

COMMENT #1 - Add Site Data Table including: Property Identification Numbers (PIN) for all properties, Zoning, Watershed, River Basin, Current Use(s), Proposed Use(s), Current Impervious, Proposed Impervious, Parking Data per use, Tree Coverage Data, residential density and unit data per housing type.

COMMENT 2 -- Please explain where in submittal future ownership or open spaces lands is addressed, or revise/provide accordingly. Sheet 2.1 is (partly) Named "Open Space" but there are no calculations, tables, etc. about Open Spaces.

COMMENT # 3_: Per UDO Sec. 15.3.8. - Please create BLOCK numbers for each Block. With Lots being numerically numbered, Blocks are typically Alphabetical (A, B, C, etc.). Block order should be logical ie, moving left to right or clock-wise based on the natural shape of subdivision and how the blocks are separated (by ROW). Lots should be sequential; either 1 - (91 in this case), or say Block A has Lots 1-9, Block B should start with Lot 10.... It is OK to separate out the TH from SFD for lot numbers, ie if Block A is SFD Lots 1-9, but Block B is Townhomes it can also be Lots 1-9. Looking at teh plat, and based on teh shape using a counter-clockwise view starting at "12" :

- Block A will have SFD lots 1-9 and OS Lot 1 (small street buffer area adjacent Rolesville Rd) and OS Lot 2 (the 2 SCM's etc.)
- Block B will have SFD Lots 21-27 [note those do not keep in sequence after 1-9] and TH lots 1-64 and OS Lot 3 (a private street is not "ROW" but it does separate things - I would suggest actually OS lots 3A, 3B, and 3C for the 3 common spaces)
- Block C will have SFD lots 10-13 and 14-20 and OS Lot 3 (including the SCM and the picnic area) and LOS lot 4 (the small piece on Street A at Rolesville Road.)

COMMENT # 4 - Per UDO Sec. 15.4.5.1. - If applicable, provide written maintenance agreement.

COMMENT # 5 - Only the [91] residential lots are numbered; why are the various other pieces of property that will be created not numbered? Staff counts 4 contiguous "lots" within the SFD area, and 1 contiguous lot within the Townhome area because Streets C and D are "private" and not dedicated ROW but for tracking purposes could be viewed as 1, 2, 3 "lots" of open/common space in the townhome area. See Comment #1 about naming all properties created with a proper Block/ Lot structure.

COMMENT # 6 - Provide Text box with case numbers of previous approvals which is ANX 21-04 and MA 21-06. Incorporate/relocate the list of the Rezoning Conditions already provided.

COMMENT # 7 --- TA 20-01 was adopted as Ordinance 2020-O-06 on 9-15-2020. This allows Single Family Detached Use in the UDO R-3 District, and established minimum Lot Dimension standards for such. The published UDO does not and will not reflect the Text Amendment; it is anticipated to always be a stand-alone Ordinance. Please provide a reference note to capture this key UDO amendment which has enabled this project to be developed. Suggested language: "TA 20-01 was adopted 9-15-20, permitting the 'dwelling - Single Family detached' Use in the R-3 District, and established: Minimum Lot area of 10,000 SF; Minimum lot width of 65'; Front yard setback of 25'; Side yard setback of 10'; Corner yard setback of 15'; Rear Yard setback of 25' "

PRELIMINARY SUBDIVISION PLAT FOR TUCKER WILKINS TRACT

SITUATED AT
0,1918,2012 AND 2016 ROLESVILLE
ROAD

WAKE COUNTY, NORTH CAROLINA



VICINITY MAP
SCALE: 1"=1000'

THESE IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE FOLLOWING DRAWINGS AND THE STANDARD SPECIFICATIONS OF THE CITY OF RALEIGH, WAKE COUNTY, TOWN OF ROLESVILLE AND NCDOT.

COMMENT # 8_ - Correct General Note #4 and 5, and this title rezoning reference to MA 21-06 and add approval date (04/19/2022). Please update this section to include the correct notes and zoning conditions.

COMMENT # 9 - These are the wrong conditions (they are the Preserve at Moody Farms); MA 21-06 has 12 numbered Conditions. Revise.

COMMENT # 10_ - Given that the wrong conditions are on Cover Sheet - please speak to whether or not this Preliminary Plat was designed to be follow/be consistent with the Conditions that would directly relate to this PSP; Staff would find that #9 - 12 would be expressed in some way in this plan set.

COMMENT # 11_ - Confirm that there is NO phasing to this subdivision; sheet C4.0 in a Legend has a phasing line icon.

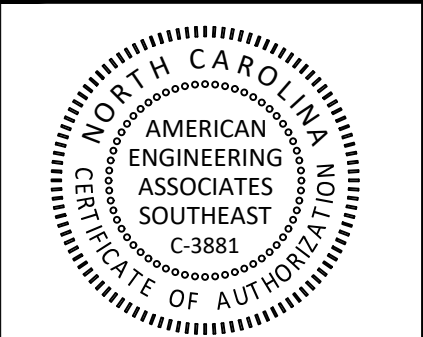
Sheet List Table	
Sheet Number	Sheet Title
CVR	COVER
1.0	EXISTING CONDITIONS
2.1	LOT AREAS, OPEN SPACE AND LAND USE PLAN
2.2	PROJECT DETAILS
3.0	SITE PLAN OVERALL
3.1	SITE PLAN 50 SCALE
3.2	SITE PLAN 50 SCALE
3.3	SITE PLAN 50 SCALE
3.4	CURVE & LINE TABLES
4.0	DRAINAGE AND GRADING OVERALL
4.1	DRAINAGE AND GRADING 50 SCALE
4.2	DRAINAGE AND GRADING 50 SCALE
4.3	DRAINAGE AND GRADING 50 SCALE
5.0	UTILITY SHEETS OVERALL
5.1	UTILITY SHEETS 30 SCALE
5.2	UTILITY SHEETS 30 SCALE
5.3	UTILITY SHEETS 30 SCALE
6.0	ROLESVILLE RD IMPROVEMENTS
6.1	STRIPING PLAN
7.0	PRE DRAINAGE AREA MAP

ENGINEER:	AMERICAN ENGINEERING CONTACT: BRAD HAERTLING 4020 WESTCHASE BLVD, STE. 450 RALEIGH, NC 27607 PHONE:919-469-1101 EMAIL: bhaertling@american-ea.com
PROPERTY OWNER:	PARKER, SUE SCARBORO PARKER, BETSY SCARBORO 7312 FEATHERSTONE CT WILMINGTON NC 28411-7113 PIN 1767264441 WILKINS, BETSY S AND SCARBORO, C WALLACE 7312 FEATHERSTONE CT WILMINGTON NC 28411-7113 PIN: 1767263062 PEARCE LOUIS WILLARD TRUSTEE AND PEARCE, ALICE MITCHELL TRUSTEE 2004 ROLESVILLE RD WAKE FOREST NC 27587-6970 PIN: 1767257612 GODFREY, TIMOTHY WADE AND GODFREY, MARY MITCHELL 2016 ROLESVILLE RD WAKE FOREST NC 27587-6970 PIN: 1767256316
DEVELOPER:	DREES HOMES CONTACT: SHAWN GADDIS 8521 FORKS ROAD, SUITE 500 RALEIGH, NC 27615 PHONE: (979) 844-9288
SURVEYOR:	WITHERS RAVENEL CONTACT: MATT TIMLIN 115 MACKENIAN DRIVE CARY, NC 27511 919-469-3340
BUFFER/WETLAND:	WITHERS RAVENEL CONTACT: TROY BEASLEY 115 MACKENIAN DRIVE CARY, NC 27511 919-469-3340

- GENERAL NOTES:
- CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL (1-800-632-4949) TO LOCATE ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE EXISTING UTILITIES AND NOTIFY THE PROJECT ENGINEER (919-469-1101) OF ANY CONFLICTS.
 - ALL BOUNDARY AND FIELD TOPOGRAPHY PROVIDED BY WITHERS & RAVENEL.
 - THE ZONING ENTITLEMENTS ACHIEVED/FACILITATING THIS PRELIM PLAT IS MA 21-05, APPROVED 12-7-2021 AS TOWN BOARD AGENDA ITEM B.2 ON THE CONSENT AGENDA; IT INCLUDES 5 CONDITIONS AND A CONCEPT PLAN DRAWING.
 - PLEASE SEE "APPROVED WITH MA 21-05 BY TOWN BOARD OF COMMISSIONERS" IS NUMBER 7.0.

ZONING CONDITIONS (CASE # MA210504)

- PERMITTED USE LIMITED TO "DWELLING - SINGLE FAMILY."
- ALL DWELLINGS TO BE CONSTRUCTED ON RAISED FOUNDATIONS WITH CRAWLSPACES. NO ON-SLAB CONSTRUCTION.
- DEVELOPMENT TO INCORPORATE A PUBLIC GREENWAY AS SHOWN ON THE SKETCH PLAN INCORPORATING OPTION 2 TOGETHER WITH WAYFINDING SIGNAGE AND CONSTRUCTION OF A 10' OFF-SITE MULTI-USE PATH ALONG WOOLLYN PARK DRIVE, CONNECTING THIS GREENWAY TO THE PROPOSED KALAS FALLS GREENWAY.
- PRIOR TO COMPLETION OF THE ON-SITE GREENWAY, A 6' SOLID BOARD FENCE SHALL BE ERRECTED ALONG THE PROPERTY BOUNDARY LINE FRONTING THE EASTERN TERMINUS OF THE GREENWAY AND BORDERING THE SHORE PROPERTY (PIN . 1767-38-1953) .
- ON-SITE CONSTRUCTION SHALL NOT COMMENCE UNTIL THE KALAS FALLS ROLESVILLE ROAD WIDENING PROJECT IS COMPLETE.



PRELIMINARY
FOR CONSTRUCTION

FOR INFORMATION, ONLY

NO.	DATE	REVISION

STIPULATION FOR REUSE

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Tucker Wilkins
Tract
COVER
Rolesville, Wake County
North Carolina 27587

JOB NUMBER: R210017

CHECKED BY:

DRAWN BY: AE

DATE: 12-1-2022

SHEET TITLE:

COVER

SHEET NO.:

CVR

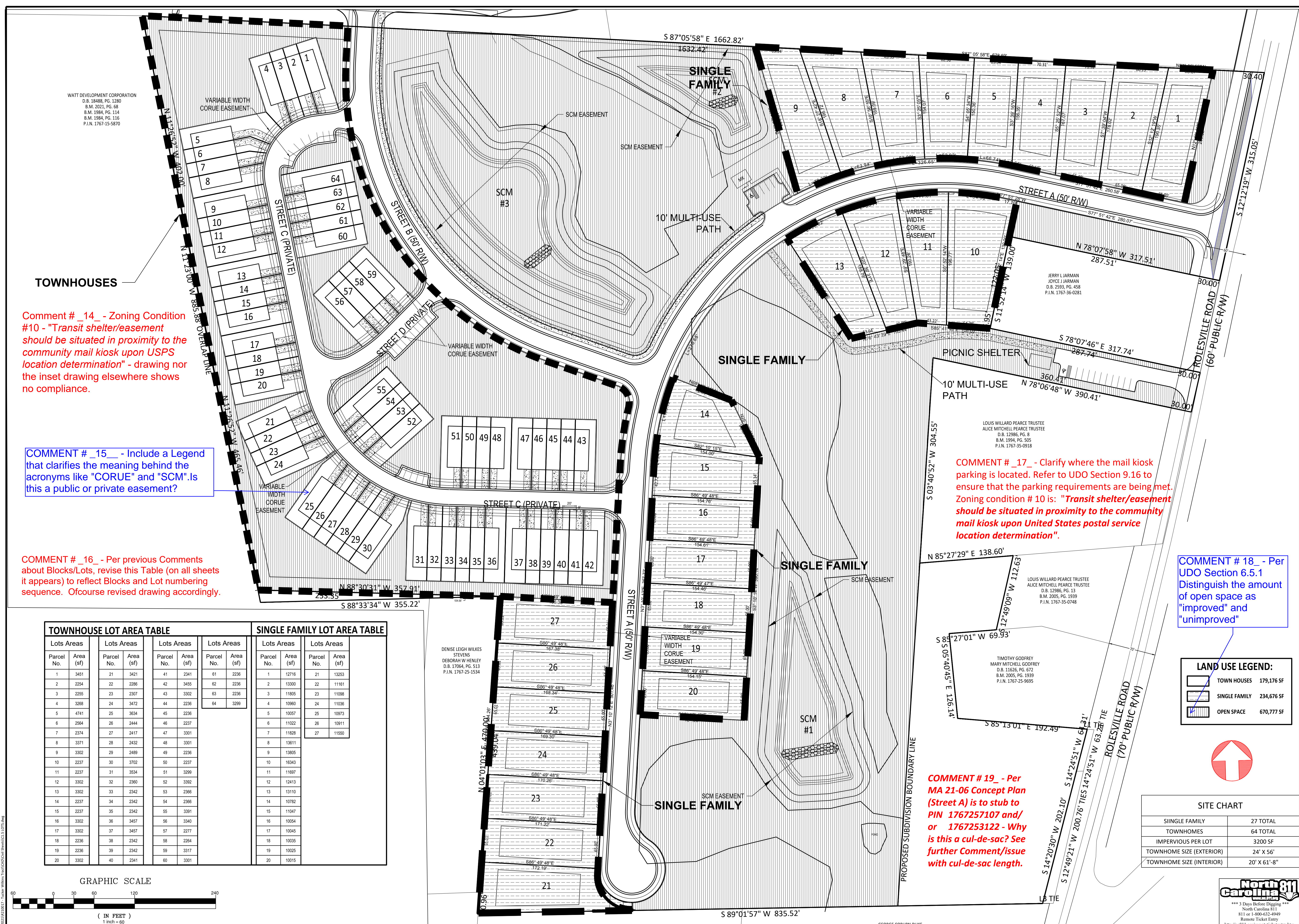


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Tucker Wilkins Tract
LOT AREAS, OPEN SPACE AND LAND USE PLAN
Rolesville, Wake County
North Carolina 27587

JOB NUMBER: R210017
CHECKED BY: AE
DRAWN BY: AE
DATE: 12-1-2022
SHEET TITLE: LOT AREAS, OPEN SPACE AND LAND USE PLAN
SHEET NO.: 2.1



WATT DEVELOPMENT CORPORATION
D.B. 18488, PG. 1280
B.M. 2021, PG. 68
B.M. 1984, PG. 114
B.M. 1984, PG. 116
P.I.N. 1767-15-5870

TOWNHOUSES

Comment # _14_ - Zoning Condition #10 - "Transit shelter/easement should be situated in proximity to the community mail kiosk upon USPS location determination" - drawing nor the inset drawing elsewhere shows no compliance.

COMMENT # _15_ - Include a Legend that clarifies the meaning behind the acronyms like "CORUE" and "SCM". Is this a public or private easement?

COMMENT # _16_ - Per previous Comments about Blocks/Lots, revise this Table (on all sheets it appears) to reflect Blocks and Lot numbering sequence. Ofcourse revised drawing accordingly.

TOWNHOUSE LOT AREA TABLE

Parcel No.	Area (sf)	Parcel No.	Area (sf)	Parcel No.	Area (sf)	Parcel No.	Area (sf)
1	3451	21	3421	41	2341	61	2236
2	2254	22	2286	42	3455	62	2236
3	2295	23	2307	43	3302	63	2236
4	3268	24	3472	44	2236	64	3299
5	4741	25	3834	45	2236		
6	2964	26	2444	46	2237		
7	2374	27	2417	47	3301		
8	3371	28	2432	48	3301		
9	3302	29	2489	49	2236		
10	2237	30	3702	50	2237		
11	2237	31	3534	51	3299		
12	3302	32	2360	52	3392		
13	3302	33	2342	53	2366		
14	2237	34	2342	54	2366		
15	2237	35	2342	55	3391		
16	3302	36	3457	56	3340		
17	3302	37	3457	57	2277		
18	2236	38	2342	58	2284		
19	2236	39	2342	59	3317		
20	3302	40	2341	60	3301		

SINGLE FAMILY LOT AREA TABLE

Parcel No.	Area (sf)	Parcel No.	Area (sf)	Parcel No.	Area (sf)	Parcel No.	Area (sf)
1	32716	21	13253				
2	13300	22	11161				
3	11805	23	11098				
4	10960	24	11036				
5	10057	25	10973				
6	11022	26	10911				
7	11828	27	11550				
8	13611						
9	13805						
10	16343						
11	11697						
12	12413						
13	13110						
14	10782						
15	11047						
16	10054						
17	10045						
18	10035						
19	10025						
20	10015						

DENISE LEIGH WILKES STEVENS
DESORAH W HENLEY
D.B. 17064, PG. 513
P.I.N. 1767-25-1534

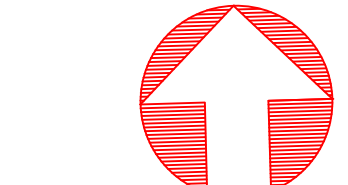
COMMENT # _17_ - Clarify where the mail kiosk parking is located. Refer to UDO Section 9.16 to ensure that the parking requirements are being met. Zoning condition # 10 is: "Transit shelter/easement should be situated in proximity to the community mail kiosk upon United States postal service location determination".

