

# 7ELEVEN AT WALLBROOK (LOT 11)

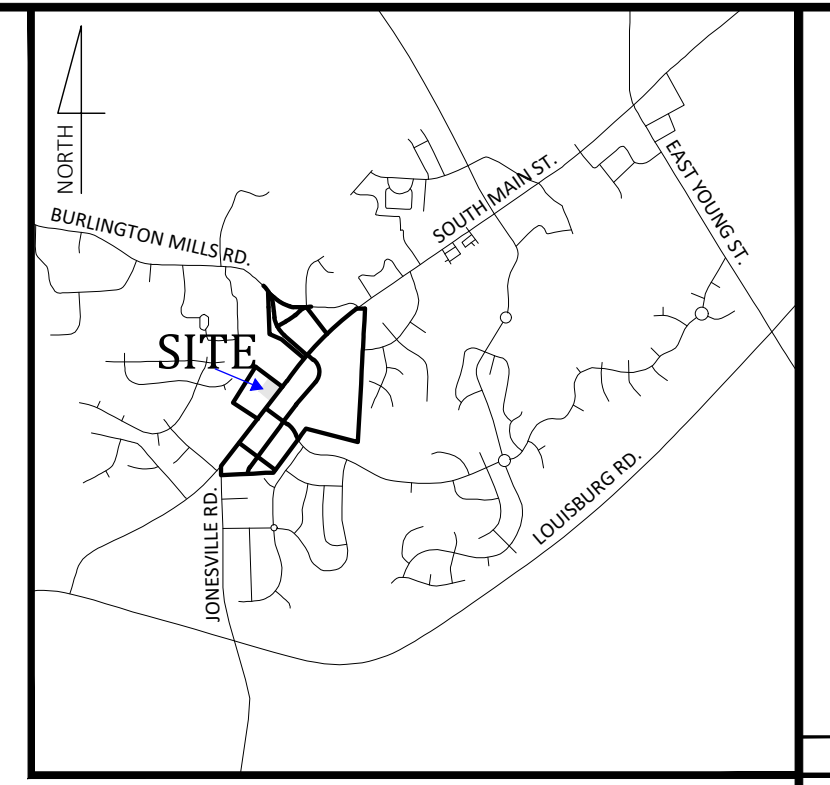
## SITE DEVELOPMENT PLAN

US-401 Business / S. Main Street ~ Wake Forest Township ~ Town of Rolesville ~ Wake County ~ North Carolina

Add site plan number SDP-23-04 to the cover sheet.

Add setbacks and open space required and demonstrate compliance

Update FIRM map to include the most recent dates/numbers.



Vicinity Map NOT TO SCALE

**Engineer**  
Ark Consulting Group, PLLC  
2755 Charles Blvd - Suite B  
Greenville, NC 28758  
(252) 558-0888  
Contact: Bryan Fagundus, PE  
bryan@arkconsultinggroup.com

**Developer**  
Wallbrook CStore, LLC  
801 East Blvd.  
Charlotte, NC 28203  
(704) 561-5200  
Contact: Nick Carroll  
ncarroll@csere.com

**Owner**  
Wallbrook Landco, LLC  
3 Keel St, Ste 2  
Wrightsville Beach, NC 28480  
(704) 621-6430  
Contact: Austin Williams  
awilliams@csere.com

**Parking Requirements:**

PARKING REQUIRED: RETAIL SALES AND SERVICES	
BICYCLE PARKING: 1 / 5000 SF = 4730 / 5000	1 SPACE
MINIMUM: 2.5 / 1000 SF = 4730 / 1000 * 2.5	12 SPACES
MAXIMUM: 7.5 / 1000 SF = 4730 / 1000 * 7.5	36 SPACES
TOTAL REQUIRED PARKING:	12 SPACES
	+ 1 BICYCLE PARKING
REQUIRED HANDICAP PARKING:	1 SPACES
PARKING PROVIDED:	34 SPACES (INCL. 2 H/C) 4 BICYCLE PARKS

**General Notes:**

- CONTACT NORTH CAROLINA ONE-CALL CENTER, INC. (NC ONE-CALL) AT 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE AND THE TOWN OF ROLESVILLE DEVELOPMENT STANDARDS.
- CONTRACTOR SHALL NOTIFY NCDOT AND TOWN OF ROLESVILLE PUBLIC WORKS, STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR RIGHT-OF-WAY.
- A PORTION OF THE PROPERTY IS LOCATED WITHIN ZONE 'X', AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM) 3720175800I, EFFECTIVE DATE: 05/02/2006.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND MAY NOT INCLUDE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- REFER TO M.E.P. PLANS FOR COORDINATION OF BUILDING UTILITY SERVICES.
- THIS PROJECT DISTURBS MORE THAN 1 ACRE FOR PURPOSES OF A COMMERCIAL DEVELOPMENT. PROJECT IS SUBJECT TO THE TOWN OF ROLESVILLE STORMWATER MANAGEMENT ORDINANCE. STORMWATER MANAGEMENT PLAN APPROVAL BY THE TOWN OF ROLESVILLE IS REQUIRED.
- THIS PROJECT DISTURBS MORE THAN 1 ACRE. EROSION & SEDIMENTATION CONTROL PLAN APPROVAL IS REQUIRED.
- NCDOT DRIVEWAY PERMIT APPROVAL IS COMPLETED FOR THIS PROJECT. REFERENCE NCDOT PERMIT NUMBER D051-092-22-00049.
- REFUSE COLLECTION SHALL BE PROVIDED BY PRIVATE SERVICE FOR COMMERCIAL DEVELOPMENT.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- SITE SHALL MEET ALL RELATED ACCESSIBILITY CODE REQUIREMENTS.
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON WAS PREPARED BY JOHNSON, MIRMIRAN & THOMPSON. REFERENCE IS MADE TO THE SURVEY ENTITLED ALTA/NSPS LAND TITLE SURVEY PREPARED FOR WALLBROOK LANDCO, LLC DATED 3/28/2020, AND ATTACHED TO THIS DRAWING SET FOR REFERENCE.
- UNDERGROUND UTILITIES PLOTTED IN PART FROM ACTUAL FIELD LOCATION OF ABOVE GROUND FEATURES AND IN PART FROM MAPS ON RECORD. ACTUAL LOCATIONS MAY VARY. SURVEYOR AND ENGINEER CANNOT PROVIDE ACCURACY OF INFORMATION TAKEN FROM RECORD DATA. OTHER UTILITIES MAY EXIST. CONTRACTOR SHOULD CONTACT NORTH CAROLINA ONE-CALL CENTER (NC ONE-CALL) BY DIALING 811 TO HAVE UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- THE ENGINEER MAKES NO GUARANTEE THAT THE UTILITIES SHOWN ARE COMPRISED OF ALL SUCH UTILITIES IN THE AREA OF SURVEY EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE ENGINEER DOES HEREBY CERTIFY THAT ALL UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY UNCOVERED AND LOCATED ANY UNDERGROUND UTILITIES.

**Site Data**

TOTAL ACRES IN SITE:	1.62 AC
TOTAL ACRES IN PROJECT LIMITS:	1.31 AC
DISTURBED ACREAGE:	1.31 AC
CURRENT ZONING:	GC-CZ
WAKE COUNTY PIN:	1758-46-7822
REAL ESTATE ID:	224130
WATERSHED:	Lower Neuse
RIVER BASIN:	Neuse
CURRENT USE:	VACANT / WOODED
PROPOSED USE:	NON-RESIDENTIAL / FUEL SALES / RETAIL
BUILDING FLOOR AREA:	4730 SF
BUILDING LOT COVERAGE:	0% EXIST., 6.72% PROPOSED
BUILDING HEIGHT:	21'5" (1 STORY)
TOTAL NUMBER OF PARKING SPACES REQUIRED:	12 SPACES (INCL. 1 H/C) + 1 BICYCLE SPACE
TOTAL NUMBER OF PROPOSED PARKING SPACES:	34 SPACES (INCL. 2 H/C) + 4 BICYCLE SPACES
TOTAL SQ. FEET OF EXIST. IMPERVIOUS AREA:	0 SF
TOTAL SQ. FEET OF PROP. IMPERVIOUS AREA:	51,557 SF (73.10%)
DEVELOPMENT STANDARDS:	LDO
REFERENCES:	D.B. 12634, PG. 2473 M.B. 1996, PG. 187 ###S. MAIN STREET

**SHEET INDEX**

#	TITLE
C0.1	COVER - OVERALL SITE PLAN
C1.0	EROSION CONTROL PLAN - Ph. 1
C1.1	EROSION CONTROL PLAN - Ph. 2
C1.2	EROSION CONTROL NOTES
C1.3	EROSION CONTROL DETAILS
C2.0	SITE PLAN
C3.0	UTILITY PLAN
C4.0	GRADING PLAN
C5.0	REQUIRED VEGETATION PLAN
C6.0	DETAILS
C6.1	DETAILS
C6.2	DETAILS
C6.3	DETAILS
REF	SURVEY - JOHNSON, MIRMIRAN, & THOMPSON (1 SHEET)
REF	ARCHITECTURAL BUILDING ELEVATIONS - BUFSTUDIO (3 SHEETS)
REF	SITE LIGHTING PLAN - BUFSTUDIO (X SHEETS)

Please provide a existing conditions sheet including tree preservation area consistent with PR21-04 REV.

Please provide a lighting plan sheet compliant with LDO Section 6.6.F and 6.6.M

**Special Use Plan (SUP-02) Conditions:**

- USES AND MAXIMUM DENSITIES ARE LIMITED TO THOSE SHOWN ON EACH SITE OF THE CONCEPT PLAN. ANY RESIDENTIAL UNITS NOT DESIGNATED ON THE RESIDENTIAL - TOWNHOMES TRACT MAY BE USED ON ANY OF THE TRACTS LABELED FOR NON-RESIDENTIAL USE.
- PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR THE FIRST RESIDENTIAL UNIT IN THE EAST SITE AS SHOWN ON THE CONCEPT PLAN, DEVELOPER WILL COMPLETE THE EXTENSION OF WALL CREEK DRIVE TO MAIN STREET.
- IF APPLICANT SEEKS A CERTIFICATE OF OCCUPANCY PRIOR TO THE COMMENCEMENT OF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS, THEN PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY OF THE FIRST RESIDENTIAL UNIT IN THE EAST SITE AND IN ACCORDANCE WITH THE "WALLBROOK DEVELOPMENT 'TIA ADDENDUM - RESIDENTIAL-ONLY PHASE' DATED FEBRUARY 13, 2020, DEVELOPER WILL CONSTRUCT A 100' NORTHBOUND RIGHT TURN LANE AND A 100' SOUTHBOUND LEFT TURN LANE AT THE INTERSECTION OF WALL CREEK DRIVE (AS EXTENDED) AND MAIN STREET. IF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS IS COMMENCED BEFORE THE FIRST CERTIFICATE OF OCCUPANCY IS REQUESTED, DEVELOPER IS NOT REQUIRED TO CONSTRUCT THE AFOREMENTIONED IMPROVEMENTS.
- NO LATER THAN SIX MONTHS FOLLOWING THE COMPLETION OF THE LAPP GRANT PROJECT IMPROVEMENTS, DEVELOPER WILL COMPLETE BOTH 1) THE EXTENSION OF VIRGINIA WATER DRIVE TO MAIN STREET AND 2) THE EXTENSION OF BURLINGTON MILLS ROAD (AS REALIGNED) FROM MAIN STREET TO VIRGINIA WATER DRIVE.
- DEVELOPER WILL COMPLETE TRAFFIC IMPROVEMENTS AS SET FORTH IN OCTOBER 13, 2020 MEMO BY STANTEC.
- FINAL ACRES OF SITES ARE SUBJECT TO CHANGE AT SITE PLAN AND CONSTRUCTION PLAN BASED ON FINAL SURVEYS AND SITE PLAN REVIEW AND APPROVAL.
- AS SHOWN ON THE CONCEPT PLAN, AREAS OF THE SITE EAST OF THE RIPARIAN STREAM AND ADJACENT TO WAKE COUNTY PINS 1758676836, 1758674619, 1758674416, 1758674204, 1758674100, AND 1758663984 SHALL NOT BE DEVELOPED WITH STRUCTURES OR IMPROVEMENTS.

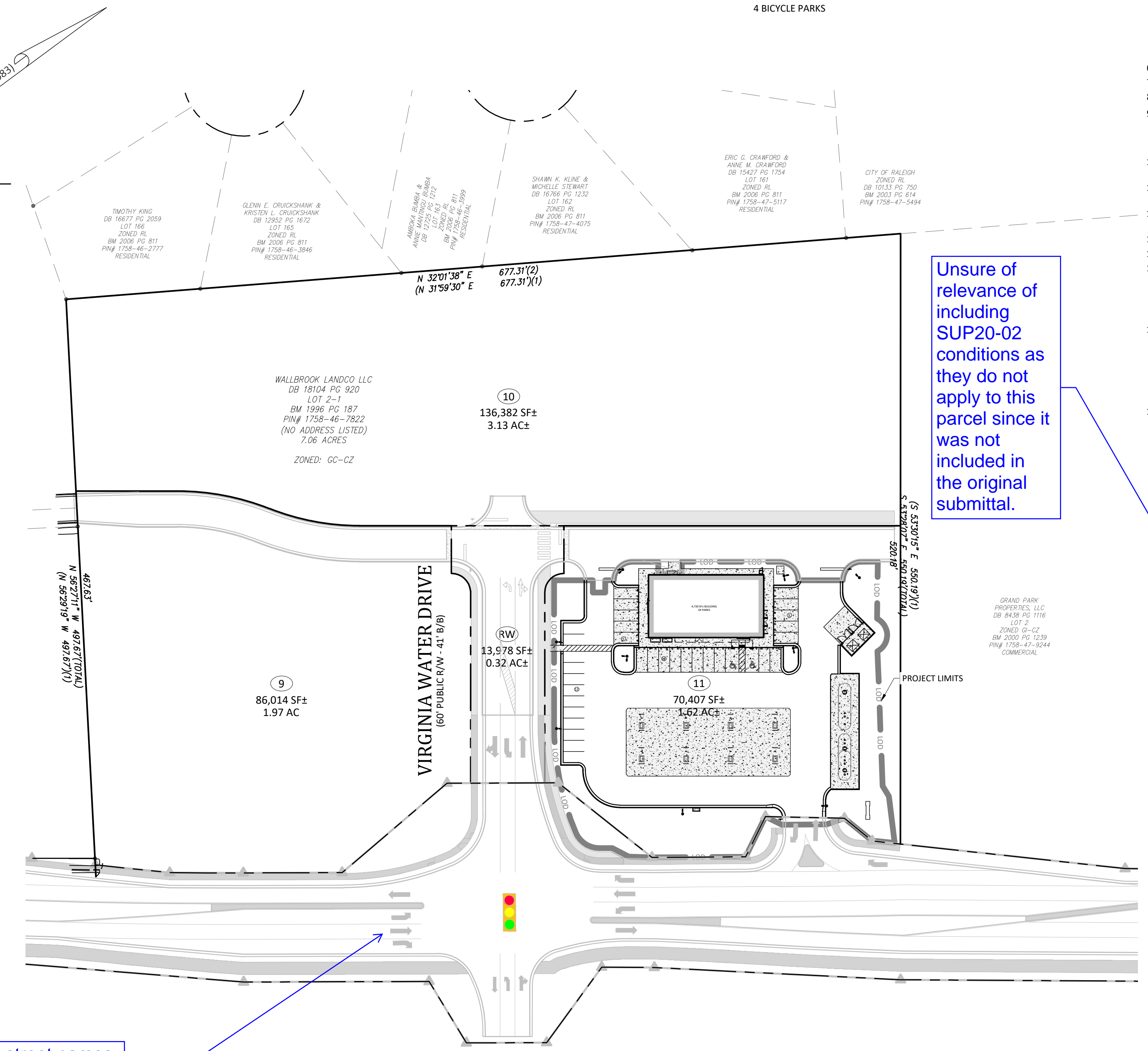
**Legend**

EXISTING	PROPOSED
○	○
△	△
□	□
+	+
—	—
R/W	R/W
C&G	C&G
DI	DI
EM	EM
F/O	F/O
GV	GV
LP	LP
PP	PP
RCP	RCP
S.F.	S.F.
SIGN	SIGN
WM	WM
WMH	WMH
WV	WV
X-WALK	X-WALK
E	E
FD	FD
OV	OV
S	S
W	W
8"W	8"W
12"W	12"W
SPILL CURB	SPILL CURB
FENCE	FENCE
RIPIARIAN BUFFER	RIPIARIAN BUFFER
TREELINE	TREELINE
MAJOR CONTOUR (5')	MAJOR CONTOUR (5')
MINOR CONTOUR (1')	MINOR CONTOUR (1')
TREE PROTECTION FENCE	TREE PROTECTION FENCE
SILT FENCE	SILT FENCE
CONCRETE SIDEWALK	CONCRETE SIDEWALK
ACCESS AND UTILITY EASEMENT	ACCESS AND UTILITY EASEMENT
TREE PRESERVATION AREA	TREE PRESERVATION AREA
OPEN SPACE AREA	OPEN SPACE AREA

Include street names here, including ROW width and Book and Page number.

Unsure of relevance of including SUP20-02 conditions as they do not apply to this parcel since it was not included in the original submittal.

Include date of drawing.



**EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT**

APPROVED

EROSION CONTROL  S-

STORMWATER MGMT.  S-

FLOOD STUDY  S-

DATE \_\_\_\_\_

ENVIRONMENTAL CONSULTANT SIGNATURE \_\_\_\_\_

**Rolesville**  
APPROVED FOR COMPLIANCE

Case # \_\_\_\_\_ Project \_\_\_\_\_

By: \_\_\_\_\_ Date \_\_\_\_\_

These plans have been approved for compliance with the Town Code of Ordinance, LDO, and standard Specifications and Construction Details, subject to statements & conditions hereby incorporated by reference.

**C0.1**

Date: May 2023

**7ELEVEN AT WALLBROOK (LOT 11)**  
Town of Rolesville Project No. SDP 23-\_\_\_\_  
US 401 Business / S. Main Street & Virginia Water Drive  
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

**COVER - OVERALL SITE PLAN**

Ark Consulting Group, PLLC  
2755B Charles Blvd  
Greenville, NC 28758  
(252) 558-0888  
www.arkconsultinggroup.com

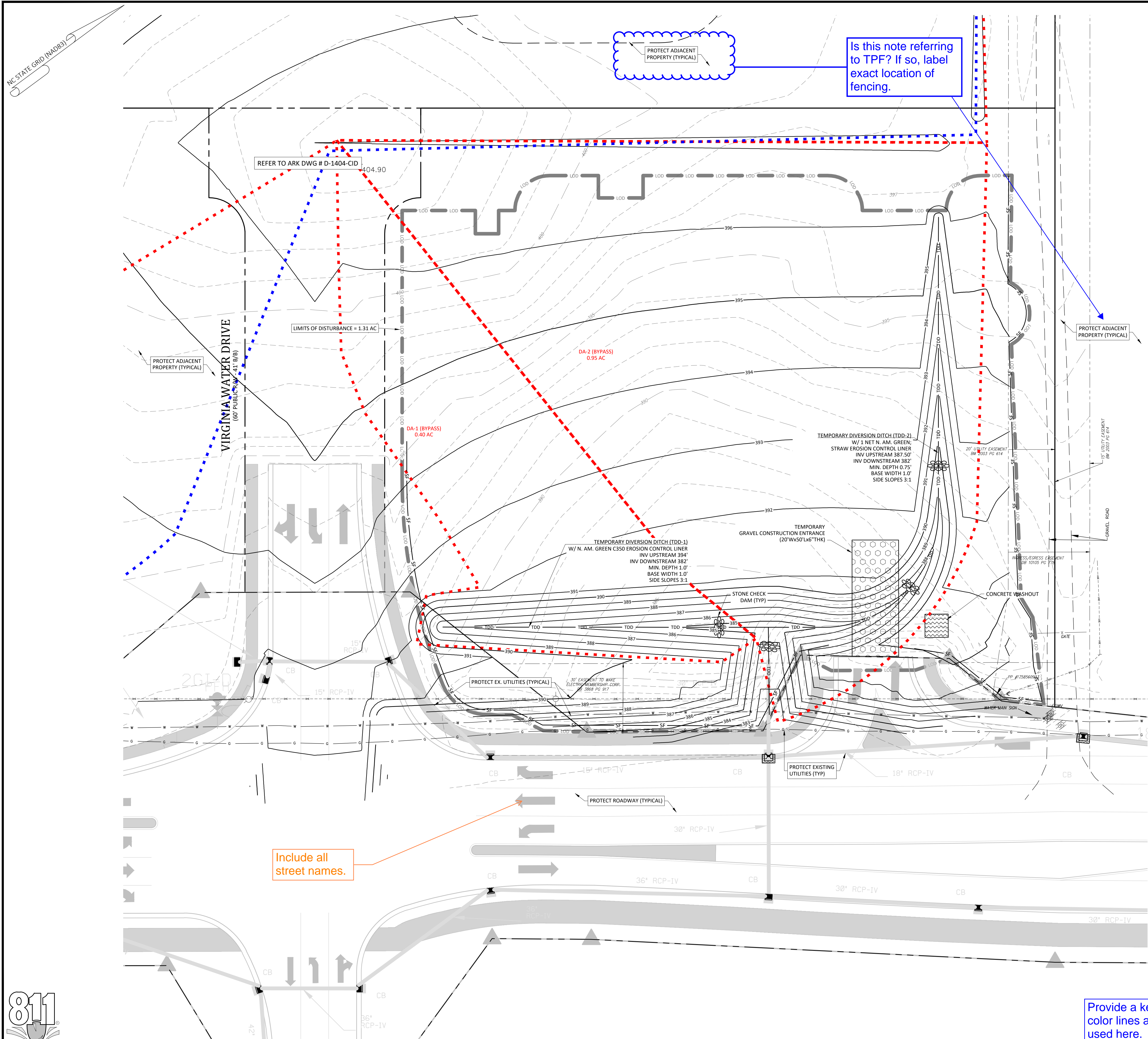
Project Manager: BCF  
Drawn By: DLC/TN  
Checked By: TN  
Project Number: 22049  
Drawing Number: D-1404-SDP

**Final Drawing - Issued for Permit Review Purposes Only**

REVISIONS:

#	DATE	DESCRIPTION
1	11-MAY-23	ISSUED FOR PERMIT REVIEW

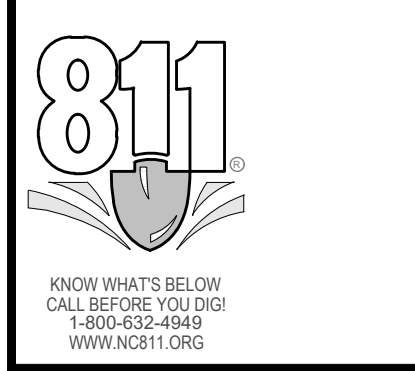




- Demolition Notes:**
- CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE-CALL CENTER (NC 811) BY DIALING 811 OR 1-800-632-4949 AT LEAST 72 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY OR DIGGING AND HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
  - THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
  - EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
  - ALL DEMOLITION WASTE AND DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
  - THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
  - ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
  - CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
  - CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
  - CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE NCDOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH THE LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
  - CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION OR CONSTRUCTION ACTIVITIES.
  - CONTRACTOR SHALL REMOVE EXISTING VEGETATION AND IMPROVEMENTS WITHIN LIMITS OF DISTURBANCE UNLESS NOTED OTHERWISE.
  - TREES OUTSIDE OF CONSTRUCTION LIMITS OR TREES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED.

- Erosion Control Provisions:**
- NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING WAKE COUNTY WATERSHED MANAGEMENT OF THE DATE THAT THE LAND DISTURBING ACTIVITY WILL BEGIN.
  - LAND DISTURBING ACTIVITY BEYOND THAT REQUIRED TO INSTALL APPROPRIATE EROSION CONTROL MAY NOT PROCEED UNTIL EROSION CONTROL MEASURES ARE INSPECTED AND APPROVED BY THE ENGINEER.
  - SCHEDULING OF A PRE-CONSTRUCTION CONFERENCE WITH THE WAKE COUNTY WATERSHED MANAGER, JEEVAN NEUPANE, PE (919-819-8907) PRIOR TO INITIATING LAND DISTURBING ACTIVITIES IS REQUIRED. FOR INSPECTION CALL 919-819-8907. 48 HOUR NOTICE IS REQUIRED.
  - INSTALL TREE PROTECTION FENCING AROUND ALL AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE AS SHOWN ON PLANS.
  - PROVIDE 20' X 50' X 6" STONE CONSTRUCTION ENTRANCES AS SHOWN ON PLAN.
  - SEED OR OTHERWISE PROVIDE GROUND COVER DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION FOR ALL EXPOSED SLOPES WITHIN 7 DAYS OF COMPLETION OF ANY PHASE OF GRADING ON PERMETER AREAS AND SLOPES STEEPER THAN 3:1. ALL OTHER AREAS SHALL BE STABILIZED WITHIN 14 DAYS.
  - CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT. FAILURE TO KEEP ALL EROSION CONTROL DEVICES IN PROPER WORKING ORDER MAY RESULT IN A STOP WORK ORDER OR CIVIL PENALTIES UP TO \$5000.00 PER DAY OF VIOLATION.
  - THE ENGINEER RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES SHOULD THE PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.
  - ACCEPTANCE AND APPROVAL OF THIS PLAN IS CONDITIONED UPON YOUR COMPLIANCE WITH FEDERAL AND STATE WATER QUALITY LAWS, REGULATION AND RULES. IN ADDITION LOCAL CITY AND COUNTY ORDINANCES OR RULES MAY ALSO APPLY TO THIS LAND DISTURBING ACTIVITY. APPROVAL BY THE COUNTY DOES NOT SUPERSEDE ANY OTHER PERMIT OR APPROVAL.
  - PLEASE BE ADVISED OF THE RULES TO PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE AND TAR RIVER BASINS. THESE RULES ARE ENFORCED BY THE DIVISION OF WATER RESOURCES (DWR). DIRECT ANY QUESTIONS ABOUT THE APPLICABILITY OF THESE RULES TO YOUR PROJECT TO THE REGIONAL WATER QUALITY SUPERVISOR, RALEIGH REGIONAL OFFICE AT (919) 791-4200.

- Construction Sequence:**
- EROSION AND SEDIMENT CONTROL (E&S) PERMIT AND A CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED BEFORE ANY LAND DISTURBING ACTIVITIES OCCUR.
  - CALL WAKE COUNTY WATERSHED MANAGER JEEVAN NEUPANE AT (919) 819-8907 A MINIMUM OF 48 HOURS IN ADVANCE TO SCHEDULE A PRE-CONSTRUCTION MEETING AND FOR NOTIFICATION OF PROJECT START UP.
  - ANY DEWATERING ON THE SITE SHALL BE DONE THROUGH A SILT BAG THAT IS CONSTANTLY MONITORED.
  - INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
  - CALL WATERSHED MANAGER, JEEVAN NEUPANE FOR AN ONSITE INSPECTION TO OBTAIN A CERTIFICATE OF COMPLIANCE.
  - BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE. INSTALL TEMPORARY SKIMMER SEDIMENT BASINS ALONG WITH TEMPORARY DIVERSION DITCHES THAT SHALL BE INSTALLED TO ENSURE AS MUCH FLOW AS POSSIBLE IS DIRECTED TO THE BASINS.
  - AS ROUGH GRADING CONTINUES, DEVICES SHALL BE MAINTAINED AND CLEANED OF SEDIMENT. SKIMMER SEDIMENT BASINS TO BE ABANDONED SHALL BE REMOVED AS FOLLOWS: DEWATER THROUGH SILT BAG, CLEAN SEDIMENT, REMOVE BAFFLES, BACKFILL BASIN AND STABILIZE IMMEDIATELY. DEWATERING OPERATIONS THROUGH SILT BAGS SHALL BE MONITORED CONTINUOUSLY.
  - STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAME.
  - WHEN ROUGH GRADING IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL WATERSHED MANAGER JEEVAN NEUPANE FOR INSPECTION.
  - IF SITE IS APPROVED, MAINTAIN TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSSIPATORS, SHOULD NOW BE INSTALLED.
  - WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR FINAL SITE INSPECTION BY THE WATERSHED MANAGER, JEEVAN NEUPANE. OBTAIN CERTIFICATE OF COMPLETION.



Include all street names.

Is this note referring to TPF? If so, label exact location of fencing.

Provide a key/legend for the different color lines and symbols shown and used here.



**- Final Drawing -**  
Issued for Permit  
Review Purposes Only

REVISIONS:

**EROSION CONTROL PLAN - PH. 1**  
**7ELEVEN AT WALLBROOK (LOT 11)**  
Town of Rolesville Project No. SDP 23-  
US 401 Business / S. Main Street & Virginia Water Drive  
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

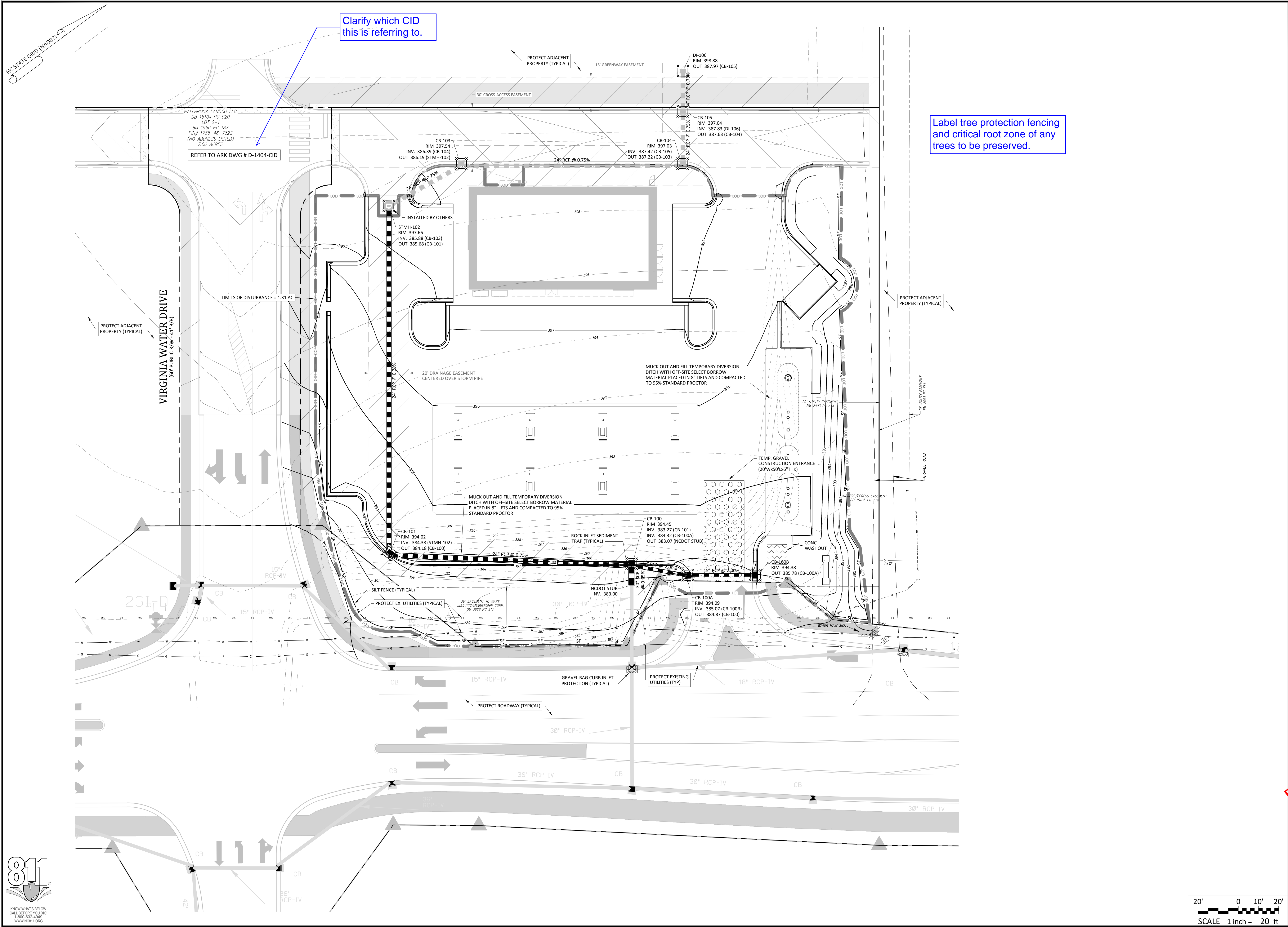
**7ELEVEN**

**ARK CONSULTING GROUP PLLC**  
ENGINEERS & PLANNERS  
2755-B Charles Blvd.  
Charlotte, NC 27758  
(704) 558-0888  
www.arkconsultinggroup.com

Project Manager: BCF  
Drawn By: DLC/TN  
Checked By: TN  
Project Number: 22049  
Drawing Number: D-1404-SDP

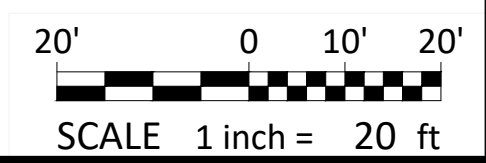
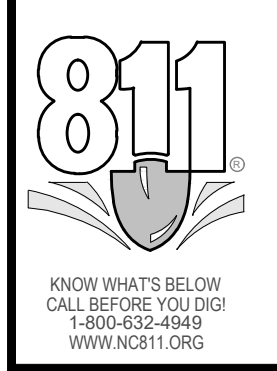
**C1.0**  
Date: May 2023





Clarify which CID this is referring to.

