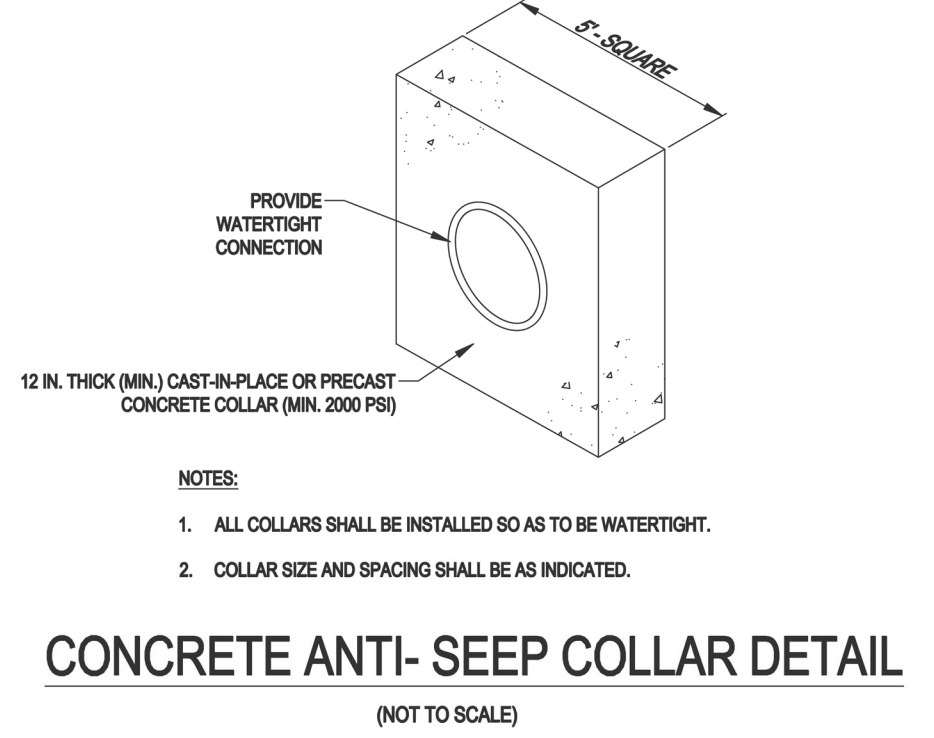
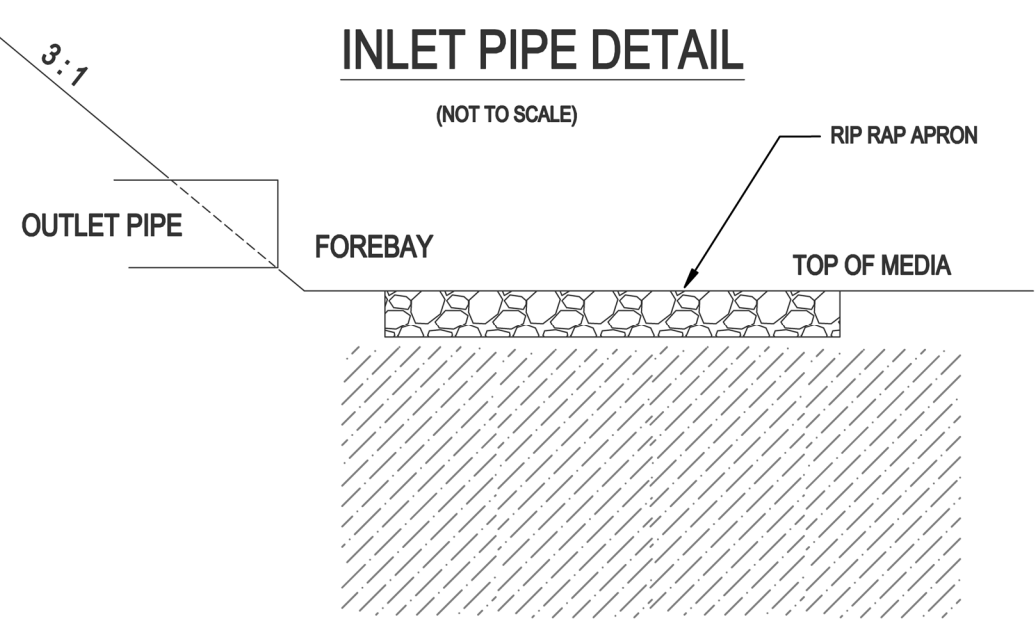
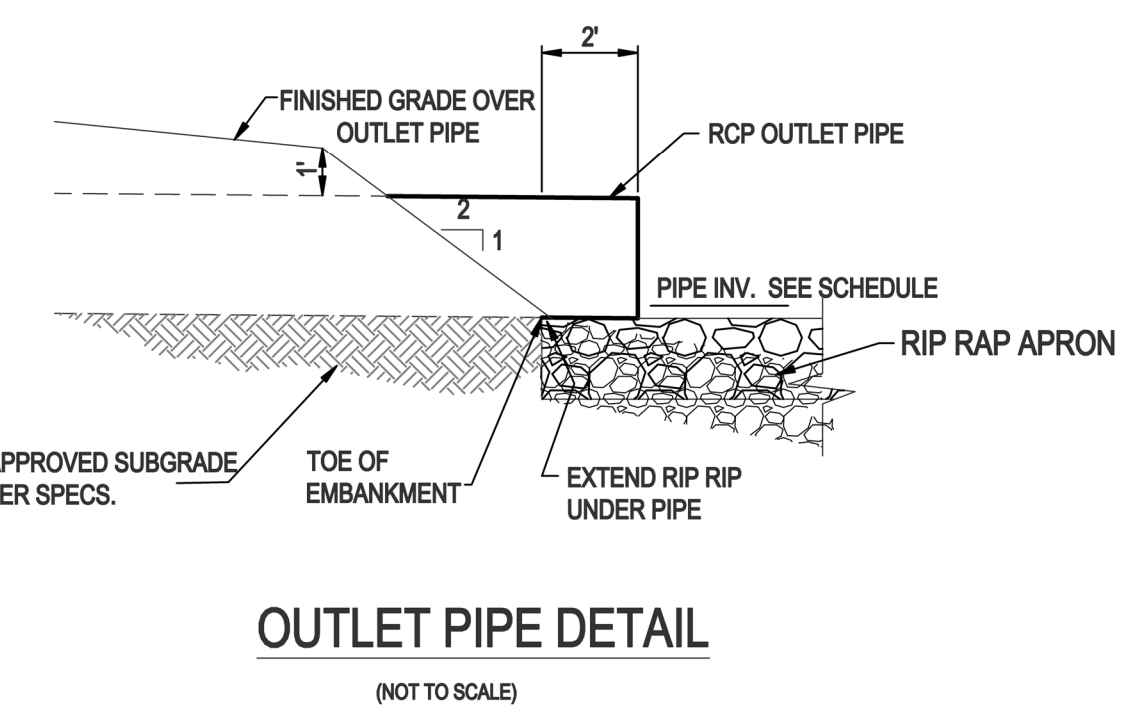
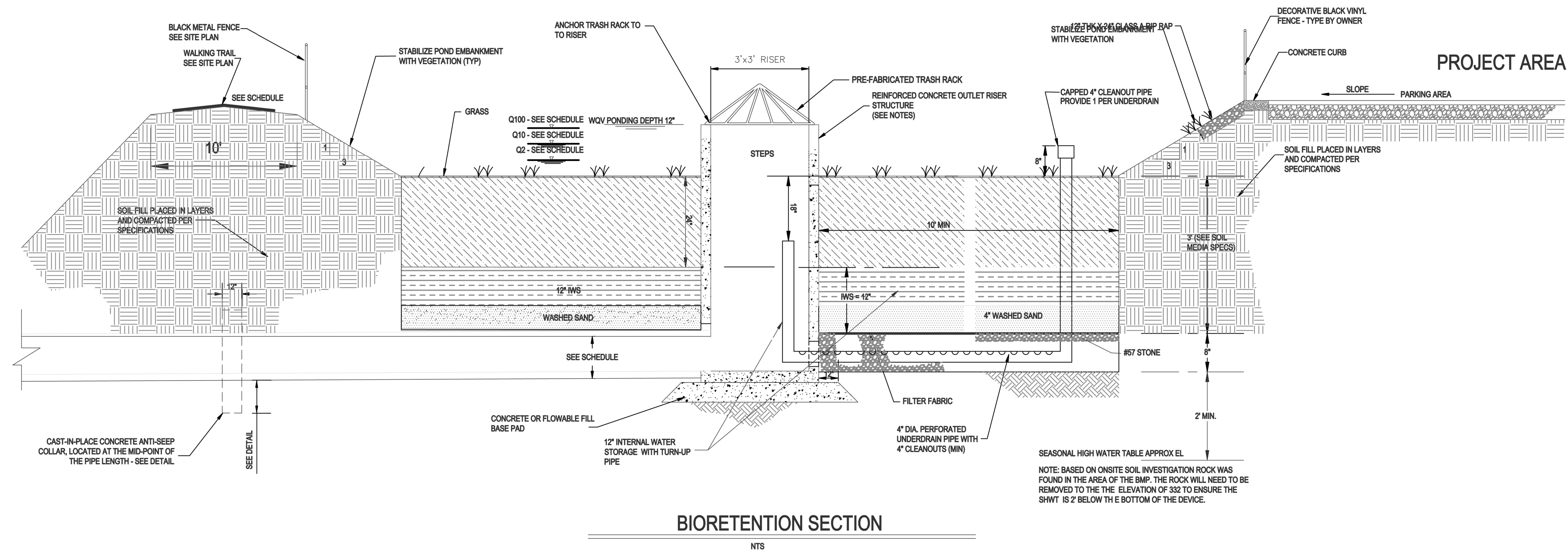
**Site and Stormwater Details**  
**South Main**  
 503 South Main Street  
 Rolesville, Wake County, North Carolina

Project No. 22003  
 Dwg No. **D2**

PRELIMINARY  
 DO NOT USE FOR  
 CONSTRUCTION

NO.	DATE	REVISION DESCRIPTION
1	07/26/2022	INITIAL SUBMITTAL
2	10/3/2022	Revised from CDR Comment
3	DATE	COMMENT
4	DATE	COMMENT
5	DATE	COMMENT
6	DATE	COMMENT





BMP Schedule	
BMP (Elevations)	Bio
Top of Dam	410.15
Spillway	n/a
Top of Riser	410.00
Bottom Riser (invert)	407.20
Drawdown Orifice	n/a
Orifice Invert	n/a
Perm Pool or Media Surface	409.00
Forebay Bottom	n/a
Main Pond Bottom	n/a
Discharge Pipe (Dia)	18"
8" Drain Pipe	n/a
Discharge Pipe Length (feet)	25.00
Discharge Pipe Invert Out	407.00
Q2 Elevation	409.54
Q10 Elevation	409.68
Q100 Elevation	409.91

**BIORETENTION FACILITY OPERATION AND MAINTENANCE:**

- \* WATERING: WATERING SHOULD NOT BE REQUIRED AFTER GRASS IS ESTABLISHED. HOWEVER, WATERING MAY BE REQUIRED DURING PROLONGED DRY PERIODS.
- \* EROSION CONTROL: INSPECT FLOW ENTRANCES, PONDING AREA, AND SURFACE OVERFLOW AREAS PERIODICALLY. REPLACE MATERIAL WHERE EROSION HAS OCCURRED. IF SEDIMENT IS DEPOSITED, DETERMINE THE SOURCE, REMOVE EXCESS DEPOSITS, AND CORRECT THE PROBLEM.
- \* VEGETATION: ROUTINE MAINTENANCE WILL BE NECESSARY TO ENSURE THAT THE GRASS IS HEALTHY AND TO REMOVE ANY WEEDS.
- \* NUTRIENTS AND PESTICIDES: NUTRIENTS AND PESTICIDES SHOULD NOT BE REQUIRED. IF NECESSARY, USE SPARINGLY.
- \* SOIL MEDIA: THE SOIL MEDIA SHOULD NOT NEED REPLACING. IF PROBLEMS OCCUR IN THE SOIL MEDIA, CONSULT A SOIL SPECIALIST.

**BIORETENTION FACILITY NOTES:**

- \* A 2.5-FOOT DEEP, HOMOGENOUS SOIL MIXTURE OF 85 TO 88 PERCENT CONSTRUCTION SAND, 8 TO 12 PERCENT FINES (SILT AND CLAY), AND 3 TO 5 PERCENT ORGANIC MATTER SHALL BE USED. SOIL MEDIA SHOULD BE SENT TO THE NCDA LABS TO BE ANALYZED. P-INDEX FOR THESE SOIL MEDIA SHOULD RANGE BETWEEN 10 AND 30. THE INFILTRATION RATE OF THE SOIL SHALL BE BETWEEN 3.85 AND 6 IN/HR. SOIL CHARACTERISTICS SHALL BE VERIFIED BY A GEOTECHNICAL ENGINEER.
- \* THE BIORETENTION FACILITY SHALL BE PLANTED WITH GRASS. GRASS SHALL BE SODDED AND SHALL NOT BE GROWN IN AN IMPERMEABLE LAYER SUCH AS CLAY. HYBRID BERMUDA, CENTIPEDE, OR FESCUEBLUEGRASS ARE RECOMMENDED.
- \* ALL CONSTRUCTION, MONITORING, AND MAINTENANCE GUIDELINES IN THE NCCOW STORM WATER BMP MANUAL SHALL BE FOLLOWED.

**BIORETENTION GENERAL NOTES:**

**OUTLET STRUCTURE AND PIPING**

- \* THE RISER STRUCTURE SHALL CONSIST OF PRECAST CONCRETE BASE AND RISER SECTIONS OF THE TYPE AND DIMENSIONS SHOWN. SQUARE OR RECTANGULAR SECTIONS SHALL BE SOLID-WALL CATCH BASIN TYPE STRUCTURES, AND APPROVED FOR USE BY NCDOT. ALL RISER JOINTS SHALL BE SEALED WATERTIGHT USING FLEXIBLE BUTYL RUBBER JOINT MATERIAL, RUBBER GASKETS, OR OTHER SUITABLE MATERIAL. ALL PIPE CONNECTIONS TO THE RISER SHALL BE MADE WITH A WATER TIGHT FLEXIBLE CONNECTOR BOOT PER ASTM C923.

**CONCRETE**

- \* CONCRETE WORK SHALL CONFORM TO PROJECT CONCRETE SPECIFICATIONS.

**FLOWABLE FILL**

- \* FLOWABLE FILL SHALL CONSIST OF A MIXTURE OF PORTLAND CEMENT, AGGREGATE NOT GREATER THAN 3/8 INCH DIAMETER, WATER, AND OTHER APPROVED COMPONENTS, WITH A MINIMUM PH OF 4.0, AND A 28-DAY COMPRESSIVE STRENGTH OF AT LEAST 150 PSI. THE MIXTURE SHALL BE SUFFICIENTLY FLOWABLE TO BE SELF-LEVELING, FILLING ALL VOIDS UNDER THE PIPE AND PIPE HAUNCHES WITHOUT REQUIRING VIBRATION.

**FINAL SURFACE STABILIZATION**

- \* STABILIZE ALL SURFACES OF THE EMBANKMENT, SPILLWAY, SLOPES, SPOIL AND BORROW AREAS THAT ARE NOT COVERED BY OTHER SPECIFIED MATERIALS WITH GRASS IN ACCORDANCE WITH PROJECT SPECIFICATIONS.

**BIORETENTION NOTES (CONT):**

- \* ALL DRAINAGE AREAS TO A BIORETENTION FACILITY ARE TO BE STABILIZED PRIOR TO INSTALLATION OF AMENDED SOILS, MULCH OR PLANTINGS.

**BIORETENTION PLANTING SOIL MEDIA SPECIFICATIONS:**

- \* THE PLANTING SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN ONE-HALF INCH IN DIAMETER. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMUDA GRASS, JOHNSON GRASS, QUACK GRASS, MUGWORT, NUTSEDGE, POISON IVY, CANADA THISTLE, OR OTHER NOXIOUS WEEDS.
- \* PLANTING MIX FOR BIORETENTION CELL - UNIFORM SOIL MIXTURE FREE OF STUMPS, STONES, OR LARGE ROOTS, CONTAINING THE FOLLOWING TYPES AND RATIOS (BY WEIGHT) OF COMPONENTS:  
85-88% SAND (ASTM C-33)  
8%-10% FINE SOIL MATERIAL (INCLUDES BOTH SILT OR CLAY)  
3%-5% ORGANICS / PINE BARK MULCH
- \* SOIL SHALL HAVE A HYDRAULIC CONDUCTIVITY OF BETWEEN 1 IN/HR AND 6 IN/HR, WITH A 2 IN/HR RATE BEING OPTIMAL. PHOSPHOROUS INDEX SHALL BE BETWEEN 10 AND 30

- \* GRADING - CLEARING, STRIPPING, EXCAVATION, FILLING, TRENCHING, BACKFILLING, COMPACTION, AND FINE-GRADING WORK SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF PROJECT SPECIFICATIONS.

- \* UNDERDRAIN GRAVEL - CLEAN, HARD, ANGULAR GRAVEL CONFORMING TO NCDOT DESIGNATION # 57 OR # 8 AS APPROPRIATE.

- \* GEOFILTER FABRIC - NON-WOVEN, NEEDLE-PUNCHED GEOTEXTILE WITH 135 LBS. PUNCTURE STRENGTH (ASTM D-4833); 220 LBS. TENSILE STRENGTH (ASTM D-4632); AND APPARENT OPENING SIZE OF U.S. STD. #60 SIEVE (ASTM D-4751).

- \* UNDERDRAIN PIPING - NOMINAL 6" DIAMETER SCHEDULE 40 PVC, WITH 3/8" DIAMETER PERFORATIONS SPACED EQUALLY AROUND THE FULL PIPE PERIMETER. CLEANOUT PIPE AND FITTINGS SHALL BE SOLVENT-WELDED SCHEDULE 40 PVC PER THE DETAIL SHOWN AND EXTEND AT LEAST 8" ABOVE THE MULCH LAYER. MINIMUM 1 CLEANOUT PER 1000 SQUARE FEET OF SURFACE AREA OF THE DEVICE.