COMMENT # 18_ - Per UDO Section 6.5.1 Distinguish the amount of open space as "improved" and "unimproved"

COMMENT # 19_ - Per MA 21-06 Concept Plan (Street A) is to stub to PIN 1767257107 and/ or 1767253122 - Why is this a cul-de-sac? Why is this a cul-de-sac? with cul-de-sac length.

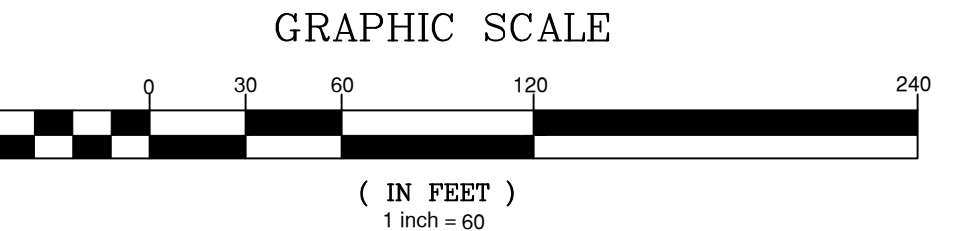
LAND USE LEGEND:

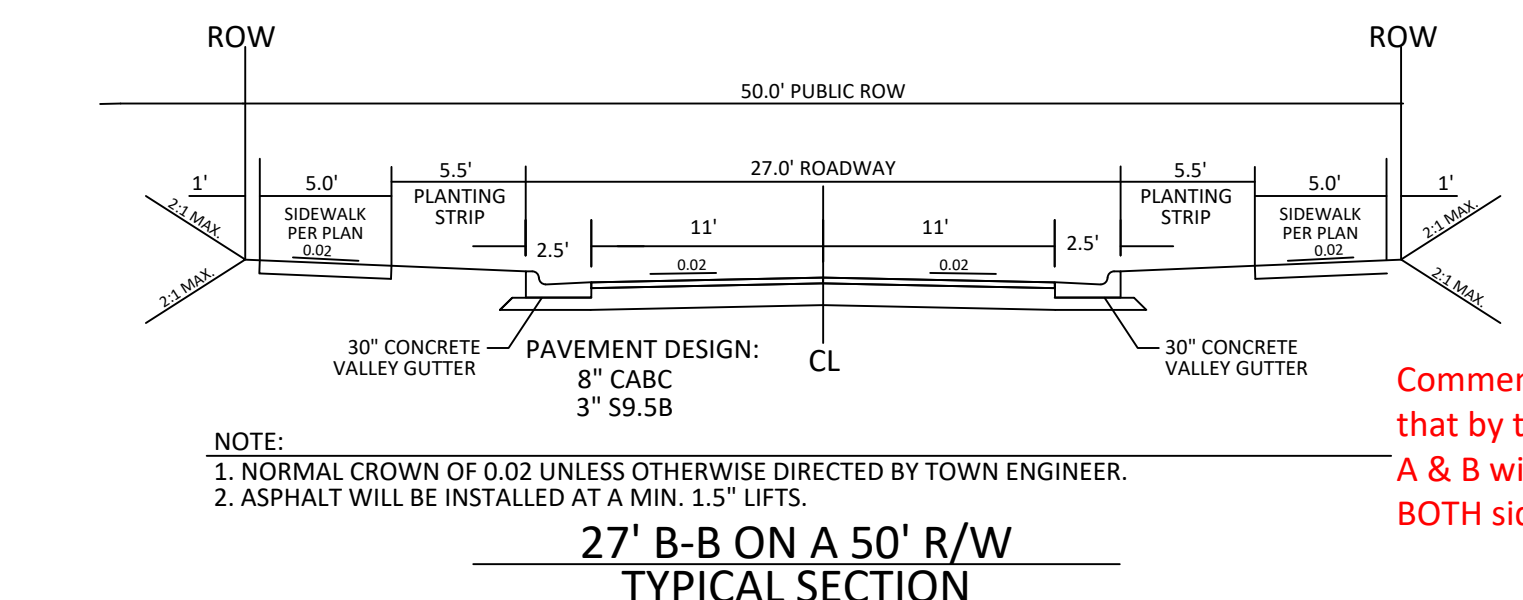
	TOWN HOUSES	179,176 SF
	SINGLE FAMILY	234,676 SF
	OPEN SPACE	670,777 SF



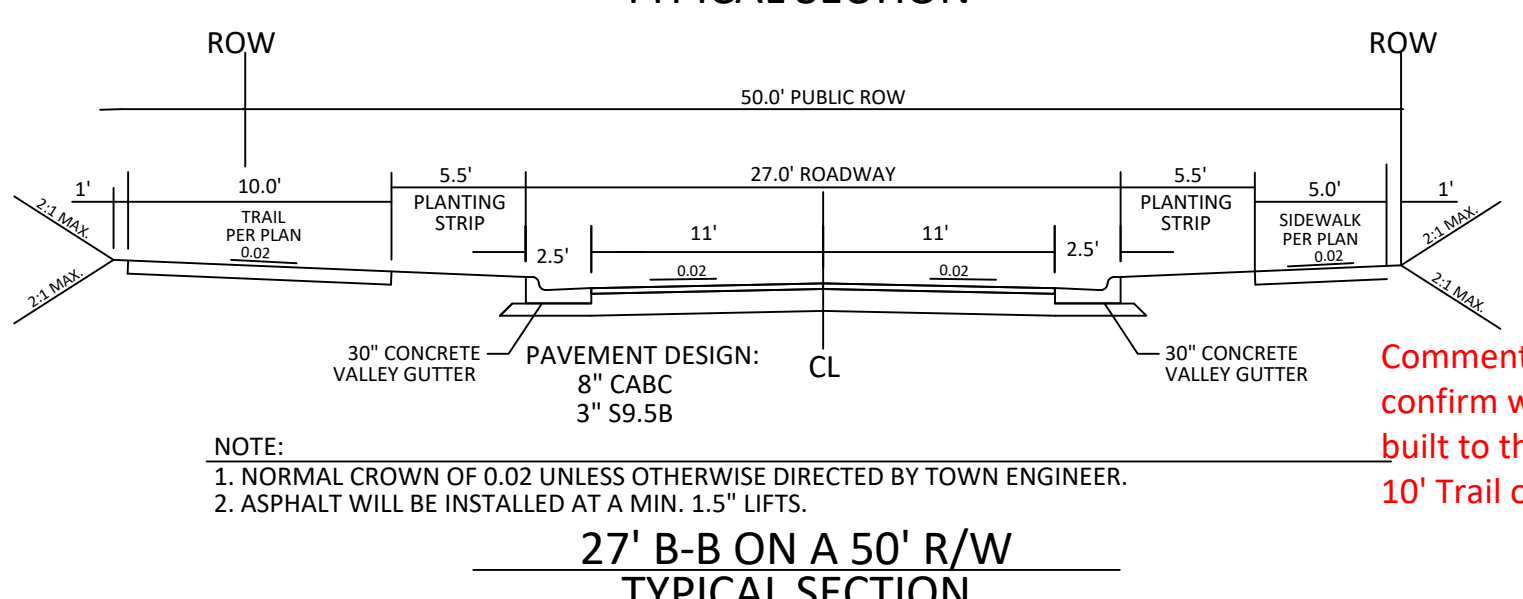
SITE CHART

SINGLE FAMILY	27 TOTAL
TOWNHOUSES	64 TOTAL
IMPERVIOUS PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"

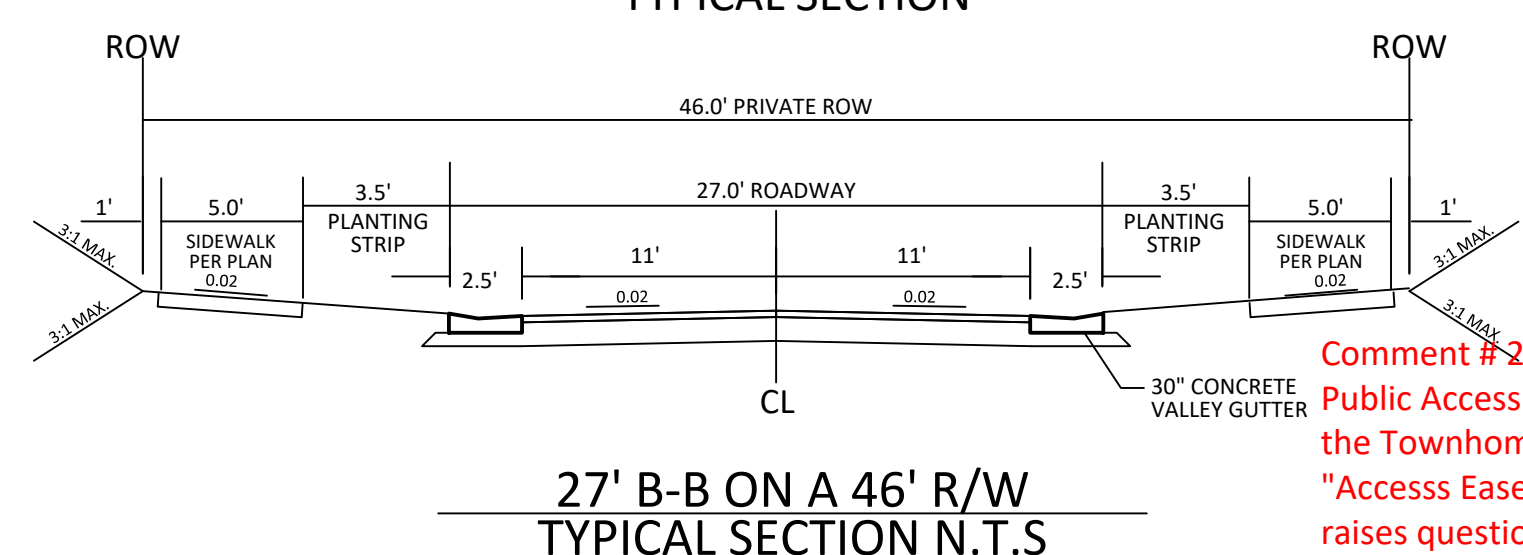




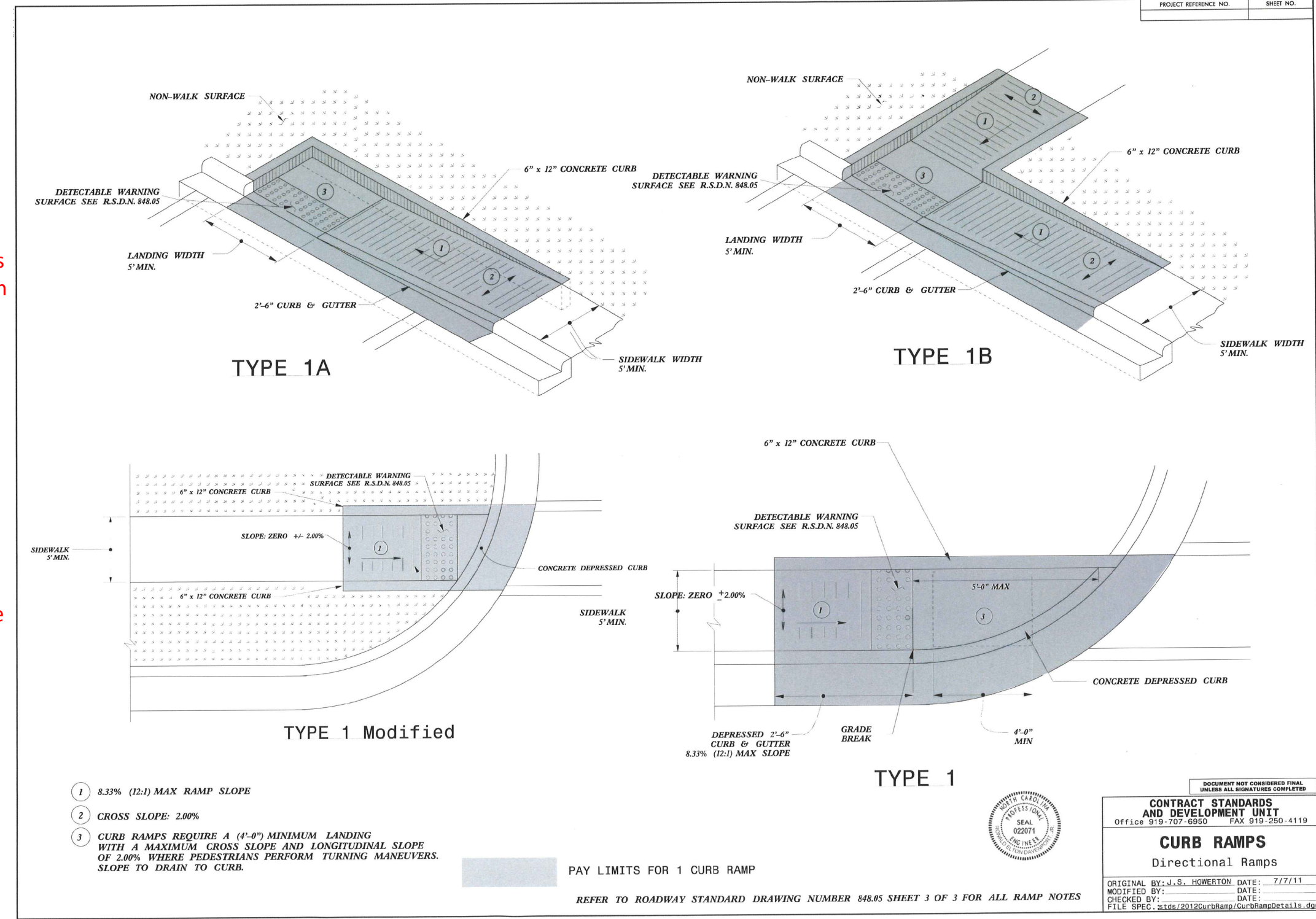
Comment # 20 - Confirm that by this Typical, Streets A & B will have sidewalk on BOTH sides.



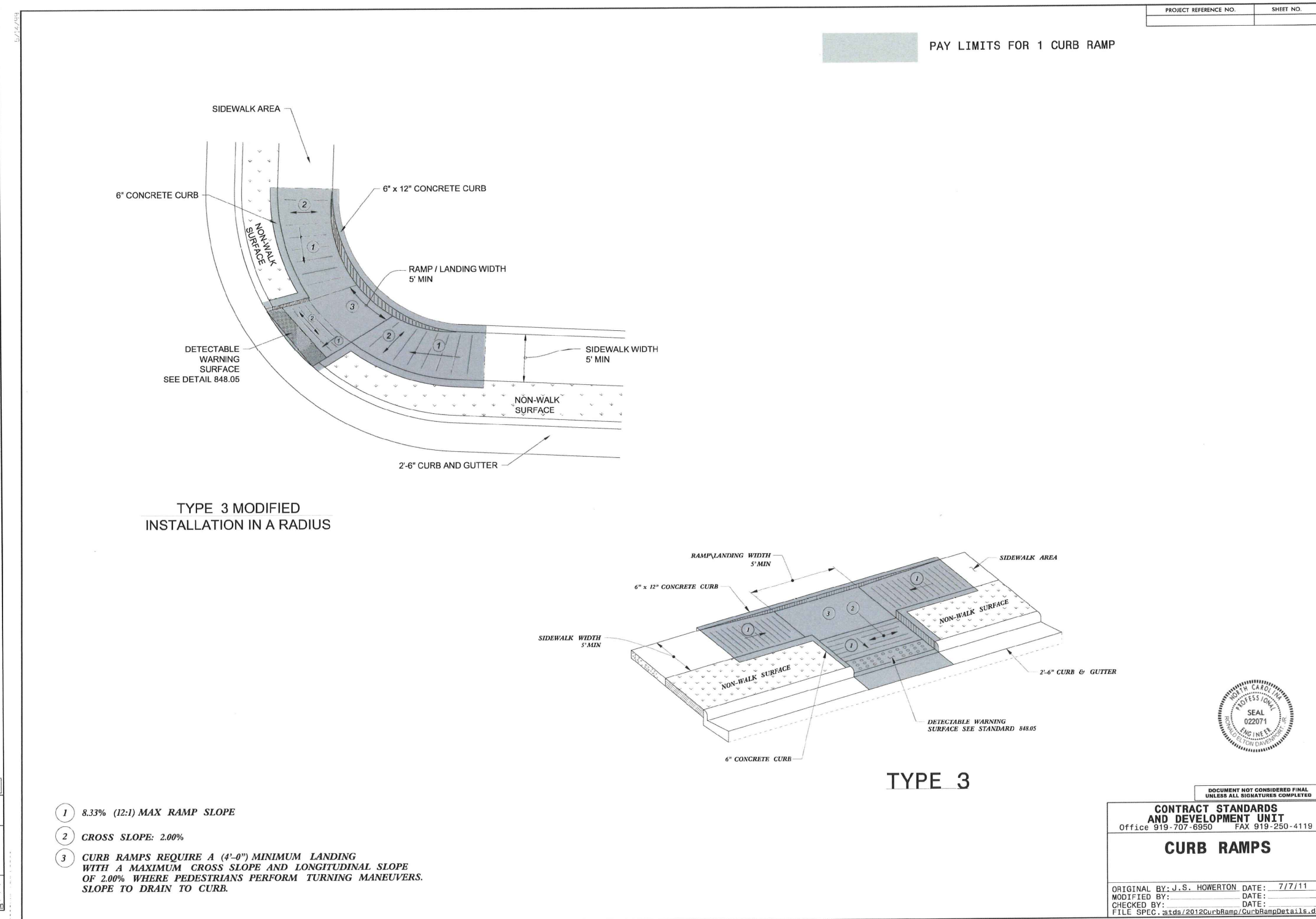
Comment # 21 - Clarify/confirm which Street will be built to this Section, with a 10' Trail on one side.