Label tree protection fencing and critical root zone of any trees to be preserved.



**- Final Drawing -**  
 Issued for Permit  
 Review Purposes Only

1.1 MAY 23 ISSUED FOR PERMIT REVIEW



**EROSION CONTROL PLAN - PH. 2**  
**7ELEVEN AT WALLBROOK (LOT 11)**  
 Town of Rolesville Project No. SDP 23-\_\_\_\_  
 US 401 Business / S. Main Street & Virginia Water Drive  
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: P-1129  
**ARK CONSULTING GROUP PLLC**  
 ENGINEERS & PLANNERS

2755-B Charles Blvd.  
 Raleigh, NC 27604  
 (919) 876-9888  
 www.arkconsultinggroup.com

**Final Drawing**  
 5/11/2023

Project Manager: BCF  
 Drawn By: DLC/TN  
 Checked By: TN  
 Project Number: 22049  
 Drawing Number: D-1404-SDP

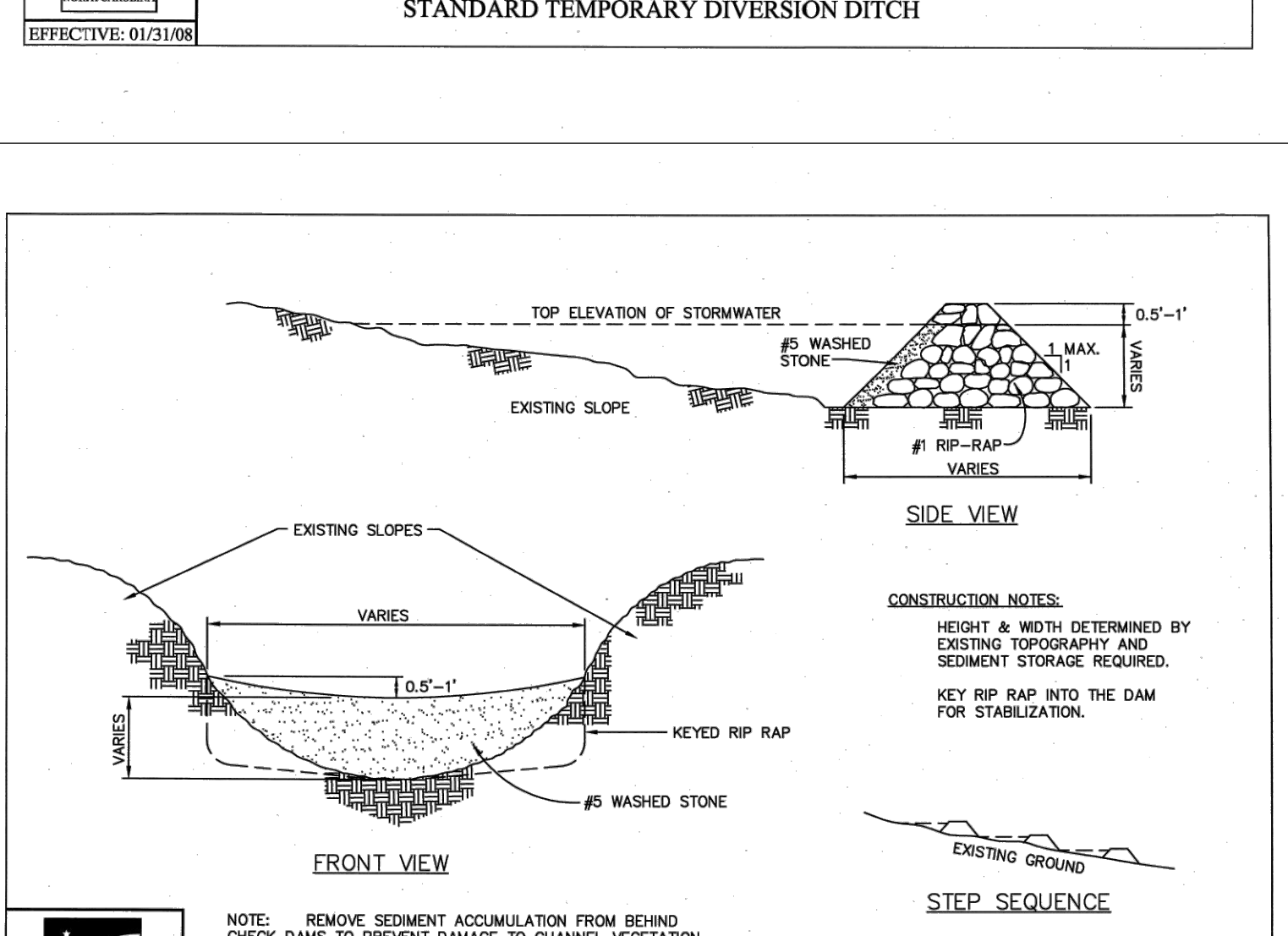
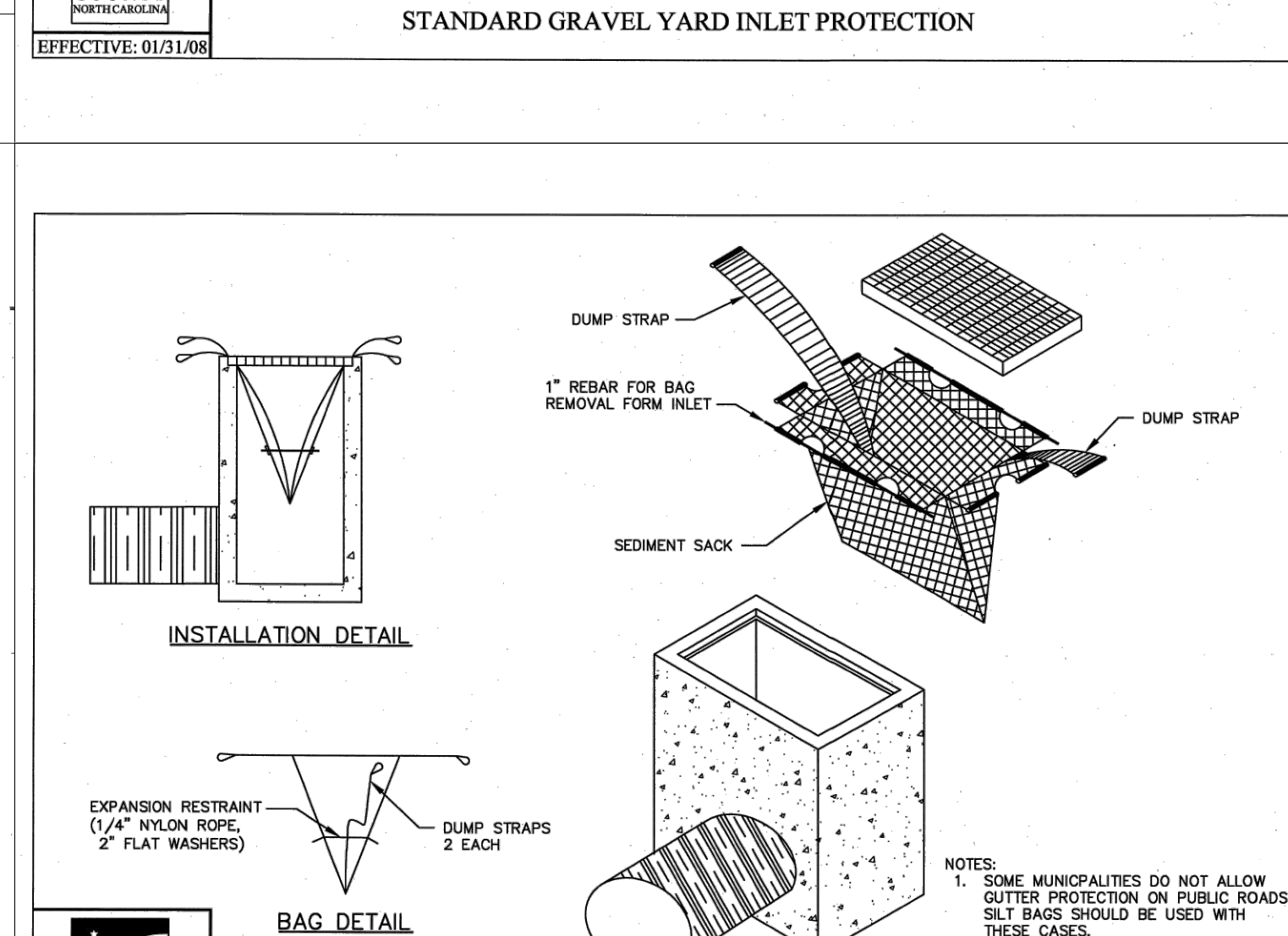
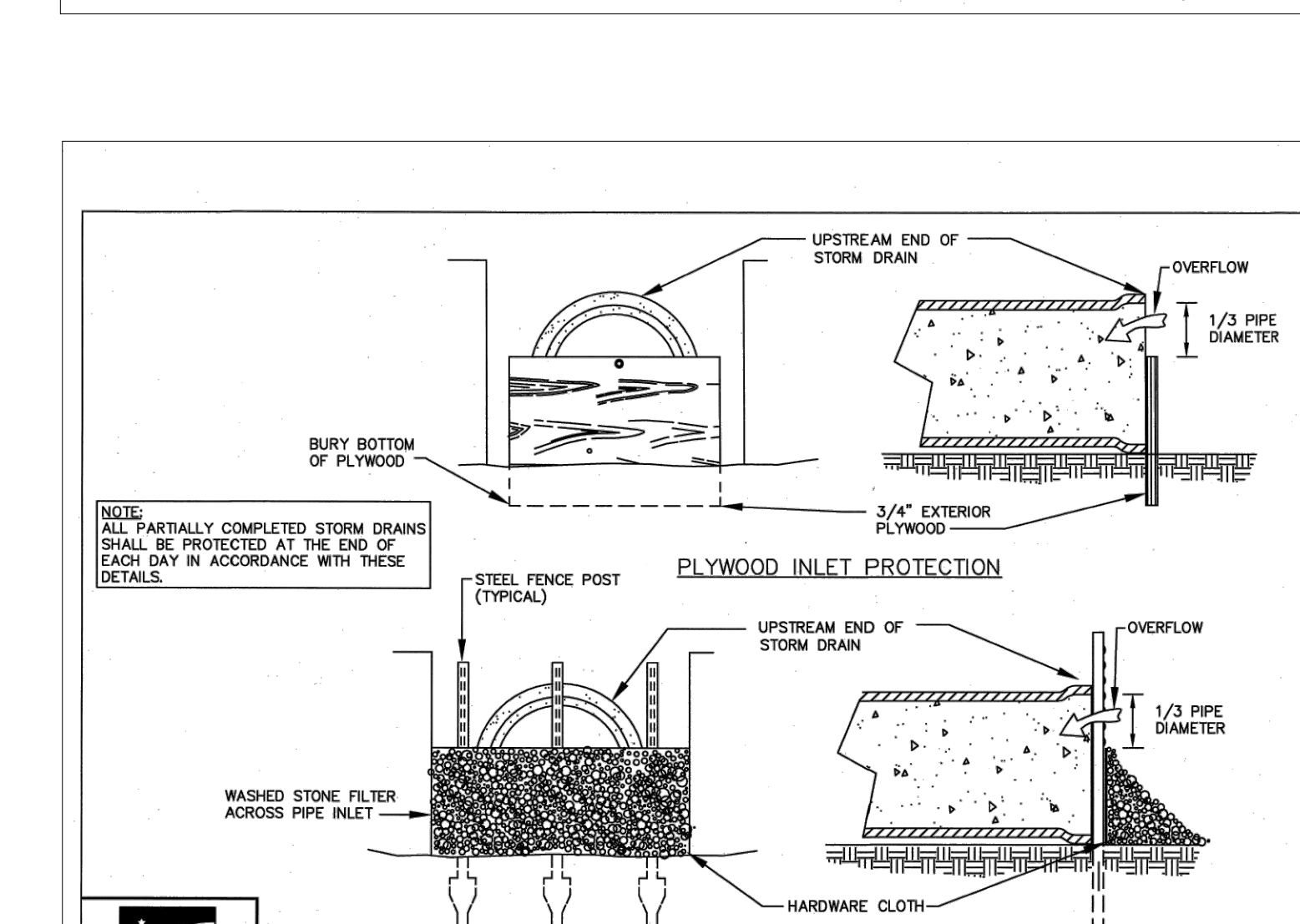
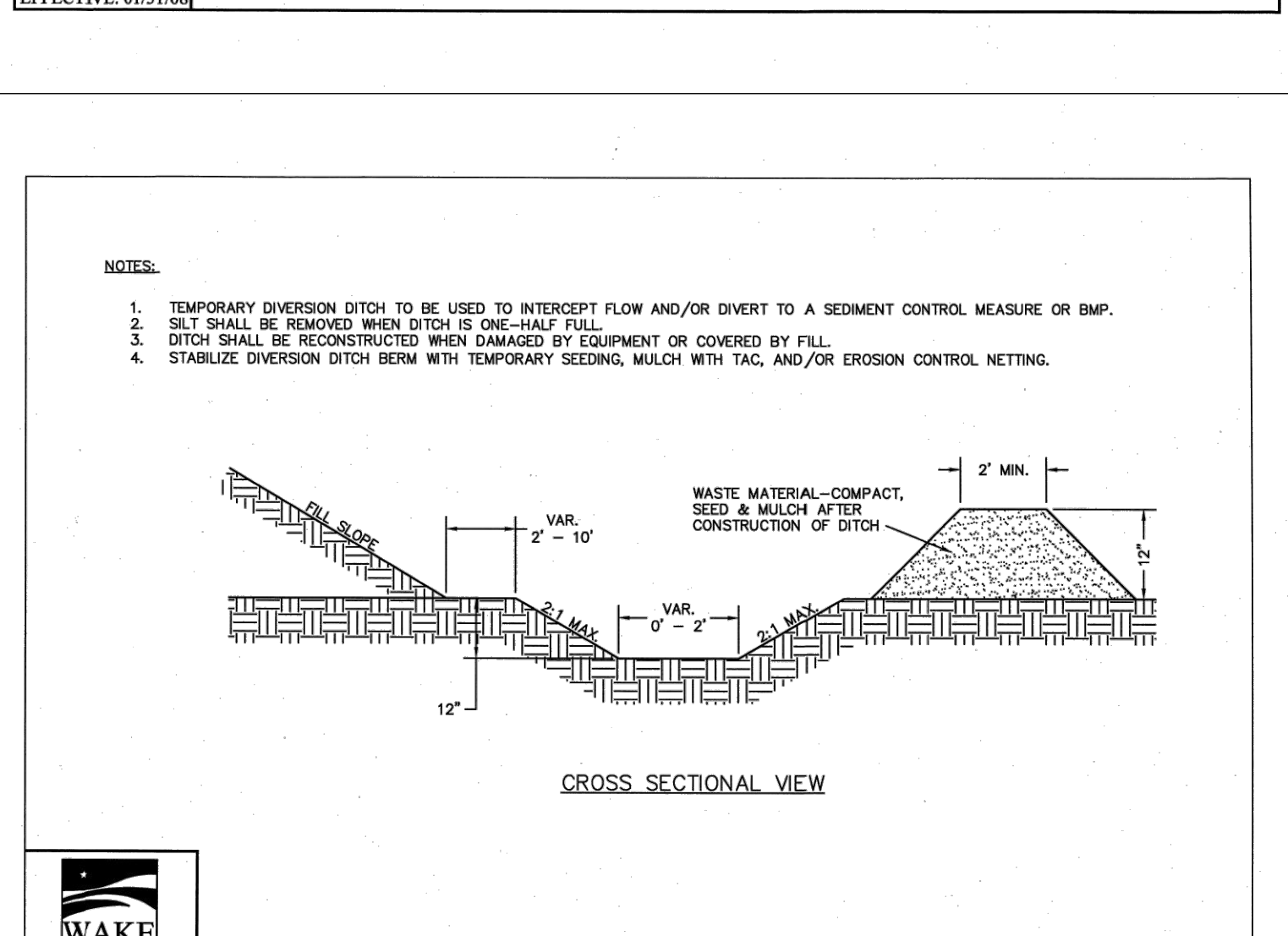
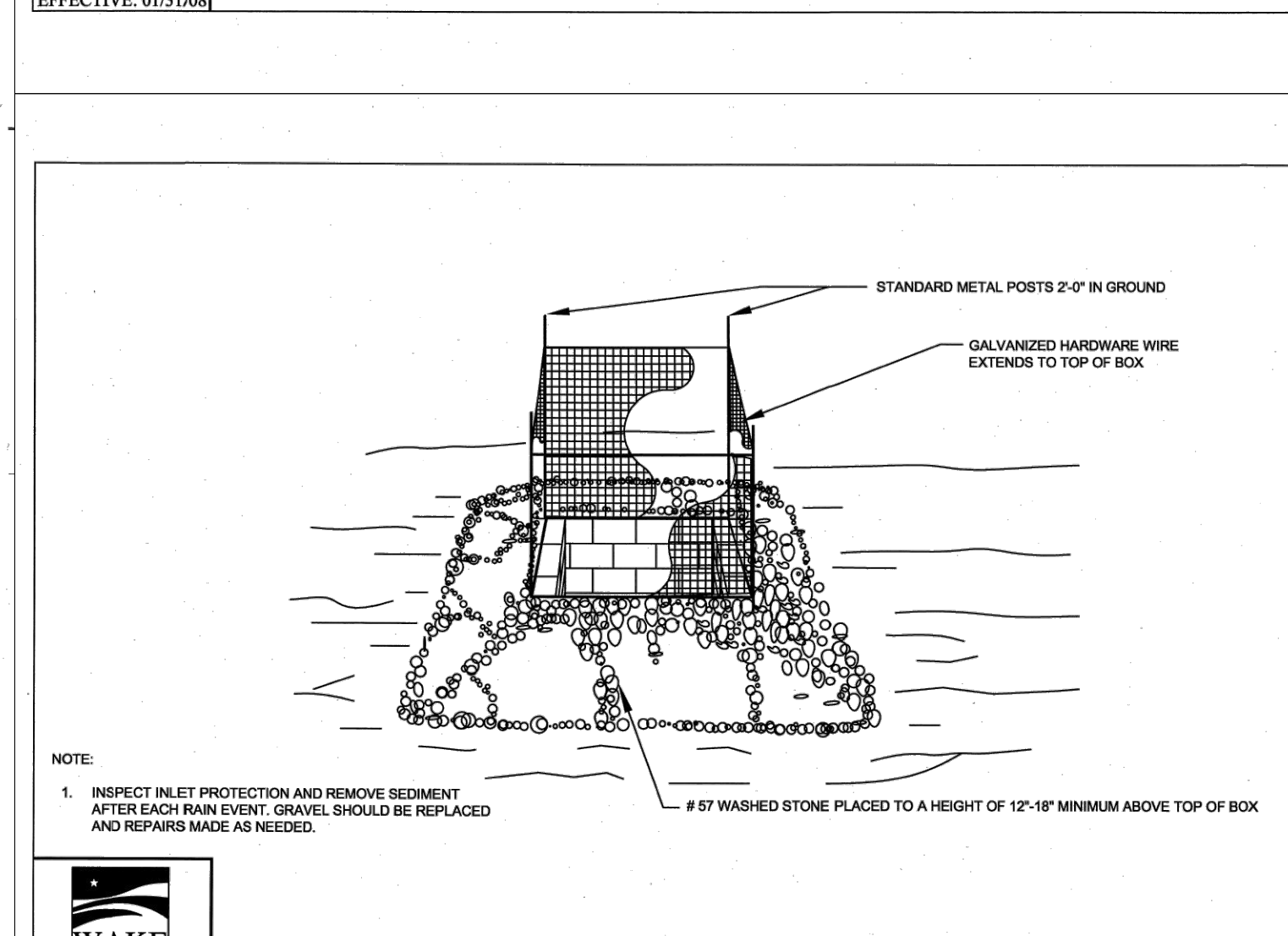
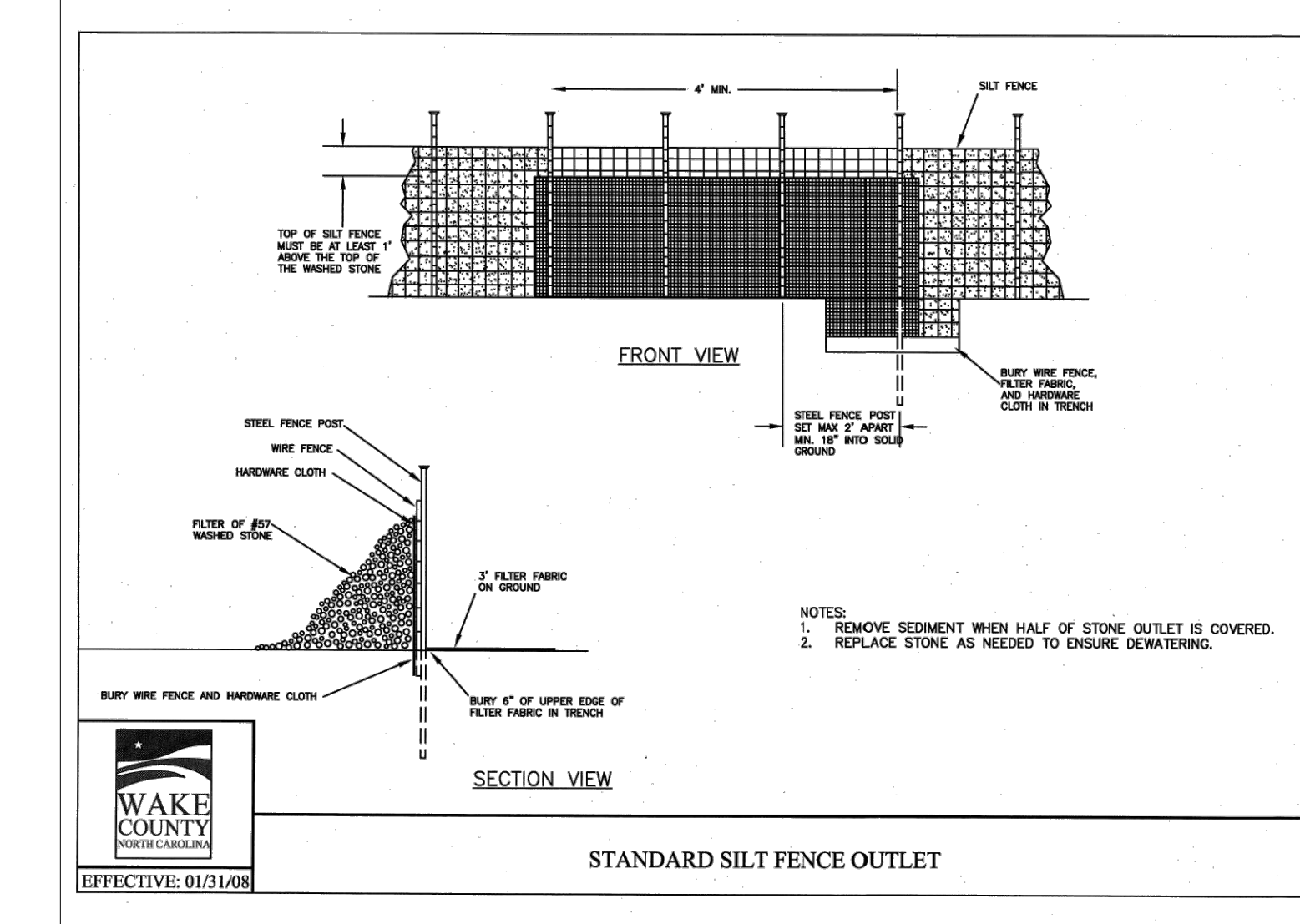
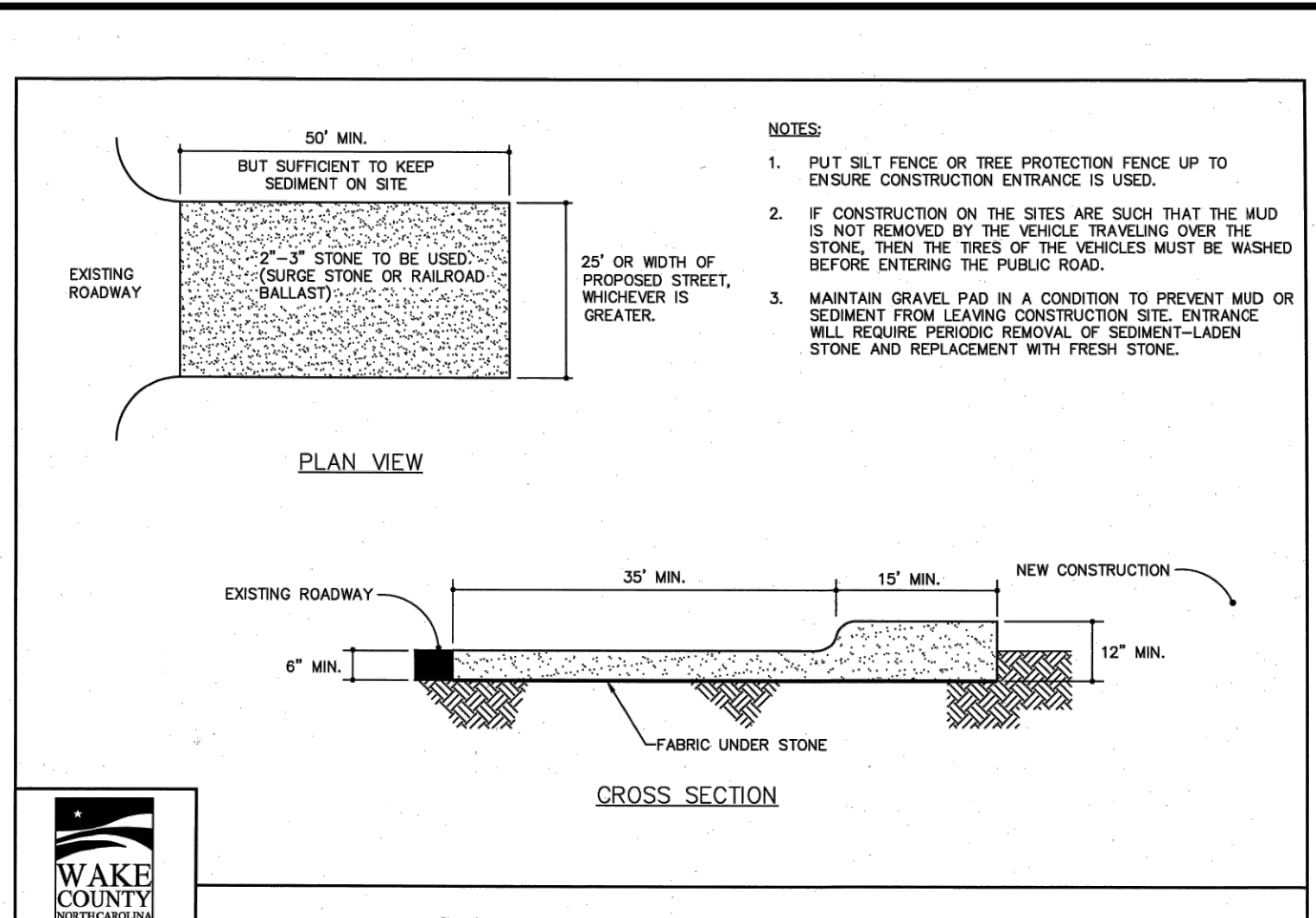
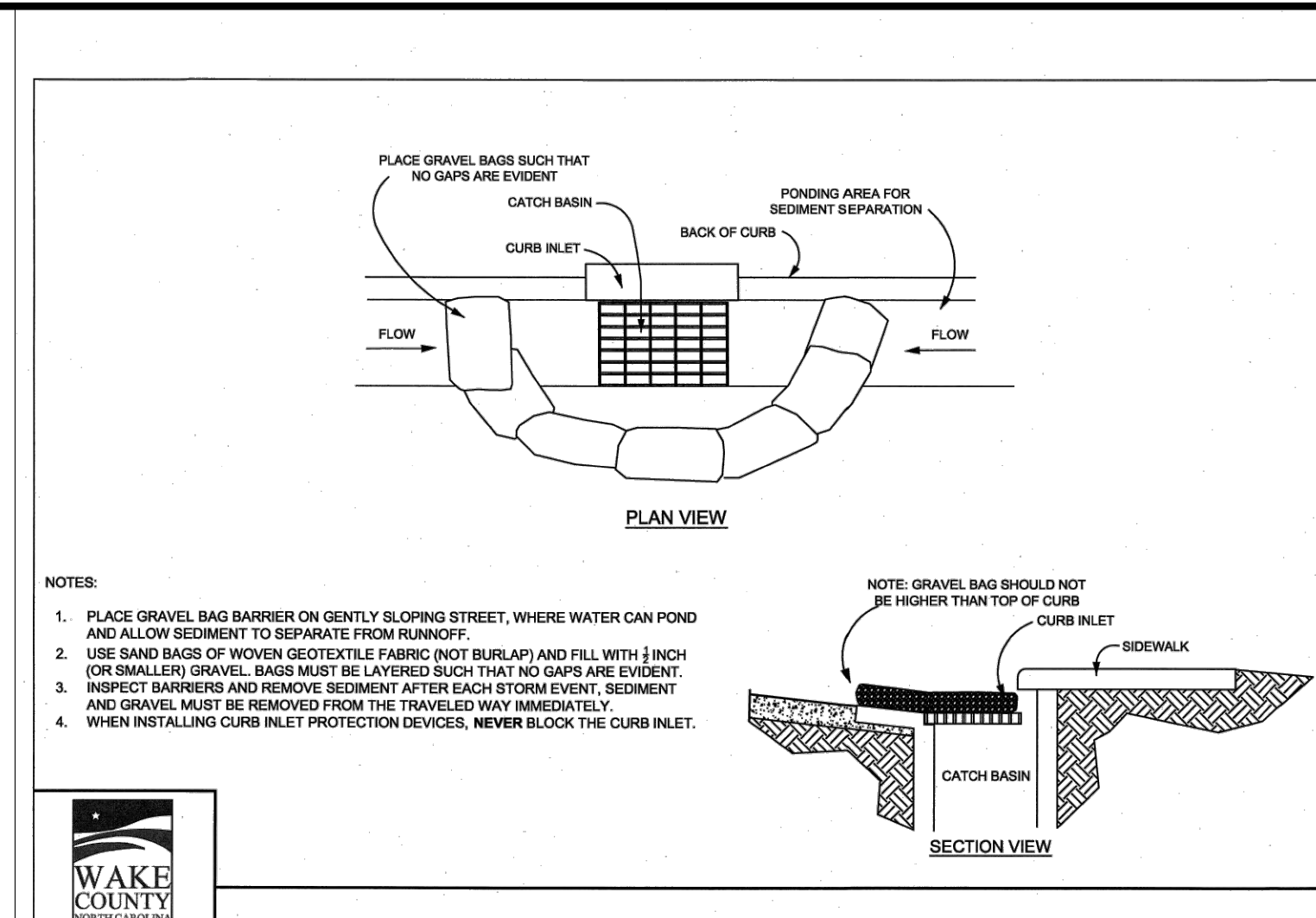
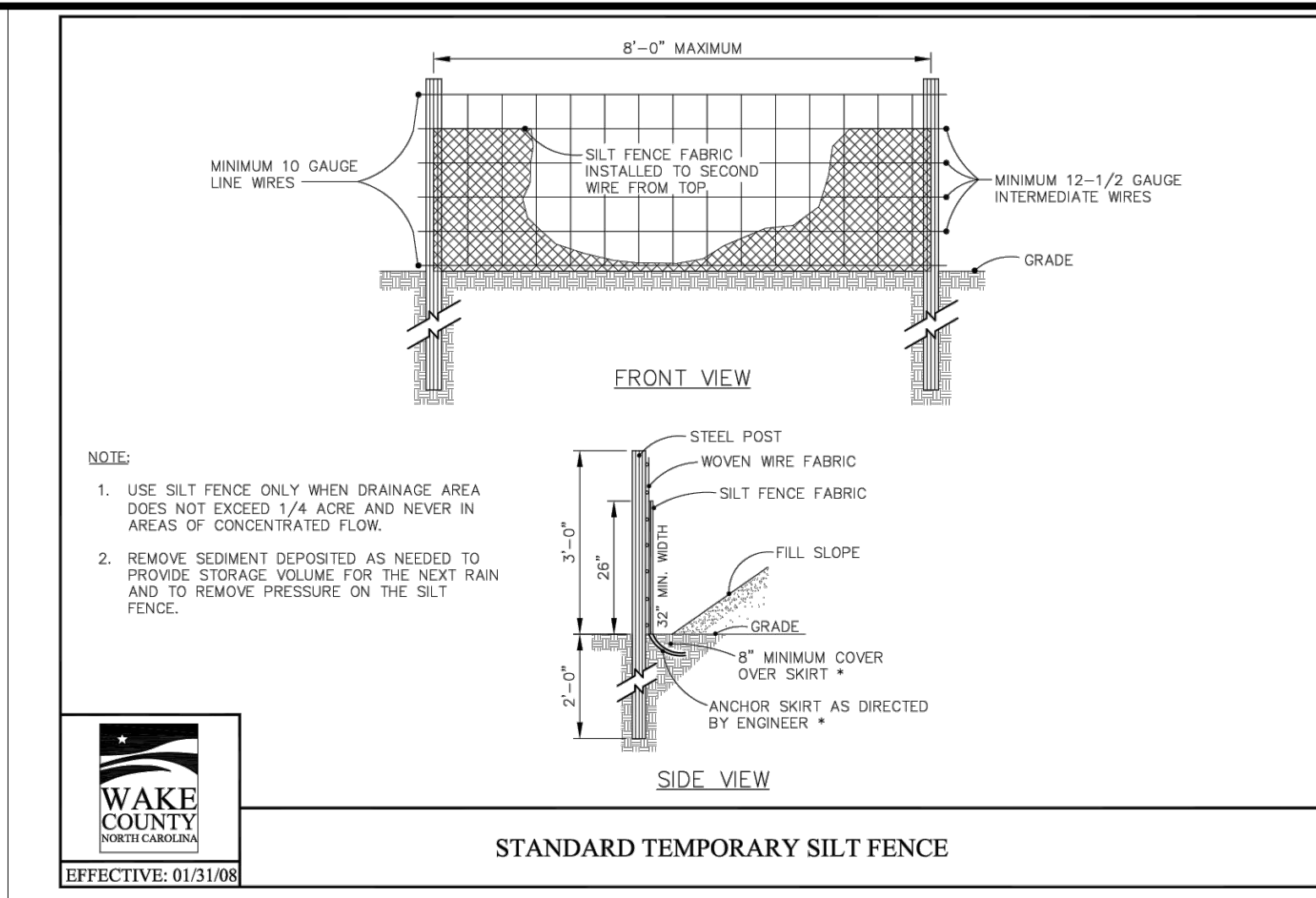
**C1.1**