Gettle Engineering and Design, PLLC

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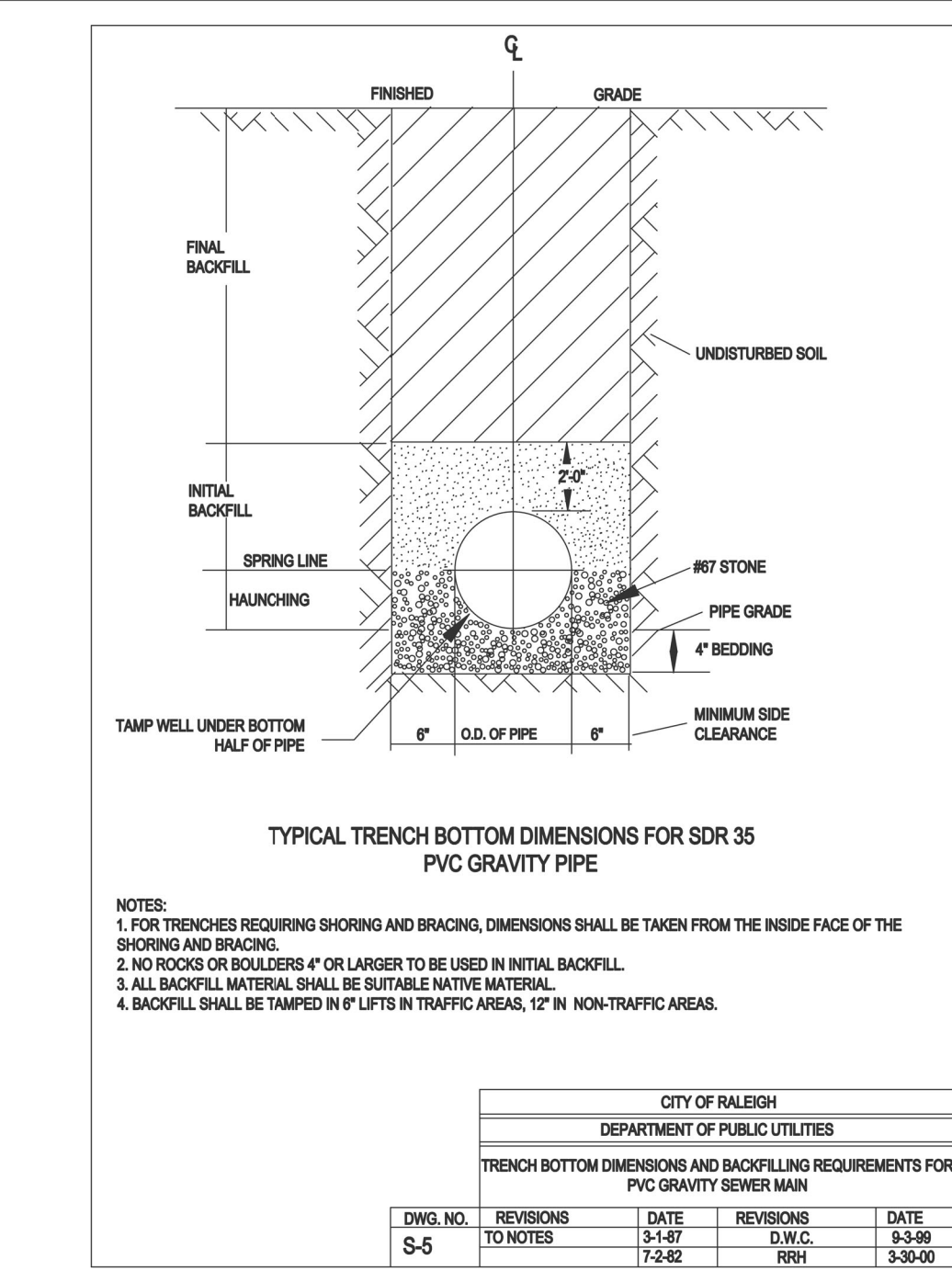
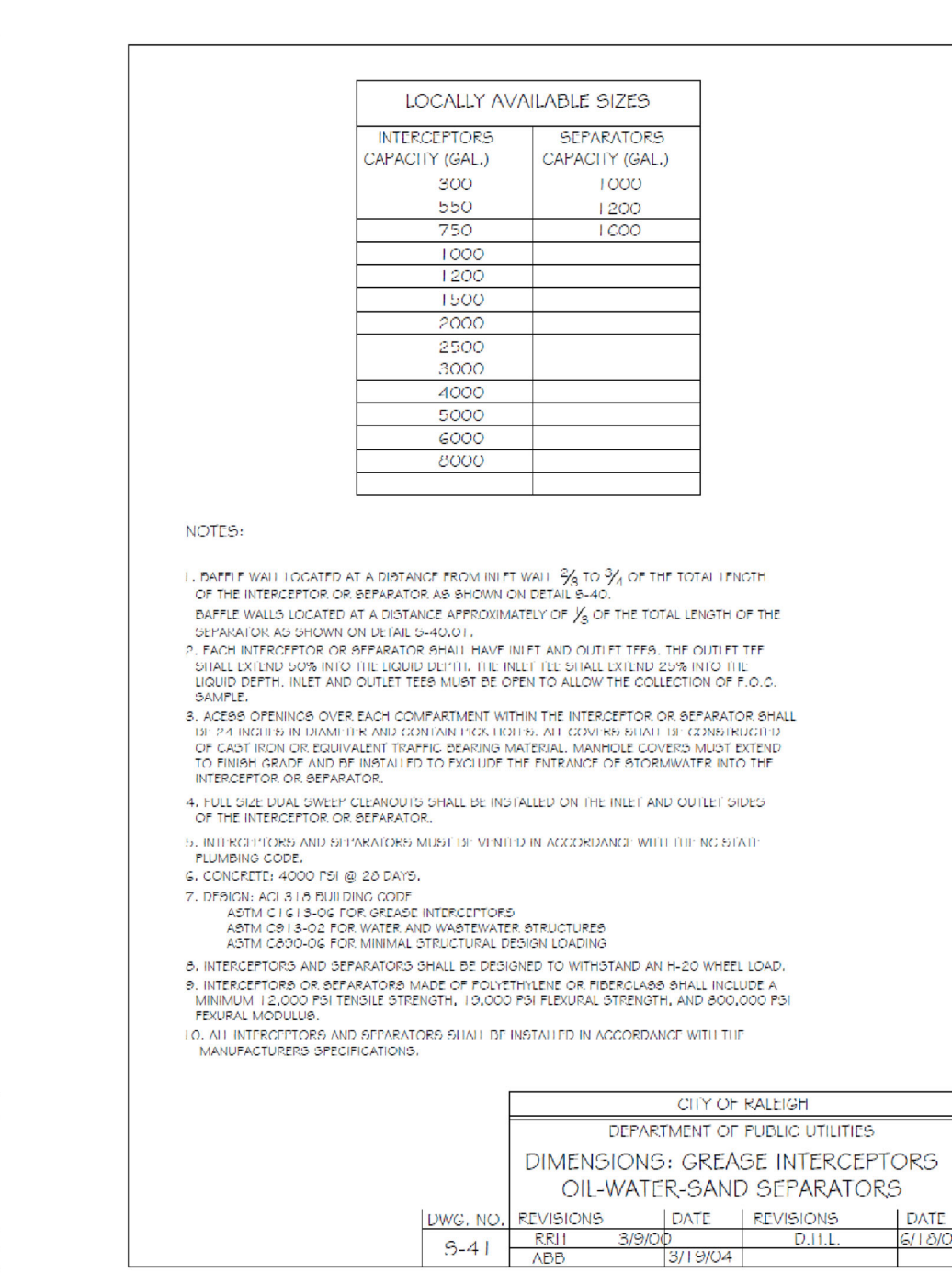
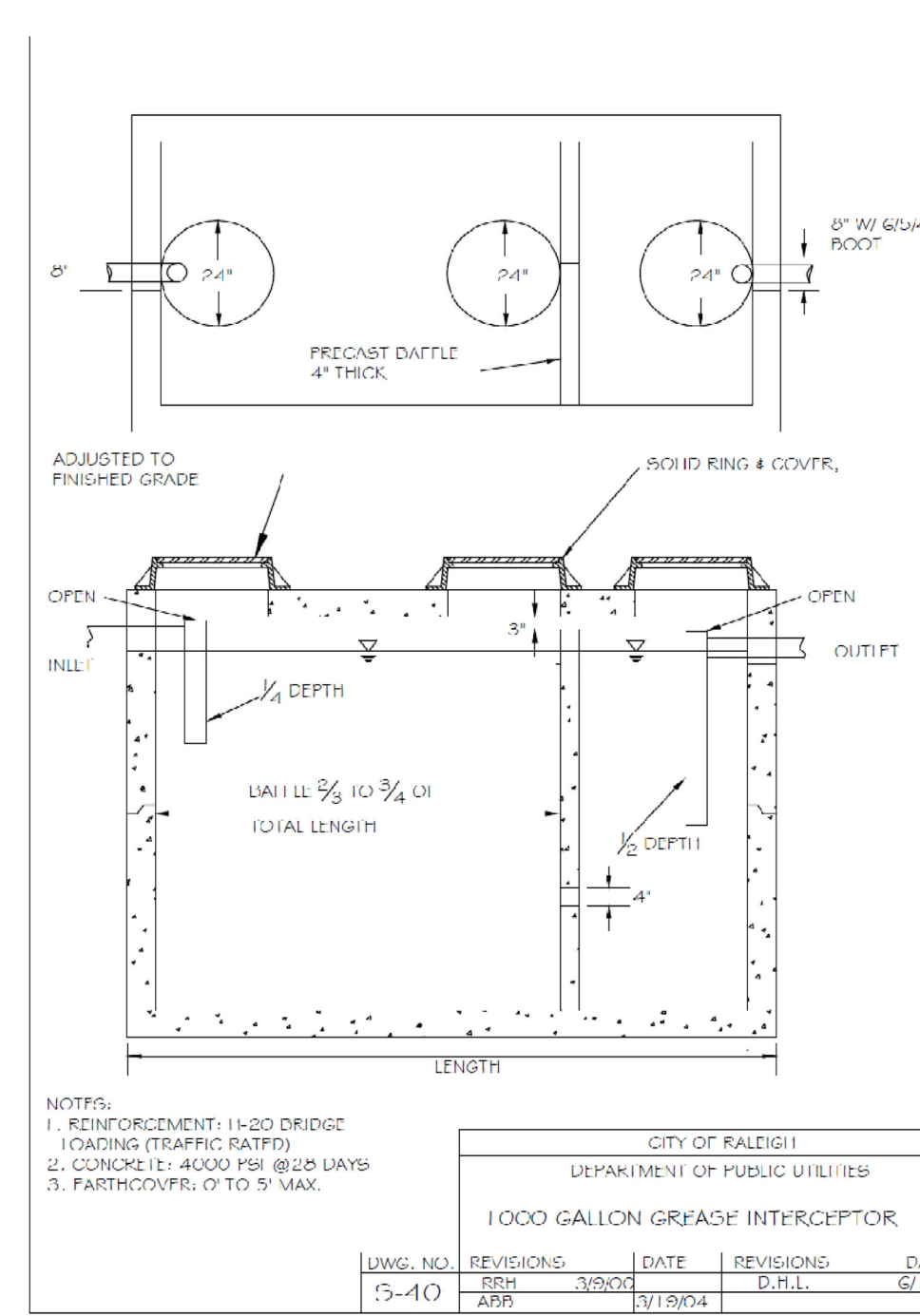
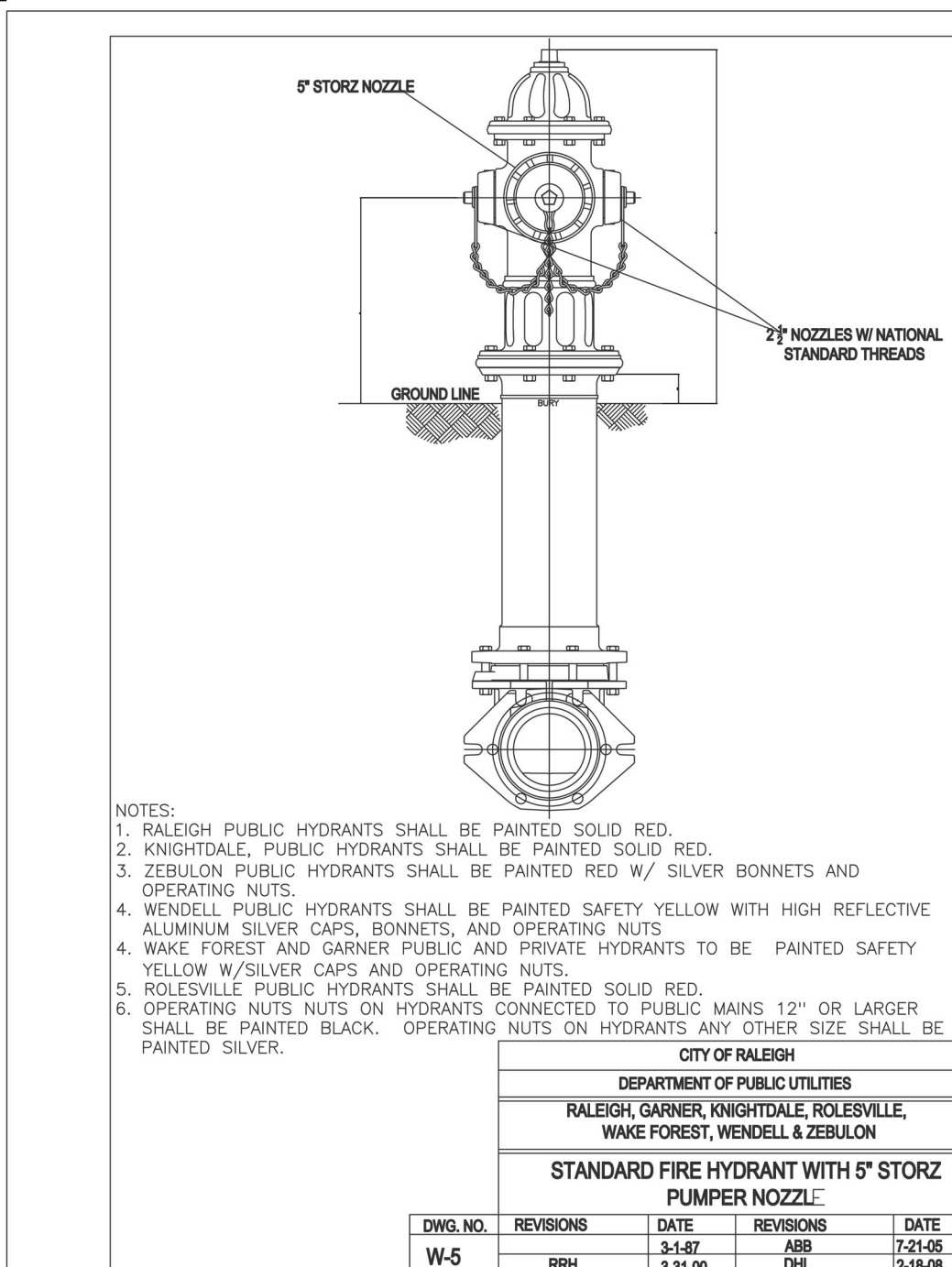
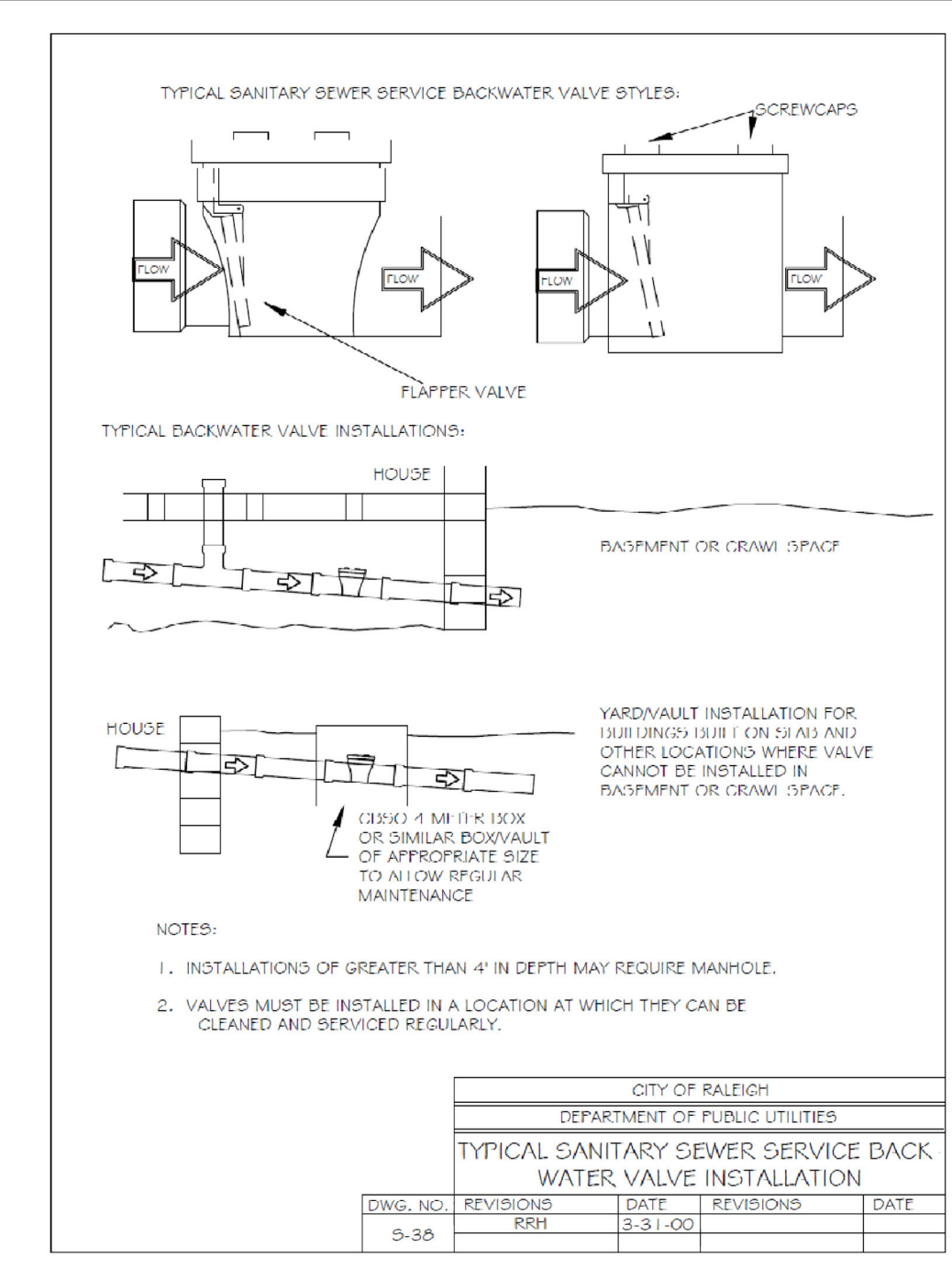
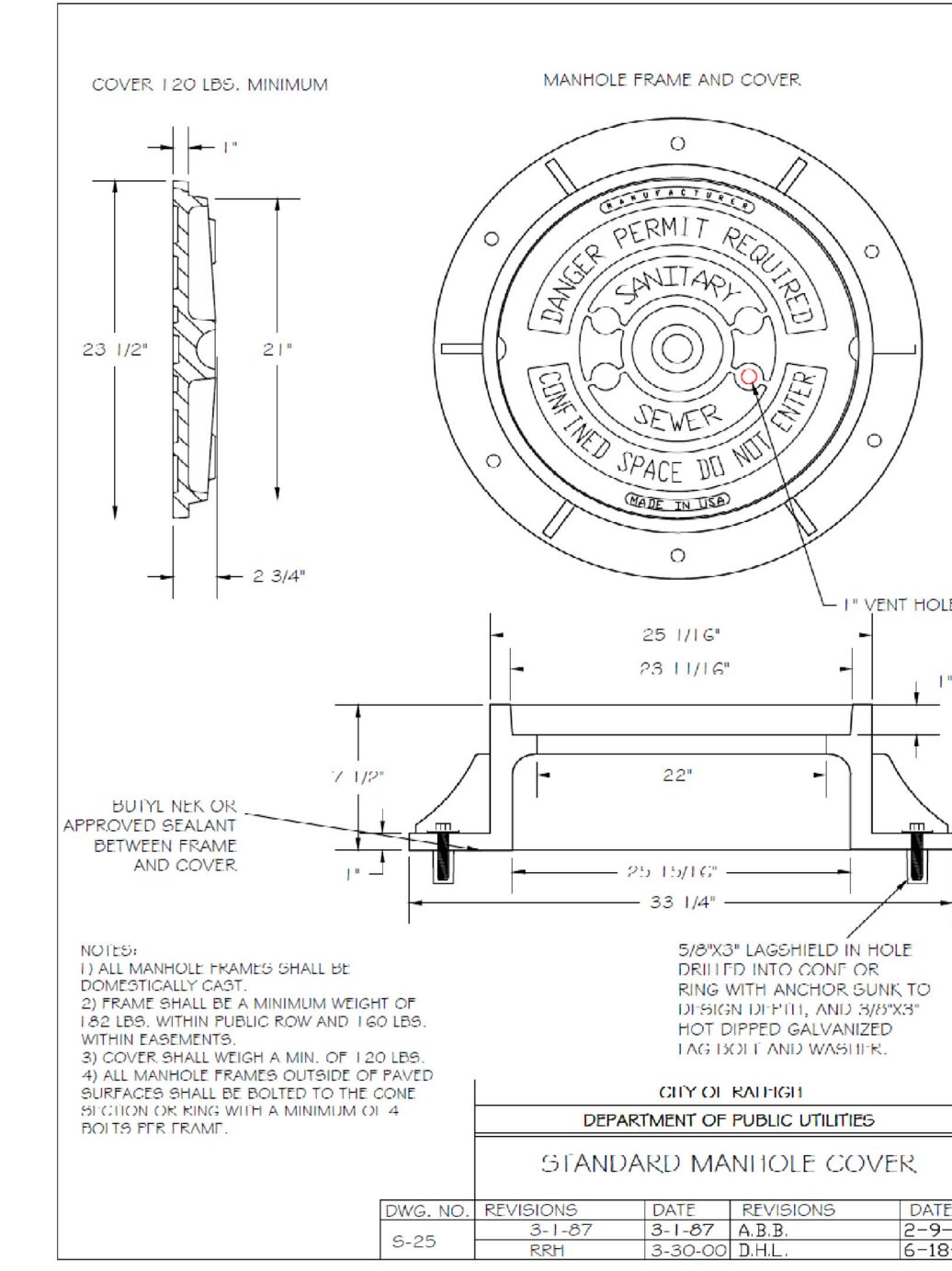
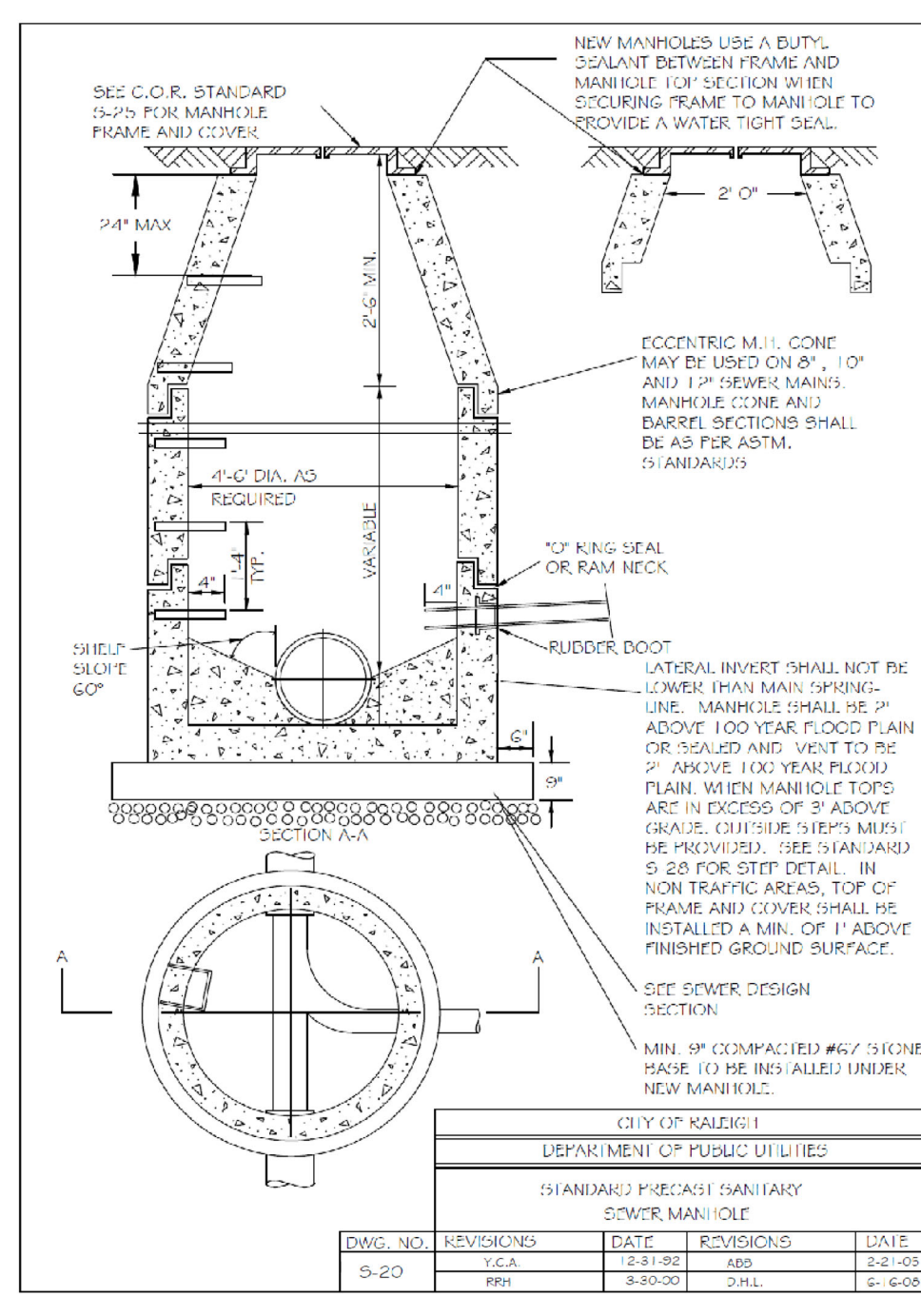
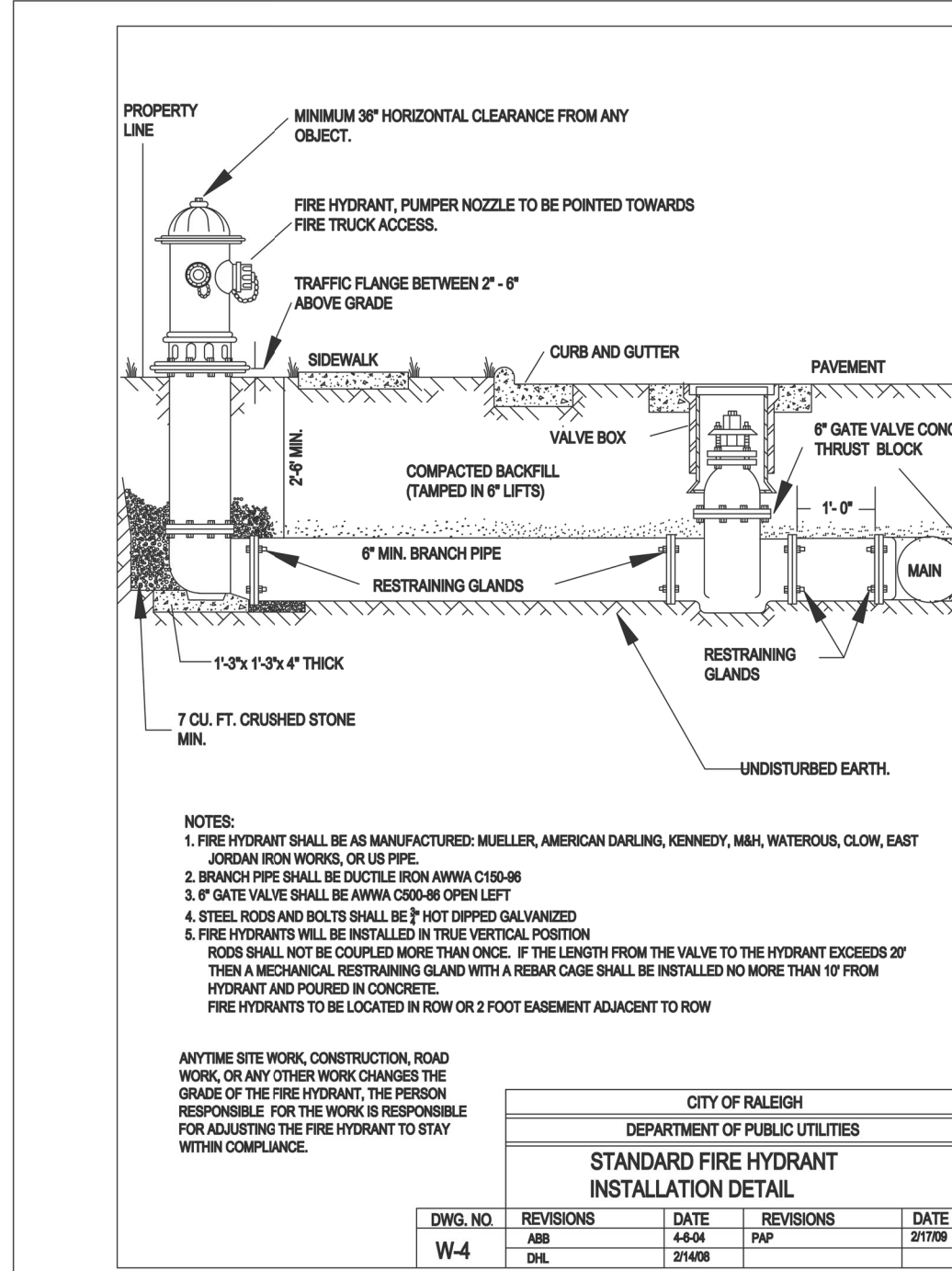
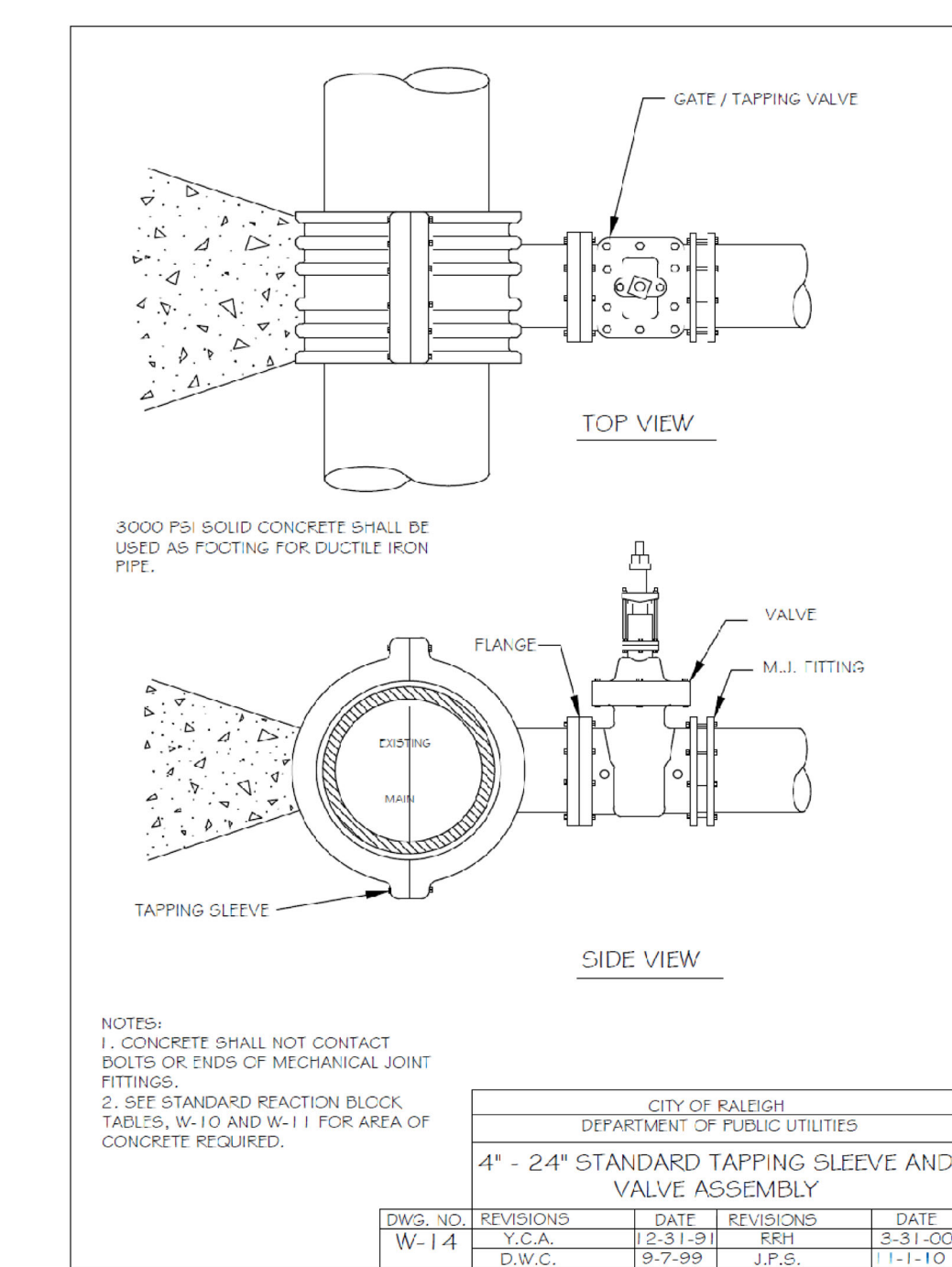
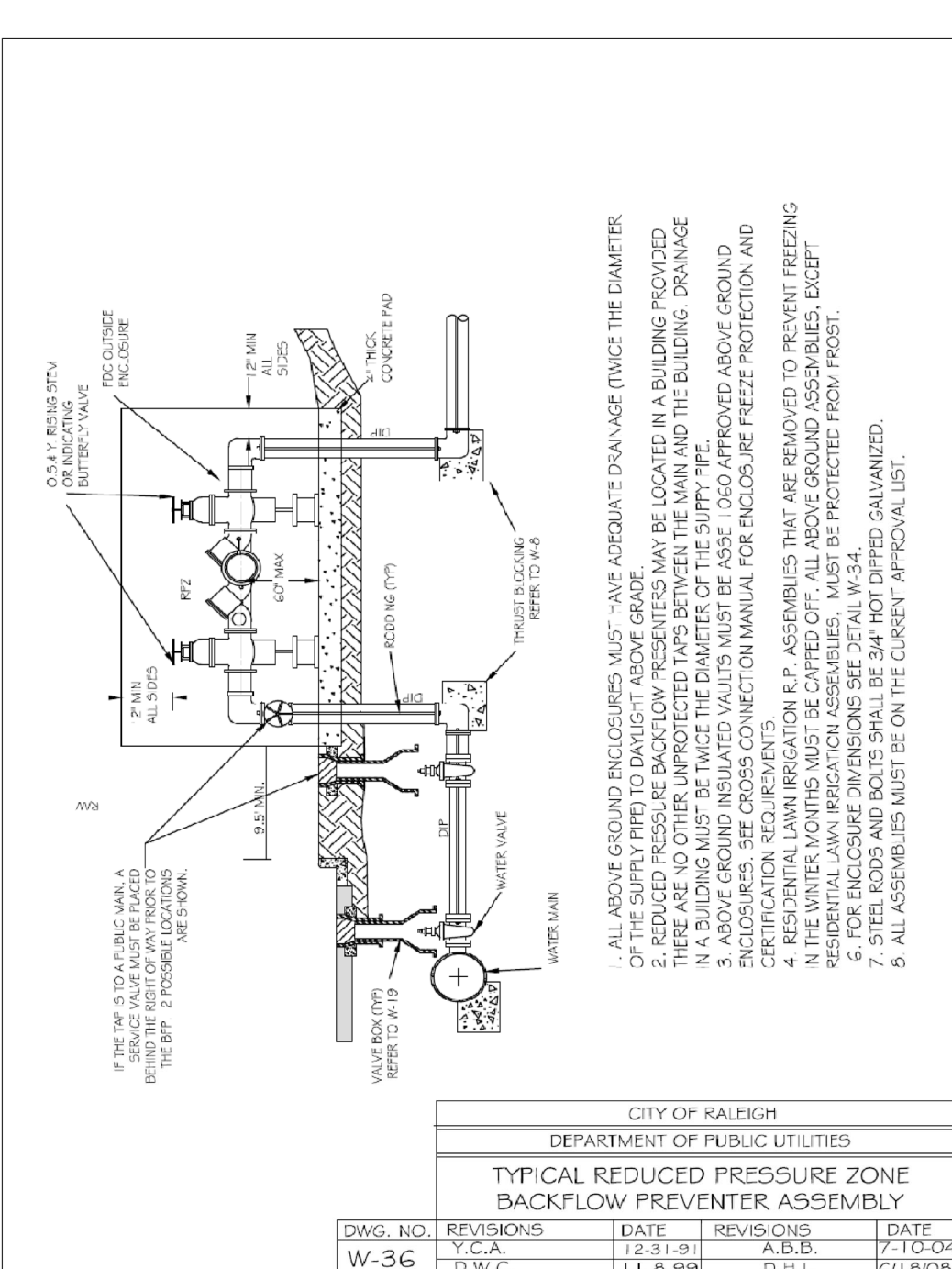
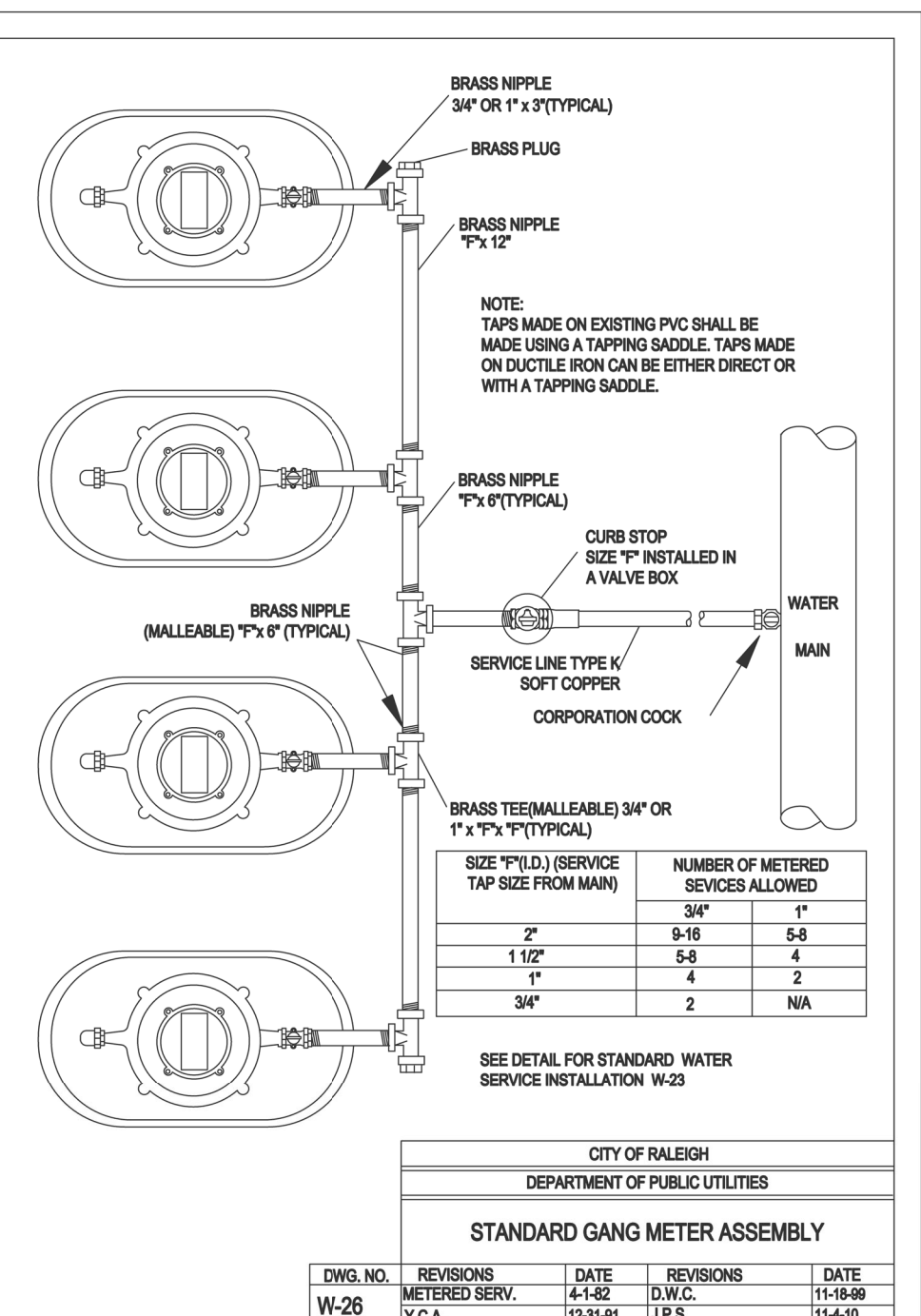
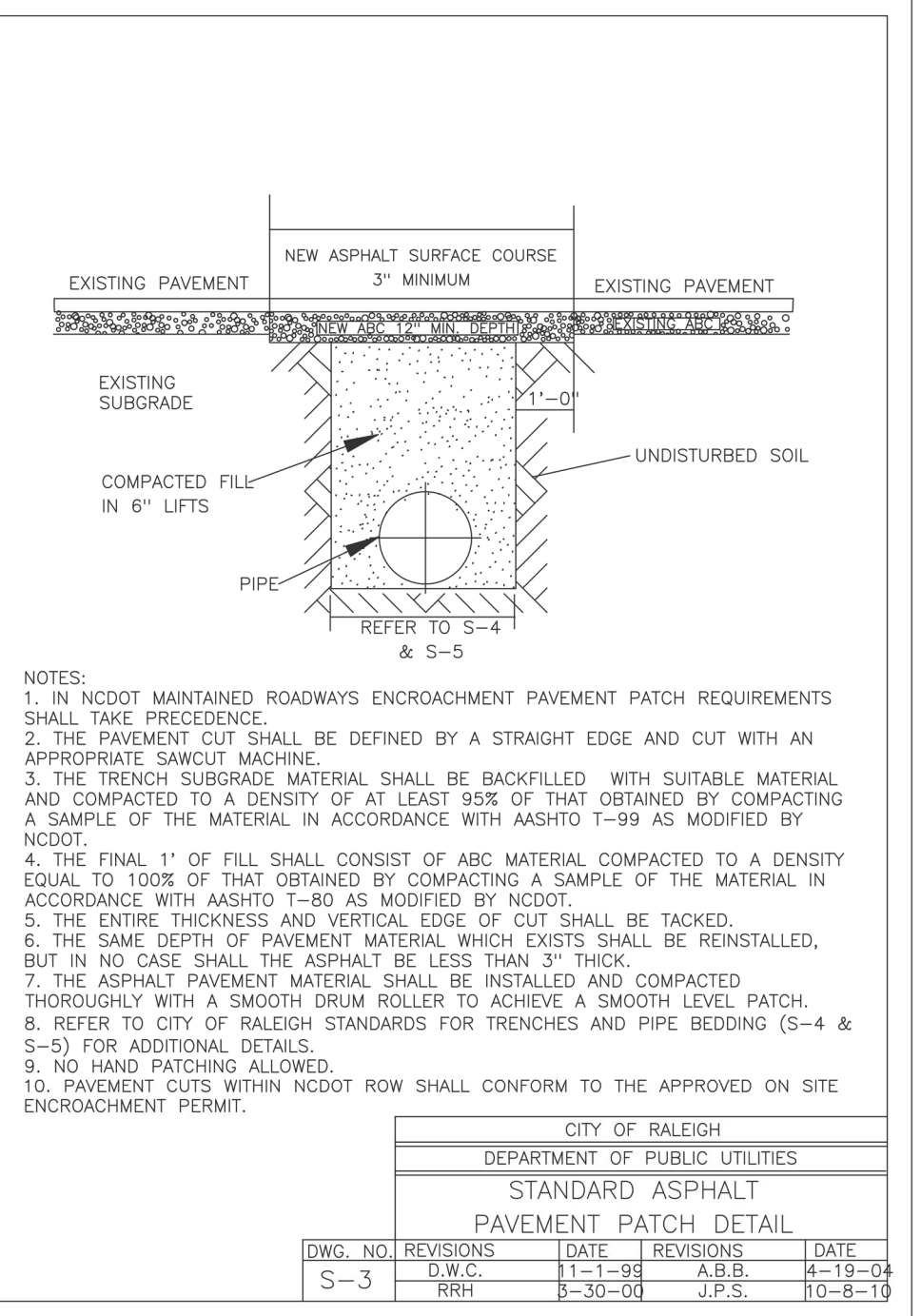
NO.	DATE	DESCRIPTION	BY
1	02/26/2022	INITIAL SUBMITTAL	SPS
2	03/22/2022	Revised per Owner/CDR Comment	SPS
3	DATE	COMMENT	BY
4	DATE	COMMENT	BY
5	DATE	COMMENT	BY
6	DATE	COMMENT	BY
7	DATE	COMMENT	BY
8	DATE	COMMENT	BY