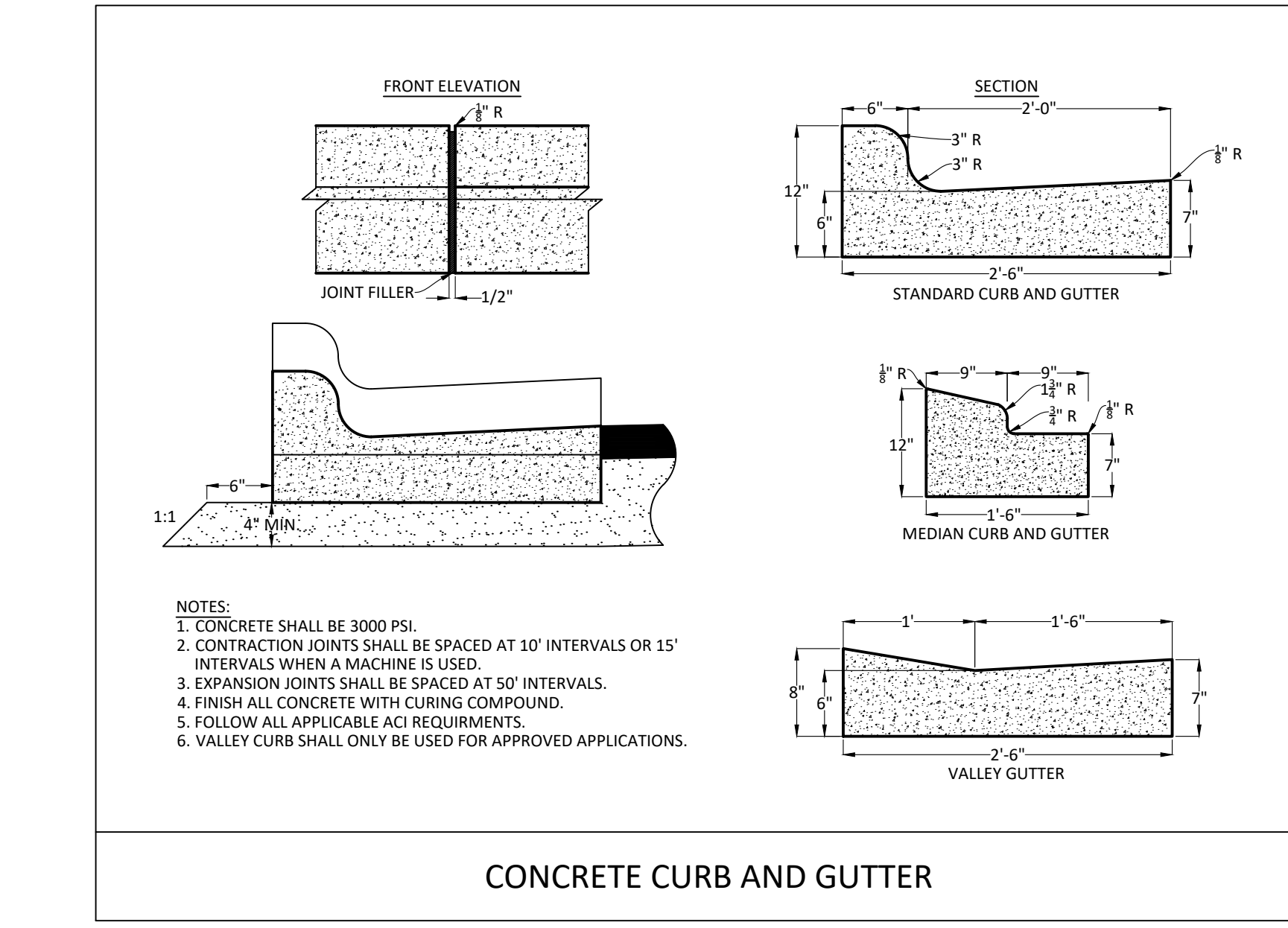
Comment # 22 - Clarify/confirm if Streets C and D are actually going to dedicate "ROW" or "R/W" to the HOA, or if these two streets will simply be built within Public Access Easements within the common lot(s) surrounding the Townhome building lots. This also plays into the Lot # topic (ie are Streets C and D bisecting the Townhomes area into 3 Blocks, or are they simply easements? Staff asks that "ROW" or "R/W" be terms reserved for actual dedicated Right of Way, and "Access Easements" be used for the alternative. Further comment that 46' is not a Town standard ROW width, as the minimum is 50' so that in and of itself raises questions.



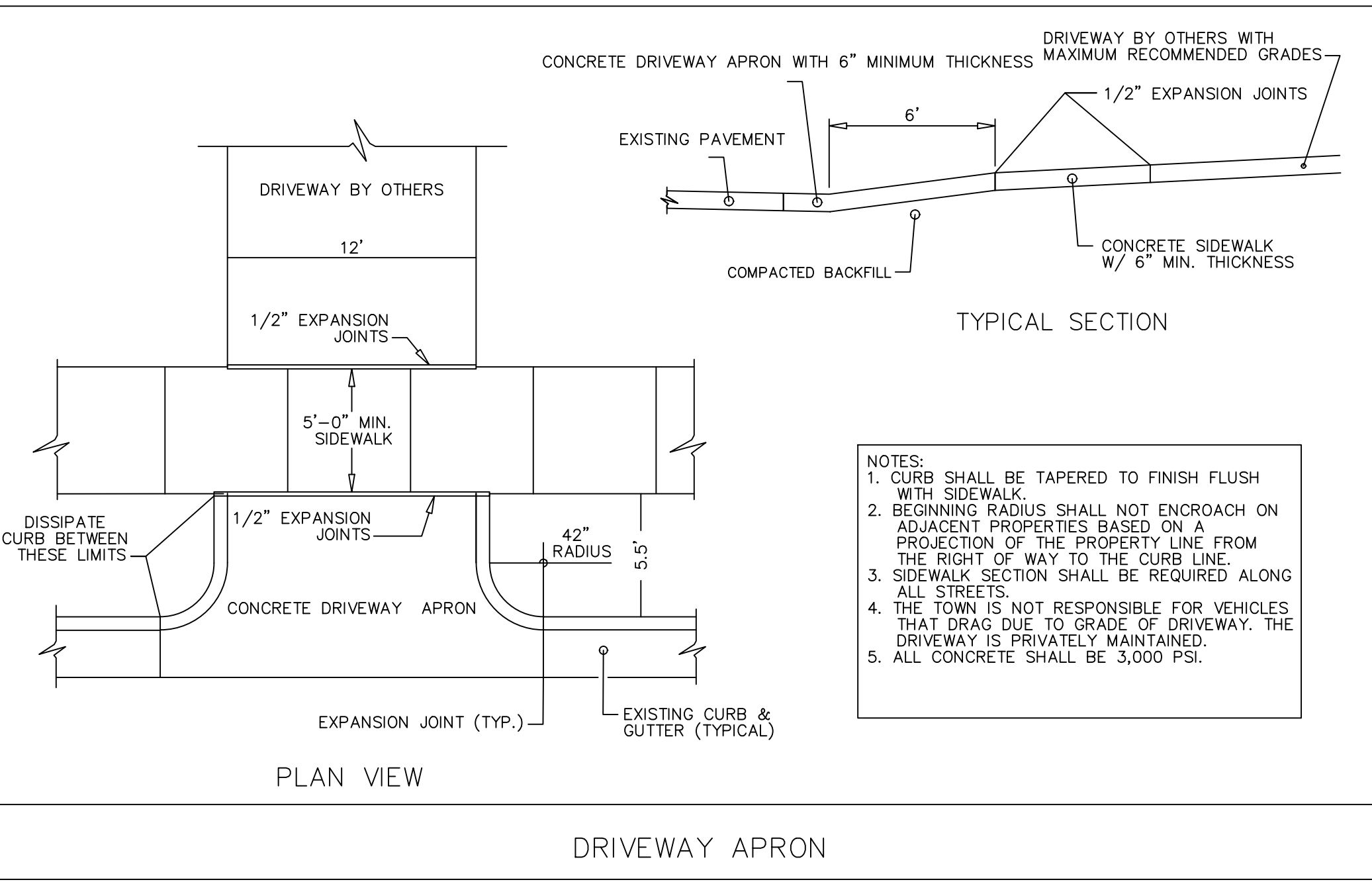
CONTRACT STANDARDS AND DEVELOPMENT UNIT
CURB RAMPS
Directional Ramps
REFER TO ROADWAY STANDARD DRAWING NUMBER 840.03 SHEET 3 OF 3 FOR ALL RAMP NOTES



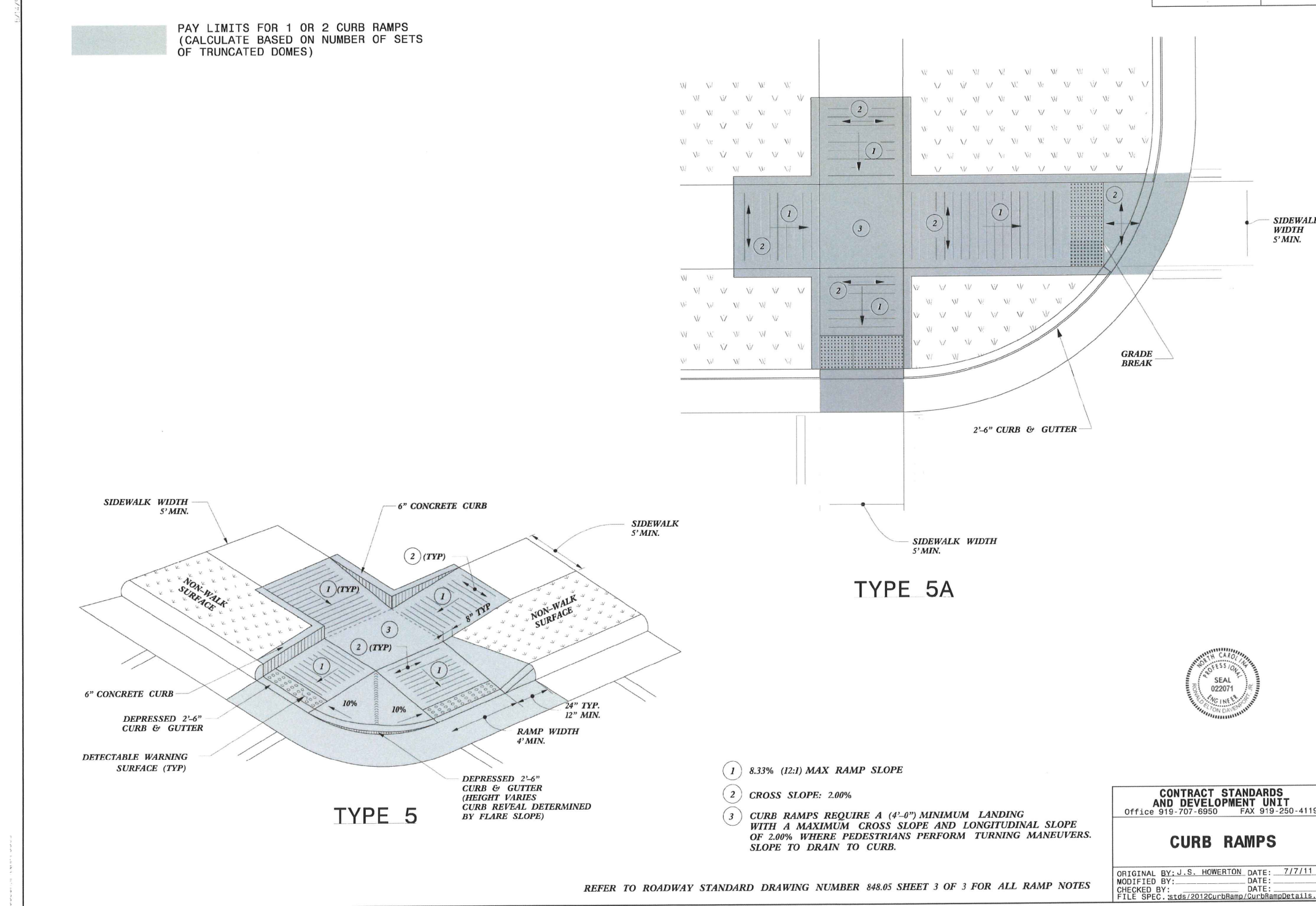
CONTRACT STANDARDS AND DEVELOPMENT UNIT
CURB RAMPS
REFER TO ROADWAY STANDARD DRAWING NUMBER 840.03 SHEET 3 OF 3 FOR ALL RAMP NOTES



