7ELEVEN AT WALLBROOK (LOT 11)

SITE DEVELOPMENT PLAN

Add site plan number SDP-23-04 to the cover

1. CONTACT NORTH CAROLINA ONE-CALL CENTER, INC. (NC ONE-CALL) AT 811 TO

HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR

ROLESVILLE LAND DEVELOPMENT ORDINANCE AND THE TOWN OF ROLESVILLE

2. ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE TOWN OF

DRAINAGE EASEMENTS OR RIGHT-OF-WAY.

3720175800J, EFFECTIVE DATE: 05/02/2006

3. CONTRACTOR SHALL NOTIFY NCDOT AND TOWN OF ROLESVILLE PUBLIC

5. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND

ILUSTRATIVE IN NATURE AND MAY NOT INCLUDE ALL MECHANICAL

WORKS, STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING

CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORI

A PORTION OF THE PROPERTY IS LOCATED WITHIN ZONE 'X', AREA OF MINIMA

FLOODING. AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM)

THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE WORK FOR THIS PROJECT. IF

CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY

DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE

General Notes:

US-401 Business / S. Main Street ~ Wake Forest Township ~ Town of Rolesville ~ Wake County ~ North Carolina

BICYCLE PARKING: 1 / 5000 SF = 4730 / 5000

MINIMUM: 2.5 / 1000 SF = 4730 / 1000 * 2.5

MAXIMUM: 7.5 / 1000 SF = 4730 / 1000 * 7.5

TOTAL REQUIRED PARKING:

PARKING PROVIDED:

MICHELLE STEWART DB 16766 PG 1232

REQUIRED HANDICAP PARKING:

Parking Requirements:

PARKING REQUIRED: RETAIL SALES AND SERVICES

Update FIRM

map to include

the most recent

dates/numbers.

1 SPACE

12 SPACES

36 SPACES

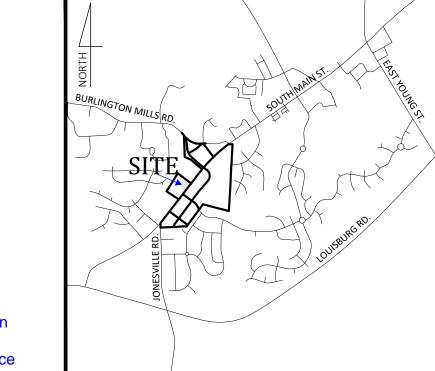
12 SPACES

1 SPACES

+ 1 BICYCLE PARKING

34 SPACES (INCL. 2 H/C)

4 BICYCLE PARKS



Add setbacks and open space required and demonstrate compliance

Site Data TOTAL ACREAGE IN SITE: TOTAL ACREAGE IN PROJECT LIMITS: DISTURBED ACREAGE: **CURRENT ZONING:** WAKE COUNTY PIN: REAL ESTATE ID: WATERSHED: RIVER BASIN: **CURRENT USE:** PROPOSED USE: **BUILDING FLOOR AREA: BUILDING LOT COVERAGE:**

BUILDING HEIGHT: TOTAL NUMBER OF PARKING SPACES REQUIRED:

ADDRESS:

TOTAL NUMBER OF PROPOSED PARKING SPACES: TOTAL SQ. FEET OF EXIST. IMPERVIOUS AREA: TOTAL SQ. FEET OF PROP. IMPERVIOUS AREA: **DEVELOPMENT STANDARDS: REFERENCES:**

6. ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.

7. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS 8. REFER TO M.E.P. PLANS FOR COORDINATION OF BUILDING UTILITY SERVICES

COMMERCIAL DEVELOPMENT. PROJECT IS SUBJECT TO THE TOWN OF ROLESVILLE STORMWATER MANAGEMENT ORDINANCE. STORMWATER MANAGEMENT PLAN APPROVAL BY THE TOWN OF ROLESVILLE IS REQUIRED

CONTROL PLAN APPROVAL IS REQUIRED. 11. NCDOT DRIVEWAY PERMIT APPROVAL IS COMPLETED FOR THIS PROJECT

REFERENCE NCDOT PERMIT NUMBER D051-092-22-00049.

13. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

PREPARED BY JOHNSON, MIRMIRAN & THOMPSON. REFERENCE IS MADE TO THE SURVEY ENTITLED ALTA/NSPS LAND TITLE SURVEY PREPARED FOR WALLBROOK LANDCO, LLC DATED 3/28/2020, AND ATTACHED TO THIS DRAWING SET FOR REFERENCE.

16. UNDERGROUND UTILITIES PLOTTED IN PART FROM ACTUAL FIELD LOCATION OF ABOVE GROUND FEATURES AND IN PART FROM MAPS ON RECORD. ACTUAL LOCATIONS MAY VARY. SURVEYOR AND ENGINEER CANNOT PROVIDE ACCURACY OF INFORMATION TAKEN FROM RECORD DATA. OTHER UTILITIES MAY EXIST. CONTRACTOR SHOULD CONTACT NORTH CAROLINA ONE-CALL CENTER (NC ONE-CALL) BY DIALING 811 TO HAVE UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.

17. THE ENGINEER MAKES NO GUARANTEE THAT THE UTILITIES SHOWN ARE COMPRISED OF ALL SUCH UTILITIES IN THE AREA OF SURVEY EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED THE ENGINEER DOES HEREBY CERTIFY THAT ALL UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY UNCOVERED AND LOCATED ANY UNDERGROUND UTILITIES.

Special Use Plan (SUP 20-02) Conditions:

1. USES AND MAXIMUM DENSITIES ARE LIMITED TO THOSE SHOWN ON EACH SITE OF THE CONCEPT PLAN. ANY RESIDENTIAL UNITS NOT DESIGNATED ON THE RESIDENTIAL - TOWNHOMES TRACT MAY BE USED ON ANY OF THE TRACTS LABELED FOR NON-RESIDENTIAL USE. 2. PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR

THE FIRST RESIDENTIAL UNIT IN THE EAST SITE AS SHOWN ON THE CONCEPT PLAN, DEVELOPER WILL COMPLETE THE EXTENSION OF WALL CREEK DRIVE TO MAIN STREET.

3. IF APPLICANT SEEKS A CERTIFICATE OF OCCUPANCY PRIOR TO THE COMMENCEMENT OF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS, THEN PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY OF THE FIRST RESIDENTIAL UNIT IN THE EAST SITE AND IN ACCORDANCE WITH THE "WALLBROOK DEVELOPMENT TIA ADDENDUM - RESIDENTIAL-ONLY PHASE" DATED FEBRUARY 13, 2020, DEVELOPER WILL CONSTRUCT A 100' NORTHBOUND RIGHT TURN LANE AND A 100' SOUTHBOUND LEFT TURN LANE AT THE INTERSECTION OF WALL CREEK DRIVE (AS EXTENDED) AND MAIN STREET. IF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS IS COMMENCED BEFORE THE FIRST CERTIFICATE OF OCCUPANCY IS REQUESTED, DEVELOPER IS NOT REQUIRED TO CONSTRUCT THE AFOREMENTIONED IMPROVEMENTS.

4. NO LATER THAN SIX MONTHS FOLLOWING THE COMPLETION OF THE LAPP GRANT PROJECT IMPROVEMENTS, DEVELOPER WILL COMPLETE BOTH 1) THE EXTENSION OF VIRGINIA WATER DRIVE TO MAIN STREET AND 2) THE EXTENSION OF BURLINGTON MILLS ROAD (AS REALIGNED) FROM MAIN STREET TO VIRGINIA WATER DRIVE.

DEVELOPER WILL COMPLETE TRAFFIC IMPROVEMENTS AS SET FORTH IN OCTOBER 13, 2020 MEMO BY STANTEC.

FINAL ACREAGE OF SITES ARE SUBJECT TO CHANGE AT SITE PLAN AND CONSTRUCTION PLAN BASED ON FINAL SURVEYS AND SITE PLAN REVIEW

AS SHOWN ON THE CONCEPT PLAN, AREAS OF THE SITE EAST OF THE RIPARIAN STREAM AND ADJACENT TO WAKE COUNTY PINS 1758676836, 1758674619, 1758674416, 1758674204, 1758674100, AND 1758663984 SHALL NOT BE DEVELOPED WITH STRUCTURES OR IMPROVEMENTS.

SCALE 1 inch = 60 ft

Vicinity Map

1.62 AC 1.31 AC 1.31 AC GC-CZ 1758-46-7822 224130 **Lower Neuse**

VACANT / WOODED NON-RESIDENTIAL / FUEL SALES / RETAIL REVISIONS:

OSLANDJTHEAST

O X

COVER

딥

CONSULTING GROUP, PLLC

DLC/TN

22049

Drawn Bv: Checked By:

Drawing Number: D-1404-SDP

May 2023

0% EXIST., 6.72% PROPOSED 21'5" (1 STORY) 12 SPACES (INCL. 1 H/C) + 1 BICYCLE SPACE 34 SPACES (INCL. 2 H/C) + 4 BICYCLE SPACES

Please provide a

Please provide a

sheet compliant

51,557 SF (73.10%) D.B. 12634, PG. 2473 M.B. 1996, PG. 187 #### S. MAIN STREET

Julian COVER - OVERALL SITE PLAN **EROSION CONTROL PLAN - Ph. 1**

EROSION CONTROL PLAN - Ph. 2

EROSION CONTROL NOTES

EROSION CONTROL DETAILS SITE PLAN

UTILITY PLAN GRADING PLAN

REQUIRED VEGETATION PLAN DETAILS

with LDO DETAILS Section 6.6.F and 6.6.M DETAILS

SURVEY - JOHNSON, MIRMIRAN, & THOMPSON (1 SHEET) ARCHITECTURAL BUILDING ELEVATIONS - BUFSTUDIO (3

SITE LIGHTING PLAN - BUFSTUDIO (X SHEETS)

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT **APPROVED**

EROSION CONTROL

S-STORMWATER MGMT.

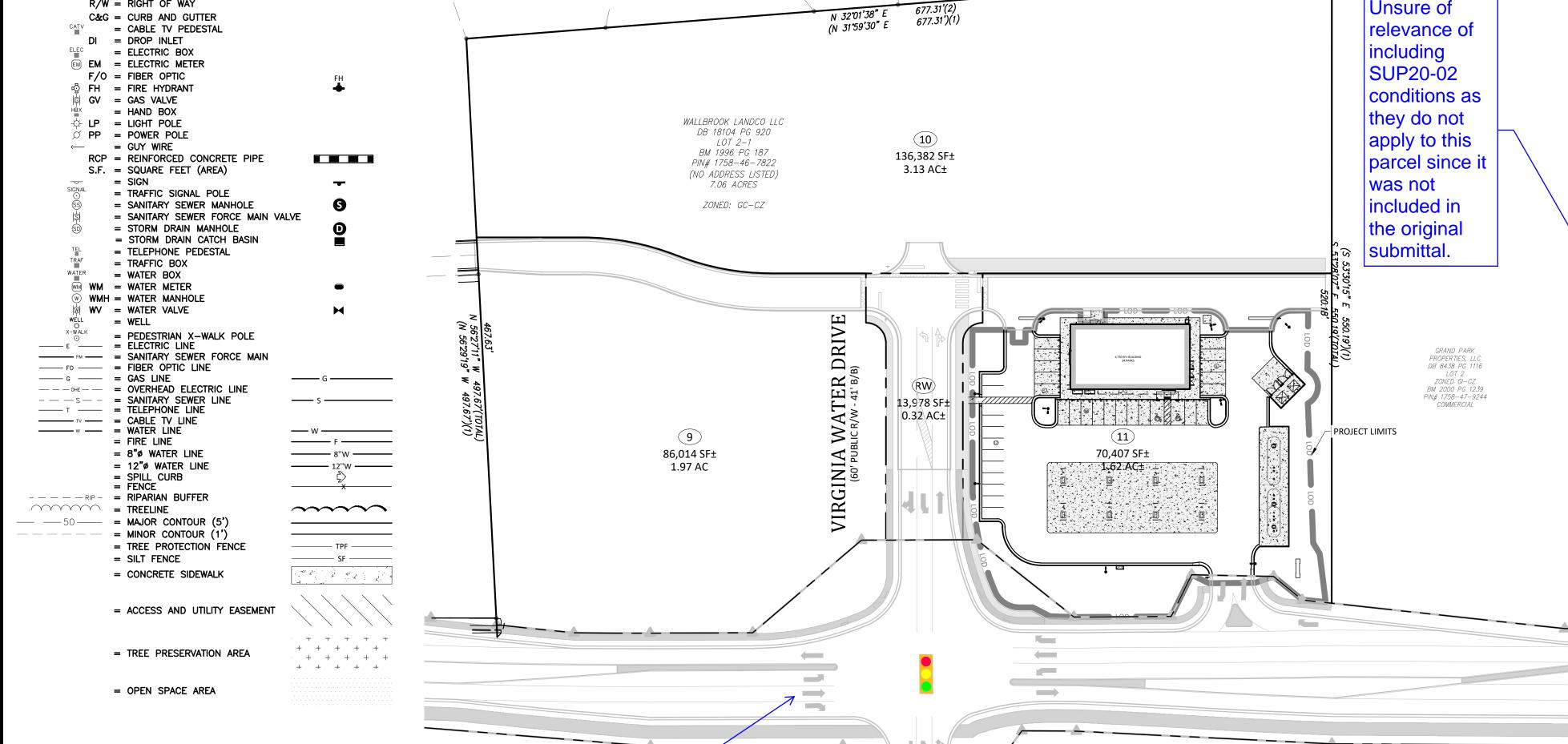
S-FLOOD STUDY S-

ENVIRONMENTAL CONSULTANT SIGNATURE



APPROVED FOR COMPLIANCE

These plans have been approved for compliance with the Town Code of Ordinance, LDO, and Standard Specifications and Construction Details, subject to statements & conditions \sim hereby incorporated by reference.