**BMP Device Detail**  
South Main  
503 South Main Street  
Rolesville, Wake County, North Carolina

Project No. 22003  
Dwg No. **D3**





**Gettle Engineering and Design, PLLC**  
 3616 Waxwing Court,  
 Wake Forest, North Carolina 27587  
 Firm License P-2538  
 (919) 210-3934

**PRELIMINARY DO NOT USE FOR CONSTRUCTION**

NO.	DATE	BY	REVISION/DESCRIPTION
1	07-26-2022	RRH	INITIAL SUBMITTAL
2	10-2-2022	RRH	Revised per Town COR Comment
3	DATE	BY	COMMENT
4	DATE	BY	COMMENT
5	DATE	BY	COMMENT
6	DATE	BY	COMMENT

**Water and Sewer Details**  
**South Main**  
**503 South Main Street**  
**Rolesville, Wake County, North Carolina**

**Project No. 22003**  
**Dwg No. D4**

**Water and Sewer Permits (if applicable)**  
 The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Form # 1.

**SITE PERMITTING APPROVAL**  
 The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Form # 1.

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**  
 Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultant, and contractor are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, use shall be obtained to permit any violation of City, State or Federal law. All construction must be in accordance with all local, state, and Federal Rules and Regulations.

**City of Raleigh Development Approval:** \_\_\_\_\_  
**City of Raleigh Review Officer:** \_\_\_\_\_

BASIN NUMBER	DRAIN AREA (ACRES)	BASIN SIZE	Q10 FLOW (CFS)	BASIN SURFACE AREA (SF)	REQUIRED SURFACE AREA (SF)	BASIN VOLUME (CF)	REQUIRED BASIN VOLUME (CF)	SPILLWAY LENGTH (FT)	SKIMMER / ORIFICE DIAMETER (IN.)	TOP OF BERM ELEV.	EMERGENCY SPILLWAY ELEV.	BOTTOM OF BASIN
1	1.53	44' x 74'	5.06	4264	2201	7499	2754	10	1.5 / 1	408.5	408	406

SEE SHEET EC6 FOR DESIGN CALCULATIONS

**LINE AND SYMBOL LEGEND**

- SILT FENCE OUTLET
- LIMITS OF DISTURBANCE
- SILT FENCE
- TEMPORARY DIVERSION
- TREE PROTECTION FENCE
- STONE FILTER

**EROSION CONTROL CONSTRUCTION SEQUENCE - PHASE 1**

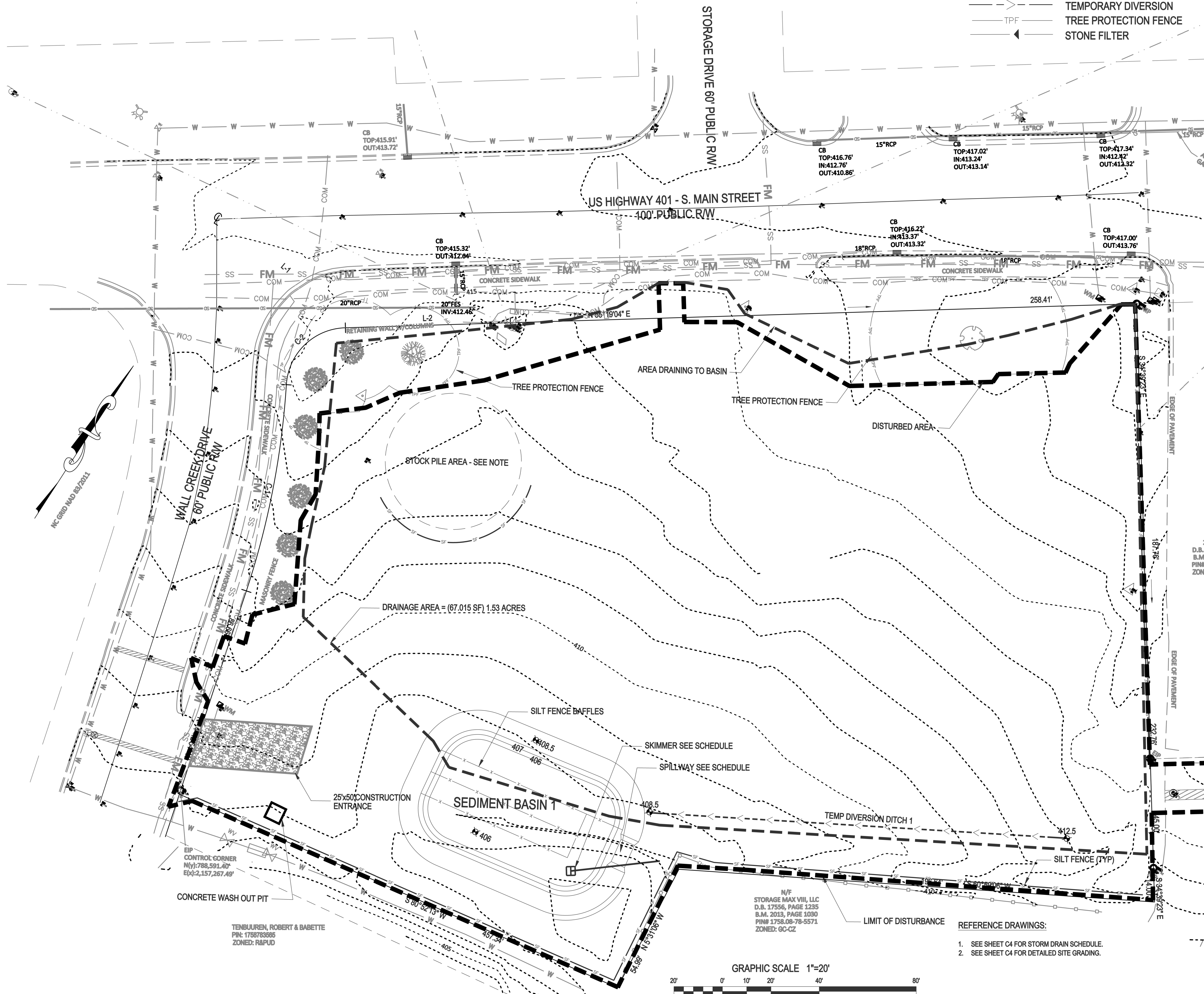
- SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL WATERSHED MANAGER. OBTAIN A LAND DISTURBING PERMIT.
- INSTALL TREE PROTECTION FENCE.
- INSTALL EROSION CONTROL MEASURES INCLUDING GRAVEL CONSTRUCTION ENTRANCE/EXIT, SEDIMENT TRAPPING MEASURES, STABILIZATION AT PIPE OUTLETS, AND OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
- CONTACT THE WATERSHED MANAGER FOR AN ONSITE INSPECTION TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING. PERFORM ROUGH GRADING, INSTALLING AND MAINTAINING TEMPORARY DIVERSIONS AS NECESSARY. SEED AND MULCH PERIMETER SLOPES AS SOON AS POSSIBLE.
- STABILIZE DISTURBED AREAS WITHIN 14 WORKING DAYS AFTER COMPLETION OF ANY PHASE OF GRADING. STABILIZATION CONSISTS OF EITHER TEMPORARY MULCHING OR PERMANENT VEGETATION ON AREAS THAT ARE NOT PAVED.
- REGULARLY INSPECT AND MAINTAIN THE EROSION CONTROL DEVICES SO THEY CONTINUE TO FUNCTION PROPERLY.
- KEEP MUD AND DEBRIS OFF THE PUBLIC STREETS AT ALL TIMES. IF MUD OR DEBRIS IS TRACKED FROM THE SITE, USE A SHOVEL AND BROOM TO REMOVE IT IMMEDIATELY. IF MUD AND DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR STOP WORK ORDER) MAY BE TAKEN.
- IF IT IS DETERMINED DURING THE COURSE OF CONSTRUCTION THAT SIGNIFICANT SEDIMENT IS LEAVING THE SITE DESPITE PROPER IMPLEMENTATION AND MAINTENANCE OF THE APPROVED EROSION CONTROL PLAN, THE PERSON RESPONSIBLE FOR THE LAND-DISTURBING ACTIVITY IS OBLIGATED TO TAKE ADDITIONAL PROTECTIVE ACTION.
- CONTINUE TO PHASE 2 EROSION CONTROL ACTIVITIES.