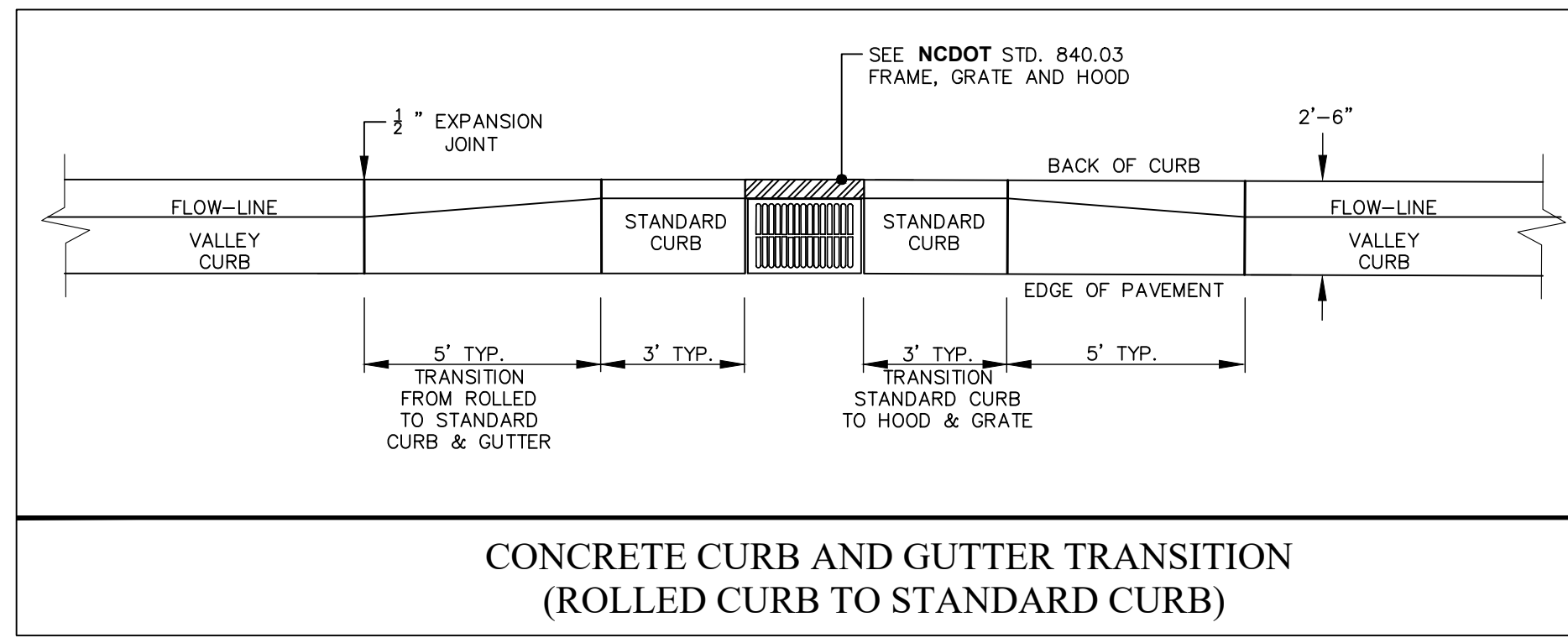
CONCRETE CURB AND GUTTER



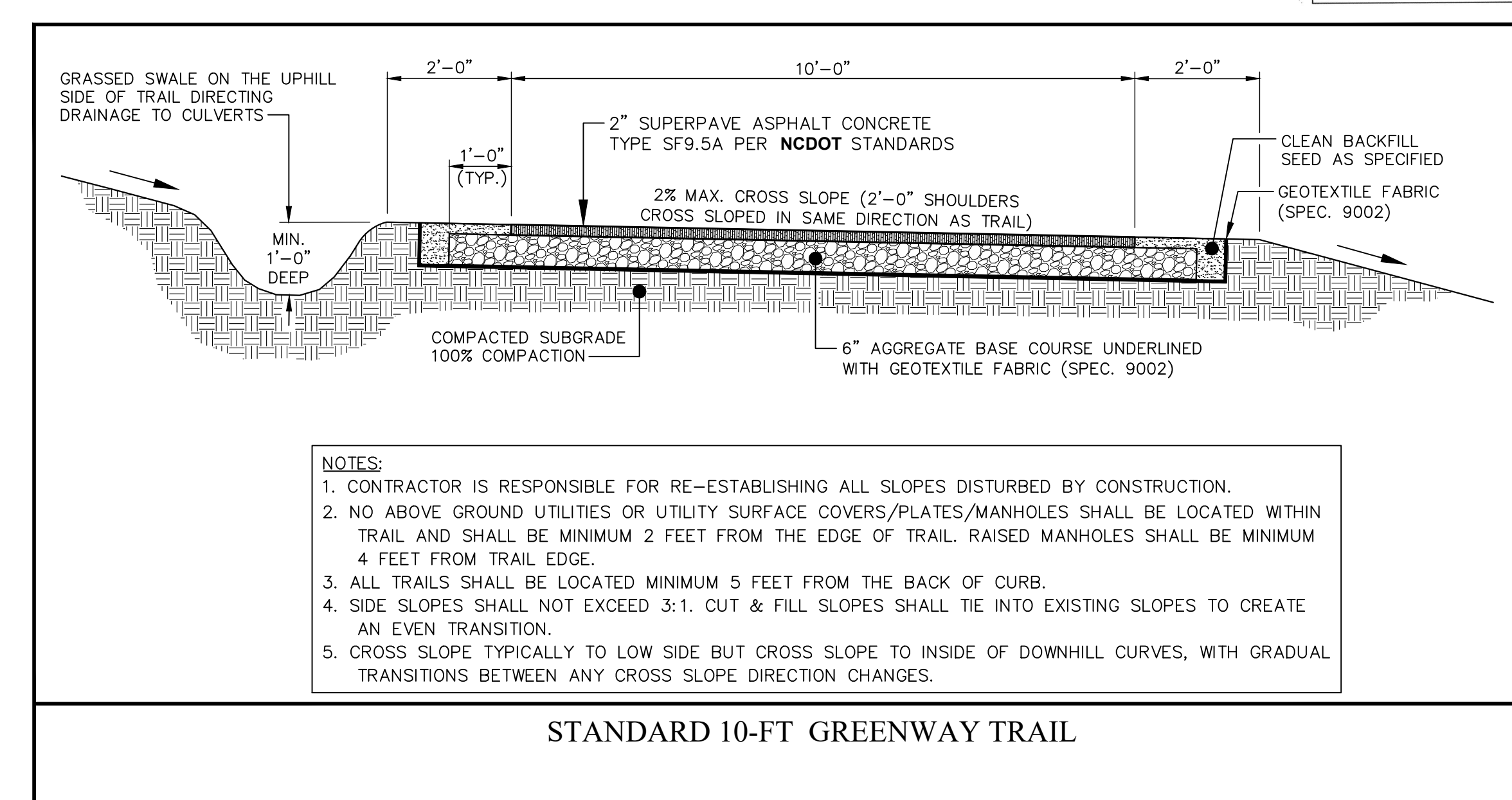
NOTES:
1. CURB SHALL BE TAPERED TO FINISH FLUSH WITH SIDEWALK.
2. BEGINNING RADIUS SHALL NOT ENCRoACH ON ADJACENT PROPERTIES BASED ON A PROJECTION OF THE PROPERTY LINE FROM THE RIGHT OF WAY TO THE CURB LINE.
3. SIDEWALK SECTION SHALL BE REQUIRED ALONG ALL STREETS.
4. THE TOWN IS NOT RESPONSIBLE FOR VEHICLES THAT DRAG DUE TO GRADE OF DRIVEWAY. THE DRIVEWAY IS PRIVATELY MAINTAINED.
5. ALL CONCRETE SHALL BE 3,000 PSI.



CONTRACT STANDARDS AND DEVELOPMENT UNIT
CURB RAMPS
REFER TO ROADWAY STANDARD DRAWING NUMBER 840.03 SHEET 3 OF 3 FOR ALL RAMP NOTES



CONCRETE CURB AND GUTTER TRANSITION (ROLLED CURB TO STANDARD CURB)



NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ALL SLOPES DISTURBED BY CONSTRUCTION.
2. NO ABOVE GROUND UTILITIES OR UTILITY SURFACE COVERS/PLATES/MANHOLES SHALL BE LOCATED WITHIN TRAIL AND SHALL BE MINIMUM 2 FEET FROM THE EDGE OF TRAIL. RAISED MANHOLES SHALL BE MINIMUM 4 FEET FROM TRAIL EDGE.
3. ALL TRAILS SHALL BE LOCATED MINIMUM 5 FEET FROM THE BACK OF CURB.
4. SIDE SLOPES SHALL NOT EXCEED 3:1. CUT & FILL SLOPES SHALL TIE INTO EXISTING SLOPES TO CREATE AN EVEN TRANSITION.
5. CROSS SLOPE TYPICALLY TO LOW SIDE BUT CROSS SLOPE TO INSIDE OF DOWNHILL CURVES, WITH GRADUAL TRANSITIONS BETWEEN ANY CROSS SLOPE DIRECTION CHANGES.

STANDARD 10-FT GREENWAY TRAIL

NO.	DATE	REVISION:

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Tucker Wilkins Tract
PROJECT DETAILS
Rolesville, Wake County
North Carolina 27587

JOB NUMBER: R210017
CHECKED BY: AE
DRAWN BY: AE
DATE: 12-1-2022

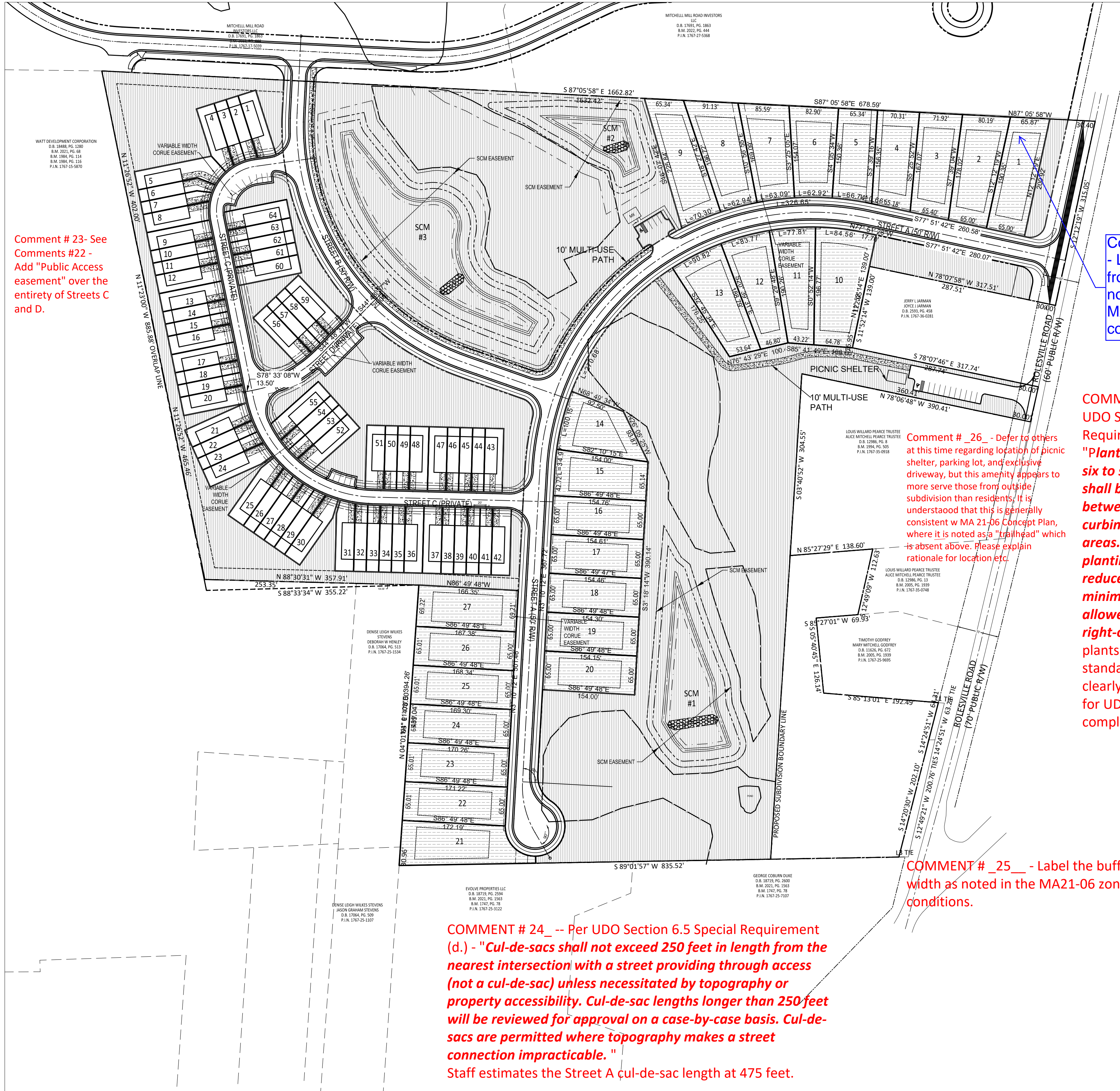
SHEET TITLE:
PROJECT DETAILS

SHEET NO.: **2.2**



SITE CHART	
SINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUS PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"

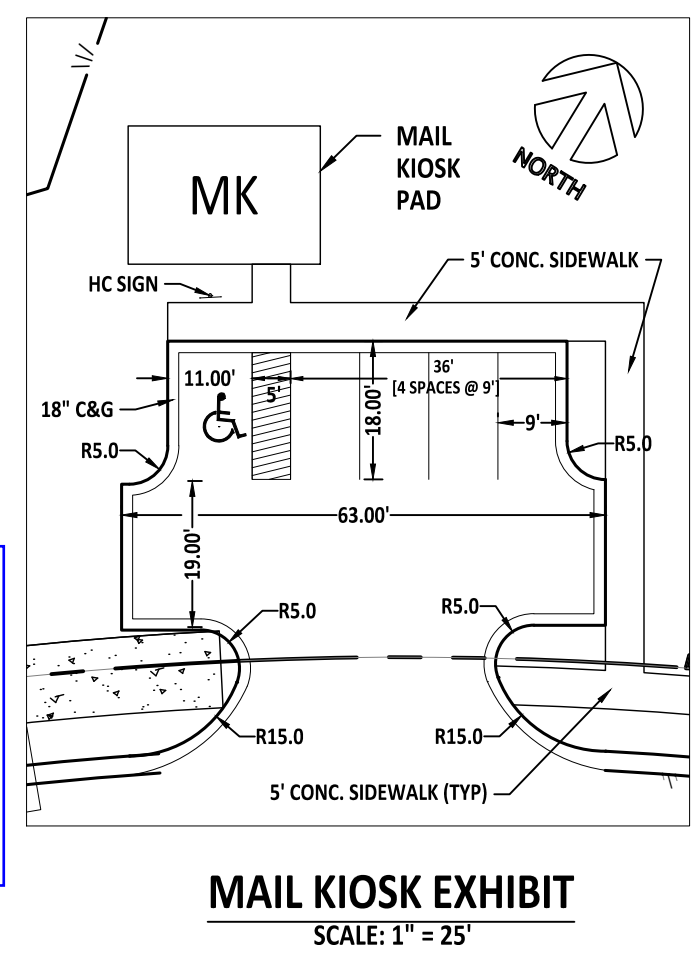
SETBACK TABLE SINGLE FAMILY							
	50'	50' W ALLEY	50'-59'	60'-69'	70'-79'	80'-100'	101'+
FRONT	20'	15'	20'	25'	25'	25'	25'
REAR	20'	15'	20'	25'	25'	25'	30'
SIDE	**	**	**	*	*	10'	12'
CORNER SIDE	10'	10'	10'	10'	10'	15'	18'
MIN. LOT SIZE	6,000	6,000	6,000	6,600	8,400	10,400	14,000
* AGGREGATE 12' MIN. S'							
** MIN. 3' AGGREGATE 10'							



Comment # 23- See Comments #22 - Add "Public Access easement" over the entirety of Streets C and D.

Comment # 28 - Label the street front buffer as noted/required in MA21-06 zoning condition #9.

Comment # 30 - Show compliance with Zoning Condition #10.



COMMENT # 27 - Per UDO Section 6.5 Special Requirement (b.) -- "Planting strips between six to seven feet in width shall be established between sidewalks and curbing in all residential areas. The width of the planting strips may be reduced to no less than a minimum of four feet as allowed by the available right-of-way." Clarify on plants or provide a standard detail of such clearly marked as being for UDO 6.5.(b.) compliance.

Comment # 29 - Label match lines for sheets 3.1 & 3.2.

NOTE: HANDICAP RAMPS TO BE INSTALLED AT EVERY INTERSECTION

COMMENT # 24 -- Per UDO Section 6.5 Special Requirement (d.) - "Cul-de-sacs shall not exceed 250 feet in length from the nearest intersection with a street providing through access (not a cul-de-sac) unless necessitated by topography or property accessibility. Cul-de-sac lengths longer than 250 feet will be reviewed for approval on a case-by-case basis. Cul-de-sacs are permitted where topography makes a street connection impracticable." Staff estimates the Street A cul-de-sac length at 475 feet.

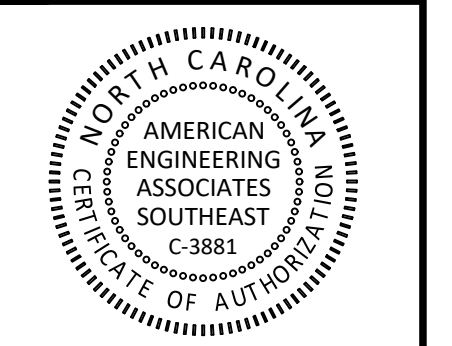
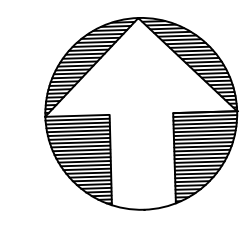
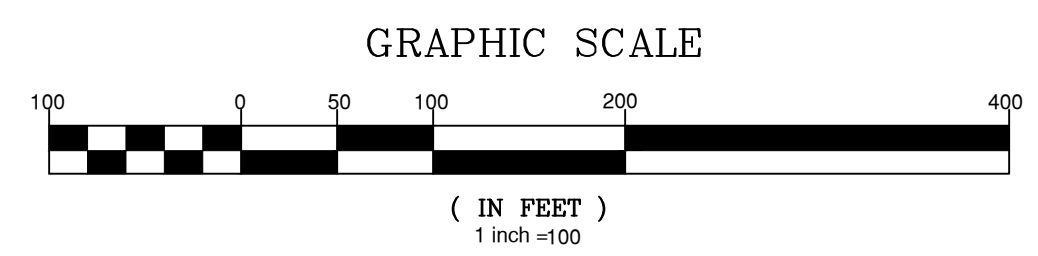
COMMENT # 25 - Label the buffer width as noted in the MA21-06 zoning conditions.