Date: May 2023









Vegetated Swale Design  
 Project: Wallbrook  
 Location: Rolesville, Wake County, NC

Device ID	Device Type	Add'l Flow (cfs)	Disturbed Area (AC)	Tc (min)	Intensity (in/hr)*	Oreq C	Oreq (cfs)	Up Invert	Down Invert	Length (ft)	Base Width (ft)	Left Slope (x:1)	Right Slope (x:1)	Flow Depth (ft)	Manning's n	Slope (ft/ft)	Wetted Area (sf)	Wetted Perimeter (ft)	Hydraulic Radius (ft)	Velocity (ft/s)	Qa (cfs)	Qa>Oreq?	τ (lbs/ft <sup>2</sup> )	Liner Type	Allowable Shear Stress, τ (lbs/ft <sup>2</sup> )
TDD-1	Temporary Diversion	0	0.95	5	7.18	0.5	3.41	394	382	270	1	3	3	0.91	0.020	0.04444	3.41	7.27	0.47	1.00	3.41	Yes	2.531233515	North Am. Green C350; Bare soil	3
TDD-2	Temporary Diversion	0	0.40	5	7.18	0.5	1.44	387.5	382	140	1	3	3	0.70	0.020	0.03929	2.17	7.16	0.30	0.66	1.44	Yes	1.71749551	N. Am. Green; Straw; 1 nets	1.55

\*NOAA Atlas 14, NEUSE 2 NE Station, 10-yr 5-min duration intensity

**- Final Drawing -**  
 Issued for Permit  
 Review Purposes Only

1.1 MAY 23 | ISSUED FOR PERMIT REVIEW  
 # | DATE | DESCRIPTION

REVISIONS:

**EROSION CONTROL DETAILS**

**7ELEVEN AT WALLBROOK (LOT 11)**

Town of Rolesville Project No. SDP 23-  
 US 401 Business / S. Main Street & Virginia Water Drive  
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

**ARK CONSULTING GROUP PLLC**  
 ENGINEERS & PLANNERS

7755-B Charles Blvd  
 Raleigh, NC 27618  
 (919) 558-0888  
 www.arkconsultinggroup.com

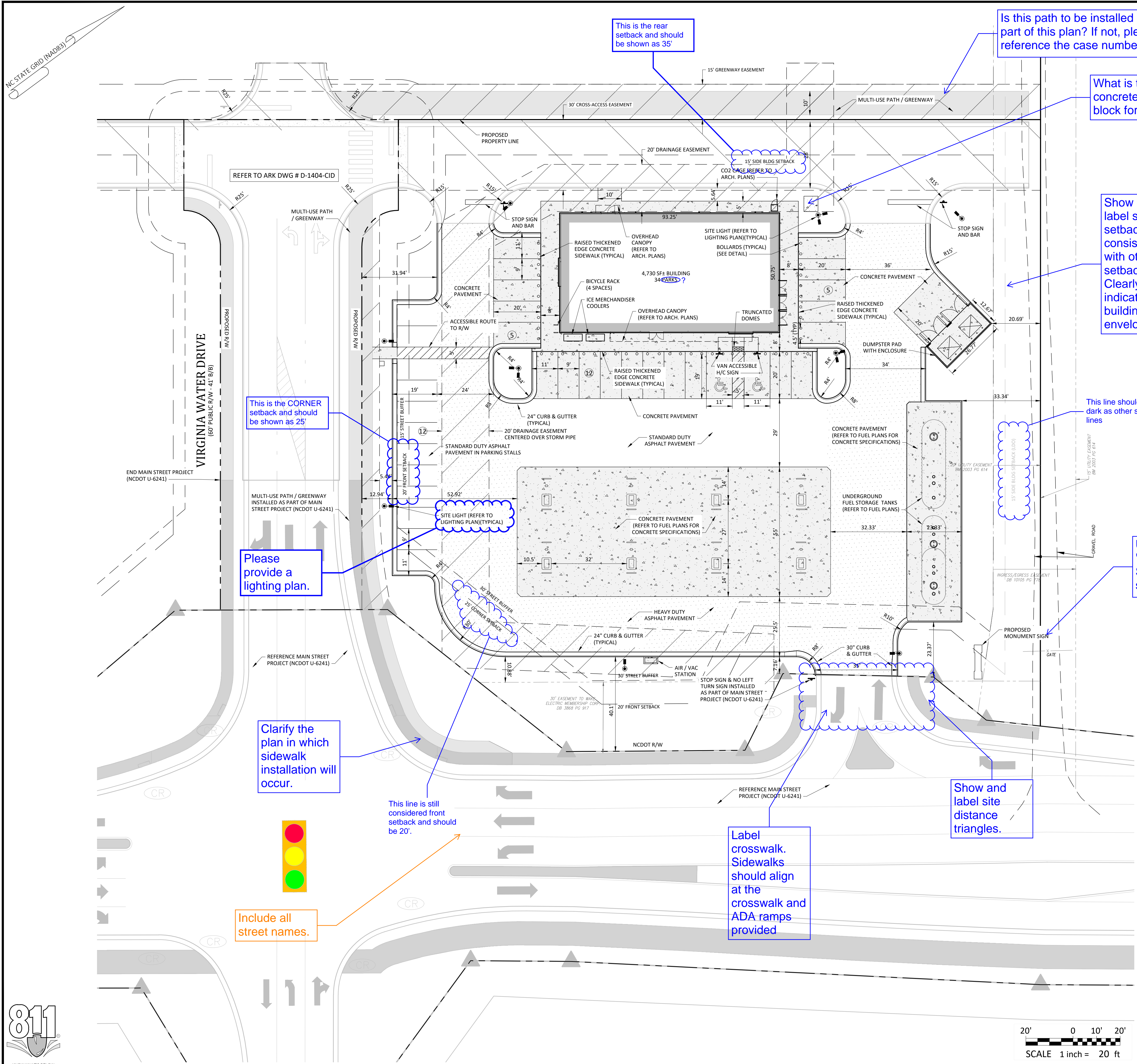
01/2023

Project Manager: BCF  
 Drawn By: DLC/TN  
 Checked By: TN  
 Project Number: 22049  
 Drawing Number: D-1404-SDP

**C1.3**

Date: May 2023





**General Notes:**

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
  - ALTA/NSPS LAND TITLE SURVEY, PREPARED BY JOHNSON, MIRMIRAN & THOMPSON FOR WALLBROOK LANDCO, LLC, DATED REVISED MARCH 28, 2020
  - "REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING EVALUATION - 7 ELEVEN AT WALLBROOK" PREPARED BY NVS ENGINEERS AND CONSULTANTS, INC., DATED JULY 11, 2022
  - "REVISED WALLBROOK DEVELOPMENT TRAFFIC IMPACT ANALYSIS" PREPARED BY STANTEC CONSULTING SERVICES, INC., DATED AUGUST 11, 2020
2. ALL ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.
3. THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X, AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 3720175800J, EFFECTIVE DATE: MAY 2, 2006.
4. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
5. THE OWNER / CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.
7. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE PART OF THE REQUIRED CONSTRUCTION DOCUMENTS, AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
8. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO ARK CONSULTING GROUP, PLLC BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARK CONSULTING GROUP, PLLC IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER ONSITE FEATURES.
9. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS AND GRADES SHOWN ON THESE PLANS PRIOR TO THE GIVING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.
10. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL / BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY / EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
11. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.
12. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB & GUTTER. CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONNECTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION.
13. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, NOR IS THE ENGINEER RESPONSIBLE FOR ANY CONFLICTS OR SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

**Impervious Area Calculations**

SITE LIMITED TO 85% IMPERVIOUS AREA AS ACCOUNTED FOR IN THE WALLBROOK STORMWATER MASTER PLAN

PROPOSED BUILDING IMPERVIOUS AREA:	4730 SF
PROPOSED TRANSPORTATION IMPERVIOUS AREA:	46827 SF
PROPOSED TOTAL IMPERVIOUS AREA:	51557 SF
TOTAL SITE AREA:	70567 SF
ALLOWABLE IMPERVIOUS AREA (85%):	59982 SF
PROPOSED IMPERVIOUS PERCENTAGE:	73.10%

**- Final Drawing -**  
Issued for Permit  
Review Purposes Only

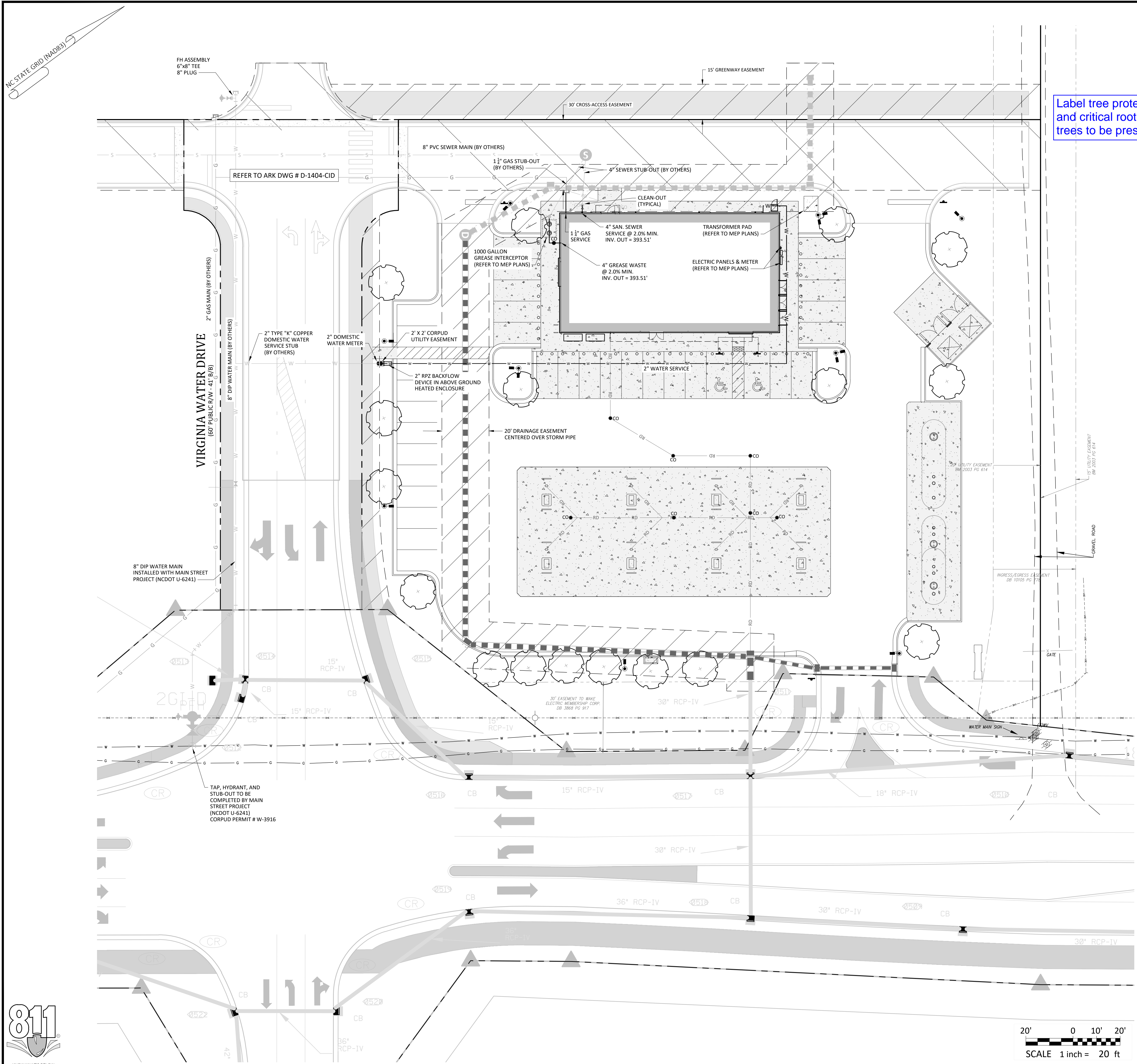
**7ELEVEN AT WALLBROOK (LOT 11)**  
Town of Rolesville Project No. SDP 23-\_\_\_\_  
US 401 Business / S. Main Street & Virginia Water Drive  
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

**Ark CONSULTING GROUP PLLC**  
ENGINEERS & PLANNERS  
7755-B Charles Blvd.  
Raleigh, NC 27618  
(919) 558-8888  
www.arkconsultinggroup.com

**811**  
KNOW WHAT'S BELOW  
CALL BEFORE YOU DIG  
1-800-486-4848  
WWW.NC811.ORG

**C2.0**  
Date: May 2023



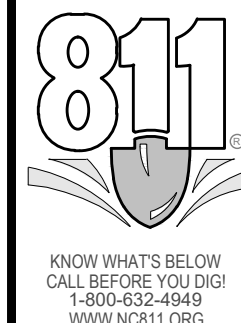


Label tree protection fencing and critical root zone of any trees to be preserved.

Provide a legend or key of what symbols mean.

**CORPUD Standard Utility Notes:**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK)
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATER SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY CORPUD PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO CORPUD.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY CORPUD. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL PVC WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NC. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.



**- Final Drawing -**  
Issued for Permit  
Review Purposes Only



**UTILITY PLAN**  
**7ELEVEN AT WALLBROOK (LOT 11)**  
Town of Rolesville Project No. SDP 23-  
US 401 Business / S. Main Street & Virginia Water Drive  
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License P-1129  
**ARK CONSULTING GROUP PLLC**  
ENGINEERS & PLANNERS  
2755-B Charles Blvd.  
Raleigh, NC 27608  
(919) 558-8888  
www.arkconsultinggroup.com

**ATTENTION CONTRACTORS**  
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.  
**Failure** to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.  
**Failure** to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

Project Manager: BCF  
Drawn By: DLT/TN  
Checked By: TN  
Project Number: 22049  
Drawing Number: D-1404-SDP

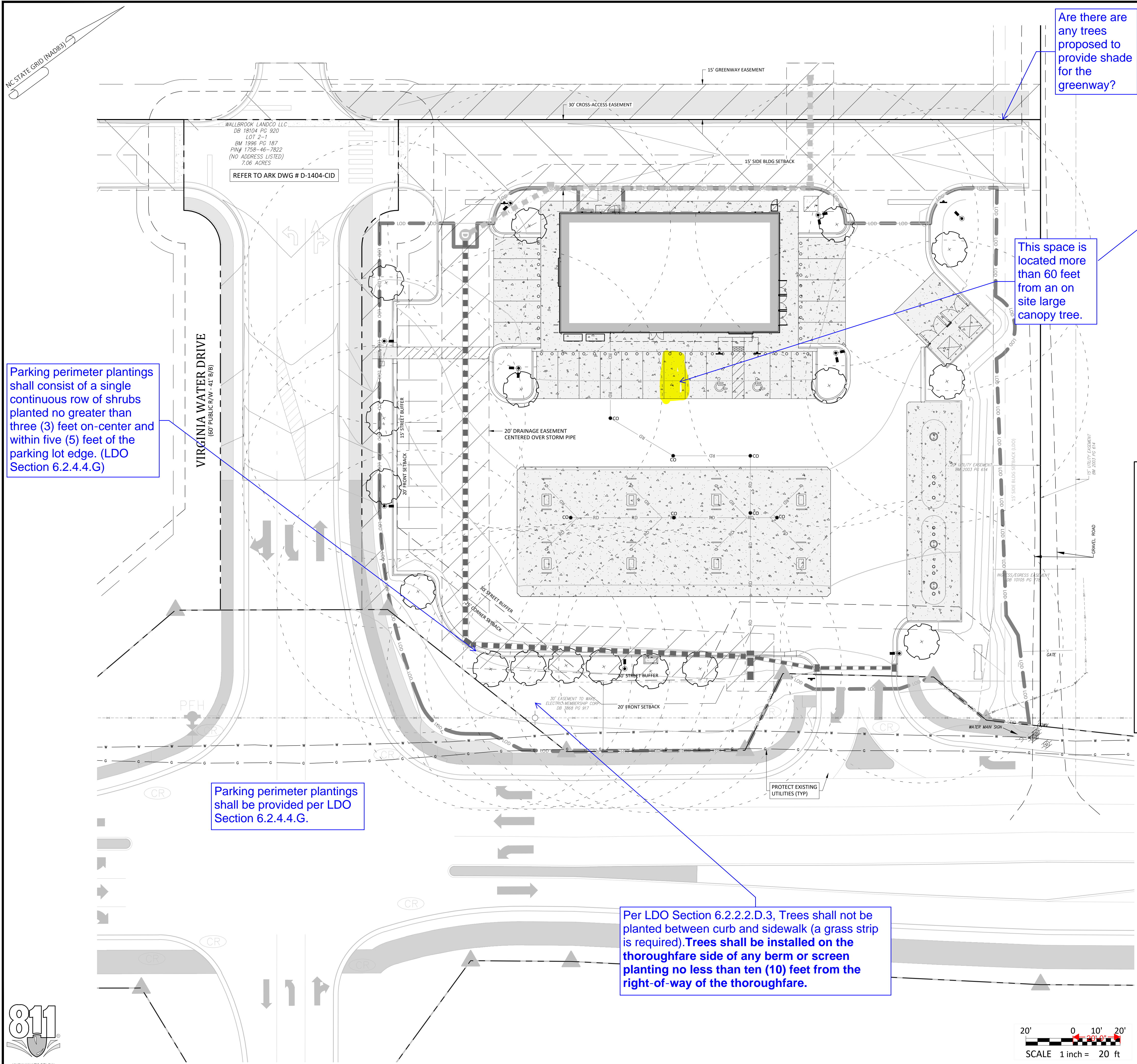
**C3.0**

Date: May 2023





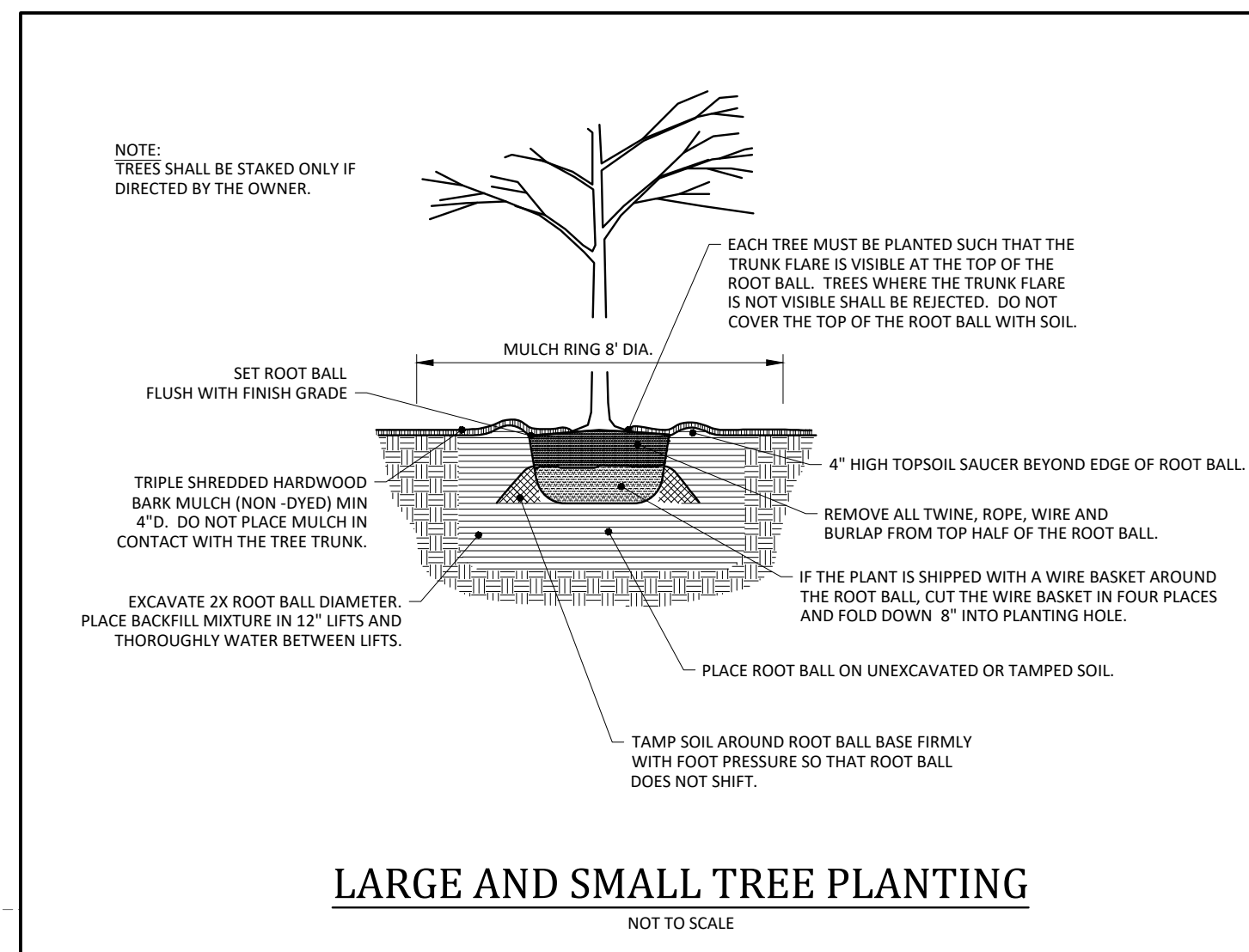




**Bufferyard Notes:**

1. SITE DATA:
  - A. PROVIDED VEGETATION FOR LOT:
    - LARGE TREES: 17 PROVIDED
  - B. REQUIRED STREET VEGETATION:
    - LARGE TREES: S. MAIN STREET = 260 LF / 40' \* 1 TREE = 6.5 TREES (7 PROVIDED)
    - VIRGINIA WATER DRIVE = 170 LF / 40' \* 1 TREE = 4.25 TREES (4 PROVIDED)
  - C. REQUIRED SCREENING VEGETATION: NONE
  - D. REQUIRED VEGETATION LOCATED IN EASEMENTS: NONE
2. NOTES:
  - A. MINIMUM PLANT SIZES SHALL BE IN ACCORDANCE WITH THE SECTION 6.2.4.3 OF THE LDO AS FOLLOWS:
 

PLANTING MATERIAL TYPE	MINIMUM PLANTING SIZE
1. LARGE (CANOPY) TREE	8" (HEIGHT AND 2" CALIPER
2. SMALL/MEDIUM (UNDERSTORY) TREE	8" (HEIGHT) AND 1" CALIPER
3. SHRUB	24" (HEIGHT) - EVERGREEN 18" (HEIGHT) - DECIDUOUS
  - B. NO PORTION OF ANY PARKING SPACE SHALL BE LOCATED MORE THAN SIXTY (60) FEET FROM AN ON-SITE LARGE (CANOPY) TREE. FOR PURPOSES OF THIS SECTION, THE MEASUREMENT SHALL BE FROM THE CLOSEST EDGE OF THE SUBJECT AREA TO THE CENTER OF THE BASE OF THE CLOSEST QUALIFYING TREE IN ACCORDANCE WITH SECTION 6.2.4.4 OF THE LDO.
  - C. DUMPSTER/COMPACTOR SHALL BE SCREENED ON 3 SIDES IN ACCORDANCE WITH SECTION 6.2.4.6 OF THE LDO.
  - D. NO TREES OR SHRUBS SHALL BE PLANTED WITHIN SANITARY SEWER, WATERLINE OR ELECTRIC EASEMENTS WITHOUT THE TOWN AND EASEMENT HOLDER APPROVAL.
  - E. ALL MULTI-STEM TREES SHALL HAVE AT LEAST THREE STALKS WITH A MINIMUM CALIPER OF 2.5" IN ACCORDANCE WITH SECTION 6.2.4.7 OF THE LDO.
  - F. LANDSCAPING SHALL BE COMPLIANT WITH LDO SECTION 6.2.4.
  - G. MINIMUM OF 3 FEET CLEARANCE MUST BE MAINTAINED AROUND ALL FIRE HYDRANTS IN ACCORDANCE WITH STATE BUILDING CODE.
  - H. PLANTINGS WITHIN THE R/W ARE TO BE INSTALLED AS PART OF THE MAIN STREET PROJECT (NCDOT U-6241). SEE STANTEC PLAN SHEET L-4.
  - I. REFER TO WALLBROOK PRELIMINARY PLAT (PR 21-04 REV) FOR VEGETATION PRESERVATION IN THIS AREA.



**Vegetation Legend:**

- PROPOSED LARGE TREE (CANOPY)  
TOTAL QUANTITY = 17  
HEIGHT = 12'  
MATURE HEIGHT = 50' - 80'  
COMMON NAME: RED MAPLE  
BOTANICAL NAME: ACER RUBRUM
- PROPOSED SHRUB
- PROPOSED SHRUB(S)
- PROPOSED SOD

Label location of shrubs as well as provide a total count.



Parking perimeter plantings shall consist of a single continuous row of shrubs planted no greater than three (3) feet on-center and within five (5) feet of the parking lot edge. (LDO Section 6.2.4.4.G)

Parking perimeter plantings shall be provided per LDO Section 6.2.4.4.G.

Per LDO Section 6.2.2.D.3, Trees shall not be planted between curb and sidewalk (a grass strip is required). Trees shall be installed on the thoroughfare side of any berm or screen planting no less than ten (10) feet from the right-of-way of the thoroughfare.

Are there any trees proposed to provide shade for the greenway?

This space is located more than 60 feet from an on site large canopy tree.