**STOCKPILE DESIGN CRITERIA**

- STOCKPILING MATERIALS ADJACENT TO A DITCH, DRAINAGEWAY, WATERCOURSE, WETLAND, STREAM BUFFER, OR OTHER BODY OF WATER SHALL BE AVOIDED UNLESS AN ALTERNATIVE LOCATION IS DEMONSTRATED TO BE UNAVAILABLE.
- A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL BE SHOWN AROUND ALL PROPOSED STOCKPILES (EROSION CONTROL MEASURES SURROUNDING THE STOCKPILE SHALL BE SHOWN AT THE OUTER LIMIT OF THIS EASEMENT).
- STOCKPILE FOOTPRINTS SHALL BE SETBACK A MINIMUM OF 25' FROM ADJACENT PROPERTY LINES.
- STOCKPILE HEIGHT SHALL NOT EXCEED 35 FEET.
- STOCKPILE SLOPES SHALL BE 2:1 OR FLATTER.
- STOCKPILING MATERIALS ADJACENT TO A DITCH, DRAINAGEWAY, WATERCOURSE, WETLAND, STREAM BUFFER, OR OTHER BODY OF WATER SHALL BE AVOIDED UNLESS AN ALTERNATIVE LOCATION IS DEMONSTRATED TO BE UNAVAILABLE.
- ANY CONCENTRATED FLOW LIKELY TO AFFECT THE STOCKPILE SHALL BE DIVERTED TO AN APPROVED BMP.
- OFF-SITE SPOIL OR BORROW AREAS MUST BE IN COMPLIANCE WITH WAKE COUNTY UDO AND STATE REGULATIONS. ALL SPOIL AREAS OVER AN ACRE ARE REQUIRED TO HAVE AN APPROVED SEDIMENT CONTROL PLAN. DEVELOPER/CONTRACTOR SHALL NOTIFY WAKE COUNTY OF ANY OFFSITE DISPOSAL OF SOIL. PRIOR TO DISPOSAL, FILL OF FEMA FLOODWAYS AND ON-ENCROACHMENT AREAS ARE PROHIBITED EXCEPT AS OTHERWISE PROVIDED BY SUBSECTION 14-19-2 OF THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE (CERTIFICATIONS AND PERMITS REQUIRED).
- SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEPT IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
- IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
- THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
- ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).

**GENERAL NOTES:**

- INSTALL POLYACRYLAMIDE IMPREGNATED STRAW WATTLES (ie: TERRA TUBES) DIRECTLY BELOW STORM WATER OUTFALL. PLACE EROSION CONTROL LINER UNDERNEATH A SERIES OF WATTLES (SEE DETAIL).
- SURROUND THE SKIMMER WITH A BAFFLE AND "KEY" BOTH ENDS INTO THE SIDE OF THE BASIN. INSTALL A TARP UNDERNEATH THE SKIMMER, COVERING THE ENTIRE AREA AROUND THE SKIMMER. PROVIDE A 6" BLOCK TO BE PLACED UNDER THE SKIMMER ALLOWING THE DEVICE TO REST ON AFTER DEWATERING.
- INSTALL STANDARD GRAVEL YARD INLET PROTECTION UNTIL CURB IS INSTALLED. INSTALL STANDARD GRAVEL BAG CURB INLET PROTECTION AT ALL CURB INLETS.



- REFERENCE DRAWINGS:**
- SEE SHEET C4 FOR STORM DRAIN SCHEDULE.
  - SEE SHEET C4 FOR DETAILED SITE GRADING.

**DRAINAGE AREA TO BASIN = 67,015SF (1.53 AC)**

**TOTAL DENUDED AREA 87,555 SF (2.01 AC)**

**Gettle Engineering and Design, PLLC**  
 3616 Waxwing Court,  
 Wake Forest, North Carolina 27587  
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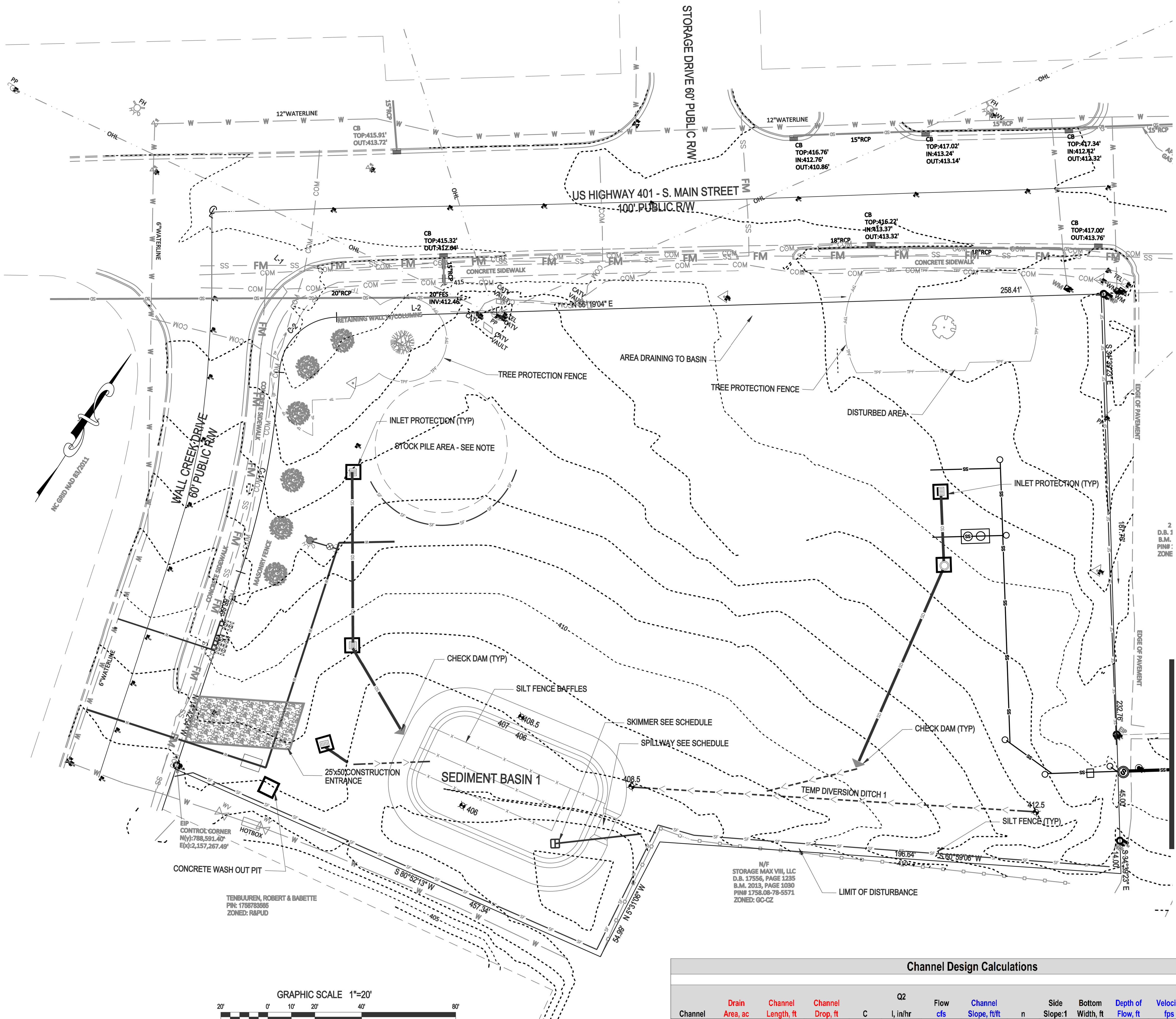
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**Phase 1 - Erosion Control Plan**  
**South Main**  
 503 South Main Street  
 Rolesville, Wake County, North Carolina

Project No. 22003  
 Dwg No. **EC1**

PRELIMINARY  
DO NOT USE FOR  
CONSTRUCTION

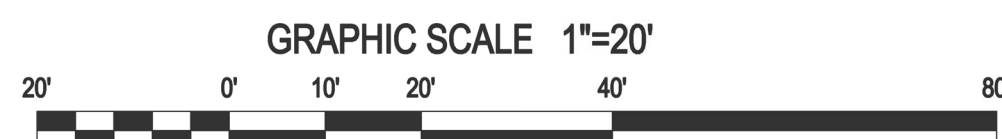


- EROSION CONTROL CONSTRUCTION SEQUENCE - PHASE 2**
1. INSTALL THE STORM DRAINAGE SYSTEM AND INLET PROTECTION, PROTECTING PIPE OPENINGS AND UNCOVERED STRUCTURES AS SHOWN.
  2. INSTALL SANITARY SEWER SYSTEM AND WATER LINE PIPING PER UTILITY PLAN. ENSURE EXISTING UTILITIES ARE PROTECTED DURING CONSTRUCTION ACTIVITIES.
  3. STABILIZE DISTURBED AREAS WITHIN 14 WORKING DAYS AFTER COMPLETION OF ANY PHASE OF GRADING. STABILIZATION CONSISTS OF EITHER TEMPORARY MULCHING OR PERMANENT VEGETATION ON AREAS THAT ARE NOT PAVED.
  4. REGULARLY INSPECT AND MAINTAIN THE EROSION CONTROL DEVICES SO THEY CONTINUE TO FUNCTION PROPERLY.
  5. KEEP MUD AND DEBRIS OFF THE PUBLIC STREETS AT ALL TIMES. IF MUD OR DEBRIS IS TRACKED FROM THE SITE, USE A SHOVEL AND BROOM TO REMOVE IT IMMEDIATELY. IF MUD AND DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR STOP WORK ORDER) MAY BE TAKEN.
  6. IF IT IS DETERMINED DURING THE COURSE OF CONSTRUCTION THAT SIGNIFICANT SEDIMENT IS LEAVING THE SITE DESPITE PROPER IMPLEMENTATION AND MAINTENANCE OF THE APPROVED EROSION CONTROL PLAN, THE PERSON RESPONSIBLE FOR THE LAND-DISTURBING ACTIVITY IS OBLIGATED TO TAKE ADDITIONAL PROTECTIVE ACTION.
  7. CONTINUE TO PHASE 3 ACTIVITIES.

- LINE AND SYMBOL LEGEND**
- SFO SILT FENCE OUTLET
  - LIMITS OF DISTURBANCE
  - SF SILT FENCE
  - - - - - TEMPORARY DIVERSION
  - TPF TREE PROTECTION FENCE
  - ▲ STONE FILTER

- REFERENCE DRAWINGS:**
1. SEE SHEET C4 FOR STORM DRAIN SCHEDULE.
  2. SEE SHEETS C4 FOR DETAILED SITE GRADING.

Channel Design Calculations														
Channel	Drain Area, ac	Channel Length, ft	Channel Drop, ft	C	Q2		Flow cfs	Channel Slope, ft/ft	n	Side Slope:1	Bottom Width, ft	Depth of Flow, ft	Velocity fps	Liner
					I, in/hr	S								
TD1	0.85	171	4	0.55	5.76	2.7	0.0234	0.024	3.00	2.0	0.28	3.36	Jute Mesh	



NO.	DATE	BY	REVISION DESCRIPTION
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6	DATE	BY	COMMENT
7	DATE	BY	COMMENT



**Phase 2 - Erosion Control Plan**  
**South Main**  
 503 South Main Street  
 Rolesville, Wake County, North Carolina

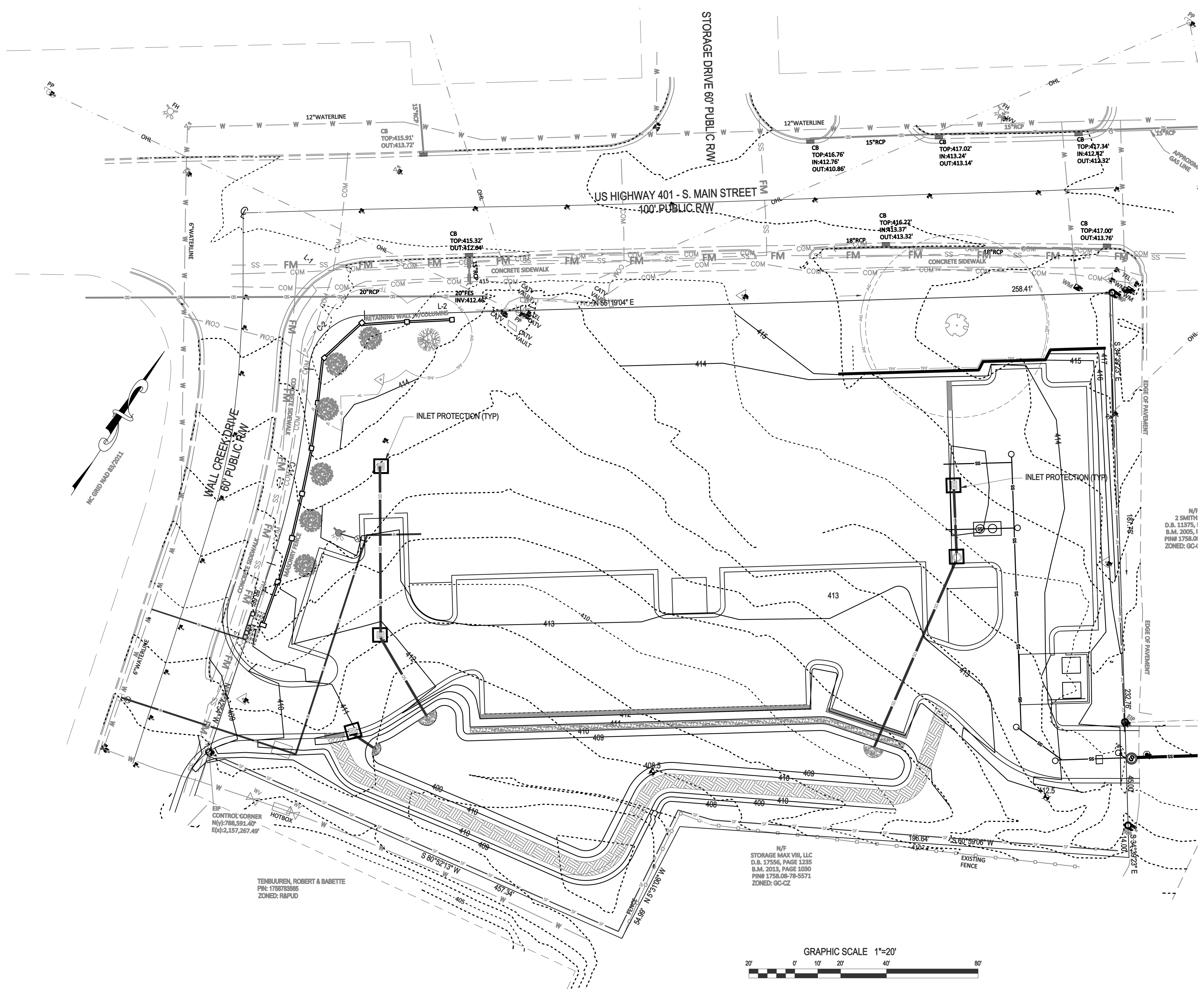
Project No. 22003

Dwg No.

**EC2**

**Gettle Engineering and Design, PLLC**  
 3616 Waxwing Court,  
 Wake Forest, North Carolina 27587  
 Firm License P-2538  
 (919) 210-3934

**PRELIMINARY**  
 DO NOT USE FOR  
 CONSTRUCTION



- CONSTRUCTION SEQUENCE - PHASE 3**
1. CONSTRUCT CONCRETE CURB IN ROADWAYS AND PARKING LOT. PLACE AND COMPACT STONE IN THE ROADWAYS AND PARKING LOT. REMOVE THE GRAVEL ENTRANCE.
  2. COMPLETE FINE GRADING AND STABILIZE DISTURBED AREAS AS SOON AS POSSIBLE.
  3. ONCE THE SITE IS STABILIZED AND APPROVAL FROM STORMWATER INSPECTIONS TO SCHEDULE THE REMOVAL OF THE SEDIMENT BASIN (SEE NOTES BELOW), DEWATER SEDIMENT BASIN USING A SILT BAG AND MUCK OUT REMAINING SEDIMENT.
  2. BEGIN INSTALLATION OF THE BMP AND ASSOCIATED STRUCTURES. CONTACT PROJECT ENGINEER TO INSPECT DURING INSTALLATION PROCESS. SURVEY INVERT ELEVATIONS FOR AS-BUILT INFORMATION REQUIRED BY THE TOWN OF ROLESVILLE AND WAKE COUNTY.
  3. GRADE ANY REMAINING AREAS TO FINAL GRADE. UPON COMPLETION THE GROUND COVER SHALL BE PROVIDED AS FOLLOWS:
    - A. STABILIZE BASINS WITH GROUND COVER IMMEDIATELY AFTER INSTALLATION.
    - B. STABILIZE DIVERSION DITCHES INTENDED TO BE IN SERVICE FOR 30 DAYS OR MORE WITH TEMPORARY SEEDING AND EROSION CONTROL NETTING.
    - C. FOR ALL AREAS OF MODERATE AND/OR STEEP SLOPES, PROVIDE TEMPORARY GROUND COVER IF THE SLOPE HAS NOT BEEN DISTURBED FOR A PERIOD OF FOURTEEN (14) DAYS.
    - D. PROVIDE GROUND COVER SUFFICIENT TO RESTRAIN EROSION ON ANY PORTION OF THE SITE UPON WHICH FURTHER LAND-DISTURBING ACTIVITY IS NOT BEING UNDERTAKEN WITHIN FOURTEEN (14) CALENDAR DAYS OF TEMPORARILY OR PERMANENTLY SUSPENDING LAND DISTURBING ACTIVITY.
    - E. ESTABLISH PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION WITHIN FOURTEEN (14) CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT AND/OR PRIOR TO FINAL INSPECTION.
  4. ONCE THE BMP INSTALLATION IS COMPLETE, TEMPORARY MEASURES ARE REMOVED, THE SITE IS STABILIZED, CONTACT THE WATERSHED MANAGER TO SCHEDULE A STORMWATER INSPECTION.

- REQUIRED WAKE COUNTY BASIN REMOVAL SEQUENCE**
1. SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE IF A BASIN CAN BE REMOVED. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO REMOVAL OF THE BASIN.
  2. CONTACT NCDEQ - RALEIGH REGIONAL OFFICE (919) 791-4200 TO DETERMINE THE DIVISION OF ENERGY, MINERAL AND LAND RESOURCES CONTACT PERSON TO RECEIVE DEWATERING NOTIFICATIONS. AT LEAST 10 DAYS PRIOR TO BEGINNING DEWATERING ACTIVITY, SEND EMAIL TO NCDEQ-DEMLR CONTACT PERSON AND COPY ENVIRONMENTAL CONSULTANT THAT MET YOU ON SITE. THE EMAIL SHOULD INCLUDE: EASC JURISDICTION; WAKE COUNTY, WAKE COUNTY PROJECT; NAME, NUMBER, AND LOCATION (CITY/TOWN), ENVIRONMENTAL CONSULTANT NAME, AND ADDRESS THE FOLLOWING: A) REASON FOR CONVERSION, B) BASIN #, C) DEWATERING METHOD, AND D) ALL OTHER NECESSARY INFO FROM PART II, SECTION G, ITEM 4 OF THE NCG01 (KEEP EMAIL FOR YOUR NPDES MONITORING DOCUMENTATION).
  3. AFTER RECEIVING POSITIVE CONFIRMATION FROM NCDEQ-DEMLR THAT YOU MAY REMOVE THE BASIN OR ON > DAY 11, WHICHEVER IS SOONER, REMOVE BASIN(S) AND ASSOCIATED TEMPORARY DIVERSION DITCHES. IF PIPES NEED TO BE EXTENDED, PERFORM THIS OPERATION AT THIS TIME. FINE GRADE AREA IN PREPARATION FOR SEEDING.
  4. PERFORM SEEDBED PREPARATION, SEED, MULCH AND ANCHOR ANY RESULTING BARE AREAS IMMEDIATELY.
  5. INSTALL VELOCITY DISSIPATORS AND/OR LEVEL SPREADERS AS REQUIRED ON THE EROSION CONTROL PLAN.
  6. WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL CONSULTANT FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVICE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION. NOTE: A MEETING SHOULD ALSO BE SCHEDULED WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE WHEN A BASIN MAY BE CONVERTED FOR STORMWATER USE.

**LINE AND SYMBOL LEGEND**

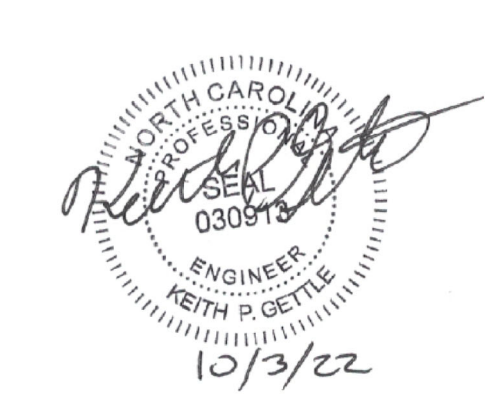
	SILT FENCE OUTLET
	LIMITS OF DISTURBANCE
	SILT FENCE
	TEMPORARY DIVERSION
	TREE PROTECTION FENCE
	STONE FILTER

- REFERENCE DRAWINGS:**
1. SEE SHEET C4 FOR STORM DRAIN SCHEDULE.
  2. SEE SHEETS C4 FOR DETAILED SITE GRADING.