Engineer

(252) 558-0888

Ark Consulting Group, PLLC

2755 Charles Blvd - Suite B

Contact: Bryan Fagundus, PE

Legend

bryan@arkconsultinggroup.com

= FOUND MONUMENT AS NOTED

= DIMENSION POINT (NOTHING SET)

O = SET IRON PIN \triangle = NCGS MONUMENT

P = PROPERTY LINE

R/W = RIGHT OF WAY

Greenville, NC 27858

Developer

801 East Blvd.

(704) 561-5200

Wallbrook CStore, LLC

Charlotte, NC 28203

Contact: Nick Carroll

PROPOSED

Include street names

here, including ROW

width and Book and

Page number

ncarroll@csere.com

Owner

3 Keel St, Ste 2

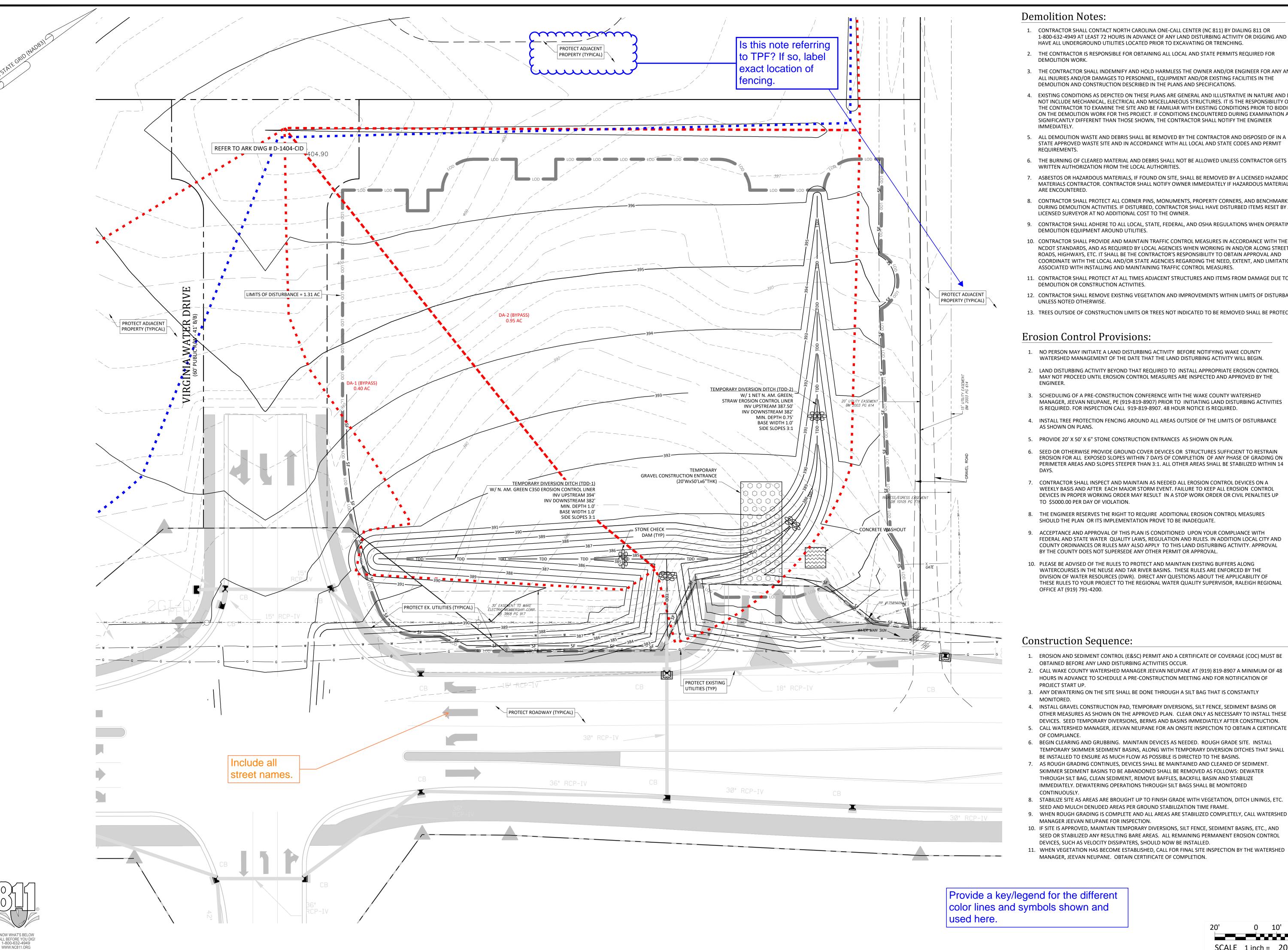
(704) 621-6430

Wallbrook Landco, LLC

Contact: Austin Williams

Wrightsville Beach, NC 28480

awilliams@csere.com



- 1. CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE-CALL CENTER (NC 811) BY DIALING 811 OR 1-800-632-4949 AT LEAST 72 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY OR DIGGING AND HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR
- 3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- 4. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER
- 5. ALL DEMOLITION WASTE AND DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT
- 6. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- 7. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS
- 8. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- 9. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
- 10. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE NCDOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH THE LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS
- 11. CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION OR CONSTRUCTION ACTIVITIES.
- 12. CONTRACTOR SHALL REMOVE EXISTING VEGETATION AND IMPROVEMENTS WITHIN LIMITS OF DISTURBANCE
- 13. TREES OUTSIDE OF CONSTRUCTION LIMITS OR TREES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED.

Erosion Control Provisions:

- 1. NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING WAKE COUNTY WATERSHED MANAGEMENT OF THE DATE THAT THE LAND DISTURBING ACTIVITY WILL BEGIN.
- 2. LAND DISTURBING ACTIVITY BEYOND THAT REQUIRED TO INSTALL APPROPRIATE EROSION CONTROL MAY NOT PROCEED UNTIL EROSION CONTROL MEASURES ARE INSPECTED AND APPROVED BY THE
- 3. SCHEDULING OF A PRE-CONSTRUCTION CONFERENCE WITH THE WAKE COUNTY WATERSHED MANAGER, JEEVAN NEUPANE, PE (919-819-8907) PRIOR TO INITIATING LAND DISTURBING ACTIVITIES IS REQUIRED. FOR INSPECTION CALL 919-819-8907. 48 HOUR NOTICE IS REQUIRED.
- 4. INSTALL TREE PROTECTION FENCING AROUND ALL AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE
- 5. PROVIDE 20' X 50' X 6" STONE CONSTRUCTION ENTRANCES AS SHOWN ON PLAN.
- 6. SEED OR OTHERWISE PROVIDE GROUND COVER DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION FOR ALL EXPOSED SLOPES WITHIN 7 DAYS OF COMPLETION OF ANY PHASE OF GRADING ON PERIMETER AREAS AND SLOPES STEEPER THAN 3:1. ALL OTHER AREAS SHALL BE STABILIZED WITHIN 14
- 7. CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT. FAILURE TO KEEP ALL EROSION CONTROL DEVICES IN PROPER WORKING ORDER MAY RESULT IN A STOP WORK ORDER OR CIVIL PENALTIES UP
- 8. THE ENGINEER RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES SHOULD THE PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.
- 9. ACCEPTANCE AND APPROVAL OF THIS PLAN IS CONDITIONED UPON YOUR COMPLIANCE WITH FEDERAL AND STATE WATER QUALITY LAWS, REGULATION AND RULES. IN ADDITION LOCAL CITY AND COUNTY ORDINANCES OR RULES MAY ALSO APPLY TO THIS LAND DISTURBING ACTIVITY. APPROVAL BY THE COUNTY DOES NOT SUPERSEDE ANY OTHER PERMIT OR APPROVAL.
- 10. PLEASE BE ADVISED OF THE RULES TO PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE AND TAR RIVER BASINS. THESE RULES ARE ENFORCED BY THE DIVISION OF WATER RESOURCES (DWR). DIRECT ANY QUESTIONS ABOUT THE APPLICABILITY OF THESE RULES TO YOUR PROJECT TO THE REGIONAL WATER QUALITY SUPERVISOR, RALEIGH REGIONAL
- 1. EROSION AND SEDIMENT CONTROL (E&SC) PERMIT AND A CERTIFICATE OF COVERAGE (COC) MUST BE
- 2. CALL WAKE COUNTY WATERSHED MANAGER JEEVAN NEUPANE AT (919) 819-8907 A MINIMUM OF 48 HOURS IN ADVANCE TO SCHEDULE A PRE-CONSTRUCTION MEETING AND FOR NOTIFICATION OF
- 3. ANY DEWATERING ON THE SITE SHALL BE DONE THROUGH A SILT BAG THAT IS CONSTANTLY
- 4. INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
- 6. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE. INSTALL
- TEMPORARY SKIMMER SEDIMENT BASINS, ALONG WITH TEMPORARY DIVERSION DITCHES THAT SHALL BE INSTALLED TO ENSURE AS MUCH FLOW AS POSSIBLE IS DIRECTED TO THE BASINS. 7. AS ROUGH GRADING CONTINUES, DEVICES SHALL BE MAINTAINED AND CLEANED OF SEDIMENT. SKIMMER SEDIMENT BASINS TO BE ABANDONED SHALL BE REMOVED AS FOLLOWS: DEWATER
- 8. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, DITCH LININGS, ETC.
- 9. WHEN ROUGH GRADING IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL WATERSHED
- 10. IF SITE IS APPROVED, MAINTAIN TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OR STABILIZED ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL
- 11. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR FINAL SITE INSPECTION BY THE WATERSHED

SCALE 1 inch = 20 ft

Drawing Number: D-1404-SDP

DLC/TN

May 2023

Project Manager:

Drawn Bv: Checked By Project Number:

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REVISIONS:

SLAND JTHEAST

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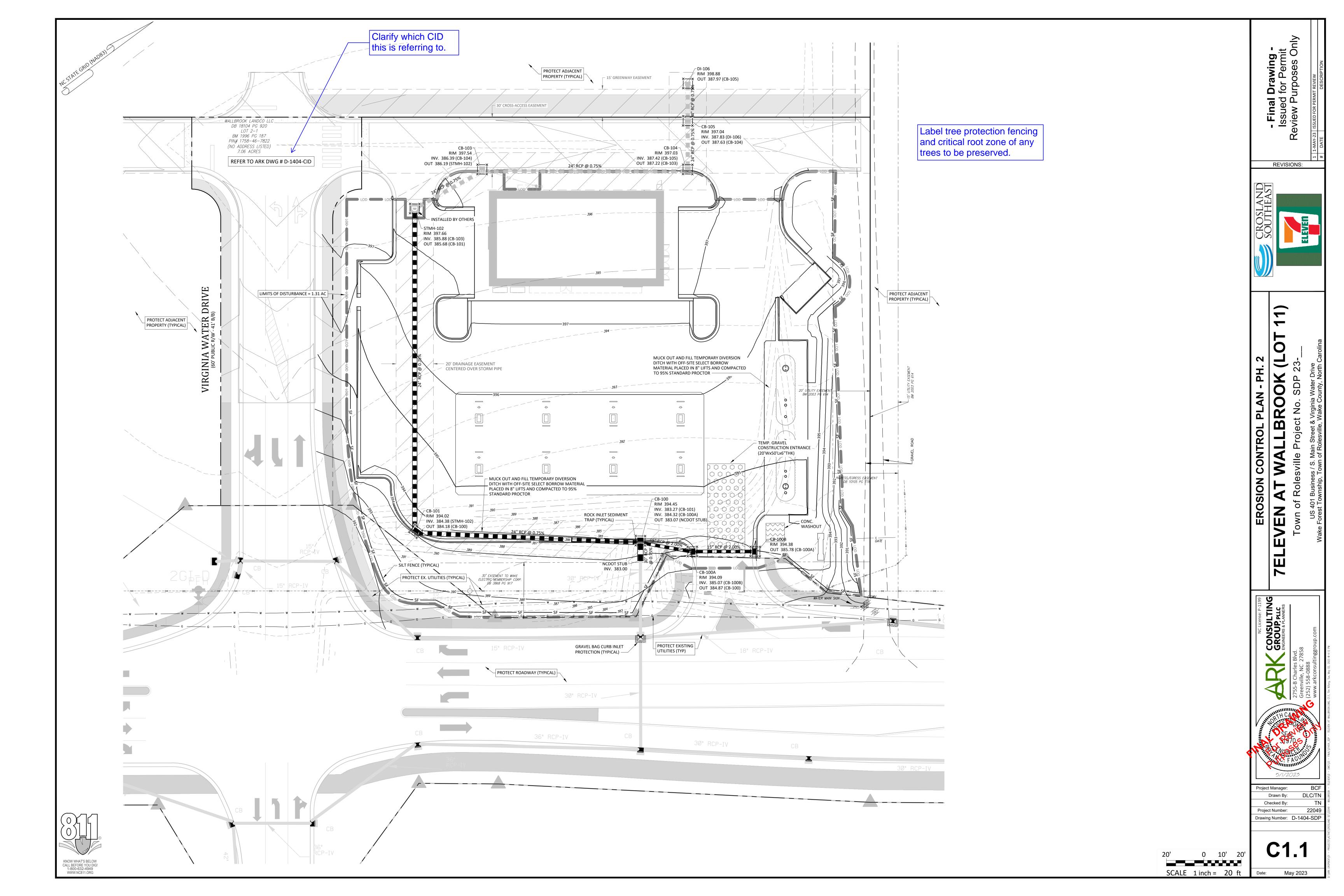
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CONSULTIN GROUP, PLLC ENGINEERS & PLANNERS

ONTROL

EROSION C



Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

Required Ground Stabilization Timeframes									
Si	te Area Description	Stabilize within this many calendar days after ceasing land disturbance							
(a)	Perimeter dikes, swales, ditches, and perimeter slopes	7	None						
(b)	High Quality Water (HQW) Zones	7	None						
(c)	Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed						
(d)	Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed						
(e)	Areas with slopes flatter than 4:1	14	 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope 						

ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

- [`	teening deep in the table below.								
	Temporary Stabilzation								
	Temporary grass seed covered with straw								
	or other mulches and tackifiers								
1	Hydroseeding								
1	Rolled erosion control products with or								

without temporary grass seed ullet Appropriately applied straw or other mulch ullet Shrubs or other permanent plantings covered

plastic sheeting

other mulches and tackifiers • Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding

> with mulch Uniform and evenleyh distributed ground cover sufficient to restrain erosion • Structural methods such as concrete, asphalt, or retaining walls Rolled erosion control products with grass seed

Permanent Stabilzation

Permanent grass seed covered with straw or

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures. Apply flocculants at the concentrations specified in the NC DWR List of Approved *PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- 2. Provide drip pans under any stored equipment. 3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the
- 4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers. Provide a sufficient number and size of waste containers (e.g dumpster, trash
- receptacle) on site to contain construction and domestic wastes. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds. Empty waste containers as needed to prevent overflow. Clean up immediately if
- containers overflow.
- 3. Dispose waste off-site at an approved disposal facility. 9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands. 2. Locate paint washouts at least 50 feet away from storm drain inlets and surface
- waters unless no other alternatives are reasonably available. 3. Contain liquid wastes in a controlled area.
- 4. Containment must be labeled, sized and placed appropriately for the needs of site. 5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot
- offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags. Provide staking or anchoring of portable toilets during periods of high winds or in high
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- 4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

3.CONCRETE WASHOUT STRUCTURE NEEDS T BE CLEARY MARKED WITH SIGNAGE NOTING BELOW GRADE WASHOUT STRUCTURE ABOVE GRADE WASHOUT STRUCTURE

CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- 2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- 4. Install temporary concrete washouts per local requirements, where applicable. If ar alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must
- be pumped out and removed from project. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive
- spills or overflow. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the
- approving authority Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- 10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- . Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

	Frequency	
Inspect	(during normal	Inspection records must include:
	business hours)	
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is avails record the cumulative rain measurement for those un-attended (and this will determine if a site inspection is needed). Days on who rainfall occurred shall be recorded as "zero." The permittee muse another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	Identification of the measures inspected, Date and time of the inspection, Name of the person performing the inspection, Indication of whether the measures were operating properly, Description of maintenance needs for the measure, Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activithen a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit of this permit.
(6) Ground stabilization measures	After each phase of grading	The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING 1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

. Additional Documentation In addition to the E&SC Plan documents above, the following items shall be kept on the

and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This general permit as well as the certificate of coverage, after it is received.
- (b) Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- c) All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

 Occurrences that must be reported Permittees shall report the following occurrences:

(a) Visible sediment deposition in a stream or wetland.