**- Final Drawing -**  
Issued for Permit  
Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
1	11-MAY-23	ISSUED FOR PERMIT REVIEW

CROSLAND SOUTHEAST  
ELEVEN

**REQUIRED VEGETATION PLAN**

**7ELEVEN AT WALLBROOK (LOT 11)**

Town of Rolesville Project No. SDP 23-\_\_\_  
US 401 Business / S. Main Street & Virginia Water Drive  
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

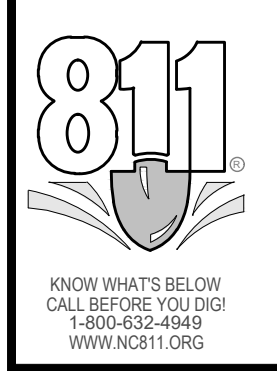
NC License: P-1129  
**ARK CONSULTING GROUP PLLC**  
ENGINEERS & PLANNERS

7755-B Charles Blvd  
Charlotte, NC 28226  
(704) 558-0888  
www.arkconsultinggroup.com

Project Manager: BCF  
Drawn By: DLC/TN  
Checked By: TN  
Project Number: 22049  
Drawing Number: D-1404-SDP

**C5.0**

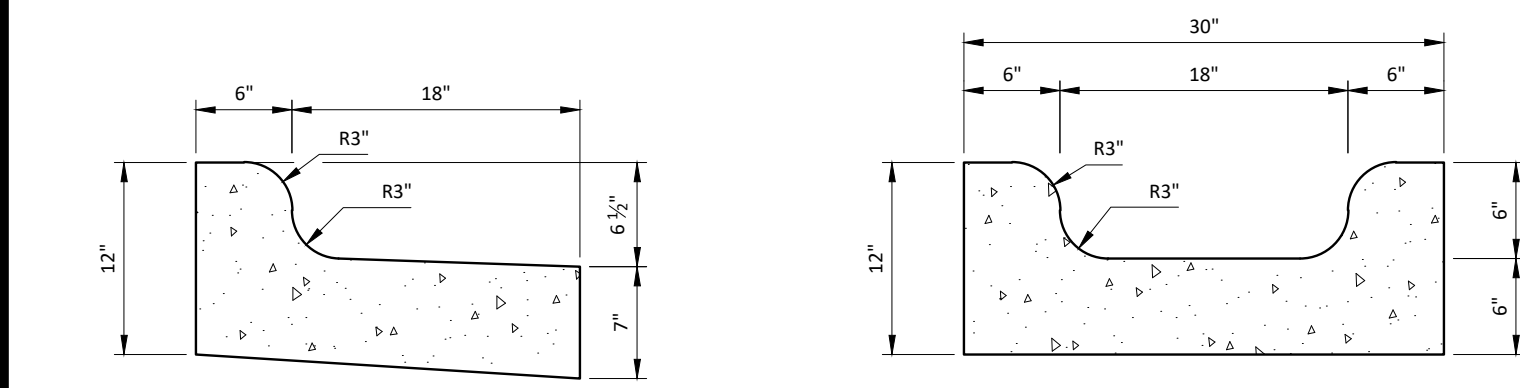
Date: May 2023





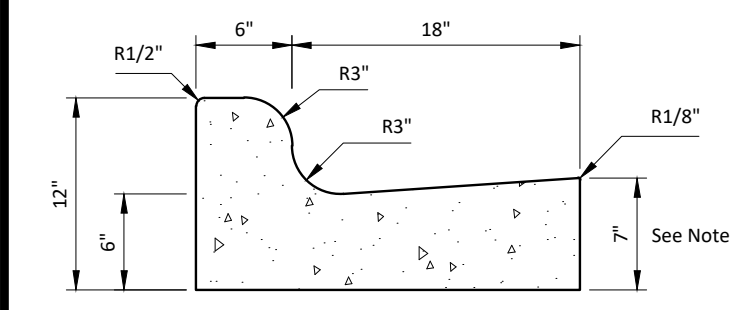




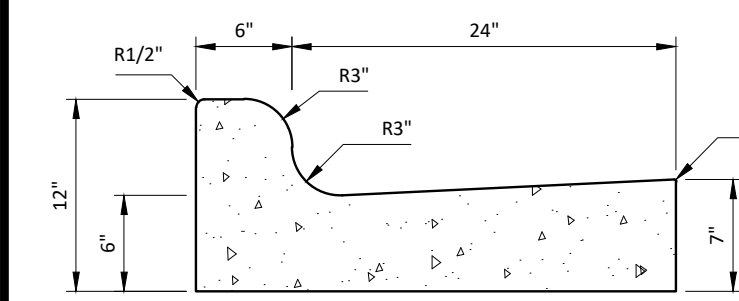


24" CONCRETE CURB AND GUTTER - SPILL

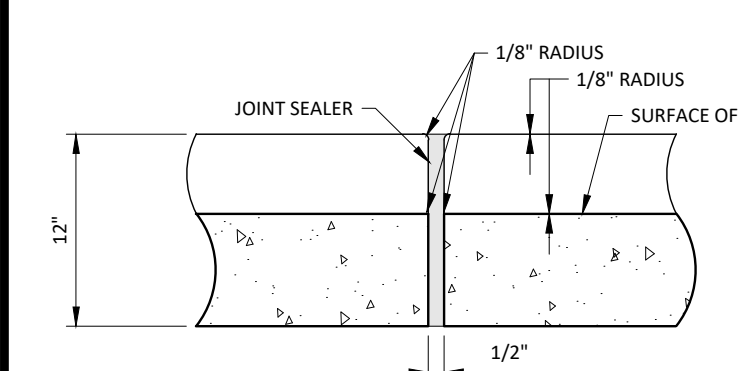
SPECIAL GUTTER



24" CONCRETE CURB AND GUTTER

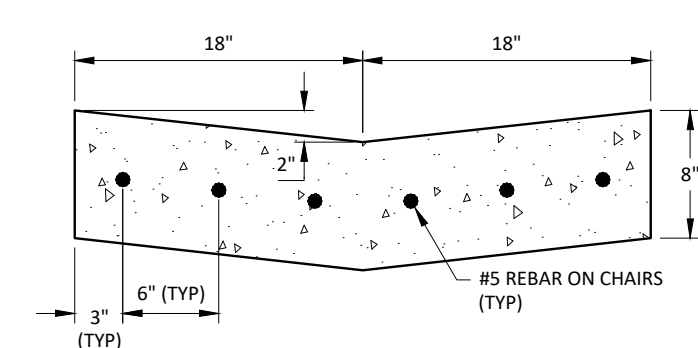


30" CONCRETE CURB AND GUTTER

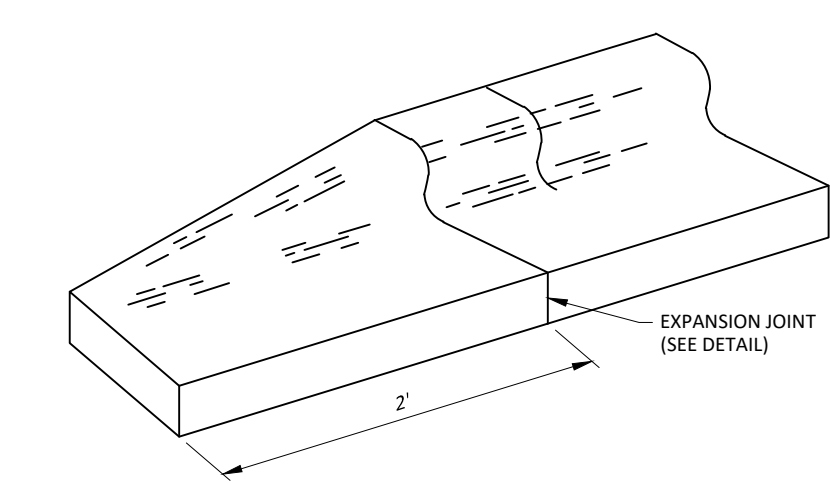


CURB AND GUTTER DETAIL

NOT TO SCALE

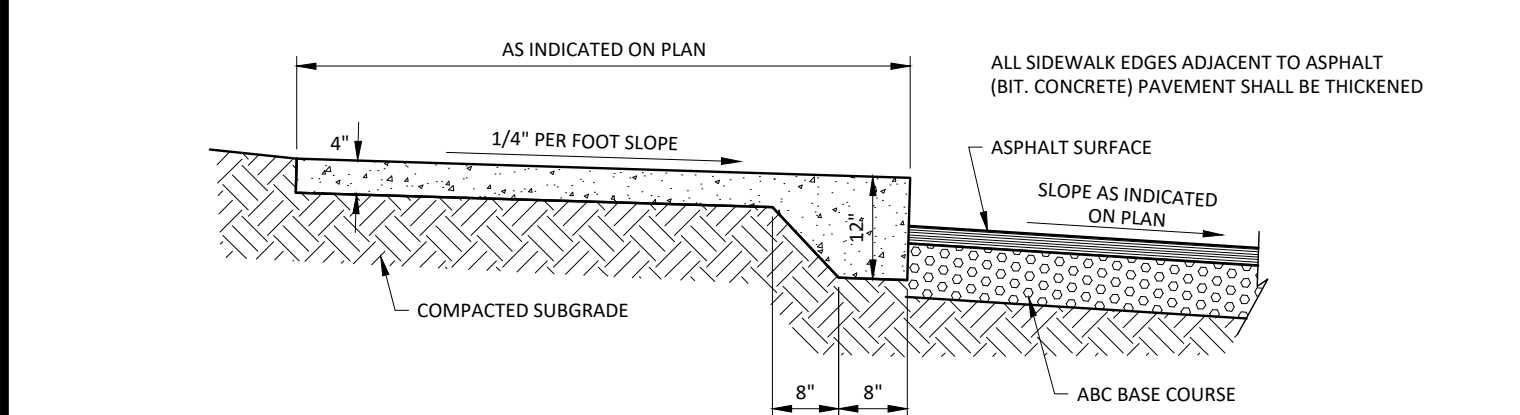


CONCRETE VALLEY GUTTER



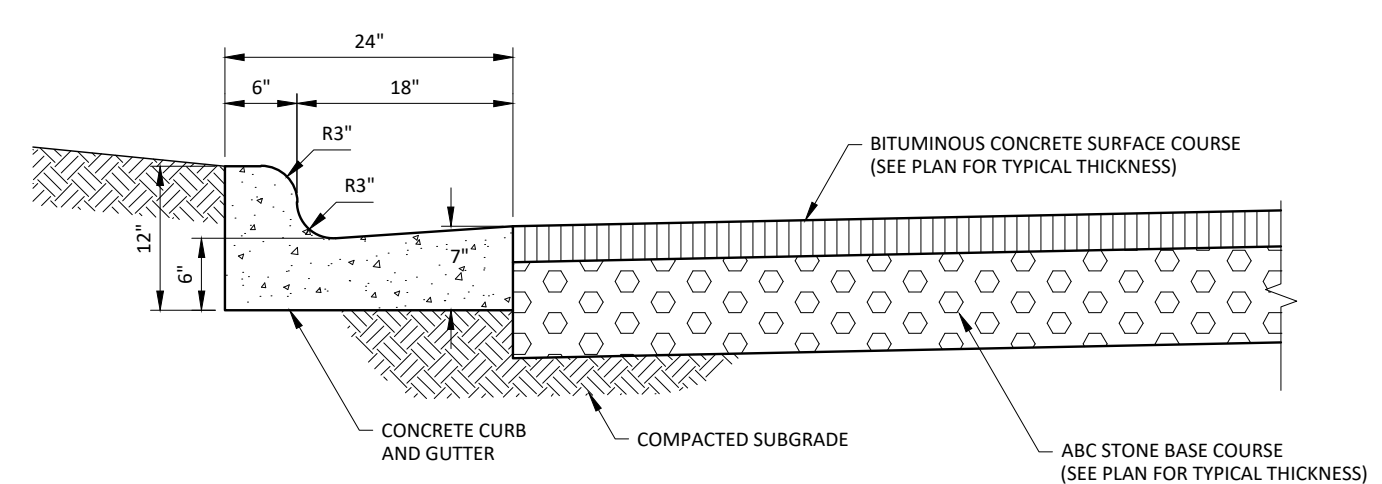
CURB TAPER DETAIL

NOT TO SCALE



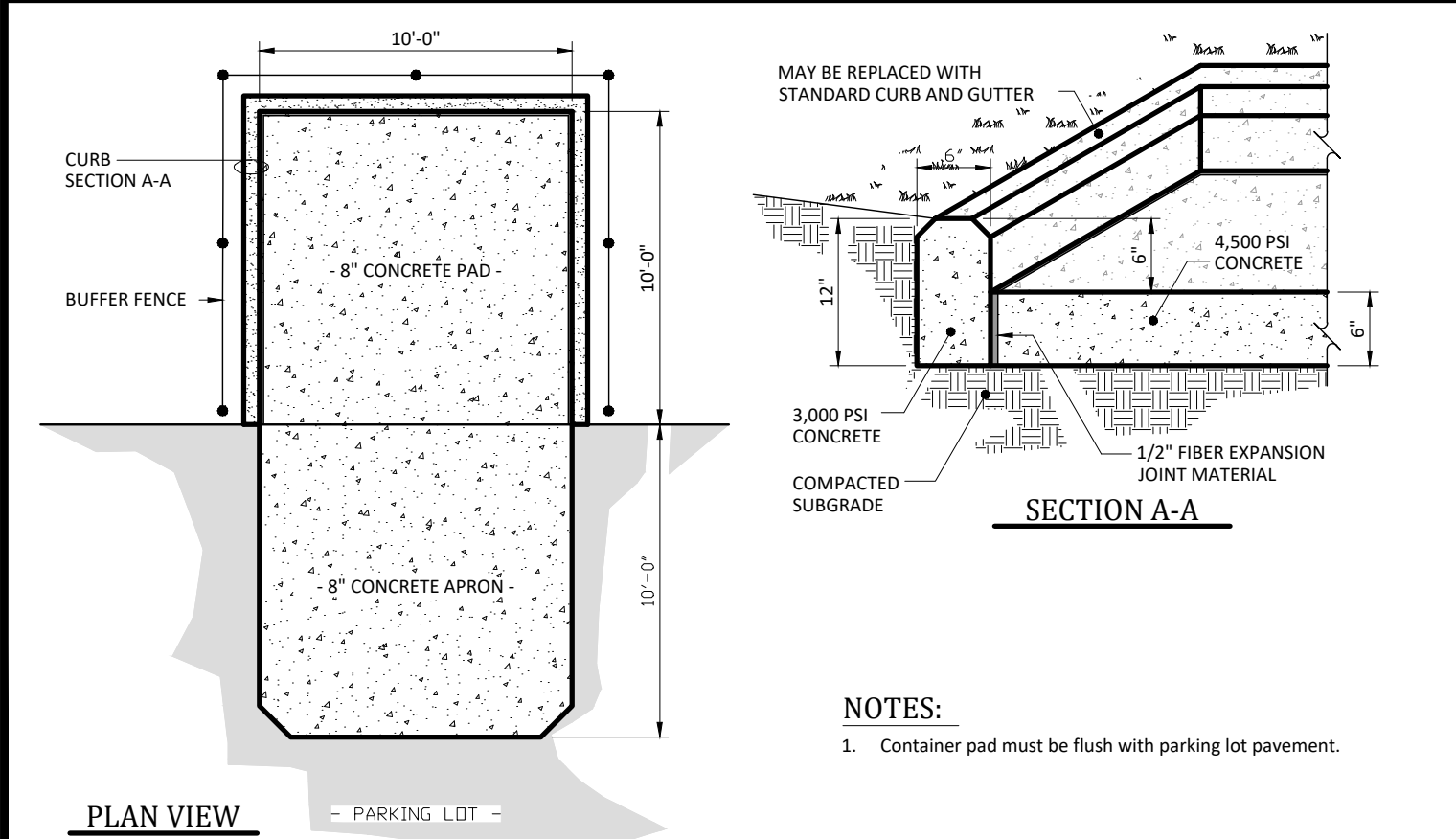
RAISED THICKENED EDGE CONCRETE WALK

NOT TO SCALE



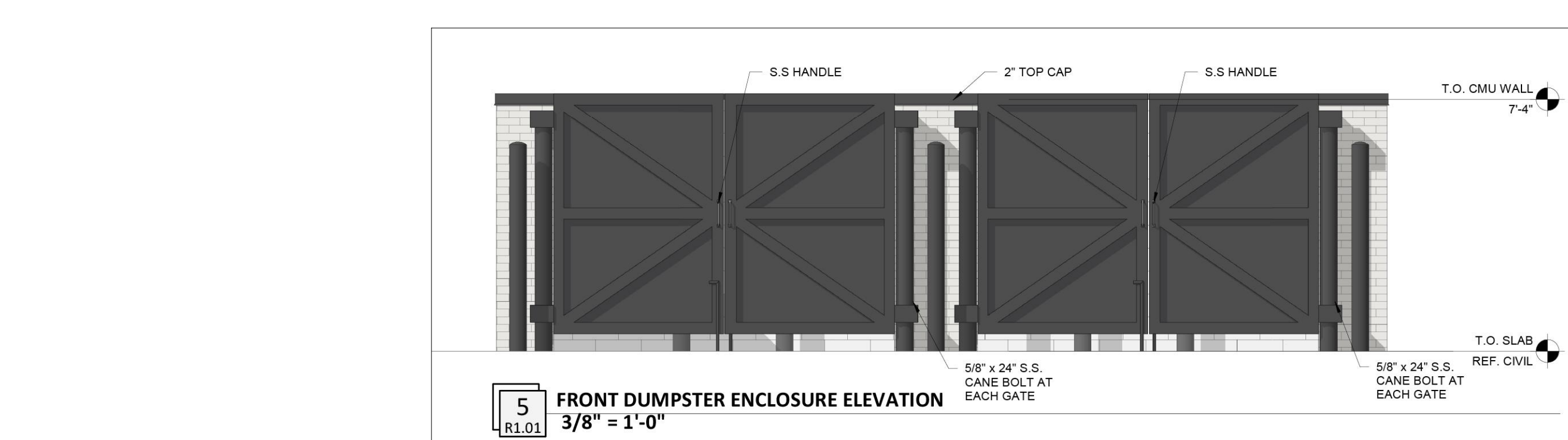
CURB AND GUTTER AND PAVEMENT DETAIL

NOT TO SCALE



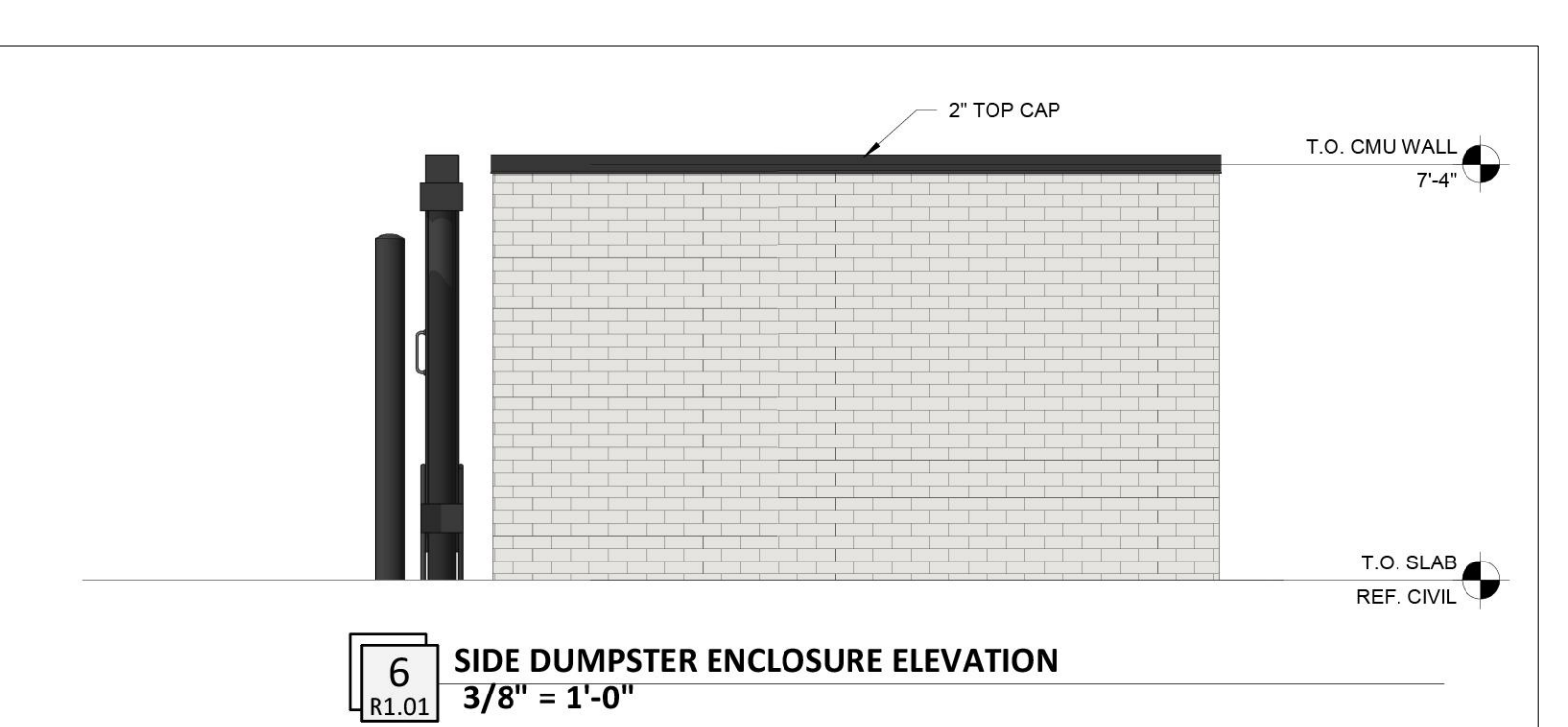
DUMPSTER PAD

NOT TO SCALE



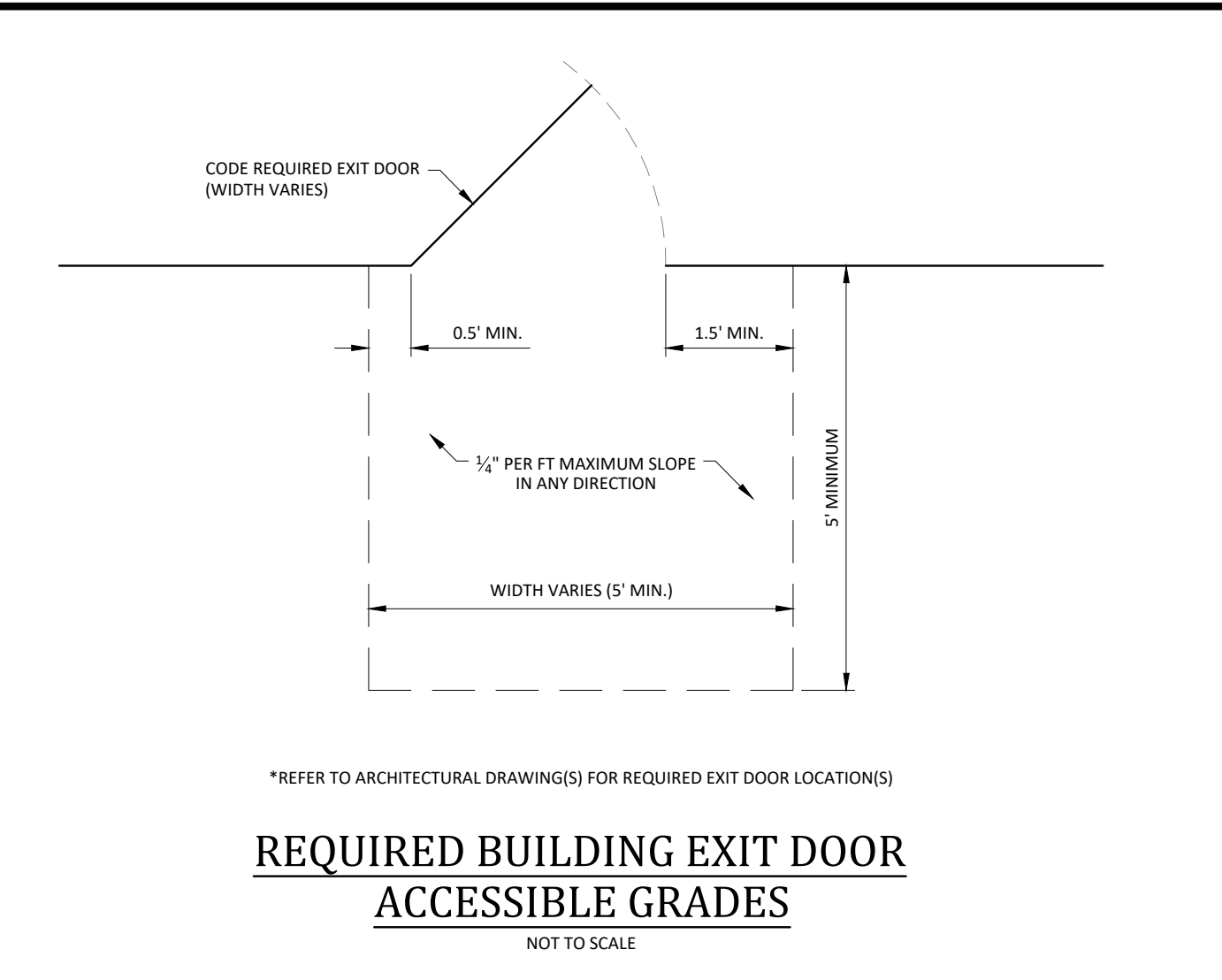
5 FRONT DUMPSTER ENCLOSURE ELEVATION

3/8" = 1'-0"



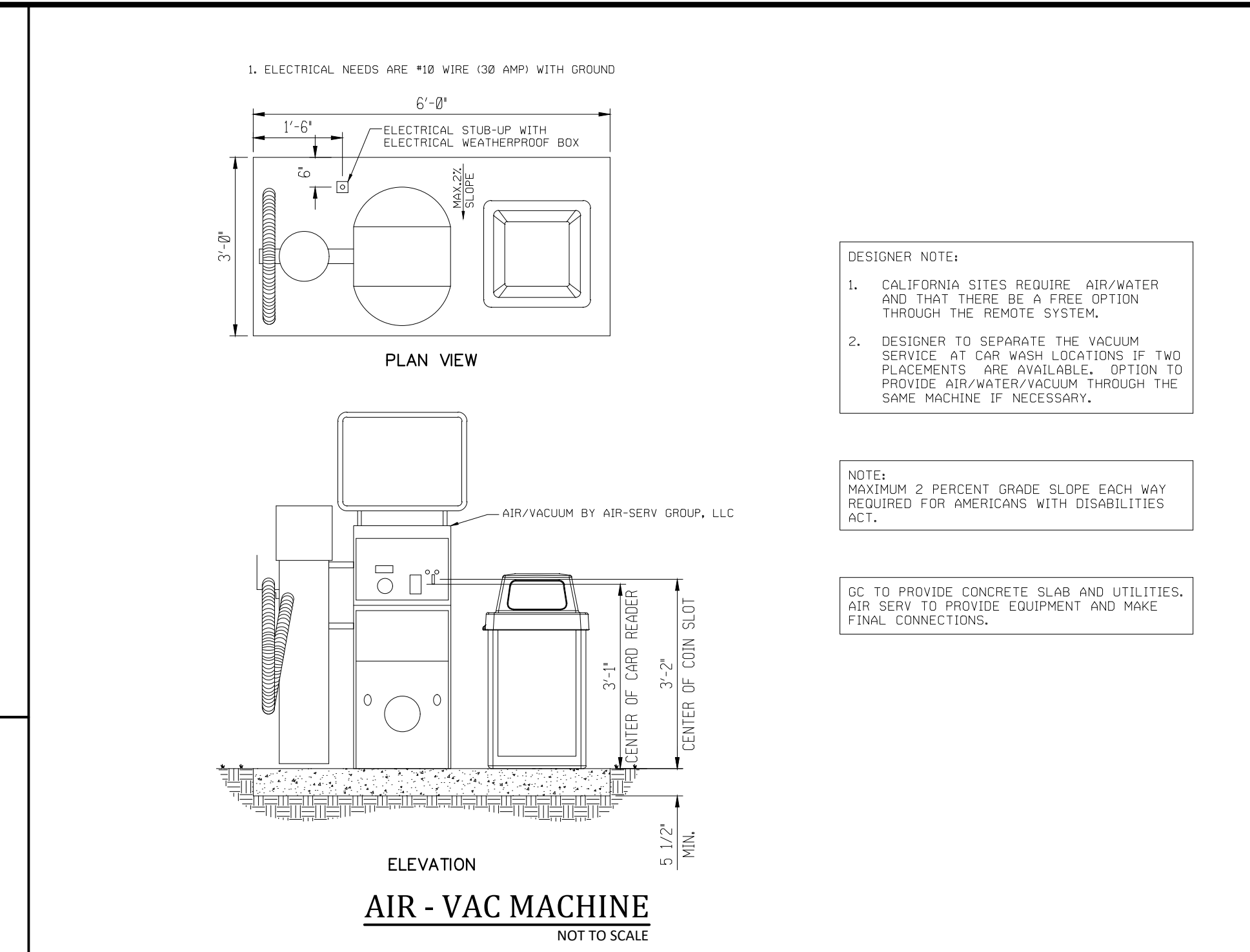
6 SIDE DUMPSTER ENCLOSURE ELEVATION

3/8" = 1'-0"



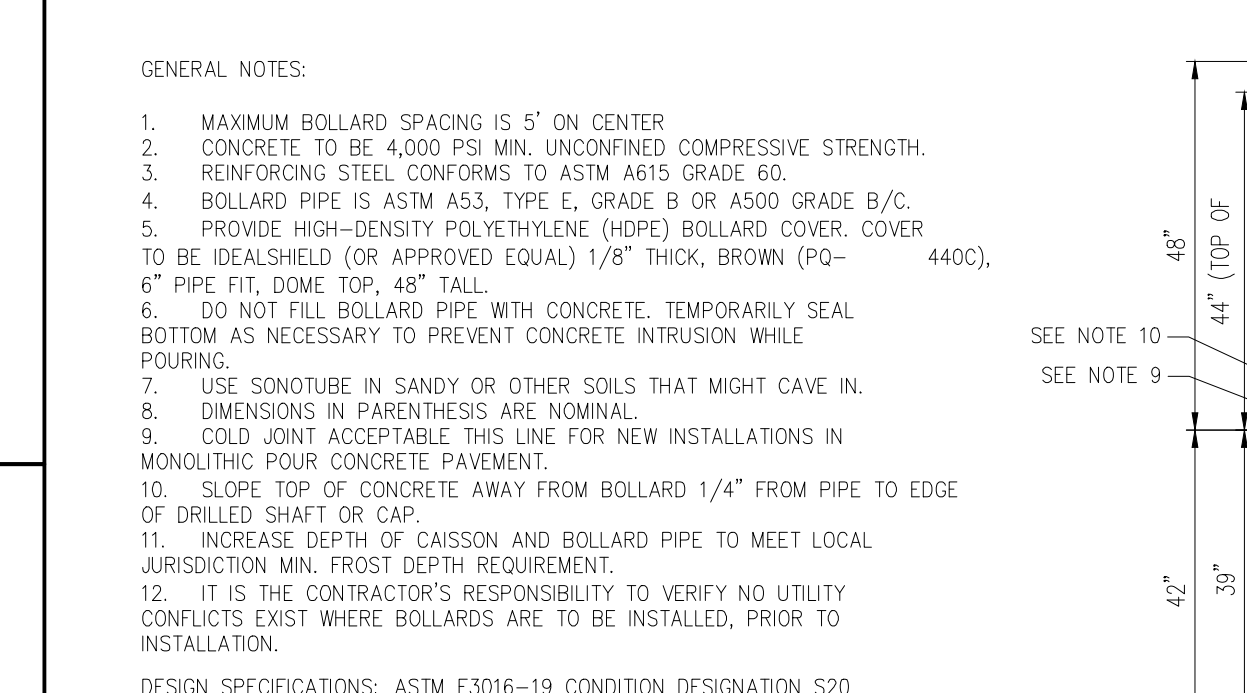
REQUIRED BUILDING EXIT DOOR ACCESSIBLE GRADES