**PRELIMINARY  
DO NOT USE FOR  
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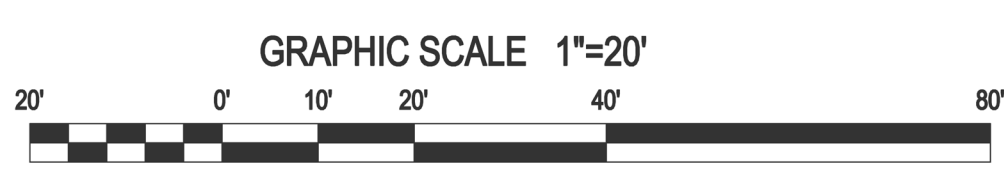
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**Phase 3 - Erosion Control Plan**  
**South Main**  
503 South Main Street  
Rolesville, Wake County, North Carolina

Project No. 22003  
Dwg No. **EC3**

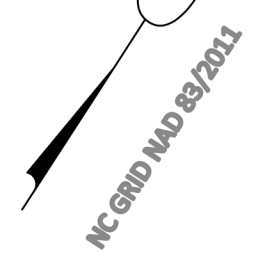


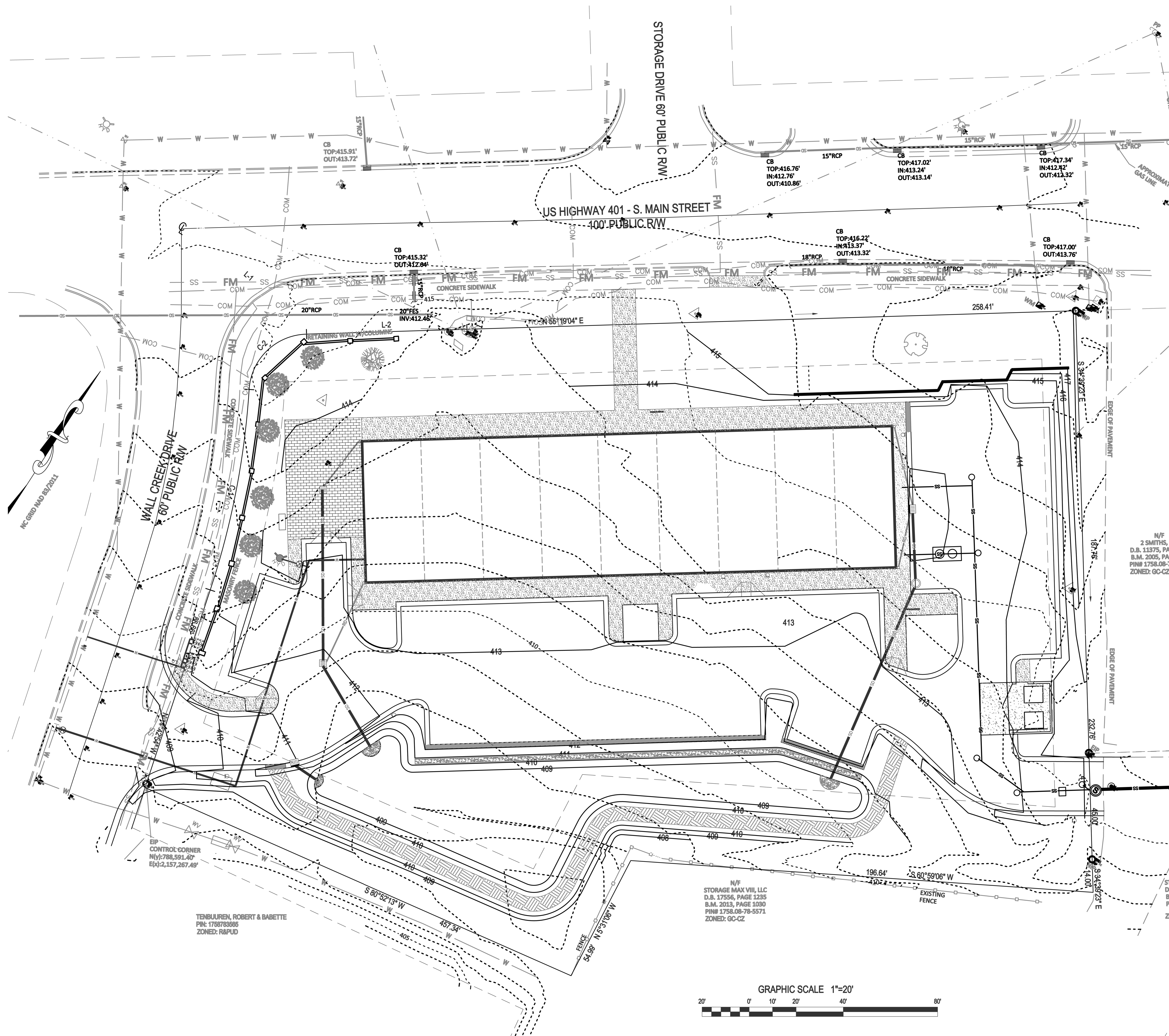
TENBUJUREN, ROBERT & BABELLE  
P.N. 1788783685  
ZONED: R&PUD

N/F  
STORAGE DRIVE MAX VIII, LLC  
D.B. 17556, PAGE 1235  
B.M. 2013, PAGE 1030  
PIN# 1758-09-79-5571  
ZONED: GC-CZ

N/F  
D.B. 11375, I  
B.M. 2005, I  
PIN# 1758-01  
ZONED: GC-4

EIP  
CONTROL CORNER  
Nty: 788,591.40'  
Ety: 2,157,267.49'





- CONSTRUCTION SEQUENCE - PHASE 4**
1. ENSURE THE SITE IS COMPLIANT WITH THE NC601 SELF INSPECTION AND GROUND STABILIZATION AND MATERIAL HANDLING.
  2. FOR ALL AREAS OF MODERATE AND / OR STEEP SLOPES, PROVIDE TEMPORARY GROUND COVER IF THE SLOPE HAS NOT BEEN DISTURBED FOR A PERIOD OF FOURTEEN (14) DAYS.
  3. PROVIDE GROUND COVER SUFFICIENT TO RESTRAIN EROSION ON ANY PORTION OF THE SITE UPON WHICH FURTHER LAND-DISTURBING ACTIVITY IS NOT BEING UNDERTAKEN WITHIN FOURTEEN (14) CALENDAR DAYS OF TEMPORARILY OR PERMANENTLY SUSPENDING LAND DISTURBING ACTIVITY.
  4. REMOVE SILT FENCE AND TREE PROTECTION FENCING WHEN GRADING ACTIVITIES ARE COMPLETE AND THE PROJECT SITE IS STABILIZED.
  5. ONCE THE BMP INSTALLATION IS COMPLETE, TEMPORARY MEASURES ARE REMOVED, THE SITE IS STABILIZED, CONTACT THE WATERSHED MANAGER TO SCHEDULE A STORMWATER FINAL INSPECTION. BMP CERTIFICATIONS AND AS-BUILT PLANS MUST BE PROVIDED TO WAKE COUNTY / TOWN OF ROLESVILLE PRIOR TO FINAL PLATTING.
  6. ONCE THE STORMWATER FINAL INSPECTION IS APPROVED, CLOSE THE GRADING PERMIT AND OBTAIN A CERTIFICATE OF COMPLETION.

- NPDES NOTES**
1. THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG010000.
  2. THIS PAGE CAN BE APPROVED BY THE CITY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000 ONLY.
  3. THIS PAGE OF THE APPROVED PLANS IS ENFORCEABLE EXCLUSIVELY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000.
  4. THE CITY / COUNTY IS NOT AUTHORIZED TO ENFORCE THIS PAGE OF THE PLANS AND IT IS NOT A PART OF THE APPROVED PLANS FOR PURPOSES OF ENFORCEMENT ACTION UNDER THE CITY / COUNTY CODE.
  5. DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY SHALL BE SUBMITTED TO WAKE COUNTY.

**NPDES GROUND STABILIZATION SCHEDULE**

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS	APPLICABLE AREA ON THIS SITE
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED	NONE
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH	AS SHOWN
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)	REMAINDER OF SITE

**LINE AND SYMBOL LEGEND**

- SFO SILT FENCE OUTLET
- LDO LIMITS OF DISTURBANCE
- SF SILT FENCE
- TPF TEMPORARY DIVERSION
- TPF TREE PROTECTION FENCE
- Stone Filter

- REFERENCE DRAWINGS:**
1. SEE SHEET C4 FOR STORM DRAIN SCHEDULE.
  2. SEE SHEET C4 FOR DETAILED SITE GRADING.

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**Phase 4 - Erosion Control Plan**  
**South Main**  
 503 South Main Street  
 Rolesville, Wake County, North Carolina

Project No. 22003  
 Dwg No. **EC4**

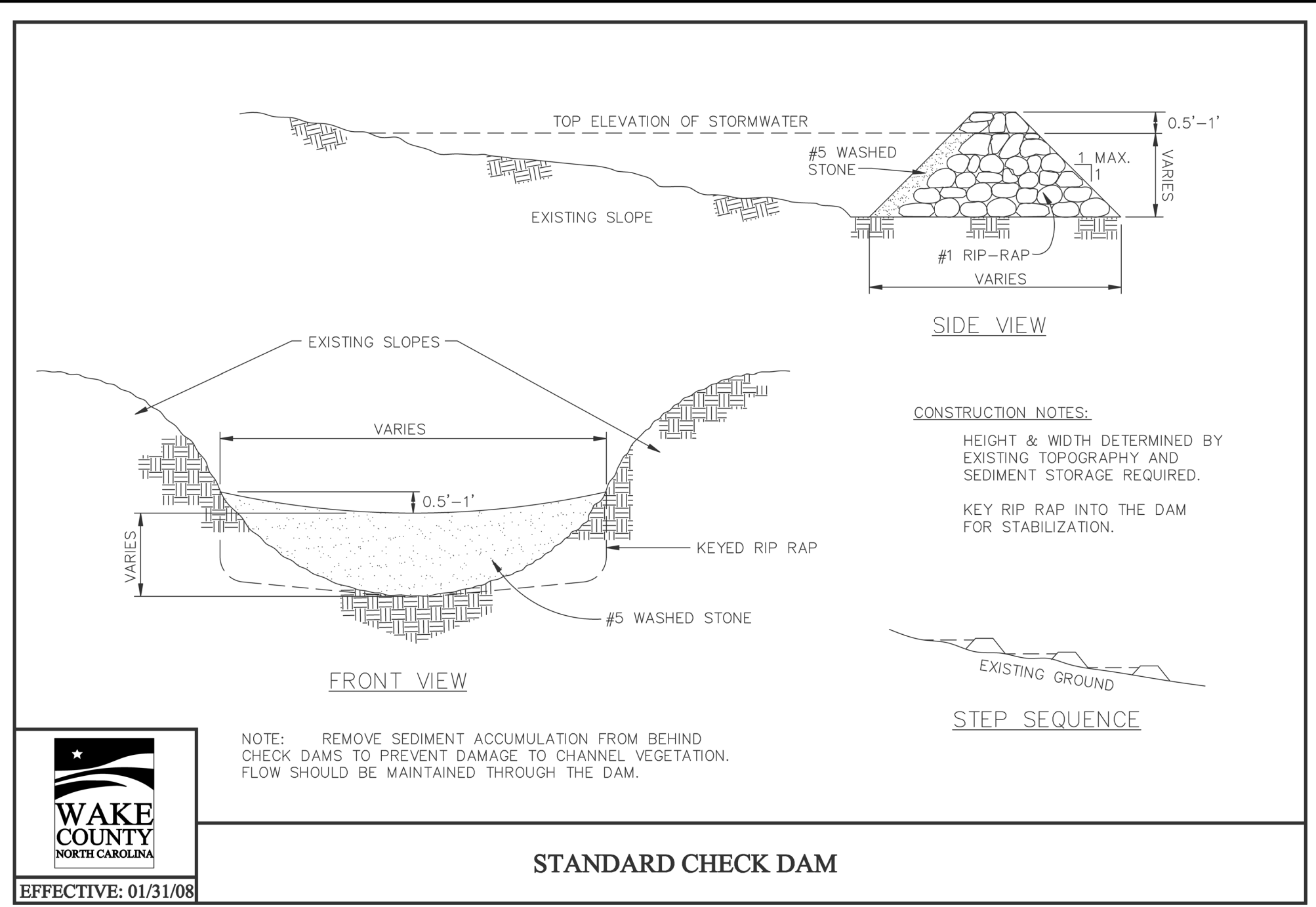
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TENBUUREN, ROBERT & BARLETTE  
 PIN: 1768783685  
 ZONED: R&PUD

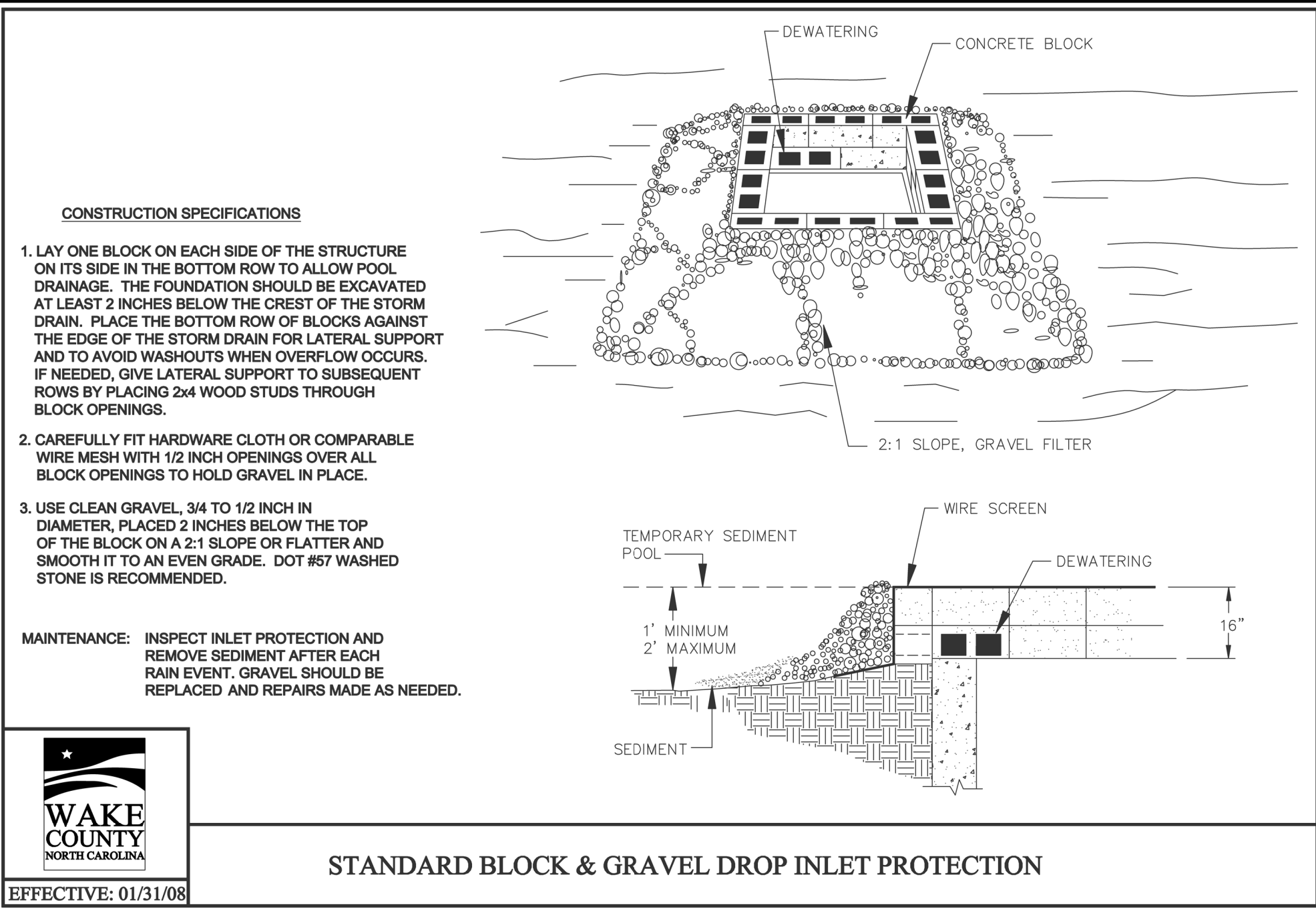
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 STORAGE MAX VIII, LLC  
 D.B. 17556, PAGE 1235  
 S.M. 2013, PAGE 1030  
 PIN# 1758-08-78-5571  
 ZONED: GC-CZ

N/F  
 2 SMITHS, I  
 D.B. 11375, P&A  
 B.M. 2005, P&A  
 PIN# 1758-09-7  
 ZONED: GC-CZ



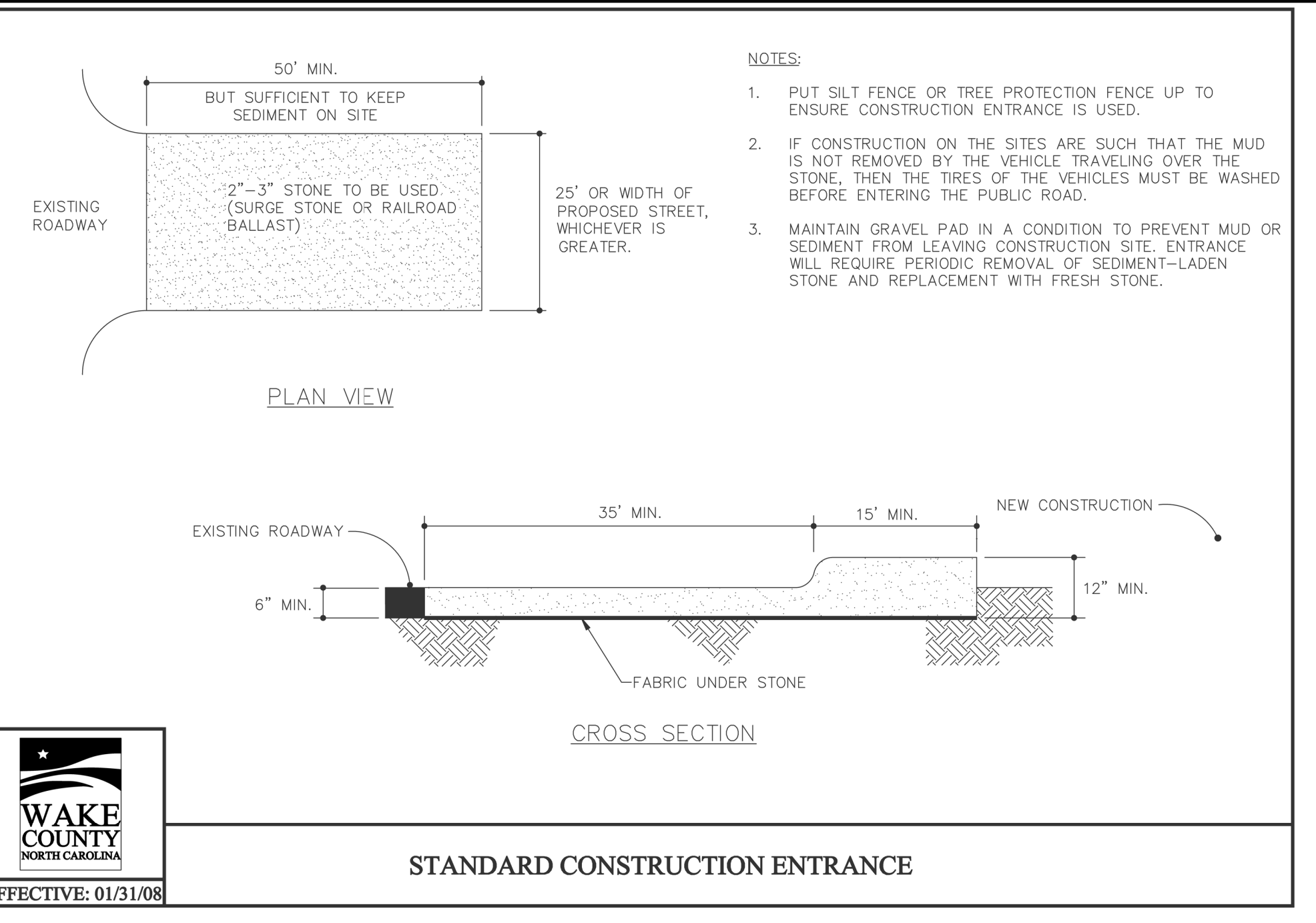
WAKE COUNTY  
NORTH CAROLINA  
EFFECTIVE: 01/31/08

STANDARD CHECK DAM



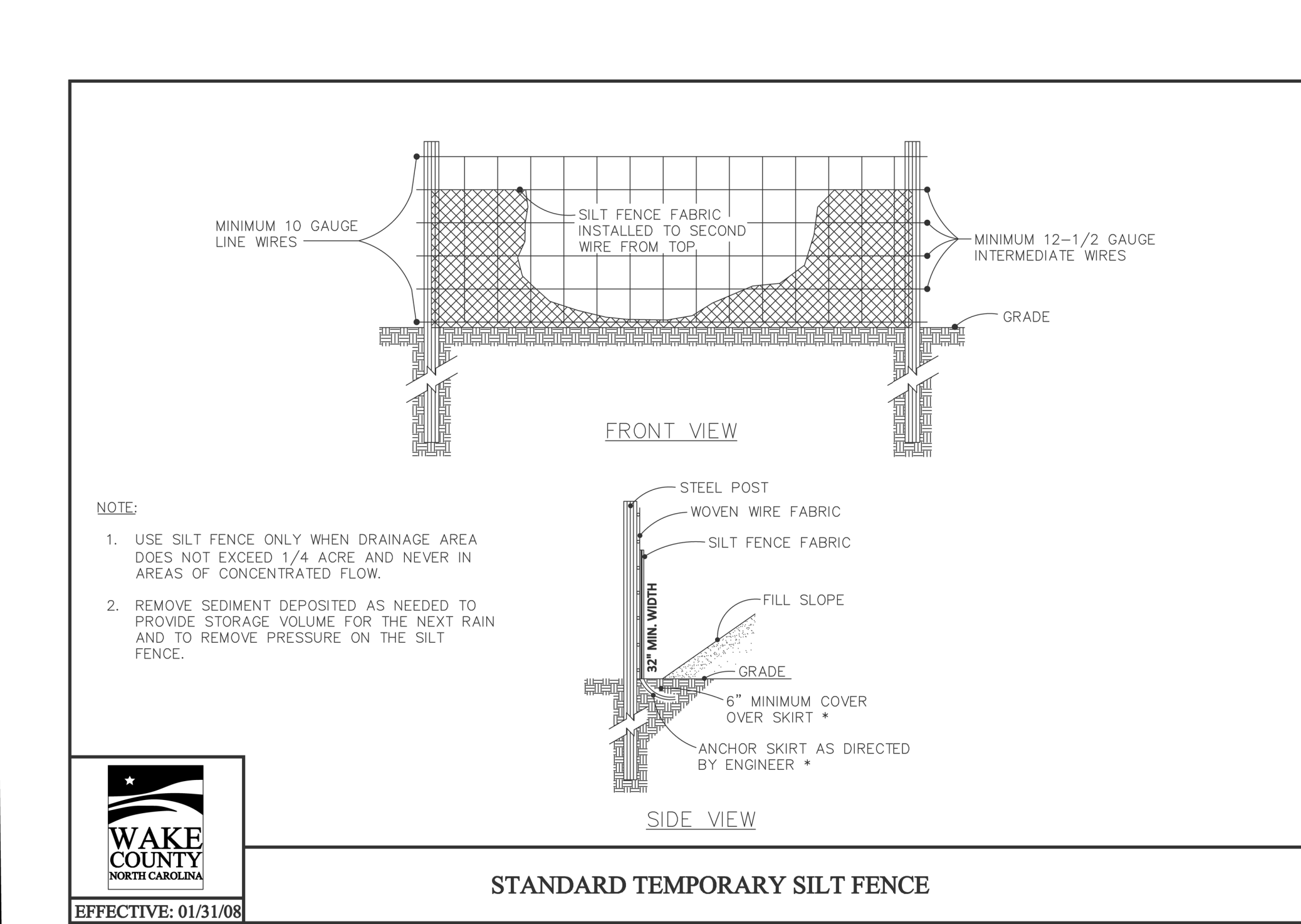
WAKE COUNTY  
NORTH CAROLINA  
EFFECTIVE: 01/31/08

STANDARD BLOCK & GRAVEL DROP INLET PROTECTION



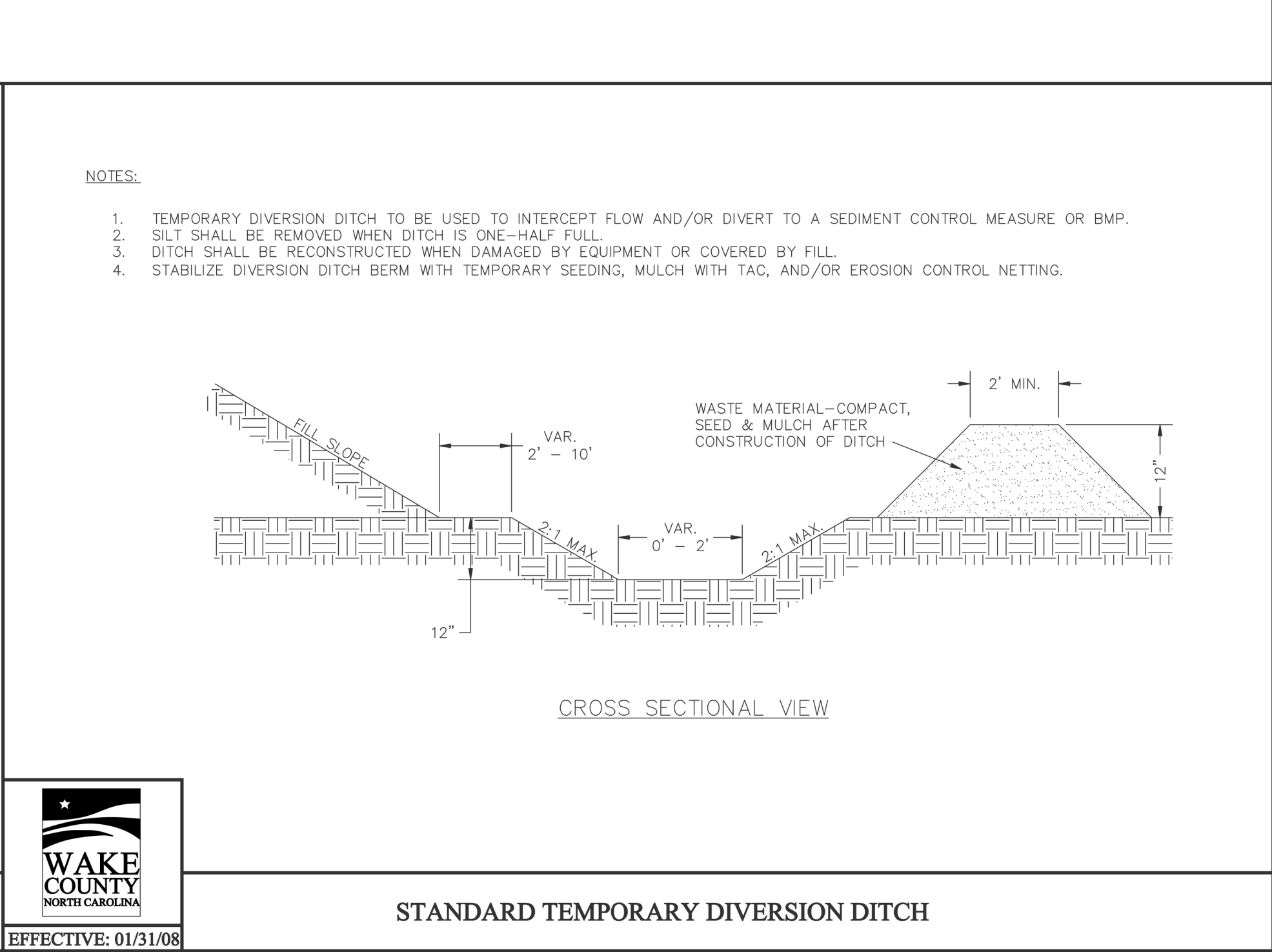
WAKE COUNTY  
NORTH CAROLINA  
EFFECTIVE: 01/31/08