(b) Oil spills if:

- They are 25 gallons or more,
- They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or
- They are within 100 feet of surface waters (regardless of volume).
- (a) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (b) Anticipated bypasses and unanticipated bypasses.
- c) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	• A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	 Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment[40 CFR 122.41(I)(7)]	Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(I)(6). Division staff may waive the requirement for a written report on a case-by-case basis.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

Soil stockpiles shall be located on the approved plan and shall adhere to the

- a. A 25-foot temporary maintenance and access easement shall be shown around all proposed stockpiles (erosion control measures surrounding the stockpile shall be shown at the outer limit of this easement)
- b. Stockpile footprints shall be setback a minimum of 25' from adjacent c. A note shall be provided on the approved plan that stockpile height shall
- d. Stockpile slopes shall be 2:1 or flatter.
- e. Approved BMPs shall be shown on a plan to control any potential sediment loss from a stockpile
- Stockpiling materials adjacent to a ditch, drainageway, watercourse wetland, stream buffer, or other body of water shall be avoided unless an
- alternative location is demonstrated to be unavailable g. Any concentrated flow likely to affect the stockpile shall be diverted to an

h. Off-site spoil or borrow areas must be in compliance with Wake County

UDO and State Regulations. All spoil areas over an acre are required to Wake County of any offsite disposal of soil, prior to disposal. Fill of FEMA Floodways and Non-encroachment Areas are prohibited except as otherwise provided by subsection 14-19-2 of the Wake County Unified Development Ordinance (certifications and permits required).

Maintenance Requirements to be Noted on the Plan

- i. Seeding or covering stockpiles with tarps or mulch is required and will reduce erosion problems. Tarps should be keyed in at the top of the slope to keep water from running underneath the plastic. j. If a stockpile is to remain for future use after the project is complete
- of a new responsible party for that stockpile. k. The approved plan shall provide for the use of staged seeding and mulching on a continual basis while the stockpile is in use. 1. Establish and maintain a vegetative buffer at the toe of the slope (where

(builders, etc.), the financial responsible party must notify Wake County

Seeding Specifications

NPDES Stormwater Discharge Permit for Construction Activities (NCGO1 - 4/1/19)

SECTION E: GROUND STABILIZATION

		abilization Timeframes
Site Area Description	Stabilize within to many calendar days after ceasing land disturbance	Timeframe variations
(a): Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7.	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and a not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1.	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:0	14	 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW 2r -10 days for Falls Lake Watershed unit
Note: After the permanent ground stabilization shall b	e converted to per	there is zero slope truction activities, any areas with tempora manent ground stabilization as soon as
Note: After the permanent ground stabilization shall be reacticable but in no case In- cibility. Temporary ground unface stable against accel GROUND STABILIZATION S stabilize the ground suffici- echniques in the table beli-	e converted to per orger than 90 cale d stabilization shall lerated erosion un PECIFICATION ently so that rain wow:	there is zero slope: ruction activities, any areas with tempora mannent ground stabilization as soon as nodar days after the last land disturbing lab maintained in a manner to render the til permanent ground stabilization is achie will not dislodge the soil. Use one of the:
Note: After the permanent ground stabilization shall be recticable but in no case in ctivity. Temporary ground unface stable against accel SROUND STABILIZATION S stabilize the ground suffici	e converted to per origer than 90 cale distabilization shall lerated erosion un PECIFICATION entity so that rain wow:	there is zero slope: truction activities, any areas with tempore manent ground stabilization as soon as order days after the last land disturbing be, maintained, in a manner to render the til permanent ground stabilization is achie

- 1. Chisel compacted areas and spread topsoil three inches deep over adverse soil conditions, if available.
- 2. Rip the entire area to six inches deep.
- reasonably smooth and uniform.
- soil (see mixture below)
- prepared four to six inches deep. 6. Seed on a freshly prepared seedbed and cover seed lightly with seeding
- 8. Inspect all seeded areas and make necessary repairs or reseedings within the

Agricultural Limestone 2 tons/acre (3 tons/acre in clay soils) 1,000 lbs/acre - 10-10-10

Asphalt emulsion at 400 gals/acre

For Shoulders, Side Ditches, Slopes (Max 3:1) 300 lbs/acre all Fescue & Abruzzi Rye 300 lbs/acre

Aug 15 Millet or Sorghum-Sudan Ibs/acre (Browntop Millet); 30 lbs/acre

Date	Туре	Planting Rate
Mar 1– Jun 1	Sericea Lespedeza (scarified) and use the following combinations:	50 lbs/acre (Sericea Lespedez
Mar 1– Apr 15	Add Tall Fescue	120 lbs/acre
Mar 1– Jun 30	Or add Weeping Love grass	10 lbs/acre
Mar 1_	Or add Hulled Common	

Tall Fescue AND Browntop 120 lbs/acre (Tall Fescue): 35 lbs/acre Mullet or Sorghum-Sudan (Browntop Mullet); 30 lbs/acre (Sorghum-Sudan Hybrids) Sept 1- Sericea Lespedeza (unhulled 70 lbs/acre (Sericea Lespedeza); 120 unscarified) AND Tall lbs/acre (Tall Fescue)

Consult Wake County Soil & Water Conservation District or NC State Cooperative Extension for additional information concerning other alternatives for vegetation of denuded areas. The above vegetation rates are those that do well under local conditions; other seeding rate combinations

not allow temporary cover to grow more than 12" in height before mowing; otherwise, fescue

NCDEQ/Division of Energy, Mineral and Land Resources

3. Remove all loose rock, roots and other obstructions, leaving surface

4. Apply agricultural lime, fertilizer and superphosphate uniformly and mix with 5. Continue tillage until a well-pulverized, firm, reasonably uniform seedbed is

equipment or cultipack after seeding. 7. Mulch immediately after seeding and anchor mulch.

planting season, if possible. If stand should be more than 60% damaged, reestablish following the original lime, fertilizer and seeding rates.

9. Consult Wake County Soil & Water or NC State Cooperative Extension on maintenance treatment and fertilization after permanent cover is established.

> 500 lbs/acre - 20% analysis 2 tons/acre - small grain straw

300 lbs/acre Apr 15- Hulled Common 25 lbs/acre

> Tall Fescue AND Browntop 125 lbs/acre (Tall Fescue); 35 (Sorghum-Sudan Hybrids)

For Shoulders, Side Ditches, Slopes (3:1 to 2:1):

Date	Туре	Planting Rate
Mar 1– Jun 1	Sericea Lespedeza (scarified) and use the following combinations:	50 lbs/acre (Sericea Lesped
Mar 1– Apr 15	Add Tall Fescue	120 lbs/acre
Mar 1– Jun 30	Or add Weeping Love grass	10 lbs/acre
	Or add Hulled Common Bermudagrass	25 lbs/acre

*** TEMPORARY: Reseed according to optimum season for desired permanent vegetation. Do

Drawing Number: D-1404-SDP

May 2023

Project Manager: DLC/TN Drawn Bv: Checked By:

REVISIONS:

SLANE THEAST

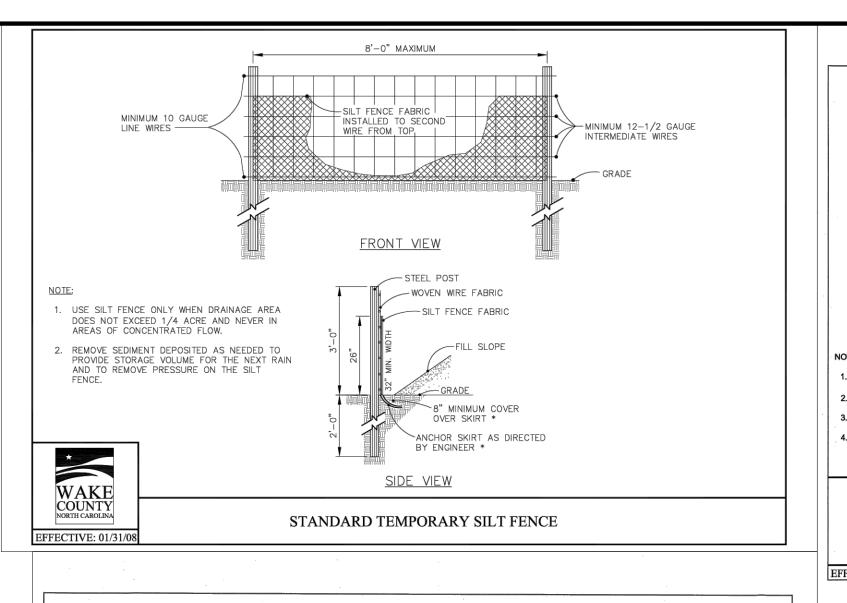
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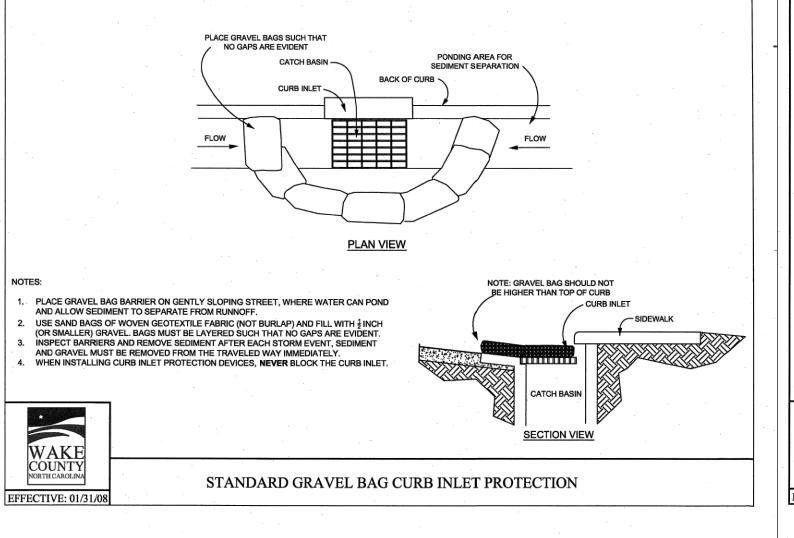
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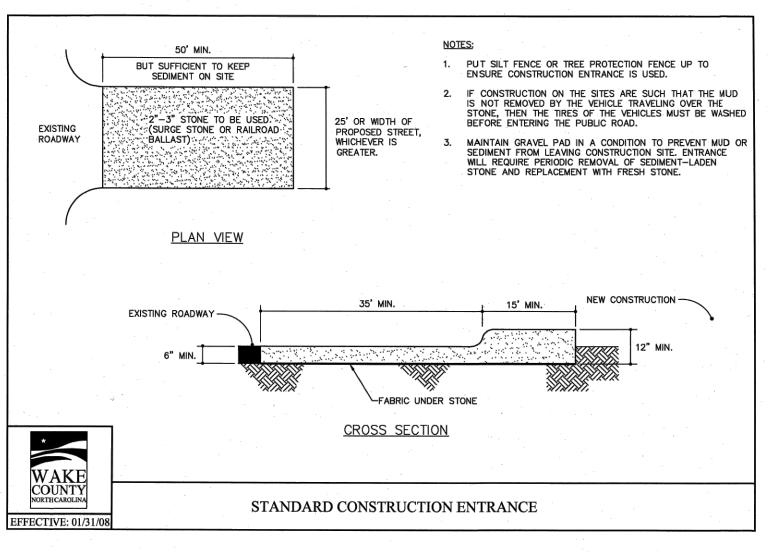
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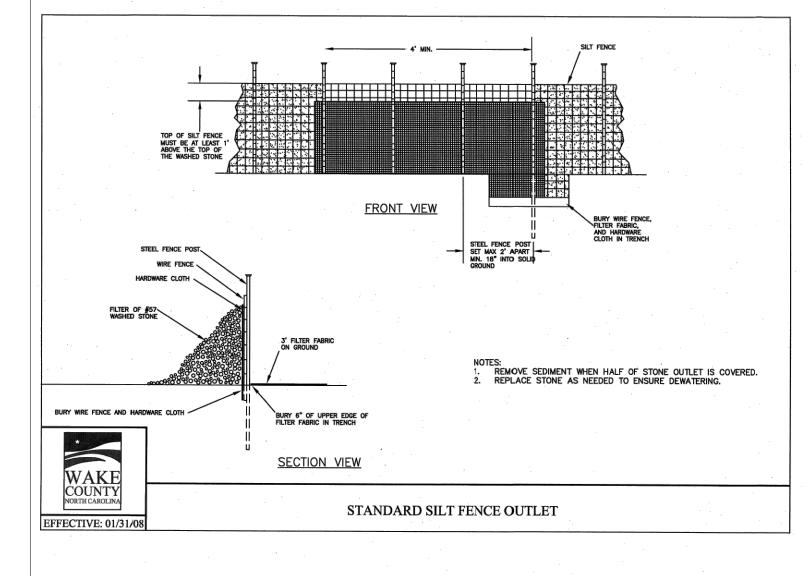
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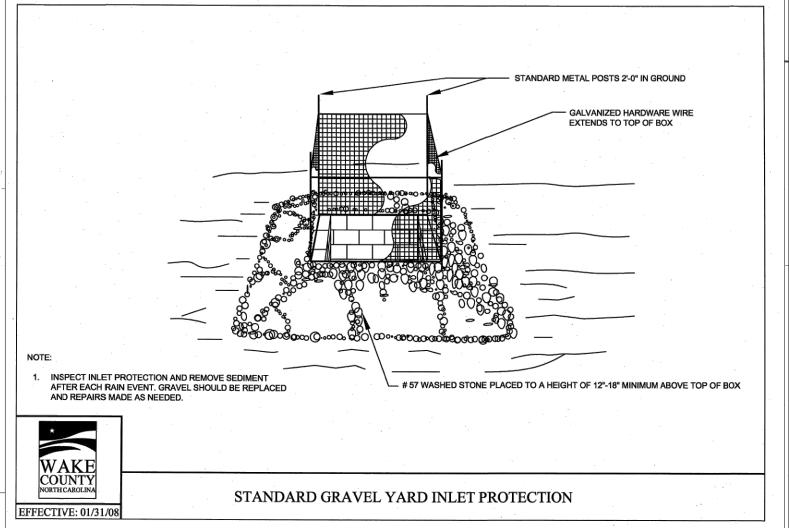
CONSULTING GROUP, PLLC