NOT TO SCALE



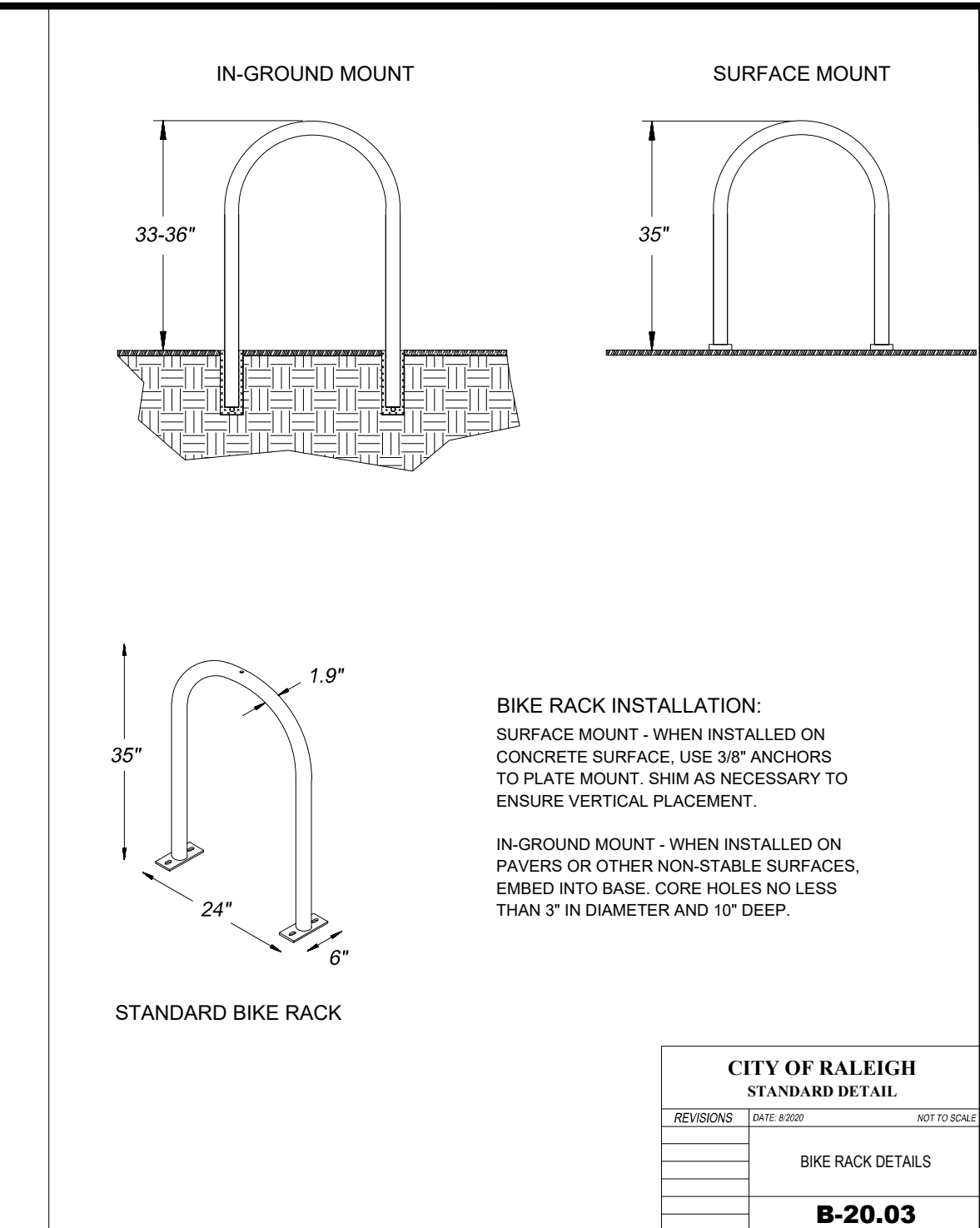
AIR - VAC MACHINE

NOT TO SCALE



STORE FRONT BOLLARDS

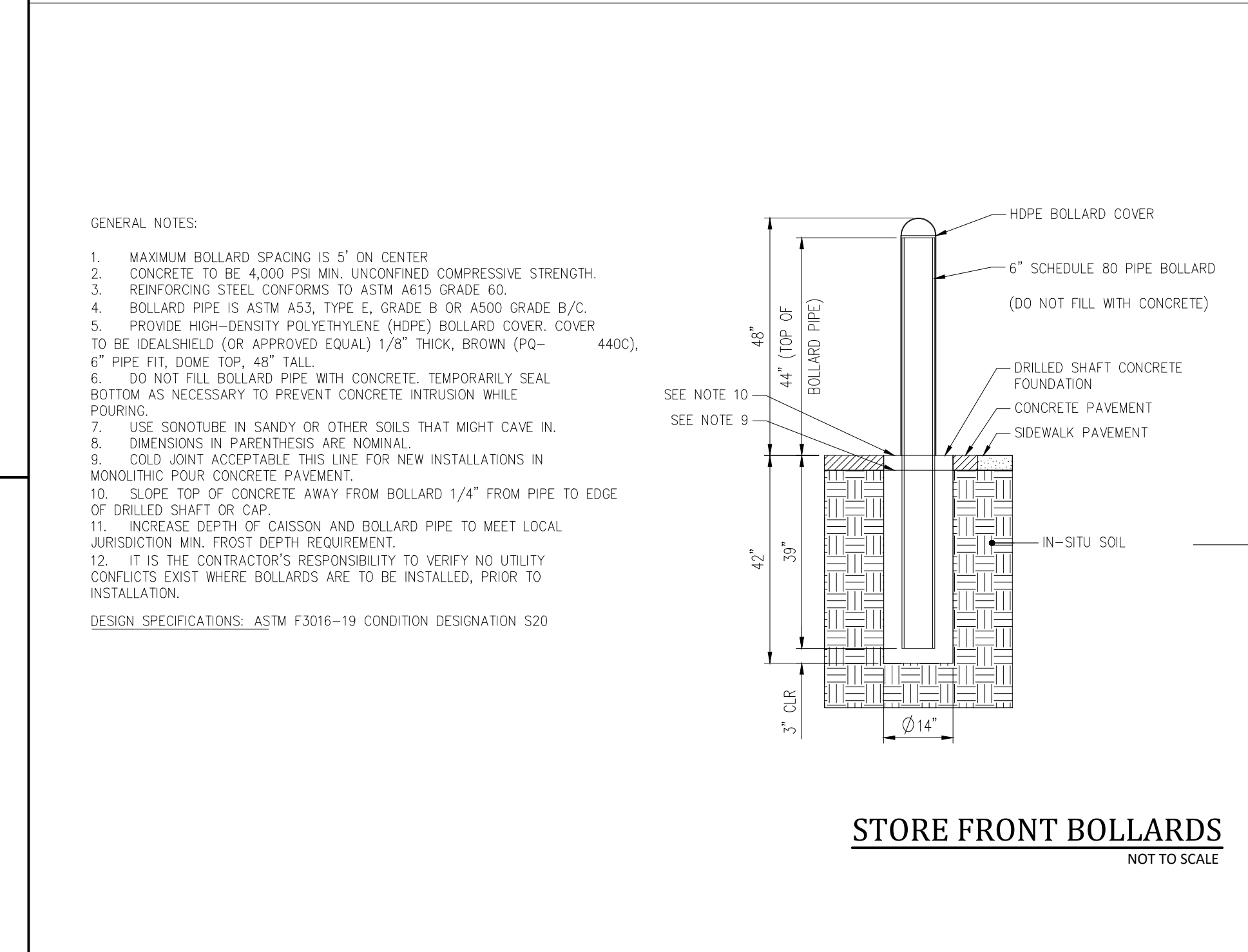
NOT TO SCALE



BIKE RACK INSTALLATION

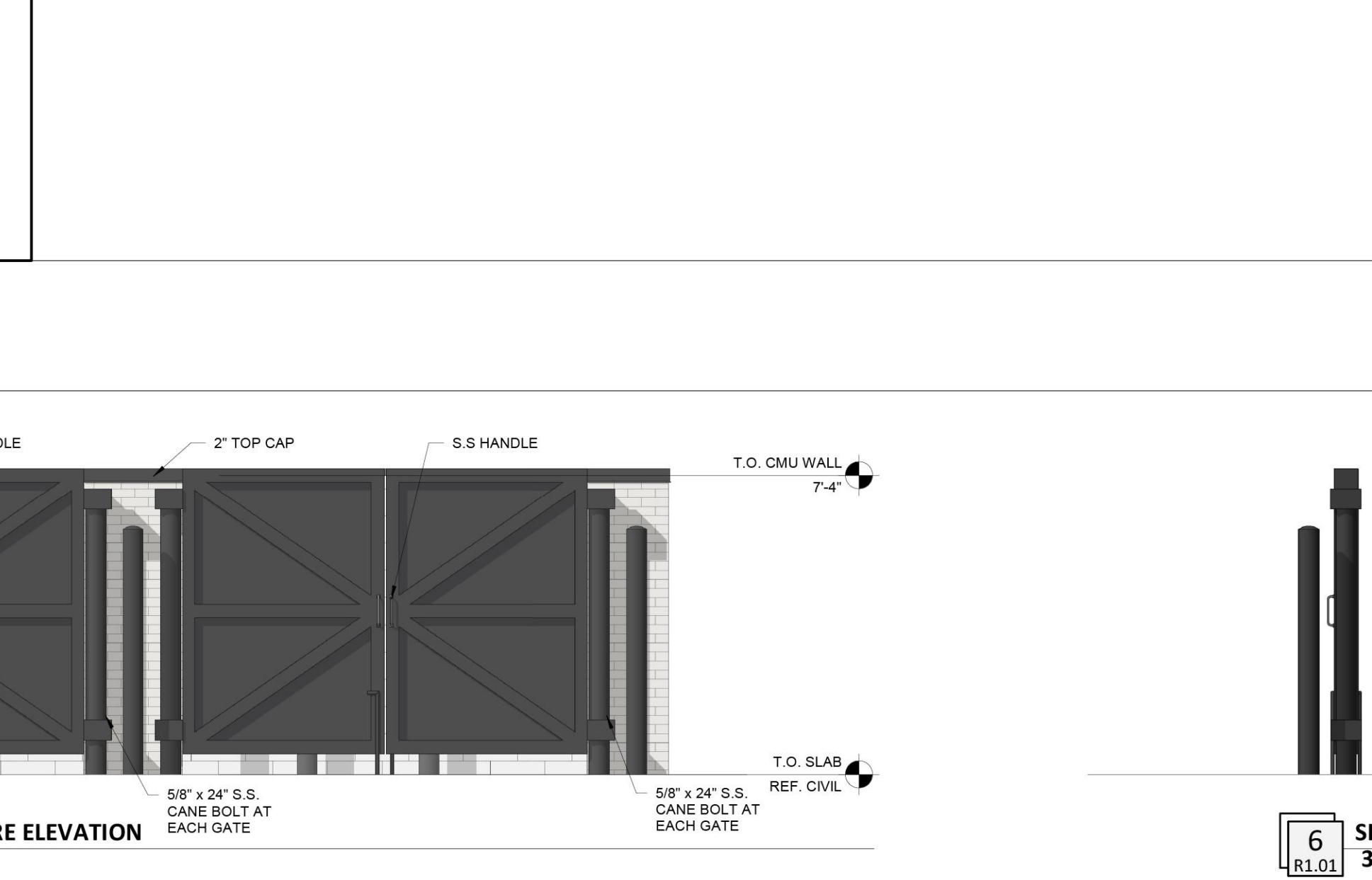
STANDARD BIKE RACK

NOT TO SCALE



BOLLARD LAYOUT

N.T.S.



CITY OF RALEIGH STANDARD DETAIL

B-20.03

- Final Drawing - Issued for Permit Review Purposes Only

1.1.MAY.23 ISSUED FOR PERMIT REVIEW

# DATE

REVISIONS:

CROSLAND SOUTHEAST

ELEVEN

DETAILS

7ELEVEN AT WALLBROOK (LOT 11)

Town of Rolesville Project No. SDP 23-

US 401 Business / S. Main Street & Virginia Water Drive

Wake Forest Township, Town of Rolesville, Wake County, North Carolina

ARK CONSULTING GROUP PLLC

ENGINEERS & PLANNERS

2755-B Charles Blvd

Wake, NC 27758

(252) 558-0888

www.arkconsultinggroup.com

5/11/2023

Project Manager: BCF

Drawn By: DLC/TN

Checked By: TN

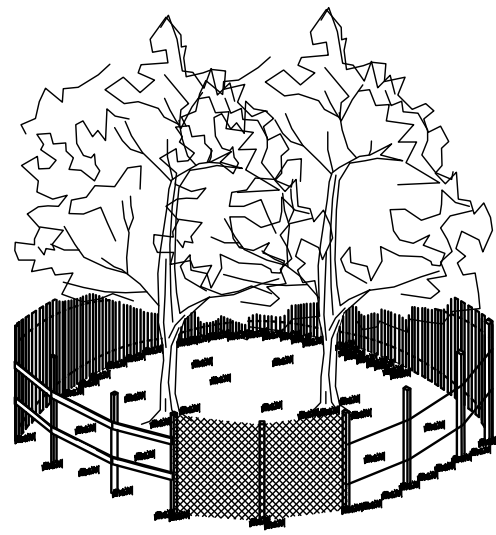
Project Number: 22049

Drawing Number: D-1404-SDP

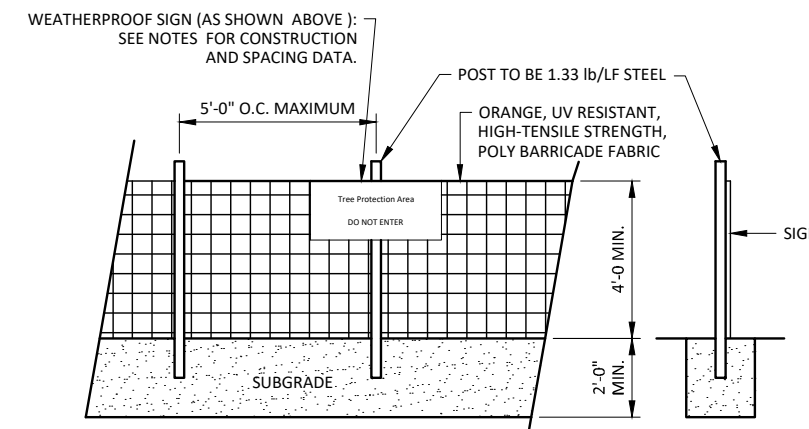
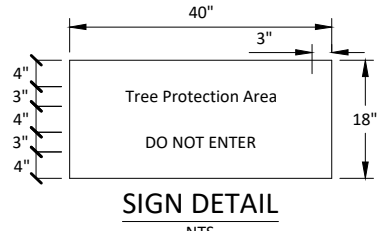
C6.1

Date: May 2023

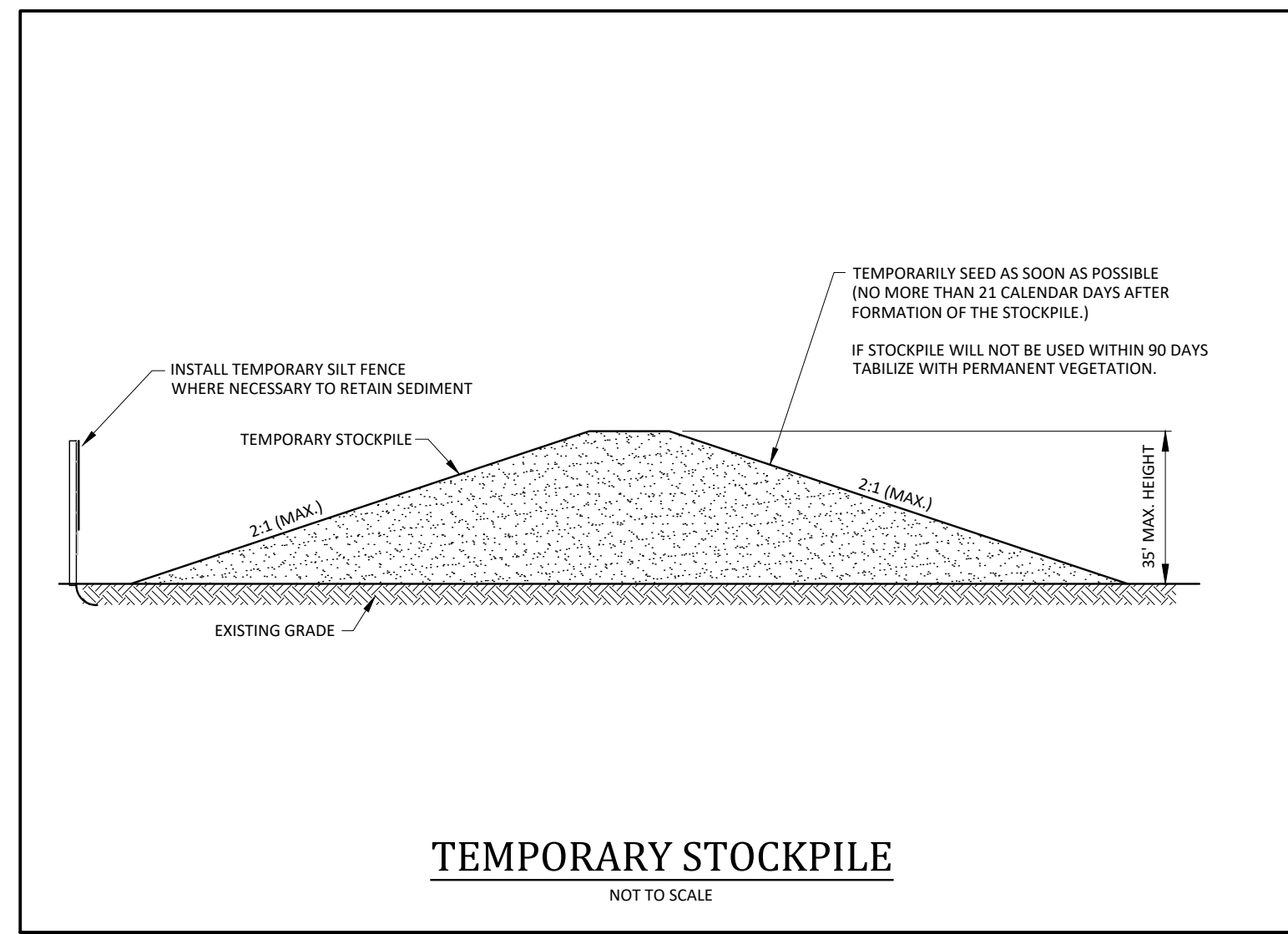




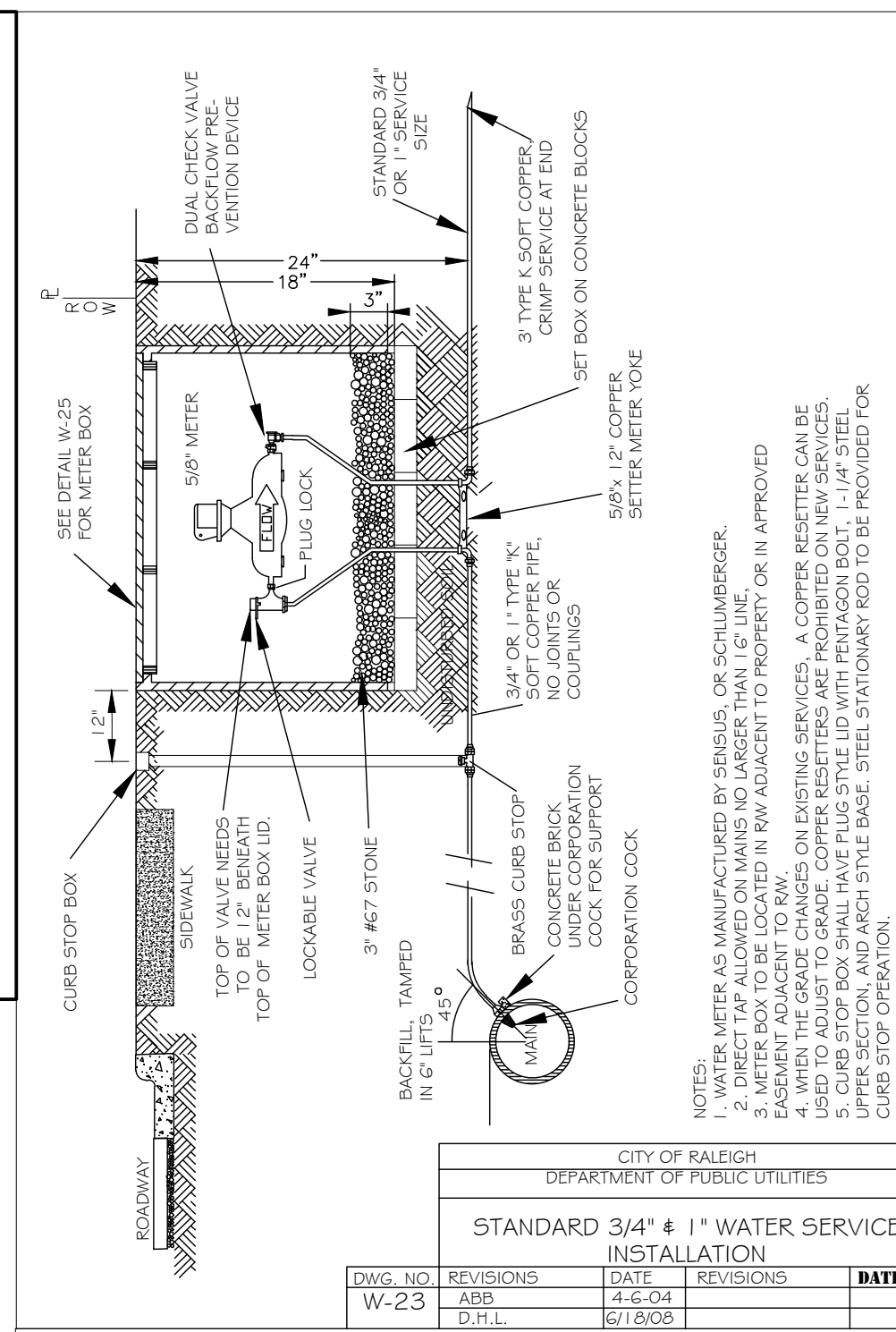
- NOTES:
1. SIGNS ARE TO BE PLACED NO GREATER THAN 200' ON CENTER. PLACE SIGN AT EACH END OF LINEAR TREE PROTECTION AREA AND 200' ON CENTER THEREAFTER.
  2. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
  3. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
  4. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
  5. LETTERS ARE TO BE 3" HIGH MINIMUM. CLEARLY LEGIBLE, AND SPACED AS DETAILED.
  6. INSTALL TREE PROTECTION FENCE & SIGNAGE PRIOR TO CALLING FOR THE INITIAL ON-SITE INSPECTION BY A NCEM INSPECTOR. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BY NCEM BASED ON ACTUAL FIELD CONDITIONS.



TREE PROTECTION FENCE  
NOT TO SCALE

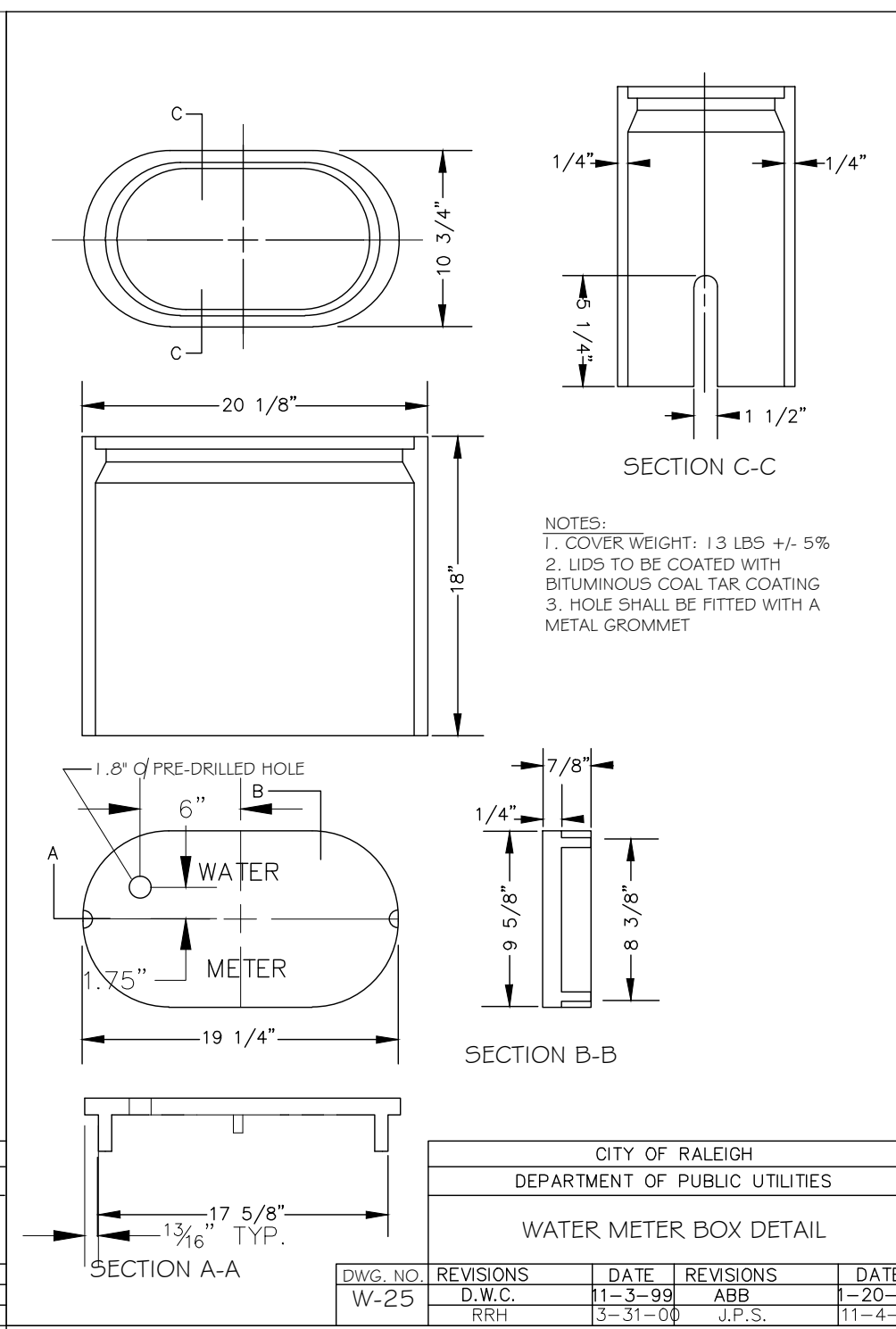


TEMPORARY STOCKPILE  
NOT TO SCALE



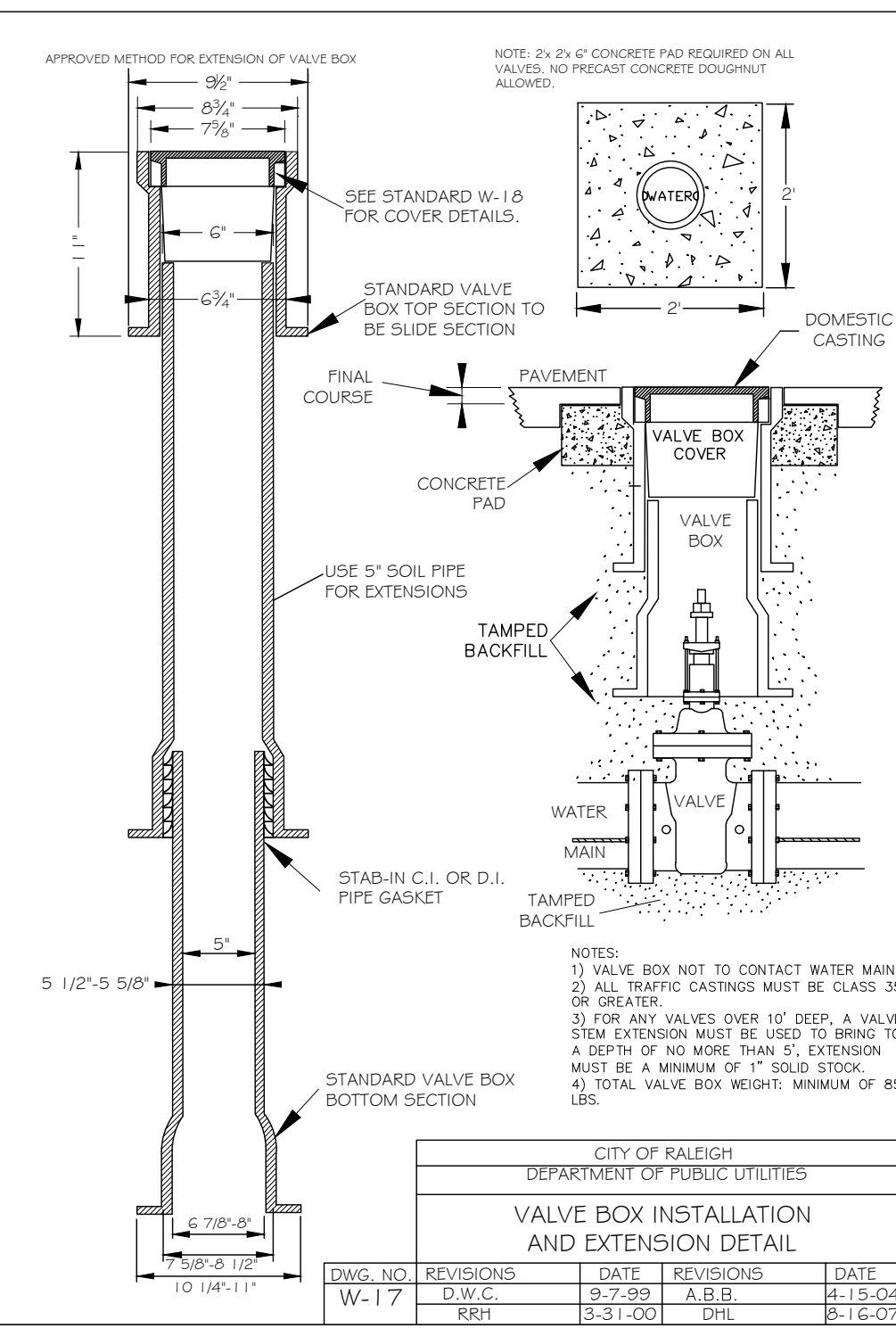
CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
STANDARD 3/4" & 1" WATER SERVICE  
INSTALLATION

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-23	ABB	4-6-04		
	D.J.L.	6/7/08		



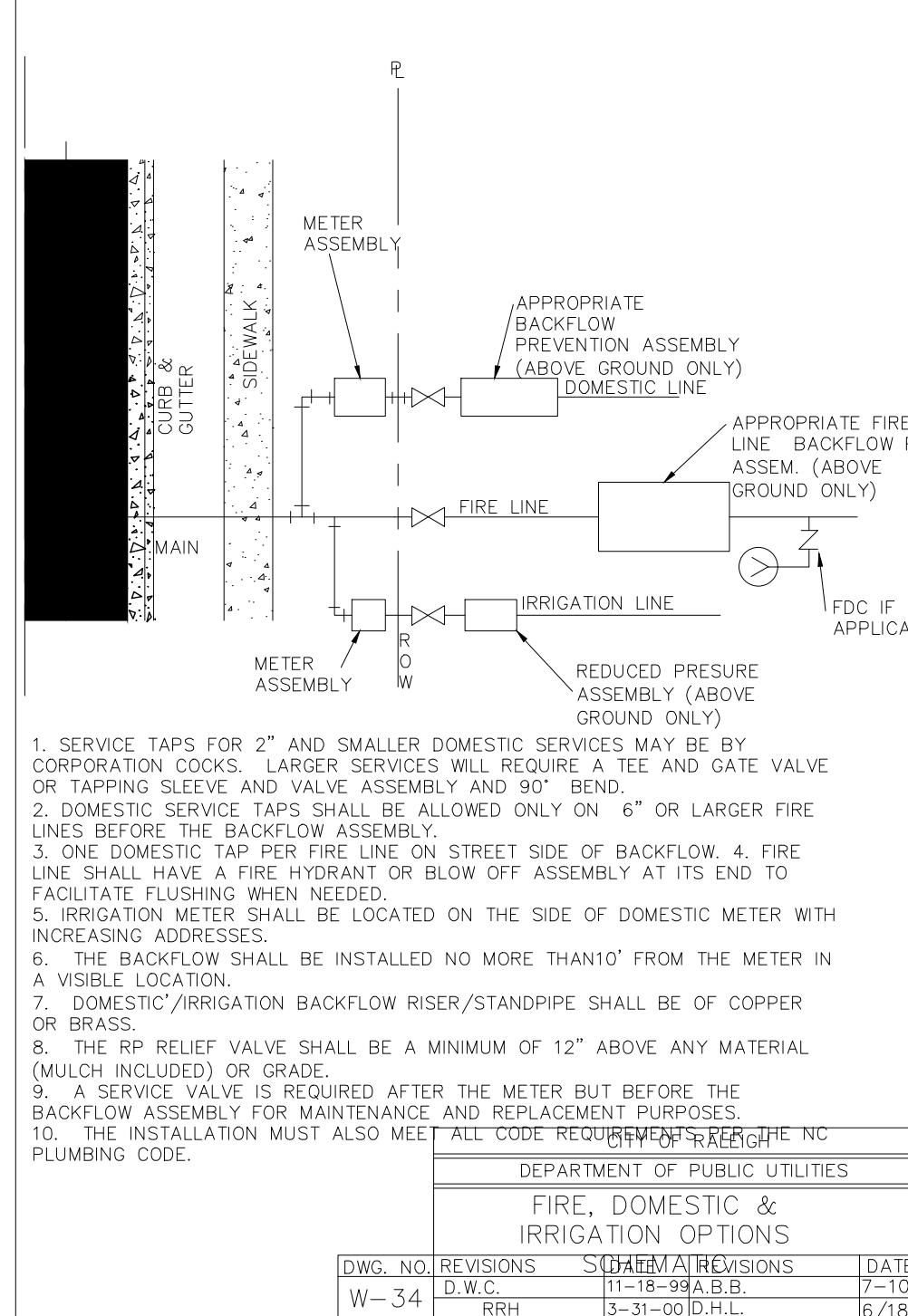
CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
WATER METER BOX DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-25	D.W.C.	11-3-99	ABB	2-20-05
	R.H.H.	3-31-05	J.P.S.	11-4-10



