Property Identification Numbers (PIN) for the property, Zoning (Current and Proposed if a Rezoning), Watershed, River Basin, Current Use(s), Proposed Use(s), Current Impervious, Proposed Impervious, Parking Data per use, Bicycle Parking, Loading Spaces (per LDO Section 6.4.5.C.), Tree Coverage Data, Building Height, and Building Square Footage(s).

SITE OVERVIEW

WALLBROOK LANDCO LLO

TIDAL WAVE AUTO SPA

ROLESVILLE, NC, USA

V1 - SDP-23-08

According to iMaps, this parcel is 3.80 total acres. Please note where the new property line will be on the existing

conditions/survey sheet.

TITLESHEET LEGEND & REVISION NOTES EXISTING CONDITIONS AND DEMO PLAN **EROSION CONTROL PH II EROSION CONTROL PH III EROSION CONTROL DETAILS EROSION CONTROL DETAILS** OVERALL GRADING AND DRAINAGE PLAN UTILITY PLAN AND PROFILES UTILITY PROFILES CONSTRUCTION DETAILS **CONSTRUCTION DETAILS** CONSTRUCTION DETAILS **CONSTRUCTION DETAILS CONSTRUCTION DETAILS** LANDSCAPE PLAN

PLANT SCHEDULE & DETAILS & NOTES

Please add the site address to

the cover sheet.

SOURCES:

SURVEYOR

MSP & ASSOCIATES

LAND SURVEYING INC.

301 E. HILLCREST DR.

GREENVILEE, SC, 29609

PHONE: (864) 370-2232

CIVIL ENGINEER & LANDSCAPE ARCHITECT: SEAMON WHITESIDE & ASSOCIATES, LLC 230 E PETERSON DR CHARLOTTE, NC 28217

CONTACT: TOMMIE LITTLE PHONE: 980-312-5450

UTILITY CONTACTS: RALEIGH, NC 27601 CONTACT: GEORGE M. UPCHURCH, JR. PHONE: 919-996-3245

PROJECT CONTACTS

DEVELOPER: SHJ DEVELOPMENT, LLC 124 EAST THOMPSON STREET **POST OFFICE DRAWER 311** THOMASTON, GA 30286 **CONTACT: ALEX PERRY** PHONE: 478-972-2418

GRAND PARK PROPERTIES, LLC 2636 WAIT AVENUE WAKE FOREST, NC 27587

CITY OF RALEIGH PUBLIC UTILITIES ONE EXCHANGE PLAZA,

SUMMERVILLE, SC SPARTANBURG, SC CHARLOTTE, NC WWW.SEAMONWHITESIDE.COM Sheet List Table



IOUNT PLEASANT, SC

GREENVILLE, SC

864.272.1272



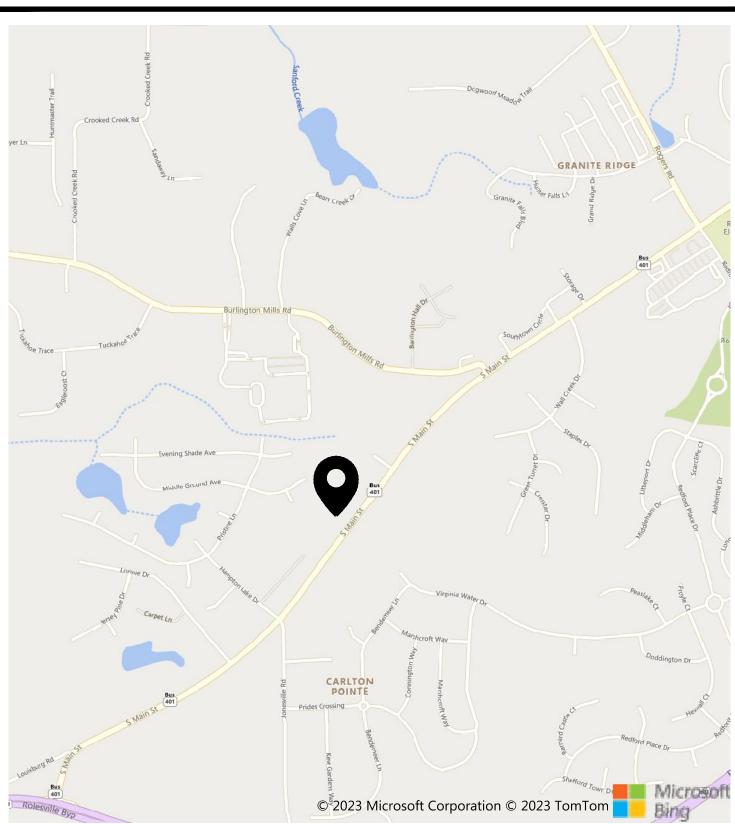
10/30/23

DRAWN BY: CHECKED BY:

REVISION HISTORY

TITLESHEET

SITE LOCATION MAP



PROJECT DESCRIPTION

THIS PROJECT IS LOCATED ON A 1.82 ACRE SITE, IN ROLESVILLE, NC. THE PROPERTY AS IT EXISTS IS AN UNDEVELOPED LOT. THE PROPOSED DEVELOPEMENT WILL BE AN AUTOMATED CAR WASH WITH ASSOCIATED PARKING AND INFRASTRUCTURE.

FLOOD ZONE:
THIS PROPERTY IS LOCATED OUTSIDE OF ANY REGULATED FLOOD ZONES, ZONEX (OTHER AREAS), NAVD88, SCALED FROM THE FIRM THE TOWN OF ROLESVILLE, NORTH CAROLINA PANEL NO. 3720175800K.

PROPERTY INFORMATION: PARCEL ID: 1758479244

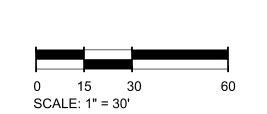
ZONING DISTRICT: GI-CZ (GENERAL INDUSTRIAL - CONDITIONAL ZONING)

GENERAL NOTES

PROJECT SURVEY INFORMATION AND CONTRACTOR VERIFICATION REQUIREMENTS

- BOUNDARY, TOPOGRAPHIC, TREE, WETLAND DELINEATION, AND OTHER EXISTING CONDITIONS SHOWN ARE FROM SURVEY PREPARED BY MSP & ASSOCIATES LAND SURVEYING, INC.
- ALL ELEVATIONS ARE BASED ON NAVD88 DATUM. THE CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHIC WORK, EXISTING UTILITY LINE LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING WORK. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED
- THE CONTRACTOR SHALL MAINTAIN AND BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY.
- AN AUTOCAD BASE PLAN OF THIS DRAWINGS CAN BE PROVIDED TO THE CONTRACTOR UPON REQUEST. ENGINEER SHALL NOT BE RESPONSIBLE FOR ERRORS IN ELECTRONIC DATA.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL PLANS AND COORDINATION WITH THE TOWN OF
- ROLESVILLE FOR LANE/ROAD CLOSURE AS NEEDED THROUGHOUT CONSTRUCTION. ALL SITE WORK TO BE PERFORMED IN CONFORMANCE WITH THE TOWN OF ROLESVILLE CODE OF ORDINANCE.
- MATERIAL SPECIFICATIONS ARE PROVIDED IN THE SPECIFICATIONS AND SPECIAL PROVISIONS SECTION. 8. ALL UTILITY INSTALLATIONS, PUBLIC AND PRIVATE, SHALL BE PERFORMED IN CONFORMANCE WITH THE TOWN OF ROLESVILLE WATER AND SEWER POLICIES, PROCEDURES, STANDARDS AND SPECIFICATIONS.

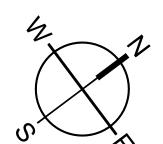




US HWY 401/ LOUSIBURG ROAD (VARIABLE PUBLIC R/W)

(DB.18987, PG.1849)

PROPERTIES LLC

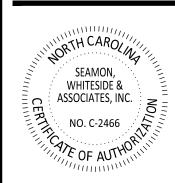


Add/revise to clarify that there are NO conditions; CZ is the LDO translation from the previous **UDO Zoning District of I-CZ** (Industrial COnditional Zoning). There are no known Conditions as confirmed by Town Planning

			DRAWII	NG L	.EGE	ND			NOT APPLY TO 'EXISTING CONDITIONS' SHEET(S). THO: RECEIVED BY THE SURVEYOR	SE ARE SHOWN IN
JECTS AND SYMBOLS	EXISTING	<u>NEW</u>	OBJECTS AND SYMBOLS	EXISTING	<u>NEW</u>	<u>ABBREVIATIONS</u>	EXISTING	NEW	SWPP PLAN LEGEN	<u>1D</u>
			Benchmark	•	N/A	Sewer Easement	Ex. S.E.	S.E.	Turf Reinforcement Mat	TR
Right of Way			Sanitary Sewer Manhole	<u>S</u>	•	Storm Easement	Ex. W.E.	W.E.	Tan Removement wat	
Lot Line			Sanitary Sewer Manhole ID #	N/A	MH #	Drainage Easement	Ex. D.E.	D.E.	Sodding	S
Adjoining Property Line		N/A	Sanitary Sewer Cleanout	\mathbb{O}	\otimes	General Utility Easement	Ex. G.U.E.	G.U.E.	(See Turf and Grasses Specs)	
			Double Sanitary Sewer Service (Residential Only)	\prec	\prec	Access Easement	Ex. A.E.	A.E.	Surface Roughening	SR
Centerline		(Same as Existing)	Single Sanitary Sewer Service (Residential Only)	$\overline{}$	-9	Ingress/Egress Easement	Ex. I/E E.	I/E E		
Easement			TYPE 1 Storm Drainage Structure (CI-1)			Pond Maintenance Easement	Ex. P.M.E.	P.M.E.	Temporary Seeding (See Schedule in EC Notes)	TS
Setback		(Same as Existing)	TYPE 16 Storm Drainage Structure (CI-16)	•	0	Water Surface Elevation	Ex. W.S.E.	W.S.E.	(33.33.33.33.33.33.4)	
Sanitary Sewer (Gravity)	ES	s	TYPE 17 Storm Drainage Structure (Right) (CI-17)	•		Polyvinyl Chloride Pipe	Ex. PVC	PVC	Permanent Seeding (See Turf and Grasses Species)	PS
			TYPE 17 Storm Drainage Structure (Left) (CI-17)	•		Reinforced Concrete Pipe High Density Corrugated	Ex. RCP	RCP	Ì	
Sanitary Sewer (Force Main)	EFM	FM	TYPE 18 Storm Drainage Structure(CI-18)	•	•	Polyethylene Pipe	Ex. HDPE	HDPE	Mulching (See Turf and Grasses Species)	\bigcirc M
Water Line	EW		Catch Basin (CB)			Ductile Iron Pipe	Ex. DIP	DIP		
Curb & Cuttor (Straight)			Isolation Box (IB)	IB	B	Corrugated Metal Pipe	Ex. CMP	CMP	Typical Lot Erosion Control Plan	LE
Curb & Gutter (Straight)			Storm Drainage Junction Box (JB)	0	0	Home Owner's Association	Ex. HOA	HOA		
Curb & Gutter (Roll)			Yard Inlet (YI)	YI	YI	Property Owners Association	Ex. POA	POA	Flexible Growth Medium (See Turf and Grasses Species)	FG
	(Width varies with size)	N/A	Control Structure (CS)	cs	cs	HATCH PATTERNS			- · · · · · · · · · · · · · · · · · · ·	
Previous Phase Storm Drain Pipe		(Width varies with size)	Storm Drainage Structure ID #	N/A	#	HATOITI ATTENNO			Erosion Control Blanket (See Turf and Grasses Species)	EC
Storm Drain Pipe	——— ED ————	(Width Valles with Size)	Telephone Box Telephone Manhole		N/A					
Drainage Flow Arrow	N/A	~~~	Electrical Box	(<u>T</u>)	N/A	Freshwater Wetland	\[\psi \ \psi \]	Ψ Ψ	Dust Control	DC
Roof Drain	ERD		Electrical Manhole	(E)	N/A		· • • •	₩	Bonded Fiber Matrix	
	END		Power Pole		N/A				(See Turf and Grasses Species)	BF
Subsurface Drainage	———— EUD ————	UD	Light Pole	φ,	⊕					[a]
Silt Fence, Standard	ESF	SF	Fire Hydrant Assembly	¤ -0- H	- - -	Freshwater Wetland Buffer			Concrete Washout Basin	CW
Silt Fence, Reinforced	ERSF		Water Blowoff	H 0	∺				5	DT
Phase Line	N/A				\mapsto				Portable Toilet	PT
Drainage Basin Limits	N/A		Water Line Bends, Angle Varies	N/A	Η̈́L				Block & Stone Inlet Protection	
-			Water Line Valve	\bowtie	>>	Saltwater Marsh	_WWW_	_WW	BIOCK & Stone linet Protection	
Flood Zone	ZONE 'X' ZONE 'AE'	N/A	Water Line Reducer	\triangleright	>		## ###################################	т т ИИС ЖИИС ЖИИС	Temp. Sediment Control Tube	
Conduit	———— EC ————	C	Single Water Service (Residential Only)		-0				(See Tube)	
Natural Gas	EG	G	Double Water Service (Residential Only)	=	呂			XXXXXX	Temp. Rock Ditch Checks	
Overhead Electrical	EP	۵	Sign		•	Saltwater Marsh Buffer				
Overnead Electrical	Lr -	1	ADA Accessible Parking Space		ይ				Turf Reinforcement Mat Outlet Protection (and Turf and Grasses Specs)	
Underground Electrical	EUP	———— UP ————	Spot Elevation						(and full and Grasses Specs)	
Underground Telephone	ET			+X.XX	√X.XX				Filter Fabric Inlet Protection	
Underground Cable	ETV	TV	Drainage Basin Area	N/A	X.XXAc	Site Clearing Area	+ + +	+ +		 -
Underground Fiber Optic	EFO	FO	Keynote	N/A	⟨ 6⟩		+ + +	+ + -	Temp. Curb Inlet Weep Filter	
Onderground Fiber Optic	EFO —	FO	Parking Count ID #	N/A	12)					
Fence	X	X	Lot #		144				Curb Inlet Sediment Filter	
Elevation Contour	22	22		N/A	^	Area Previously Cleared Included in				
			Revision ID #	N/A	<u>/1</u>	Limits of Disturbance			Both Curb Inlet Filters (See Above)	
Revision Cloud (Encloses Revision)	N/A									_
			Rip Rap at Pipe Outlet	N/A					Construction Entrance	
						Area to be Permanently				ν _
			ĺ			Stabilized			Dandy Sack or Grate Gator Inlet Protection	



MOUNT PLEASANT, SC 843.884.1667 GREENVILLE, SC 864.298.0534 SUMMERVILLE, SC 843.972.0710 SPARTANBURG, SC 864.272.1272 CHARLOTTE, NC 980.312.5450 WWW.SEAMONWHITESIDE.COM



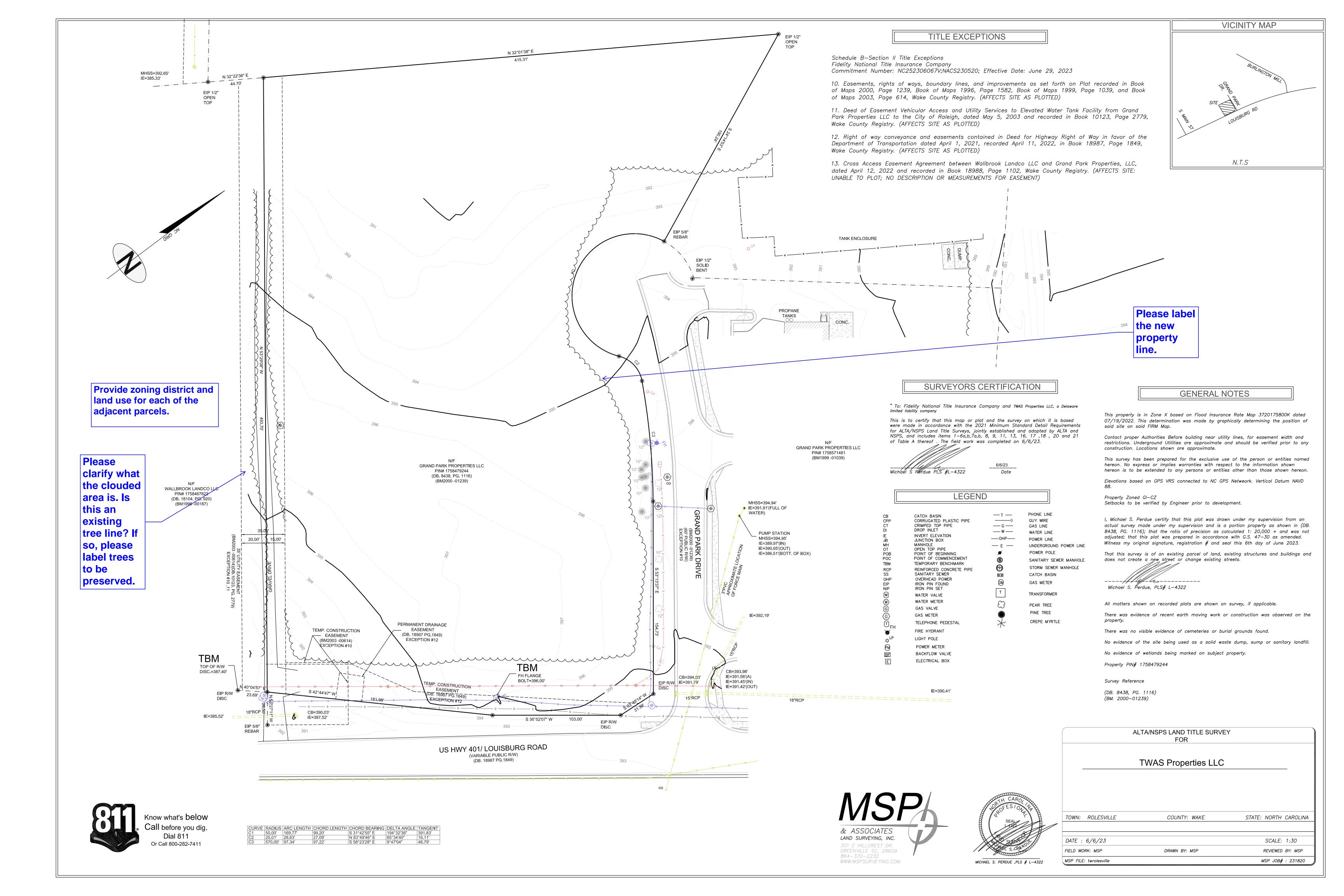


AL WAVE AUTO SP/ ROLESVILLE, NC

SW+ PROJECT: 10772
DATE: 10/30/23
DRAWN BY: CPE
CHECKED BY: DWJ

REVISION HISTORY

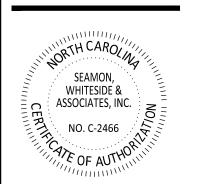
LEGEND & REVISION NOTES

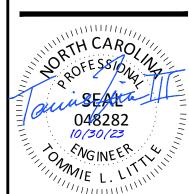


Please label the existing vegetation, with a general description and location.

MOUNT PLEASANT, SC

843.884.1667 GREENVILLE, SC 864.298.0534 SUMMERVILLE, SC 843.972.0710 SPARTANBURG, SC 864.272.1272 CHARLOTTE, NC 980.312.5450 WWW.SEAMONWHITESIDE.COM

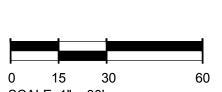




DEMOLITION NOTES:

- 1. ALL DEMOLITION DEBRIS IS TO BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE COUNTY, STATE, AND FEDERAL REGULATIONS.
- 2. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES BEFORE ANY WORK IS STARTED. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE FIELD MARKINGS AND SURVEY.
- 3. NO LAND DISTURBING ACTIVITY PRIOR TO APPROVAL OF EROSION AND SEDIMENT CONTROL PLAN AND THE ISSUANCE OF THE LAND-DISTURBING PERMIT AT THE PRECONSTRUCTION MEETING.
- 4. CONTRACTOR TO REMOVE ALL TREES WITHIN LIMITS OF DISTURBANCE.

EXISTING UTILITY NOTE:



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

SCALE: 1" = 30' DEMOLITION LEGEND DEMO EXISTING GRAVEL LIMITS OF DISTURBANCE DEMO EXISTING TREES **EXISTING UTILITY TO REMAIN** EXISTING CURB TO BE SILT FENCE OUTLET REMOVED

SW+ PROJECT:

DRAWN BY:

CHECKED BY:

EXISTING

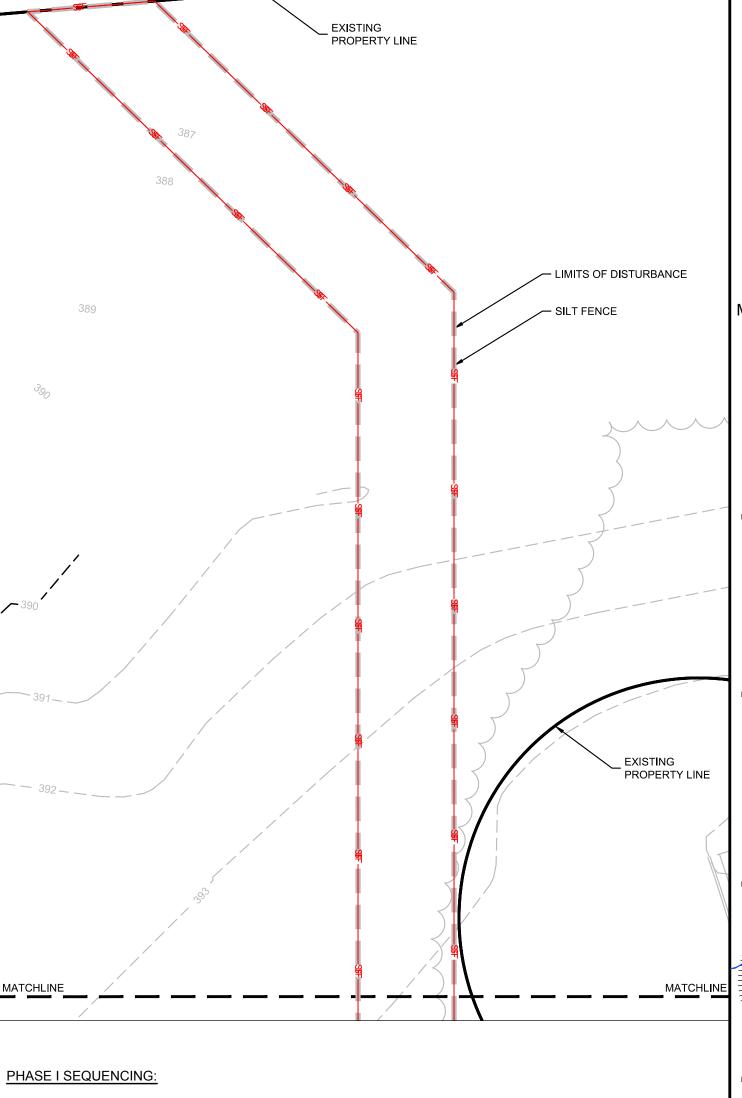
PLAN

CONDITIONS AND DEMO

REVISION HISTORY

10/30/23

C3.1



- 1. DRAFT EROSION AND SEDIMENT CONTROL PLAN MUST BE APPROVED AND A LETTER OF APPROVAL (LOA) MUST BE ISSUED PRIOR TO OBTAINING THE CERTIFICATE OF COVERAGE FROM DEQ
- 2. RECEIVE NPDES COVERAGE FROM NCDEQ.
- 3. PRE-CONSTRUCTION CONFERENCE TO BE CONDUCTED WITH EROSION CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURE. FAILURE TO SCHEDULE SUCH CONFERENCE PRIOR TO ANY LAND DISTURBING ACTIVITY IS SUBJECT TO FINE. LDP WILL BE ISSUED AT THE PRECONSTRUCTION MEETING (ON-SITE). SITE SHOULD BE FLAGGED PRIOR TO PRE-CONSTRUCTION MEETING.
- 4. INSTALL SILT FENCE, INLET PROTECTION, BERMS AND OTHER MEASURES AS SHOWN ON PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- 5. CALL FOR ON-SITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR GIVES CONTRACTOR
- 6. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
- 7. FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
- 8. CONTRACTOR SHALL NOT ALLOW MORE THAN 0.25 ACRES OF DISTURBED AREA TO DRAIN TOWARDS 100LF OF SILT FENCE OR PERFORM GRADING IN A MANNER THAT ALLOWS SEDIMENT LADEN WATER TO FLOW LONGITUDINALLY ALONG SILT FENCE LINE. IF A LOW SPOT DEVELOPS ALONG GRADING NEAR SILT FENCE, CONTRACTOR SHALL COORDINATE WITH EROSION CONTROL INSPECTOR TO PLACE A SILT FENCE OUTLET IN OUTLET LOCATIONS.
- 9. CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
- 10. UPON APPROVAL FROM SEDIMENT CONTROL INSPECTOR, COMPLETE DEMOLITION OF ANY SITE FEATURES (PAVEMENT, CURB, ETC.), CLEARING AND GRUBBING, AND STRIP SITE OF TOP SOIL. ALL DEMOLISHED MATERIAL IS TO BE DISPOSED IN ACCORDANCE WITH APPLICABLE NORTH CAROLINA REGULATIONS. CONTRACTOR TO ENSURE ALL APPLICABLE DEMOLITION PERMITS HAVE BEEN ISSUED AND HAVE ORIGINALS OF THE SAME PRIOR TO COMMENCING DEMOLITION ACTIVITIES.
- 11. CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF STRIPPING, THE STOCKPILING OF TOPSOIL, THE CONSTRUCTION OF TEMPORARY SEDIMENT AND EROSION CONTROL FACILITIES, DISPOSAL OF ALL WASTE MATERIAL, AND PREPARATION OF THE GROUND.

INLET PROTECTION NOTE:

PROVIDE APPROPRIATE INLET PROTECTION FOR VARIOUS PHASES OF THE CONSTRUCTION . HARDWARE CLOTH AND GRAVEL PROTECTION SHALL BE PROVIDED FOR INLETS IN NON-PAVED AREA. WEEP FILTERS SHALL BE PROVIDED FOR INLETS IN PAVED AREAS.

1				
		E&SC PLA	AN LEGEND	
	LIMITS OF DISTURBANCE		CONCRETE WASHOUT BASIN (SEE DETAIL)	CW
	SILT FENCE, STANDARD	SF	DANDY SACK INLET	
	SILT FENCE OUTLET/RIP RAP APRON/RIP RAP BASIN & ROCK		PROTECTION	
	SEDIMENT TRAP		HARDWARE CLOTH AND GRAVEL INLET PROTECTION	
	CONSTRUCTION ENTRANCE		ONAVEE INCEPT NOTEOTION	<u> </u>
	PERMANENT SOD	PS	TEMPORARY SEEDING	TS

PLAN FOR SPECIFIC MATERIALS / PLANTINGS. ANY DISTURBED AREA NOT ADDRESSED IN THE LANDSCAPE PLANS SHALL BE PERMANENT SEEDED.

FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES

WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S

FAILURE TO EXACTLY LOCATE AND PRESERVE ANY

AND ALL UNDERGROUND UTILITIES.

0 10 20

SCALE: 1" = 20'

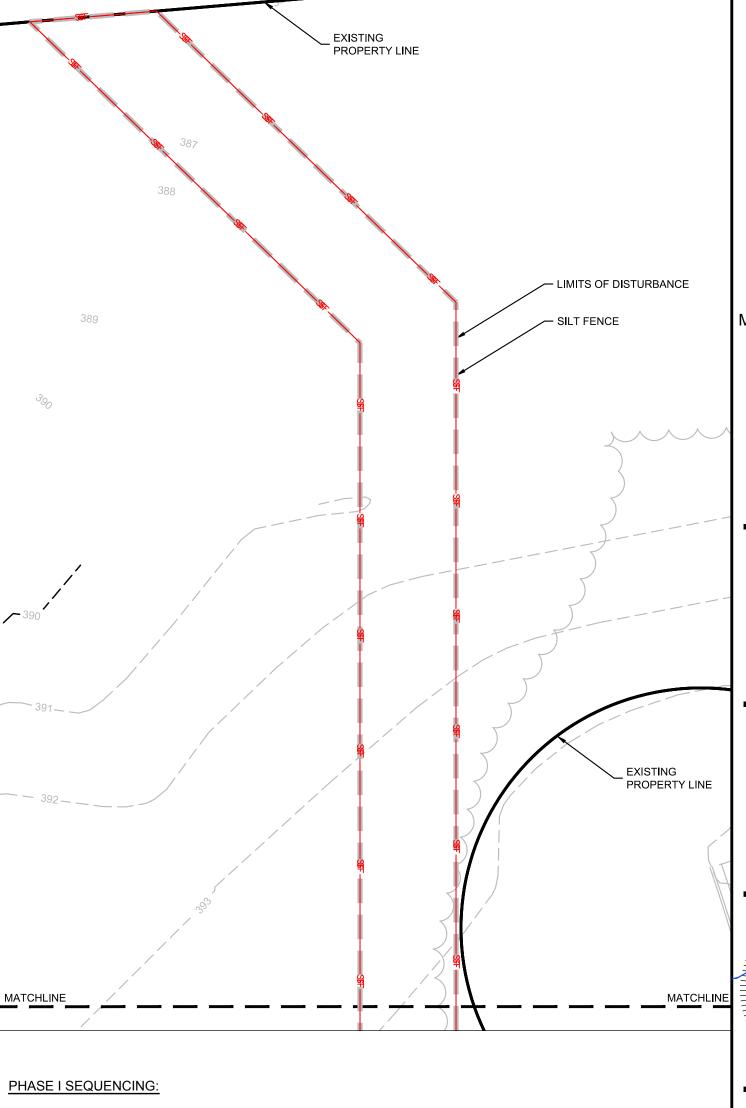
MOUNT PLEASANT, SC 843.884.1667 GREENVILLE, SC 864.298.0534 SUMMERVILLE, SC 843.972.0710 SPARTANBURG, SC 864.272.1272 CHARLOTTE, NC 980.312.5450 WWW.SEAMONWHITESIDE.COM

WHITESIDE &

ASSOCIATES, INC.

SW+ PROJECT: 10/30/23 DRAWN BY: CHECKED BY: **REVISION HISTORY**

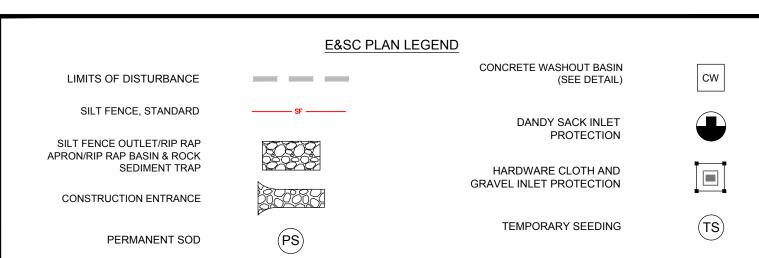
EROSION CONTROL PH I



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INLET PROTECTION NOTE:

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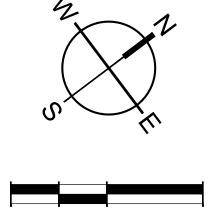
PLAN FOR SPECIFIC MATERIALS / PLANTINGS. ANY DISTURBED AREA NOT ADDRESSED IN THE LANDSCAPE PLANS SHALL BE PERMANENT SEEDED.

FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES

WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S

FAILURE TO EXACTLY LOCATE AND PRESERVE ANY

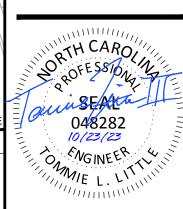
AND ALL UNDERGROUND UTILITIES.



0 10 20 SCALE: 1" = 20'

MOUNT PLEASANT, SC 843.884.1667 GREENVILLE, SC 864.298.0534 SUMMERVILLE, SC 843.972.0710 SPARTANBURG, SC 864.272.1272 CHARLOTTE, NC 980.312.5450 WWW.SEAMONWHITESIDE.COM

WHITESIDE & ASSOCIATES, INC.



ROL

SW+ PROJECT: 10/30/23 DRAWN BY: CHECKED BY: **REVISION HISTORY**

EROSION CONTROL PHASE I

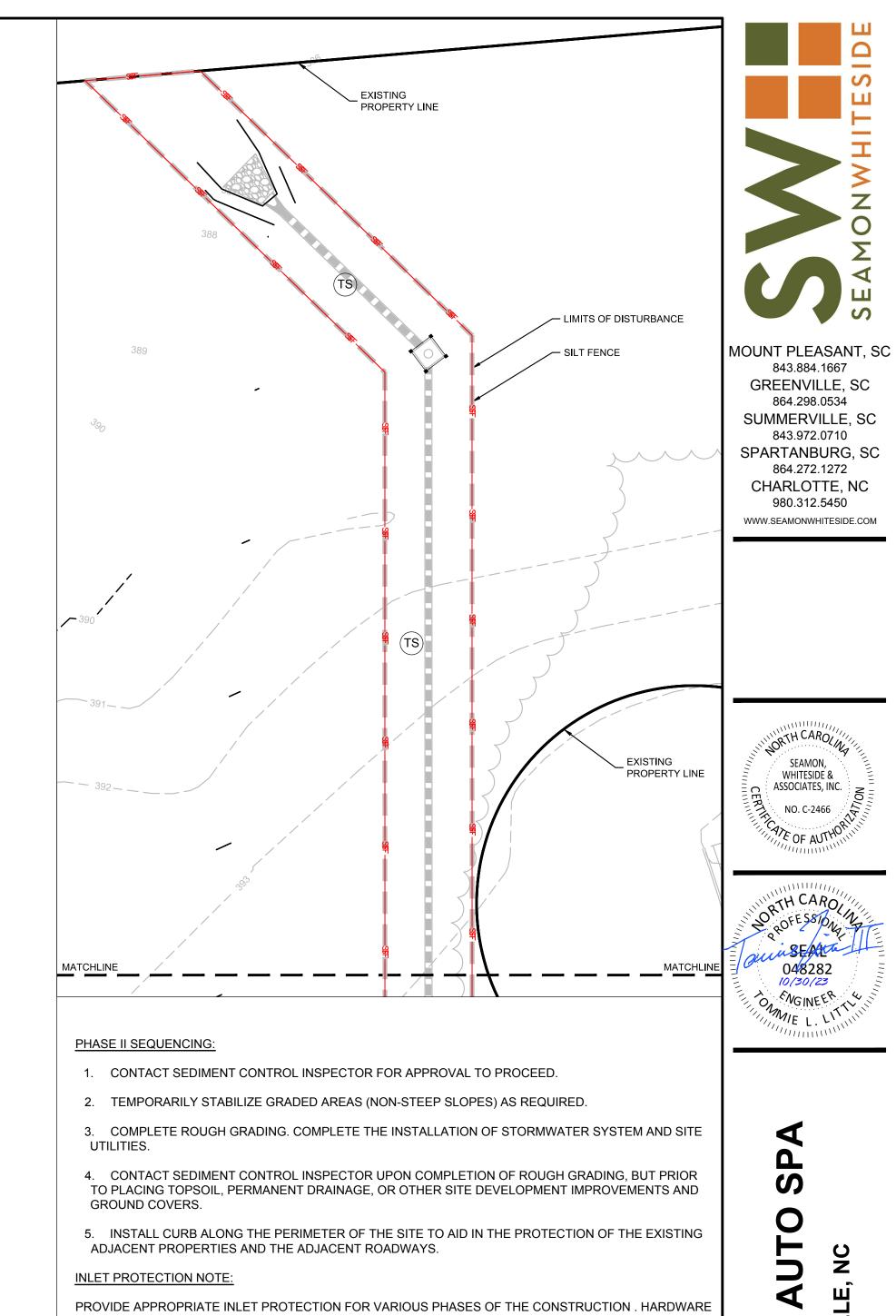


SW+ PROJECT:

REVISION HISTORY

DRAWN BY: CHECKED BY: 10/30/23

WHITESIDE &



CLOTH AND GRAVEL INLET PROTECTION SHALL BE PROVIDED FOR INLETS IN NON-PAVED AREA. DANDY SACK INLET PROTECTION SHALL BE PROVIDED FOR INLETS IN PAVED AREAS.

TOTAL SITE ACREAGE **1.82 ACRES**

PROPOSED SILT FENCE

- LIMITS OF DISTURBANCE

SILT FENCE OUTLET

IE=391.56'(A)

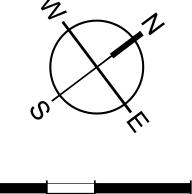
IE=391.42'(OUT)

STRUCTURE

DISTURBED ACREAGE **2.02 ACRES**

STABILIZATION NOTE:

PROVIDE FINAL STABILIZATION FOR ALL DISTURBED AREAS. REFER TO THE LANDSCAPE PLAN FOR SPECIFIC MATERIALS / PLANTINGS. ANY DISTURBED AREA NOT ADDRESSED IN THE LANDSCAPE PLANS SHALL BE PERMANENT SEEDED.



GRAND PARK PROPERTIES LLC

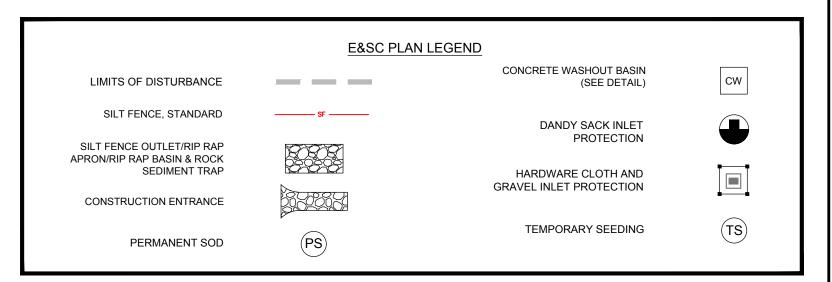
PIN# 1758571481 (BM1999 -01039)

IE=391.91'(FULL OF

PUMP STATION MHSS=394.95' ► IE=389.97'(IN)

IE=390.05'(OUT)

IE=386.51'(BOTT. OF BOX)





VARIABLE PUBLIC R/W)

(DB. 18987 PG.1849)

MATCHLINE

HARDWARE CLOTH AND

GRAVEL INLET PROTECTION

PROPOSED CONCRETE WASH OUT -

PROPOSED CONSTRUCTION ENTRANCE -

HARDWARE CLOTH AND

GRAVEL INLET PROTECTION

UNDERGROUND DETENTION

TEMP. CONSTRUCTION

(DB. 18987 PG.1849)

EXCEPTION #12

EASEMENT (BM2003 -00614)

SILT FENCE OUTLET

. PROPOSED PROPERTY LINE >

HARDWARE CLOTH AND

- SILT FENCE OUTLET

STRUCTURE

GRAVEL INLET PROTECTION

PROPOSED SILT FENCE -

LIMITS OF DISTURBANCE -

ALLBROOK LANDCO LLC PIN# 1758467822

(DB. 18104, PG. 920) (BM1996 -00187)

TOR OF R/W

EIP 5/8"

REBAR /

EXISTING UTILITY NOTE:

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

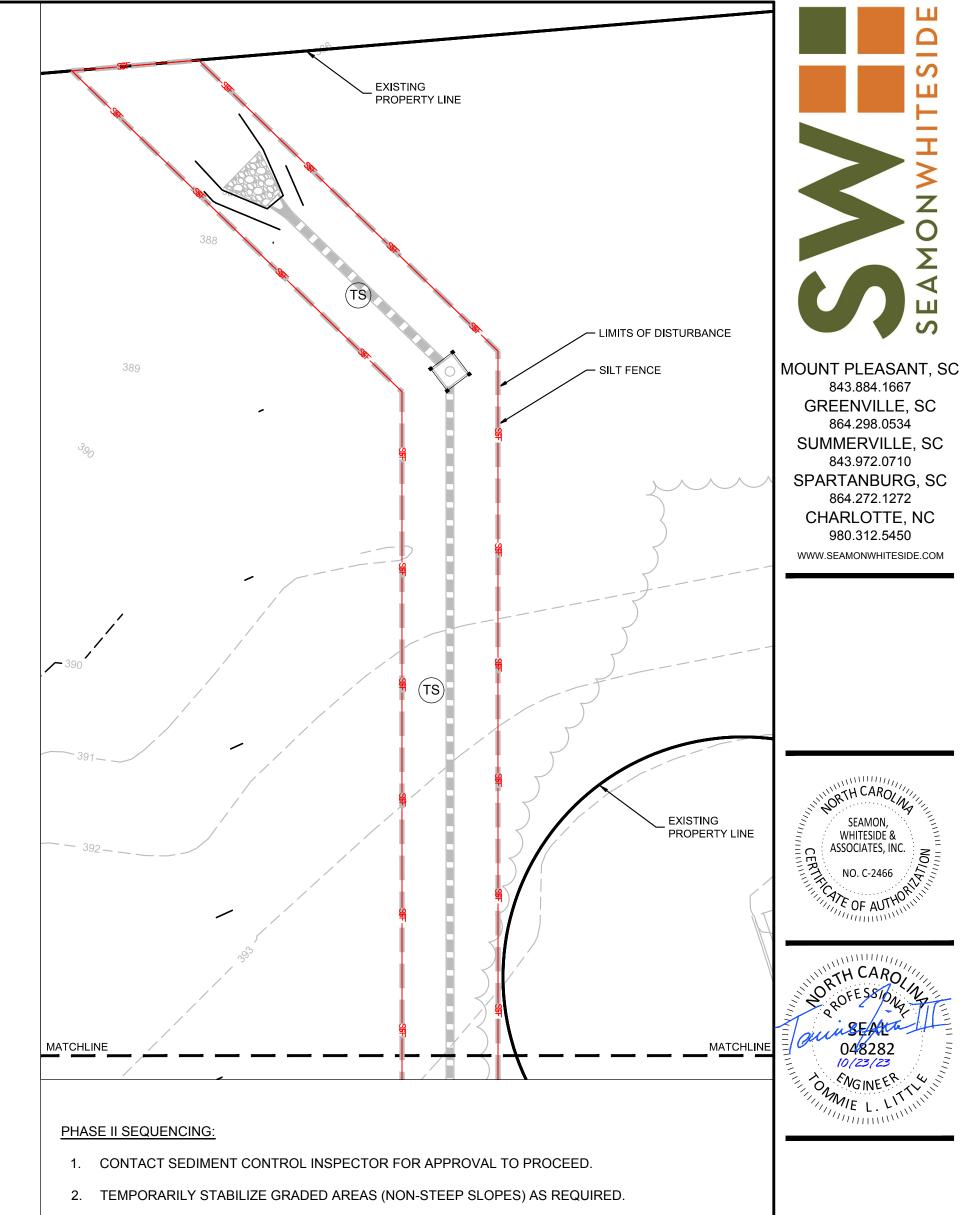
MATCHLINE ,

HARDWARE CLOTH AND GRAVEL INLET PROTECTION

> 0 10 20 SCALE: 1" = 20'

EROSION

CONTROL PH



- 3. COMPLETE ROUGH GRADING. COMPLETE THE INSTALLATION OF STORMWATER SYSTEM AND SITE
- 4. CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACING TOPSOIL, PERMANENT DRAINAGE, OR OTHER SITE DEVELOPMENT IMPROVEMENTS AND GROUND COVERS.
- 5. INSTALL CURB ALONG THE PERIMETER OF THE SITE TO AID IN THE PROTECTION OF THE EXISTING ADJACENT PROPERTIES AND THE ADJACENT ROADWAYS.

INLET PROTECTION NOTE:

PROVIDE APPROPRIATE INLET PROTECTION FOR VARIOUS PHASES OF THE CONSTRUCTION . HARDWARE CLOTH AND GRAVEL INLET PROTECTION SHALL BE PROVIDED FOR INLETS IN NON-PAVED AREA. DANDY SACK INLET PROTECTION SHALL BE PROVIDED FOR INLETS IN PAVED AREAS.

TOTAL SITE ACREAGE **1.82 ACRES**

PROPOSED SILT FENCE

- LIMITS OF DISTURBANCE

SILT FENCE OUTLET

IE=391.56'(A)

IE=391.42'(OUT)

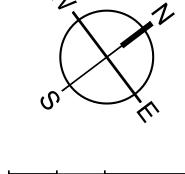
STRUCTURE

DISTURBED ACREAGE

2.02 ACRES

STABILIZATION NOTE:

PROVIDE FINAL STABILIZATION FOR ALL DISTURBED AREAS. REFER TO THE LANDSCAPE PLAN FOR SPECIFIC MATERIALS / PLANTINGS. ANY DISTURBED AREA NOT ADDRESSED IN THE LANDSCAPE PLANS SHALL BE PERMANENT SEEDED.



SCALE: 1" = 20'

GRAND PARK PROPERTIES LLC

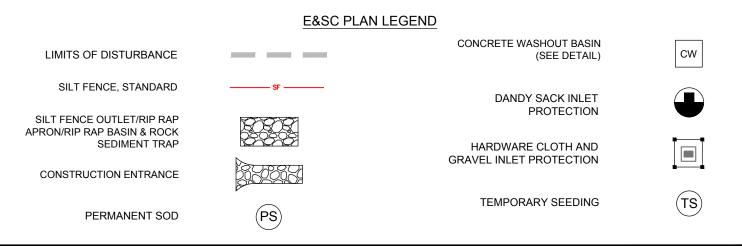
PIN# 1758571481 (BM1999 -01039)

IE=391.91'(FULL OF

PUMP STATION MHSS=394.95' ► IE=389.97'(IN)

IE=390.05'(OUT)

IE=386.51'(BOTT. OF BOX)





VARIABLE PUBLIC R/W)

(DB. 18987 PG.1849)

MATCHLINE

HARDWARE CLOTH AND

GRAVEL INLET PROTECTION

PROPOSED CONCRETE WASH OUT -

PROPOSED CONSTRUCTION ENTRANCE -

HARDWARE CLOTH AND

GRAVEL INLET PROTECTION

UNDERGROUND DETENTION

TEMP. CONSTRUCTION

(DB. 18987 PG.1849)

EXCEPTION #12

EASEMENT (BM2003 -00614)

SILT FENCE OUTLET

. PROPOSED PROPERTY LINE >

HARDWARE CLOTH AND

- SILT FENCE OUTLET

STRUCTURE

GRAVEL INLET PROTECTION

PROPOSED SILT FENCE -

LIMITS OF DISTURBANCE -

ALLBROOK LANDCO LLC PIN# 1758467822

(DB. 18104, PG. 920) (BM1996 -00187)

TOR OF R/W

EIP 5/8"

REBAR /

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WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S

FAILURE TO EXACTLY LOCATE AND PRESERVE ANY

AND ALL UNDERGROUND UTILITIES.

EXISTING UTILITY NOTE:

MATCHLINE ,

HARDWARE CLOTH AND GRAVEL INLET PROTECTION

0 10 20



843.884.1667

864.298.0534

843.972.0710

864.272.1272

980.312.5450

DRAWN BY: CHECKED BY: **REVISION HISTORY**

10/30/23

SW+ PROJECT:

PHASE II

EROSION

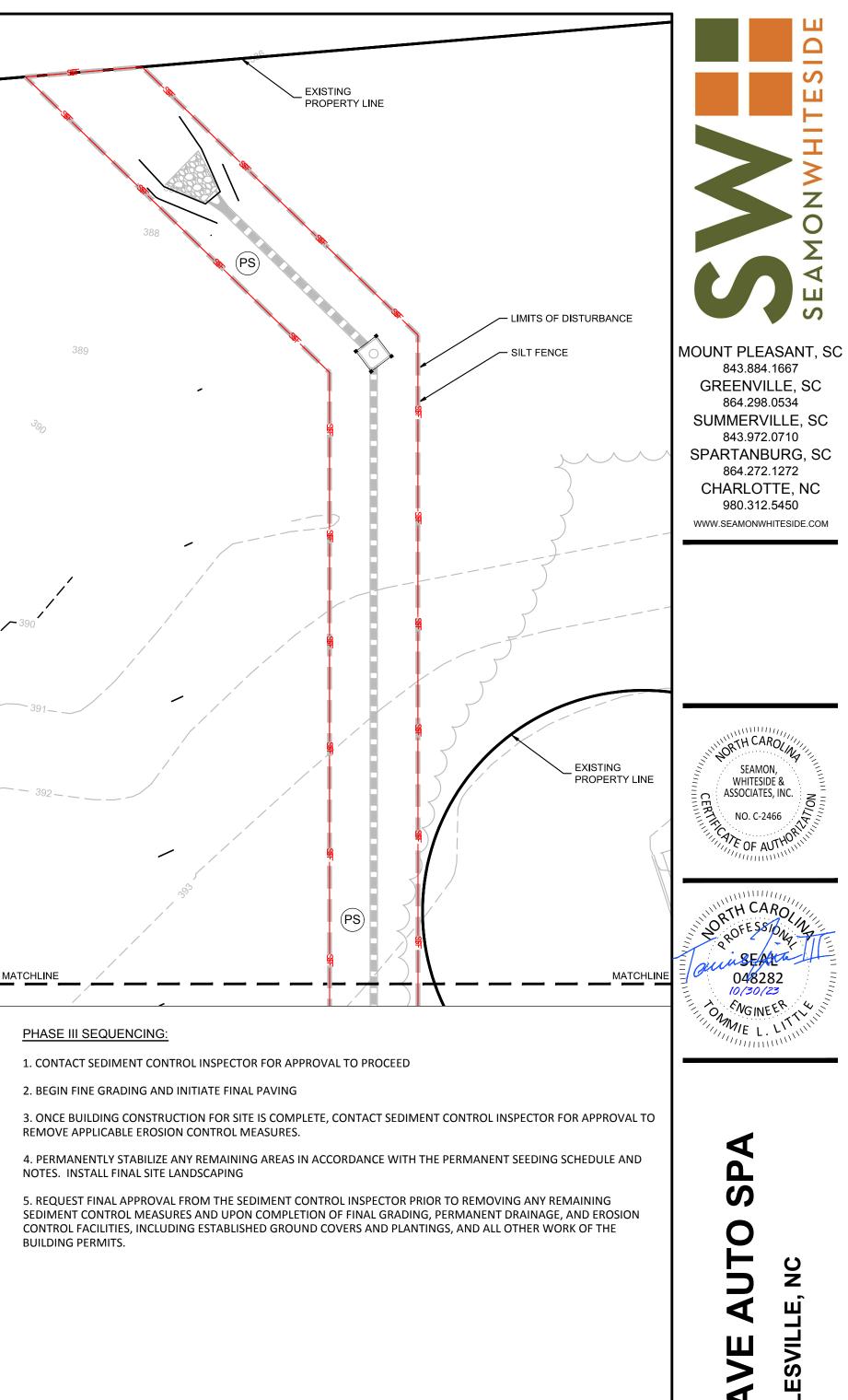
CONTROL



SW+ PROJECT:

REVISION HISTORY

DRAWN BY: CHECKED BY: 10/30/23





PROPOSED SILT FENCE

- LIMITS OF DISTURBANCE

SILT FENCE OUTLET STRUCTURE

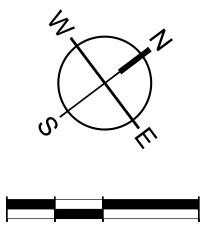
> IE=391.56'(A) IE=391.42'(OUT)

DISTURBED ACREAGE

2.02 ACRES

STABILIZATION NOTE:

PROVIDE FINAL STABILIZATION FOR ALL DISTURBED AREAS. REFER TO THE LANDSCAPE PLAN FOR SPECIFIC MATERIALS / PLANTINGS. ANY DISTURBED AREA NOT ADDRESSED IN THE LANDSCAPE PLANS SHALL BE PERMANENT SEEDED.



0 10 20

SCALE: 1" = 20'

A. P. A.

GRAND PARK PROPERTIES LLC

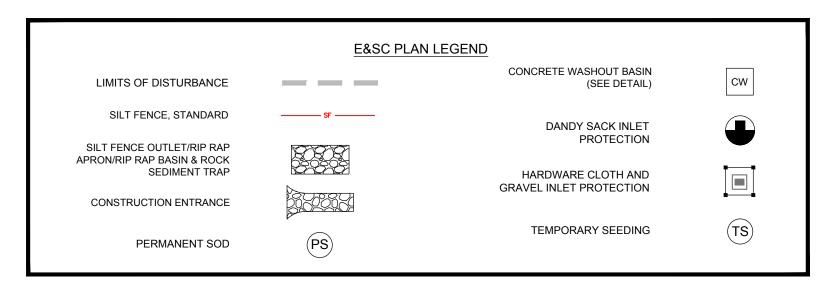
PIN# 1758571481 (BM1999 -01039)

☐ IE=391.91'(FULL OF

PUMP STATION MHSS=394.95' ─ IE=389.97'(IN)

IE=390.05'(OUT)

IE=386.51'(BOTT. OF BOX)





VARIABLE PUBLIC R/W)

(DB. 18987 PG.1849)

SILT FENCE OUTLET

TEMP. CONSTRUCTION

(BM2003 -00614)

(DB. 18987 PG.1849)

EXCEPTION #12

. PROPOSED PROPERTY LINE >

DANDY SACK INLET PROTECTION

SILT FENCE OUTLET

STRUCTURE

PROPOSED SILT FENCE ·

LIMITS OF DISTURBANCE -

LLBROOK LANDCO LLC PIN# 1758467822 (DB. 18104, PG. 920) (BM1996 -00187)

EIP 5/8"

REBAR /

FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

THE LOCATION OF EXISTING UNDERGROUND

UTILITIES ARE SHOWN IN AN APPROXIMATE WAY

ONLY AND HAVE NOT BEEN INDEPENDENTLY

VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.

THE CONTRACTOR SHALL DETERMINE THE EXACT

LOCATION OF ALL EXISTING UTILITIES BEFORE

COMMENCING ANY WORK, AND AGREES TO BE

EXISTING UTILITY NOTE:

MATCHLINE ,

DANDY SACK INLET PROTECTION

DANDY SACK

INLET PROTECTION

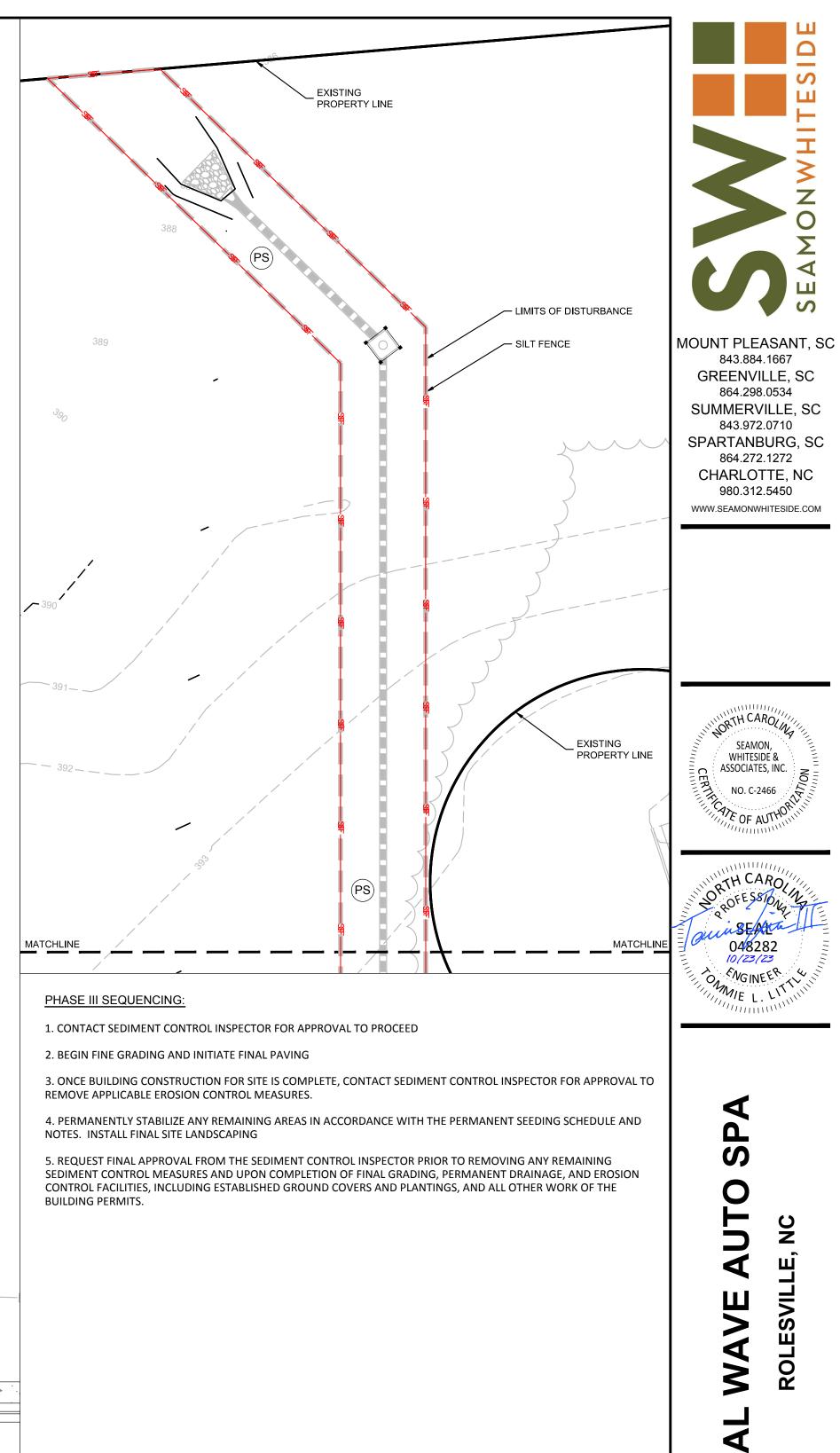
DANDY SACK INLET PROTECTION

C4.3

EROSION

CONTROL PH





TOTAL SITE ACREAGE **1.82 ACRES**

PROPOSED SILT FENCE

- LIMITS OF DISTURBANCE

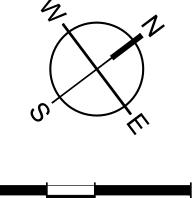
SILT FENCE OUTLET STRUCTURE

> IE=391.56'(A) IE=391.42'(OUT)

DISTURBED ACREAGE **2.02 ACRES**

STABILIZATION NOTE:

PROVIDE FINAL STABILIZATION FOR ALL DISTURBED AREAS. REFER TO THE LANDSCAPE PLAN FOR SPECIFIC MATERIALS / PLANTINGS. ANY DISTURBED AREA NOT ADDRESSED IN THE LANDSCAPE PLANS SHALL BE PERMANENT SEEDED.



	E&SC PL	AN LEGEND	
LIMITS OF DISTURBANCE		CONCRETE WASHOUT BASIN (SEE DETAIL)	CW
SILT FENCE, STANDARD	SF	DANDY SACK INLET	
SILT FENCE OUTLET/RIP RAP APRON/RIP RAP BASIN & ROCK SEDIMENT TRAP		PROTECTION HARDWARE CLOTH AND	
CONSTRUCTION ENTRANCE		GRAVEL INLET PROTECTION	
PERMANENT SOD	PS	TEMPORARY SEEDING	TS



VARIABLE PUBLIC R/W)

(DB. 18987 PG.1849)

SILT FENCE OUTLET STRUCTURE

TEMP. CONSTRUCTION

(BM2003 -00614)

(DB. 18987 PG.1849)

EXCEPTION #12

. PROPOSED PROPERTY LINE >

DANDY SACK INLET PROTECTION

SILT FENCE OUTLET

STRUCTURE

PROPOSED SILT FENCE ·

LIMITS OF DISTURBANCE -

LLBROOK LANDCO LLC PIN# 1758467822 (DB. 18104, PG. 920) (BM1996 -00187)

EIP 5/8"

REBAR /

Know what's below.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY

MATCHLINE ,

DANDY SACK INLET PROTECTION

DANDY SACK

INLET PROTECTION

DANDY SACK INLET PROTECTION

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EXISTING UTILITY NOTE:

0 10 20 SCALE: 1" = 20'

GRAND PARK PROPERTIES LLC

PIN# 1758571481 (BM1999 -01039)

IE=391.91'(FULL OF

PUMP STATION MHSS=394.95' ─ IE=389.97'(IN)

IE=390.05'(OUT)

IE=386.51'(BOTT. OF BOX)

A. P. A.

EROSION CONTROL PHASE III

SW+ PROJECT:

REVISION HISTORY

DRAWN BY: CHECKED BY: 10/30/23

ROCK PAD LENGTH 100 FEET ROCK PAD STONE SIZE D = 2-3 INCHES ABC STONE SIZE D = 1-1.5 INCHES

Temporary Construction Entrance

SIZE

6 INCHES

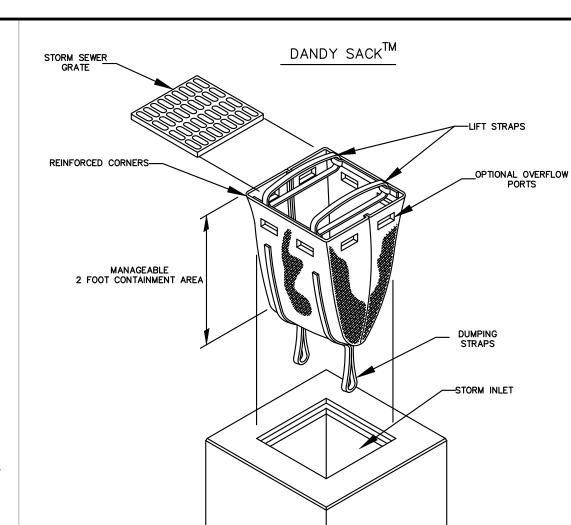
24 FEET

CONSTRUCTION ENTRANCE - INSPECTION & MAINTENANCE THE KEY TO FUNCTIONAL CONSTRUCTION ENTRANCES IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND

- REGULAR SEDIMENT REMOVAL AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK, WITH NO TIME PERIOD BETWEEN INSPECTIONS EXCEEDING 9 DAYS, AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE. IT IS RECOMMENDED THAT BMPS BE ASSESSED BY THE CONTRACTOR WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 1.0 INCH OR GREATER, AS WELL AS DURING THE FIRST RAIN EVENT AFTER THE INITIATION OF CONSTRUCTION ACTIVITIES, AFTER THE
- INSTALLATION OF BMPS. DURING REGULAR INSPECTIONS, CHECK FOR MUD AND SEDIMENT BUILDUP AND PAD INTEGRITY. INSPECTION FREQUENCIES MAY NEED TO BE MORE FREQUENT DURING LONG PERIODS OF WET WEATHER.
- 4. RESHAPE THE STONE PAD AS NECESSARY FOR DRAINAGE AND RUNOFF CONTROL
- WASH OR REPLACE STONES AS NEEDED AND AS DIRECTED BY SITE INSPECTOR. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE THE AMOUNT OF MUD BEING CARRIED OFF-SITE BY VEHICLES. FREQUENT WASHING WILL EXTEND THE USEFUL LIFE OF STONE PAD.
- 6. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO ADJACENT IMPERVIOUS SURFACES BY BRUSHING OR SWEEPING, FLUSHING SHOULD ONLY BE USED WHEN THE WATER CAN BE DISCHARGED TO A SEDIMENT TRAP
- 7. DURING MAINTENANCE ACTIVITIES, ANY BROKEN PAVEMENT SHOULD BE REPAIRED IMMEDIATELY.
- CONSTRUCTION ENTRANCES SHOULD BE REMOVED AFTER THE SITE HAS REACHED FINAL STABILIZATION. PERMANENT VEGETATION SHOULD REPLACE AREAS FROM WHICH CONSTRUCTION ENTRANCES HAVE BEEN REMOVED, UNLESS AREA WILL BE CONVERTED TO AN IMPERVIOUS SURFACE TO SERVE POST-CONSTRUCTION.

CONSTRUCTION ENTRANCE - GENERAL NOTES

- STABILIZED CONSTRUCTION ENTRANCES SHOULD BE USED AT ALL POINTS WHERE TRAFFIC WILL EGRESS/INGRESS A CONSTRUCTION SITE ONTO A PUBLIC ROAD OR ANY IMPERVIOUS SURFACES,
- SUCH AS PARKING LOTS. INSTALL A NON-WOVEN GEOTEXTILE FABRIC PRIOR
- TO PLACING ANY STONE INSTALL A CULVERT PIPE ACROSS THE ENTRANCE
- WHEN NEEDED TO PROVIDE POSITIVE DRAINAGE. THE ENTRANCE SHALL CONSIST OF 2-INCH TO 3-INCH D50 STONE PLACED AT A MINIMUM DEPTH OF
- 6-INCHES. MINIMUM DIMENSIONS OF THE ENTRANCE SHALL BE 24-FEET WIDE BY 100-FEET LONG, AND MAY BE MODIFIED AS NECESSARY TO ACCOMMODATE SITE CONSTRAINTS.
- THE EDGES OF THE ENTRANCE SHALL BE TAPERED OUT TOWARDS THE ROAD TO PREVENT TRACKING AT THE EDGE OF THE ENTRANCE.
- DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN OR OTHER SEDIMENT TRAPPING STRUCTURE
- 8. LIMESTONE MAY NOT BE USED FOR THE STONE PAD.



DANDY SACK™ **SPECIFICATIONS**

NOTE: THE DANDY SACK)™ WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

REGULAR FLOW DANDY SACK™ (BLACK)

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.78 (400) x 1.40 (315)
Grab Tensile Elongation	ASTM D 4632	%	15 x 15
Puncture Strength	ASTM D 4833	kN (lbs)	0.67 (150)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	5506 (800)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.67 (150) x 0.73 (165)
UV Resistence	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m²	2852 (70)
Permittivity	ASTM D 4491	(gal/min/ft²)	0.90

HI-FLOW DANDY SACK™ (SAFETY ORANGE)

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.62 (365) X 0.89 (200)
Grab Tensile Elongation	ASTM D 4632	%	24 X 10
Puncture Strength	ASTM D 4833	kN (lbs)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.51 (115) X 0.33 (75)
UV Resistence	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m²	5907 (145)
Permittivity	ASTM D 4491	(aal \$\forall \text{96in} / \text{ft}^2)	2.1

*Note: All Dandy Sack™can be ordered with our optional oil absorbent pillows

SCALE: NOT TO SCALE

STEEL POST WOVEN FILTER FABRIC -

<u>SPECIFICATION</u>

ROCK PAD THICKNESS

ROCK PAD WIDTH

SCALE: NOT TO SCALE

- 1. WOVEN FILTER FABRIC BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
- 2. STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
- 3. TURN SILT FENCE UP SLOPE AT ENDS.

AREAS OF CONCENTRATED FLOW.

- 4. DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
- 5. SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.62A NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

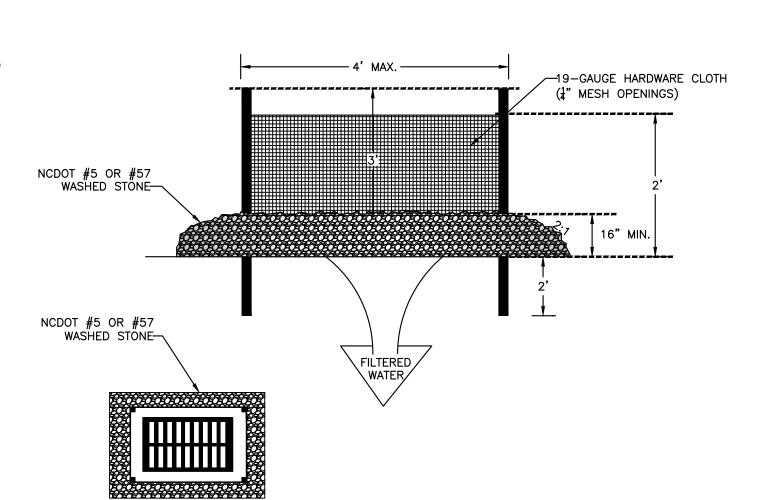
6. DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER

MAINTENANCE NOTES: 1. FILTER BARRIERS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY

- OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
- 2. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- 3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROX. HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

GENERAL NOTES:

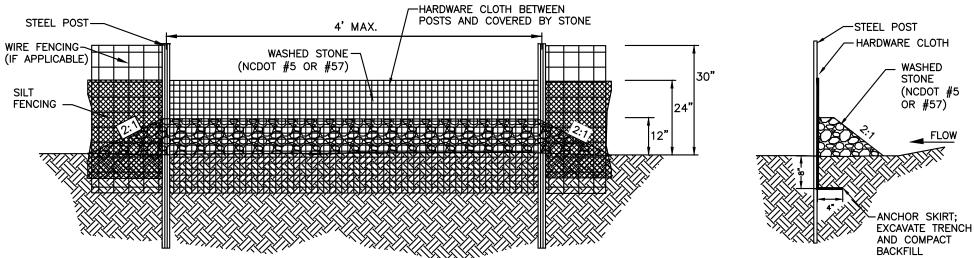
- 1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE
- 2. DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
- 3. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM, PLACING A 2-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
- 4. PLACE CLEAN GRAVEL (NC DOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
- 5. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
- 6. COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUNDCOVER.



Hardware Cloth and Gravel Inlet Protection SCALE: NOT TO SCALE

SCALE: NOT TO SCALE

Temporary Silt Fence



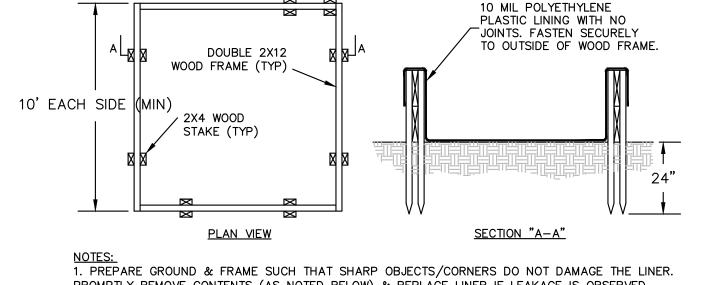
GENERAL NOTES:

- . SEDIMENT FILTER OUTLET HARDWARE CLOTH SHALL BE 24" HIGH AND STONE SHALL BE A MINIMUM OF 12" HIGH.
- 2. HARDWARE CLOTH SHALL BE ANCHORED TO THE STEEL POSTS SECURELY USING APPROPRIATE ANCHORS. HARDWARE CLOTH SHALL BE KEYED IN A MINIMUM OF 12 INCHES IN LENGTH AND BACKFILLED PROPERLY AS SHOWN IN ABOVE DETAIL. HARDWARE CLOTH TO BE SAME AS REINFORCED/HIGH HAZARD SILT FENCE (19 GAUGE, 1/4" SPACING).
- 3. POSTS SHALL BE NO MORE THAN 4 FEET APART.
- 4. SITE OUTLETS AT LOW AREAS IN CONJUNCTION WITH AND ALONG LONG RUNS OF SILT FENCE AT INTERVALS NO CLOSER THAN 100 FEET. DRAINAGE AREA TO OUTLETS SHALL NOT EXCEED 1/4 ACRE.
- 5. EQUIVALENT ALTERNATIVES MAY BE USED WITH PRIOR CITY APPROVAL

MAINTENANCE NOTES:

- 1. FILTER OUTLETS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
- 2. THE STONE SHALL BE REPLACED PROMPTLY AFTER ANY EVENT THAT HAS CLOGGED OR REMOVED IT.
- 3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OUTLET IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

FOR LATE WINTER AND FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE EARLY SPRING: AND 750 LB/ACRE 10-10-10 FERTILIZER **SEEDING MIXTURE:** RYE (GRAIN) - 120 LB/ACRE APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANNUAL LESPEDEZA (KOBE) - 50 LB/ACRE ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING (OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND BEYOND JUNE) REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE SEEDING DATES: JAN. 1 — MAY 1 FOR SUMMER: FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER SEEDING MIXTURE: GERMAN MILLET - 40 LB/ACRE (A SMALL-STEMMED SUDANGRASS MAY BE APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH SUBSTITUTED AT A RATE OF 50 LB/ACRE) ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING <u>SEEDING DATES</u>: MAY 1 — AUG. 15 REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE **SOIL AMENDMENTS:** FOR FALL: FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER **SEEDING MIXTURE:** RYE (GRAIN) - 120 LB/ACRE APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH SEEDING DATES: AUG. 15 — DEC 30 ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LB/ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/ACRE KOBE LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH. FOR ADDITIONAL INFORMATION, REFER TO NCDENR EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL (ESCPDM), SECTION 6.10. FOR PERMANENT SEEDING SPECIFICATIONS, INCLUDING SEED BED PREP, SEASONAL LIMITATIONS FOR SEEDING OPERATIONS, THE KINDS OF GRADES OF FERTILIZERS, THE KINDS OF SEED, AND THE RATES OF APPLICATION OF LIMESTONE, FERTILIZER, AND SEED, REFER TO NCDENR ESCPDM SECTION 6.11.



48"X24" WHITE PAINTED PLYWOOD SIGN WITH 6" HIGH LETTERS "CONCRETE WASHOUT"

STENCILED WITH BLACK PAINT.

PROMPTLY REMOVE CONTENTS (AS NOTED BELOW) & REPLACE LINER IF LEAKAGE IS OBSERVED. 2. LIQUID & CONCRETE DEBRIS SHALL BE REMOVED BY VACUUM TRUCK & LEGALLY DISPOSED UPON COMPLETION OF PROJECT OR ANYTIME WHEN LIQUID REACHES A LEVEL 8" BELOW THE TOP.

Temporary Seeding Schedule

SCALE: NOT TO SCALE

Concrete Washout Basin SCALE: NOT TO SCALE

CHECKED BY: **REVISION HISTORY**

SW+ PROJECT:

DRAWN BY:

10/30/23

EROSION CONTROL **DETAILS**

MOUNT PLEASANT, SC

843.884.1667

GREENVILLE, SC

864.298.0534

SUMMERVILLE, SC

843.972.0710

SPARTANBURG, SC

864.272.1272

CHARLOTTE, NC

980.312.5450

WWW.SEAMONWHITESIDE.COM

SEAMON,

WHITESIDE &

ASSOCIATES, INC. NO. C-2466

048282

NGINEER

C4.4

√ Silt Fence Outlet $ar{\hspace{0.1cm}/}$ SCALE: NOT TO SCALE

SELE-INSPECTION, RECORDIFIEDING AND REPORTING SECTION A: SELF-INSPECTION Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record. Inspect (during normal business hours) (1) Rain gauge Daily rainfall amounts If no daily rain gauge observations are made during weekend o good working holiday periods, and no individual-day rainfall information i available, record the cumulative rain measurement for those up ttended days (and this will determine if a site inspection i needed). Days on which no rainfall occurred shall be recorded a "zero." The permittee may use another rain-monitoring dev approved by the Division. (2) E&SC At least once pe 2. Date and time of the inspection, 7 calendar days and within 24 3. Name of the person performing the inspection. Indication of whether the measures were operating event ≥ 1.0 inch in Description of maintenance needs for the measure. Description, evidence, and date of corrective actions taken.
 Identification of the discharge outfalls inspected, (3) Stormwater At least once per discharge 7 calendar days outfalls (SDCs) and within 24 Date and time of the inspection, 3. Name of the person performing the inspection, hours of a rain 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 24 hours 5. Indication of visible sediment leaving the site, Description, evidence, and date of corrective actions taker 7 calendar days of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has lef hours of a rain the site limits, Description, evidence, and date of corrective actions taken, and An explanation as to the actions taken to control future stream has visible increased turbidity from the construction wetlands onsite 7 calendar days and within 24 activity, then a record of the following shall be made: Description, evidence and date of corrective actions taken, and hours of a rain event > 1.0 inch in | 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit. (6) Ground After each phase 1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing measures activity, construction or redevelopment, permanen ground cover).

Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as NOTE: The rain inspection resets the required 7 calendar day inspection requirement. shall not commence until the E&SC plan authority has approved these items,

SELF-INSPECTION, RECORDKEEPING AND REPORTING SECTION B: RECORDKEEPING

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

(a) Each E&SC measure has been installed Initial and date each E&SC measure on a copy locations, dimensions and relative elevations | and sign an inspection report that lists each E&SC measure shown on the approved E&SC shown on the approved E&SC plan. plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial (b) A phase of grading has been completed. Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the nstruction phase. (c) Ground cover is located and installed Initial and date a copy of the approved E&SC in accordance with the approved E&SC plan or complete, date and sign an inspection port to indicate compliance with approved ound cover specifications. (d) The maintenance and repair omplete, date and sign an inspection report. requirements for all E&SC measures

have been performed. e) Corrective actions have been taken Initial and date a copy of the approved E&S0 to E&SC measures. plan or complete, date and sign an inspection report to indicate the completion of the rrective action. 2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

(a) This General Permit as well as the Certificate of Coverage, after it is received.

(b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records. 3. Documentation to be Retained for Three Years All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

(a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal

(b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit, (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include

properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,

(d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above, (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

SELF-INSPECTION, RECORDKEEPING AND REPORTING THE NCG01 CONSTRUCTION GENERAL PERMIT

SECTION C: REPORTING 1. Occurrences that Must be Reported

Permittees shall report the following occurrences

(a) Visible sediment deposition in a stream or wetland.

 They are 25 gallons or more, They are less than 25 gallons but cannot be cleaned up within 24 hours, They cause sheen on surface waters (regardless of volume), or They are within 100 feet of surface waters (regardless of volume).

(c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.

(d) Anticipated bypasses and unanticipated bypasses.

(e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800)

Reporting Timeframes (After Discovery) and Other Requirements (a) Visible sediment • Within 24 hours, an oral or electronic notification. deposition in a • Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sedimentrelated causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions. (b) Oil spills and Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and hazardous location of the spill or release. substances per Item 1(b)-(c) above (c) Anticipated A report at least ten days before the date of the bypass, if possible ovpasses [40 CFR The report shall include an evaluation of the anticipated quality and L22.41(m)(3)] effect of the bypass. (d) Unanticipated Within 24 hours, an oral or electronic notification

bypasses [40 CFR . Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass. Within 24 hours, an oral or electronic notification Within 7 calendar days, a report that contains a description of the with the conditions of this permit that noncompliance, and its causes; the period of noncompliance, may endanger including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to environment[40 continue; and steps taken or planned to reduce, eliminate, and CFR 122.41(I)(7)] prevent reoccurrence of the noncompliance. [40 CFR 122.41(I)(6).

case-by-case basis.

Division staff may waive the requirement for a written report on a

NORTH CAROLINA

Environmental Quality

| EFFECTIVE: 04/01/19

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

Required Ground Stabilization Timeframes Stabilize within th many calendar Timeframe variations Site Area Description days after ceasing land disturbance (a) Perimeter dikes. swales, ditches, and None perimeter slopes (b) High Quality Water (HQW) Zones If slopes are 10' or less in length and are (c) Slopes steeper than not steeper than 2:1, 14 days are -7 days for slopes greater than 50' in length and with slopes steeper than 4:1 7 days for perimeter dikes, swales, (d) Slopes 3:1 to 4:1 ditches, perimeter slopes and HQW -10 days for Falls Lake Watershed 7 days for perimeter dikes, swales, itches, perimeter slopes and HQW Zones (e) Areas with slopes -10 days for Falls Lake Watershed unless flatter than 4:1 I there is zero slope Note: After the permanent cessation of construction activities, any areas with temporary

ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization Temporary grass seed covered with straw or
 Permanent grass seed covered with straw or other mulches and tackifiers other mulches and tackifiers Hydroseeding Geotextile fabrics such as permanent soil Rolled erosion control products with or reinforcement matting without temporary grass seed

Plastic sheeting

 Hydroseeding Appropriately applied straw or other mulch
 Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls

Permanent Stabilization

Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures

Apply flocculants at the concentrations specified in the NC DWR List of Approved

PAMS/Flocculants and in accordance with the manufacturer's instructions. Provide ponding area for containment of treated Stormwater before discharging

Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids. Provide drip pans under any stored equipment. Identify leaks and repair as soon as feasible, or remove leaking equipment from the
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible). Remove leaking vehicles and construction equipment from service until the problem

has been corrected. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum product

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

waters unless no other alternatives are reasonably available.

to a recycling or disposal center that handles these materials.

Never bury or burn waste. Place litter and debris in approved waste containers. Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes. Locate waste containers at least 50 feet away from storm drain inlets and surface

from upland areas and does not drain directly to a storm drain, stream or wetland. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers. Anchor all lightweight items in waste containers during times of high winds.

Locate waste containers on areas that do not receive substantial amounts of runoff

Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.

Dispose waste off-site at an approved disposal facility. 9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE Do not dump paint and other liquid waste into storm drains, streams or wetlands.

waters unless no other alternatives are reasonably available. Contain liquid wastes in a controlled area. Containment must be labeled, sized and placed appropriately for the needs of site.

Locate paint washouts at least 50 feet away from storm drain inlets and surface

Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.

Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace

EARTHEN STOCKPILE MANAGEMEN

with properly operating unit.

Show stockpile locations on plans. Locate earthen-material stockpile areas at leas 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably Protect stockpile with silt fence installed along toe of slope with a minimum offset of

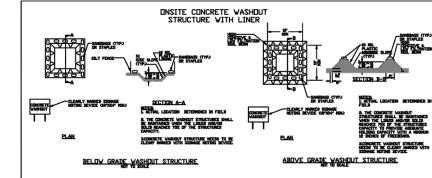
five feet from the toe of stockpile. Provide stable stone access point when feasible. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined

erosion on disturbed soils for temporary or permanent control needs.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

NORTH CAROLINA Environmental Quality

as vegetative, physical or chemical coverage techniques that will restrain accelerated



CONCRETE WASHOUTS

Do not discharge concrete or cement slurry from the site. Dispose of, or recycle settled, hardened concrete residue in accordance with local

and state solid waste regulations and at an approved facility. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.

Install temporary concrete washouts per local requirements, where applicable. If a alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.

Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.

Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.

Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.

Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location. Remove leavings from the washout when at approximately 75% capacity to limit

products, follow manufacturer's instructions. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout

overflow events. Replace the tarp, sand bags or other temporary structural

components when no longer functional. When utilizing alternative or proprietary

HERBICIDES, PESTICIDES AND RODENTICIDES Store and apply herbicides, pesticides and rodenticides in accordance with label

Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of

accidental poisoning. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.

HAZARDOUS AND TOXIC WASTE

Do not stockpile these materials onsite.

Create designated hazardous waste collection areas on-site. Place hazardous waste containers under cover or in secondary containment 3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

EFFECTIVE: 04/01/19



ASSOCIATES, INC.

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GREENVILLE, SC

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 $\mathsf{SUMMERVILLE}$, SC

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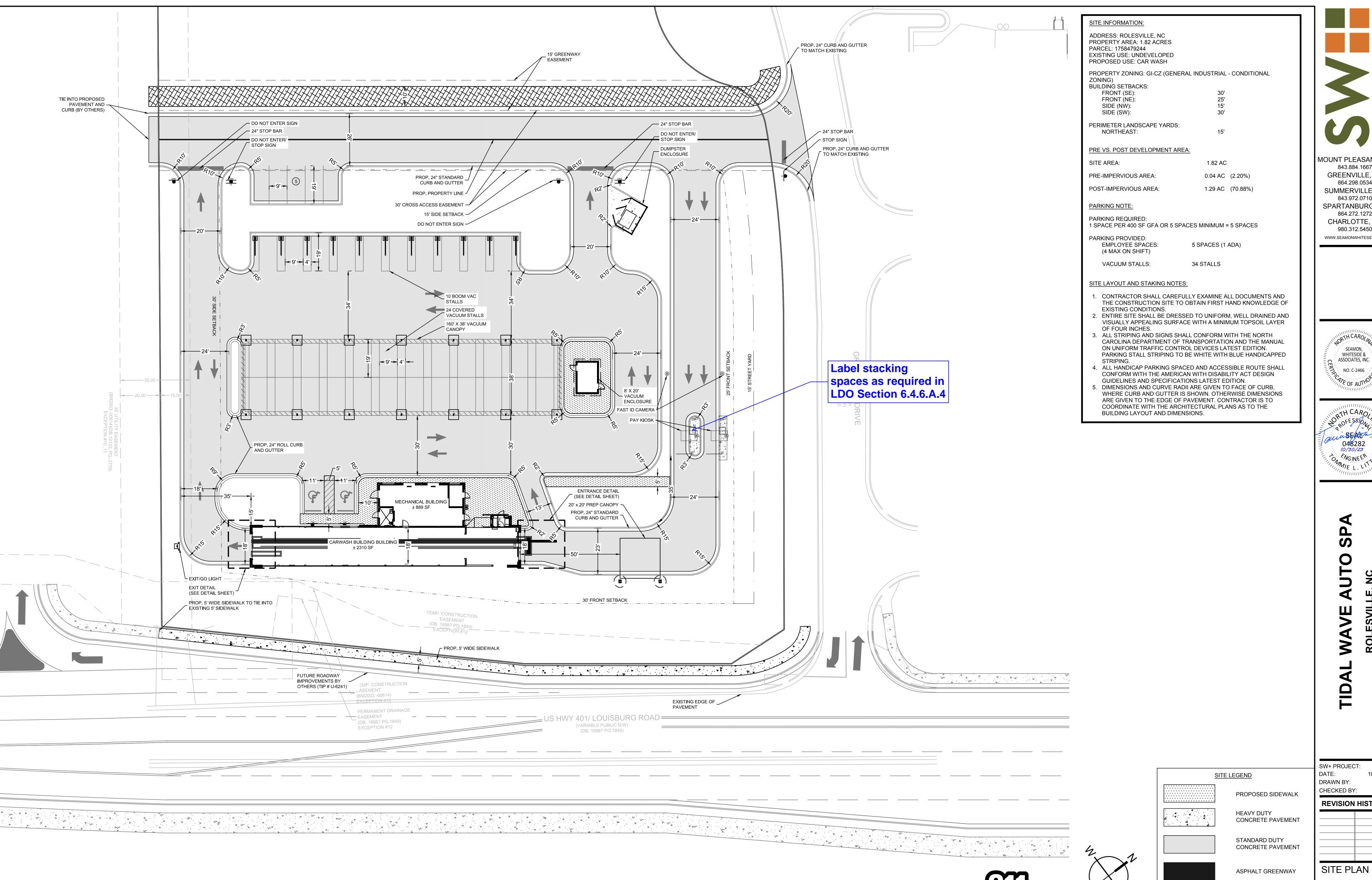
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REVISION HISTORY

EROSION CONTROL **DETAILS**

C4.5



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STOP SIGN DO NOT ENTER SIGN

SIGN

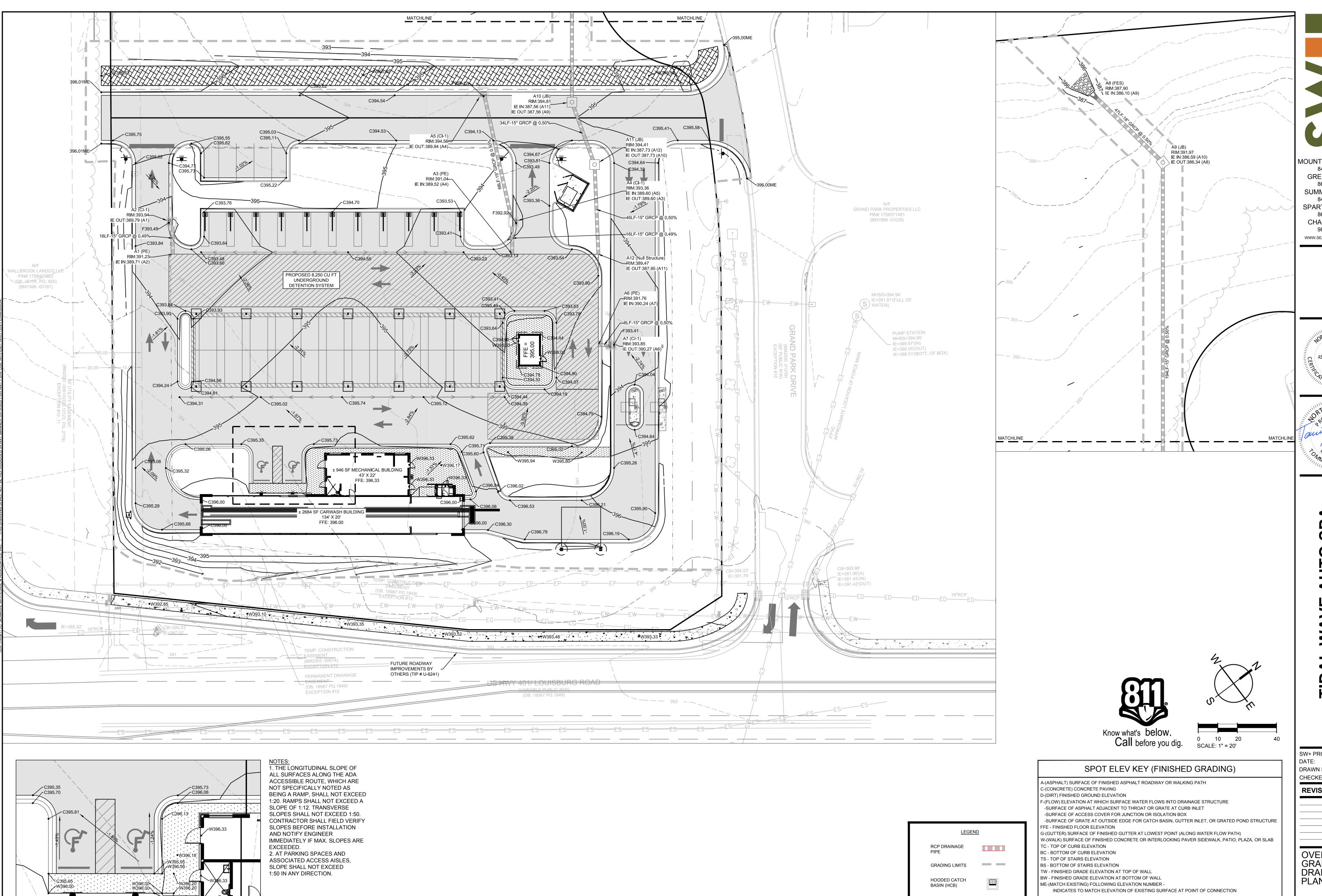
HANDICAP PARKING

Know what's below.
Call before you dig.

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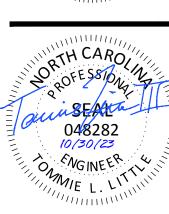
SCALE: 1" = 20'

C5.1



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REVISION HISTORY

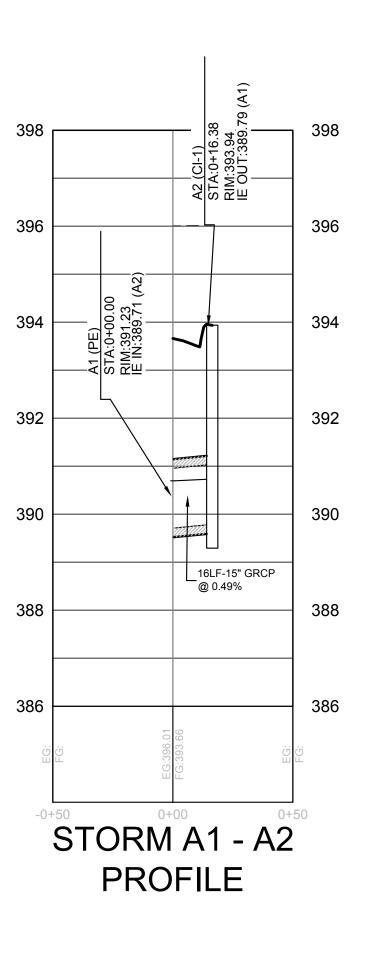
OVERALL GRADING AND

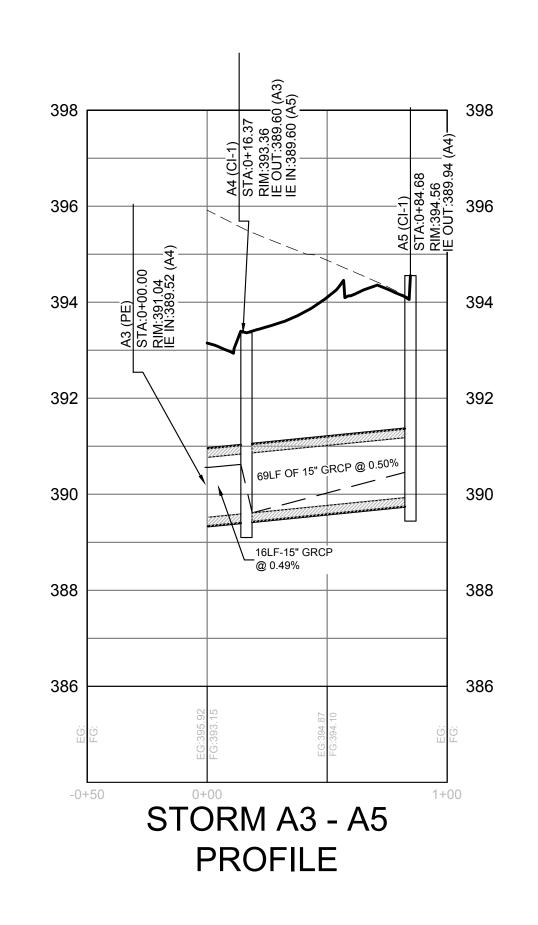
DRAINAGE PLAN

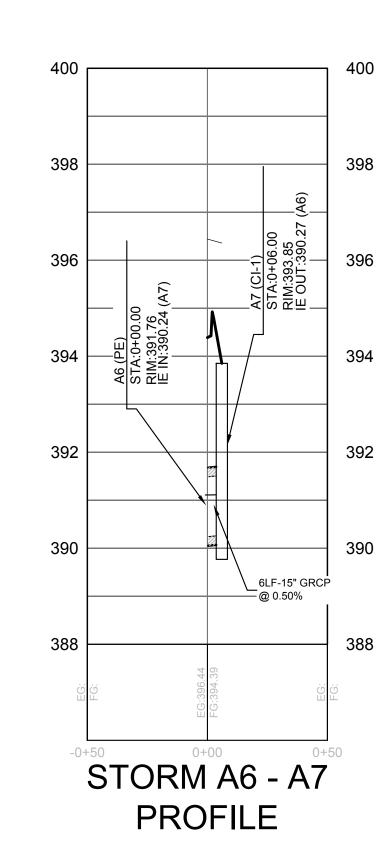
EXAMPLE: A12.56ME MEANS THAT THE SURFACE OF NEW ASPHALT IS TO BE AT ELEVATION 12.56 WHICH

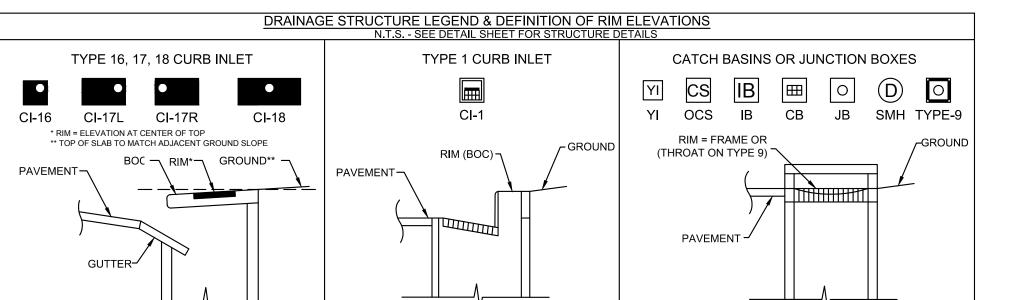
SHOULD MATCH THE ELEVATION OF THE EXISTING ASPHALT SURFACE AT THE JOINT

JUNCTION BOX

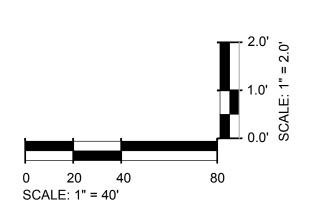






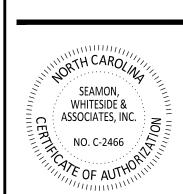






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SAL WAVE AUTO SPA

SW+ PROJECT: 10772
DATE: 10/30/23
DRAWN BY: CPE
CHECKED BY: DW.

REVISION HISTORY

DRAINAGE PROFILES

BACKFLOW PREVENTION NOTES

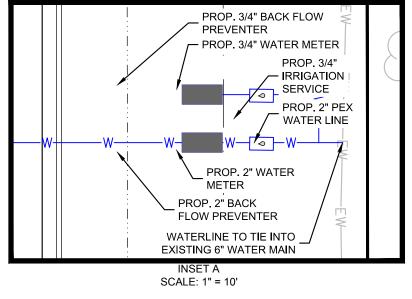
- L. REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY AS APPROVED BY TOWN OF ROLESVILLE AND INSTALLED BY CONTRACTOR DURING CONSTRUCTION. ASSEMBLY TO INSTALLED ABOVE GROUND WITHIN INSULATED ENCLOSURE PER TOWN OF ROLESVILLE REQUIREMENTS. ENCLOSURE TO BE LOCATED OUT OF SETBACK.
- 2. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS OR OTHER WATER USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS REQUIRED BACKFLOW PREVENTER.
- 3. EACH REQUIRED BACKFLOW PREVENTION ASSEMBLY IS REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE AND YEARLY THEREAFTER. SUBMIT PASSING TEST REPORTS TO TOWN OF ROLESVILLE. 4. DUCTILE IRON, COPPER, OR OTHER METALLIC PIPING (NO PVC) IS TO BE USED WITHIN 5 FEET OF ALL BACKFLOW PREVENTION
- 5. TAMPER SWITCHES SHALL BE INSTALLED ON THE FIRE LINE BACKFLOW PREVENTION. INSTALL 3/4" CONDUIT FROM FIRE LINE BACKFLOW ENCLOSURE/VAULT TO BUILDING ALARM SYSTEM INSIDE BUILDING. COORDINATE WITH ELECTRICAL DRAWINGS AND ALARM SYSTEM MANUFACTURER.

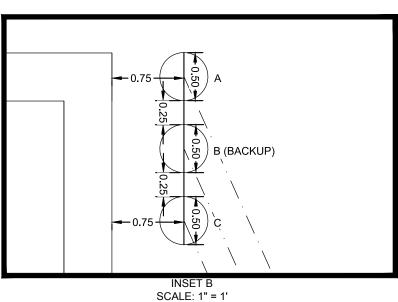
WATER SERVICE NOTES

- 1. 2" WATER METER FOR DOMESTIC SERVICE FURNISHED AND INSTALLED BY (CONTRACTOR/UTILITY) IN BELOW GRADE CONCRETE VAULT PREPARED BY CONTRACTOR IN ACCORDANCE WITH UTILITY DEPARTMENT STANDARDS. SEÉ DETAILS.
- 2. 3/4" WATER METER FOR IRRIGATION SERVICE FURNISHED AND INSTALLED BY (CONTRACTOR/UTILITY) IN BELOW GRADE CONCRETE VAULT PREPARED BY CONTRACTOR IN ACCORDANCE WITH UTILITY DEPARTMENT STANDARDS. SEE DETAILS.

STANDARD SEWER PLAN NOTES

- 1. FOR PROJECT SURVEY INFORMATION INCLUDING VERTICAL DATUM AND BENCHMARK LOCATIONS, SEE "PROJECT SURVEY INFORMATION AND CONTRACTOR VERIFICATION REQUIREMENTS" ON SHEET C1.0.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO TOPOGRAPHIC, TREE, STORM DRAINAGE FACILITIES, AND ALL UTILITIES. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ENGINEER. THEREFORE, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES. ANY DISCREPANCIES OR CONFLICTS IDENTIFIED DURING VERIFICATION OF EXISTING CONDITIONS AND UTILITIES SHALL BE REPORTED TO THE OWNER AND ENGINEER. ANY COSTS ASSOCIATED WITH CORRECTIVE WORK OR DAMAGES THAT ARE A RESULT OF THE CONTRACTOR NOT VERIFYING EXISTING CONDITIONS AND THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- 3. MANHOLE COVERS ARE NOT ALLOWED WITHIN CURB AND GUTTER AND ARE TO BE INSTALLED COMPLETELY WITHIN OR COMPLETELY OUT OF PAVED AREAS (INCLUDING SIDEWALKS).
- 4. SEWER MANHOLE CONES ADJACENT TO CURB AND/OR SIDEWALK RAMPS SHALL BE ROTATED TO LOCATE MANHOLE FRAME AND COVER AWAY FROM THE SIDEWALK RAMPS AND CURBS.
- 5. REFER TO THE SEWER AUTHORITY'S STANDARD NOTES, DETAILS, AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND PROCEDURES, INCLUDING WATERTIGHT MANHOLE LOCATIONS.
- 6. REFER TO SEWER DETAIL SHEETS AND SEWER PROFILE SHEETS FOR DETAILS AND ANY ADDITIONAL SEWER SYSTEM INFORMATION.

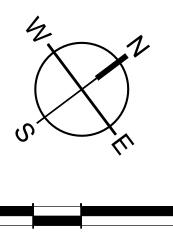




EXISTING UTILITY NOTE:

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.





SCALE: 1" = 20'

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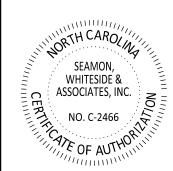


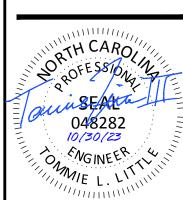
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UTILITY PLAN AND **PROFILES**

C7.1

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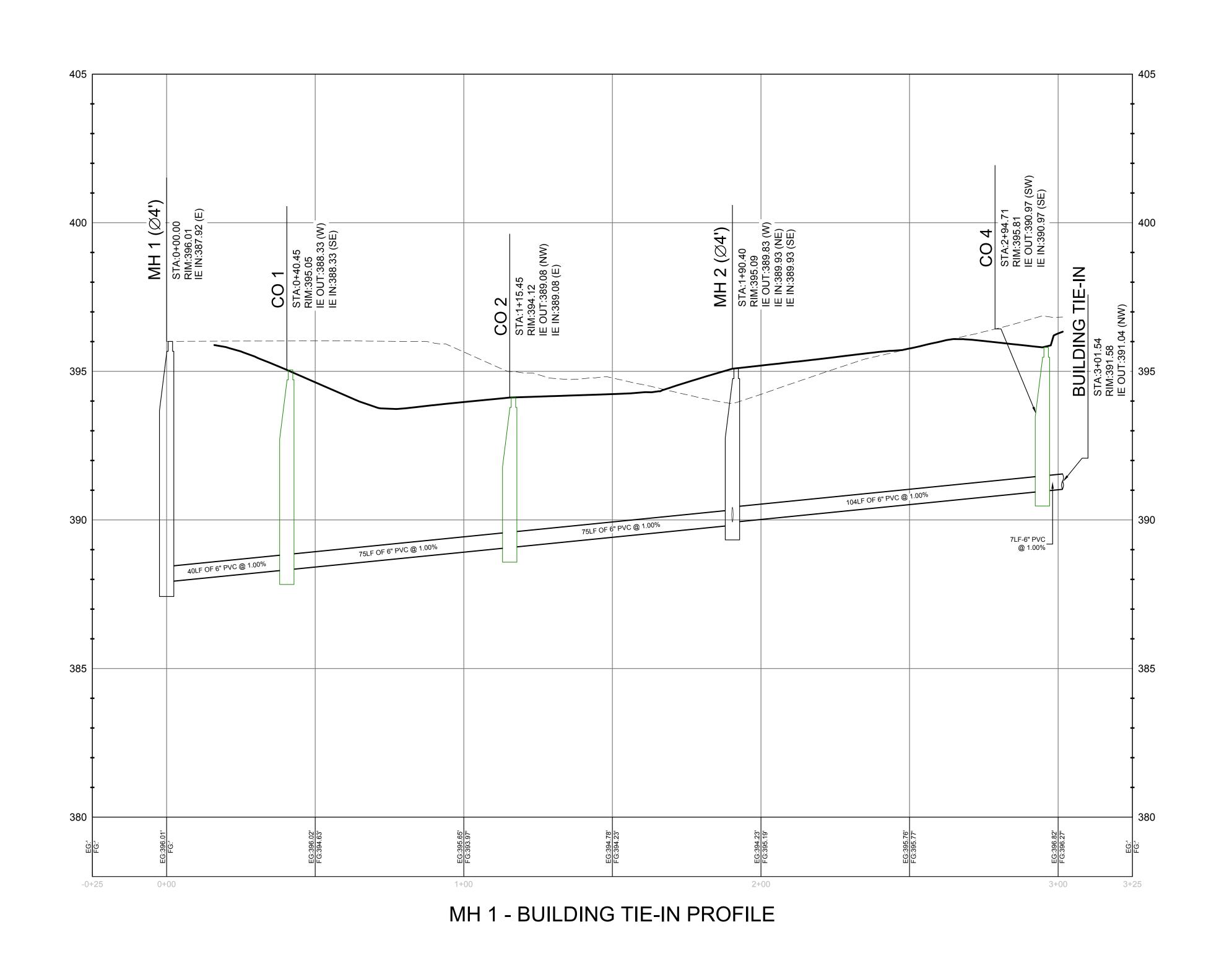


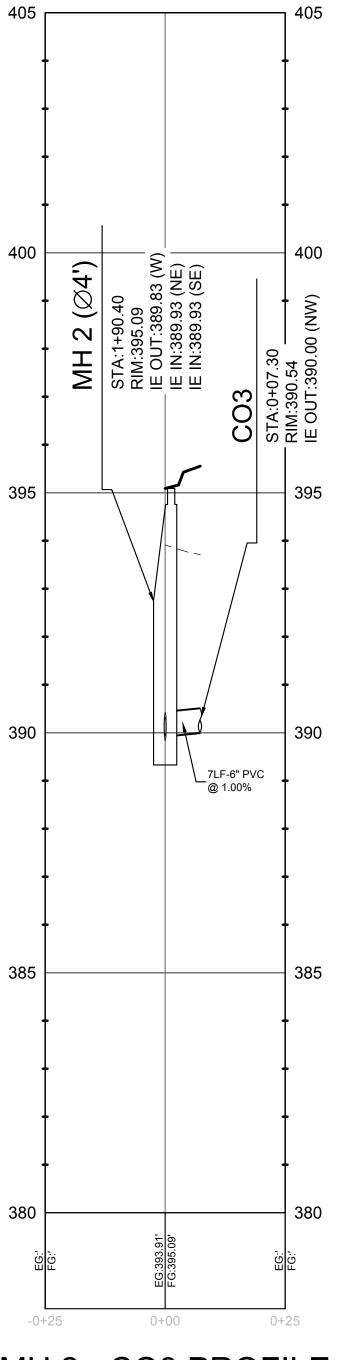
SW+ PROJECT: **REVISION HISTORY**

UTILITY PROFILES

Know what's below.

Call before you dig.



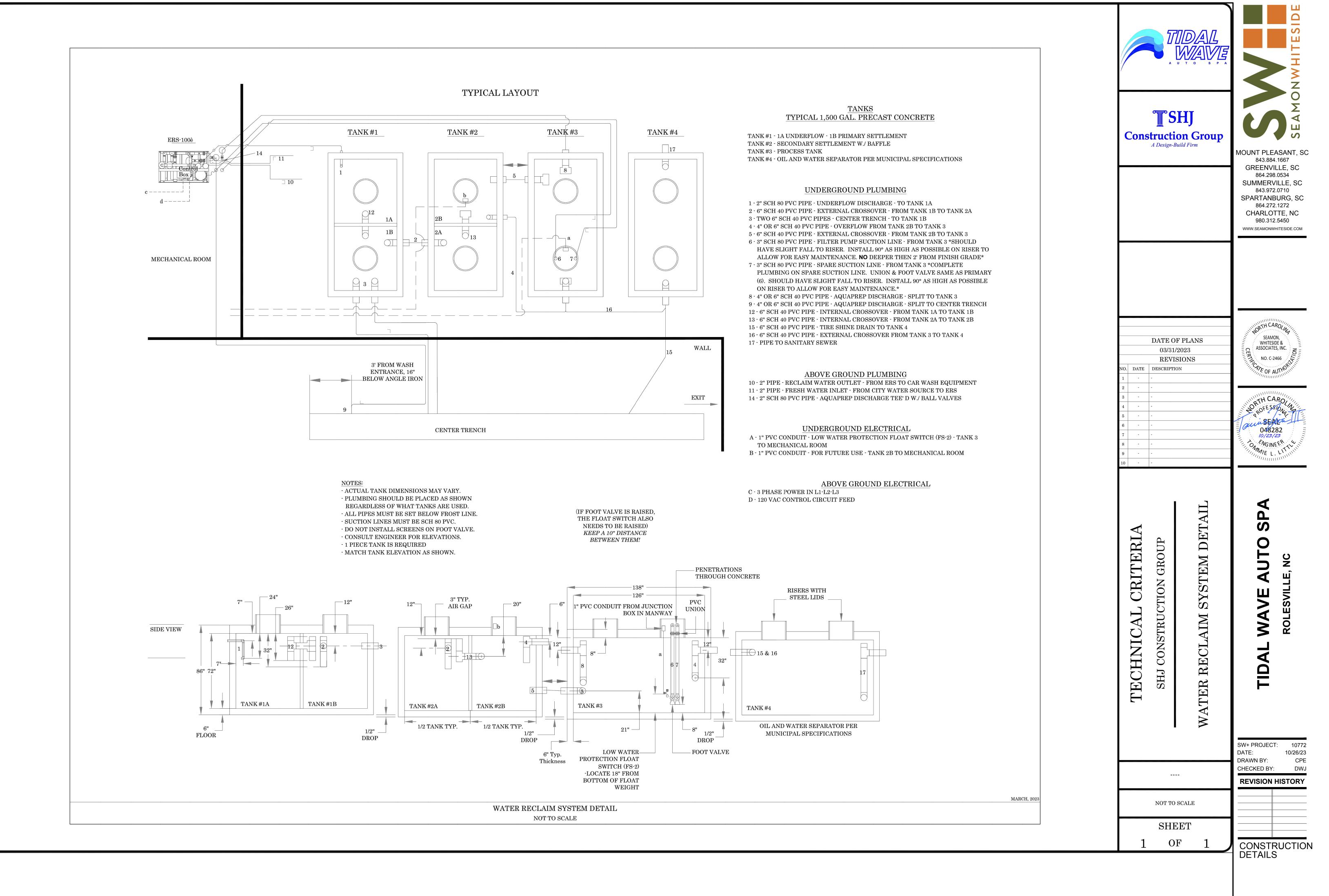


MH 2 - CO3 PROFILE

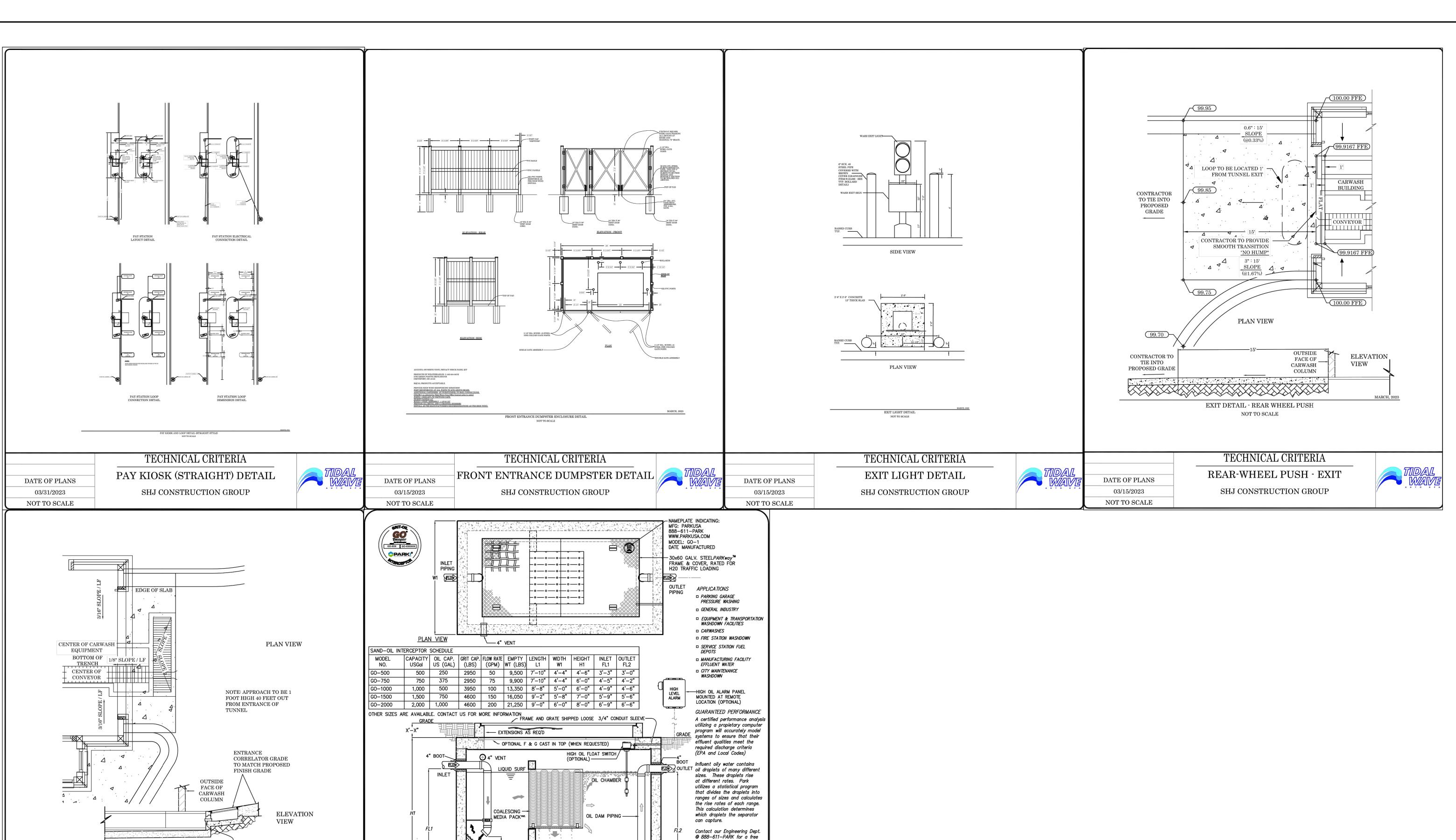
EXISTING UTILITY NOTE:

0 10 20 SCALE: 1" = 20'

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.
THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



C8.1



performance evaluation.

Trooper

Trooper

Grit Oil Interceptor

Grit Oil Interceptor Model GO

Sizes 500 thru 2000

DRN ENG DWG. NO.

3" PVC DRAIN FROM

RPCA CERTIFED PLANT

ELEVATION

Specifications

Engineering Data

CONCRETE:

DIFFUSION INLET
BAFFLE WEIR

Class I/II concrete with design strength of 4500 PSI at 28 days. Unit is of monolithic

with sectional riser to required depth.

REINFORCEMENT: Grade 60 reinforced with steel rebar conforming

Interceptor is structurally and hydraulically engineered conforming to Uniform Plumbing Code. Nominal total liquid capacity

and oil holding capacity as indicated. Recommended for flow rates

of 5 to 180 GPM (consult Park for proper sizing). Manufacturer

shall submit performance calculations for oil & water seperation certified by a licensed professional engineer. Field excavation and preparation shall be completed prior to delivery of interceptor.

resistant.

construction at floor and first stage of wall

to ASTM A615 on required centers or equal.

& lifting handles. All materials to be corrosion

1/4" thick nonskid floor plate, boltdown,

Access frame & cover shall be fabricated with min.

INT. COATING

PROJECT:

CUSTOMER:

ENGINEER:

ORDER #:

DATE 2018

GUARANTEED PERFORMANCE FOR CODE MAXIMUM OIL CONCENTRATION (SANITARY SEWER 400 PPM, STORM SEWER 15 PPM) © ParkUSA. ALL RIGHTS RESERVED.

— CORRELATOR PIT TO

CONVEYOR PIT

ENTRANCE DETAIL - REAR WHEEL PUSH

NOT TO SCALE

TECHNICAL CRITERIA

REAL-WHEEL PUSH - ENTRANCE

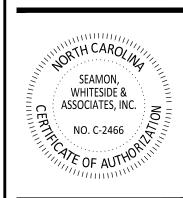
SHJ CONSTRUCTION GROUP

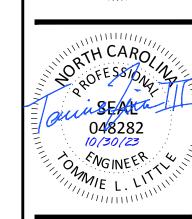
DATE OF PLANS

03/15/2023

NOT TO SCALE

MOUNT PLEASANT, SC 843.884.1667 GREENVILLE, SC 864.298.0534 SUMMERVILLE, SC 843.972.0710 SPARTANBURG, SC 864.272.1272 CHARLOTTE, NC 980.312.5450 WWW.SEAMONWHITESIDE.COM







SW+ PROJECT: 10/30/23 DRAWN BY: CHECKED BY: **REVISION HISTORY**

CONSTRUCTION DETAILS

C8.2

PREPARED SUBGRADE

ALTERNATE UPSLOPE SECTION

10' MULTI-USE PATH SECTION

(11) SCALE: NOT TO SCALE

TYPICAL DOWNSLOPE SECTION

24" ROLL CURB AND GUTTER
SCALE: NOT TO SCALE

1. ALL MARKINGS SHALL BE PAINT.

SCALE: NOT TO SCALE

2. ALL MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH

CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

N.C.D.O.T. STANDARD SPECIFICATIONS AND NORTH

PAVEMENT-MARKING

MOUNT PLEASANT, SC 843.884.1667 GREENVILLE, SC 864.298.0534 SUMMERVILLE, SC 843.972.0710 SPARTANBURG, SC 864.272.1272 CHARLOTTE, NC 980.312.5450 WWW.SEAMONWHITESIDE.COM SEAMON, WHITESIDE & ASSOCIATES, INC. NO. C-2466 048282

*NGINEER XX

RESERVED

PARKING

VAN

CCESSIBLE

----FACE

CAST-IN-PLACE

AND GUTTER

L CONCRETE CURB

BOTTOM OF

LOWEST SIGN

CONSTRUCTION

C8.3

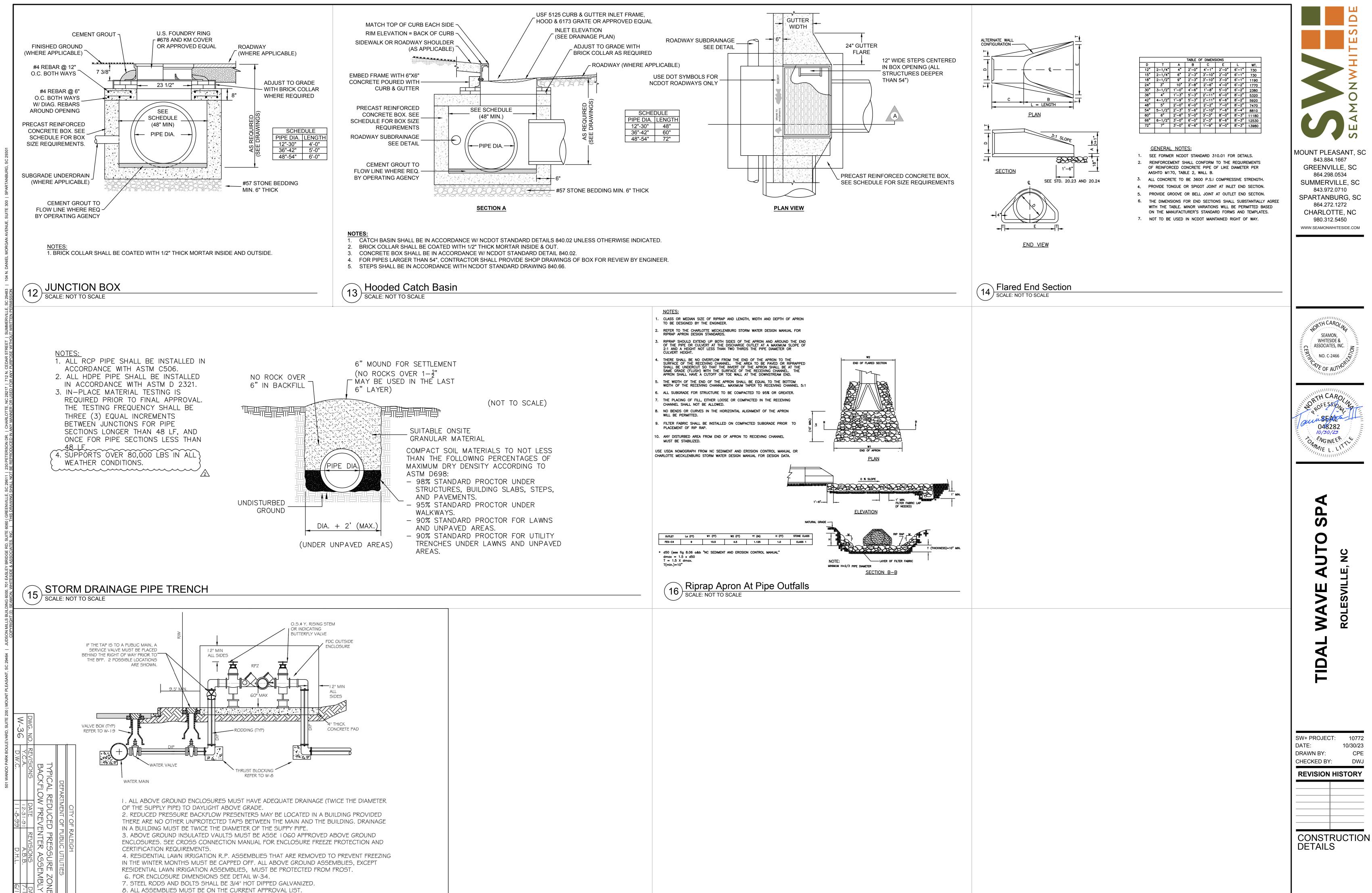
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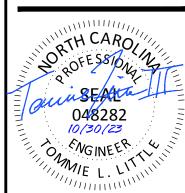
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DETAILS

REVISION HISTORY



C8.4

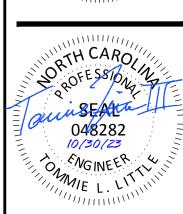


10/30/23

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FIDAL WAVE AUTO SPA

SW+ PROJECT: 10772
DATE: 10/30/23
DRAWN BY: CPE
CHECKED BY: DWJ

REVISION HISTORY

CONSTRUCTION DETAILS

GENERAL NOTES:

- 1. SEE EROSION CONTROL PLANS PLANS [SHEETS C4.1 C4.3] FOR SILT FENCE LOCATIONS, TREE PROTECTION ZONES AND BARRICADES, AND ADDITIONAL NOTES AND DETAILS.
- 2. FOR TREE REMOVALS, PLEASE REFER TO SHEETS C3.1.
- 3. FOR REQUIRED TREE MITIGATION AND DEVELOPMENT INCHES PER THE TOWN OF ROLESVILLE ZONING ORDINANCE, PLEASE REFER TO SHEET L1.1 FOR PLANT SCHEDULE QUANTITY AND SIZES.
- 4. THE OVERALL PLANT QUANTITY FOR THE ENTIRE SITE CAN BE FOUND ON THE MASTER PLAN SCHEDULE,
- 5. SEE SITE PLAN [C_{5.1}] FOR SITE LABELS, INFORMATION AND DETAILS. 6. CONTRACTOR TO CONTACT CIVIL ENGINEER OR LANDSCAPE ARCHITECT REGARDING ANY SITE WORK MODIFICATIONS FROM THESE PLANS PRIOR TO CHANGES IN THE FIELD. CONTACT: 980-312-5450

	US HWY 401 / LOUISI	BURG ROAD (317 LF)	
	STREET BUFFER	PLANTINGS REQUIRED	PLANTINGS PROVIDED
MINIMUM BUFFER WIDTH	30' MIN.		
CANOPY TREE	1*	1	1
UNDERSTORY TREE	2*	14	14

*ALL PLANT COUNTS ARE FOR 40' SECTION.

GRAND PARK	DRIVE (275 LF)	
STREET BUFFER	PLANTINGS REQUIRED	PLANTINGS PROVIDED
10' MIN.		

*ALL PLANT COUNTS ARE FOR 60' SECTION. **SOME EXISTING TREES USED TO MEET REQUIREMENTS

OPEN SPACE

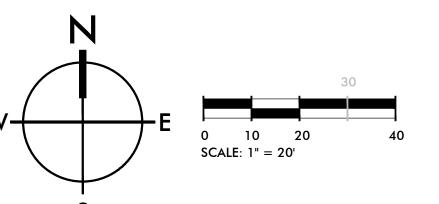
SITE AREA = 79,279.2 SF OPEN SPACE REQUIREMENTS = 5% OF TOTAL SITE AREA OPEN SPACE REQUIRED = 3,964 SF OPEN SPACE PROVIDED = 4,000 SF

Existing vegetation must be properly represented on the existing conditions plan sheet and the TPF and CRZ shown on the demolition and grading sheets.

TREES	CODE	QTY	BOTANICAL / COMMON NAME
Φ	ACRO	3	ACER RUBRUM `OCTOBER GLORY` TM / OCTOBER GLORY MAPLE
Jan O Cock	ULMP	6	ULMUS PARVIFOLIA / CHINESE ELM
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME
+	CERO	2	CERCIS CANADENSIS 'OKLAHOMA' / OKLAHOMA REDBUD
- 3000000000000000000000000000000000000	CHIV	7	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE
	MAGS	5	MAGNOLIA X SOULANGIANA / SAUCER MAGNOLIA
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
\odot	ABES	33	ABELIA X GRANDIFLORA `SHERWOODII` / DWARF ABELIA
\odot	AZAF	22	AZALEA INDICA `FORMOSA` / FORMOSA AZALEA
	ILCB	30	ILEX CORNUTA `BURFORDII NANA` / DWARF BURFORD HOLLY
+	LCRR	27	LOROPETALUM CHINENSE RUBRUM `RUBY` / DWARF RUBY FRINGE FLOWER
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME
+	MUHL	54	MUHLENBERGIA FILIPES / SWEETGRASS
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	LMBB	422	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME
	SOD2	27,213 SF	CYNODON DACTYLON `TIFTUF` / TIFTUF BERMUDA GRASS

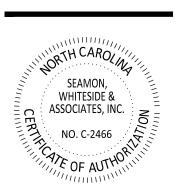
TIDAL WAVE LANDSCAPE NOTES

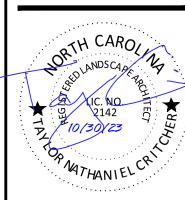
- 1. ALL DISTURBED AREAS NOT COVERED BY STRUCTURES, PAVING OR LANDSCAPING SHALL BE SODDED. NO SEEDING SHALL BE USED.
- ALL PLANT BEDS SHALL BE UNDERLAIN WITH LANDSCAPING FABRIC AND HAVE 3" OF DYED BROWN OR BLACK WOOD MULCH WITH EDGING AS REQUIRED. NO PINE STRAW MULCH WILL BE ALLOWED.
- ALL RIVER ROCK SHALL BE 4"-6" MINIMUM IN DIAMETER AND SHALL BE UNDERLAIN WITH LANDSCAPING FABRIC.
- AN UNDERGROUND IRRIGATION SYSTEM, SHALL BE INSTALLED AND SHALL COMPLY WITH ALL LOCAL MUNICIPAL CODES AND REGULATIONS AND ALSO COMPLY WITH THE LATEST NATIONAL ELECTRIC CODE RULES FOR ALL ELECTRIC WORKS AND MATERIALS.
- 5. IF THERE IS NO PLANT BED AGAINST THE CAR WASH TUNNEL, VAC HOUSE(S), OR DUMPSTER ENCLOSURE, THEN THERE SHALL BE A 18 INCH MINIMUM STRIP OF RIVER ROCK INSTALLED.





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REVISION HISTORY

LANDSCAPE PLAN

L1.0

STRUCTURES. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VERIFY THAT EACH EXCAVATED TREE OR SHRUB PIT WILL PERCOLATE (DRAIN) PRIOR TO ADDING TOPSOIL AND INSTALLING TREES OR SHRUBS. THE LANDSCAPE CONTRACTOR SHALL FILL THE BOTTOM OF HOLES WITH SIX (6) INCHES OF WATER. THIS WATER SHOULD PERCOLATE WITHIN A TWENTY-FOUR (24) HOUR PERIOD. IF WATER DOESN'T PERCOLATE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLING PLANTS.

SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PANS, STEAM OR OTHER UTILITY LINES OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS, THE LANDSCAPE CONTRACTOR MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS. OTHERWISE, THE LANDSCAPE

PLANTS TO BE INSTALLED. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYOUT OF PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER

CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE FOR PROPER GROWTH AND DEVELOPMENT OF THE

PLANT MATERIAL QUANTITIES PROVIDED IN THE PLANT SCHEDULE ARE FOR REFERENCE ONLY AND THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE ACTUAL PLANT MATERIAL COUNTS. DISCREPANCIES BETWEEN QUANTITIES SHOWN ON THE PLANTING PLAN AND THOSE IN THE PLANT SCHEDULE SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. IF CLARIFICATION OF DISCREPANCIES FROM THE LANDSCAPE ARCHITECT IS

NOT POSSIBLE, THEN QUANTITIES SHOWN ON THE PLANTING PLAN SHALL TAKE PRECEDENCE. REQUIREMENTS FOR THE MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING AND BURLAPPING OF PLANTS IN THE PLANT LIST SHOULD FOLLOW OR EXCEED THE STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN THE AMERICAN STANDARD FOR NURSERY STOCKS (ANSI Z-60.1). UNLESS OTHERWISE SPECIFIED, ANY SIZE SPECIFIED SHALL BE CONSIDERED MINIMUM. MINIMUMS FOR HEIGHT, SPREAD, OR CALIPER SHALL TAKE PRECEDENT OVER A SPECIFIED CONTAINER SIZE.

ALL PLANTS SHALL HAVE A WELL FORMED HEAD WITH MINIMUM CALIPER, HEIGHT AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES. MEASUREMENT OF CONIFER HEIGHT SHALL INCLUDE NOT MORE THAN FIFTY (50) PER CENT OF THIS YEARS' VERTICAL

GROWTH (TOP CANDLE). NO EXCAVATION OR PLANTING PIT SHALL BE LEFT UNATTENDED OVERNIGHT. 12. REMOVE BURLAP/STRAPPING AND WIRE BASKET FROM TOP 1/3 OF ROOT BALL ON TREES.

13. REMOVE PAPER, PLASTIC OR METAL AROUND ROOT BALLS OF SHRUBS.

14. DO NOT WRAP TREES.

15. WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING.

16. TREE GUYING MATERIAL SHALL BE 'ARBOR-TIE' OR EQUIVALENT. 17. ALL PLANT BEDS TO BE MULCHED WITH 4" OF DOUBLE SHREDDED HARDWOOD MULCH UNLESS OTHERWISE SPECIFIED. 18. ALL AREAS OF PLANTING. INCLUDING AREAS OF GRASS SEEDING AND SOD. SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AND SHALL BE PROVIDED APPROPRIATE SOIL FOR THE PROPOSED PLANTINGS, SEE SOIL NOTES.

ALL EXISTING VEGETATION WITHIN AREAS TO BE PLANTED, SODDED AND/OR SEEDED SHALL BE REMOVED PRIOR TO PLANTING, SODDING, AND SEEDING. ALL AREAS INDICATED TO BE GRASS SEED SHALL BE SEEDED PER GRASSING SPECIFICATIONS FOR PERMANENT STABILIZATION. . ALL DISTURBED AREAS NOT SPECIFICALLY CALLED OUT ON THIS PLAN SHALL BE SEEDED PER THE PROVIDED SEEDING

SCHEDULE. ALL DISTURBED NATURAL AREAS SHALL BE MULCHED (SEE MULCH SPECIFICATIONS). DRAINAGE TO BE PROVIDED FOR ALL ABOVE GROUND PLANTERS.

PLANTINGS SHALL BE PRUNED TO CONFORM WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO THE CITY, COUNTY, STATE AND FEDERAL REQUIREMENTS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE SITE AT THE COMPLETION OF THE PROJECT AND SHALL MAINTAIN THE SITE IN A REASONABLY NEAT AND CLEAN STATE THROUGHOUT THE INSTALLATION PROCESS. STREETS AND PAVED AREAS SHALL BE CLEANED REGULARLY TO REMOVE CONSTRUCTION MATERIALS AND

OTHER DEBRIS RESULTING FROM WORK OF THE PROJECT. REPLACEMENTS OF DEAD OR UNSATISFACTORY MATERIAL SHALL BE MADE AS SPECIFIED IN THE PLANT LIST. THE OWNER OR LANDSCAPE ARCHITECT SHALL INSPECT REPLACED PLANTS WHEN ALL REPLACEMENTS HAVE BEEN MADE. REPLACEMENTS ARE TO BE ALIVE AND IN A HEALTHY CONDITION WHEN THE REPLACEMENTS ARE COMPLETE. REPLACEMENTS ARE NOT SUBJECT TO AN ADDITIONAL GUARANTEE, BUT THE LANDSCAPE CONTRACTOR SHALL CONSULT

WITH THE LANDSCAPE ARCHITECT ON REASON FOR PLANT DECLINE/DEATH AND HOW TO AVOID FUTURE INSTANCES. SHOULD THE LANDSCAPE CONTRACTOR NOT MAKE REPLACEMENTS IN A SATISFACTORY AND TIMELY FASHION IN ACCORD WITH THE PLANTING NOTES, THE OWNER, AFTER PROPER NOTIFICATION TO THE LANDSCAPE CONTRACTOR MAY UTILIZE THE FUNDS OF THE RETAINAGE TO HAVE THE REPLACEMENTS MADE IN ACCORDANCE WITH THE SPECIFICATIONS BY ANOTHER CONTRACTOR.

FOR EACH UNAMENDED SOIL TYPE, FURNISH SOIL ANALYSIS AND A WRITTEN REPORT BY A QUALIFIED SOIL-TESTING LABORATORY STATING PERCENTAGES OF ORGANIC MATTER; GRADATION OF SAND, SILT, AND CLAY CONTENT; CATION EXCHANGE CAPACITY; SODIUM ABSORPTION RATIO; DELETERIOUS MATERIAL; BUFFER PH LEVELS; AND MINERAL AND PLANT-NUTRIENT CONTENT OF THE SOIL.

A MINIMUM OF THREE REPRESENTATIVE SAMPLES SHALL BE TAKEN FROM VARIED LOCATIONS FOR EACH SOIL TO BE USED OR AMENDED FOR PLANTING PURPOSES.

LANDSCAPE CONTRACTOR SHALL SUBMIT TO LANDSCAPE ARCHITECT THE LAB RECOMMENDATIONS FOR SOIL TREATMENTS AND SOIL AMENDMENTS TO BE INCORPORATED. INDICATE LAB RECOMMENDATIONS IN WEIGHT PER 1000 SQ. FT. OR VOLUME PER CU. YD. FOR NITROGEN, PHOSPHORUS, AND POTASH NUTRIENTS AND ORGANIC AND INORGANIC SOIL AMENDMENTS TO BE ADDED TO PRODUCE PLANTING SOIL SUITABLE FOR HEALTHY, VIABLE PLANTS. ALL SOILS USED FOR PLANTING SHALL BE PREPARED AS NECESSARY USING ORGANIC AND INORGANIC SOIL AMENDMENTS DEPTH VARIES. (SEE AND FERTILIZERS IN THE QUANTITIES RECOMMENDED IN THE SOIL ANALYSIS REPORT TO PRODUCE SATISFACTORY PLANTING SOIL FOR HEALTHY, VIABLE PLANTS. PLANTING SOILS SHALL HAVE A PH LEVEL BETWEEN 6.0 AND 7.0. IN ALL PLANTING AREAS, SPREAD PLANTING SOIL TO A DEPTH OF 8 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT.

LANDSCAPE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF PROPOSED IRRIGATION SYSTEM TO LANDSCAPE ARCHITECT AND OWNER FOR ACCEPTANCE. LANDSCAPE CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEMS. COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, RAIN SENSOR, AND CLOCK AND TO PROVIDE 100% HEAD TO HEAD COVERAGE OF ALL NEW SODDED AND IMPROVED EXISTING GRASS AREAS, TREES, SHRUBS

AND PLANTING BEDS. COORDINATE IRRIGATION WITH OWNER'S REPRESENTATIVE. LANDSCAPE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR AUTOMATIC IRRIGATION SYSTEMS. LANDSCAPE CONTRACTOR SHALL PROVIDE ELECTRIC METER. BACKFLOW PREVENTER AND SERVICE IN ACCORDANCE WITH STATE AND LOCAL CODES FOR IRRIGATION SYSTEM. LOCATION OF METERS AND CONTROL PANELS FOR IRRIGATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. COORDINATE WATER METER REQUIREMENTS WITH

CIVIL ENGINEER. LANDSCAPE CONTRACTOR TO PROVIDE DRIP IRRIGATION TO ALL ABOVE GROUND PLANTERS. IRRIGATION LINE TO BE INSTALLED BENEATH ADJACENT HARDSCAPE AS NECESSARY.

IRRIGATION PIPING, SPRINKLERS, AND OTHER EQUIPMENT MAY BE SHOWN OUTSIDE OF LANDSCAPE AREAS ON DRAWING FOR GRAPHIC CLARITY. ALL VALVE BOXES AND EQUIPMENT VAULTS SHALL BE LOCATED IN MULCH BEDS. NO IRRIGATION COMPONENTS, INCLUDING BUT NOT LIMITED TO, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTERS, AND/OR RAIN SENSORS ARE ALLOWED TO BE INSTALLED WITHIN DEPARTMENT OF TRANSPORTATION

PLANT SCHEDULE NOTES

THE TECHNICAL SPECIFICATIONS ARE MADE A PART OF THESE PLANS AND SHALL BE CONSULTED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE TECHNICAL SPECIFICATIONS AND ON THESE PLANS. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THIS OFFICE OF ANY DISCREPANCIES PRIOR TO BEGINNING OR CONTINUING

THERE WILL BE NO SUBSTITUTIONS, DELETIONS OR ADDITIONS WITHOUT APPROVAL OF THIS OFFICE. SIZE OF PLANT MATERIALS SHALL CONFORM WITH THE CURRENT EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK' FOR NUMBER ONE GRADE NURSERY STOCK AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND

RF = REFOLIATED

TYP = TYPICAL

SP = SPECIMEN MATERIAL

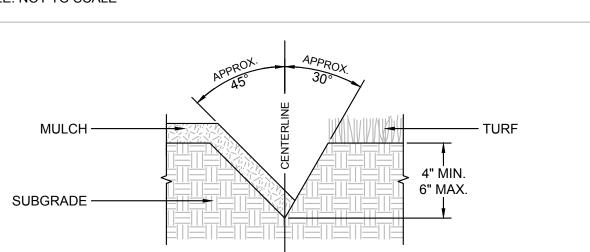
TF = TREE FORM HABIT

AMERICAN NATIONAL STANDARDS INSTITUTE. THE QUANTITIES ON THE SCHEDULE ARE ONLY A GUIDE. ALL QUANTITIES SHALL BE VERIFIED BY THE LANDSCAPE CONTRACTOR ON THE PLANTING PLAN.

BR = BARE ROOT MATERIAL ESP = ESPALIER CAL = TRUNK CALIPER (MIN)

B&B = BALLED & BURLAPPED CT = CLEAR TRUNK GAL = GALLON CONTAINER HC = HURRICANE CUT FTG = FULL TO GROUND MS = MULTI-STEMMED TRUNK CON = CONTAINERIZED MATERIAL FWF = FULL WELL FORMED OC = ON-CENTER

Landscape Notes SCALE: NOT TO SCALE



1. SEE LANDSCAPE NOTES AND SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

2. EXCAVATE TRENCH BY HAND WITH SPADE. 3. ADD EXCESS SOIL TO ADJACENT PLANT BED AFTER PULLING BACK EXISTING MULCH. RAKE SOIL AND

SMOOTH BEFORE MULCHING.

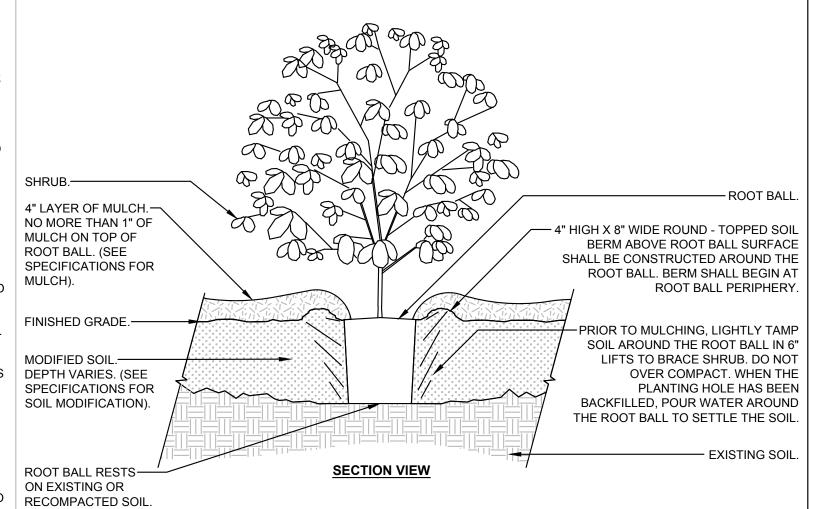
Lawn Edge Detail SCALE: NOT TO SCALE

 SINGLE CENTRAL LEADER **ROOT BALL SURFACE SHALL BE** POSITIONED TO BE ONE - QUARTER ABOVE FINISHED GRADE TRUNK CALIPER SHALL MEET ANSI Z60 — CURRENT EDITION FOR ROOT BALL SIZE. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER ROOT BALL MODIFIED AS REQUIRED.— COMPACT, WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR ROUND-TOPPED SOIL BERM 4" HIGH X 8" WATER AROUND THE ROOT BALL TO WIDE ABOVE ROOT BALL SURFACE SHALL SETTLE THE SOIL. BE CONSTRUCTED AROUND THE ROOT — BALL. BERM SHALL BEGIN AT ROOT BALL 4" LAYER OF MULCH. NO MORE THAN PERIPHERY. —1" OF MULCH ON TOP OF ROOT BALL. (SEE SPECIFICATIONS FOR MULCH). EXISTING SITE SOIL ADDED TO CREATE A SMOOTH TRANSITION FROM THE TOP OF — ORIGINAL GRADE THE RAISED ROOT BALL TO THE FINISHED GRADE AT A 15% MAX. SLOPE. FINISHED GRADE -EXISTING SOIL LOOSENED SOIL **BOTTOM OF ROOT BALL** DIG AND TURN THE SOIL TO RESTS ON EXISTING OR 3X WIDEST DIMENSION OF ROOT BALL. REDUCE COMPACTION TO THE RECOMPACTED SOIL. AREA AND DEPTH SHOWN.

1. SEE LANDSCAPE NOTES AND SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL

Tree in Poorly Drained Soil

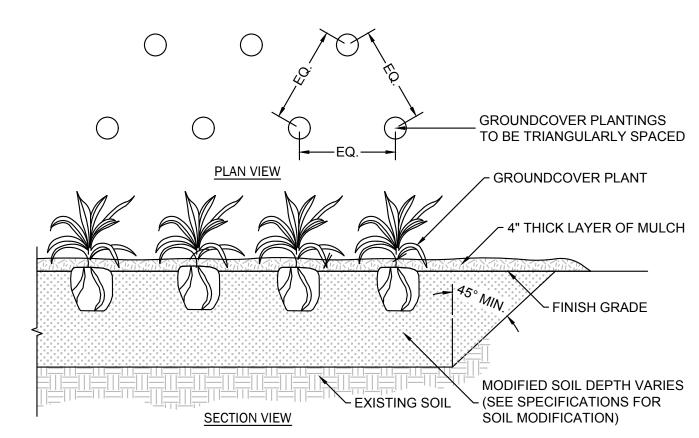
SCALE: NOT TO SCALE



1. SEE LANDSCAPE NOTES AND SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

4 Shrub Planting - Modified Soil SCALE: NOT TO SCALE

TIME OF PLANTING.



SEE LANDSCAPE NOTES AND SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

2. SEE PLANT SCHEDULE FOR PLANT SPECIES, SIZE, AND SPACING DIMENSION. 3. SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE

4. THOROUGHLY TILL IN PLANTING SOIL MIXTURE AMENDMENTS TO DEPTH OF 8" IN ENTIRE GROUNDCOVER BED AREA. WORK SOIL TO LOOSE, UNIFORMLY FINE TEXTURE. 5. CONTRACTOR IS RESPONSIBLE FOR PROVIDING DRAINAGE FROM PLANTING HOLE/BEDS IF COMPACTED

SOILS OR POORLY DRAINED SOIL IS ENCOUNTERED. 6. HAND-TAMP BACKFILL TO REMOVE VOIDS AND AIR POCKETS. WATER IMMEDIATELY AFTER PLANTING UNTIL NO MORE WATER IS ABSORBED.

Groundcover / Ornamental Grass Planting Detail SCALE: NOT TO SCALE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
O	ACRO	3	ACER RUBRUM `OCTOBER GLORY` TM / OCTOBER GLORY MAPLE	2.5" CAL	6`-8`	4`-6`	AS SHOWN	FWF, SP
AND O LE	ULMP	6	ULMUS PARVIFOLIA / CHINESE ELM	2.5" CAL	6`-8`	4`-6`	AS SHOWN	FWF, SP
JNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
+	CERO	2	CERCIS CANADENSIS `OKLAHOMA` / OKLAHOMA REDBUD	1.5" CAL	6`-8`	8,	AS SHOWN	FWF, SP
E ON STANSON	CHIV	7	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE	1.5" CAL	6`-8`	8	AS SHOWN	FWF, SP
	MAGS	5	MAGNOLIA X SOULANGIANA / SAUCER MAGNOLIA	1.5" CAL	6`-8`	8.	AS SHOWN	MS, FWF, SP
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
\odot	ABES	33	ABELIA X GRANDIFLORA `SHERWOODII` / DWARF ABELIA	3 GAL	18"-24"	18"-24"	AS SHOWN	FWF, SP
\odot	AZAF	22	AZALEA INDICA `FORMOSA` / FORMOSA AZALEA	3 GAL	18"-24"	18"-24"	AS SHOWN	FWF, SP
*** *********************************	ILCB	30	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY	3 GAL	18"-24"	18"-24"	AS SHOWN	FWF, SP
(+)	LCRR	27	LOROPETALUM CHINENSE RUBRUM `RUBY` / DWARF RUBY FRINGE FLOWER	3 GAL	18"-24"	18"-24"	AS SHOWN	FWF, SP
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
+	MUHL	54	MUHLENBERGIA FILIPES / SWEETGRASS	3 GAL	18"-24"	18"-24"	AS SHOWN	FWF, SP
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
	LMBB	422	LIRIOPE MUSCARI `BIG BLUE` / BIG BLUE LILYTURF	4" POT	8"-12"	8"-12"	24"	FWF, SP
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
	SOD2	27,213 SF	CYNODON DACTYLON `TIFTUF` / TIFTUF BERMUDA GRASS	SOD	N/A	N/A	N/A	SP

MOUNT PLEASANT, SC 843.884.1667

GREENVILLE, SC 864.298.0534 SUMMERVILLE, SC 843.972.0710 SPARTANBURG, SC 864.272.1272 CHARLOTTE, NC 980.312.5450 WWW.SEAMONWHITESIDE.COM





SW+ PROJECT: 10/30/23 DRAWN BY: CHECKED BY:

REVISION HISTORY

PLANT SCHEDULE & DETAILS & NOTES

Plant Schedule (6) SCALE: NOT TO SCALE

PLANT SCHEDULE