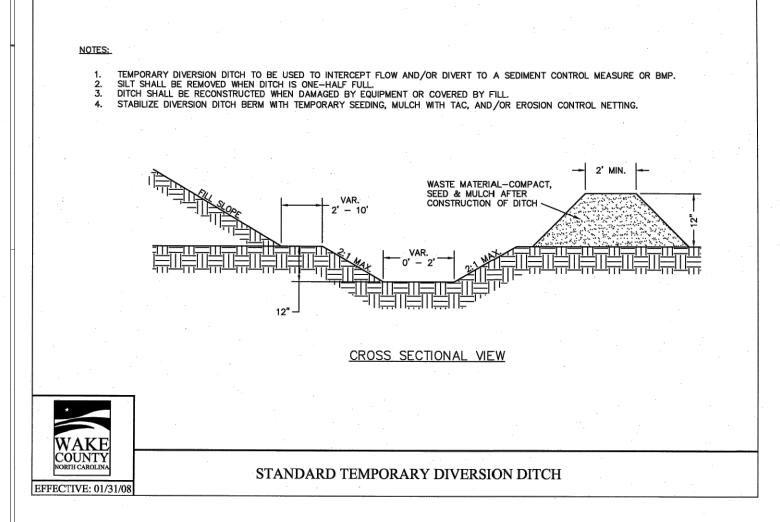


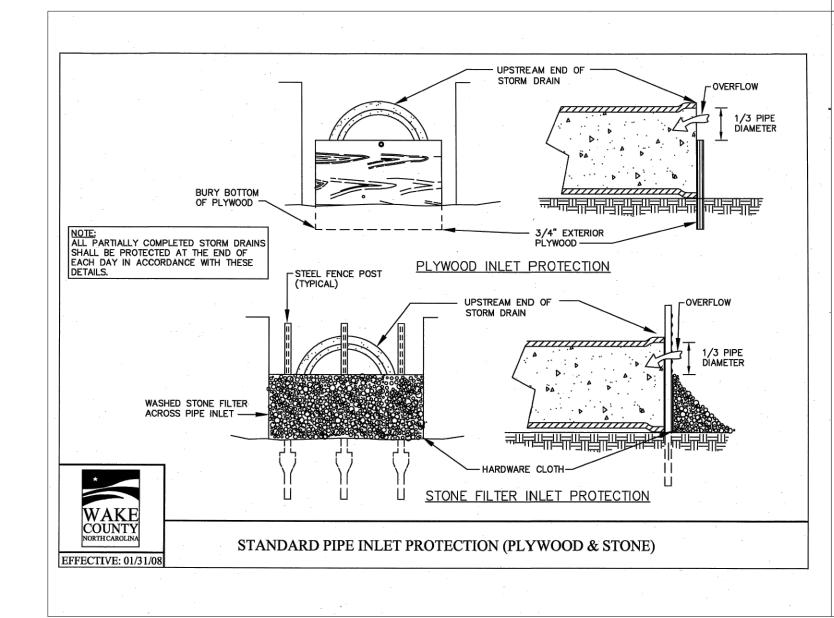


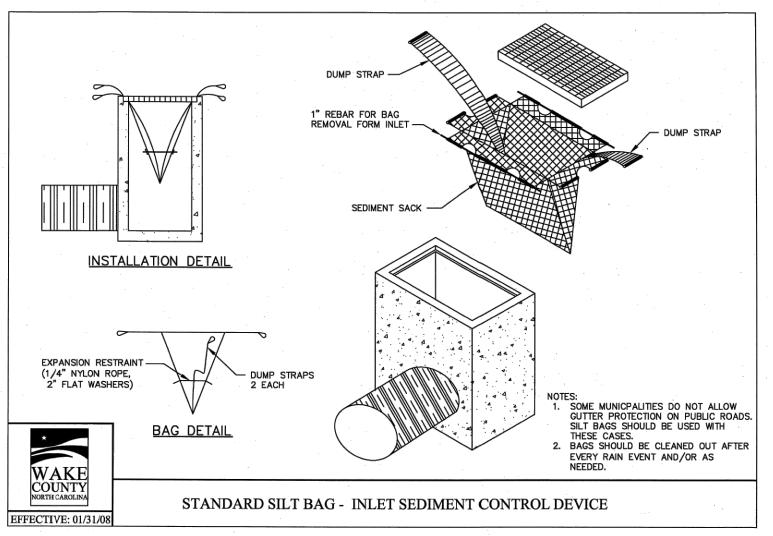


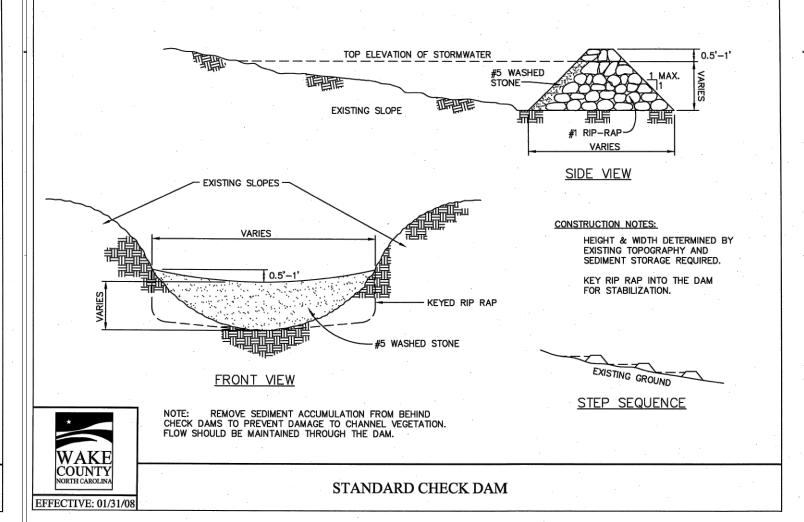












Vegetated Swa	le Design
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Project: Wallbrook
Location: Rolesville, Wake County, NC

											Base	Left	Right	Flow			Wetted	Wetted	Hydraulic						Allowable Shear
Device		Add'l Flow	Disturbed	Tc	Intensity		Qreq	Up	Down	Length		Slope	~			Slope		Perimeter	-	Velocity	Qa				Stress, $ au$
ID	Device Type	(cfs)	Area (AC)	(min)	(in/hr)*										Manning's n	(ft/ft)	(sf)	(ft)	(ft)	(ft/s)	(cfs)	Qa>Qreq?	$ au$ (lbs/ft 2)	Liner Type	(lbs/ft ²)
																									_
TDD-1	Temporary Diversion	0	0.95	5	7.18	0.5	3.41	394	382	270	1	3	3	0.91	0.020	0.04444	3.41	7.27	0.47	1.00	3.41	Yes	2.531233515	North Am. Green C350; Bare soil	3
TDD-2	Temporary Diversion	0	0.40	5	7.18	0.5	1.44	387.5	382	140	1	3	3	0.70	0.020	0.03929	2.17	7.16	0.30	0.66	1.44	Yes	1.71749551	N. Am. Green; Straw; 1 nets	1.55

*NOAA Atlas 14, NEUSE 2 NE Station, 10-yr 5-min duration intensity

ELEVEN AT WALLBROOK
Town of Rolesville Project No. SDP

Drawing
for Permit

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REVISIONS:

CROSLAND SOUTHEAST

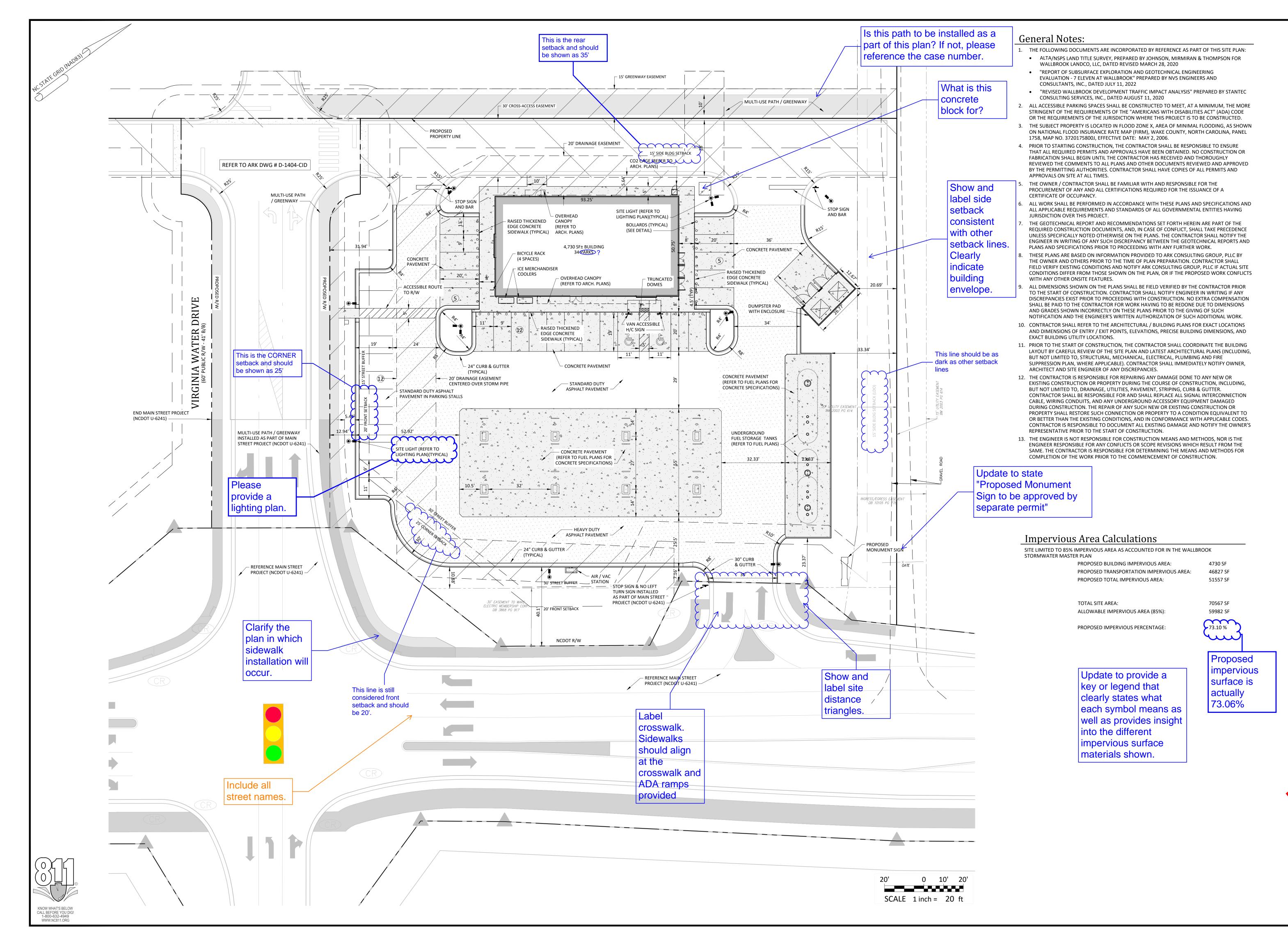
7ELEVEN AT Town of Roles Wake Forest Township,

NC License: P-1199
NC License: P-1199
NC License: P-1199
CONSULTING
GROUP, PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd.
Greenville, NC 27858
(252) 558-0888
www.arkconsultinggroup.com

Project Manager: BCF
Drawn By: DLC/TN
Checked By: TN
Project Number: 22049
Drawing Number: D-1404-SDP