COMMENT #31 - See earlier Comments about Phasing - this says "Phase Line"

SITE LEGEND	
	PROPOSED LOT LINE
	100 YEAR FLOOD EASEMENT
	BUILDING RESTRICTION LINE
	PROPOSED LOT SETBACK
	PROPOSED ROW
	PROPOSED SIDEWALK
	PROPOSED BOC
	PROPOSED EOP
	PROPOSED CENTERLINE
	PROPOSED GRADING
	PROPOSED DRAINAGE EASEMENT
	PROPOSED UTILITY EASEMENT
	PROPOSED HANDICAP RAMPS
	PROPOSED SIGHT TRIANGLE
	POCKET PARK
	MAIL KIOSK LOCATION
	OPEN SPACE
	MULTI-USE TRAIL

EXISTING LEGEND	
	EXISTING ADJACENT PROPERTY
	EXISTING TREE LINE
	EXISTING TOPOGRAPHY
	EXISTING BOUNDARY
	EXISTING WETLANDS
	EXISTING WETLANDS AREA
	EXISTING 50' NEUSE RIPARIAN BUFFER
	EXISTING BUFFER ZONES
	EXISTING TOP OF BANK
	EXISTING OVERHEAD ELECTRIC
	EXISTING FENCE TO BE REMOVED
	EXISTING CENTERLINE
	EXISTING EOP TO BE REMOVED
	EXISTING ROW TO BE REMOVED
	EXISTING CHANNEL TO BE REMOVED
	EXISTING GRAVEL DRIVE TO BE REMOVED
	EXISTING STREAM CENTERLINE
	EXISTING GRAVEL PATHWAY
	EXISTING WATERLINE
	PHASE LINE

SEE SHEET 3.4 FOR SITE PLAN CURVE AND LINE TABLES



PRELIMINARY FOR CONSTRUCTION

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Tucker Wilkins Tract
SITE PLAN OVERALL
Rolesville, Wake County
North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:
SITE PLAN OVERALL

SHEET NO.:
3.0





SETBACK TABLE SINGLE FAMILY

	50'	50'	50'-59'	60'-69'	70'-79'	80'-100'	101' +
FRONT	20'	15'	20'	25'	25'	25'	25'
REAR	20'	15'	20'	25'	25'	25'	30'
SIDE	**	**	**	*	*	10'	12'
CORNER SIDE	10'	10'	10'	10'	10'	15'	18'
MIN. LOT SIZE	6,000	6,000	6,000	6,600	8,400	10,400	14,000

* AGGREGATE 12', MIN. 5'
** MIN. 3' AGGREGATE 10'

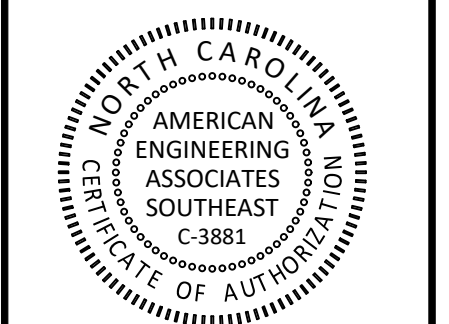
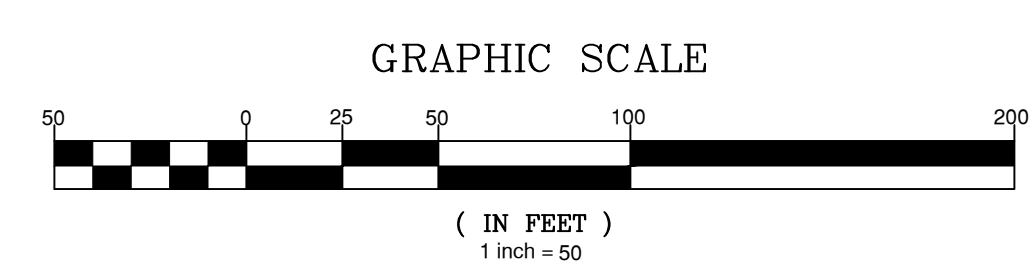
SITE LEGEND

	PROPOSED LOT LINE
	100 YEAR FLOOD EASEMENT
	BUILDING RESTRICTION LINE
	PROPOSED LOT SETBACK
	PROPOSED ROW
	PROPOSED SIDEWALK
	PROPOSED BOC
	PROPOSED EOP
	PROPOSED CENTERLINE
	PROPOSED GRADING
	PROPOSED DRAINAGE EASEMENT
	PROPOSED UTILITY EASEMENT
	PROPOSED HANDICAP RAMPS
	PROPOSED SIGHT TRIANGLE
	POCKET PARK
	MAIL KIOSK LOCATION
	OPEN SPACE
	MULTI-USE TRAIL

SITE CHART

SINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUS PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"

SEE SHEET 3.4 FOR SITE PLAN CURVE AND LINE TABLES



PRELIMINARY FOR CONSTRUCTION

FOR INFORMATION ONLY

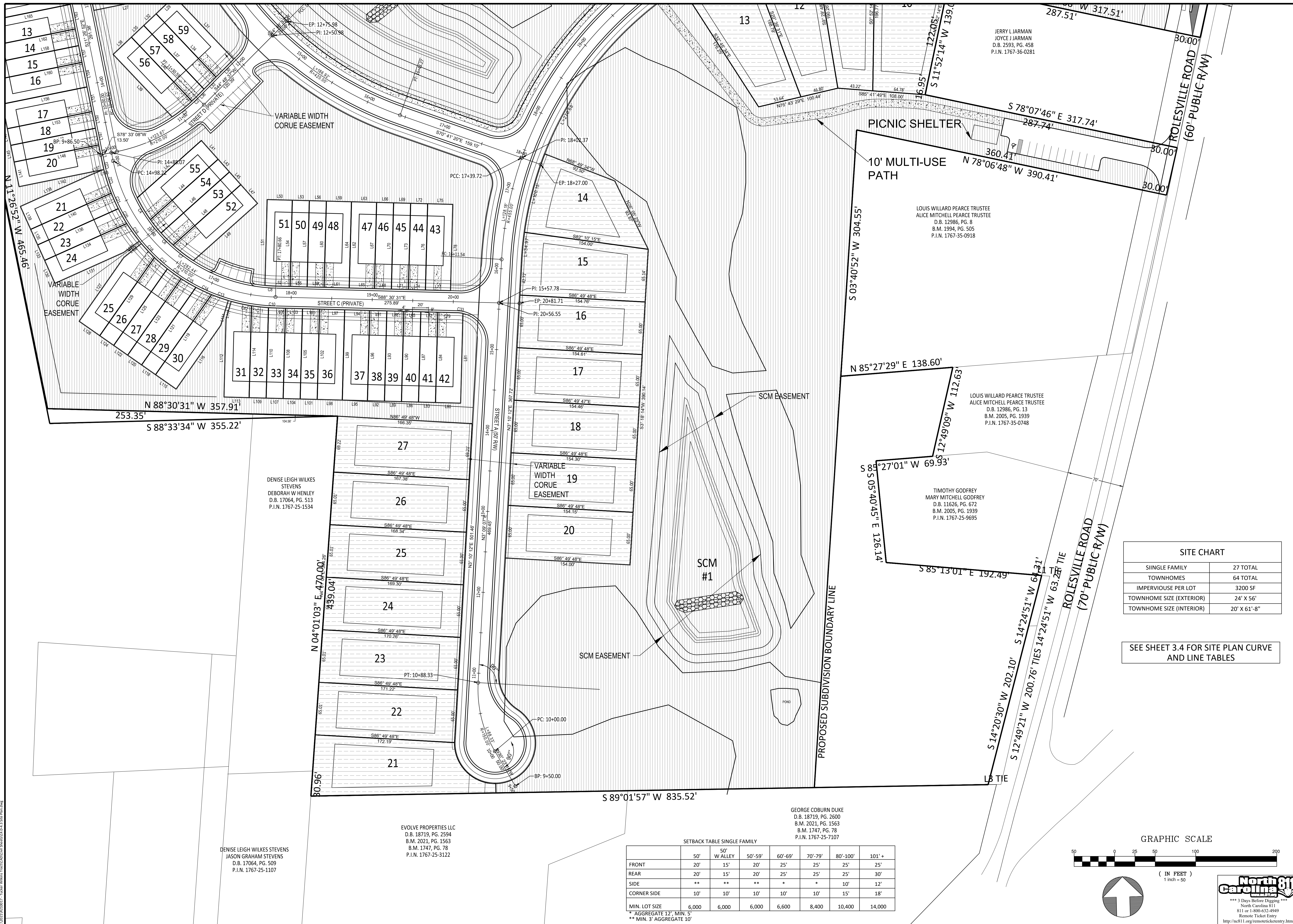
NO.	DATE	REVISION

STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR USE ON THE SPECIFIC SITE, NAMED HEREON, CONTEMPORANEOUSLY WITH ITS ISSUE DATE AS LISTED, HEREON, AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

Tucker Wilkins Tract
SITE PLAN 50 SCALE
Rolesville, Wake County
North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	AE
DRAWN BY:	AE
DATE:	12-1-2022
SHEET TITLE:	SITE PLAN 50 SCALE
SHEET NO.:	3.1





DENISE LEIGH WILKES STEVENS
DEBORAH W HENLEY
D.B. 17064, PG. 513
P.I.N. 1767-25-1534

DENISE LEIGH WILKES STEVENS
JASON GRAHAM STEVENS
D.B. 17064, PG. 509
P.I.N. 1767-25-1107

EVOLVE PROPERTIES LLC
D.B. 18719, PG. 2594
B.M. 2021, PG. 1563
B.M. 1747, PG. 78
P.I.N. 1767-25-3122

GEORGE COBURN DUKE
D.B. 18719, PG. 2600
B.M. 2021, PG. 1563
B.M. 1747, PG. 78
P.I.N. 1767-25-7107

SETBACK TABLE SINGLE FAMILY

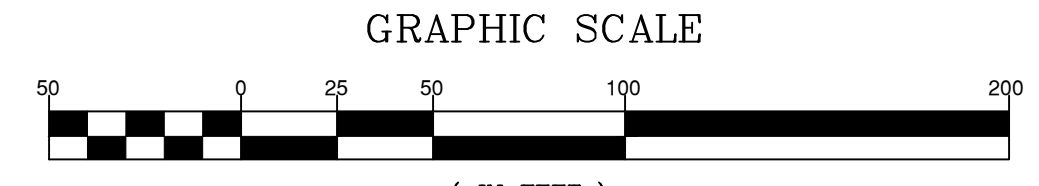
	50'	50' W ALLEY	50'-59'	60'-69'	70'-79'	80'-100'	101'+
FRONT	20'	15'	20'	25'	25'	25'	25'
REAR	20'	15'	20'	25'	25'	25'	30'
SIDE	**	**	**	*	*	10'	12'
CORNER SIDE	10'	10'	10'	10'	10'	15'	18'
MIN. LOT SIZE	6,000	6,000	6,000	6,600	8,400	10,400	14,000

* AGGREGATE 12', MIN. 5'
** MIN. 3' AGGREGATE 10'

SITE CHART

SINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUS PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"

SEE SHEET 3.4 FOR SITE PLAN CURVE AND LINE TABLES



AMERICAN Engineering
American Engineering Associates - Southeast, P.A.
4020 Westchase Boulevard, Suite 450
Raleigh, NC 27607



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Tucker Wilkins Tract
SITE PLAN 50 SCALE
Rolesville, Wake County
North Carolina 27587

JOB NUMBER: R210017
CHECKED BY:
DRAWN BY: AE
DATE: 12-1-2022
SHEET TITLE:

SITE PLAN 50 SCALE

SHEET NO.: **3.2**



STIPULATION FOR REUSE
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Tucker Wilkins Tract
SITE PLAN 50 SCALE
Rolesville, Wake County
North Carolina 27587

JOB NUMBER: R210017
CHECKED BY:
DRAWN BY: AE
DATE: 12-1-2022
SHEET TITLE:
SITE PLAN 50 SCALE
SHEET NO.: **3.3**

SETBACK TABLE SINGLE FAMILY

	50'	50' W ALLEY	50'-59'	60'-69'	70'-79'	80'-100'	101'+
FRONT	20'	15'	20'	25'	25'	25'	25'
REAR	20'	15'	20'	25'	25'	25'	30'
SIDE	**	**	**	*	*	10'	12'
CORNER SIDE	10'	10'	10'	10'	10'	15'	18'
MIN. LOT SIZE	6,000	6,000	6,000	6,000	8,400	10,400	14,000

* AGGREGATE 12', MIN. 5'
** MIN. 3' AGGREGATE 10'

MITCHELL MILL ROAD INVESTORS LLC
D.B. 17691, PG. 1863
B.M. 2022, PG. 444
P.I.N. 1767-27-5368

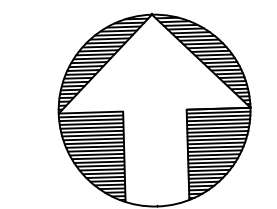
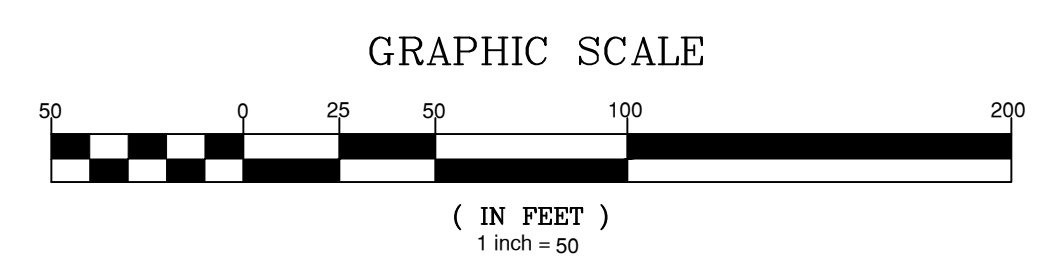
MITCHELL MILL ROAD INVESTORS LLC
D.B. 17691, PG. 1863
B.M. 2022, PG. 444
P.I.N. 1767-17-5039

WATT DEVELOPMENT CORPORATION
D.B. 18488, PG. 1280
B.M. 2021, PG. 68
B.M. 1984, PG. 114
B.M. 1984, PG. 116
P.I.N. 1767-15-5870

SITE CHART

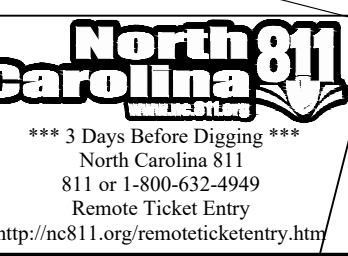
SINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUS PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"

SEE SHEET 3.4 FOR SITE PLAN CURVE AND LINE TABLES



DENISE LEIGH WILKES
STEVENS
DEBORAH W HENLEY
D.B. 17064, PG. 513
P.I.N. 1767-25-1534

TIMOTHY GODFREY
MARY MITCHELL GODFREY
D.B. 11626, PG. 672
B.M. 2005, PG. 1939
P.I.N. 1767-25-9695



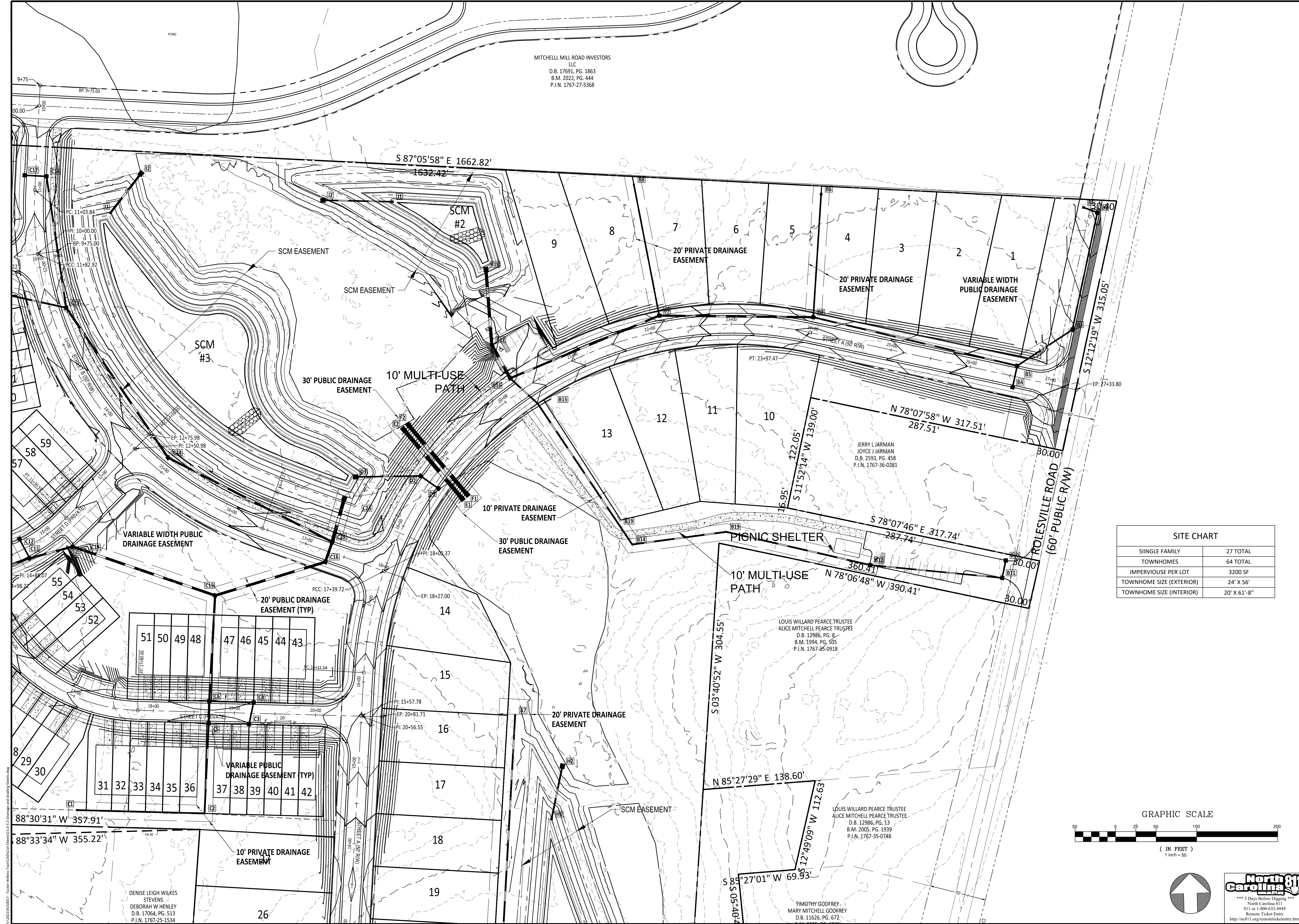
NO.	DATE	REVISION:

STIPULATION FOR REUSE
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Tucker Wilkins Tract
DRAINAGE AND GRADING
50 SCALE
 Rolesville, Wake County
 North Carolina 27587

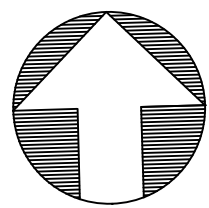
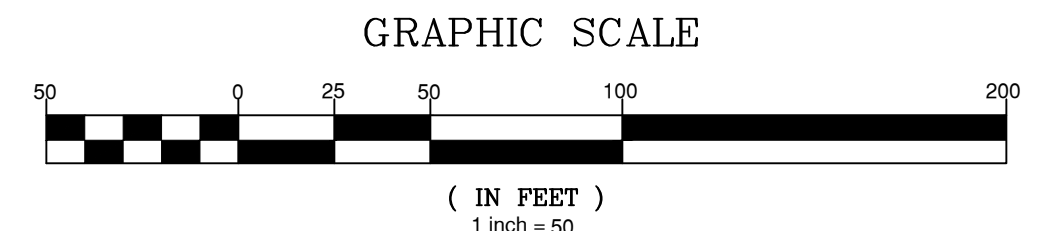
JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022
SHEET TITLE:	

DRAINAGE AND GRADING
50 SCALE
 SHEET NO.: **4.1**



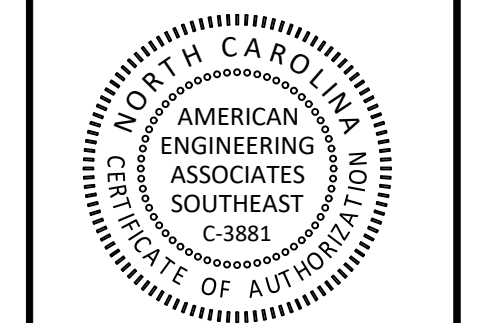
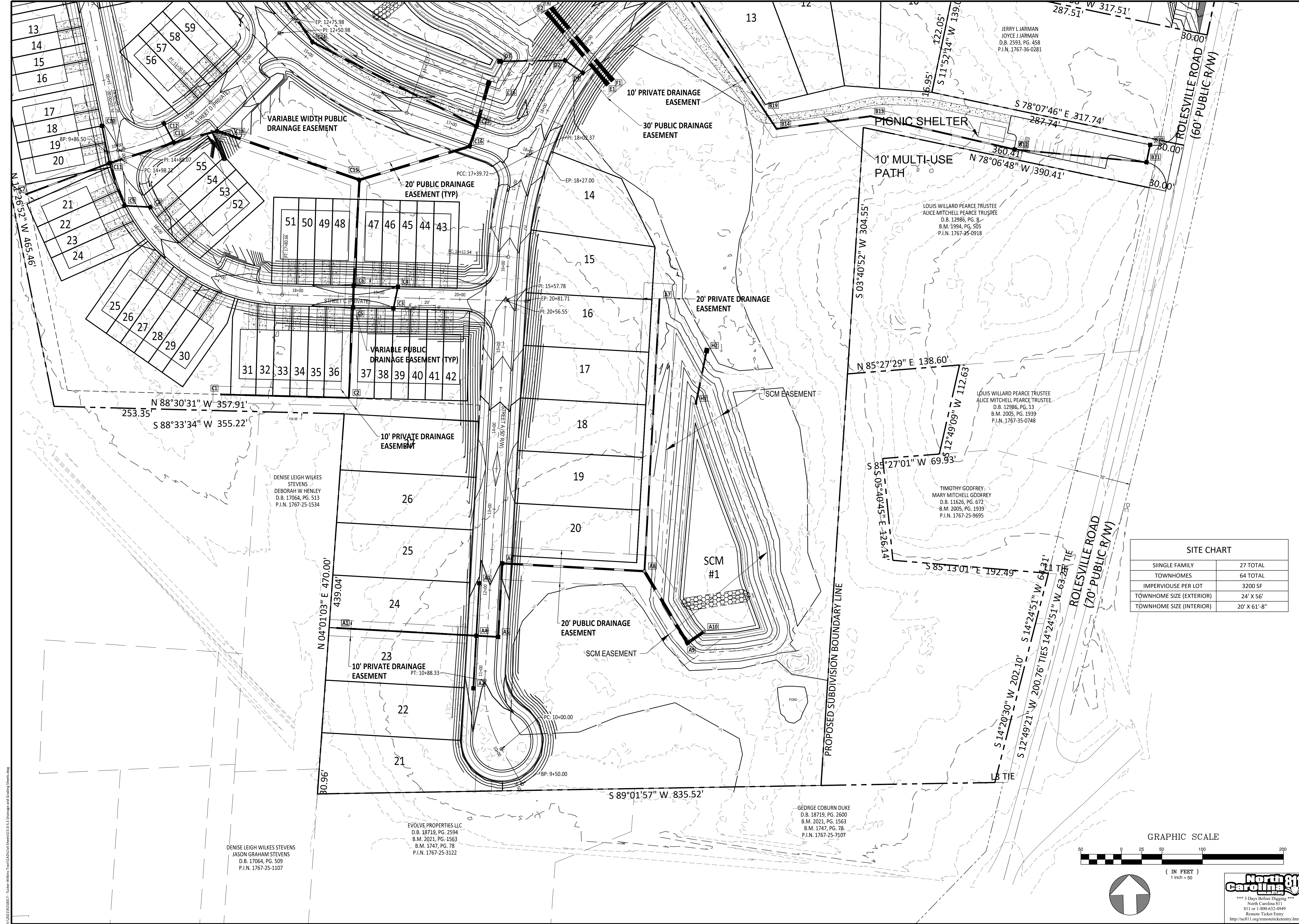
SITE CHART

	TOTAL
SINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUS PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"



DENISE LEIGH WILKES
 STEVENS
 DEBORAH W. HENLEY
 D.B. 17064, PG. 513
 P.I.N. 1767-25-1534

88°30'31" W 357.91'
 88°33'34" W 355.22'



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Tucker Wilkins Tract
DRAINAGE AND GRADING
50 SCALE
 Rolesville, Wake County
 North Carolina 27587

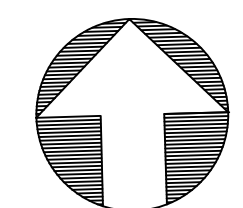
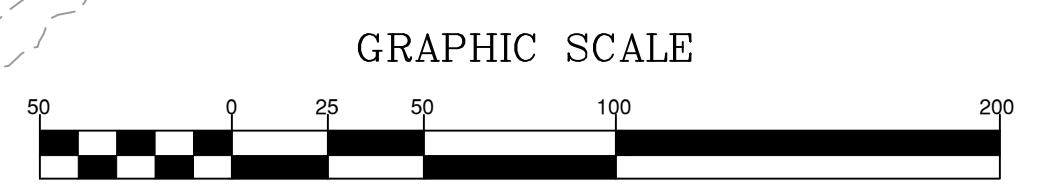
JOB NUMBER: R210017
 CHECKED BY:
 DRAWN BY: AE
 DATE: 12-1-2022

SHEET TITLE:
DRAINAGE AND GRADING
50 SCALE

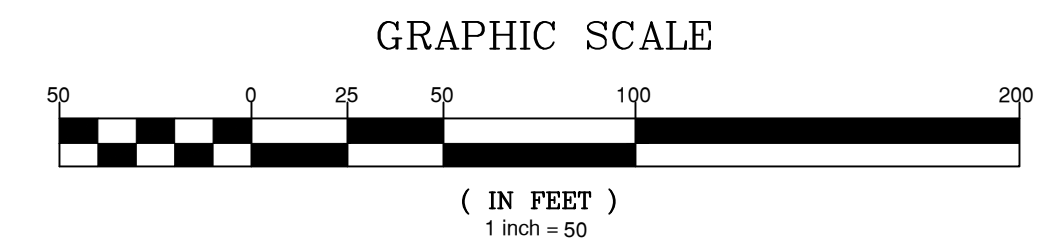
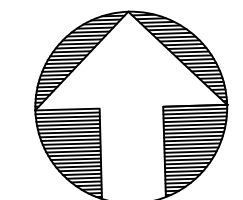
SHEET NO.: **4.2**

SITE CHART

SINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUS PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"



V:\2022\1210017 - Tucker Wilkins Tract\CADD\Sheet\CS.3 Drainage and Grading Sheets.dwg



MITCHELL MILL ROAD INVESTORS
LLC
D.B. 17691, PG. 1863
B.M. 2022, PG. 444
P.I.N. 1767-27-5368

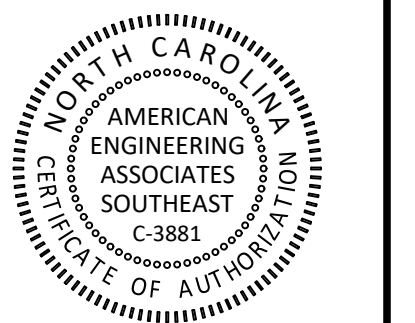
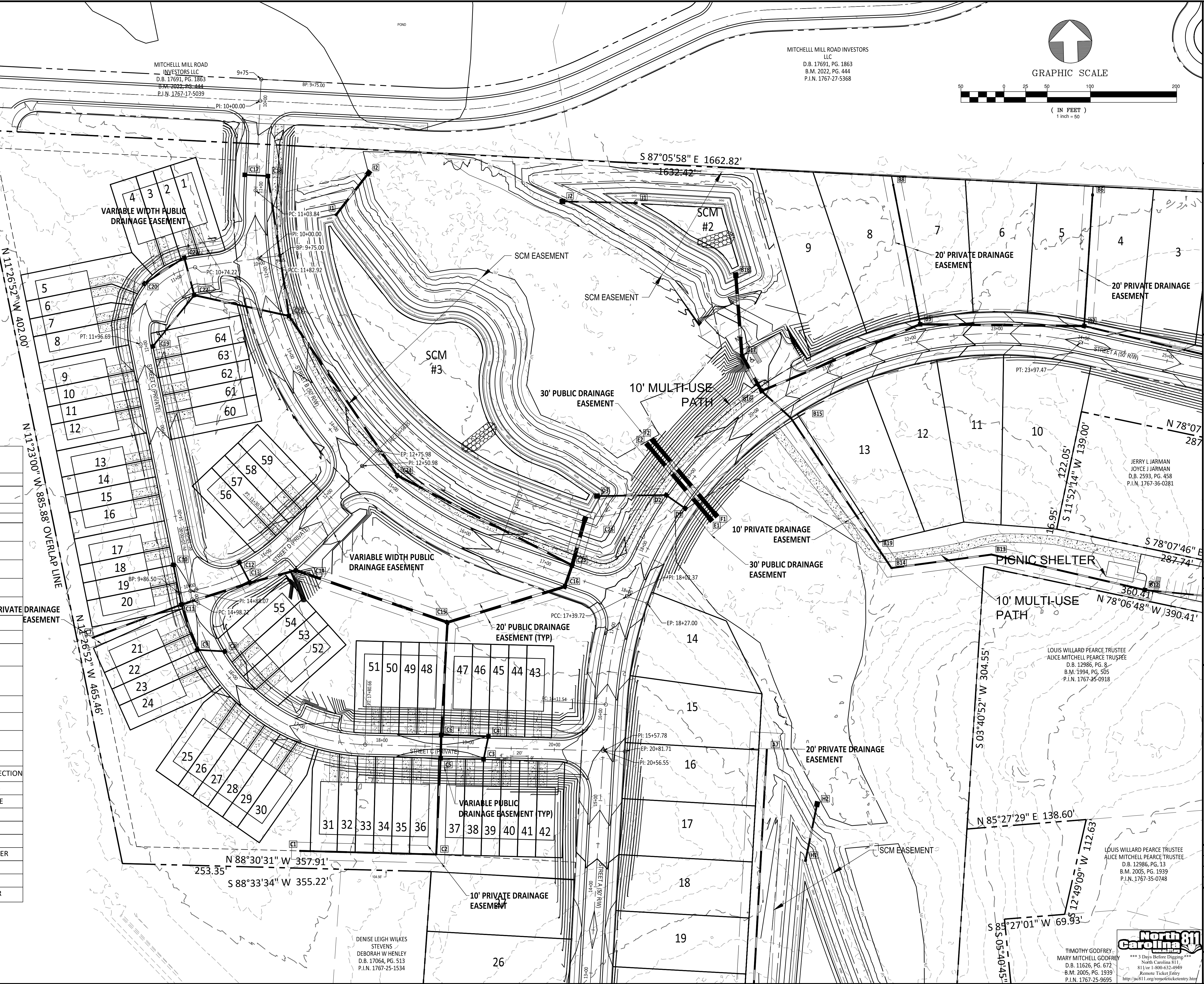
WATT DEVELOPMENT CORPORATION
D.B. 18488, PG. 1280
B.M. 2021, PG. 68
B.M. 1984, PG. 114
B.M. 1984, PG. 116
P.I.N. 1767-15-5870

SITE CHART

SINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUS PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"

UTILITIES LEGEND

	EXISTING BOUNDARY
	EXISTING 50' NEUSE RIVERIAN BUFFER
	EXISTING BUFFER ZONES
	PROPOSED LOT LINE
	PROPOSED ROW
	PROPOSED SIDEWALK
	PROPOSED BOC
	PROPOSED EOP
	PROPOSED CENTERLINE
	PROPOSED EASEMENT
	PHASELINE
	RIP RAP
	BASIN WEIR
	JUNCTION BOX
	PROPOSED CATCH BASIN
	PROPOSED YARD INLET
	PROPOSED DROP INLET
	PROPOSED FLARED END SECTION
	PROPOSED WATER METER
	PROPOSED SEWER SERVICE
	PROPOSED MANHOLE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPOSED WATER REDUCER
	PROPOSED SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM WATER



PRELIMINARY FOR CONSTRUCTION

FOR INFORMATION, ONLY

REVISIONS

NO.	DATE	REVISION

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Tucker Wilkins Tract
DRAINAGE AND GRADING
50 SCALE
Rolesville, Wake County
North Carolina 27587

JOB NUMBER: R210017
CHECKED BY: AE
DRAWN BY: AE
DATE: 12-1-2022
SHEET TITLE: DRAINAGE AND GRADING 50 SCALE
SHEET NO.: 4.3



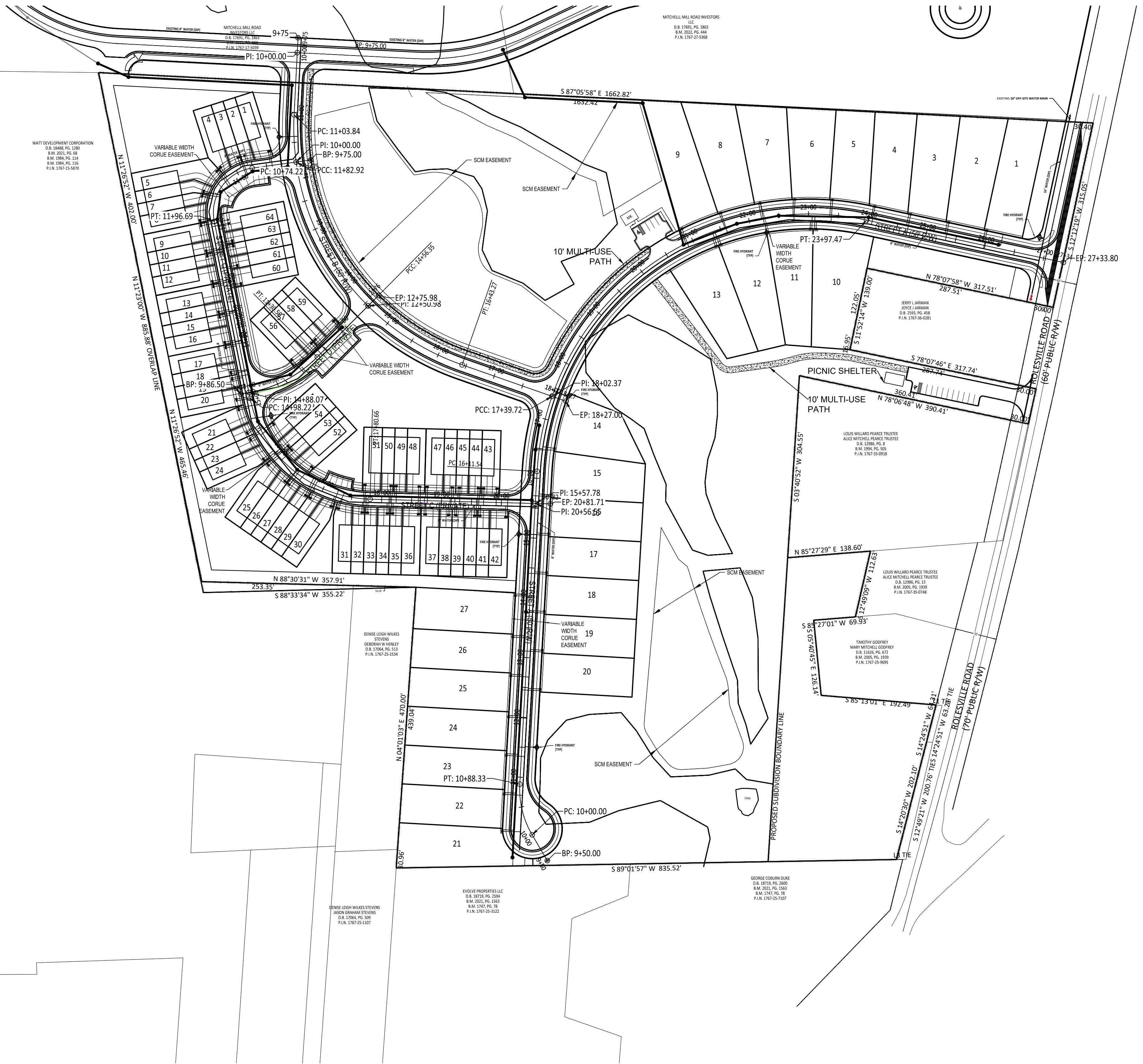
TIMOTHY GODFREY
MARY MITCHELL GODFREY
D.B. 11626, PG. 672
B.M. 2005, PG. 1939
P.I.N. 1767-25-9695

LOUIS WILLARD PEARCE TRUSTEE
ALICE MITCHELL PEARCE TRUSTEE
D.B. 12986, PG. 8
B.M. 1994, PG. 505
P.I.N. 1767-35-0918

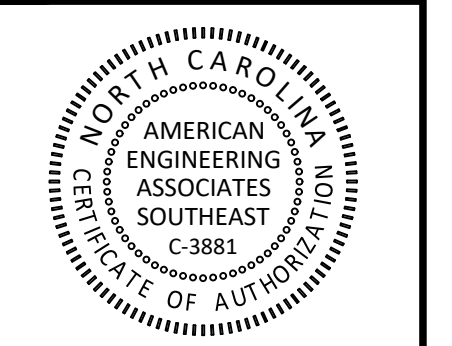
LOUIS WILLARD PEARCE TRUSTEE
ALICE MITCHELL PEARCE TRUSTEE
D.B. 12986, PG. 8
B.M. 1994, PG. 505
P.I.N. 1767-35-0918

JERRY L JARMAN
JOYCE J JARMAN
D.B. 2593, PG. 458
P.I.N. 1767-36-0281

DENISE LEIGH WILKES
STEVENS
DEBORAH W HENLEY
D.B. 17064, PG. 513
P.I.N. 1767-25-1534



SITE CHART	
SINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUS PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"



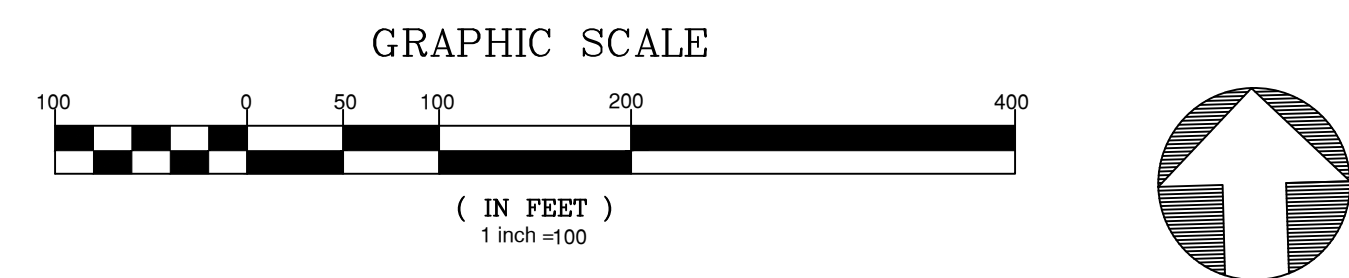
PRELIMINARY FOR CONSTRUCTION

FOR INFORMATION, ONLY

UTILITIES LEGEND	
	EXISTING BOUNDARY
	EXISTING 50' NEUSE RIPARIAN BUFFER
	EXISTING BUFFER ZONES
	PROPOSED LOT LINE
	PROPOSED ROW
	PROPOSED SIDEWALK
	PROPOSED BOC
	PROPOSED EOP
	PROPOSED CENTERLINE
	PROPOSED EASEMENT
	PHASELINE
	RIP RAP
	BASIN WEIR
	JUNCTION BOX
	PROPOSED CATCH BASIN
	PROPOSED YARD INLET
	PROPOSED DROP INLET
	PROPOSED FLARED END SECTION
	PROPOSED WATER METER
	PROPOSED SEWER SERVICE
	PROPOSED MANHOLE
	PROPOSED WATER VALVE
	PROPOSED WATER REDUCER
	PROPOSED SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM WATER

SITE LEGEND	
	PROPOSED LOT LINE
	100 YEAR FLOOD EASEMENT
	BUILDING RESTRICTION LINE
	PROPOSED LOT SETBACK
	PROPOSED ROW
	PROPOSED SIDEWALK
	PROPOSED BOC
	PROPOSED EOP
	PROPOSED CENTERLINE
	PROPOSED GRADING
	PROPOSED DRAINAGE EASEMENT
	PROPOSED UTILITY EASEMENT
	PROPOSED HANDICAP RAMPS
	POCKET PARK
	MAIL KIOSK LOCATION
	OPEN SPACE
	PROPOSED SWALE (AT TIME OF LOT GRADING)
	PROPOSED PHASELINE

EXISTING LEGEND	
	EXISTING ADJACENT PROPERTY
	EXISTING TREE LINE
	EXISTING TOPOGRAPHY
	EXISTING BOUNDARY
	EXISTING WETLANDS
	EXISTING WETLANDS AREA
	EXISTING 50' NEUSE RIPARIAN BUFFER
	EXISTING BUFFER ZONES
	EXISTING TOP OF BANK
	EXISTING OVERHEAD ELECTRIC
	EXISTING FENCE TO BE REMOVED
	EXISTING CENTERLINE
	EXISTING EOP TO BE REMOVED
	EXISTING ROW TO BE REMOVED
	EXISTING CHANNEL TO BE REMOVED
	EXISTING GRAVEL DRIVE TO BE REMOVED
	EXISTING STREAM CENTERLINE
	EXISTING GRAVEL PATHWAY
	EXISTING WATERLINE
	PHASELINE



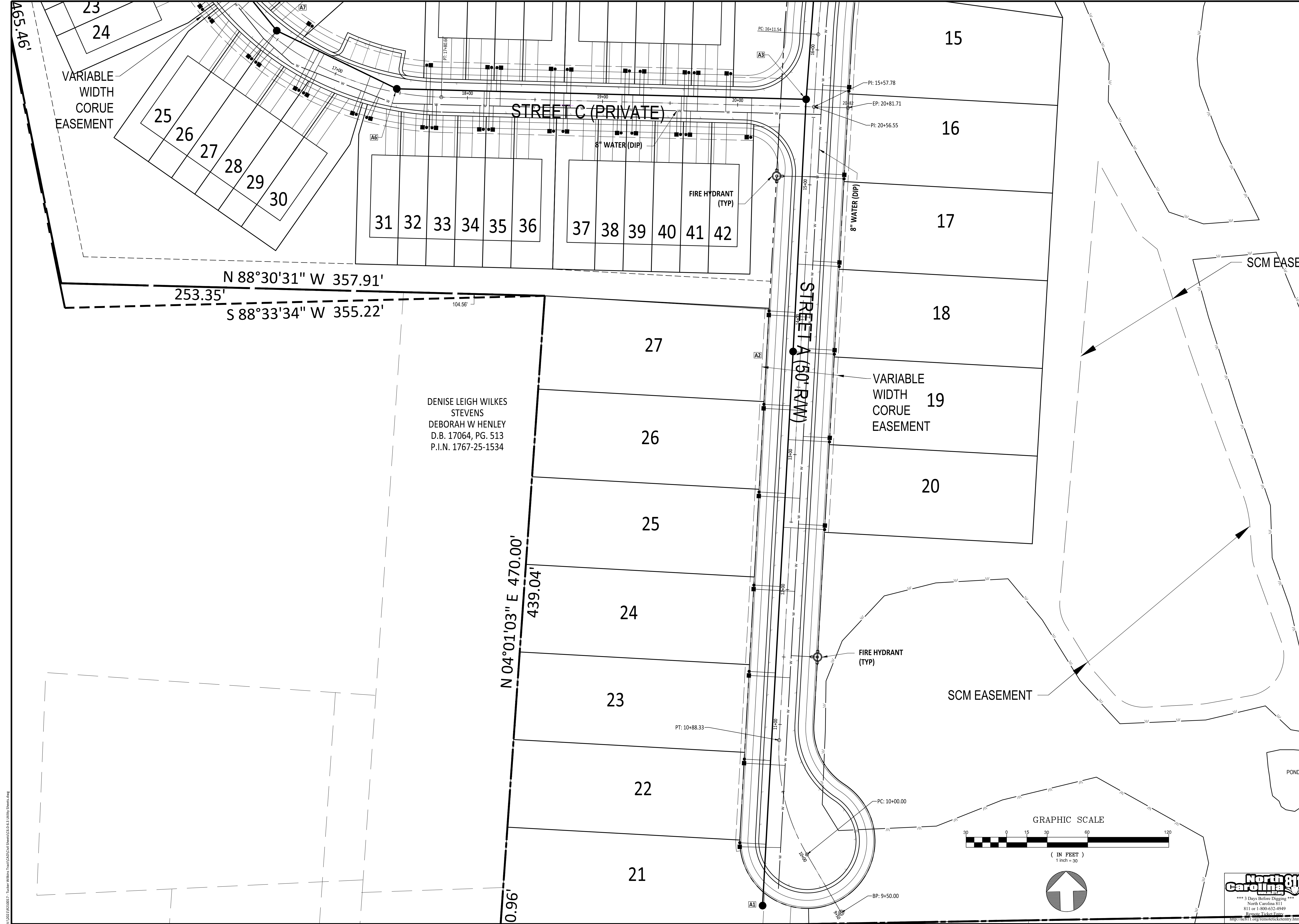
NO.	DATE	REVISION

STIPULATION FOR REUSE
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Tucker Wilkins Tract
UTILITY SHEETS OVERALL
 Rolesville, Wake County North Carolina 27587

JOB NUMBER: R210017
 CHECKED BY: AE
 DRAWN BY: AE
 DATE: 12-1-2022
 SHEET TITLE: UTILITY SHEETS OVERALL
 SHEET NO.: **5.0**



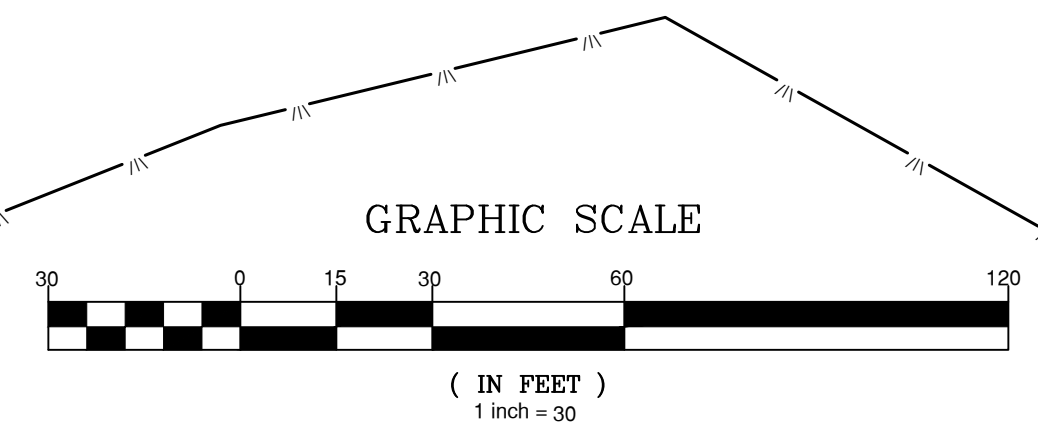


NO.	DATE	REVISION:

STIPULATION FOR REUSE
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Tucker Wilkins Tract
UTILITY SHEETS 30 SCALE
 Rolesville, Wake County
 North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022
SHEET TITLE:	UTILITY SHEETS 30 SCALE
SHEET NO.:	5.2



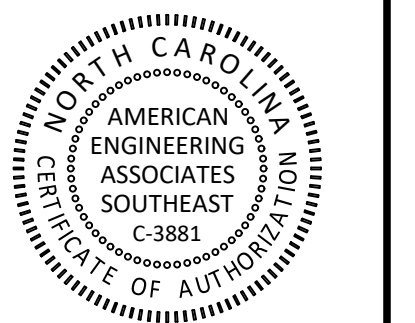
V:\2022\12\1\2022\Tucker Wilkins Tract\CD\CD\Sheet\05.02.05.3 Utility Sheets.dwg

MH 241

S 87°05'58" E 1662.82'

1632.42'

EXISTING 16" OFF-SITE WATER MAIN

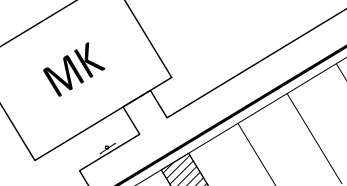


PRELIMINARY FOR CONSTRUCTION

FOR INFORMATION, ONLY

EASEMENT

10' MULTI-USE PATH



VARIABLE WIDTH CORUE EASEMENT

STREET A (50' R/W)

FIRE HYDRANT (TYP)

16" WATER (DIP)

8" WATER (DIP)

13

12

11

10

JERRY L JARMAN
JOYCE J JARMAN
D.B. 2593, PG. 458
P.I.N. 1767-36-0281

S 11°52'14" W 139.00'

N 78°07'58" W 317.51'
287.51'

ROLESVILLE ROAD
(60' PUBLIC R/W)

PICNIC SHELTER

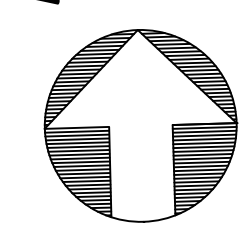
10' MULTI-USE PATH

S 78°07'46" E 317.74'
287.74'

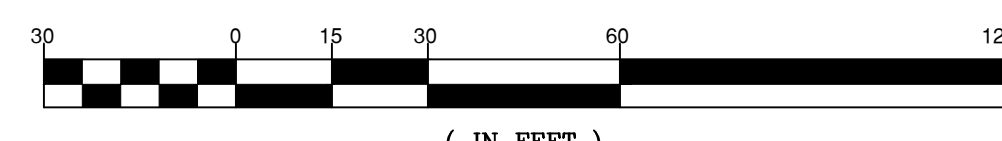
N 78°06'48" W 390.41'
360.41'

W 304.55'

LOUIS WILLARD PEARCE TRUSTEE
ALICE MITCHELL PEARCE TRUSTEE
D.B. 12986, PG. 8
B.M. 1994, PG. 505
P.I.N. 1767-35-0918



GRAPHIC SCALE



NO.	DATE	REVISION

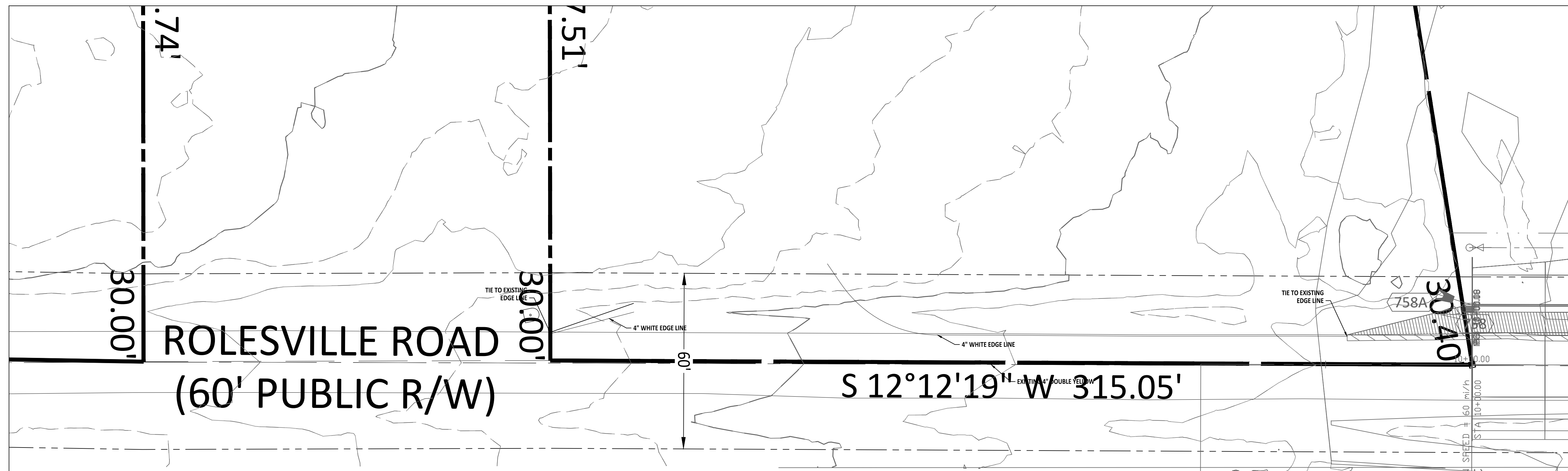
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Tucker Wilkins Tract
 UTILITY SHEETS 30 SCALE
 Rolesville, Wake County
 North Carolina 27587

JOB NUMBER: R210017
 CHECKED BY: AE
 DRAWN BY: AE
 DATE: 12-1-2022
 SHEET TITLE:

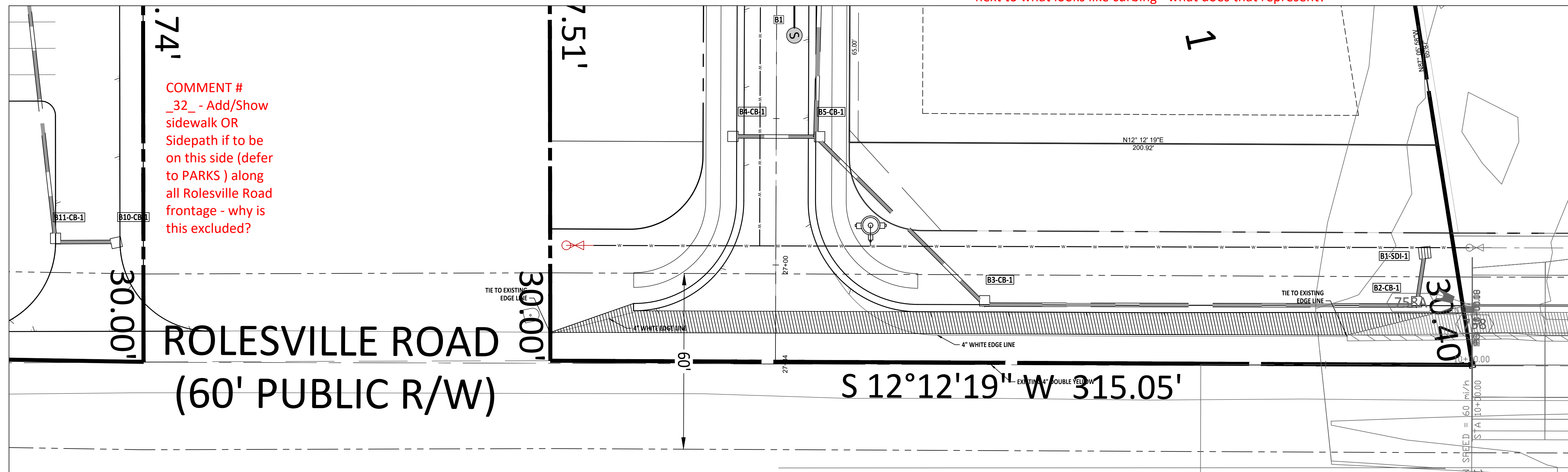
UTILITY SHEETS 30 SCALE
 SHEET NO.: 5.3

V:\2022\12\1\202207 - Tucker Wilkins Tract\CD\CD Sheets\05.3 Utility Sheets.dwg



EXISTING CONDITIONS

COMMENT # _34_ - Defer to Engineering first, but please add call-outs or Legend abbreviations for all of these lines, shapes, icons, etc.. it is wholly unclear what any of these means. The heavy dark (long dash) line looks to show the property going to some point in the existing paved roadway, basically the middle of the 60' (ROW) measurements, and staying there. Then there is a thin, solid black line with coordinates and measurement (200.92') for which it is unclear what that line represents. Then there is the black line (one long/ two short dashes), what does that represent? There is an icon with 3 protrusions - what does that represent? There is a hatched area next to what looks like curbing - what does that represent?

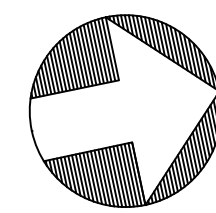


IMPROVEMENTS

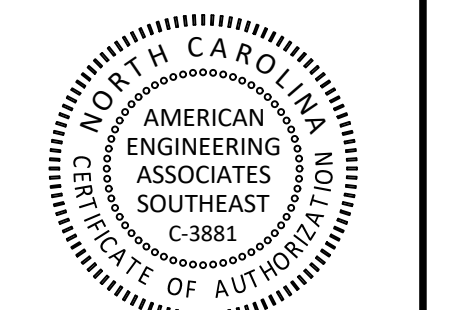
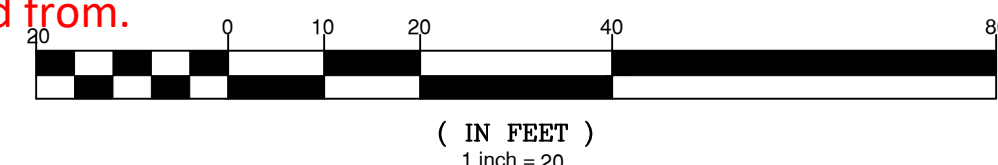
COMMENT # _35_ - Add/Show sidewalk OR Sidepath if to be on this side (defer to PARKS) along all Rolesville Road frontage - why is this excluded?

COMMENT # _32_ - Add/Show sidewalk OR Sidepath if to be on this side (defer to PARKS) along all Rolesville Road frontage - why is this excluded?

Comment # _33_ - Per 2021 CTP, Rolesville Road is described as a "Two-lane with two-way left turn lane, curb & gutter, sidewalk, and Sidepath". On Page 130 of 131, it identifies this Segment of Rolesville Road as a 90 Foot Right of Way. IF existing ROW is 60', then 1/2 the delta - 15' - should be being dedicated. Complete details of the Road Frontage Improvements are appropriate/required with Construction Infrastructure Drawings, but it is unclear if this Drawing is indicating building 1/2 the ultimate roadway including tapers to existing conditions or not. This PSP must establish the front property edge with Rolesville Road - after ROW dedication - which predicated everything else in the subdivision being measured from.



GRAPHIC SCALE



PRELIMINARY FOR CONSTRUCTION

FOR INFORMATION, ONLY

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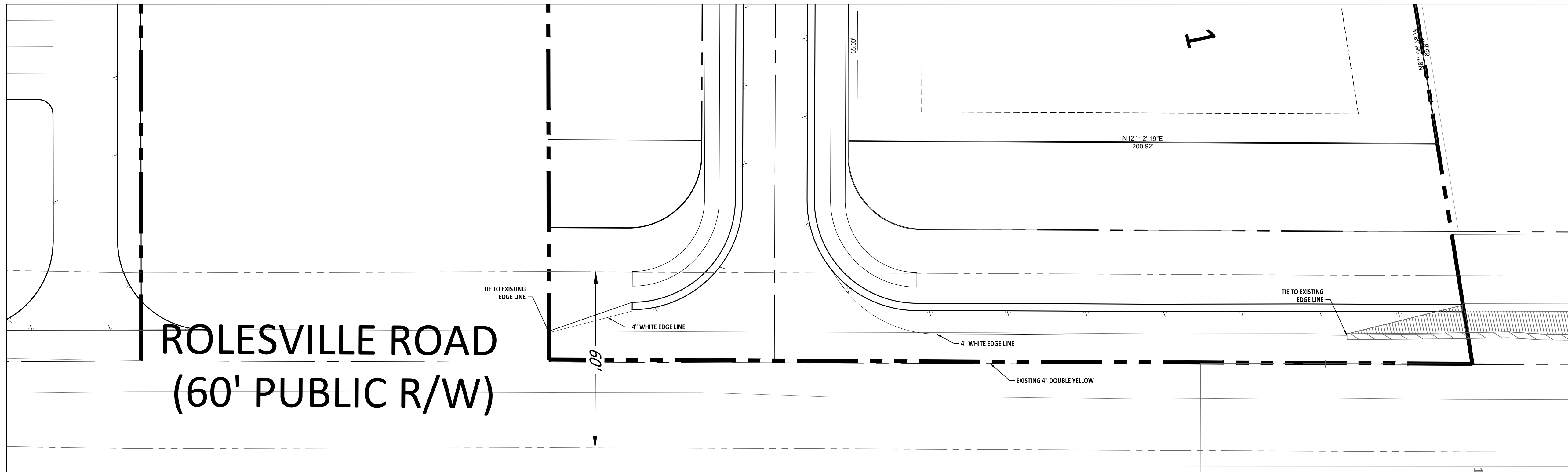
Tucker Wilkins Tract
ROLESVILLE RD IMPROVEMENTS
 Rolesville, Wake County North Carolina 27587

JOB NUMBER: R210017
 CHECKED BY: AE
 DRAWN BY: AE
 DATE: 12-1-2022

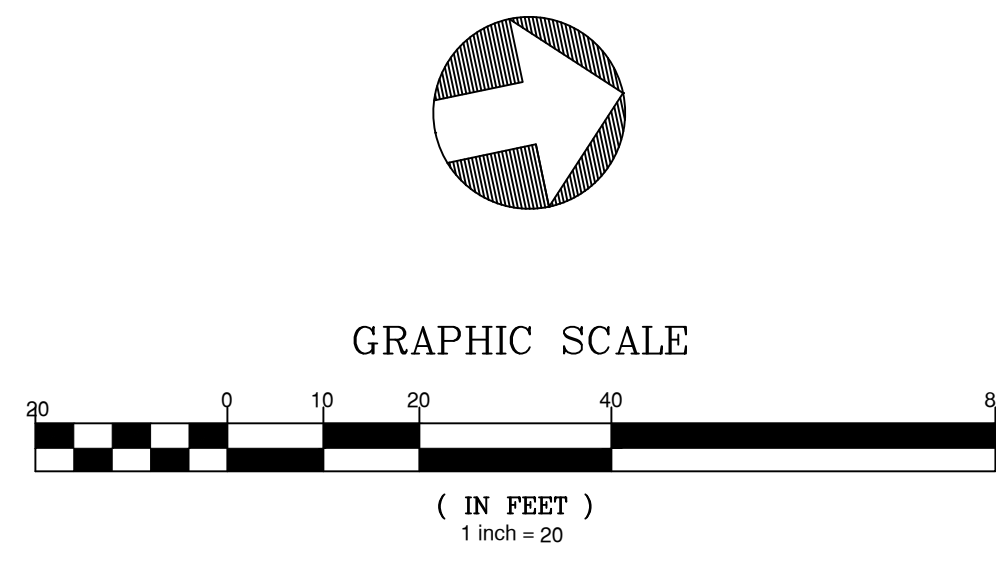
SHEET TITLE:
ROLESVILLE RD IMPROVEMENTS

SHEET NO.:
6.0





ROAD IMPROVEMENTS AT ROLESVILLE RD ENTRANCE



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DATE
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STIPULATION FOR REUSE

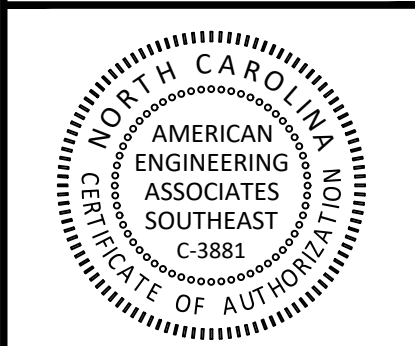
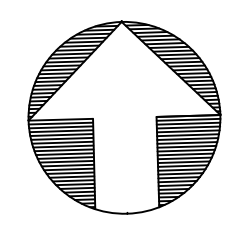
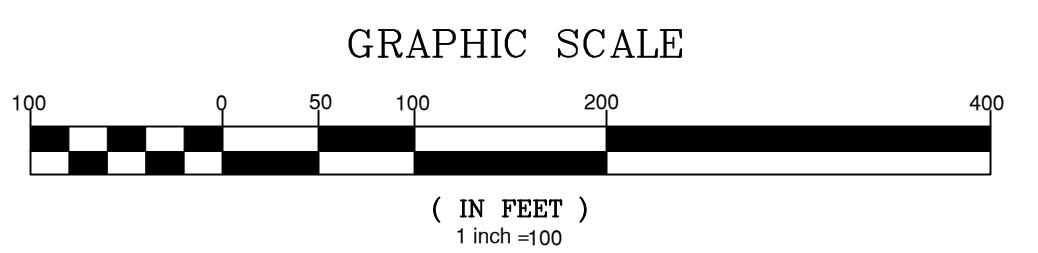
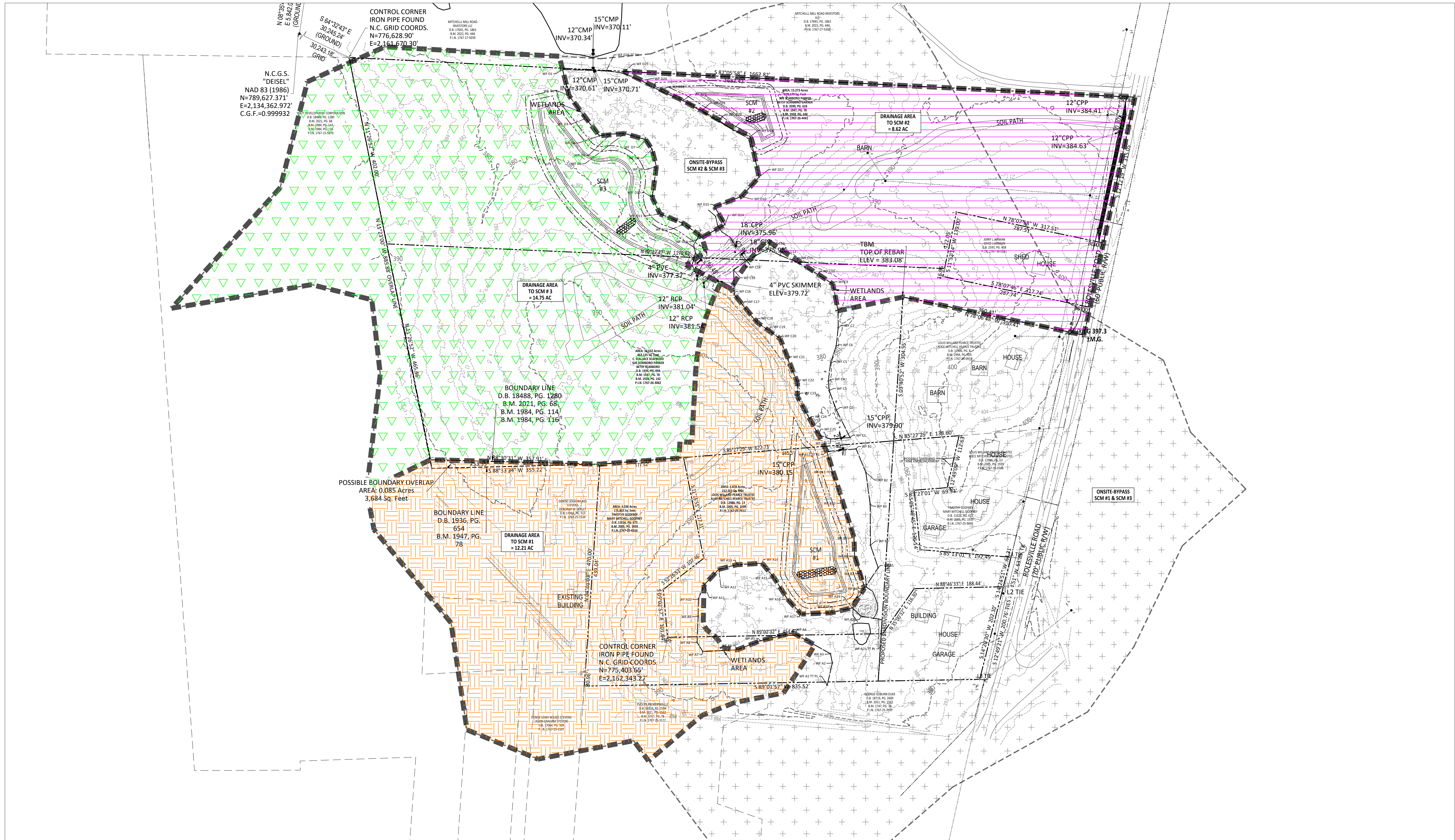
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Tucker Wilkins Tract
STRIPING PLAN
Rolesville, Wake County
North Carolina 27587

JOB NUMBER: R210017
CHECKED BY: AE
DRAWN BY: AE
DATE: 12-1-2022

SHEET TITLE:
STRIPING PLAN

SHEET NO.:
6.1



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Tucker Wilkins Tract
PRE DRAINAGE AREA MAP
 Rolesville, Wake County
 North Carolina 27587

JOB NUMBER: R210017
 CHECKED BY:
 DRAWN BY: AE
 DATE: 12-1-2022

SHEET TITLE:
PRE DRAINAGE AREA MAP

SHEET NO.: **7.0**