STANDARD CONSTRUCTION ENTRANCE



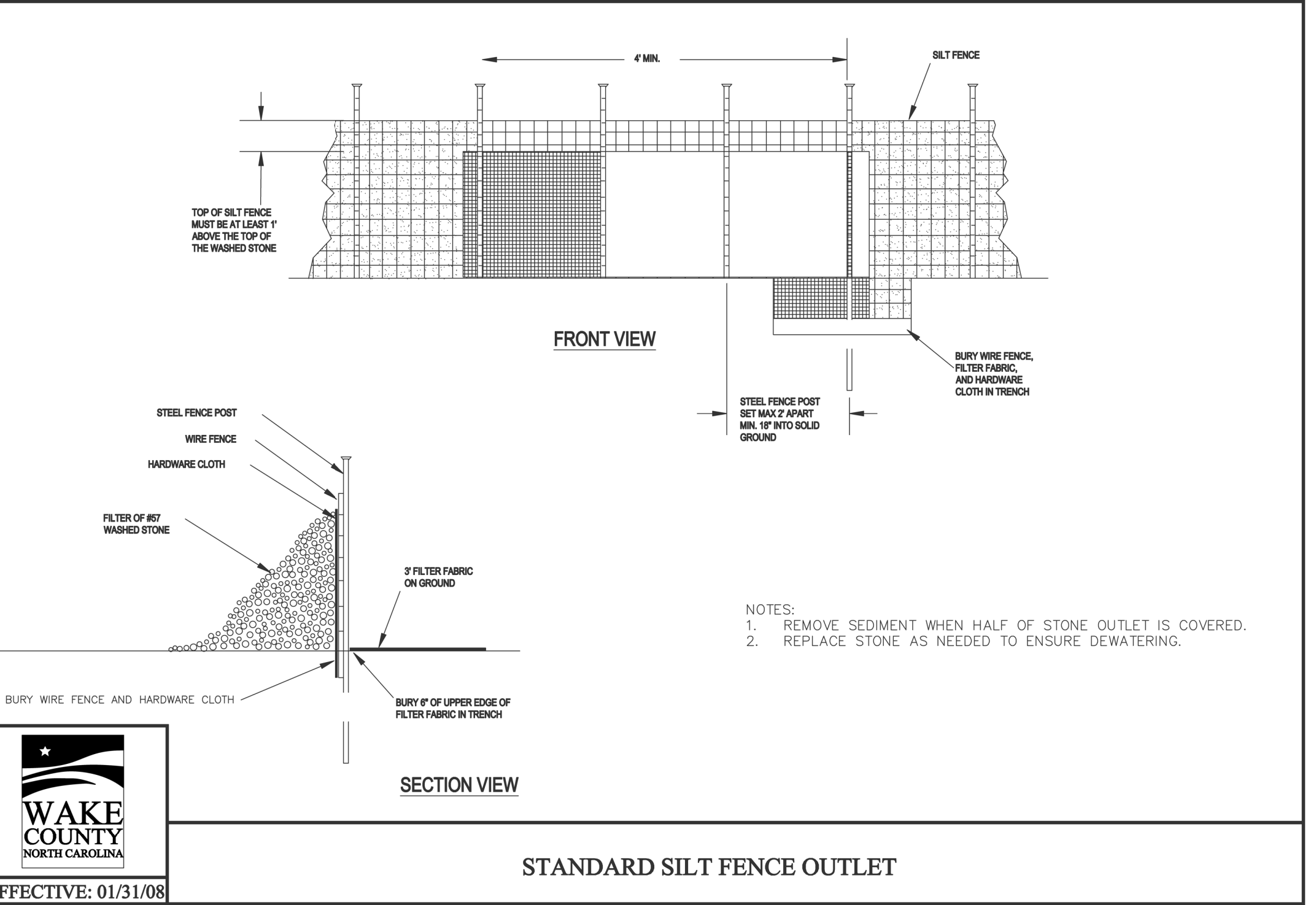
WAKE COUNTY  
NORTH CAROLINA  
EFFECTIVE: 01/31/08

STANDARD TEMPORARY SILT FENCE



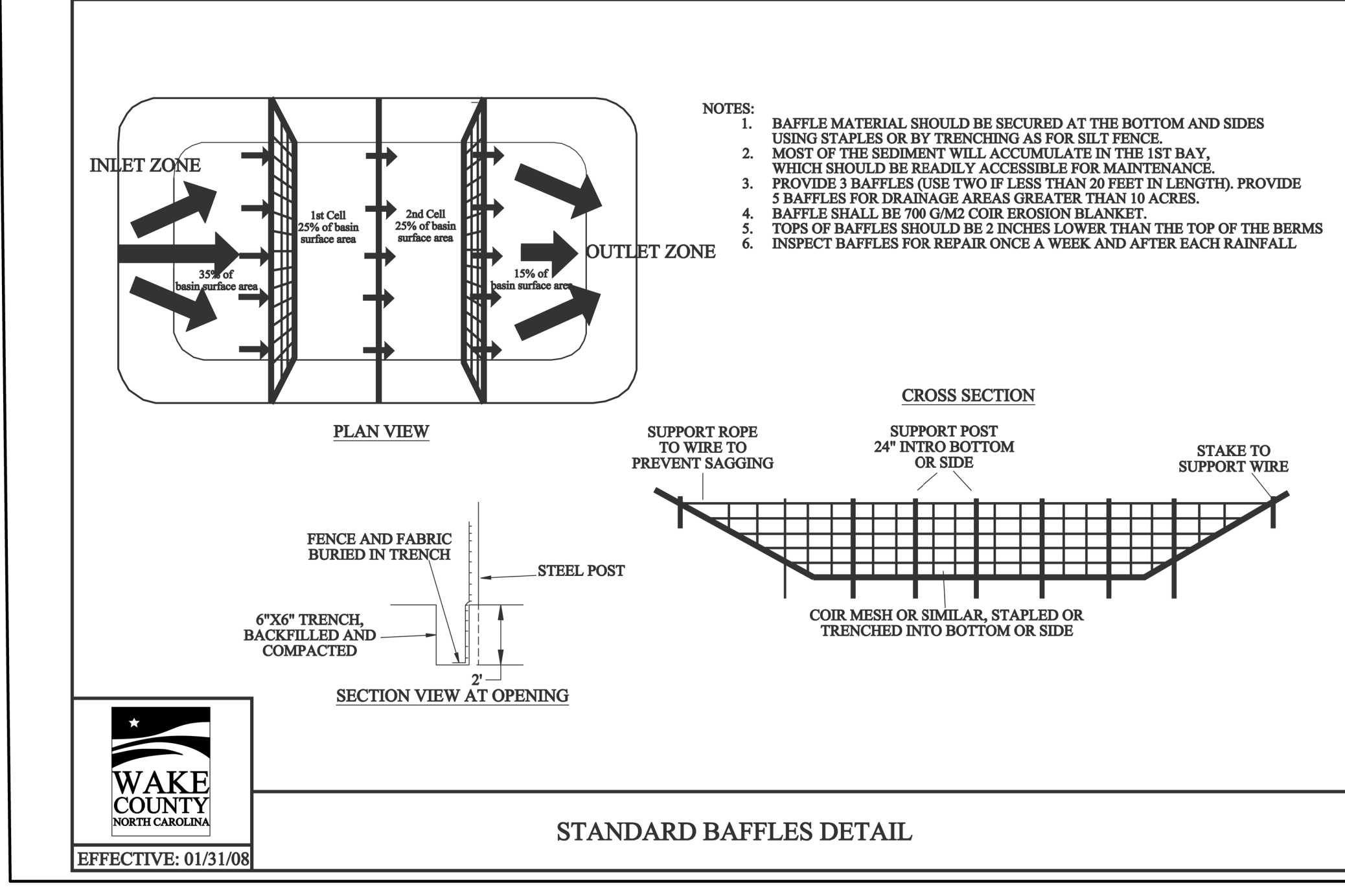
WAKE COUNTY  
NORTH CAROLINA  
EFFECTIVE: 01/31/08

STANDARD TEMPORARY DIVERSION DITCH



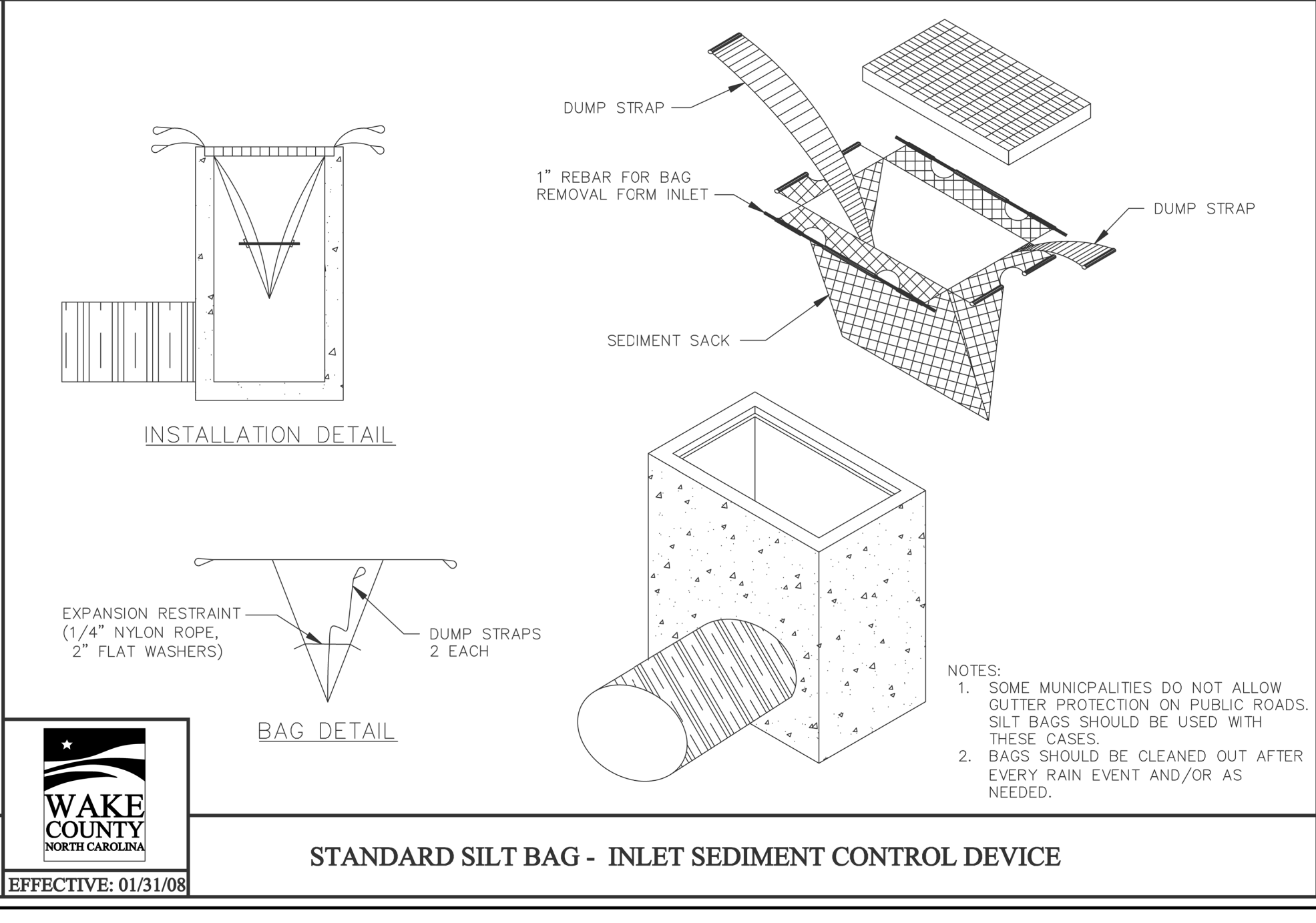
WAKE COUNTY  
NORTH CAROLINA  
EFFECTIVE: 01/31/08

STANDARD SILT FENCE OUTLET



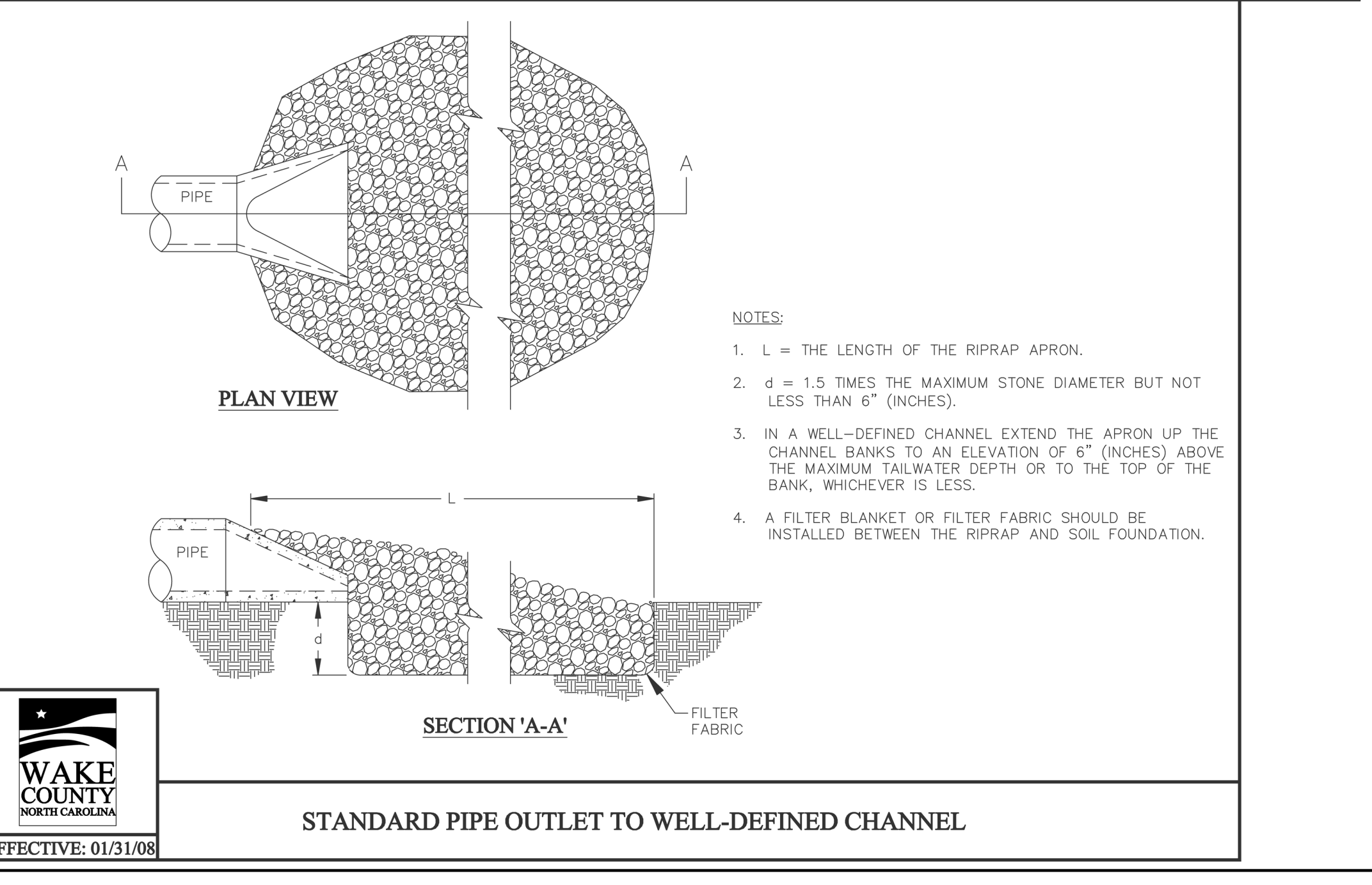
WAKE COUNTY  
NORTH CAROLINA  
EFFECTIVE: 01/31/08

STANDARD BAFFLES DETAIL



WAKE COUNTY  
NORTH CAROLINA  
EFFECTIVE: 01/31/08

STANDARD SILT BAG - INLET SEDIMENT CONTROL DEVICE



WAKE COUNTY  
NORTH CAROLINA  
EFFECTIVE: 01/31/08

STANDARD PIPE OUTLET TO WELL-DEFINED CHANNEL

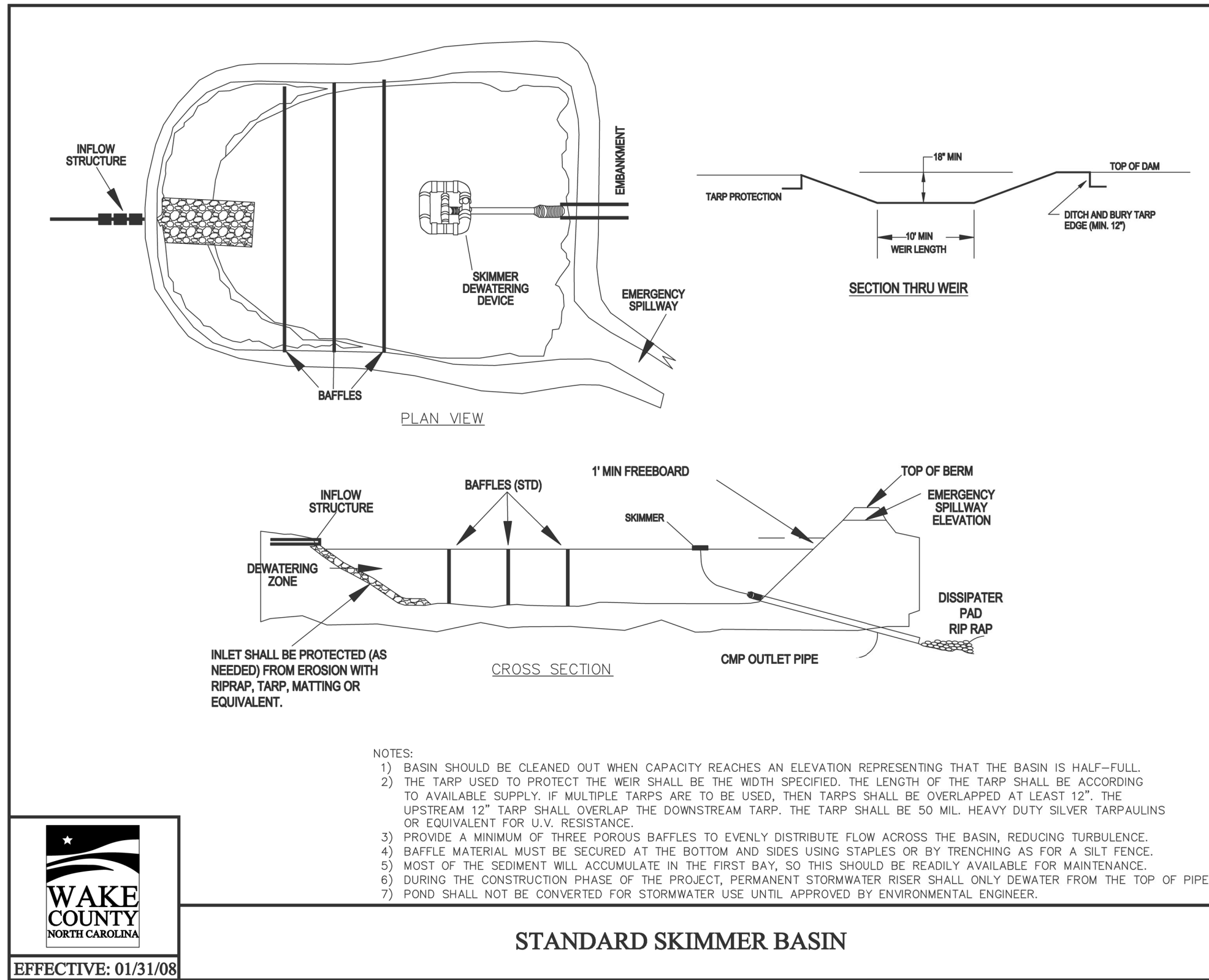
Gettle Engineering and Design, PLLC  
3616 Waxwing Court,  
Wake Forest, North Carolina 27587  
(919) 210-3934 Firm License P-2638

NO.	DATE	BY	REVISION/DESCRIPTION
1	07-26-2022		INITIAL SUBMITTAL
2	10-3-2022		Revised per Owner COR Comment
3	DATE	BY	COMMENT
4	DATE	BY	COMMENT
5	DATE	BY	COMMENT
6	DATE	BY	COMMENT
7	DATE	BY	COMMENT
8	DATE	BY	COMMENT

WAKE COUNTY  
NORTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEER  
SEAL NO. 030913  
KEITH P. GETTLE  
10/3/22

Erosion Control Details  
South Main  
503 South Main Street  
Rolesville, Wake County, North Carolina