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Date: May 2023



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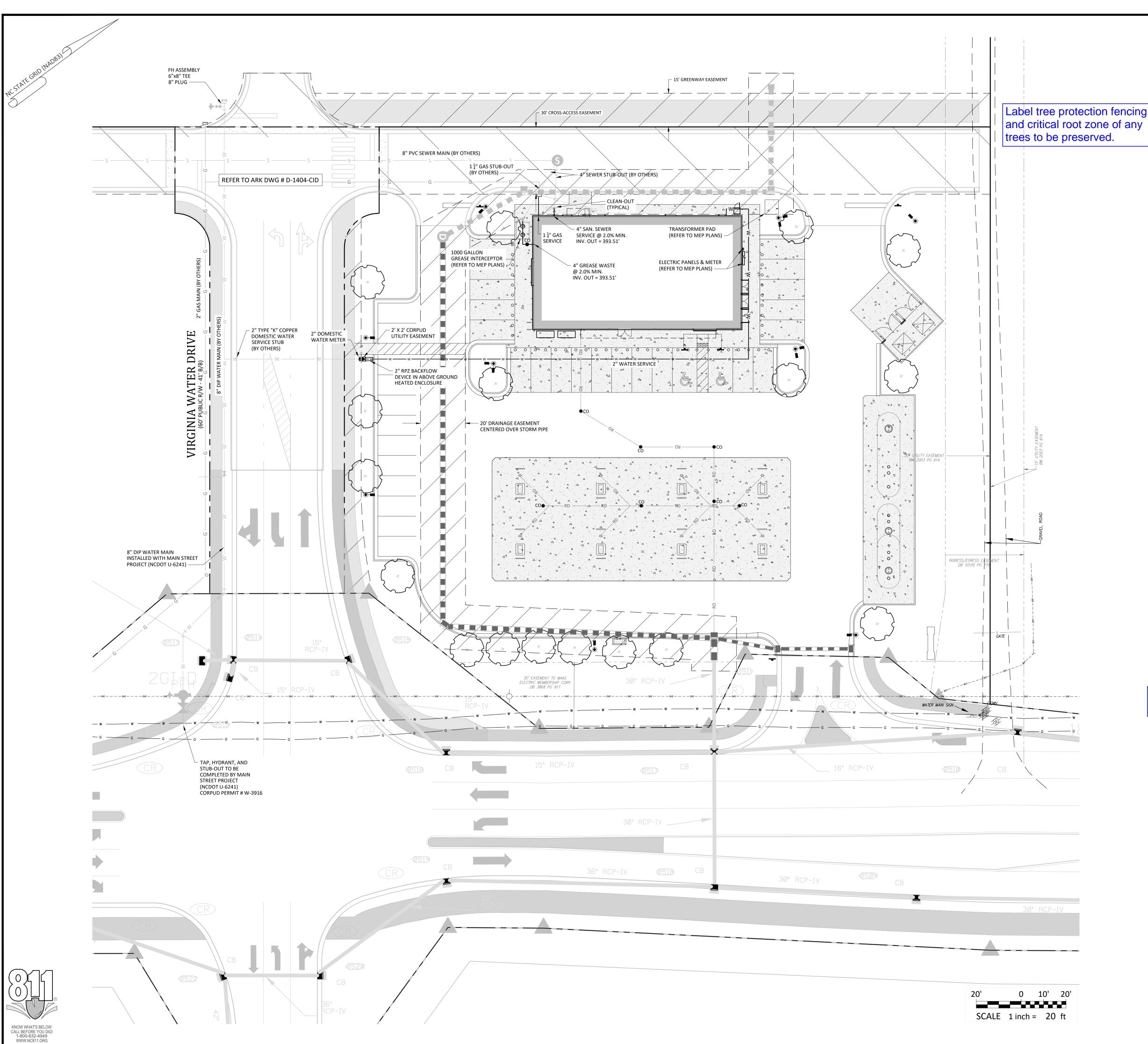
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GROUP, PLLC GROUP, PLLC ENGINEERS & PLANNERS

Project Manager: Drawn By: DLC/TN Checked By: 22049 Drawing Number: D-1404-SDP

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May 2023



CORPUD Standard Utility Notes:

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK)
- 2. UTILITY SEPARATION REQUIREMENTS:
- a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATER SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
- WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CONNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
- c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
- d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
- f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY CORPUD PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO
- 5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- 6. IT IS THE DEVELOPERS RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY CORPUD. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVIC FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- 7. INSTALL PVC WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- 8. INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- 9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS PRIOR TO CONSTRUCTION.
- 11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD
- 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- 13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NC. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

Provide a legend or key of what symbols mean

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

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May 2023

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REVISIONS:



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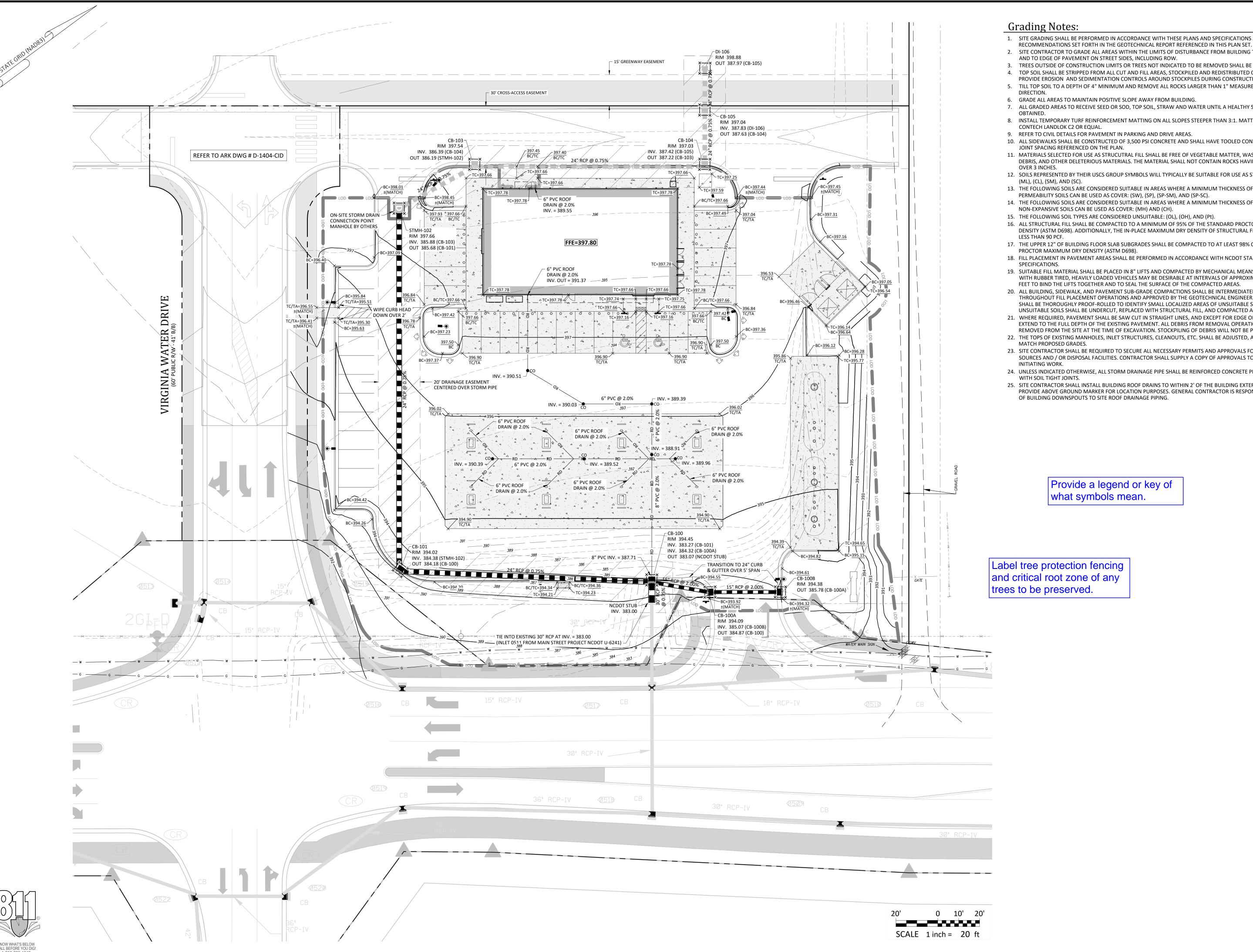
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CONSULTING GROUP, PLLC

Project Manager: Drawn By: DLC/TN Checked By: 22049 Project Number:

Drawing Number: D-1404-SDP



Grading Notes:

- 1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE
- 2. SITE CONTRACTOR TO GRADE ALL AREAS WITHIN THE LIMITS OF DISTURBANCE FROM BUILDING TO PROPERTY LINES AND TO EDGE OF PAVEMENT ON STREET SIDES, INCLUDING ROW.
- TREES OUTSIDE OF CONSTRUCTION LIMITS OR TREES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED. 4. TOP SOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS.
- PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION. 5. TILL TOP SOIL TO A DEPTH OF 4" MINIMUM AND REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST
- 6. GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
- 7. ALL GRADED AREAS TO RECEIVE SEED OR SOD, TOP SOIL, STRAW AND WATER UNTIL A HEALTHY STAND OF GRASS IS
- 8. INSTALL TEMPORARY TURF REINFORCEMENT MATTING ON ALL SLOPES STEEPER THAN 3:1. MATTING SHALL BE
- 9. REFER TO CIVIL DETAILS FOR PAVEMENT IN PARKING AND DRIVE AREAS.
- 10. ALL SIDEWALKS SHALL BE CONSTRUCTED OF 3,500 PSI CONCRETE AND SHALL HAVE TOOLED CONTROL JOINTS PER THE JOINT SPACING REFERENCED ON THE PLAN.
- 11. MATERIALS SELECTED FOR USE AS STRUCUTRAL FILL SHALL BE FREE OF VEGETABLE MATTER, WASTE CONSTRUCTION DEBRIS, AND OTHER DELETERIOUS MATERIALS. THE MATERIAL SHALL NOT CONTAIN ROCKS HAVING A DIAMETER
- 12. SOILS REPRESENTED BY THEIR USCS GROUP SYMBOLS WILL TYPICALLY BE SUITABLE FOR USE AS STRUCTURAL FILL:
- 13. THE FOLLOWING SOILS ARE CONSIDERED SUITABLE IN AREAS WHERE A MINIMUM THICKNESS OF 3' OF LOW PERMEABILITY SOILS CAN BE USED AS COVER: (SW), (SP), (SP-SM), AND (SP-SC).
- 14. THE FOLLOWING SOILS ARE CONSIDERED SUITABLE IN AREAS WHERE A MINIMUM THICKNESS OF 3' OF NON-EXPANSIVE SOILS CAN BE USED AS COVER: (MH) AND (CH).
- 15. THE FOLLOWING SOIL TYPES ARE CONSIDERED UNSUITABLE: (OL), (OH), AND (Pt).
- 16. ALL STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698). ADDITIONALLY, THE IN-PLACE MAXIMUM DRY DENSITY OF STRUCTURAL FILL SHOULD BE NO LESS THAN 90 PCF.
- 17. THE UPPER 12" OF BUILDING FLOOR SLAB SUBGRADES SHALL BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698).
- 18. FILL PLACEMENT IN PAVEMENT AREAS SHALL BE PERFORMED IN ACCORDANCE WITH NCDOT STANDARD
- 19. SUITABLE FILL MATERIAL SHALL BE PLACED IN 8" LIFTS AND COMPACTED BY MECHANICAL MEANS. PROOFROLLING WITH RUBBER TIRED, HEAVILY LOADED VEHICLES MAY BE DESIRABLE AT INTERVALS OF APPROXIMATELY 2 VERTICAL FEET TO BIND THE LIFTS TOGETHER AND TO SEAL THE SURFACE OF THE COMPACTED AREAS.
- 20. ALL BUILDING, SIDEWALK, AND PAVEMENT SUB-GRADE COMPACTIONS SHALL BE INTERMEDIATELY TESTED THROUGHOUT FILL PLACEMENT OPERATIONS AND APPROVED BY THE GEOTECHNICAL ENGINEER. ALL SUB-GRADES SHALL BE THOROUGHLY PROOF-ROLLED TO IDENTIFY SMALL LOCALIZED AREAS OF UNSUITABLE SOILS. ALL UNSUITABLE SOILS SHALL BE UNDERCUT, REPLACED WITH STRUCTURAL FILL, AND COMPACTED AS DESCRIBED ABOVE.
- EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- 22. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED, AS REQUIRED, TO
- 23. SITE CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR OFF SITE MATERIAL SOURCES AND / OR DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO OWNER PRIOR TO INITIATING WORK.
- 24. UNLESS INDICATED OTHERWISE, ALL STORM DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SOIL TIGHT JOINTS.
- 25. SITE CONTRACTOR SHALL INSTALL BUILDING ROOF DRAINS TO WITHIN 2' OF THE BUILDING EXTERIOR WALL, CAP AND PROVIDE ABOVE GROUND MARKER FOR LOCATION PURPOSES. GENERAL CONTRACTOR IS RESPONSIBLE FOR TIE-INS OF BUILDING DOWNSPOUTS TO SITE ROOF DRAINAGE PIPING.

what symbols mean.

Label tree protection fencing and critical root zone of any trees to be preserved.

REVISIONS:



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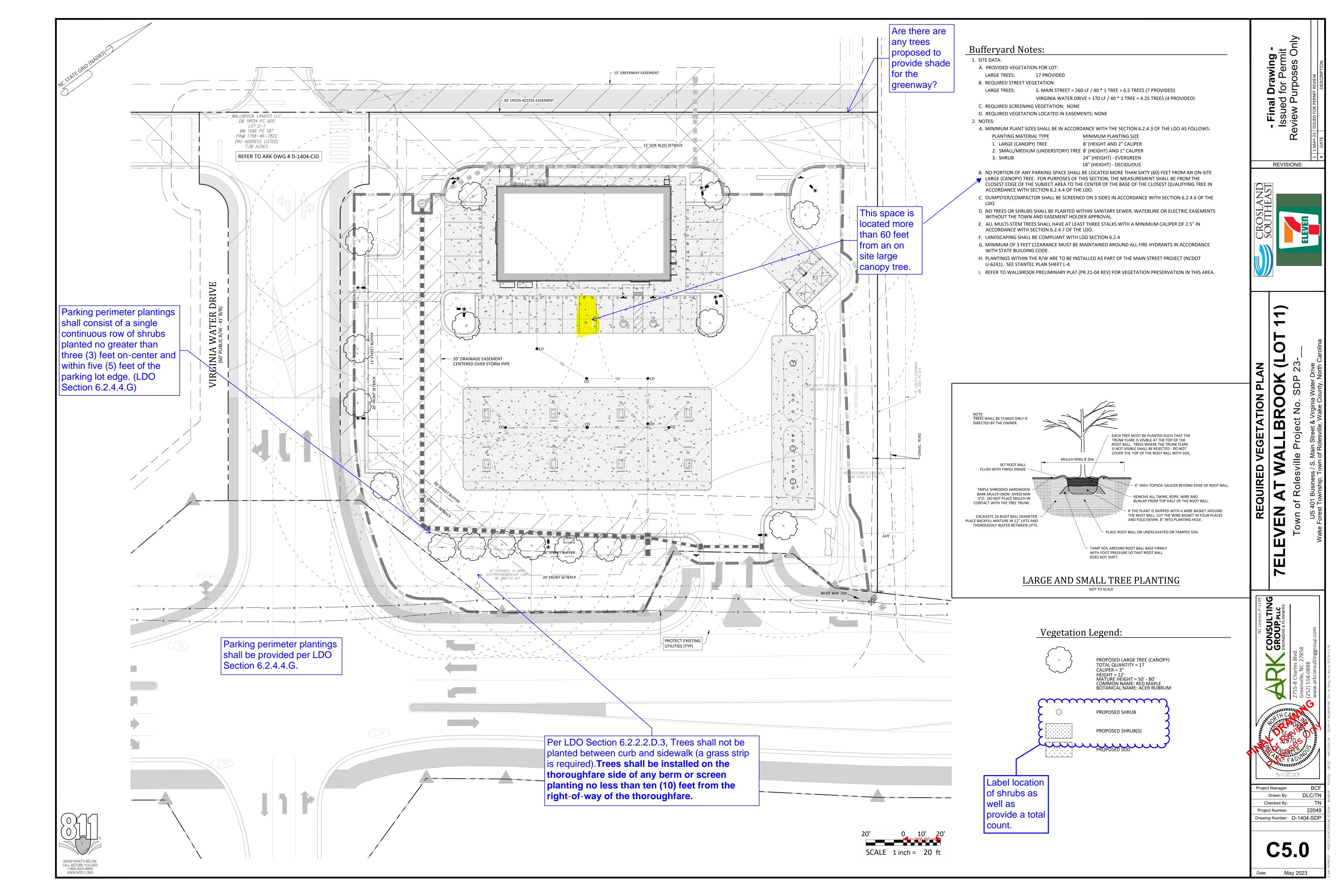
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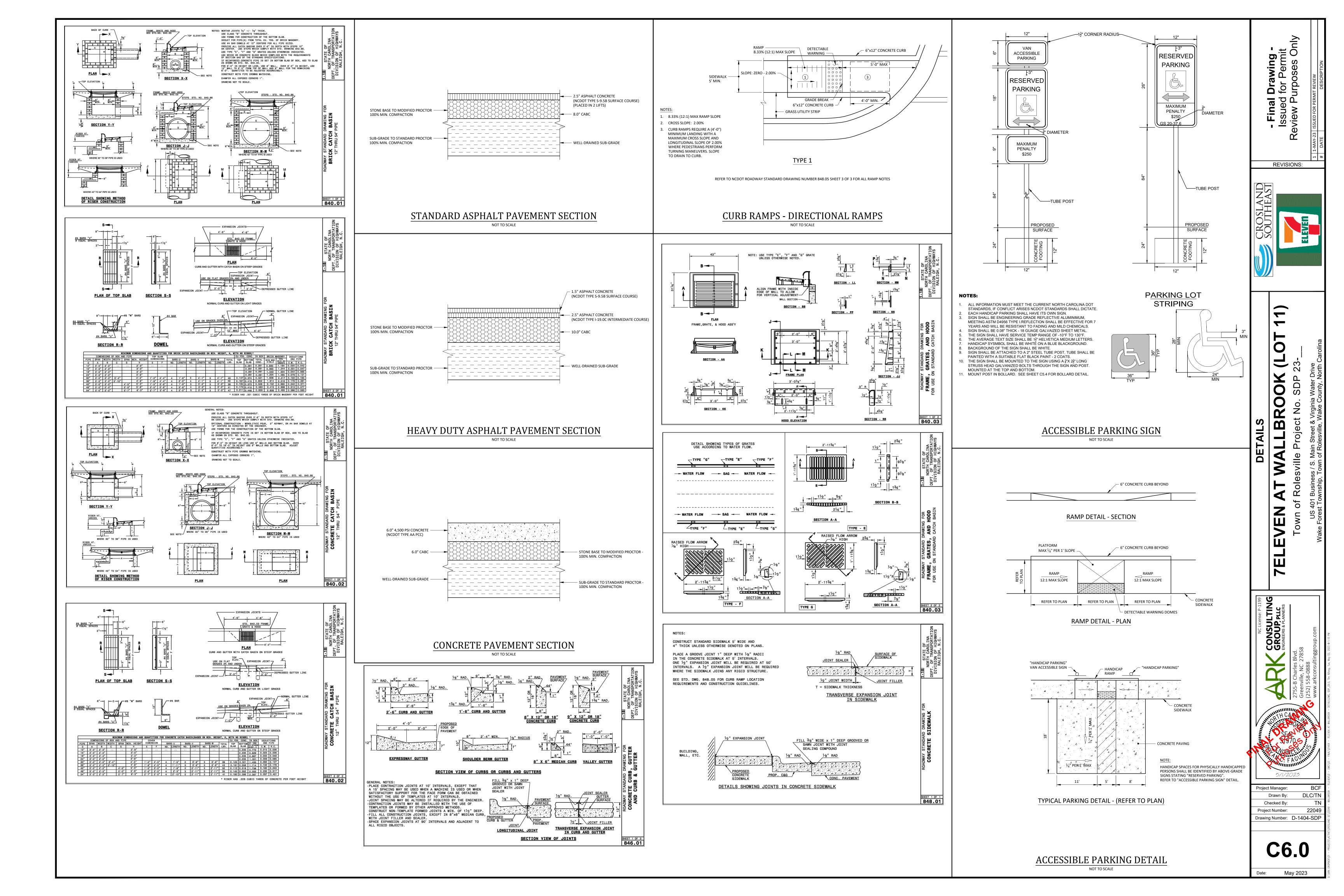
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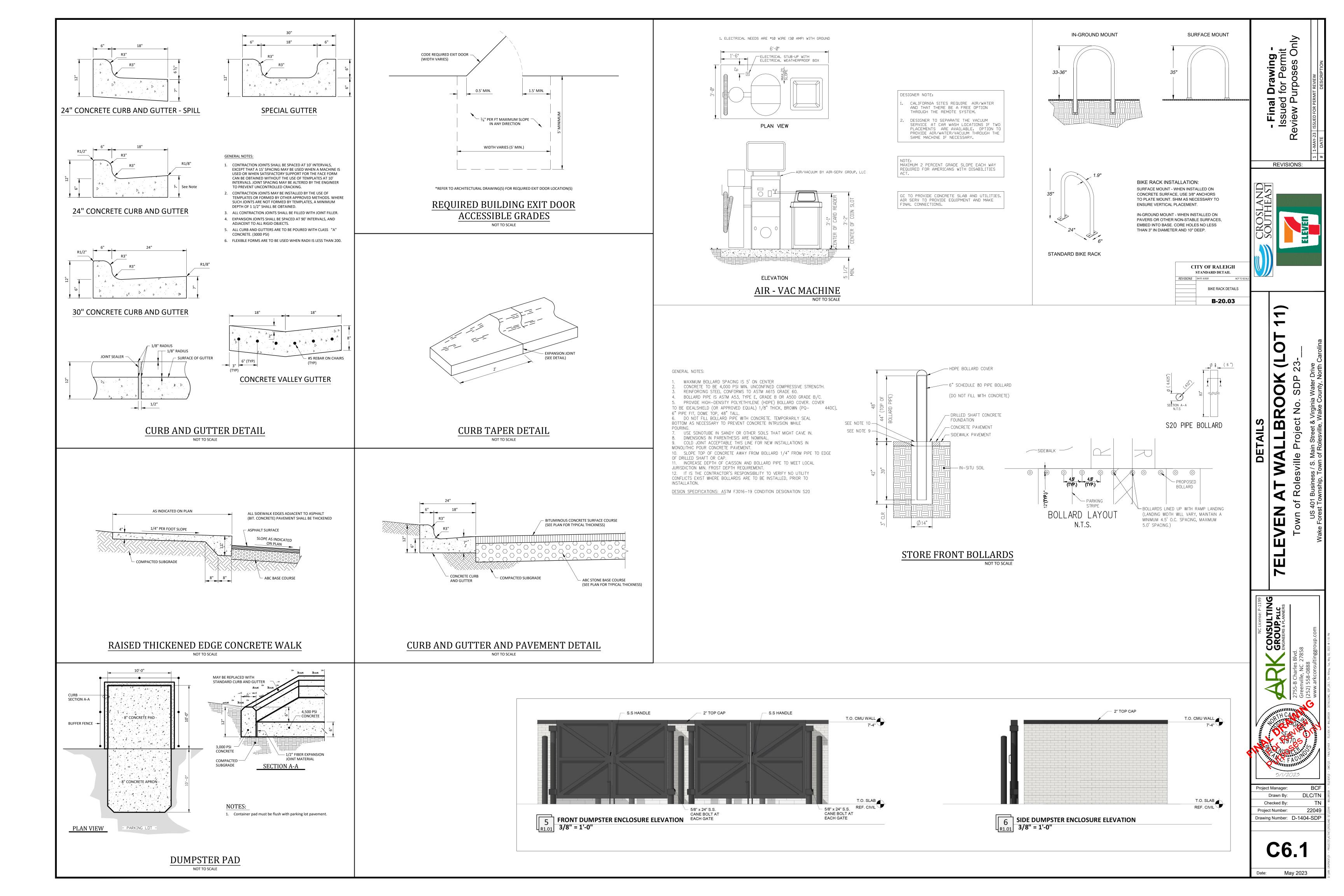
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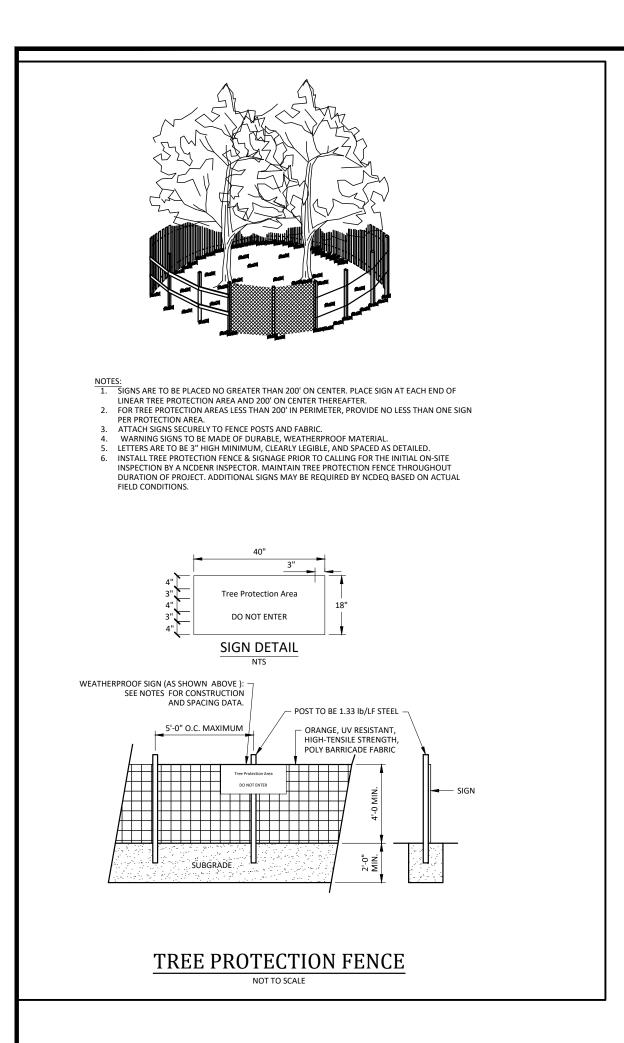
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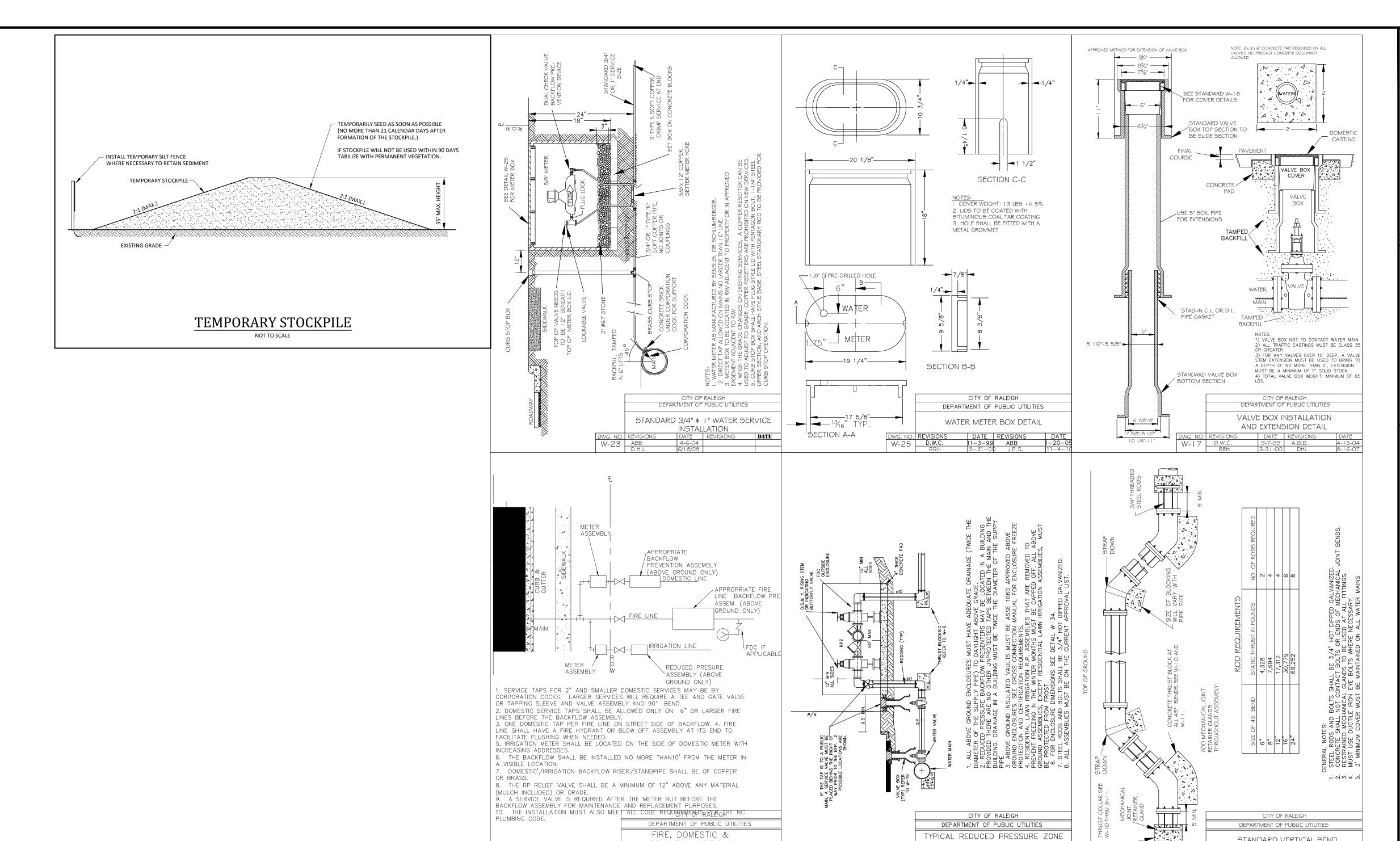
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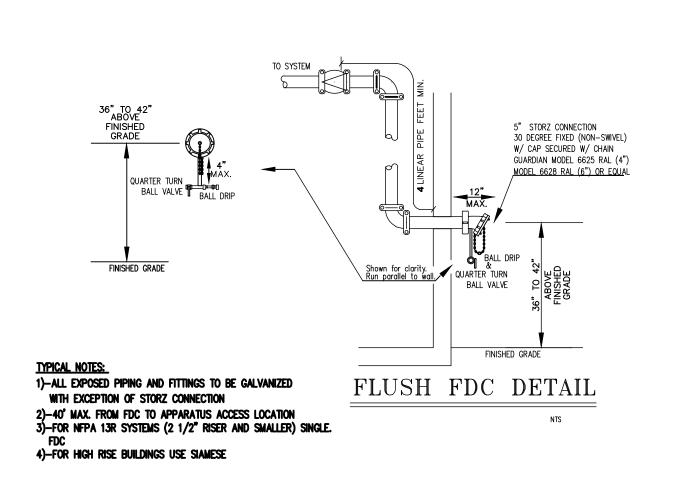




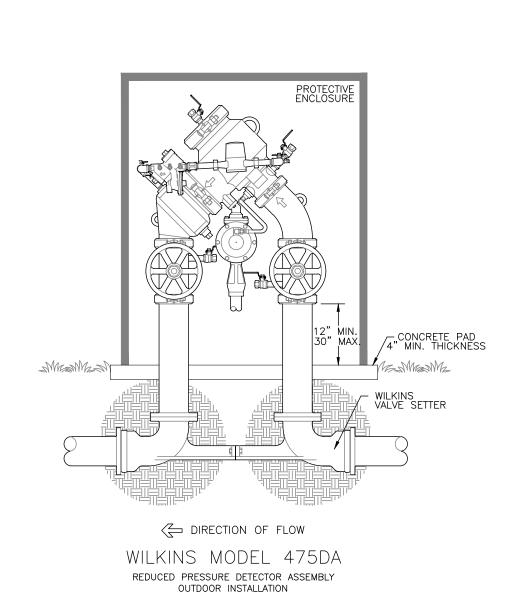








IRRIGATION OPTIONS



BACKFLOW PREVENTER ASSEMBLY

STANDARD VERTICAL BEND

REDUCED PRESSURE DETECTOR ASSEMBLY NOT TO SCALE



C6.2

May 2023

Drawinς for Pern

- Final I Issued view Pu

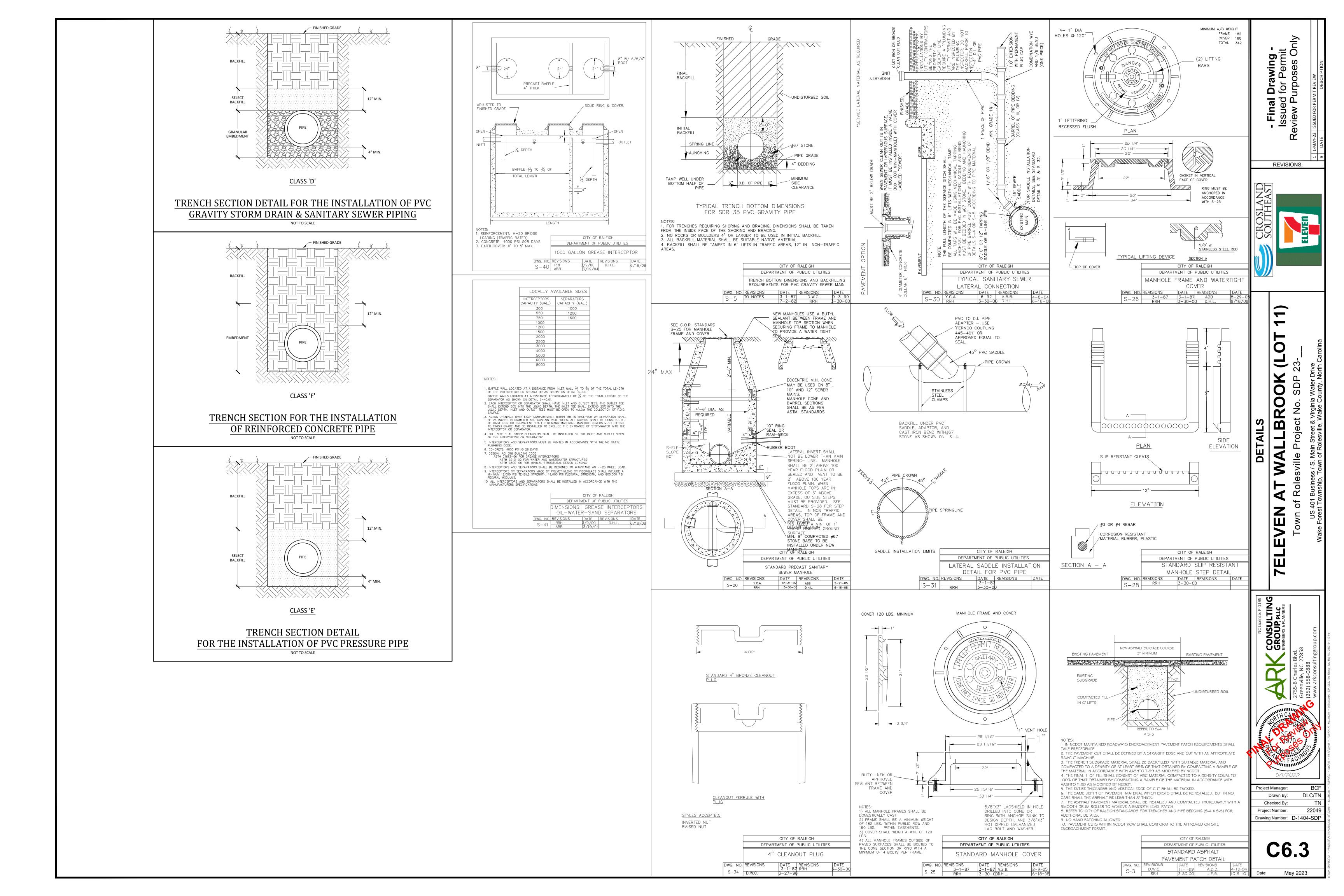
REVISIONS:

DP

LBRO

DETAILS

CROSLAND SOUTHEAST



CITY OF RALEIGH DB 10133 PG 750 **GENERAL NOTES:** BM 2003 PG 614 PIN# 1758-47-5494 1. THIS ALTA/NSPS LAND TITLE SURVEY WAS PREPARED FOR THE BENEFIT OF WALLBROOK LANDCO, LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE BURLINGTON INSURANCE COMPANY. 2. THE PROPERTY AS SHOWN HEREON IS BASED ON A FIELD-RUN BOUNDARY SURVEY WITH A RAW CLOSURE OF 1:35,900. 3. THE IMPROVEMENTS SHOWN HEREON ARE BASED ON A FIELD-RUN PLANIMETRIC SURVEY PERFORMED BY JOHNSON, MIRMIRAN & THOMPSON FROM MARCH 16 THROUGH MARCH 19, 2020 AND ERIC G. CRAWFORD & REFLECTS SITE CONDITIONS AS OF THAT DATE. ANNE M. CRAWFORD LONNIE DR 15' UTILITY EASEMENT DB 15427 PG 1754 4. ELEVATIONS ARE BASED ON NAVD88 DATUM. BM 2003 PG 614 LOT 161 BM 2006 PG 811 5. THE SURVEY IS REFERENCED TO THE NORTH CAROLINA STATE PIN# 1758-47-5117 PLANE COORDINATE SYSTEM (NCSPCS), NORTH AMERICAN DATUM, GRAND PARK PROPERTIES, LLC GRAPHIC SCALE 1983, 2001 ADJUSTMENT, NAD83(2001). DB 8438 PG 1116 6' WOOD -1"=50" LOT 2 FENCE 20' UTILITY EASEMENT BM 2000 PG 1239 6. THE USE OF THE WORD CERTIFY OR CERTIFICATION CONSTITUTES AN BM 2003 PG 614 PIN# 1758-47-9244 EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS FENCE CORNER OR FINDINGS WHICH ARE THE SUBJECT OF THE UNDERSIGNED ON PROP. LINE PROFESSIONAL'S KNOWLEDGE, INFORMATION AND BELIEF, AND IN SHAWN K. KLINE & ACCORDANCE WITH THE COMMONLY ACCEPTED PROCEDURE MICHELLE STEWART CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE AND DB 16766 PG 1232 DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EITHER LOT 162 EXPRESSED OR IMPLIED. BM 2006 PG 811 - FÉNÇÉ CÓRNER PIN# 1758-47-4075 /2.31/ SOUTHEAST 7. THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X. AREA OF OF PROP. LINE MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, - GRAVEL ROAD MAP NO. 3720175800J, EFFECTIVE DATE: MAY 2, 2006. AMBOKA BUMBA & TREE LINE -ANNIE MANTINGU BUMBA 8. AT THE TIME OF THE SURVEY, THERE WERE NO PARKING SPACES. DB 12725 PG 1212 LOT 163 INGRESS/EGRESS EASEMENT -BM 2006 PG 811 9. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE DB 10105 PG 778-EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, PIN# 1758-46-3999 FÉNCE ON WATER MAIN_SIGN = PROP. LINE SUMP OR LANDFILL. (1) = RECORD DATA PER BM 1996 PG 187 (2) = RECORD DATA PER BM 2006 PG 811 10. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE = FOUND IRON PIPE EVIDENCE OF A CEMETERY. O = SET IRON PIN \triangle = NGS MONUMENT 11. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE PL = PROPERTY LINE EVIDENCE OF BUILDING CONSTRUCTION OR BUILDING ADDITIONS. R/W = RIGHT OF WAYGLENN E. CRUICKSHANK & KRISTEN L. CRUICKSHANK 12. CURRENT ZONING: I-SUD (INDUSTRIAL SPECIAL USE DISTRICT) CB = CATCH BASINDB 12952 PG 1672 C&G = CURB AND GUTTERLOT 165 **SETBACK REQUIREMENTS:** = CENTERLINE BM 2006 PG 811 = DROP INLET PIN# 1758-46-3846 FRONT: 30' GARY R. PARIS, TRUSTEE & ANNE T. PARIS, TRUSTEE SIDE: 15' CORNER: 25' DB 12634 PG 2473/ Ø PP = POWER POLE LOT 2-1 REAR: 35' RCP = REINFORCED CONCRETE PIPE BM 1996 PG 187 = SIGN PIN# 1758-46-7822 TIMOTHY KING = SANITARY SEWER MANHOLE (ZONING INFORMATION BASED ON INFORMATION AS SUPPLIED BY (NO ADDRESS LISTED) DB 16677 PG 2059 = TELEPHONE PEDESTAL CURRENT COUNTY ZONING DEPARTMENT, NO ZONING REPORT OR LOT 166 WM WM = WATER METER LETTER WAS PROVIDED TO SURVEYOR AT TIME OF SURVEY. 7.968 ACRES (GROSS) BM 2006 PG 811 W WV = WATER VALVE 7,521 ACRES (NET) PIN# 1758-46-2777 - = ELECTRIC LINE --- = GAS LINE - OVERHEAD ELECTRIC LINE ----- = SANITARY SEWER LINE - TELEPHONE LINE ---- = WATER LINE RECORD LEGAL DESCRIPTION PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 202000244CA2, WITH AN EFFECTIVE DATE OF MARCH 6, 2020 AT 5:00 IN THE STATE OF NC, COUNTY OF WAKE, 6' CHAIN 1 SURVEYOR'S CERTIFICATION: BEING ALL OF LOT 2-1 OF THAT PLAT ENTITLED "PRELIMINARY LINK FENCE 30' EASEMENT TO WAKE - ELECTRIC MEMBERSHIP CORP. SUBDIVISION PLAT AND RECOMBINATION SURVEY FOR TOMMY TWITTY," A COPY OF WHICH IS RECORDED IN BOOK OF MAPS 1996, PAGE 187. TO WALLBROOK LANDCO, LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR DB 3868 PG 917 --WAKE COUNTY REGISTRY. INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY: **ASPHALT** THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND CHARTER DEVELOPMENT ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 7A, 7B1, 8, 9, 11, 13, 16 AND 17 OF TABLE "A" THEREOF. THE FIELDWORK WAS COMPLETED COMPANY, LLC DB 16960 PG 2285 ON MARCH 19, 2020. LOT 2 SCHEDULE B. PART II EXCEPTIONS: BM 2017 PG 2265-2267 PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. PIN# 1758-36-9359 202000244CA2, WITH AN EFFECTIVE DATE OF MARCH 6, 2020 AT 5:00 3/28/2020 WILLIAM T. ROBBINS, II 1. (ITEM 3) EASEMENT(S) AND/OR RIGHT(S) OF WAY TO CITY OF P.L.S. #L-4192 RALEIGH RECORDED IN BOOK 10105 AT PAGE 778. [PLOTTED NGS MONUMENT "SCARBORO" TRI-ARC FOOD SYSTEMS, INC. \triangle N = 785,290.77 2. (ITEM 4) EASEMENT(S) AND/OR RIGHT(S) OF WAY TO WAKE DB 13702 PG 1125 E = 2,153,833.19ELECTRIC MEMBERSHIP CORPORATION RECORDED IN BOOK 3868 AT C.F. = 0.99992552PAGE 917. [PLOTTED HEREON] BM 2009 PG 1043 PIN# 1758-46-5402 3. (ITEM 5) TITLE TO THAT PORTION OF THE LAND WITHIN THE RIGHT-OF-WAY OF U.S. HIGHWAY 401 (LOUISBURG ROAD). [PLOTTED PHONE: (804)-323-9900 FAX: (804)-323-0596 EMAIL: jmtva@jmt-engineering.com 4. (ITEM 6) MATTERS SHOWN ON RECORDED BOOK OF MAPS 1996 AT REVISION # PAGE 187 SHOWS THE FOLLOWING LOCATED ON THE LAND: (a) OVERHEAD LINE [PLOTTED HEREON] (b) POWER POLE [PLOTTED HEREON] ALTA/NSPS LAND TITLE SURVEY

HAMPTON POINTE ASSOCIATES, LLC

DB 10051 PG 530 LOT 3 BM 2017 PG 2265-2267 PIN# 1758-46-1097

(c) RIGHT OF WAY FOR U.S. HIGHWAY 401 (LOUISBURG ROAD)

[PLOTTED HEREON]

→ BENDEMEER

VICINITY MAP

SCALE: 1"=2000"

Engineering A Brighter Future®

PREPARED FOR

WALLBROOK LANDCO, LLC

WAKE FOREST TOWNSHIP TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

DRAWN BY: JSZ PROJECT#: CHECKED BY: WTR CONTRACT#

DATE: 03/28/2020 | SCALE: 1"=50'

9201 Arboretum Parkway Suite 310 Richmond, Virginia 23236

REASON FOR REVISION

JMT#: 20-00915-001

SHEET 1 OF 1

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buf studio

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Contractor is responsible for confirming and correlating dimensions at job site; the Architect will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the project.

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STRUCTURAL CONSULTANT
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304 W. ERIE ST.
SPRINGFIELD, MO 65807
CONTACT:RONALD HAMME

PROTO:9350-(2021-01)

TROTO.7550 (2021 01)

1117 27674

CONSTRUCTION

O7/20/2022

Architect Name - RYAN M. FAUST

Architect Number - a7189

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NO. DATE DESCRIPTION

Drawing Size: | Project #: 30 x 42

Drawn By: Checked By: PJC RMF

SHELL PLAN

Sheet Number: R0.00

Date: 07/20/2022 Store #: 42278

N-1

N-1

CANOPY DOWNSPOUT -

______T.O. FINISH FLOOR

LDO Section 6.8.3.D.1.d notes that facades of 60 or

EXTERIOR MATERIALS SCHEDULE (NOT ALL MATERIALS IN SCHEDULE ARE USED) MANUFACTURER MR-1 MEMBRANE ROOFING DUROLAST N-1 FIBER CEMENT PANEL NICHIHA VINTAGE BRICK PAINTED P-1 22 GAGE 7/8" CORRUGATED METAL WALL PANELS, COLOR: SILVER MT-1 CORRUGATED METAL WALL PANELS PAC-CLAD OR P-2 HOLLOW METAL DOORS AND SHERWIN MISTY SW 6232 WILLIAMS CP-1 EDGE METAL PARAPET CAP DUROLAST - ALL COAL BLACK TERM EDGE P-3 EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL WILLIAMS TRICORN BLACK SW 6258 GUARDS, AND LIGHT POLES P-6 EXTERIOR BOLLARDS TRICORN BLACK SW 6258 WILLIAMS S-1 ALUMINUM STOREFRONT GLAZING KAWNEER 451T VG - #29 BLACK FINISH MATTE BLACK BAKED ENAMEL W/ C-1 PREFINISHED ALUMINUM CANOPY MAPES LUMISHADE REAR GUTTER CONNECTIONS

CANOPY VINTAGE WOOD - CEDAR (AWP3030-VERTICAL INSTALLATION) NICHIHA WDS-1 WOOD LOOK SIDING PAC-CLAD SILVER NICHIHA SHERWIN WILLIAMS VINTAGE BRICK TRICORN BLACK PAINTED P-1 SW6258

__T.O PARAPET FRAMING 24' - 8"

T.O.PARAPET FRAMING 21' - 5"

STUDIO

TEL: 479.579.9959

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CLIENT NAME

CROSLAND SE

226 STATE ROAD 580

MEP CONSULTANT

702 SE 5TH STREET, STE 30

STRUCTURAL CONSULTANT

SPRINGFIELD, MO 65807 CONTACT:RONALD HAMME

CONTACT:ANDREW D. FINNEGAN

PINNACLE DESING CONSULTANT

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BUF STUDIO

304 W. ERIE ST.

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Contractor is responsible for confirming and correlating dimension

at job site; the Architect will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the project.

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writing & with appropriate compensation to the Architect.

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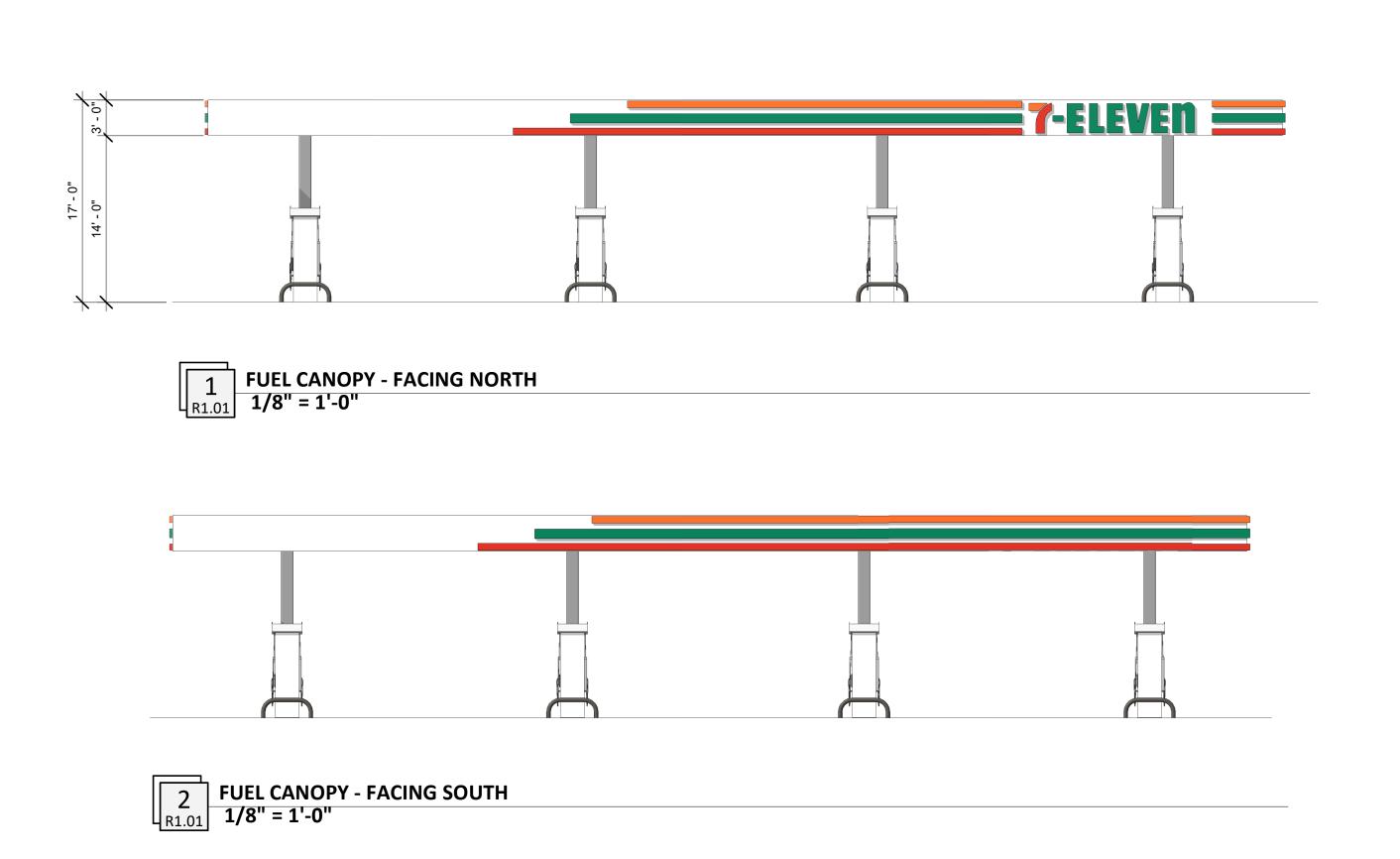
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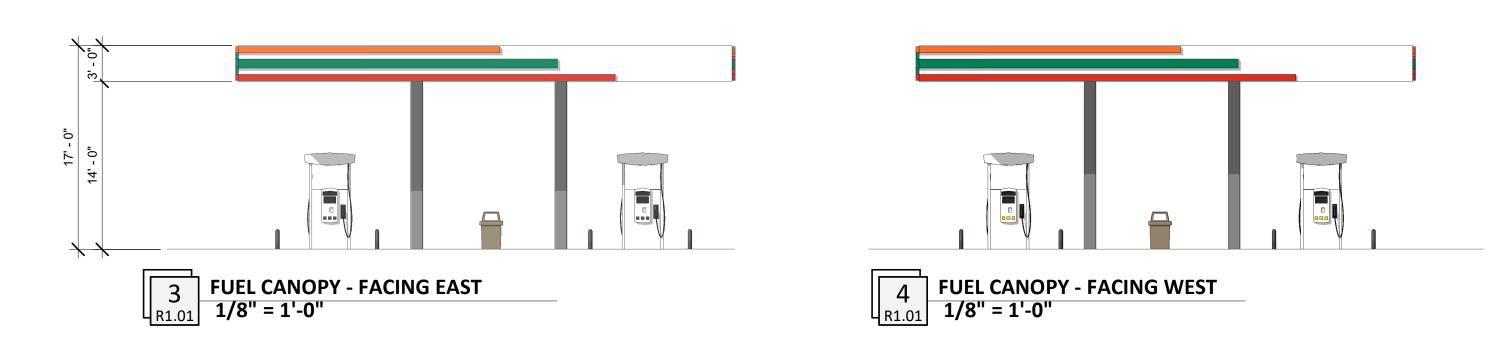
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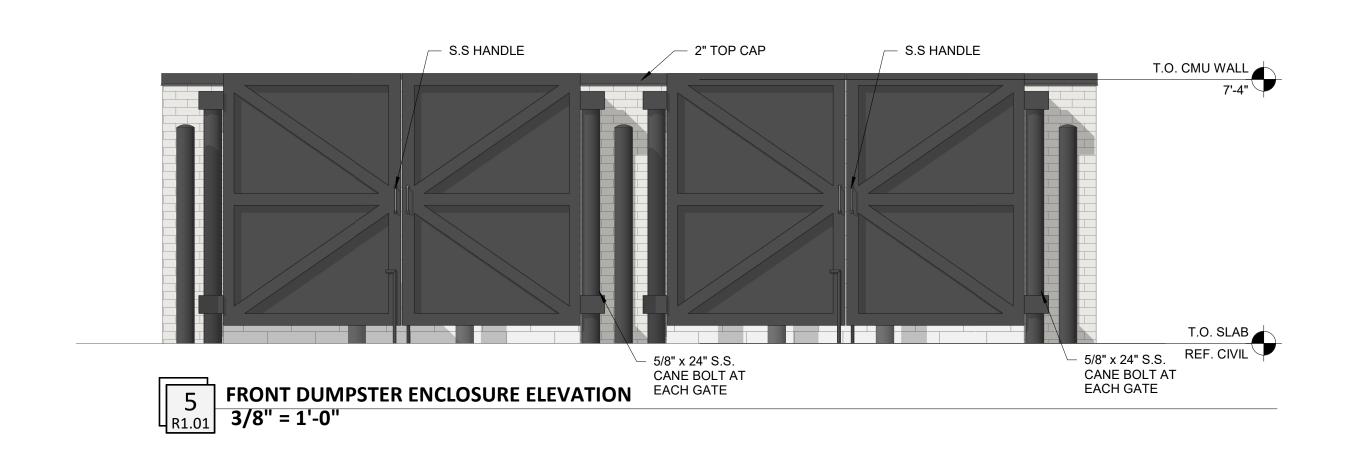
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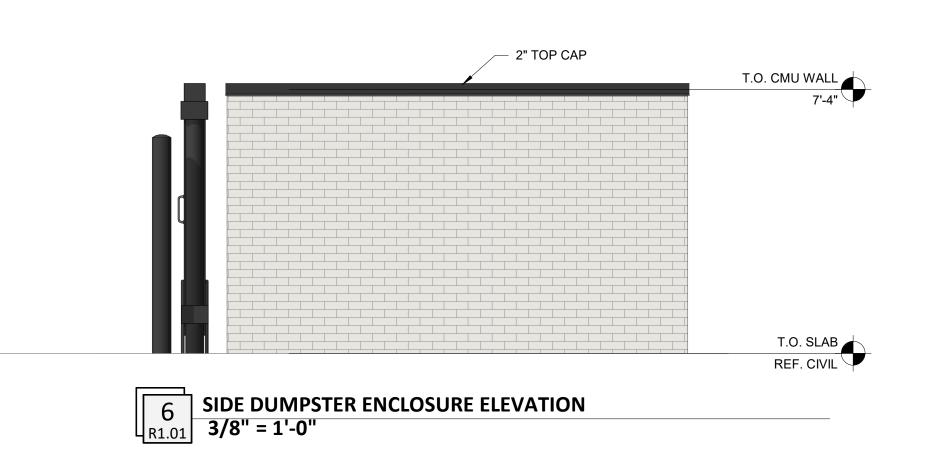
(N-1)

WALL PACK (TYP.), REF. ELECTRICAL —









	(NOT ALL MATERIALS IN SCHEDULE ARE USED)										
NO.	MATERIAL	MANUFACTURER	COLOR								
MR-1	MEMBRANE ROOFING	DUROLAST	WHITE								
N-1	FIBER CEMENT PANEL	NICHIHA	VINTAGE BRICK PAINTED P-1								
MT-1	CORRUGATED METAL WALL PANELS	PAC-CLAD OR EQ.	22 GAGE 7/8" CORRUGATED M WALL PANELS, COLOR: SILVEF								
P-2	HOLLOW METAL DOORS AND FRAMES	SHERWIN WILLIAMS	MISTY SW 6232								
CP-1	EDGE METAL PARAPET CAP	DUROLAST - ALL TERM EDGE	COAL BLACK								
P-3	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS	TRICORN BLACK SW 6258								
P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS	TRICORN BLACK SW 6258								
S-1	ALUMINUM STOREFRONT GLAZING	KAWNEER	451T VG - #29 BLACK FINISH								
C-1	PREFINISHED ALUMINUM CANOPY	MAPES LUMISHADE CANOPY	MATTE BLACK BAKED ENAMEL REAR GUTTER CONNECTIONS								
WDS-1	WOOD LOOK SIDING	NICHIHA	VINTAGE WOOD - CEDAR (AWP3030-VERTICAL INSTALLA								



SHERWIN WILLIAMS

CONTACT:RONALD HAMME

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MEP CONSULTANT BUF STUDIO

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STRUCTURAL CONSULTANT

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> ST 7-ELEVEN

07/20/2022

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Sheet Number: R1.01

Date: 07/20/2022 Store #: 42278