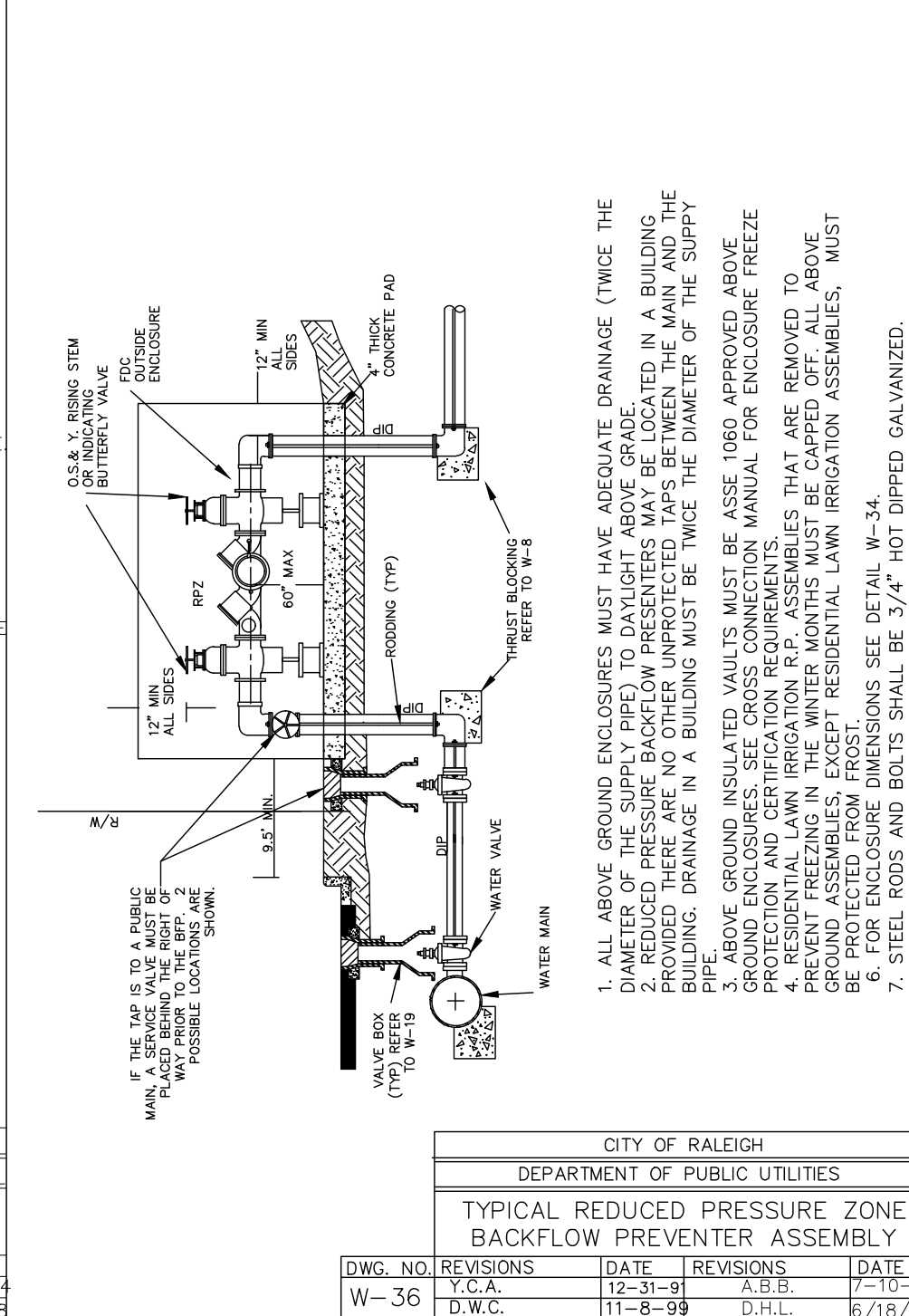
CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
VALVE BOX INSTALLATION  
AND EXTENSION DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-17	D.W.C.	9-7-99	A.B.B.	4-15-04
	R.H.H.	8-31-00	D.H.L.	8-16-07



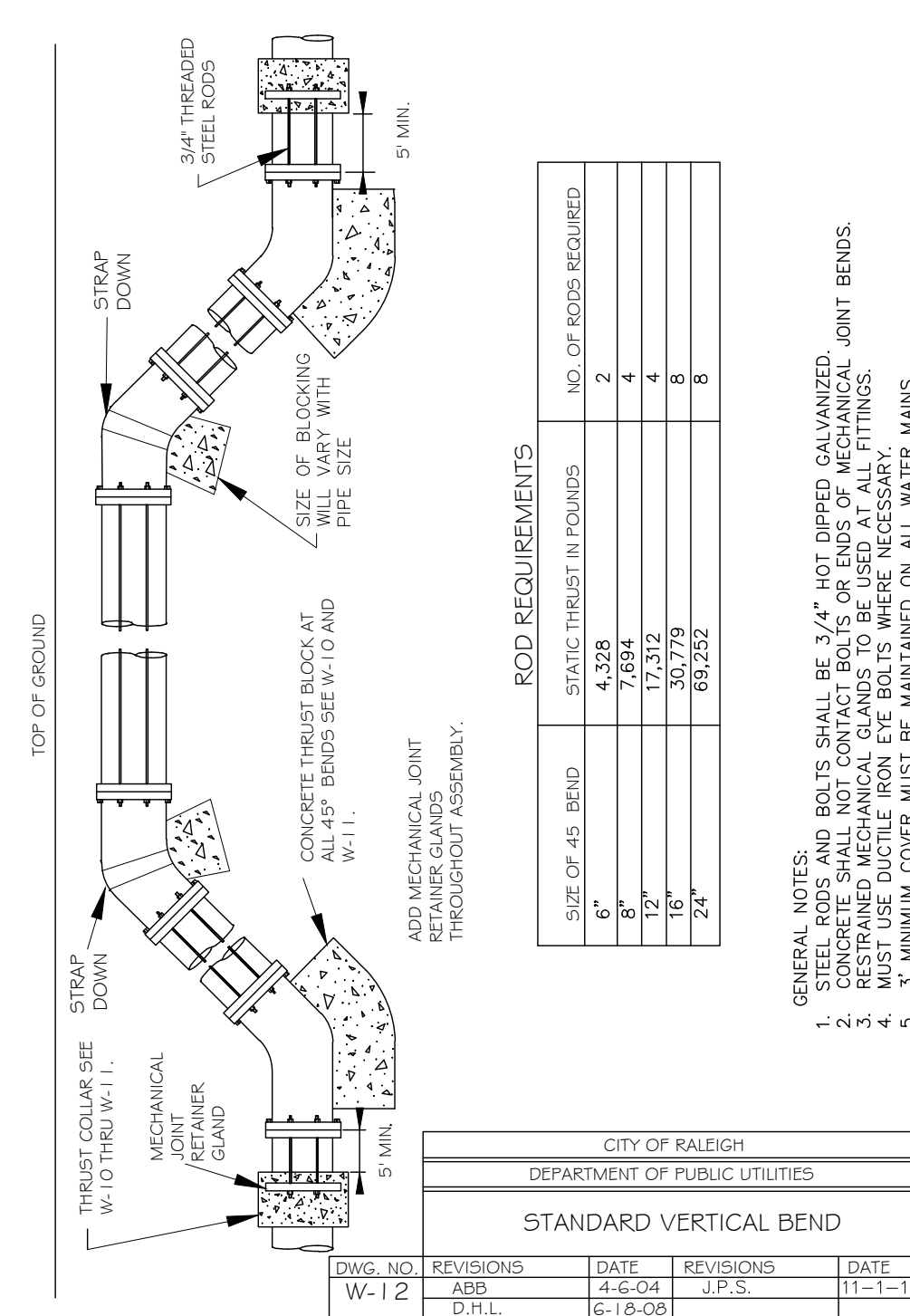
CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
TYPICAL REDUCED PRESSURE ZONE  
BACKFLOW PREVENTER ASSEMBLY

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-34	D.W.C.	11-18-99	A.B.B.	7-10-04
	R.H.H.	3-31-00	D.H.L.	6/7/08



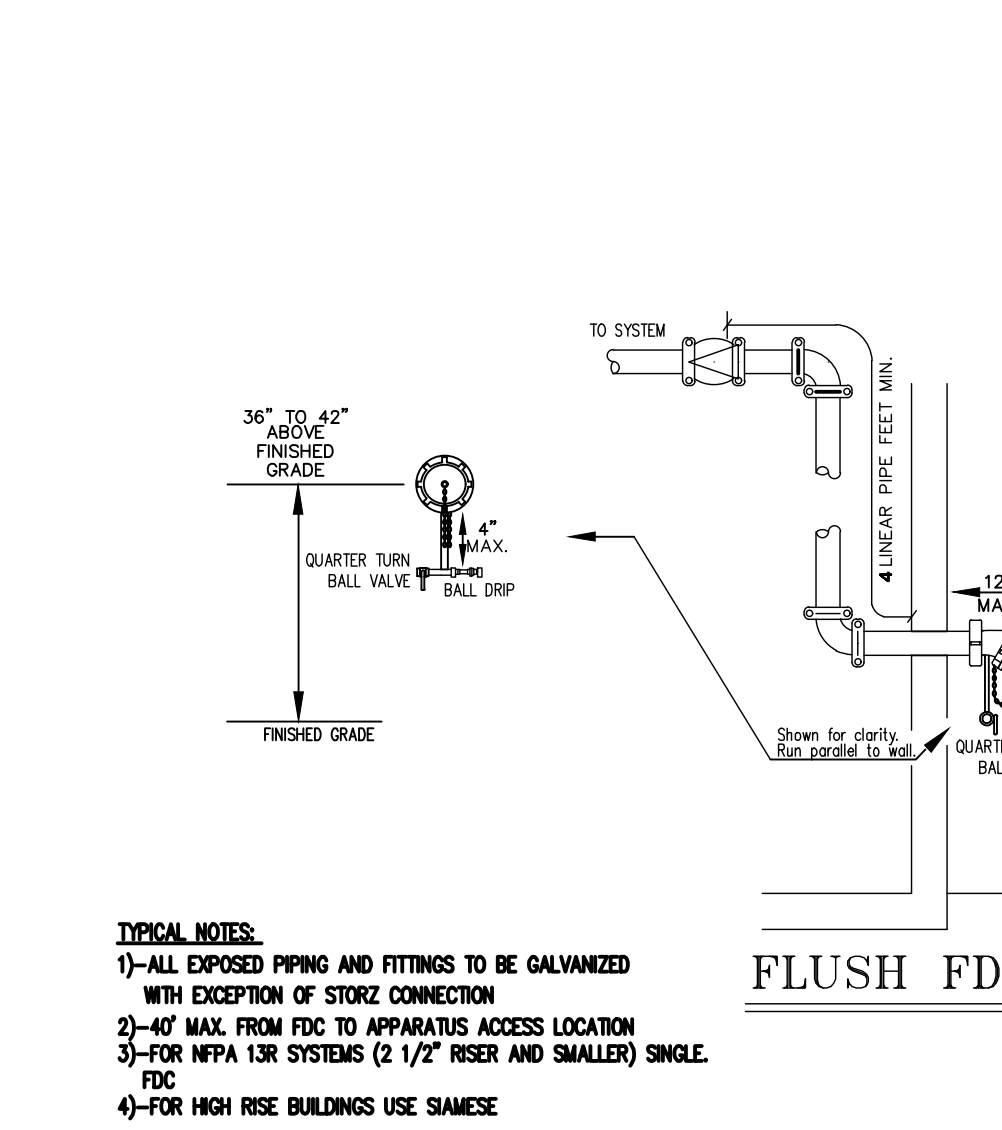
CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
STANDARD VERTICAL BEND

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-12	ABB	4-6-04	J.P.S.	11-1-10
	D.H.L.	6-10-05		



CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
REDUCED PRESSURE DETECTOR ASSEMBLY  
OUTDOOR INSTALLATION

REDUCED PRESSURE DETECTOR ASSEMBLY  
NOT TO SCALE



FLUSH FDC DETAIL  
N/S

- TYPICAL NOTES:
- 1)-ALL EXPOSED PIPING AND FITTINGS TO BE GALVANIZED WITH EXCEPTION OF STORZ CONNECTION
  - 2)-40" MAX. FROM FDC TO APPARATUS ACCESS LOCATION
  - 3)-FOR NFPA 13R SYSTEMS (2 1/2" RISER AND SMALLER) SINGLE FDC
  - 4)-FOR HIGH RISE BUILDINGS USE SAMESE

- Final Drawing -  
Issued for Permit  
Review Purposes Only



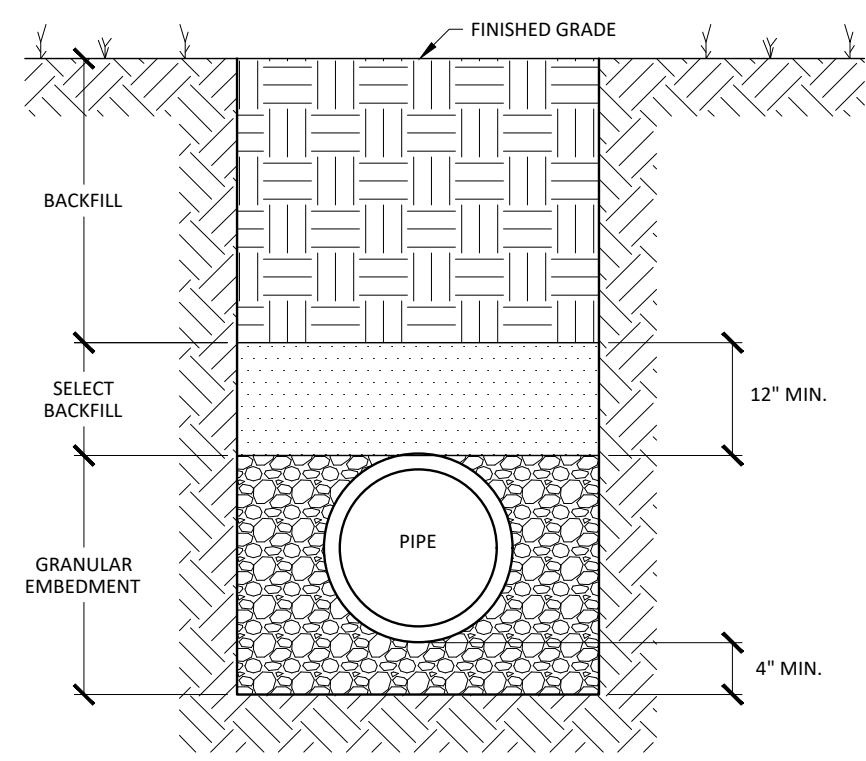
7ELEVEN AT WALLBROOK (LOT 11)  
Town of Rolesville Project No. SDP 23-  
US 401 Business / S. Main Street & Virginia Water Drive  
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License P-1129  
**ARK CONSULTING GROUP PLLC**  
ENGINEERS & PLANNERS  
2755-B Charles Blvd.  
Cary, NC 27513  
(919) 558-8888  
www.arkconsultinggroup.com

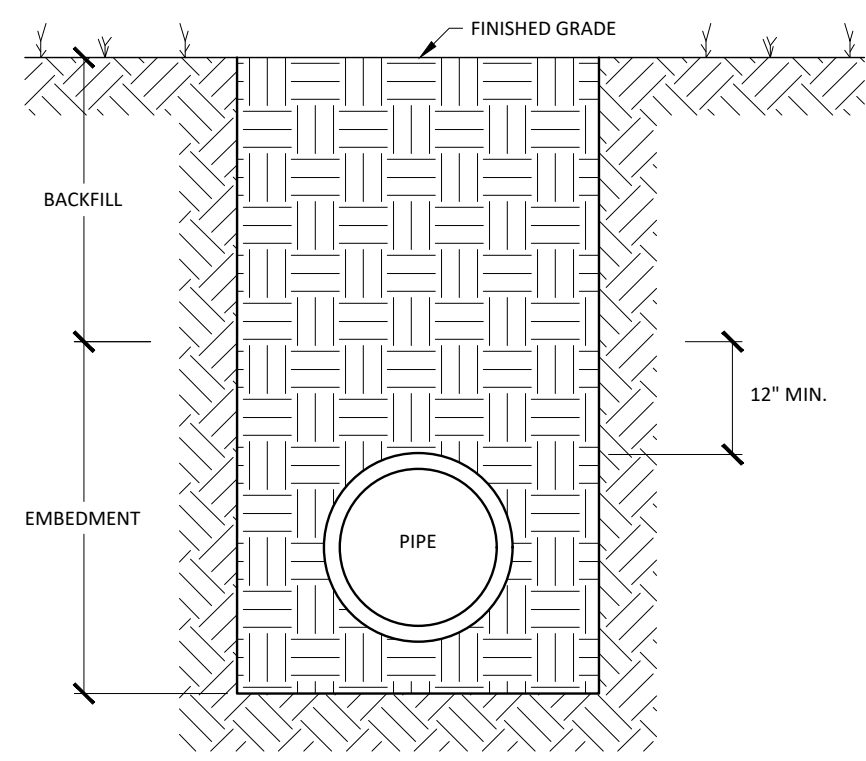
Project Manager: BCF  
Drawn By: DLC/TN  
Checked By: TN  
Project Number: 22049  
Drawing Number: D-1404-SDP

Date: May 2023

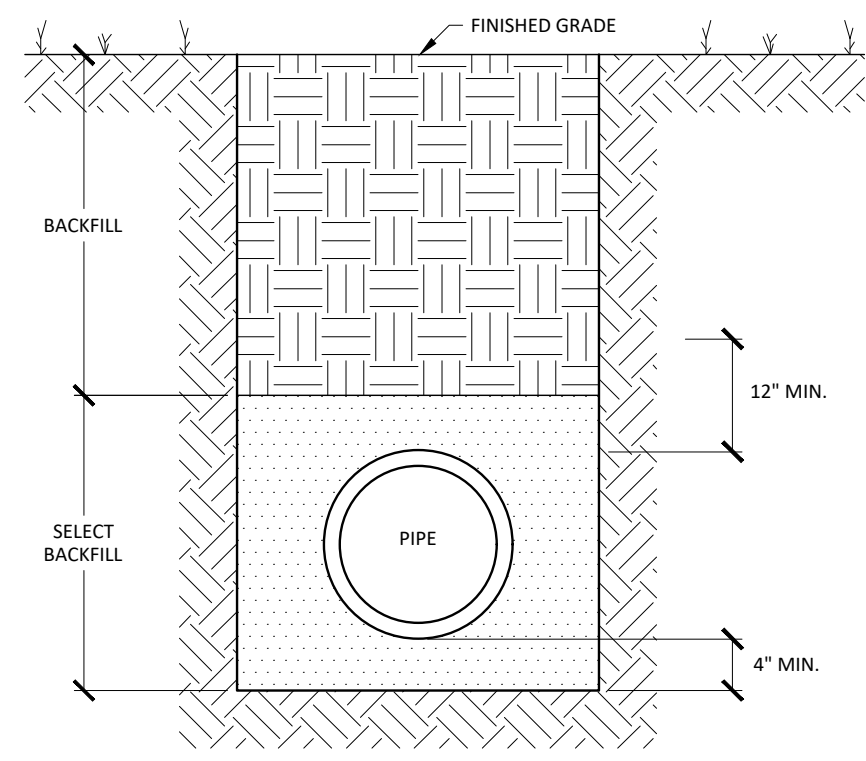




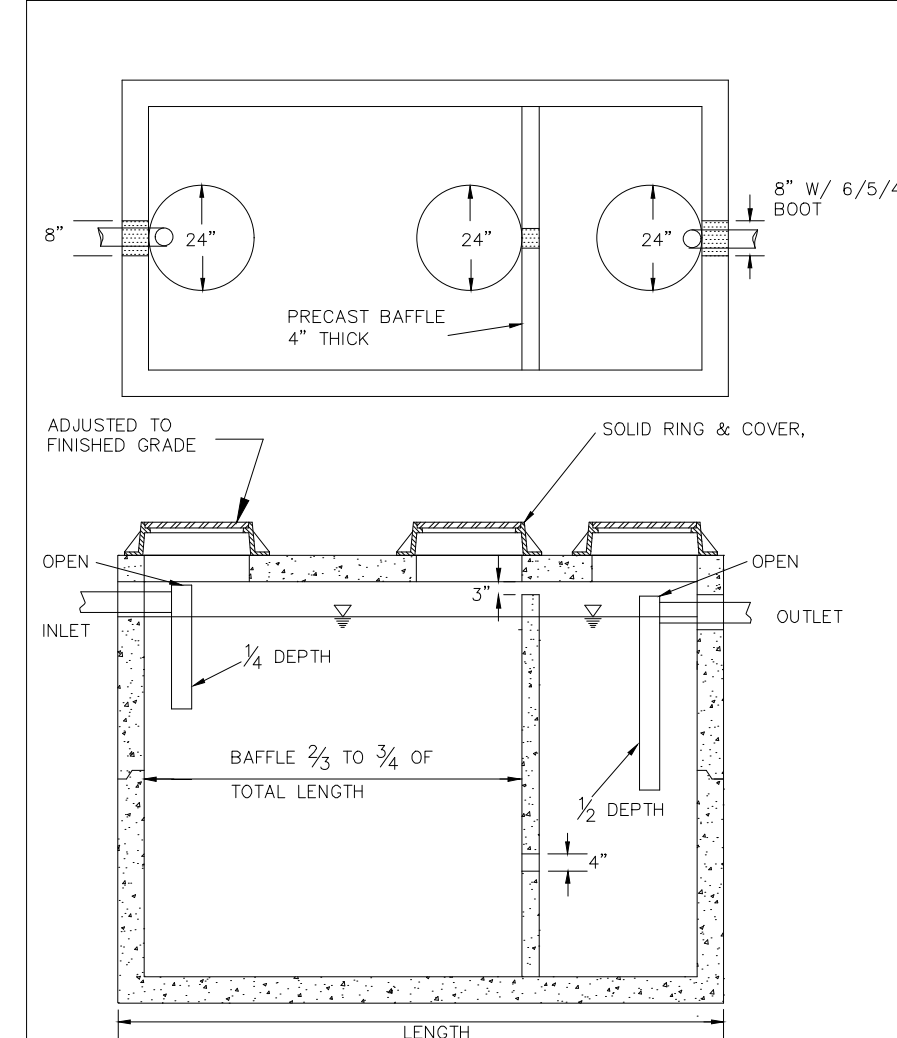
**TRENCH SECTION DETAIL FOR THE INSTALLATION OF PVC GRAVITY STORM DRAIN & SANITARY SEWER PIPING**  
CLASS 'D'



**TRENCH SECTION FOR THE INSTALLATION OF REINFORCED CONCRETE PIPE**  
CLASS 'F'



**TRENCH SECTION DETAIL FOR THE INSTALLATION OF PVC PRESSURE PIPE**  
CLASS 'E'



**TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE**

NOTES:

1. REINFORCEMENT: H-20 BRIDGE LOADING (TRAFFIC GRADES)
2. CONCRETE: 4000 PSI 90% DAYS
3. EARTH COVER: 0' TO 5' MAX.

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-40	RRH	3/27/04	D.H.L.	6/19/08

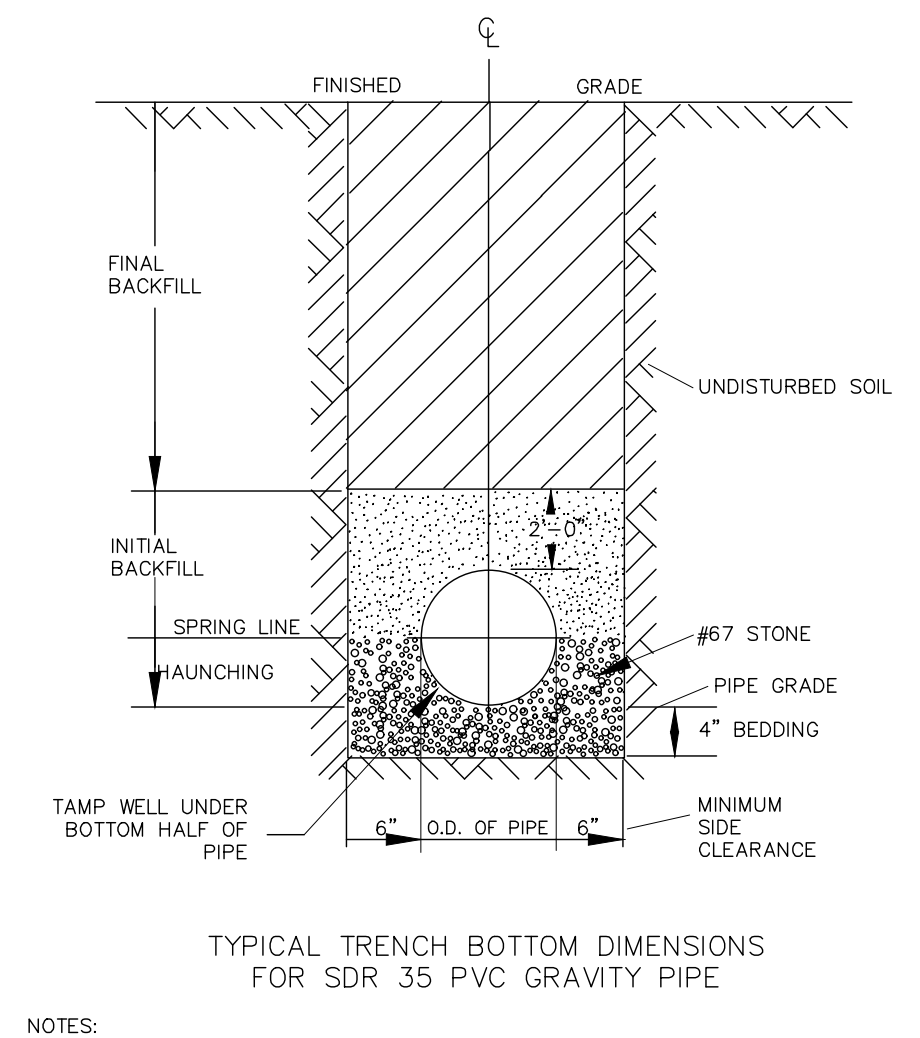
INTERCEPTORS CAPACITY (GAL.)	SEPARATORS CAPACITY (GAL.)
500	1000
750	1200
1000	1500
1500	2000
2000	3000
3000	4000
4000	5000
5000	6000
6000	8000

- NOTES:
1. BAFFLE WALL LOCATED AT A DISTANCE FROM INLET WALL 2/3 TO 3/4 OF THE TOTAL LENGTH OF THE INTERCEPTOR OR SEPARATOR AS SHOWN ON DETAIL S-42.
  2. BAFFLE WALLS LOCATED AT A DISTANCE APPROXIMATELY OF 1/3 OF THE TOTAL LENGTH OF THE SEPARATOR AS SHOWN ON DETAIL S-40/1.
  3. EACH INTERCEPTOR OR SEPARATOR SHALL HAVE INLET AND OUTLET TEES. THE OUTLET TEE SHALL EXTEND 50% INTO THE LIQUID DEPTH. THE INLET TEE SHALL EXTEND 20% INTO THE LIQUID DEPTH. INLET AND OUTLET TEES MUST BE OPEN TO ALLOW THE COLLECTION OF F.O.G. SAMPLE.
  4. ACCESS OPENINGS OVER EACH COMPARTMENT WITHIN THE INTERCEPTOR OR SEPARATOR SHALL BE 24 INCHES IN DIAMETER AND CONTAIN PROX. HOLES. ALL COVERS SHALL BE CONSTRUCTED OF CAST IRON OR EQUIVALENT TRAFFIC BEARING MATERIAL. MANHOLE COVERS MUST EXTEND TO FINISH GRADE AND BE INSTALLED TO EXCLUDE THE ENTRANCE OF STORMWATER INTO THE INTERCEPTOR OR SEPARATOR.
  5. FULL SIZE 20# SHEEP CLEANOUTS SHALL BE INSTALLED ON THE INLET AND OUTLET SIDES OF THE INTERCEPTOR OR SEPARATOR.
  6. INTERCEPTORS AND SEPARATORS MUST BE VENTED IN ACCORDANCE WITH THE NC STATE PLUMBING CODE.
  7. CONCRETE: 4000 PSI @ 28 DAYS.
  8. DESIGN: NO. 218 BUILDING CODE.
  9. ASTM C1613-06 FOR GREASE INTERCEPTORS.
  10. ASTM C1202-02 FOR WATER AND WASTEWATER STRUCTURES.
  11. ASTM C1202-02 FOR MINIMAL STRUCTURAL DESIGN LOADING.
  12. INTERCEPTORS AND SEPARATORS SHALL BE DESIGNED TO WITHSTAND AN H-20 WHEEL LOAD.
  13. INTERCEPTORS OR SEPARATORS MADE OF POLYETHYLENE OR FIBERGLASS SHALL INCLUDE A MINIMUM 5000 PSI TENSILE STRENGTH, 15000 PSI FLEXURAL STRENGTH, AND 800000 PSI TENSILE MODULUS.
  14. ALL INTERCEPTORS AND SEPARATORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-41	RRH	3/27/04	D.H.L.	6/19/08

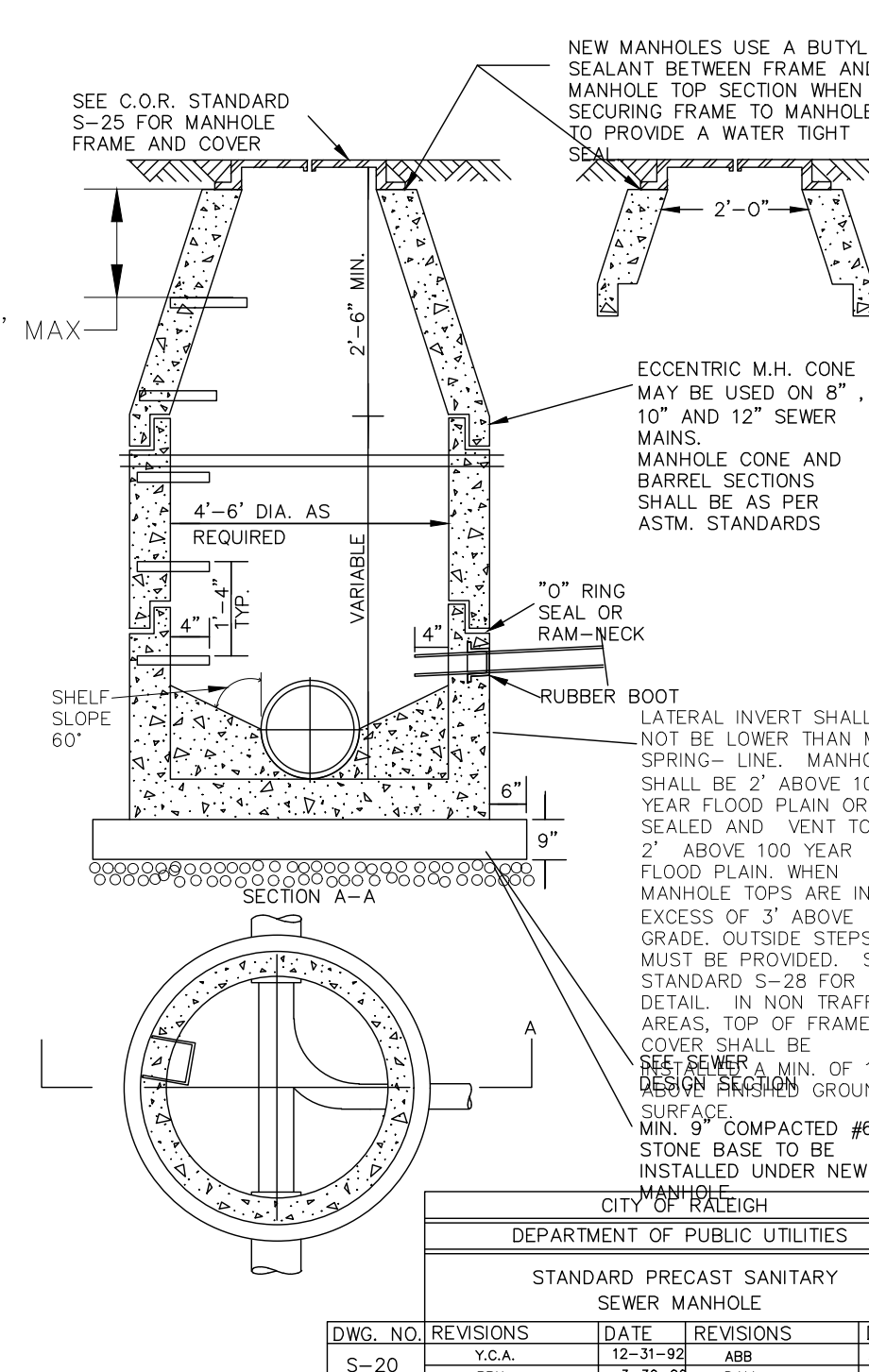
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-20	RRH	3-30-06	D.H.L.	6-18-08

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-34	D.W.C.	3-27-08	RRH	3-30-08

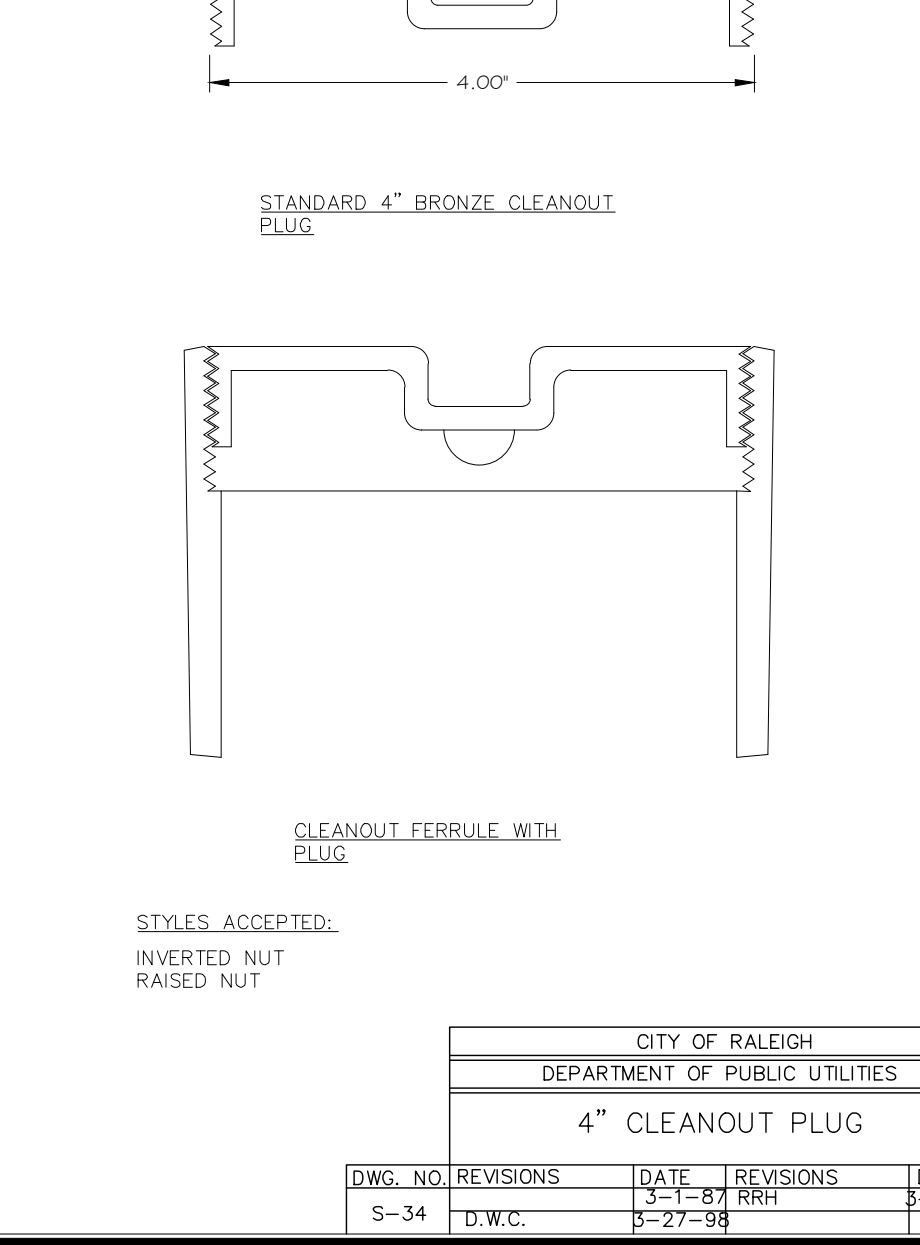


**TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE**

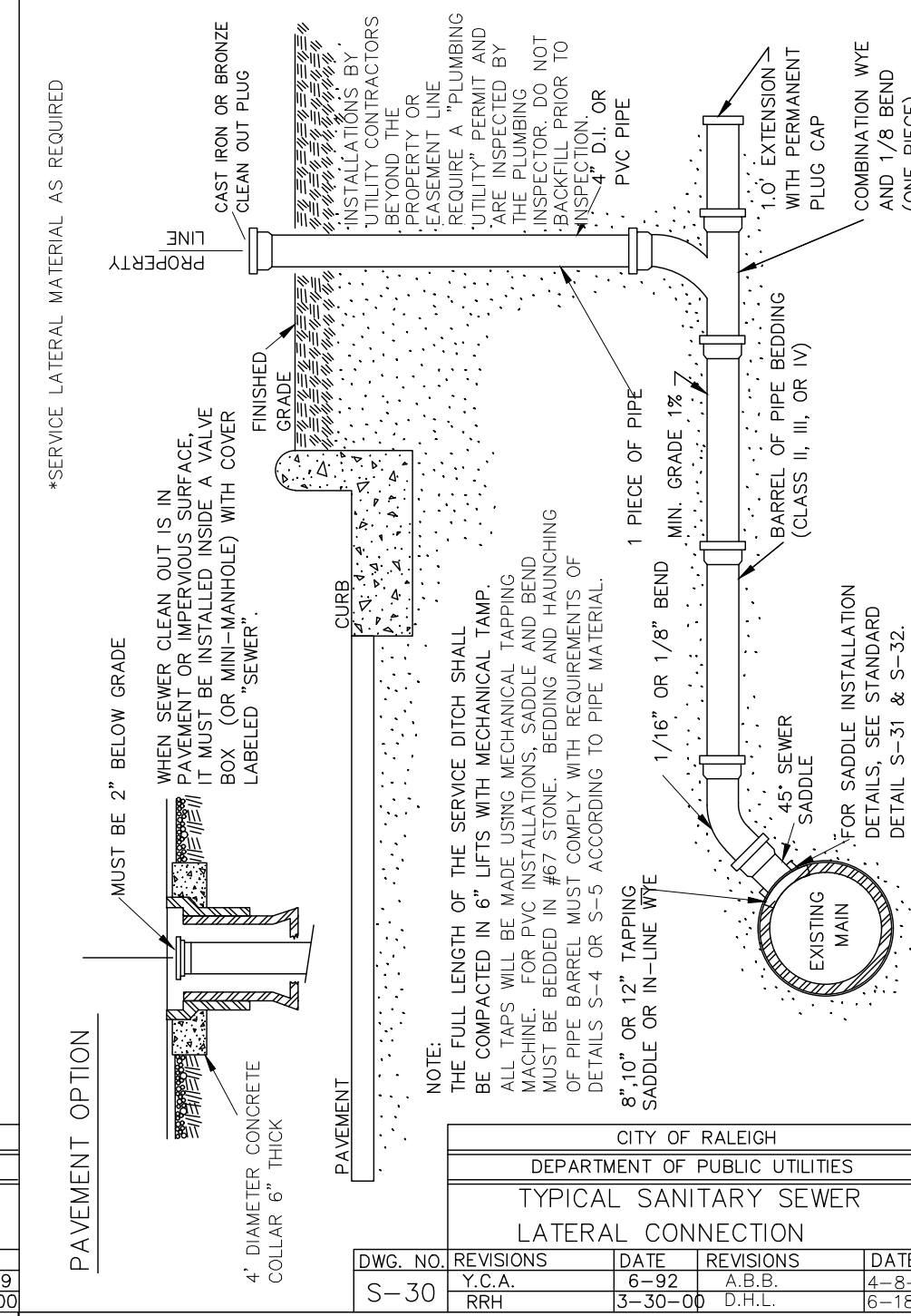
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-5	RRH	12-2-82	RRH	3-30-06



**STANDARD PRECAST SANITARY SEWER MANHOLE**

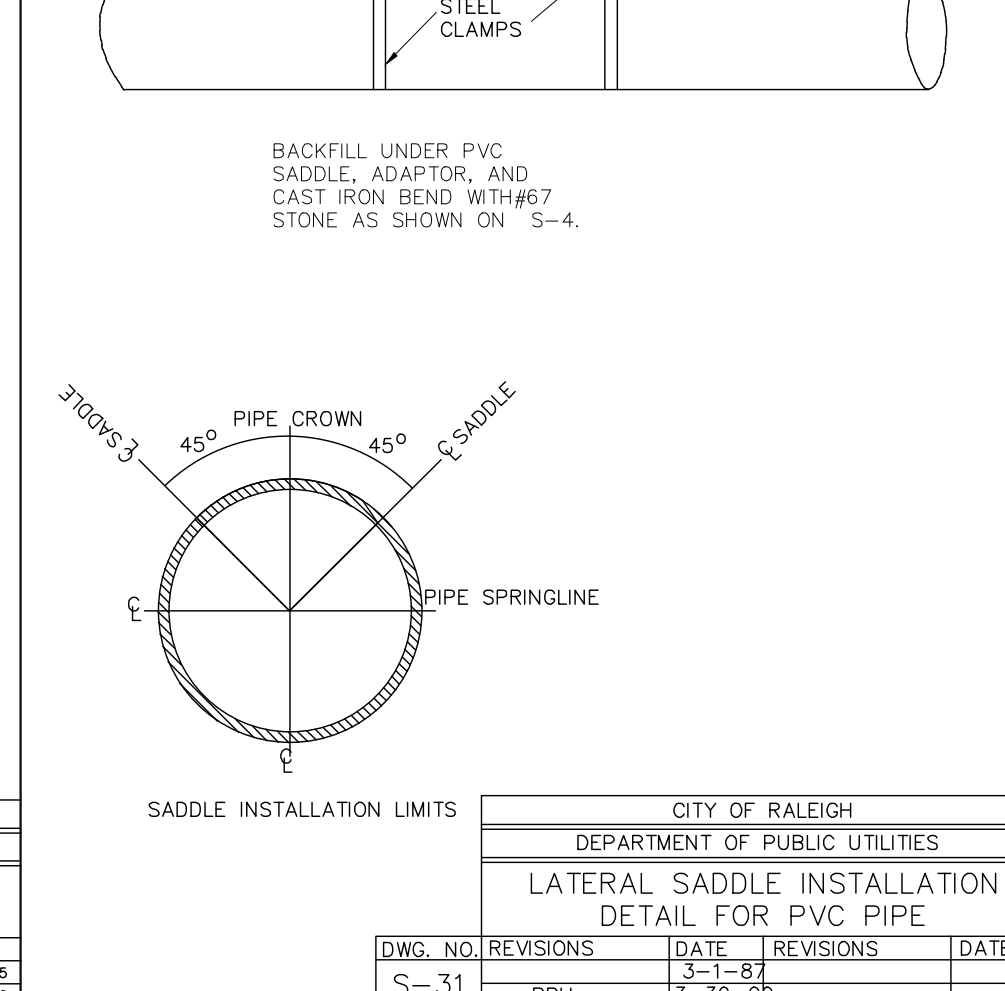


DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-25	RRH	3-30-06	D.H.L.	6-18-08

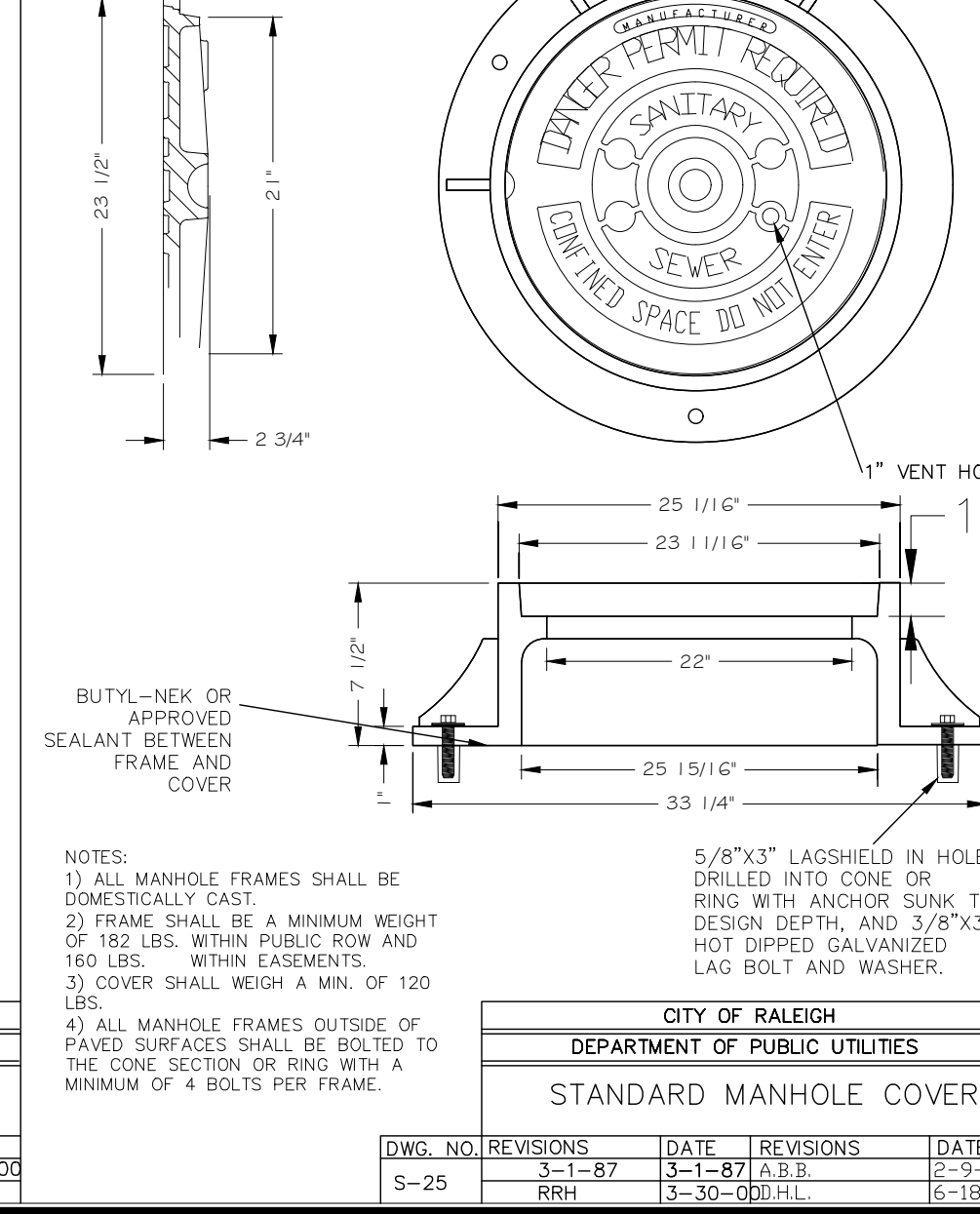


**TYPICAL SANITARY SEWER LATERAL CONNECTION**

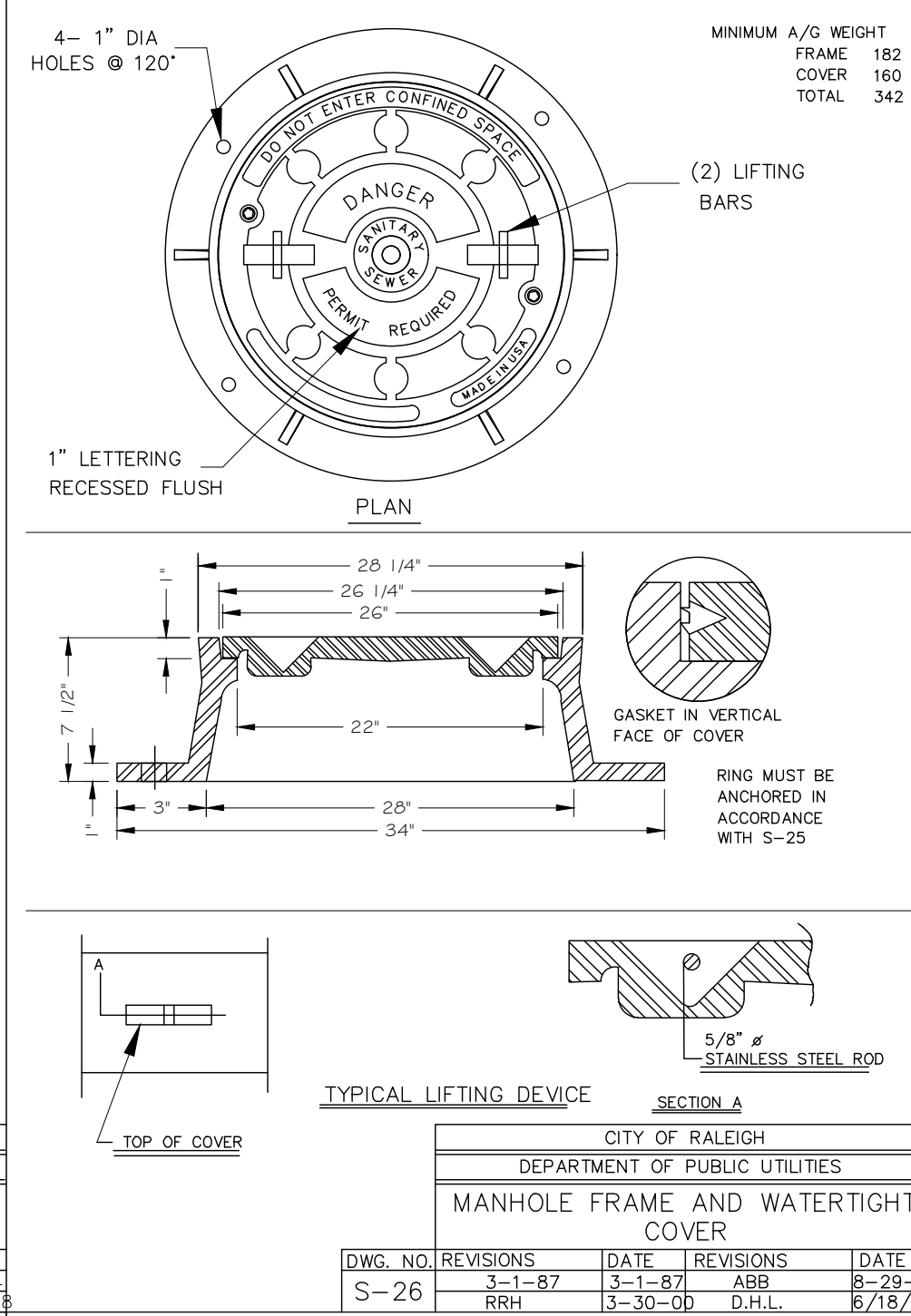
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-30	RRH	3-30-06	D.H.L.	6-18-08



**LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE**

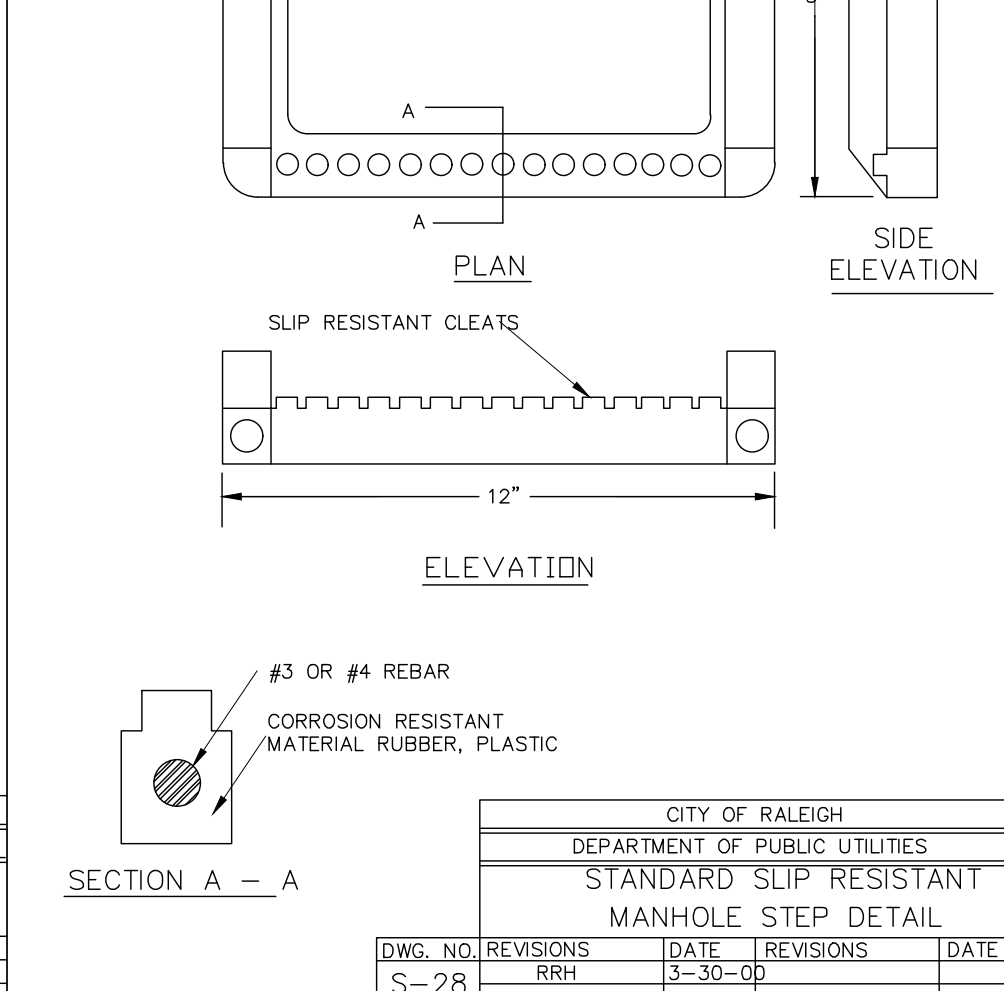


DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-3	RRH	11-1-99	A.B.B.	4-13-03
		5-30-00	J.F.S.	10-8-10

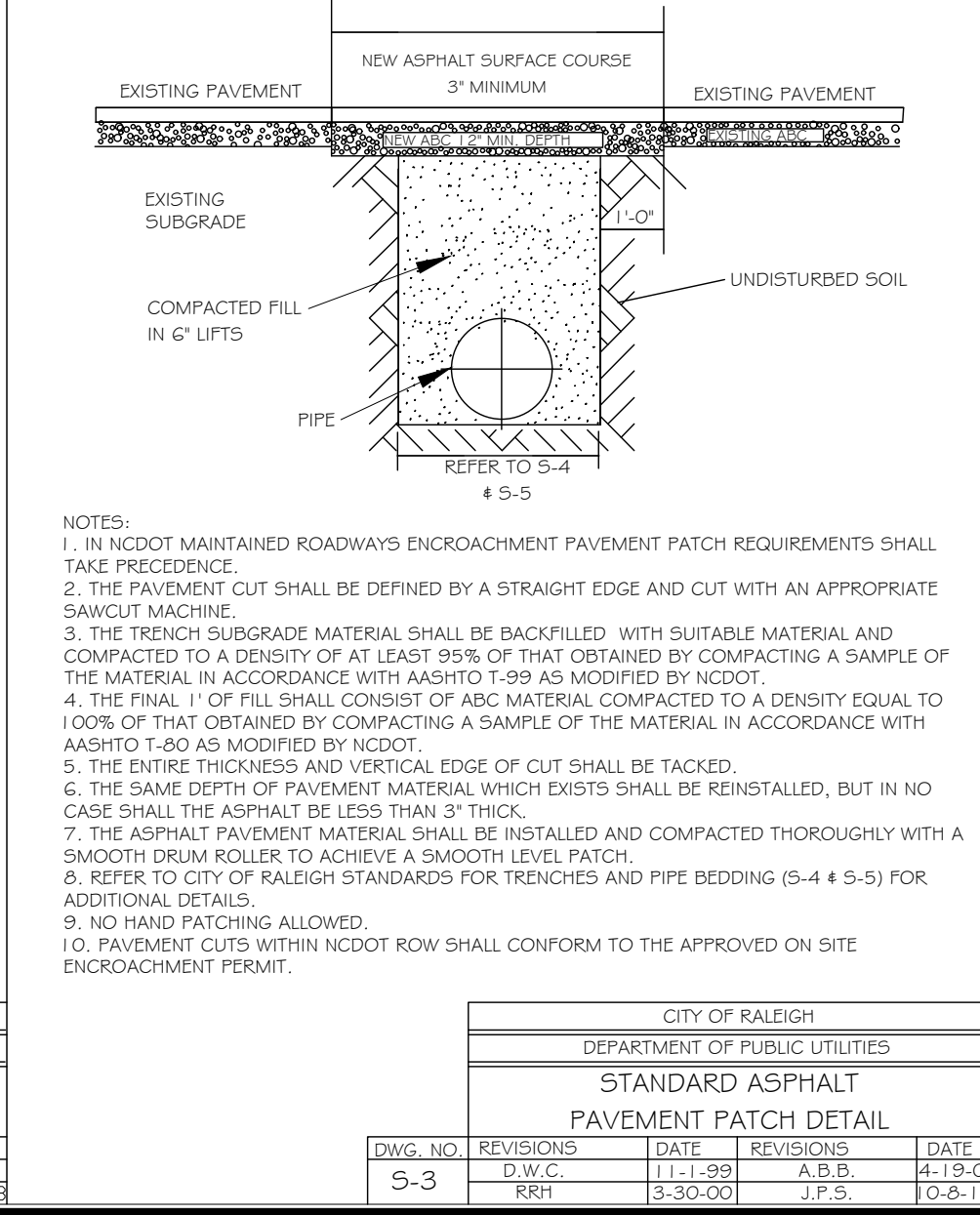


**MANHOLE FRAME AND WATERTIGHT COVER**

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-26	RRH	3-1-87	RRH	3-30-06
		3-1-87	A.B.B.	6-19-08



**STANDARD SLIP RESISTANT MANHOLE STEP DETAIL**



DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-3	RRH	11-1-99	A.B.B.	4-13-03
		5-30-00	J.F.S.	10-8-10

**- Final Drawing -**  
Issued for Permit  
Review Purposes Only

1.1 MAY 23 ISSUED FOR PERMIT REVIEW

DATE

DESCRIPTION

REVISIONS:

CROSLAND SOUTHEAST

ELEVEN

**DETAILS**

**7ELEVEN AT WALLBROOK (LOT 11)**

Town of Rolesville Project No. SDP 23-

US 401 Business / S. Main Street & Virginia Water Drive  
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: P-1129

**ARK CONSULTING GROUP PLLC**  
ENGINEERS & PLANNERS

2755-B Chatham Blvd  
Raleigh, NC 27608  
(252) 558-0888  
www.arkconsultinggroup.com

Project Manager: BCF  
Drawn By: DLC/TN  
Checked By: TN  
Project Number: 22049  
Drawing Number: D-1404-SDP

**C6.3**

Date: May 2023



**GENERAL NOTES:**

1. THIS ALTA/NSPS LAND TITLE SURVEY WAS PREPARED FOR THE BENEFIT OF WALLBROOK LANDCO, LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY.
2. THE PROPERTY AS SHOWN HEREON IS BASED ON A FIELD-RUN BOUNDARY SURVEY WITH A RAW CLOSURE OF 1:35,900.
3. THE IMPROVEMENTS SHOWN HEREON ARE BASED ON A FIELD-RUN PLANIMETRIC SURVEY PERFORMED BY JOHNSON, MIRMIRAN & THOMPSON FROM MARCH 16 THROUGH MARCH 19, 2020 AND REFLECTS SITE CONDITIONS AS OF THAT DATE.
4. ELEVATIONS ARE BASED ON NAVD88 DATUM.
5. THE SURVEY IS REFERENCED TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NCSPCS), NORTH AMERICAN DATUM, 1983, 2001 ADJUSTMENT, NAD83(2001).
6. THE USE OF THE WORD CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE, INFORMATION AND BELIEF, AND IN ACCORDANCE WITH THE COMMONLY ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED.
7. THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X, AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 3720175800J, EFFECTIVE DATE: MAY 2, 2006.
8. AT THE TIME OF THE SURVEY, THERE WERE NO PARKING SPACES.
9. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR LANDFILL.
10. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF A CEMETERY.
11. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
12. CURRENT ZONING: I-SUD (INDUSTRIAL SPECIAL USE DISTRICT)

**SETBACK REQUIREMENTS:**

FRONT: 30'  
SIDE: 15'  
CORNER: 25'  
REAR: 35'

(ZONING INFORMATION BASED ON INFORMATION AS SUPPLIED BY CURRENT COUNTY ZONING DEPARTMENT, NO ZONING REPORT OR LETTER WAS PROVIDED TO SURVEYOR AT TIME OF SURVEY.)

**RECORD LEGAL DESCRIPTION**

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 202000244CA2, WITH AN EFFECTIVE DATE OF MARCH 6, 2020 AT 5:00 P.M.:

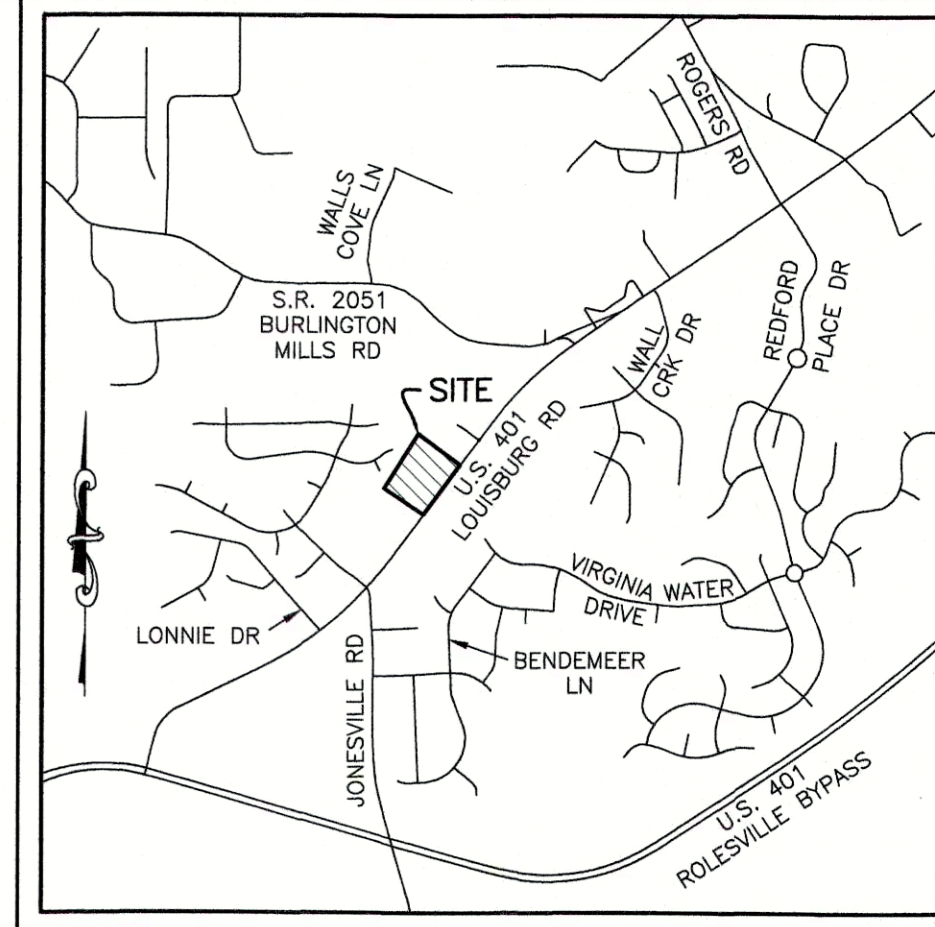
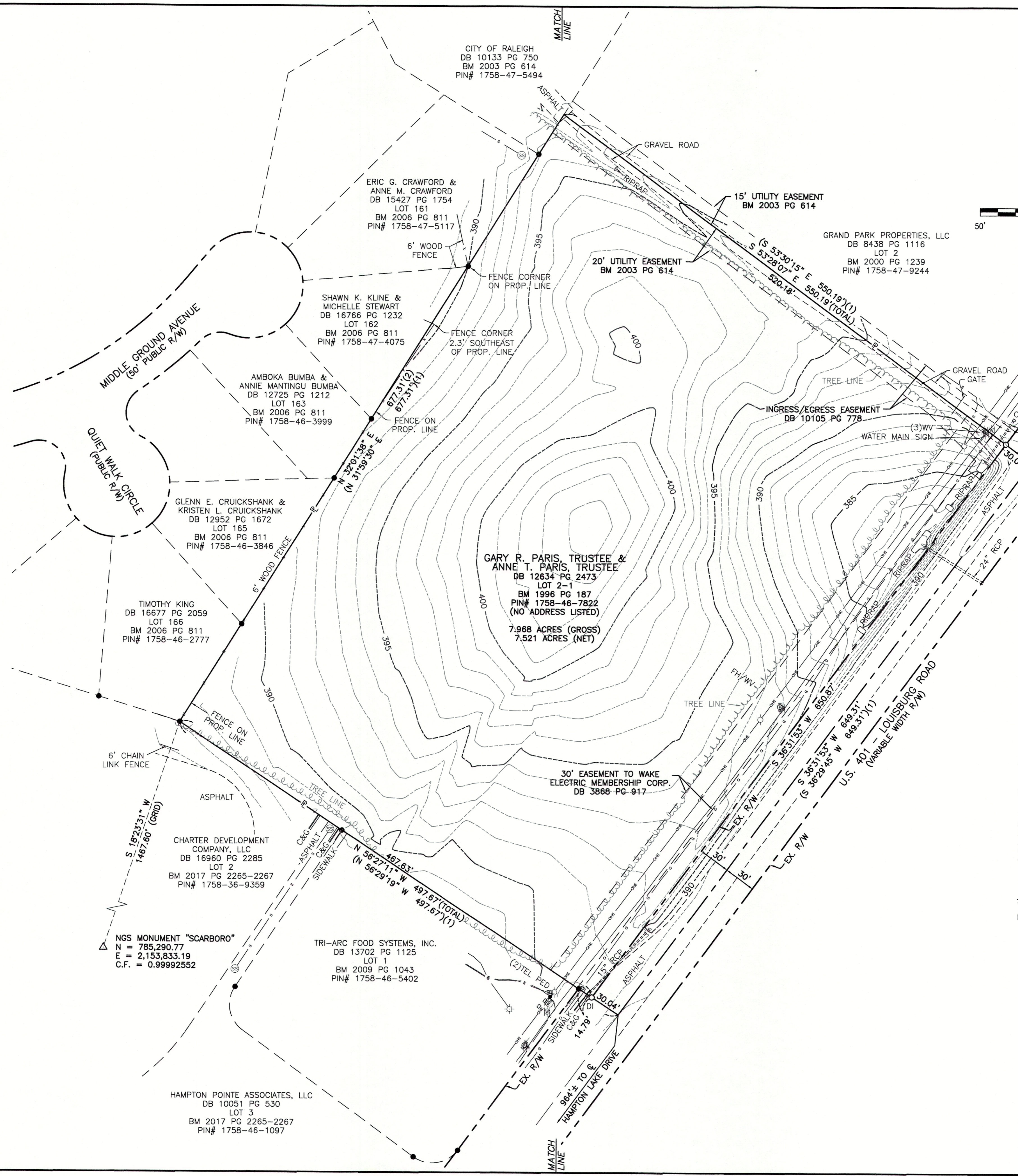
IN THE STATE OF NC, COUNTY OF WAKE,

BEING ALL OF LOT 2-1 OF THAT PLAT ENTITLED "PRELIMINARY SUBDIVISION PLAT AND RECOMBINATION SURVEY FOR TOMMY TWITY," A COPY OF WHICH IS RECORDED IN BOOK OF MAPS 1996, PAGE 187, WAKE COUNTY REGISTRY.

**SCHEDULE B, PART II EXCEPTIONS:**

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 202000244CA2, WITH AN EFFECTIVE DATE OF MARCH 6, 2020 AT 5:00 P.M.:

1. (ITEM 3) EASEMENT(S) AND/OR RIGHT(S) OF WAY TO CITY OF RALEIGH RECORDED IN BOOK 10105 AT PAGE 778. [PLOTTED HEREON]
2. (ITEM 4) EASEMENT(S) AND/OR RIGHT(S) OF WAY TO WAKE ELECTRIC MEMBERSHIP CORPORATION RECORDED IN BOOK 3868 AT PAGE 917. [PLOTTED HEREON]
3. (ITEM 5) TITLE TO THAT PORTION OF THE LAND WITHIN THE RIGHT-OF-WAY OF U.S. HIGHWAY 401 (LOUISBURG ROAD). [PLOTTED HEREON]
4. (ITEM 6) MATTERS SHOWN ON RECORDED BOOK OF MAPS 1996 AT PAGE 187 SHOWS THE FOLLOWING LOCATED ON THE LAND:
  - (a) OVERHEAD LINE [PLOTTED HEREON]
  - (b) POWER POLE [PLOTTED HEREON]
  - (c) RIGHT OF WAY FOR U.S. HIGHWAY 401 (LOUISBURG ROAD) [PLOTTED HEREON]



- LEGEND**
- (1) = RECORD DATA PER BM 1996 PG 187
  - (2) = RECORD DATA PER BM 2006 PG 811
  - = FOUND IRON PIPE
  - = SET IRON PIN
  - △ = NGS MONUMENT
  - R = PROPERTY LINE
  - R/W = RIGHT OF WAY
- CB = CATCH BASIN
  - C&G = CURB AND GUTTER
  - C = CENTERLINE
  - DI = DROP INLET
  - FH = FIRE HYDRANT
  - LP = LIGHT POLE
  - PP = POWER POLE
  - RCP = REINFORCED CONCRETE PIPE
  - = SIGN
  - = SANITARY SEWER MANHOLE
  - = TELEPHONE PEDESTAL
  - WM = WATER METER
  - WV = WATER VALVE
- = ELECTRIC LINE
  - = GAS LINE
  - = OVERHEAD ELECTRIC LINE
  - = SANITARY SEWER LINE
  - = TELEPHONE LINE
  - = WATER LINE

**SURVEYOR'S CERTIFICATION:**

TO WALLBROOK LANDCO, LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 7A, 7B1, 8, 9, 11, 13, 16 AND 17 OF TABLE "A" THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 19, 2020.

*William T. Robbins, II*  
WILLIAM T. ROBBINS, II  
P.L.S. #L-4192  
DATE: 3/28/2020

**JMT JOHNSON, MIRMIRAN & THOMPSON**  
Engineering A Brighter Future®  
9201 Arboretum Parkway Suite 310 Richmond, Virginia 23236  
PHONE: (804)-323-9900 FAX: (804)-323-0596  
EMAIL: jmtva@jmt-engineering.com

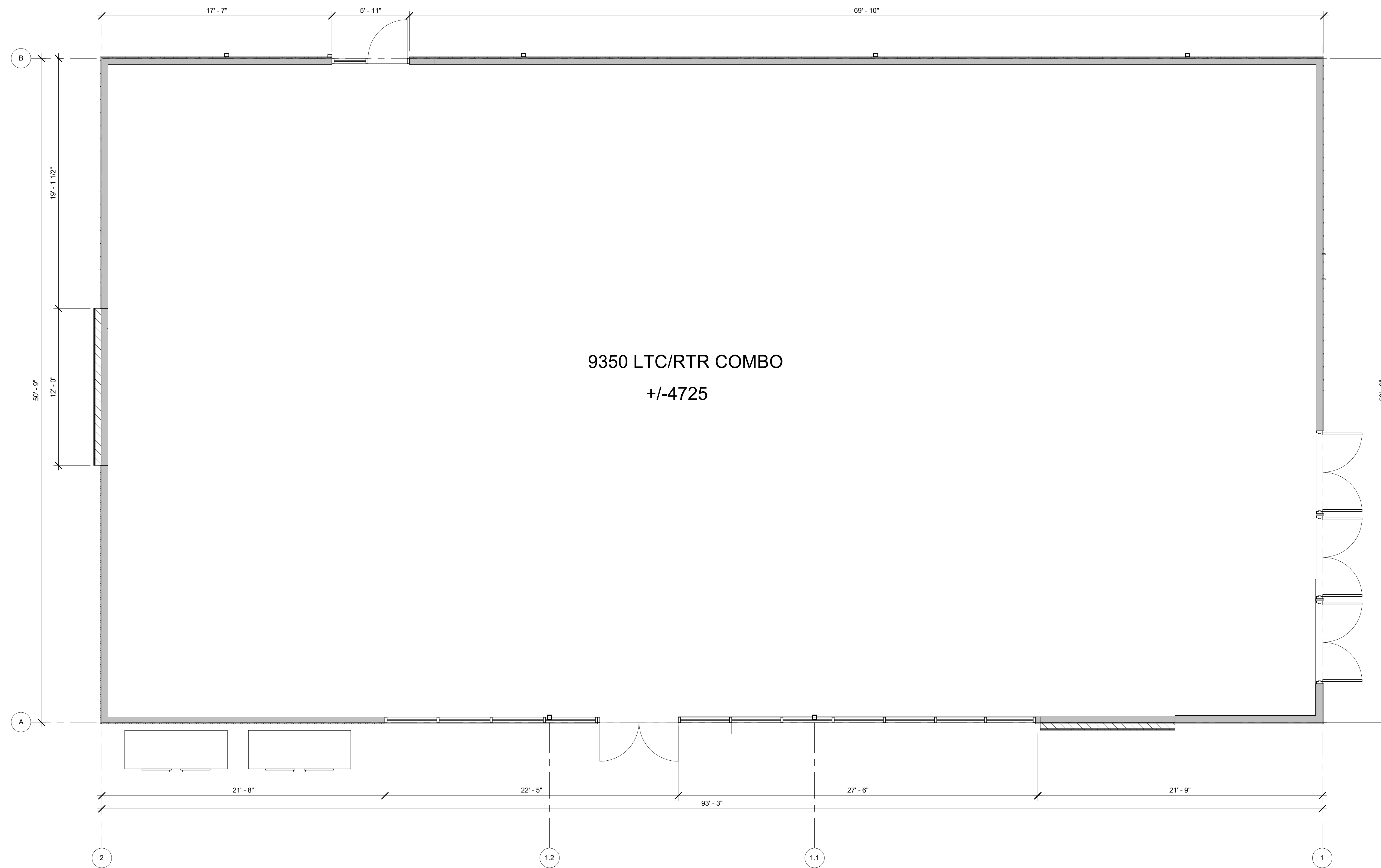
REVISION #	DATE	REASON FOR REVISION



**ALTA/NSPS LAND TITLE SURVEY**  
PREPARED FOR  
WALLBROOK LANDCO, LLC  
WAKE FOREST TOWNSHIP  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

DRAWN BY: JSZ PROJECT#: JMT# 20-00915-001  
CHECKED BY: WTR CONTRACT#: JMT# 20-00915-001  
DATE: 03/28/2020 SCALE: 1"=50' SHEET 1 OF 1





9350 LTC/RTR COMBO  
+/-4725

**1** SHELL PLAN  
R0.00 1/4" = 1'-0"

7-ELEVEN STORE

ROSEVILLE, NC 27571

NOT FOR  
CONSTRUCTION

07/20/2022  
Architect Name - RYAN M. FAUST  
Architect Number - a7189  
THE SEAL & SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED & WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS

NO.	DATE	DESCRIPTION

Drawing Size: 30 x 42	Project #:
Drawn By: PJC	Checked By: RMF

Title:  
SHELL PLAN

Sheet Number:  
**R0.00**

Date: 07/20/2022 Store #: 42278



**NOT FOR CONSTRUCTION**

07/20/2022  
Architect Name - RYAN M. FAUST  
Architect Number - a7189

THE SEAL & SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED. WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS	
NO.	DATE

Drawing Size: 30 x 42  
Project #:   
Drawn By: PJC  
Checked By: RMF

Title:  
REVIEW BOARD ELEVATIONS

Sheet Number:

**R1.00**

Date: 07/20/2022 Store #: 42278

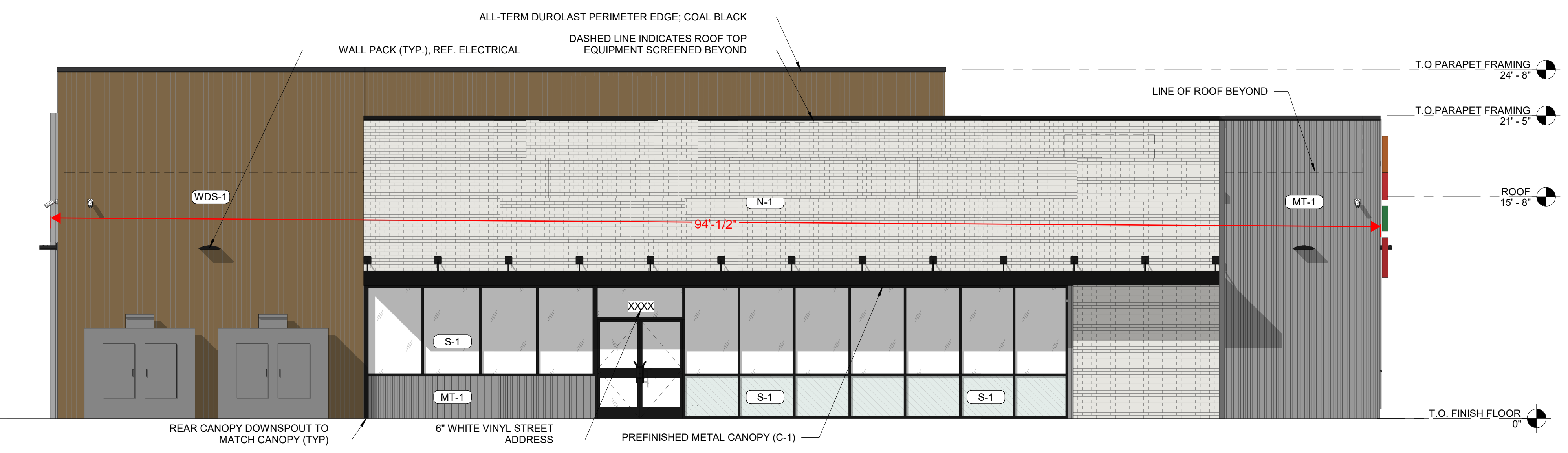
EXTERIOR MATERIALS SCHEDULE			
(NOT ALL MATERIALS IN SCHEDULE ARE USED)			
NO.	MATERIAL	MANUFACTURER	COLOR
MR-1	MEMBRANE ROOFING	DUROLAST	WHITE
N-1	FIBER CEMENT PANEL	NICHHA	VINTAGE BRICK PAINTED P-1
MT-1	CORRUGATED METAL WALL PANELS	PAC-CLAD OR EQ.	22 GAGE 7/8" CORRUGATED METAL WALL PANELS, COLOR: SILVER
P-2	HOLLOW METAL DOORS AND FRAMES	SHERWIN WILLIAMS	MISTY SW 6232
CP-1	EDGE METAL PARAPET CAP	DUROLAST - ALL TERM EDGE	COAL BLACK
P-3	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS	TRICORN BLACK SW 6258
P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS	TRICORN BLACK SW 6258
S-1	ALUMINUM STOREFRONT GLAZING	KAWNEER	451T VG - #29 BLACK FINISH
C-1	PREFINISHED ALUMINUM CANOPY	MAPES LUMISHADE	MATTE BLACK BAKED ENAMEL W/ REAR GUTTER CONNECTIONS
WDS-1	WOOD LOOK SIDING	NICHHA	VINTAGE WOOD - CEDAR (AWP3030-VERTICAL INSTALLATION)



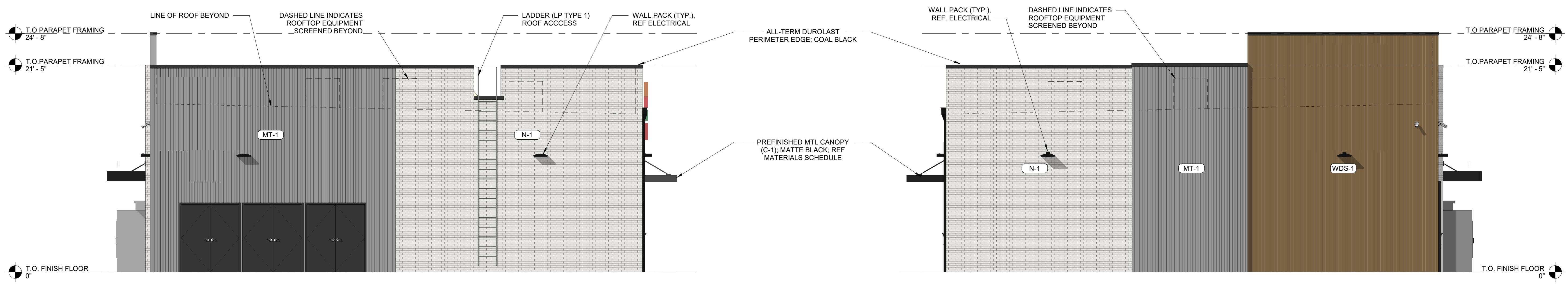
LDO Section 6.8.3.D.1.d notes that facades of 60 or greater feet in width shall incorporate wall offsets of at least one (1) foot of depth of every forty (40) feet. Illustrated as "D" in Figure 6.8.1.

Vinyl siding, smooth untreated concrete block, metal siding, faux stucco, and plastic materials are prohibited building materials.

Blank wall area is prohibited per LDO Section 6.8.2.C.1.

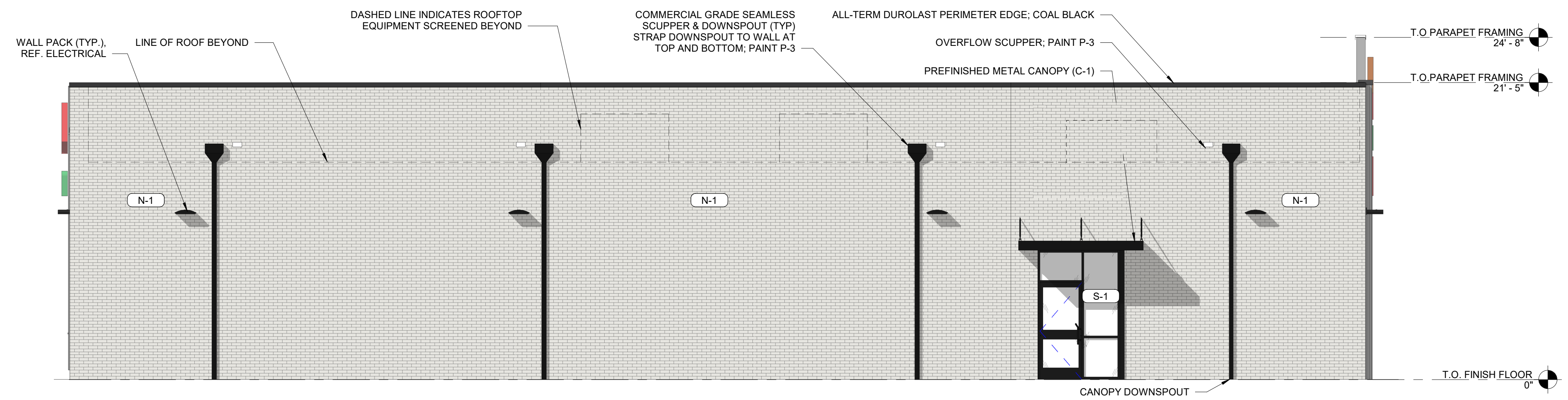


**1**  
ELEVATION - FACING EAST  
3/16" = 1'-0"



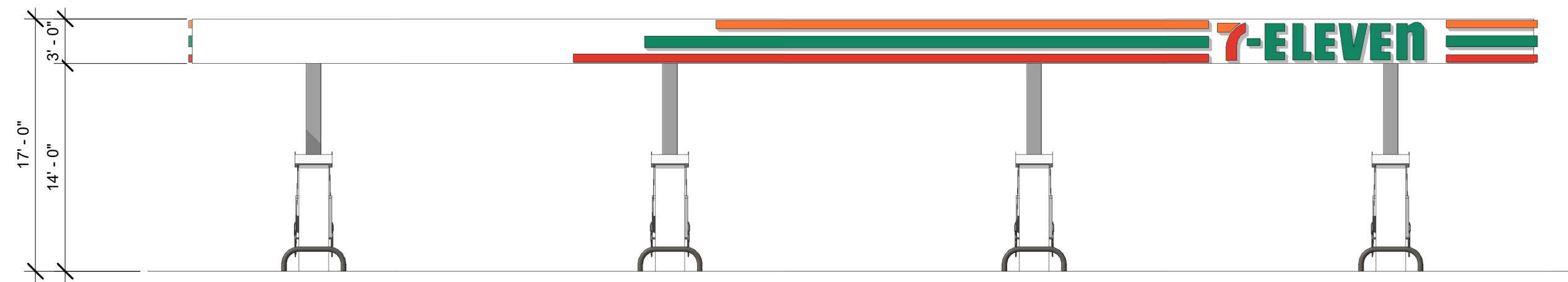
**2**  
ELEVATION - FACING NORTH  
3/16" = 1'-0"

**3**  
ELEVATION - FACING SOUTH  
3/16" = 1'-0"

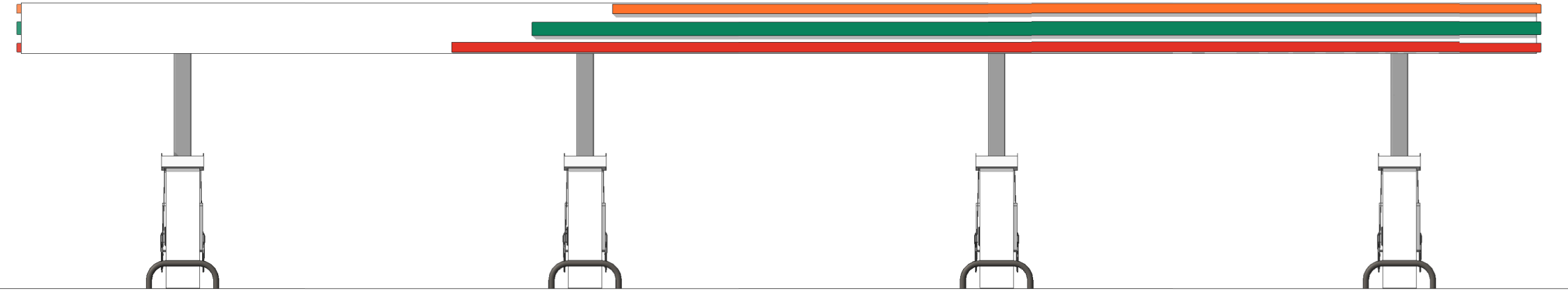


**4**  
ELEVATION - FACING WEST  
3/16" = 1'-0"

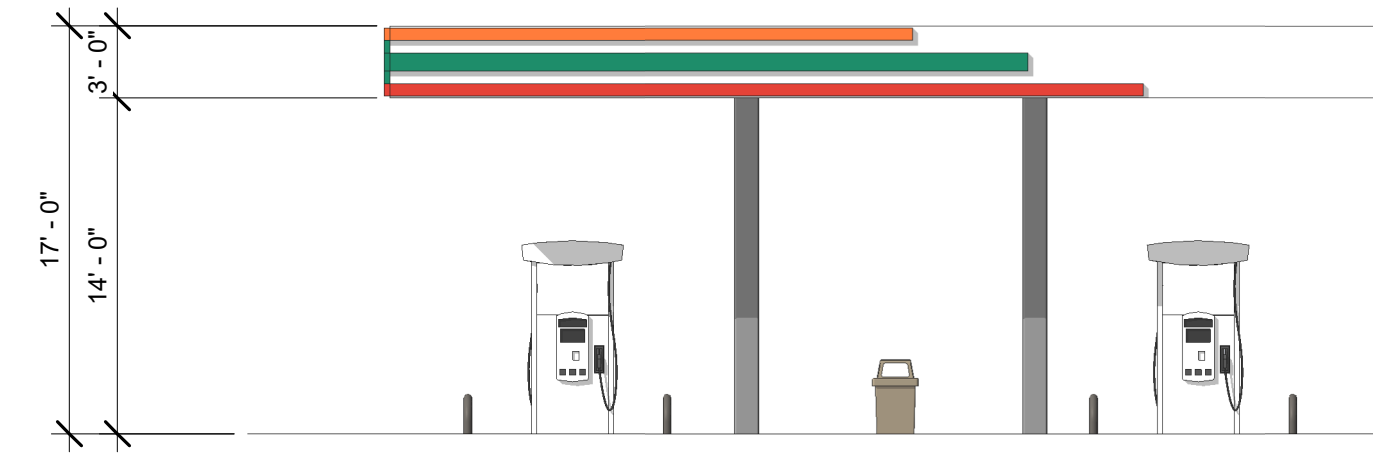




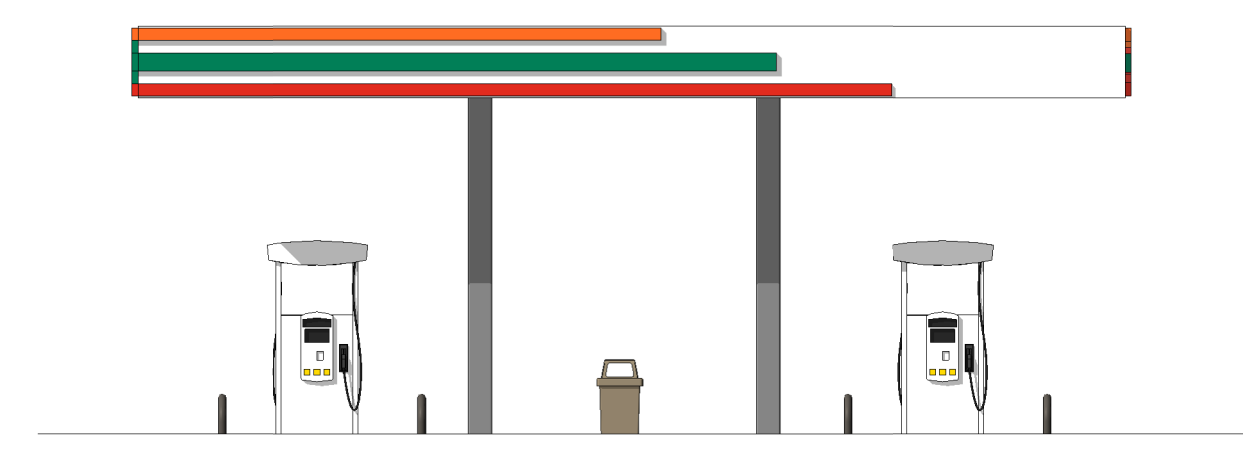
**1** FUEL CANOPY - FACING NORTH  
1/8" = 1'-0"



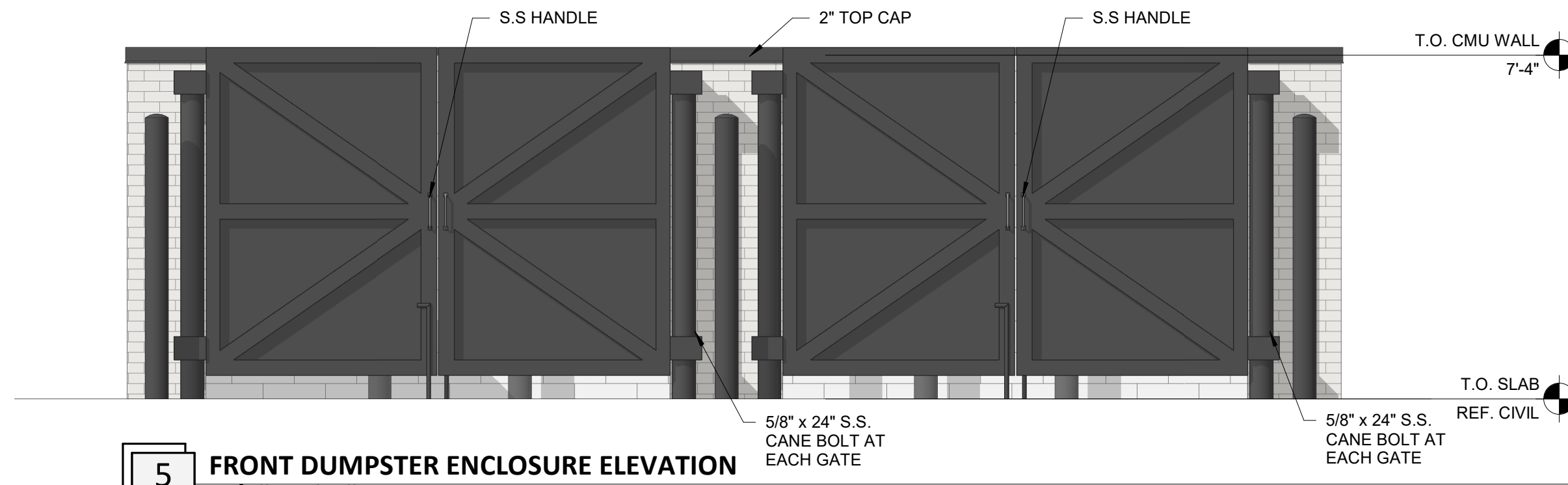
**2** FUEL CANOPY - FACING SOUTH  
1/8" = 1'-0"



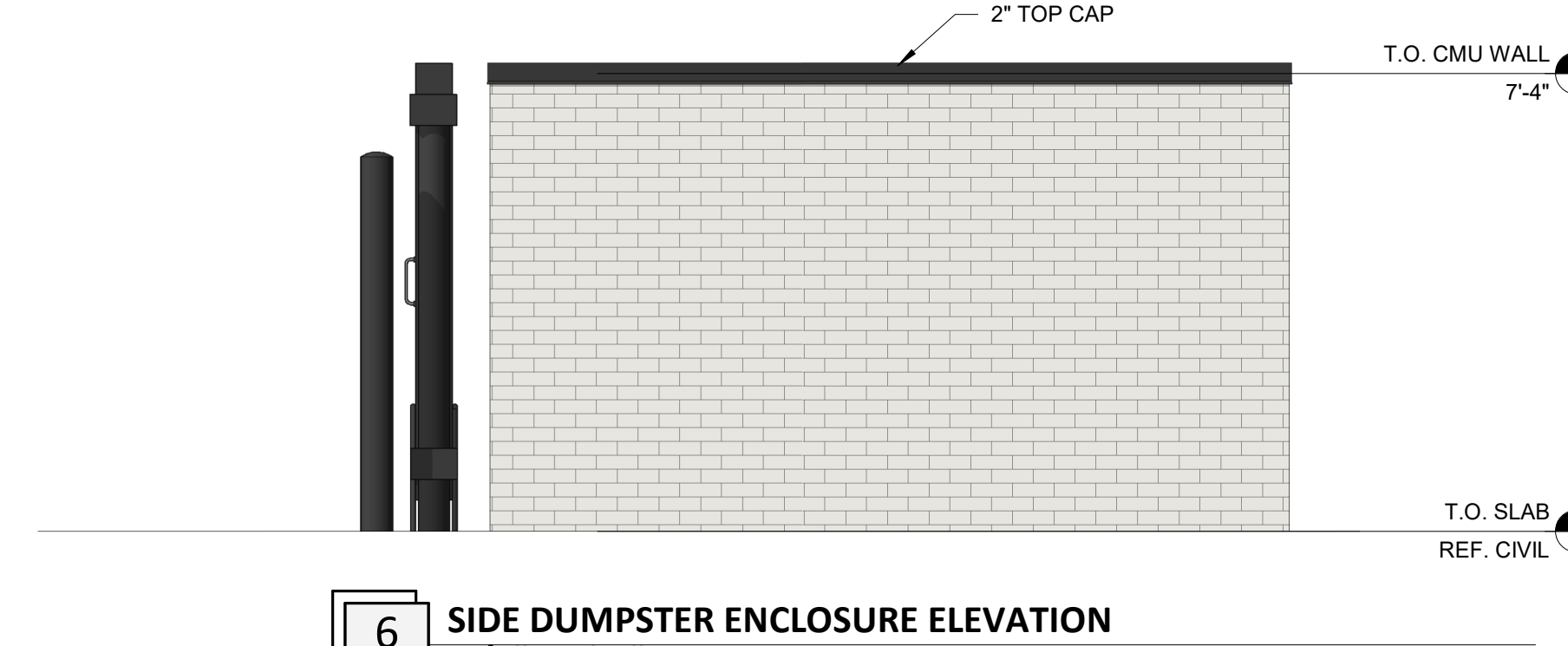
**3** FUEL CANOPY - FACING EAST  
1/8" = 1'-0"



**4** FUEL CANOPY - FACING WEST  
1/8" = 1'-0"



**5** FRONT DUMPSTER ENCLOSURE ELEVATION  
3/8" = 1'-0"



**6** SIDE DUMPSTER ENCLOSURE ELEVATION  
3/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE			
(NOT ALL MATERIALS IN SCHEDULE ARE USED)			
NO.	MATERIAL	MANUFACTURER	COLOR
MR-1	MEMBRANE ROOFING	DUROLAST	WHITE
N-1	FIBER CEMENT PANEL	NICHIHA	VINTAGE BRICK PAINTED P-1
MT-1	CORRUGATED METAL WALL PANELS	PAC-CLAD OR EQ.	22 GAGE 7/8" CORRUGATED METAL WALL PANELS, COLOR, SILVER
P-2	HOLLOW METAL DOORS AND FRAMES	SHERWIN WILLIAMS	MISTY SW 6232
CP-1	EDGE METAL PARAPET CAP	DUROLAST - ALL TERM EDGE	COAL BLACK
P-3	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS	TRICORN BLACK SW 6258
P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS	TRICORN BLACK SW 6258
S-1	ALUMINUM STOREFRONT GLAZING	KAWNEER	451T VS - #29 BLACK FINISH
C-1	PREFINISHED ALUMINUM CANOPY	MAFES LUMISHADE	MATTE BLACK BAKED ENAMEL W/ REAR GUTTER CONNECTIONS
WDS-1	WOOD LOOK SIDING	NICHIHA	VINTAGE WOOD - CEDAR (AWP3030-VERTICAL INSTALLATION)



NOT FOR CONSTRUCTION

07/20/2022  
Architect Name - RYAN M. FAUST  
Architect Number - a7189

THE SEAL & SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED. WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS	
NO.	DATE

Drawing Size: 30 x 42	Project #:
Drawn By: PJC	Checked By: RMF

Title:  
REVIEW BOARD ELEVATIONS

Sheet Number:  
**R1.01**

Date: 07/20/2022 Store #: 42278