Project No. 22003  
Dwg No. EC5

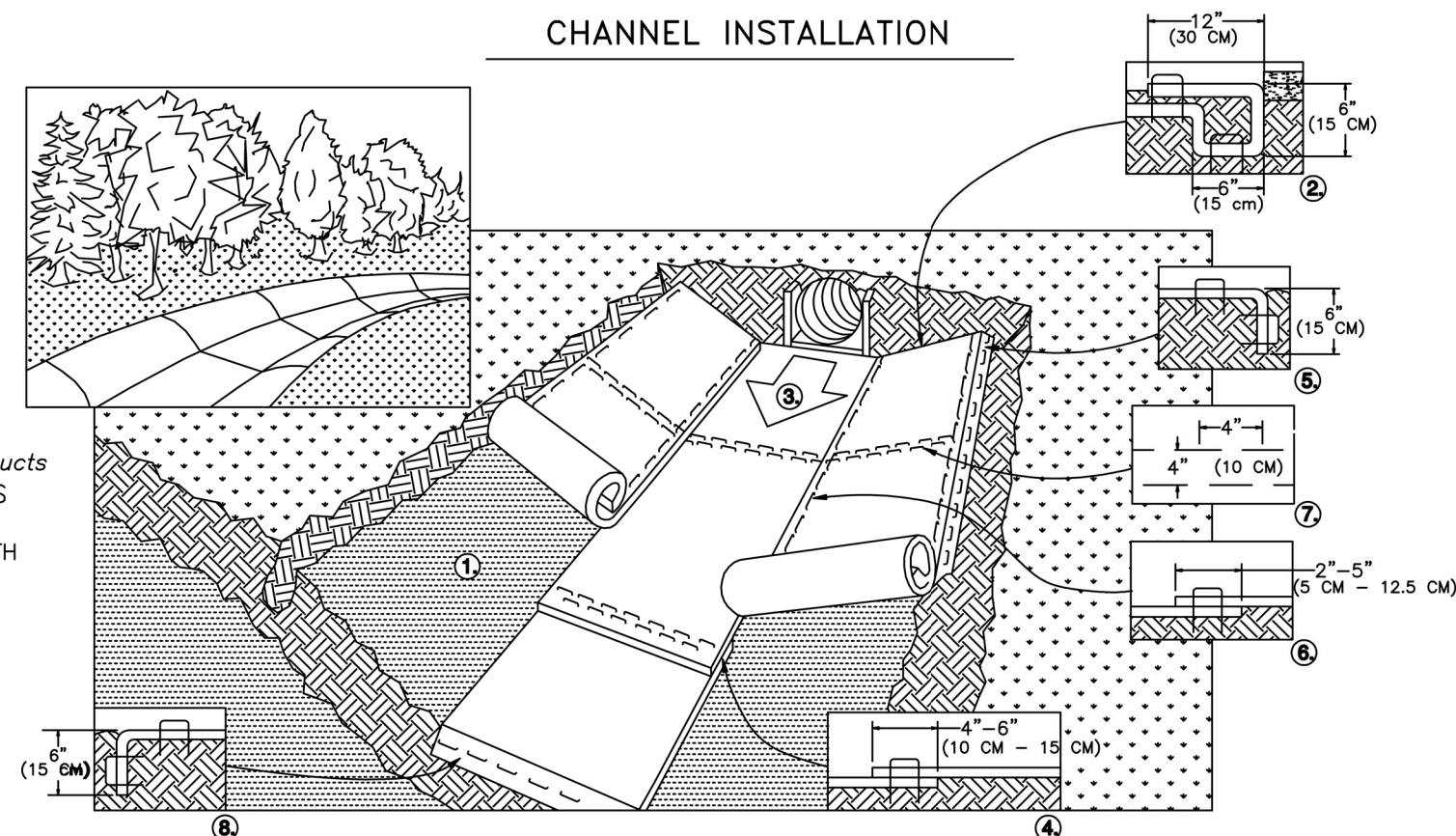


Skimmer Basin	
Okay	
1.53 Drainage Area (Acres)	
5.06 Peak Flow from 10-year Storm (cfs)	
2754 Required Volume (ft <sup>3</sup> )	
2201 Required Surface Area (ft <sup>2</sup> )	
33.2 Suggested Width (ft)	
66.3 Suggested Length (ft)	
52 Trial Top Width at Spillway Invert (ft)	
82 Trial Top Length at Spillway Invert (ft)	
2 Trial Side Slope Ratio Z:1	
2 Trial Depth (ft) (2 to 3.5 feet above grade)	
44 Bottom Width (ft)	
74 Bottom Length (ft)	
3256 Bottom Area (ft <sup>2</sup> )	
7499 Actual Volume (ft <sup>3</sup> )	Okay
4264 Actual Surface Area (ft <sup>2</sup> )	Okay
10 Trial Weir Length (ft)	
0.5 Suggested Trial Depth of Flow (ft)	
10.6 Spillway Capacity (cfs)	Okay
1.5 Skimmer Size (Inches)	Skimmer Size (Inches)
0.125 Head on Skimmer (feet)	1.5
1 Orifice Size (1/4 inch increments)	2
3.37 Dewatering Time (days)	2.5
Required 3 to 5 days for Wake County	3
	4
	5
	6
	8



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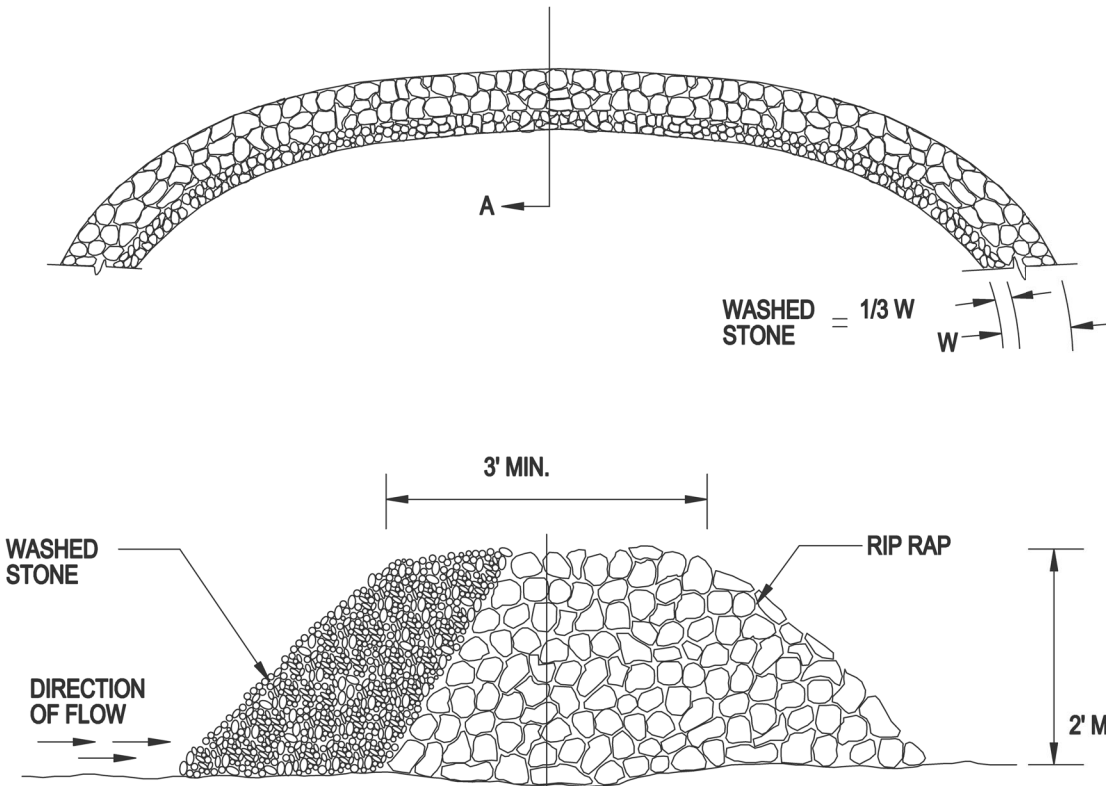
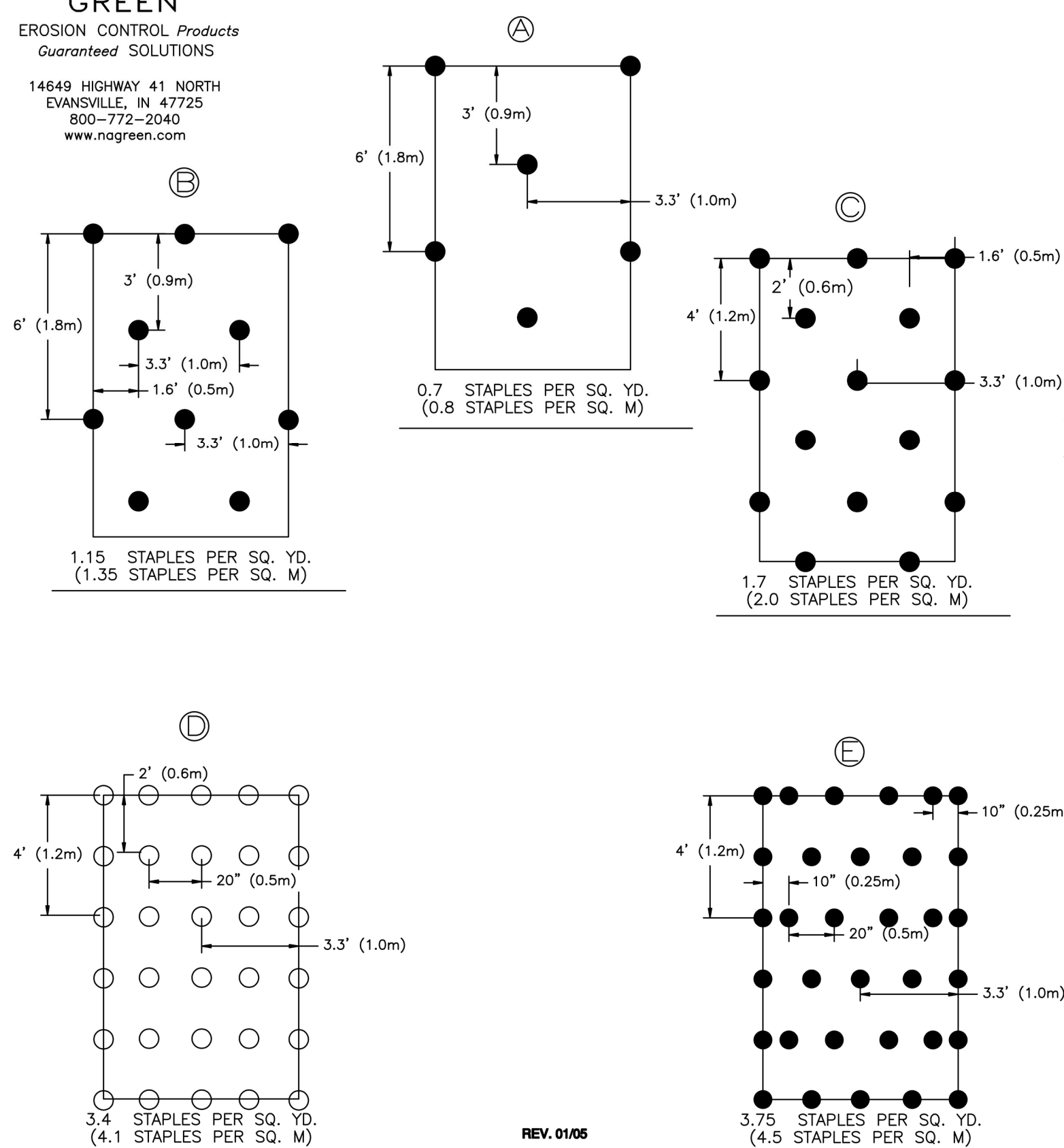


1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
  2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE RECP'S IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) ACROSS THE WIDTH OF THE RECP'S.
  3. ROLL CENTER RECP'S IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
  4. PLACE CONSECUTIVE RECP'S END OVER END (SHINGLE STYLE) WITH A 4" - 6" (10 CM - 15 CM) OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER TO SECURE RECP'S.
  5. FULL LENGTH EDGE OF RECP'S AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
  6. ADJACENT RECP'S MUST BE OVERLAPPED APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) (DEPENDENT ON RECP'S TYPE) AND STAPLED.
  7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9 M - 12 M) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
  8. THE TERMINAL END OF THE RECP'S MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- NOTE:  
\* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE RECP'S.

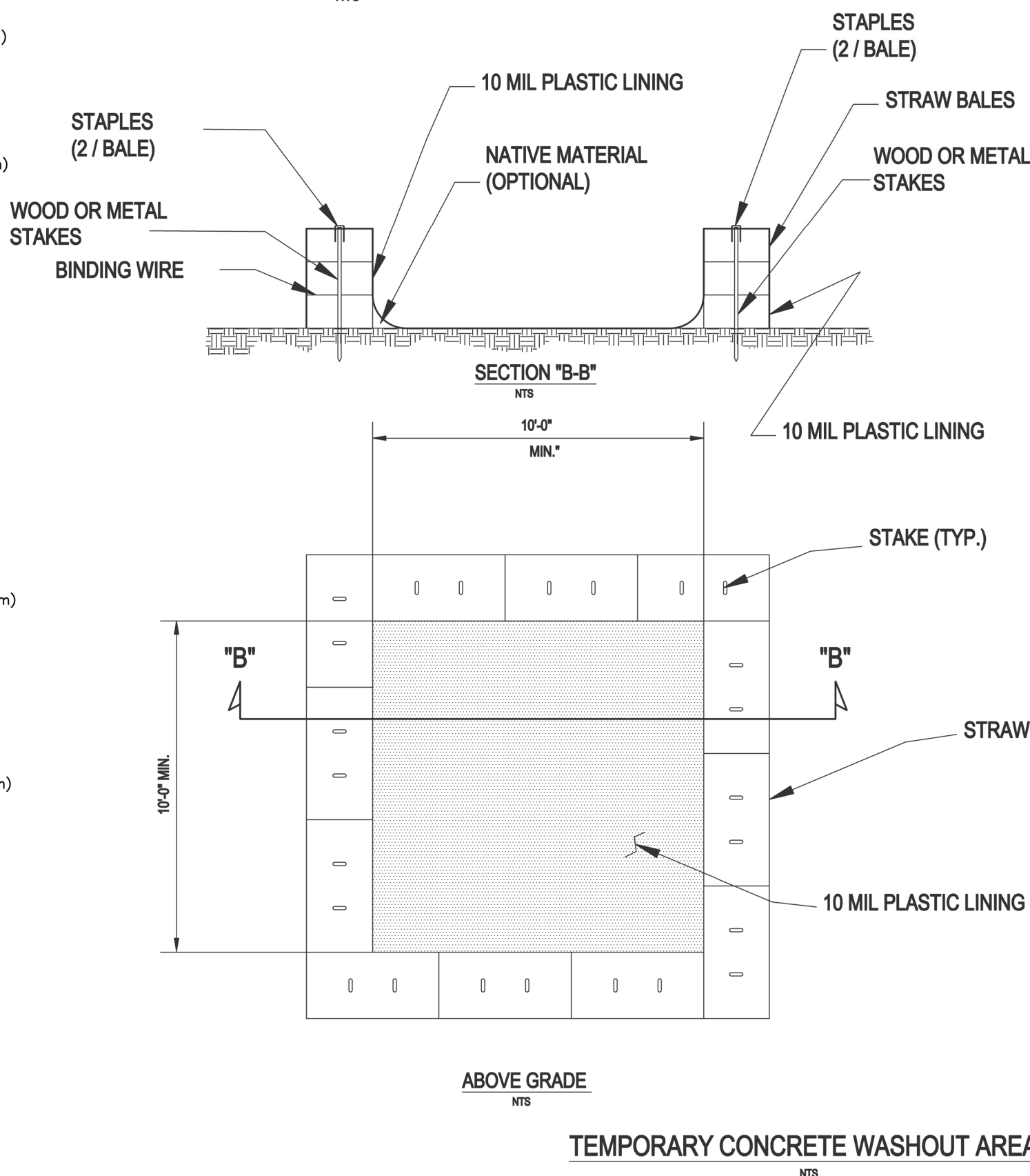
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**STAPLE PATTERN GUIDE**  
6.67' (2.03 M) WIDE ROLLS



**STONE FILTER CHECK DAM**



**SEEDING**

**SEEDBED PREPARATION:**

1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2. RIP THE ENTIRE AREA TO SIX INCHES DEEP.
3. REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
4. APPLY AGRICULTURAL LIME, FERTILIZER AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL. (SEE MIXTURE BELOW).
5. CONTINUE TILLAGE UNTIL A WELL-FERLIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOUR TO SIX INCHES DEEP.
6. SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
8. INSPECT ALL SEEDBED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON. IF POSSIBLE, IF STAND SHOULD BE MORE THAN 80% DAMAGED, RE-ESTABLISH FOLLOWING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
9. CONSULT ENGINEER OR LANDSCAPE ARCHITECT ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

**MIXTURE:**

AGRICULTURAL LIMESTONE: 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)  
FERTILIZER: 1,000 LBS/ACRE - 10-10-10  
SUPERPHOSPHATE: 500 LBS/ACRE - 20% ANALYSIS  
MULCH: 2 TONS/ACRE - SMALL GRAIN STRAW  
ANCHOR: ASPHALT EMULSION AT 300 GAL/ACRE

**SEEDING SCHEDULE**

FOR SHOULDERS, SIDE DITCHES, SLOPES (MAX. 3:1):

DATE	TYPE	PLANTING RATE
AUG 15 - NOV 1	TALL FESCUE	300 LBS/ACRE
NOV 1 - MAR 1	TALL FESCUE & ABRUZZI RYE	300 LBS/ACRE
MAR 1 - APR 15	TALL FESCUE	300 LBS/ACRE
APR 15 - JUN 30	HULLED COMMON BERMUDAGRASS	25 LBS/ACRE
JUL 1 - AUG 15	TALL FESCUE AND BROWNTOP MILLET OR SORGHUM-SUDAN HYBRIDS***	125 LBS/ACRE (TALL FESCUE); 35 LBS/ACRE (BROWNTOP MILLET); 30 LBS/ACRE (SORGHUM-SUDAN HYBRIDS)

FOR SHOULDERS, SIDE DITCHES, SLOPES (3:1 TO 2:1):

DATE	TYPE	PLANTING RATE
MAR 1 - JUN 1	SERICA LESPEDEZA (SCARIFIED) AND USE THE FOLLOWING COMBINATIONS:	50 LBS/ACRE (SERICEA LESPEDEZA);
MAR 1 - APR 15	ADD TALL FESCUE	120 LBS/ACRE
MAR 1 - JUN 30	OR ADD WEEPING LOVE GRASS	10 LBS/ACRE
MAR 1 - JUN 30	OR ADD HULLED COMMON BERMUDAGRASS	25 LBS/ACRE
JUN 1 - SEPT 1	TALL FESCUE AND BROWNTOP MILLET OR SORGHUM-SUDAN HYBRIDS***	120 LBS/ACRE (TALL FESCUE); 35 LBS/ACRE (BROWNTOP MILLET); 30 LBS/ACRE (SORGHUM-SUDAN HYBRIDS)
SEPT 1 - MAR 1	SERICA LESPEDEZA (UNHILLED) - 70 LBS/ACRE (SERICEA LESPEDEZA); UNSCARIFIED) AND TALL FESCUE	120 LBS/ACRE (TALL FESCUE)
NOV 1 - MAR 1	AND ABRUZZI RYE	25 LBS/ACRE

CONSULT ENGINEER OR LANDSCAPE ARCHITECT FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DESIGNATED AREAS. THE ABOVE VEGETATION RATES ARE THOSE THAT DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

\*\*\* TEMPORARY: RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW MORE THAN 12" IN HEIGHT BEFORE MOWING; OTHERWISE, FESCUE MAY BE SHADED OUT.

**Gettle Engineering and Design, PLLC**  
3616 Waxwing Court,  
Wake Forest, North Carolina 27587  
(919) 210-3934  
Firm License P-2538

NO.	DATE	BY	REVISION DESCRIPTION
1	07-26-2022	INITIAL SUBMITTAL	
2	10-2-2022	Revised per Town / COR Comment	
3	DATE	COMMENT	
4	DATE	COMMENT	
5	DATE	COMMENT	
6	DATE	COMMENT	
7	DATE	COMMENT	



**Erosion Control Details**  
South Main Street  
503 South Main Street  
Rolesville, Wake County, North Carolina

Project No. 22003  
Dwg No. **EC6**

PRELIMINARY  
DO NOT USE FOR  
CONSTRUCTION

**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**

**Temporary and Permanent Groundcover\***

Site Area Description	Stabilization	Timeframe Exceptions
Perimeter ditches, swales, ditches, slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not deeper than 2', 10 days are allowed.
Slopes 2:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeter and HQW Zones.

\*For Falls Lake watershed, in disturbed areas where grading activities are incomplete, provide temporary groundcover no later than seven (7) days for slopes steeper than 3:1; ten (10) days for slopes equal to or flatter than 3:1; fourteen (14) days for areas with no slope.

**GROUND STABILIZATION SPECIFICATION**  
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> <li>Temporary grass seed covered with straw or other mulches and tackifiers</li> <li>Hydroseeding</li> <li>Reeled erosion control products with or without temporary grass seed</li> <li>Appropriately applied straw or other mulch</li> <li>Plastic sheeting</li> </ul>	<ul style="list-style-type: none"> <li>Permanent grass seed covered with straw or other mulches and tackifiers</li> <li>Geotextile fabric/sacks as permanent soil reinforcement matting</li> <li>Hydroseeding</li> <li>Straw or other permanent plantings covered with mulch</li> <li>Uniform and evenly distributed ground cover sufficient to restrain erosion</li> <li>Structural methods such as concrete, asphalt or retaining walls</li> </ul>

- POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**
- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
  - Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
  - Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
  - Provide ponding area for containment of treated stormwater before discharging offsite.
  - Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

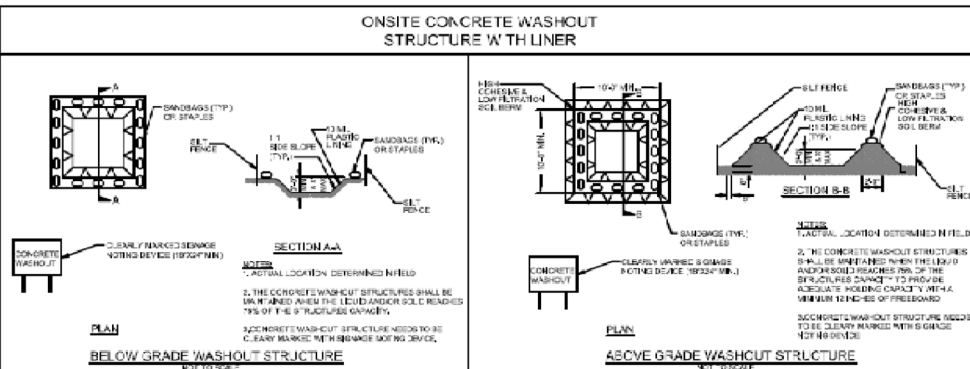
- EQUIPMENT AND VEHICLE MAINTENANCE**
- Maintain vehicles and equipment to prevent discharge of fluids.
  - Provide drip pans under any stored equipment.
  - Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
  - Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
  - Remove leaking vehicles and construction equipment from service until the problem has been corrected.
  - Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

- LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**
- Never bury or burn waste. Place litter and debris in approved waste containers.
  - Provide a sufficient number of waste containers on site to manage the quantity of waste produced.
  - Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
  - Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
  - Cover waste containers at the end of each workday and before storm events. Repair or replace damaged waste containers.
  - Anchor all lightweight items in waste containers during times of high winds.
  - Empty waste containers as needed to prevent overflow.
  - Dispose waste off-site at an approved disposal facility.

- PAINT AND OTHER LIQUID WASTE**
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
  - Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
  - Contain liquid wastes in a controlled area.
  - Containment must be labeled, sized and placed appropriately for the needs of site.
  - Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

- PORTABLE TOILETS**
- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
  - Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
  - Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

- EARTHEN STOCKPILE MANAGEMENT**
- Show stockpile locations on plans. Locate earth-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
  - Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
  - Provide stable stone access point when feasible.
  - Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



- CONCRETE WASHOUTS**
- Do not discharge concrete or cement slurry from the site.
  - Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
  - Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
  - Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
  - Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulates within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
  - Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
  - Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
  - Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
  - Remove loadings from the washout when at approximately 75% capacity to limit overflow events. Keep the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
  - At the completion of the concrete work, remove remaining loadings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

- HERBICIDES, PESTICIDES AND RODENTICIDES**
- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
  - Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
  - Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
  - Do not stockpile these materials onsite.

- HAZARDOUS AND TOXIC WASTE**
- Create designated hazardous waste collection areas on-site.
  - Place hazardous waste containers under cover or in secondary containment.
  - Do not store hazardous chemicals, drums or bagged materials directly on the ground.



**NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 03/01/19**

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the inspection record.

Inspect	Frequency (during normal business hours)	Inspection records must include [40 CFR 122.41]:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amount. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those un-attended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero". The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measures. 6. Corrective actions taken, and 7. Date of actions taken.
(3) Stormwater discharge outfalls (SDO)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Actions taken to correct/prevent sedimentation, and 7. Date of actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If visible sediment on is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Date of actions taken, and 3. An explanation into the actions taken to control future releases.
(5) Streams or wetlands on-site or within accessible	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Evidence and actions taken to reduce sediment contribution, and 2. Records of the required reports to the appropriate Division Regional Office per Part 111, Section C, Item (2)(a) of this permit.

NOTE: The rain inspection meets the required 7 calendar day inspection requirement.

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**

**1. E&SC Plan Documentation**

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report to indicate the completion of the corrective action.
(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

**2. Additional Documentation**

In addition to the E&SC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This general permit as well as the certificate of coverage, after it is received.
- Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- All data used to complete the Notice of Intent and other inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**

- 1. Occurrences that must be reported**
- Permittees shall report the following occurrences:
- Visible sediment deposition in a stream or wetland.
  - Oil spills:
    - They are 25 gallons or more,
    - They are less than 25 gallons but cannot be cleaned up within 24 hours,
    - They cause sheen on surface waters (regardless of volume), or
    - They are within 100 feet of surface waters (regardless of volume).
  - Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 117.3 and 40 CFR 117.3); or Section 102 of CERCLA (Ref: 40 CFR 302.4) or GS 143 215.65.
  - Anticipated bypasses and unanticipated bypasses.
  - Noncompliance with the conditions of this permit that may endanger health or the environment.
- 2. Reporting Timeframes and Other Requirements**
- After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 856 0956 or (919) 733 3396.
- | Occurrence   | Reporting Timeframes (After Discovery) and Other Requirements   |
|--|---|
| (a) Visible sediment deposition in a stream or wetland   | <ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>If the stream is named in the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters commitments.</li> </ul>   |
| (b) Oil spills and release of hazardous substances per item 1(b)-(c) above   | <ul style="list-style-type: none"> <li>Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li> <li>A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.</li> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.</li> <li>Within 24 hours, an oral or electronic notification.</li> <li>Within 7 calendar days, a report that contains a description of the noncompliance, and its causes, the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(f)(6).] Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul> |
| (c) Anticipated bypasses [40 CFR 122.41(m)(3)]   |   |
| (d) Unanticipated bypasses [40 CFR 122.41(n)(3)]   |   |
| (e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)] |   |



**NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 03/01/19**

**Gettle Engineering and Design, PLLC**  
3616 Waxwing Court,  
Wake Forest, North Carolina 27587  
(919) 210-3934  
Firm License P-2538

NO.	DATE	BY	REVISION/DESCRIPTION
1	07-26-2012		INITIAL SUBMITTAL
2	10-2-2012		Revised per Town/COR Comment
3	DATE	BY	COMMENT
4	DATE	BY	COMMENT
5	DATE	BY	COMMENT
6	DATE	BY	COMMENT
NO.	DATE	BY	REVISION/DESCRIPTION



**NCG01 REQUIREMENTS**  
South Main  
503 South Main Street  
Rolesville, Wake County, North Carolina

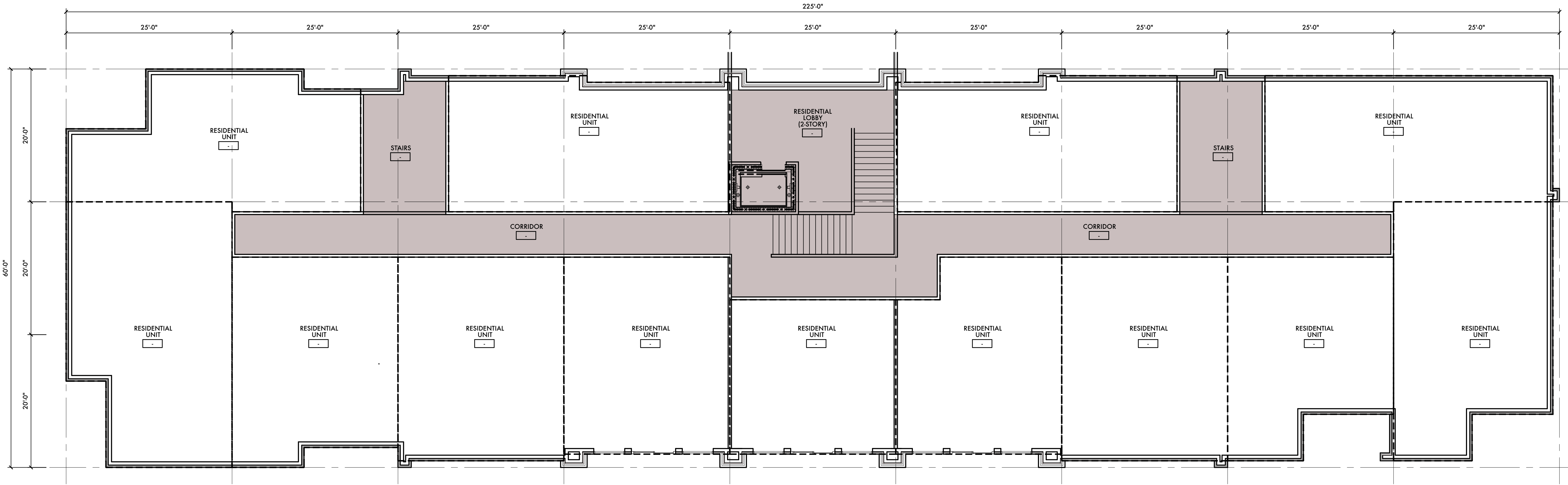
Project No. 22003  
Dwg No. **EC7**

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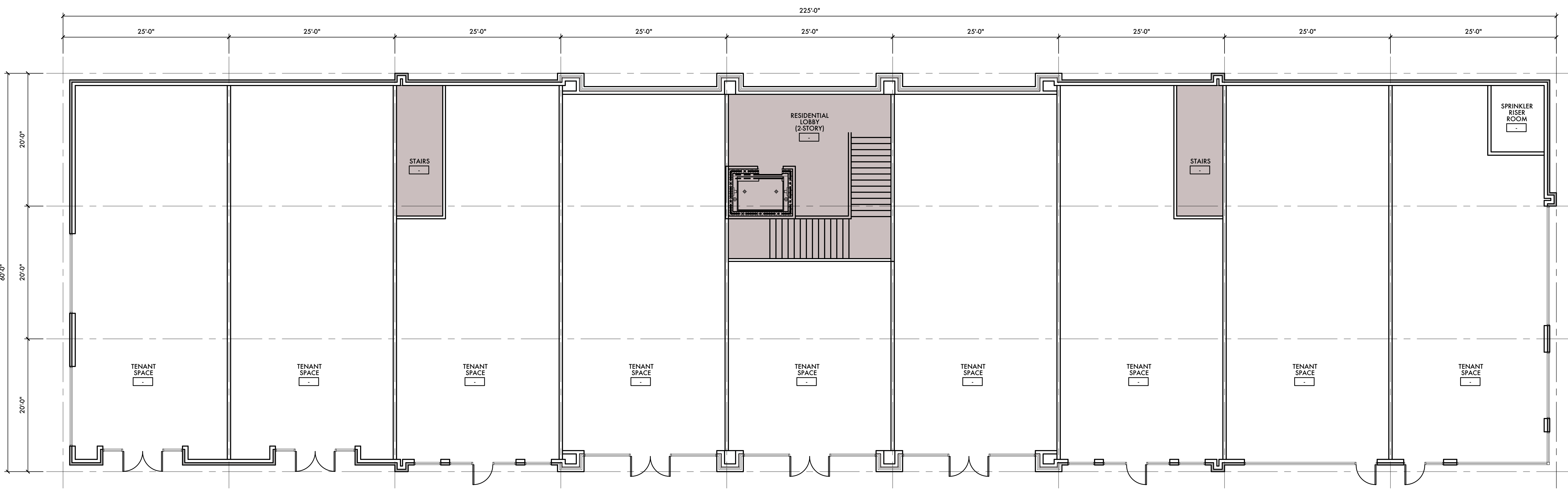
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**B1 SECOND FLOOR PLAN**  
 A-1.01 SCALE: 1/8"=1'-0"

"C" - BLOCK

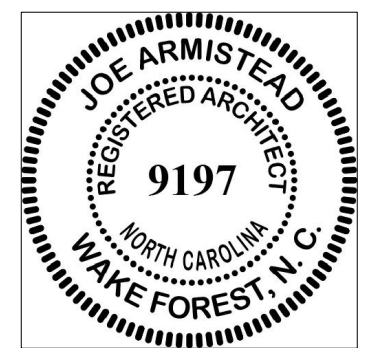
"D" - BLOCK



**D1 FIRST FLOOR PLAN**  
 A-1.01 SCALE: 1/8"=1'-0"



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Consultants:

No.	Revision	Date

xxxx.dwg J. Armistead  
 File Name: Drawn By

Client/Project  
 SOUTH MAIN  
 MIXED USE  
 DEVELOPMENT  
 Raleigh, North Carolina

Sheet Title  
**FLOOR  
 PLAN**  
 Project No.:  
**22034**  
 Revision:  
**A**

Sheet No.:  
**A-1.01**

Comment #10 - LDO 3.2.1. - Building Height Max. is 35'. LDO 11.7, the definition of "Building, height of" is: The vertical distance measured from the grade to the highest point of the coping of a flat roof; to the deck line of a mansard roof; or to the height level between the eaves and ridge of a gable, hip, or gambrel roof. The shown line for 35' is not based from any starting/measuring point - revise to show a vertical measurement. Staff finds "Grade" to be the finished/post-development Grade, but NOT the top of slab/foundation or "finished floor elevation (FFE)".

Comment #11 - Please explain what the two/twin roof features are and why they should not be construed as the point of peak height measurement of Building Height and thus not subject to the 35' maximum height limit.

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"B" - BLOCK

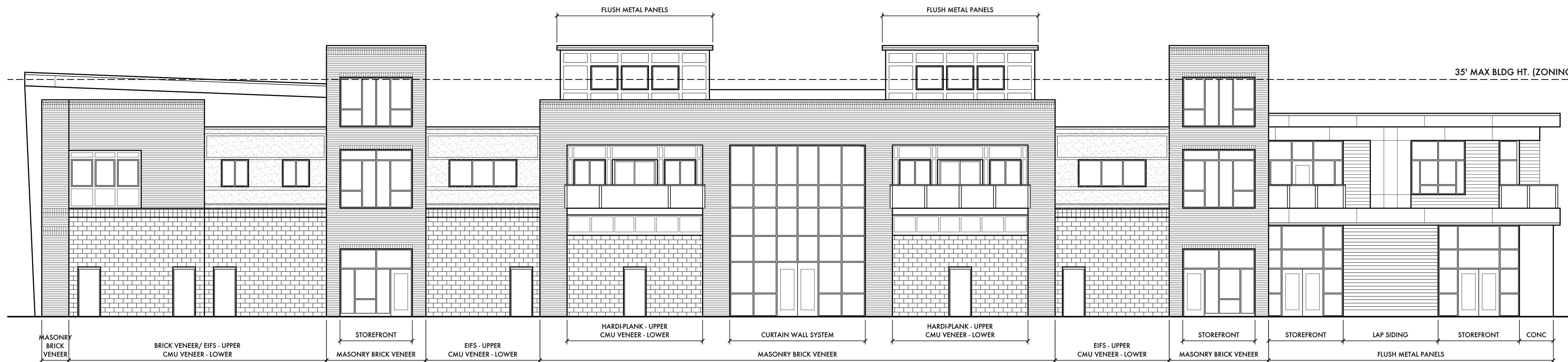


B1 NORTHWEST EXTERIOR ELEVATION (SOUTH MAIN ST.)  
A-3.01 SCALE: 1/8"=1'-0"

Comment #12 - this 3 level column and it's twin on other side are not observable on the S. Main Str. facade - please explain, as they both look to be visible from the other vantage point.

"C" - BLOCK

"D" - BLOCK



D1 SOUTHEAST EXTERIOR ELEVATION (WALL CREEK SUB.)  
A-3.01 SCALE: 1/8"=1'-0"



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Consultants:

No.	Revision	Date

xxxx.dwg J. Armistead  
File Name: Drawn By

Client/Project: MASONRY SOUTH MAIN MIXED USE DEVELOPMENT  
Raleigh, North Carolina

Sheet Title: EXTERIOR ELEVATIONS

Project No.: 22034  
Revision: A

Sheet No.: A-3.01

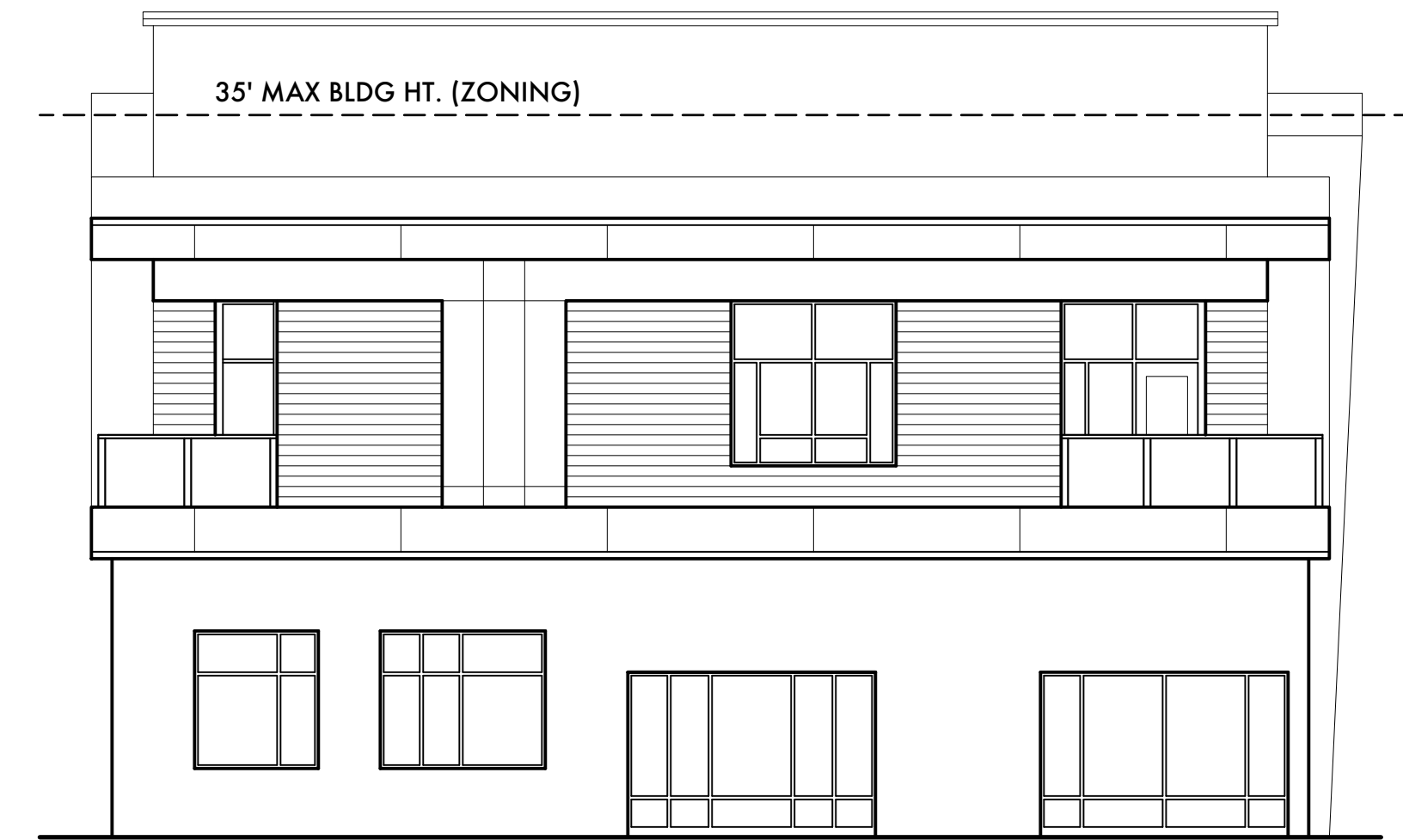
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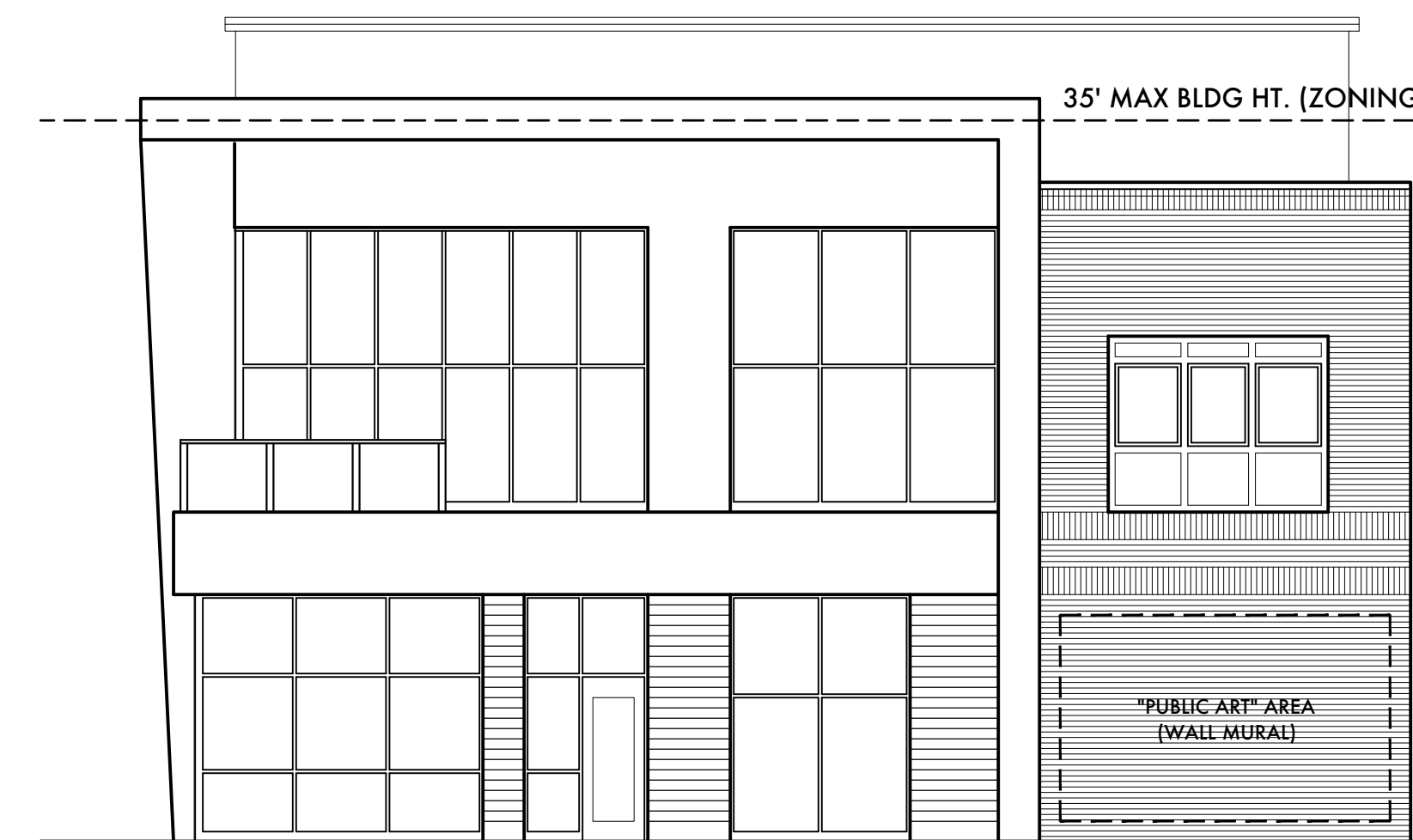
"D" - BLOCK

Comment #13 - See comments #11 and 12 - height of the over 2 story height features shown on front and back elevations are shown on these sides views - Why / revise to show them if visible - explain how/why not visible.



B3 NORTHEAST EXTERIOR ELEVATION (PETE SMITH)  
A-3.02 SCALE: 1/8"=1'-0"

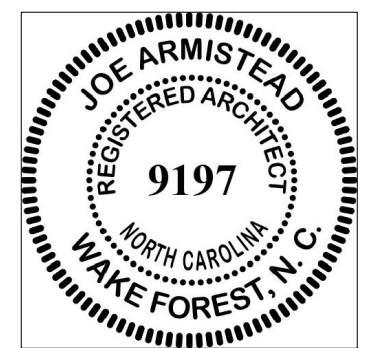
Comment #14 - presuming the shown 35' height limit is correctly placed (see Comment #10), explain how the building features higher than 35' are permitted to exceed maximum building height. Are they parapets screening roof-top equipment?



D3 SOUTHWEST EXTERIOR ELEVATION (WALL CREEK DRIVE)  
A-3.02 SCALE: 1/8"=1'-0"



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Consultants:

No.	Revision	Date

A - Administrative Site Plan Review 10/03/2022  
No. Issued Date

Client/Project  
Masonry  
SOUTH MAIN  
MIXED USE  
DEVELOPMENT  
Raleigh, North Carolina

Sheet Title  
EXTERIOR  
ELEVATIONS

Project No.: 22034 Revision: A

Sheet No.: A-3.02

COLUMN - 1

COLUMN - 2

COLUMN - 3

COLUMN - 4

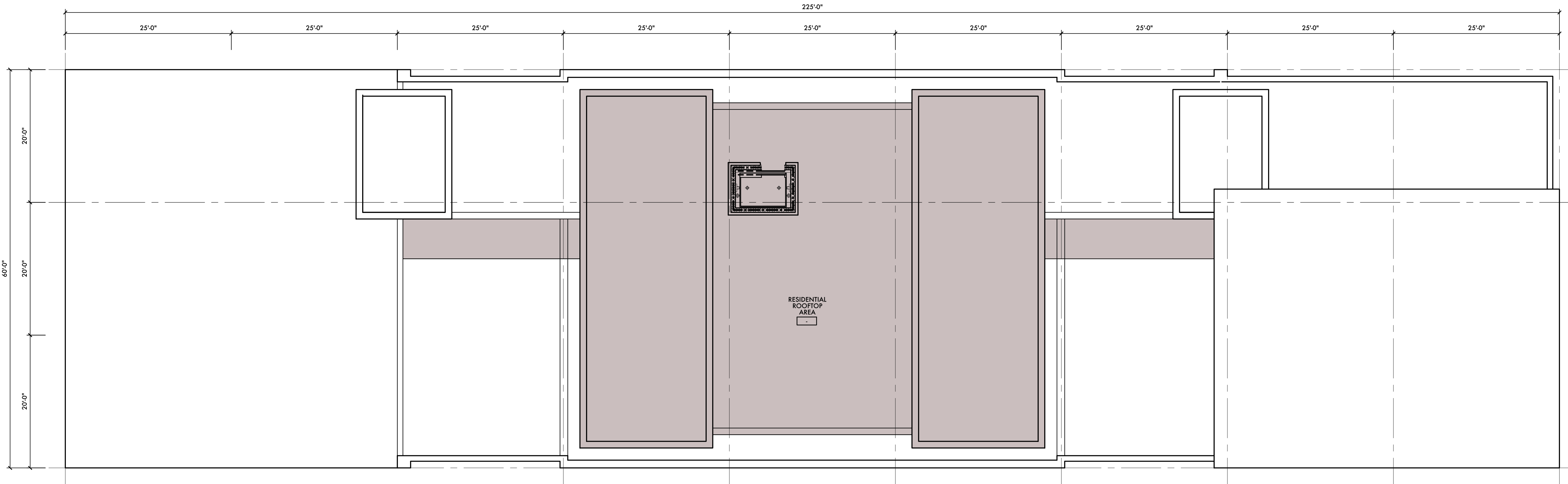
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"B" - BLOCK

"C" - BLOCK

"D" - BLOCK

B1 ROOF PLAN  
A.4.01 SCALE: 1/8"=1'-0"



Comment #15 - See comment #14 - clarify what is parapets, if/where RTU's are located, etc. so Staff can understand what is occurring on the roof top level as it relates to the architecture, and specifically how it relates to anything >the 35' maximum height line (which may be TBD based on Comment #10).



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Consultant:

No.	Revision	Date

A - Administrative Site Plan Review 10/03/2022  
 No. Issued Date

xxxx.dwg J. Armistead  
 File Name: Drawn By

Client/Project:  
 Mission/  
 SOUTH MAIN  
 MIXED USE  
 DEVELOPMENT  
 Raleigh, North Carolina

Sheet Title:  
 ROOF PLAN

Project No.: 22034  
 Revision: A

Sheet No.: A-4.01

COLUMN - 1

COLUMN - 2

COLUMN - 3

COLUMN - 4

File Location: