

V1 - SDP-23-08

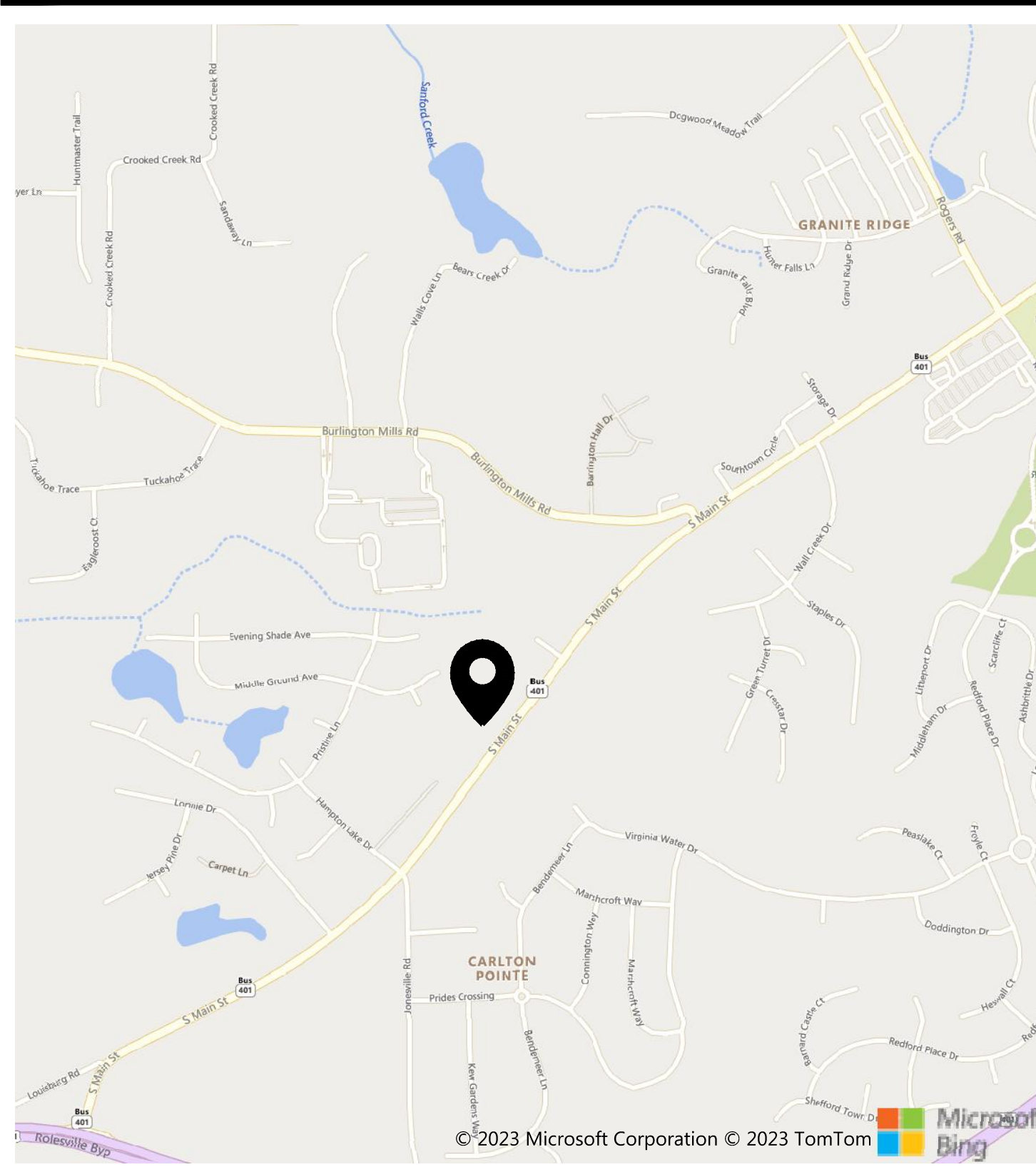
TIDAL WAVE AUTO SPA

ROLESVILLE, NC, USA

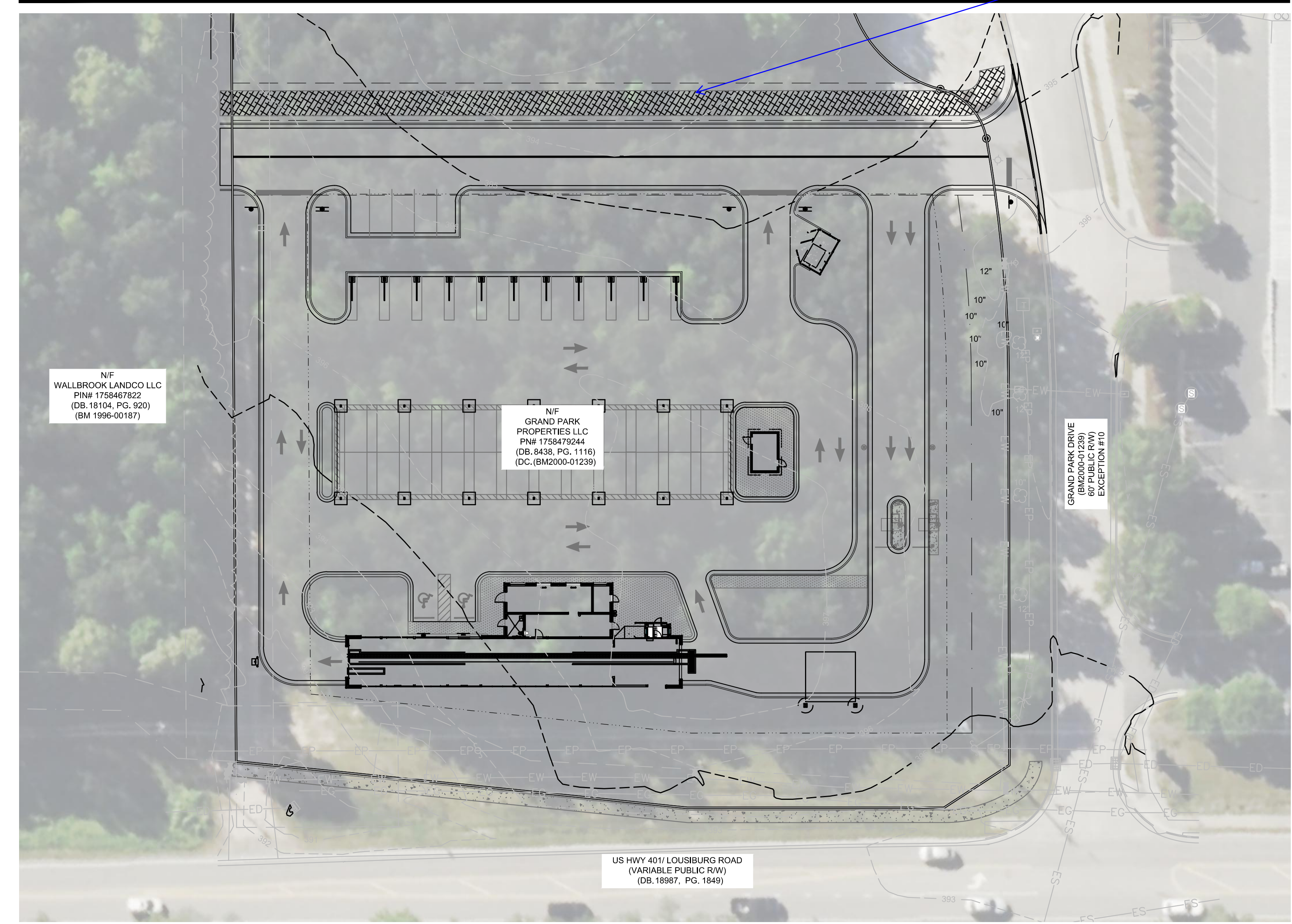
Please include a site data table on the cover sheet that includes the following information:
 Property Identification Numbers (PIN) for the property, Zoning (Current and Proposed if a Rezoning), Watershed, River Basin, Current Use(s), Proposed Use(s), Current Impervious, Proposed Impervious, Parking Data per use, Bicycle Parking, Loading Spaces (per LDO Section 6.4.5.C.), Tree Coverage Data, Building Height, and Building Square Footage(s).

According to iMaps, this parcel is 3.80 total acres. Please note where the new property line will be on the existing conditions/survey sheet.

SITE LOCATION MAP



SITE OVERVIEW



Sheet List Table	
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C8.5	CONSTRUCTION DETAILS
L1.0	LANDSCAPE PLAN
L1.1	PLANT SCHEDULE & DETAILS & NOTES

PROJECT DESCRIPTION

PROJECT DATA:
 THIS PROJECT IS LOCATED ON A 1.82 ACRE SITE, IN ROLESVILLE, NC. THE PROPERTY AS IT EXISTS IS AN UNDEVELOPED LOT. THE PROPOSED DEVELOPMENT WILL BE AN AUTOMATED CAR WASH WITH ASSOCIATED PARKING AND INFRASTRUCTURE.

FLOOD ZONE:
 THIS PROPERTY IS LOCATED OUTSIDE OF ANY REGULATED FLOOD ZONES, ZONEX (OTHER AREAS), NAVD88, SCALED FROM THE FIRM THE TOWN OF ROLESVILLE, NORTH CAROLINA PANEL NO. 3720175800K.

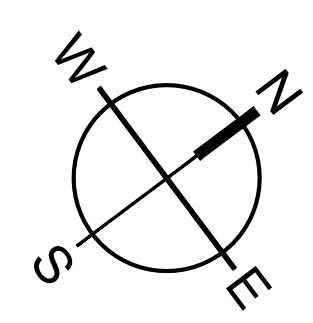
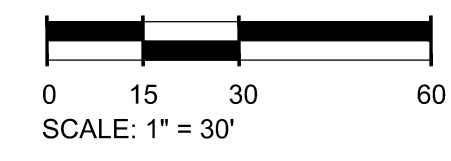
PROPERTY INFORMATION:
 PARCEL ID: 1758479244
 ZONING DISTRICT: GI-CZ (GENERAL INDUSTRIAL - CONDITIONAL ZONING)

GENERAL NOTES

PROJECT SURVEY INFORMATION AND CONTRACTOR VERIFICATION REQUIREMENTS

- BOUNDARY, TOPOGRAPHIC, TREE, WETLAND DELINEATION, AND OTHER EXISTING CONDITIONS SHOWN ARE FROM SURVEY PREPARED BY MSP & ASSOCIATES LAND SURVEYING, INC.
- ALL ELEVATIONS ARE BASED ON NAVD88 DATUM.
- THE CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHIC WORK, EXISTING UTILITY LINE LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING WORK. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- THE CONTRACTOR SHALL MAINTAIN AND BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY.
- AN AUTOCAD BASE PLAN OF THIS DRAWINGS CAN BE PROVIDED TO THE CONTRACTOR UPON REQUEST. ENGINEER SHALL NOT BE RESPONSIBLE FOR ERRORS IN ELECTRONIC DATA.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL PLANS AND COORDINATION WITH THE TOWN OF ROLESVILLE FOR LANE/ROAD CLOSURE AS NEEDED THROUGHOUT CONSTRUCTION.
- ALL SITE WORK TO BE PERFORMED IN CONFORMANCE WITH THE TOWN OF ROLESVILLE CODE OF ORDINANCE. MATERIAL SPECIFICATIONS ARE PROVIDED IN THE SPECIFICATIONS AND SPECIAL PROVISIONS SECTION.
- ALL UTILITY INSTALLATIONS, PUBLIC AND PRIVATE, SHALL BE PERFORMED IN CONFORMANCE WITH THE TOWN OF ROLESVILLE WATER AND SEWER POLICIES, PROCEDURES, STANDARDS AND SPECIFICATIONS.

Add/revise to clarify that there are NO conditions; CZ is the LDO translation from the previous UDO Zoning District of I-CZ (Industrial Conditional Zoning). There are no known Conditions as confirmed by Town Planning Staff.



PROJECT CONTACTS

DEVELOPER:
 SHJ DEVELOPMENT, LLC
 124 EAST THOMPSON STREET
 POST OFFICE DRAWER 311
 THOMASTON, GA 30286
 CONTACT: ALEX PERRY
 PHONE: 478-972-2418

CIVIL ENGINEER & LANDSCAPE ARCHITECT:
 SEAMON WHITESIDE & ASSOCIATES, LLC
 230 E PETERSON DR
 CHARLOTTE, NC 28217
 CONTACT: TOMMIE LITTLE
 PHONE: 980-312-5450

SOURCES:
 SURVEYOR
 MSP & ASSOCIATES
 LAND SURVEYING INC.
 301 E. HILLCREST DR.
 GREENVILLE, SC, 29609
 PHONE: (864) 370-2232

OWNER:
 GRAND PARK PROPERTIES, LLC
 2636 WAIT AVENUE
 WAKE FOREST, NC 27587
 CONTACT: GEORGE M. UPCHURCH, JR.

UTILITY CONTACTS:
 CITY OF RALEIGH PUBLIC UTILITIES
 ONE EXCHANGE PLAZA,
 RALEIGH, NC 27601
 PHONE: 919-996-3245

501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29566 | JUDICIAL MALL BUILDING 600, 3RD FLOOR | CHARLOTTE, NC 28202 | 701 N. GERRARD STREET | GREENVILLE, SC 29601 | 150 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301
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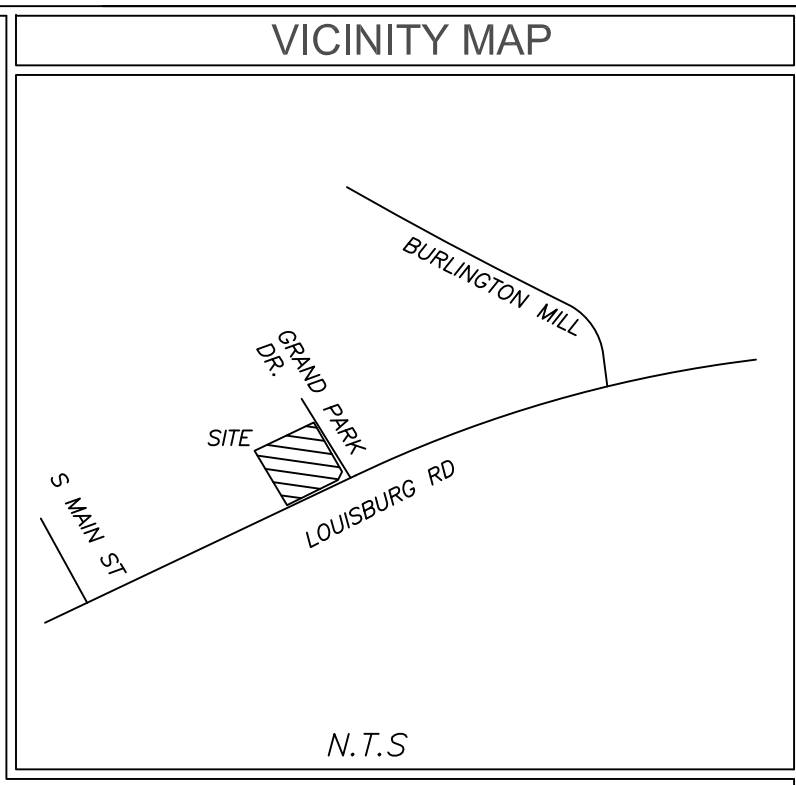
REVISION HISTORY	

DRAWING LEGEND

NOTE: THIS LEGEND DOES NOT APPLY TO 'EXISTING CONDITIONS' SHEET(S). THOSE ARE SHOWN IN THE ORIGINAL FORMAT AS RECEIVED BY THE SURVEYOR

OBJECTS AND SYMBOLS	EXISTING	NEW	OBJECTS AND SYMBOLS	EXISTING	NEW	ABBREVIATIONS	EXISTING	NEW	SWPP PLAN LEGEND
Right of Way			Benchmark		N/A	Sewer Easement	Ex. S.E.	S.E.	Turf Reinforcement Mat (TR)
Lot Line			Sanitary Sewer Manhole			Storm Easement	Ex. W.E.	W.E.	Sodding (S)
Adjoining Property Line		N/A	Sanitary Sewer Manhole ID #	N/A		Drainage Easement	Ex. D.E.	D.E.	Surface Roughening (SR)
Centerline		(Same as Existing)	Sanitary Sewer Cleanout			General Utility Easement	Ex. G.U.E.	G.U.E.	Temporary Seeding (TS)
Easement			Double Sanitary Sewer Service (Residential Only)			Access Easement	Ex. A.E.	A.E.	Permanent Seeding (PS)
Setback		(Same as Existing)	Single Sanitary Sewer Service (Residential Only)			Ingress/Egress Easement	Ex. I.E.E.	I.E.E.	Mulching (M)
Sanitary Sewer (Gravity)			TYPE 1 Storm Drainage Structure (CI-1)			Pond Maintenance Easement	Ex. P.M.E.	P.M.E.	Typical Lot Erosion Control Plan (LE)
Sanitary Sewer (Force Main)			TYPE 16 Storm Drainage Structure (CI-16)			Water Surface Elevation	Ex. W.S.E.	W.S.E.	Flexible Growth Medium (FG)
Water Line			TYPE 17 Storm Drainage Structure (Right) (CI-17)			Polyvinyl Chloride Pipe	Ex. PVC	PVC	Erosion Control Blanket (EC)
Curb & Gutter (Straight)			TYPE 17 Storm Drainage Structure (Left) (CI-17)			Reinforced Concrete Pipe	Ex. RCP	RCP	Dust Control (DC)
Curb & Gutter (Roll)			TYPE 18 Storm Drainage Structure (CI-18)			High Density Corrugated Polyethylene Pipe	Ex. HDPE	HDPE	Bonded Fiber Matrix (BF)
Previous Phase Storm Drain Pipe		N/A	Catch Basin (CB)			Ductile Iron Pipe	Ex. DIP	DIP	Concrete Washout Basin (CW)
Storm Drain Pipe			Isolation Box (IB)			Corrugated Metal Pipe	Ex. CMP	CMP	Portable Toilet (PT)
Drainage Flow Arrow	N/A		Storm Drainage Junction Box (JB)			Home Owner's Association	Ex. HOA	HOA	Block & Stone Inlet Protection
Roof Drain			Yard Inlet (YI)			Property Owners Association	Ex. POA	POA	Temp. Sediment Control Tube (See Tube)
Subsurface Drainage			Control Structure (CS)			HATCH PATTERNS			
Silt Fence, Standard			Storm Drainage Structure ID #	N/A		Freshwater Wetland			Freshwater Wetland Buffer
Silt Fence, Reinforced			Telephone Box						Saltwater Marsh
Phase Line	N/A		Telephone Manhole						Saltwater Marsh Buffer
Drainage Basin Limits	N/A		Electrical Box						Site Clearing Area
Flood Zone	ZONE 'X' ZONE 'AE'	N/A	Electrical Manhole						Area Previously Cleared Included in Limits of Disturbance
Conduit			Power Pole						Area to be Permanently Stabilized
Natural Gas			Light Pole						
Overhead Electrical			Fire Hydrant Assembly						
Underground Electrical			Water Blowoff						
Underground Telephone			Water Line Bends, Angle Varies	N/A					
Underground Cable			Water Line Valve						
Underground Fiber Optic			Water Line Reducer						
Fence			Single Water Service (Residential Only)						
Elevation Contour			Double Water Service (Residential Only)						
Revision Cloud (Encloses Revision)	N/A		Sign						
			ADA Accessible Parking Space						
			Spot Elevation						
			Drainage Basin Area	N/A					
			Keynote	N/A					
			Parking Count ID #	N/A					
			Lot #	N/A					
			Revision ID #	N/A					
			Rip Rap at Pipe Outlet	N/A					

501 WINDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 600 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 720 N. CENAP STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MCGRAW AVENUE, SUITE 300 | SPARTANBURG, SC 29301
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TITLE EXCEPTIONS

- Schedule B-Section II Title Exceptions
 Fidelity National Title Insurance Company
 Commitment Number: NC252306067V;NACS230520; Effective Date: June 29, 2023
- Easements, rights of ways, boundary lines, and improvements as set forth on Plat recorded in Book of Maps 2000, Page 1239, Book of Maps 1996, Page 1582, Book of Maps 1999, Page 1039, and Book of Maps 2003, Page 614, Wake County Registry. (AFFECTS SITE AS PLOTTED)
 - Deed of Easement Vehicular Access and Utility Services to Elevated Water Tank Facility from Grand Park Properties LLC to the City of Raleigh, dated May 5, 2003 and recorded in Book 10123, Page 2779, Wake County Registry. (AFFECTS SITE AS PLOTTED)
 - Right of way conveyance and easements contained in Deed for Highway Right of Way in favor of the Department of Transportation dated April 1, 2021, recorded April 11, 2022, in Book 18987, Page 1849, Wake County Registry. (AFFECTS SITE AS PLOTTED)
 - Cross Access Easement Agreement between Wallbrook Landco LLC and Grand Park Properties, LLC, dated April 12, 2022 and recorded in Book 18988, Page 1102, Wake County Registry. (AFFECTS SITE: UNABLE TO PLOT; NO DESCRIPTION OR MEASUREMENTS FOR EASEMENT)

Please label the new property line.

Provide zoning district and land use for each of the adjacent parcels.

Please clarify what the clouded area is. Is this an existing tree line? If so, please label trees to be preserved.

SURVEYORS CERTIFICATION

* To: Fidelity National Title Insurance Company and TWAS Properties LLC, a Delaware limited liability company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-6a,b,7a,b, 8, 9, 11, 13, 16, 17, 18, 20 and 21 of Table A thereof. The field work was completed on 6/6/23.

NIF
 GRAND PARK PROPERTIES LLC
 PIN# 1758479244
 (BM1999-01039)

6/6/23
 Date

Michael S. Perdue PLS #L-4322

GENERAL NOTES

This property is in Zone X based on Flood Insurance Rate Map 3720175800K dated 07/19/2022. This determination was made by graphically determining the position of said site on said FIRM Map.

Contact proper Authorities Before building near utility lines, for easement width and restrictions. Underground Utilities are approximate and should be verified prior to any construction. Locations shown are approximate.

This survey has been prepared for the exclusive use of the person or entities named hereon. No express or implied warranties with respect to the information shown hereon is to be extended to any persons or entities other than those shown hereon.

Elevations based on GPS VRS connected to NC GPS Network. Vertical Datum NAVD 88.

Property Zoned GI-CZ
 Setbacks to be verified by Engineer prior to development.

I, Michael S. Perdue certify that this plat was drawn under my supervision from an actual survey made under my supervision and is a portion property as shown in (DB. 8438, PG. 1116); that the ratio of precision as calculated 1: 20,000 +/- and was not adjusted; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, registration # and seal this 6th day of June 2023.

That this survey is of an existing parcel of land, existing structures and buildings and does not create a new street or change existing streets.

Michael S. Perdue, PLS# L-4322

All matters shown on recorded plats are shown on survey, if applicable.

There was evidence of recent earth moving work or construction was observed on the property.

There was no visible evidence of cemeteries or burial grounds found.

No evidence of the site being used as a solid waste dump, sump or sanitary landfill.

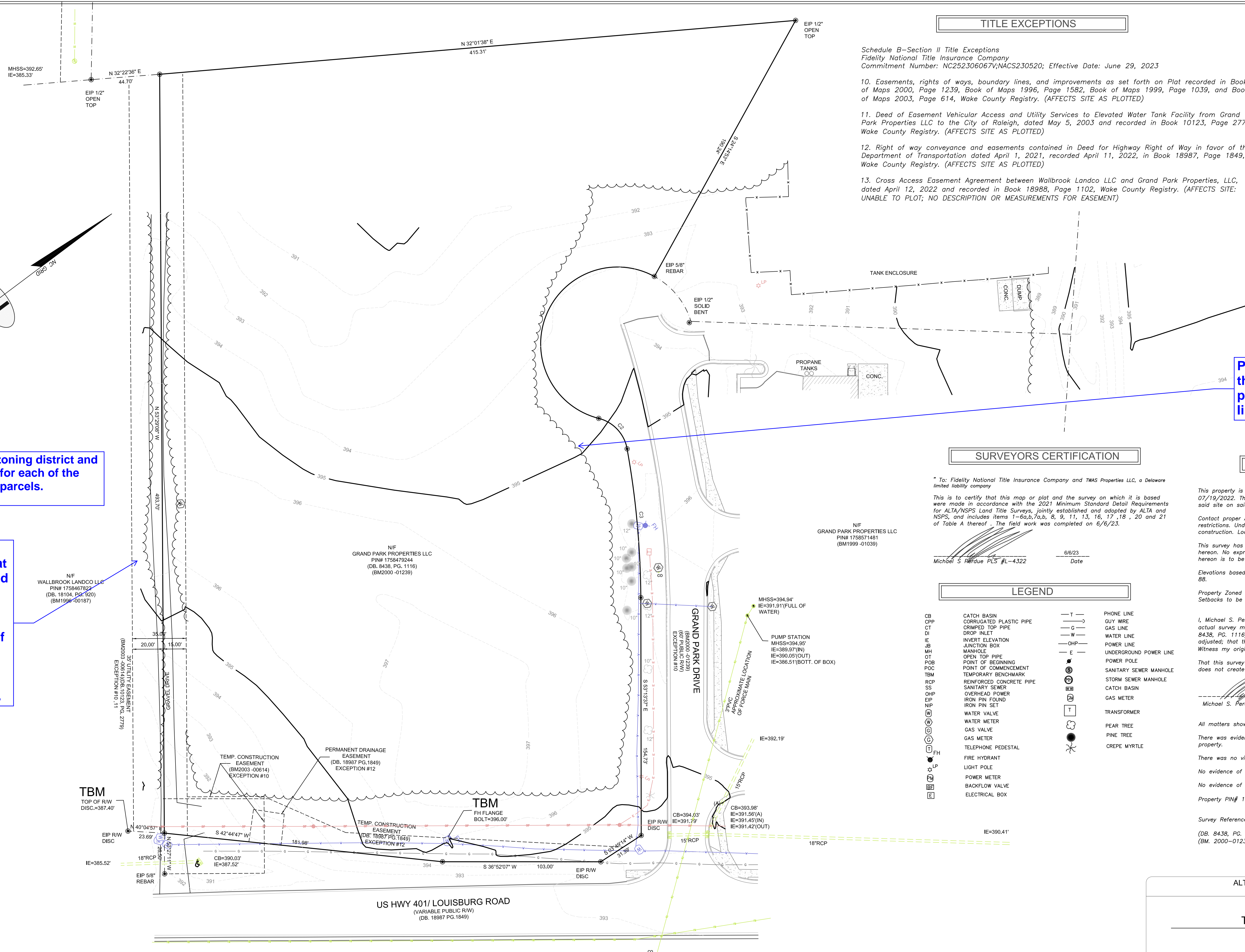
No evidence of wetlands being marked on subject property.

Property PIN# 1758479244

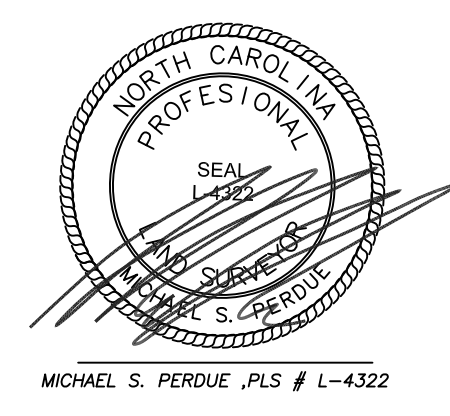
Survey Reference
 (DB. 8438, PG. 1116)
 (BM. 2000-01239)

LEGEND

- | | | | |
|--------|--------------------------|--------|------------------------|
| CB CPP | CATCH BASIN | — T — | PHONE LINE |
| CT | CORRUGATED PLASTIC PIPE | — C — | GUY WIRE |
| DI | CRIMPED TOP PIPE | — W — | GAS LINE |
| IE | DROP INLET | — OH — | WATER LINE |
| JH | INVERT ELEVATION | — E — | POWER LINE |
| MH | JUNCTION BOX | | UNDERGROUND POWER LINE |
| OT | MANHOLE | | POWER POLE |
| POB | OPEN TOP PIPE | | SANITARY SEWER MANHOLE |
| POC | POINT OF BEGINNING | | STORM SEWER MANHOLE |
| TBM | POINT OF COMMENCEMENT | | CATCH BASIN |
| RCP | TEMPORARY BENCHMARK | | GAS METER |
| SS | REINFORCED CONCRETE PIPE | | TRANSFORMER |
| OHP | SANITARY SEWER | | |
| EIP | OVERHEAD POWER | | |
| IP | IRON PIN FOUND | | |
| NP | IRON PIN SET | | |
| WV | WATER VALVE | | |
| WM | WATER METER | | |
| GV | GAS VALVE | | |
| GM | GAS METER | | |
| TP | TELEPHONE PEDESTAL | | |
| FH | FIRE HYDRANT | | |
| LP | LIGHT POLE | | |
| PM | POWER METER | | |
| BV | BACKFLOW VALVE | | |
| EB | ELECTRICAL BOX | | |



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	50.00'	1.6977'	99.20'	S 31°42'56" E	1194°32'39"	391.83'
C2	25.01'	28.63'	27.05'	N 83°49'48" E	65°34'40"	16.11'
C3	570.00'	197.34'	97.22'	S 58°23'28" E	9°47'04"	48.79'



ALTA/NSPS LAND TITLE SURVEY FOR

TWAS Properties LLC

TOWN: ROLESVILLE COUNTY: WAKE STATE: NORTH CAROLINA

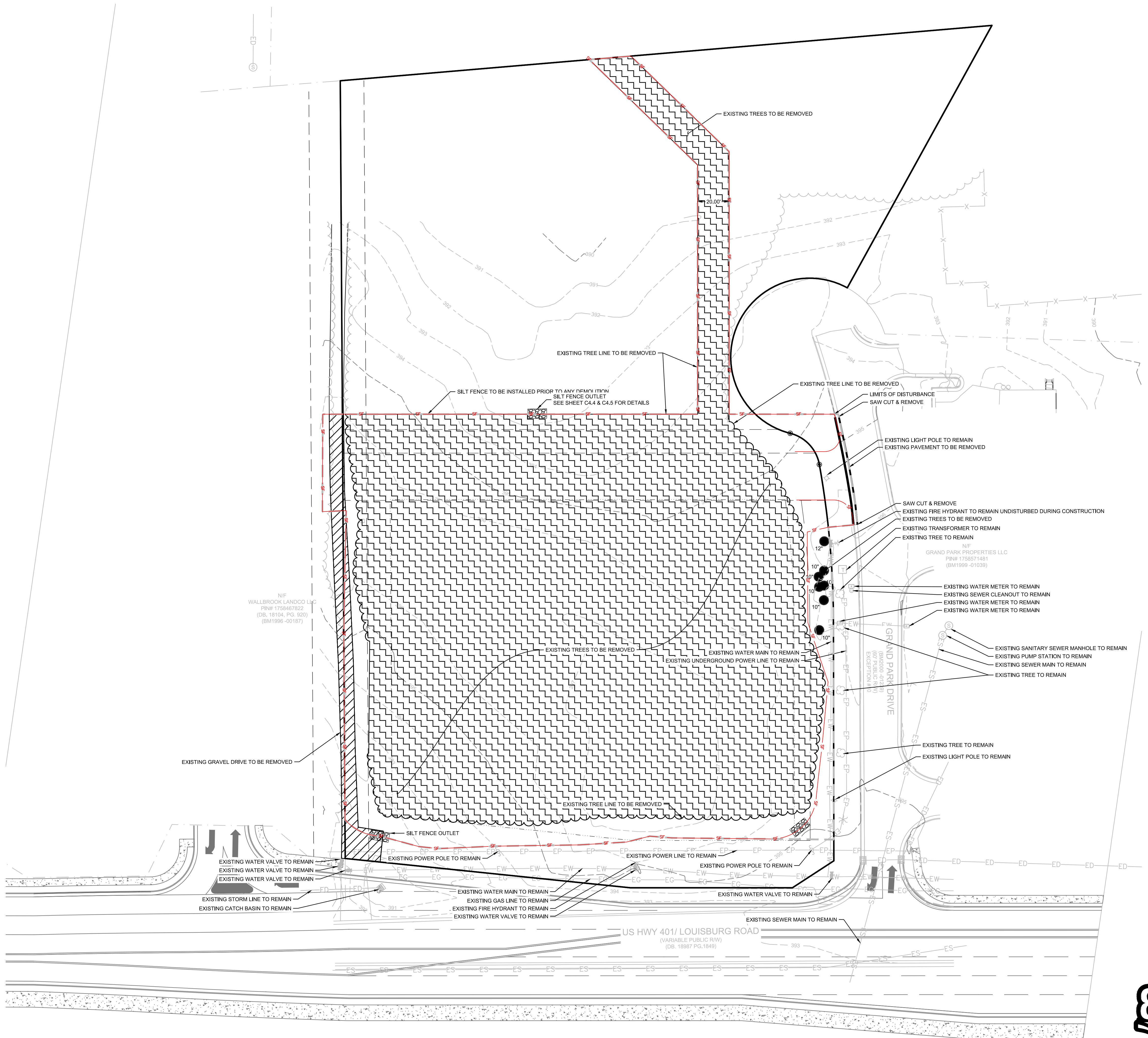
DATE: 6/6/23 SCALE: 1:30

FIELD WORK: MSP DRAWN BY: MSP REVIEWED BY: MSP

MSP FILE: twrolesville MSP JOB#: 231820

REVISION HISTORY	

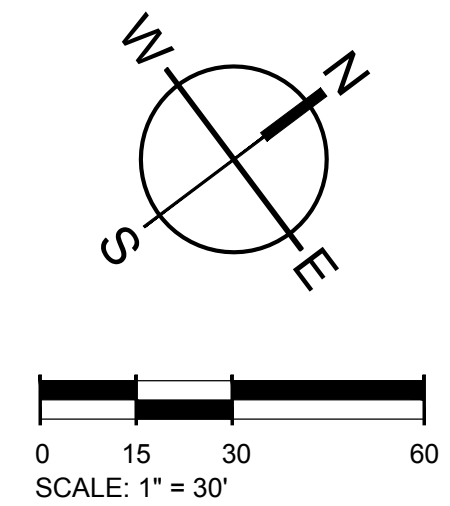
Please label the existing vegetation, with a general description and location.



- DEMOLITION NOTES:**
- ALL DEMOLITION DEBRIS IS TO BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE COUNTY, STATE, AND FEDERAL REGULATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES BEFORE ANY WORK IS STARTED. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE FIELD MARKINGS AND SURVEY.
 - NO LAND DISTURBING ACTIVITY PRIOR TO APPROVAL OF EROSION AND SEDIMENT CONTROL PLAN AND THE ISSUANCE OF THE LAND-DISTURBING PERMIT AT THE PRECONSTRUCTION MEETING.
 - CONTRACTOR TO REMOVE ALL TREES WITHIN LIMITS OF DISTURBANCE.

EXISTING UTILITY NOTE:

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

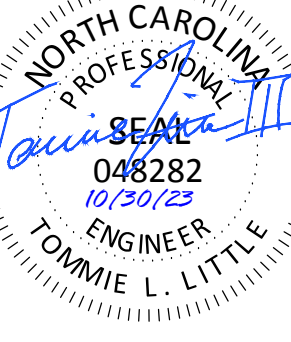


DEMOLITION LEGEND		
DEMO EXISTING GRAVEL		LIMITS OF DISTURBANCE
DEMO EXISTING TREES		EXISTING UTILITY TO REMAIN
SILT FENCE OUTLET		EXISTING CURB TO BE REMOVED



Know what's below.
 Call before you dig.

50 WINDY PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000 701 EASLEY BRIDGE RD, SUITE 600 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 713 N. CEDAR STREET | SUMMERVILLE, SC 29585 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301
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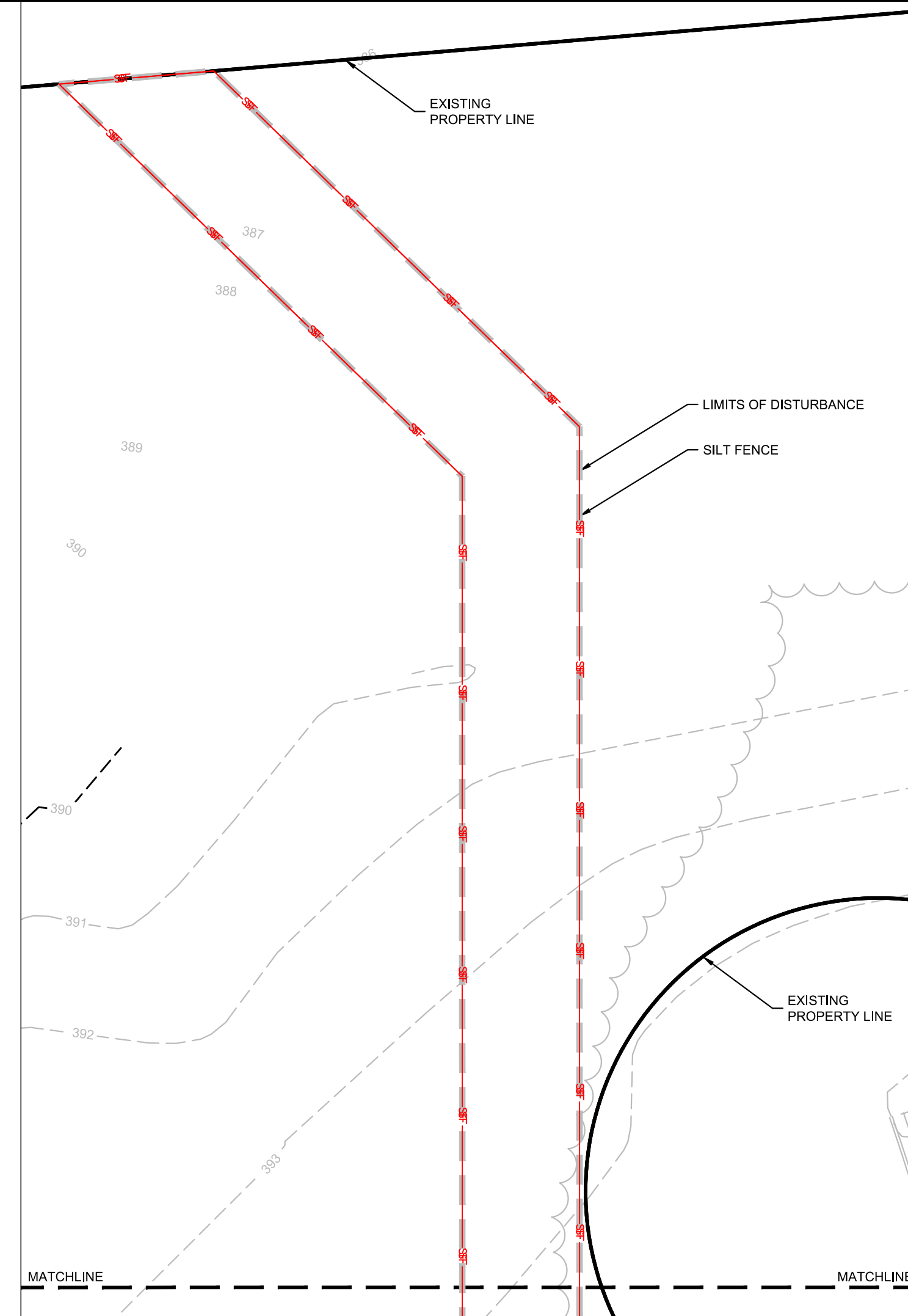
TIDAL WAVE AUTO SPA
ROLESVILLE, NC

SW+ PROJECT: 10772
DATE: 10/30/23
DRAWN BY: CPE
CHECKED BY: DWJ

REVISION HISTORY

NO.	DESCRIPTION

EROSION CONTROL PH I

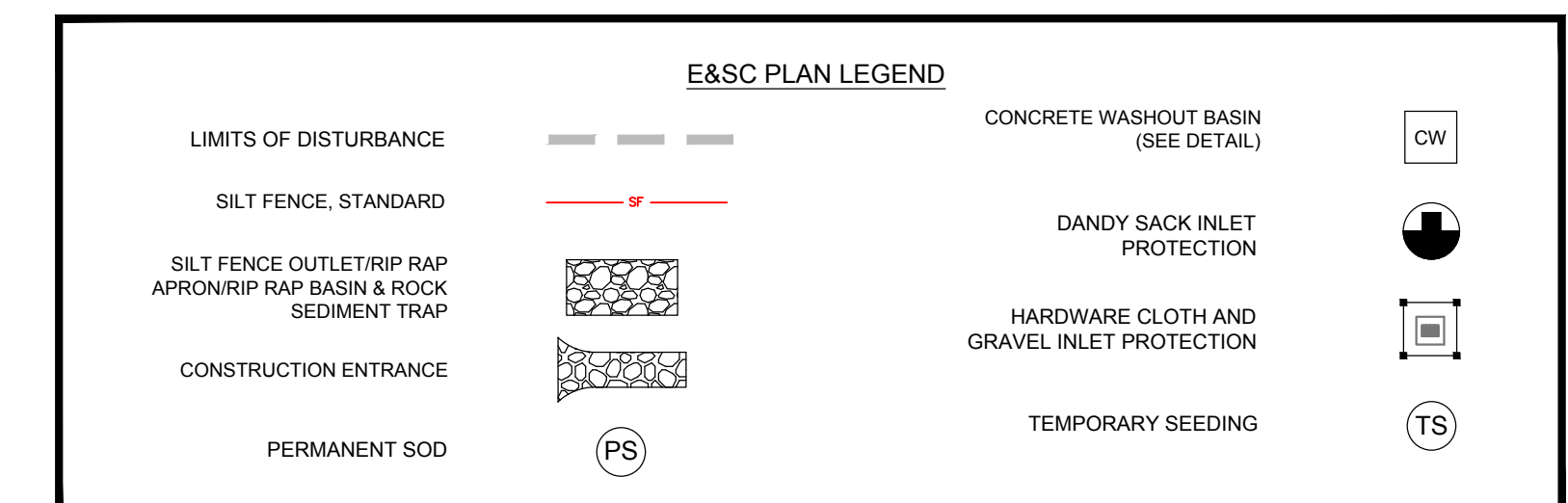


PHASE I SEQUENCING:

1. DRAFT EROSION AND SEDIMENT CONTROL PLAN MUST BE APPROVED AND A LETTER OF APPROVAL (LOA) MUST BE ISSUED PRIOR TO OBTAINING THE CERTIFICATE OF COVERAGE FROM DEQ
2. RECEIVE NPDES COVERAGE FROM NCDEQ.
3. PRE-CONSTRUCTION CONFERENCE TO BE CONDUCTED WITH EROSION CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURE. FAILURE TO SCHEDULE SUCH CONFERENCE PRIOR TO ANY LAND DISTURBING ACTIVITY IS SUBJECT TO FINE. LDP WILL BE ISSUED AT THE PRECONSTRUCTION MEETING (ON-SITE). SITE SHOULD BE FLAGGED PRIOR TO PRE-CONSTRUCTION MEETING.
4. INSTALL SILT FENCE, INLET PROTECTION, BERMS AND OTHER MEASURES AS SHOWN ON PLANS. CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
5. CALL FOR ON-SITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR GIVES CONTRACTOR THE ABILITY TO CLEAR AND GRUB SITE.
6. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
7. FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
8. CONTRACTOR SHALL NOT ALLOW MORE THAN 0.25 ACRES OF DISTURBED AREA TO DRAIN TOWARDS 100LF OF SILT FENCE OR PERFORM GRADING IN A MANNER THAT ALLOWS SEDIMENT LADEN WATER TO FLOW LONGITUDINALLY ALONG SILT FENCE LINE. IF A LOW SPOT DEVELOPS ALONG GRADING NEAR SILT FENCE, CONTRACTOR SHALL COORDINATE WITH EROSION CONTROL INSPECTOR TO PLACE A SILT FENCE OUTLET IN OUTLET LOCATIONS.
9. CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
10. UPON APPROVAL FROM SEDIMENT CONTROL INSPECTOR, COMPLETE DEMOLITION OF ANY SITE FEATURES (PAVEMENT, CURB, ETC.), CLEARING AND GRUBBING, AND STRIP SITE OF TOP SOIL. ALL DEMOLISHED MATERIAL IS TO BE DISPOSED IN ACCORDANCE WITH APPLICABLE NORTH CAROLINA REGULATIONS. CONTRACTOR TO ENSURE ALL APPLICABLE DEMOLITION PERMITS HAVE BEEN ISSUED AND HAVE ORIGINALS OF THE SAME PRIOR TO COMMENCING DEMOLITION ACTIVITIES.
11. CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF STRIPPING, THE STOCKPILING OF TOPSOIL, THE CONSTRUCTION OF TEMPORARY SEDIMENT AND EROSION CONTROL FACILITIES, DISPOSAL OF ALL WASTE MATERIAL, AND PREPARATION OF THE GROUND.

INLET PROTECTION NOTE:

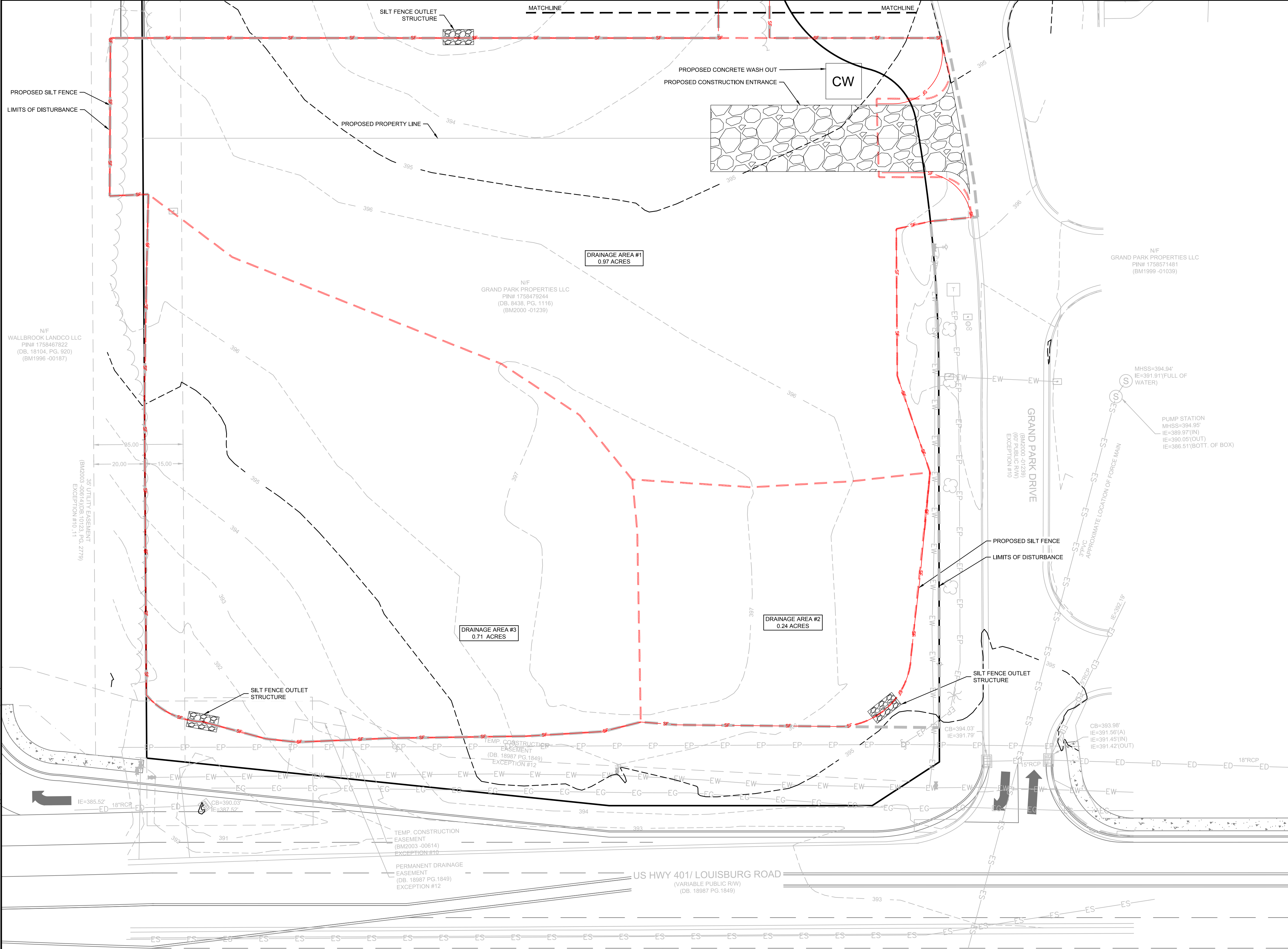
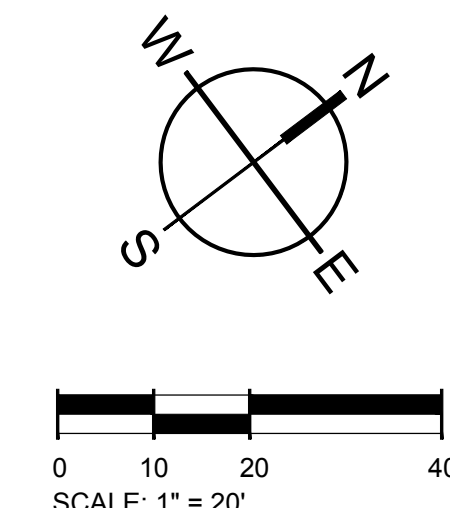
PROVIDE APPROPRIATE INLET PROTECTION FOR VARIOUS PHASES OF THE CONSTRUCTION. HARDWARE CLOTH AND GRAVEL PROTECTION SHALL BE PROVIDED FOR INLETS IN NON-PAVED AREA. WEEP FILTERS SHALL BE PROVIDED FOR INLETS IN PAVED AREAS.



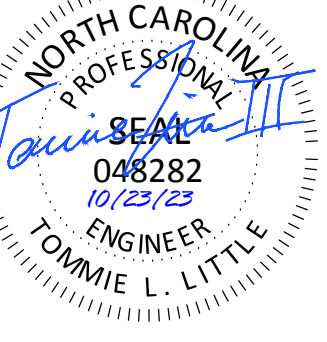
TOTAL SITE ACREAGE	1.82 ACRES
DISTURBED ACREAGE	2.02 ACRES

EXISTING UTILITY NOTE:
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

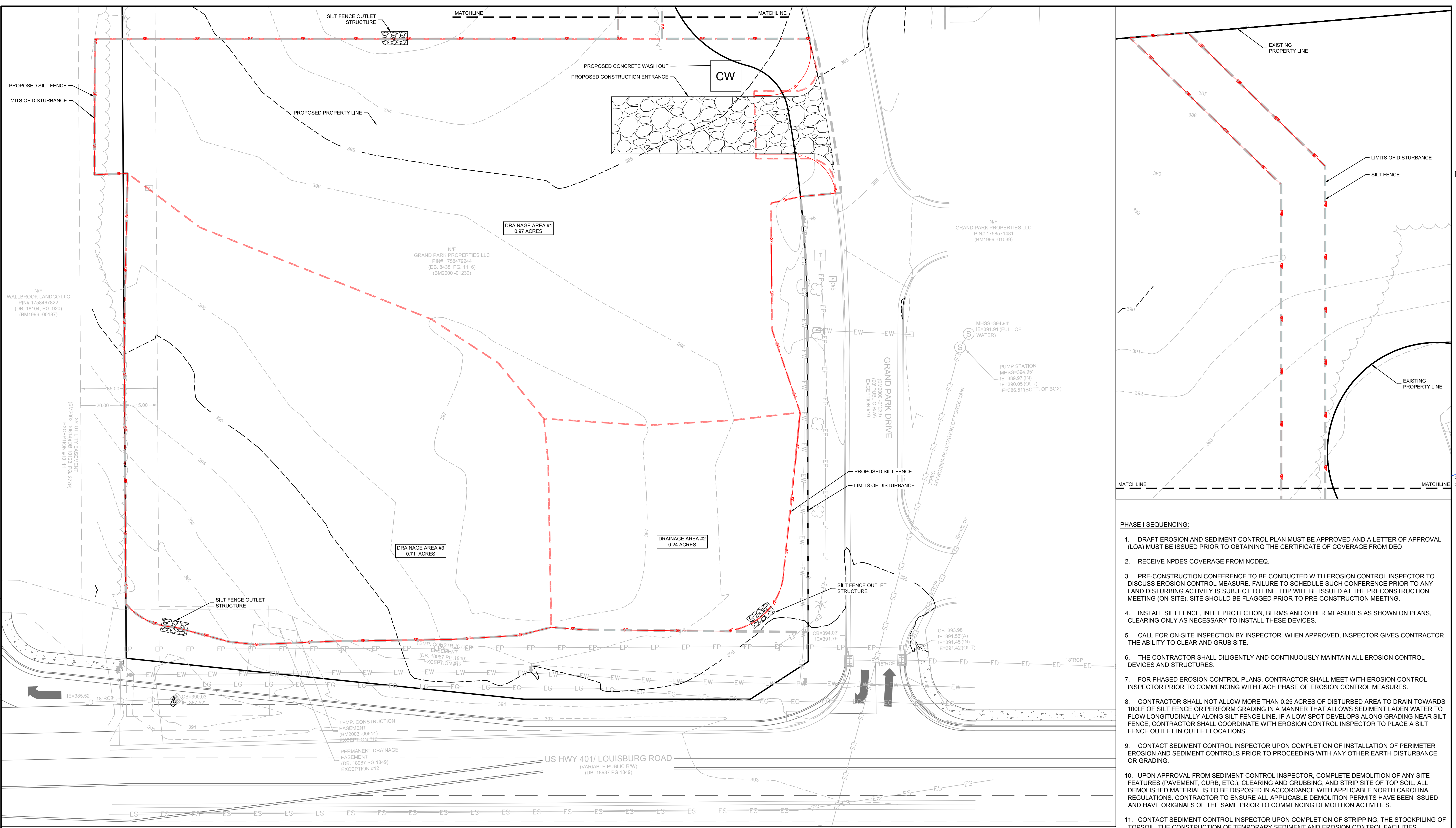
STABILIZATION NOTE:
PROVIDE FINAL STABILIZATION FOR ALL DISTURBED AREAS. REFER TO THE LANDSCAPE PLAN FOR SPECIFIC MATERIALS / PLANTINGS. ANY DISTURBED AREA NOT ADDRESSED IN THE LANDSCAPE PLANS SHALL BE PERMANENT SEEDED.



501 WANDOPARKBOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 710 N. CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MCGRAW AVENUE, SUITE 300 | SPARTANBURG, SC 29301
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REVISION HISTORY



- PHASE I SEQUENCING:**
- DRAFT EROSION AND SEDIMENT CONTROL PLAN MUST BE APPROVED AND A LETTER OF APPROVAL (LOA) MUST BE ISSUED PRIOR TO OBTAINING THE CERTIFICATE OF COVERAGE FROM DEQ
 - RECEIVE NPDES COVERAGE FROM NCDEQ.
 - PRE-CONSTRUCTION CONFERENCE TO BE CONDUCTED WITH EROSION CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURE. FAILURE TO SCHEDULE SUCH CONFERENCE PRIOR TO ANY LAND DISTURBING ACTIVITY IS SUBJECT TO FINE. LDP WILL BE ISSUED AT THE PRECONSTRUCTION MEETING (ON-SITE). SITE SHOULD BE FLAGGED PRIOR TO PRE-CONSTRUCTION MEETING.
 - INSTALL SILT FENCE, INLET PROTECTION, BERMS AND OTHER MEASURES AS SHOWN ON PLANS. CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
 - CALL FOR ON-SITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR GIVES CONTRACTOR THE ABILITY TO CLEAR AND GRUB SITE.
 - THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
 - FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
 - CONTRACTOR SHALL NOT ALLOW MORE THAN 0.25 ACRES OF DISTURBED AREA TO DRAIN TOWARDS 100LF OF SILT FENCE OR PERFORM GRADING IN A MANNER THAT ALLOWS SEDIMENT LADEN WATER TO FLOW LONGITUDINALLY ALONG SILT FENCE LINE. IF A LOW SPOT DEVELOPS ALONG GRADING NEAR SILT FENCE, CONTRACTOR SHALL COORDINATE WITH EROSION CONTROL INSPECTOR TO PLACE A SILT FENCE OUTLET IN OUTLET LOCATIONS.
 - CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - UPON APPROVAL FROM SEDIMENT CONTROL INSPECTOR, COMPLETE DEMOLITION OF ANY SITE FEATURES (PAVEMENT, CURB, ETC.), CLEARING AND GRUBBING, AND STRIP SITE OF TOP SOIL. ALL DEMOLISHED MATERIAL IS TO BE DISPOSED IN ACCORDANCE WITH APPLICABLE NORTH CAROLINA REGULATIONS. CONTRACTOR TO ENSURE ALL APPLICABLE DEMOLITION PERMITS HAVE BEEN ISSUED AND HAVE ORIGINALS OF THE SAME PRIOR TO COMMENCING DEMOLITION ACTIVITIES.
 - CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF STRIPPING, THE STOCKPILING OF TOPSOIL, THE CONSTRUCTION OF TEMPORARY SEDIMENT AND EROSION CONTROL FACILITIES, DISPOSAL OF ALL WASTE MATERIAL, AND PREPARATION OF THE GROUND.

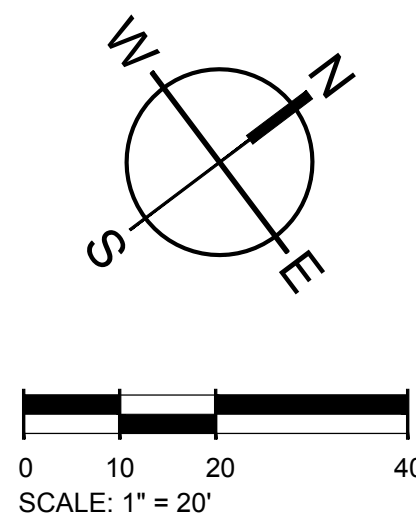
INLET PROTECTION NOTE:
PROVIDE APPROPRIATE INLET PROTECTION FOR VARIOUS PHASES OF THE CONSTRUCTION. HARDWARE CLOTH AND GRAVEL PROTECTION SHALL BE PROVIDED FOR INLETS IN NON-PAVED AREA. WEEP FILTERS SHALL BE PROVIDED FOR INLETS IN PAVED AREAS.

TOTAL SITE ACREAGE
1.82 ACRES

DISTURBED ACREAGE
2.02 ACRES

EXISTING UTILITY NOTE:
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

STABILIZATION NOTE:
PROVIDE FINAL STABILIZATION FOR ALL DISTURBED AREAS. REFER TO THE LANDSCAPE PLAN FOR SPECIFIC MATERIALS / PLANTINGS. ANY DISTURBED AREA NOT ADDRESSED IN THE LANDSCAPE PLANS SHALL BE PERMANENT SEEDED.

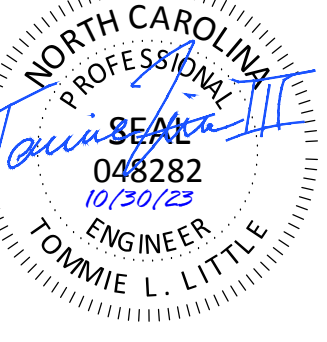


E&S PLAN LEGEND

LIMITS OF DISTURBANCE	---	CONCRETE WASHOUT BASIN (SEE DETAIL)	CW
SILT FENCE, STANDARD	—+—+—+—+—+—+—+—+—+—	DANDY SACK INLET PROTECTION	⊙
SILT FENCE OUTLET/RIP RAP APRON/RIP RAP BASIN & ROCK SEDIMENT TRAP	⊠	HARDWARE CLOTH AND GRAVEL INLET PROTECTION	⊞
CONSTRUCTION ENTRANCE	⊞	TEMPORARY SEEDING	⊙
PERMANENT SOD	⊙		



501 WANDOPARKBOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 710 N. CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MCGRAW AVENUE, SUITE 300 | SPARTANBURG, SC 29301
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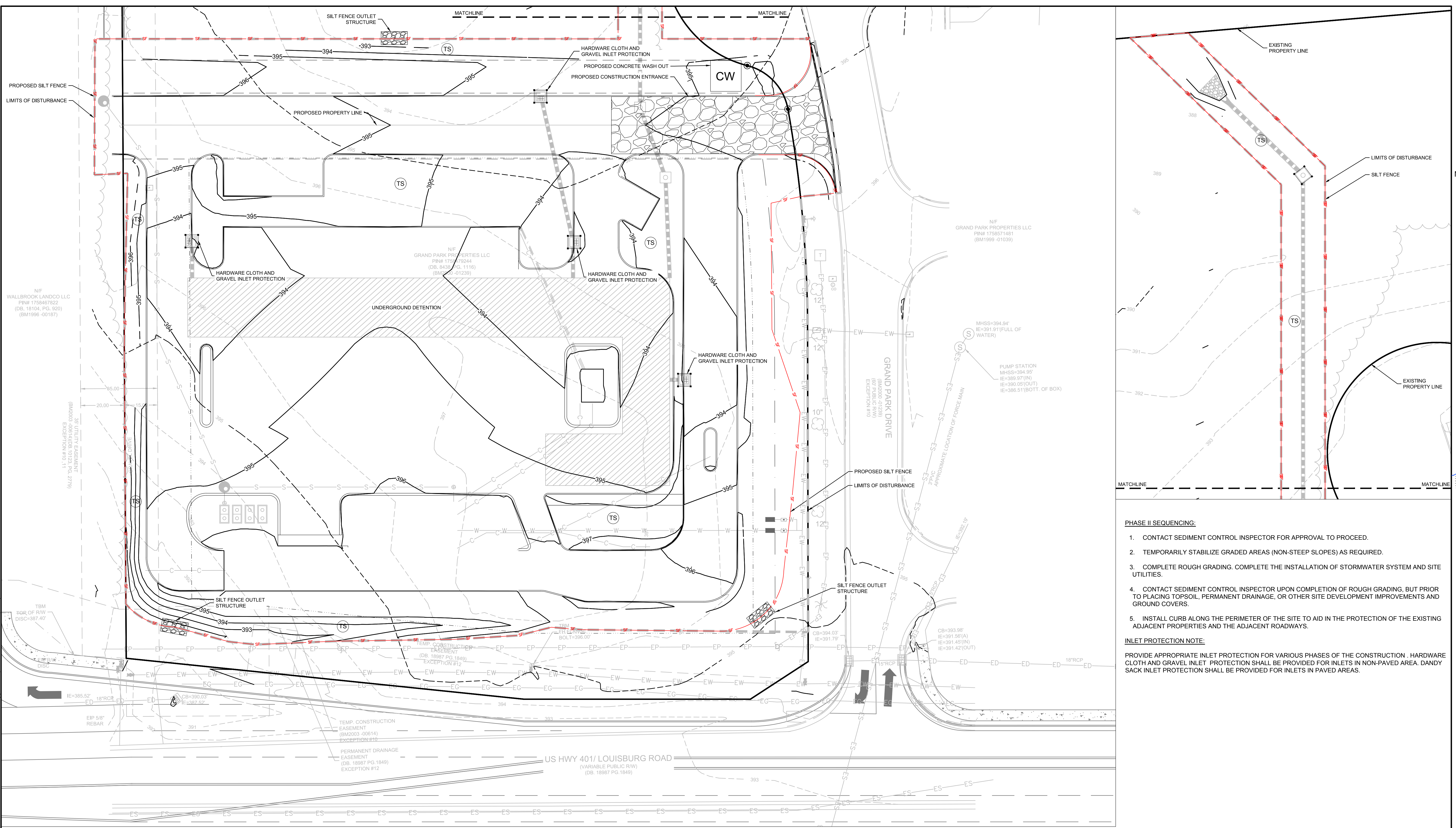
TIDAL WAVE AUTO SPA
ROLESVILLE, NC

SW+ PROJECT: 10772
DATE: 10/30/23
DRAWN BY: CPE
CHECKED BY: DWJ

REVISION HISTORY

NO.	DESCRIPTION

EROSION CONTROL PH II



- PHASE II SEQUENCING:**
- CONTACT SEDIMENT CONTROL INSPECTOR FOR APPROVAL TO PROCEED.
 - TEMPORARILY STABILIZE GRADED AREAS (NON-STEEP SLOPES) AS REQUIRED.
 - COMPLETE ROUGH GRADING. COMPLETE THE INSTALLATION OF STORMWATER SYSTEM AND SITE UTILITIES.
 - CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACING TOPSOIL, PERMANENT DRAINAGE, OR OTHER SITE DEVELOPMENT IMPROVEMENTS AND GROUND COVERS.
 - INSTALL CURB ALONG THE PERIMETER OF THE SITE TO AID IN THE PROTECTION OF THE EXISTING ADJACENT PROPERTIES AND THE ADJACENT ROADWAYS.
- INLET PROTECTION NOTE:**
- PROVIDE APPROPRIATE INLET PROTECTION FOR VARIOUS PHASES OF THE CONSTRUCTION. HARDWARE CLOTH AND GRAVEL INLET PROTECTION SHALL BE PROVIDED FOR INLETS IN NON-PAVED AREA. DANDY SACK INLET PROTECTION SHALL BE PROVIDED FOR INLETS IN PAVED AREAS.

TOTAL SITE ACREAGE
1.82 ACRES

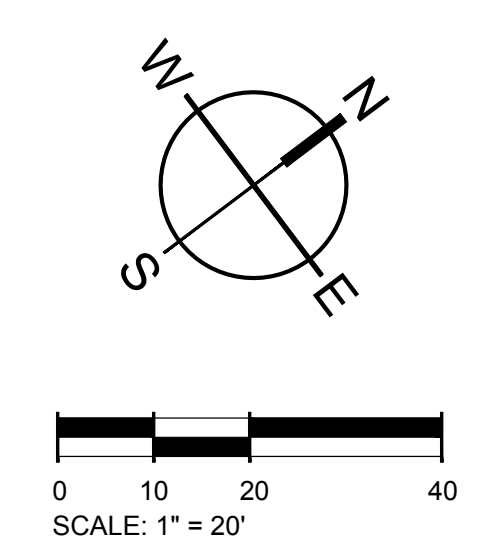
DISTURBED ACREAGE
2.02 ACRES

EXISTING UTILITY NOTE:

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

STABILIZATION NOTE:

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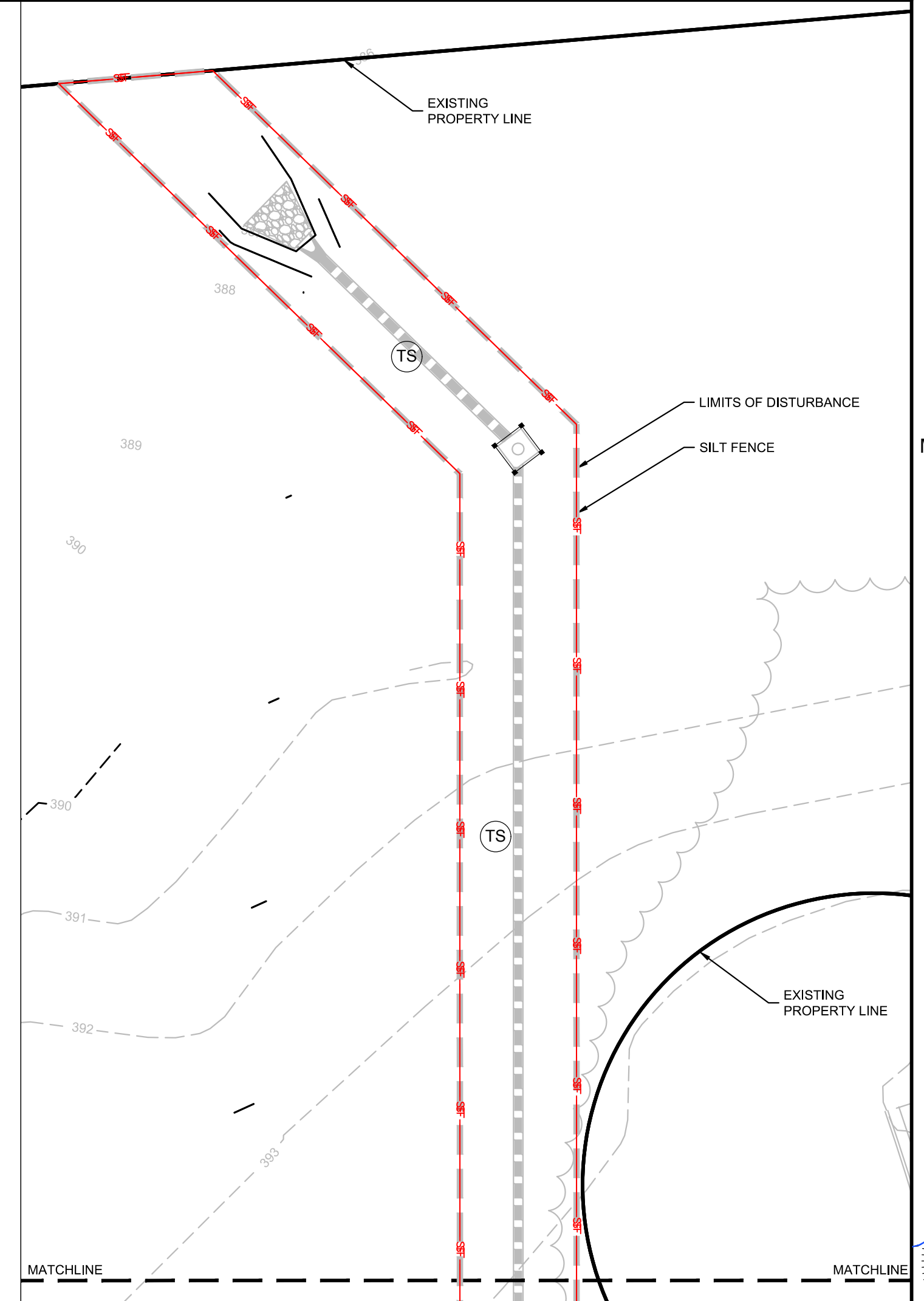


E&S PLAN LEGEND

LIMITS OF DISTURBANCE	---	CONCRETE WASHOUT BASIN (SEE DETAIL)	CW
SILT FENCE, STANDARD	—+—	DANDY SACK INLET PROTECTION	⊙
SILT FENCE OUTLET/RIP RAP APRON/RIP RAP BASIN & ROCK SEDIMENT TRAP	⊠	HARDWARE CLOTH AND GRAVEL INLET PROTECTION	⊞
CONSTRUCTION ENTRANCE	⊞	TEMPORARY SEEDING	⊙
PERMANENT SOD	⊙		



501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 7124 CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301
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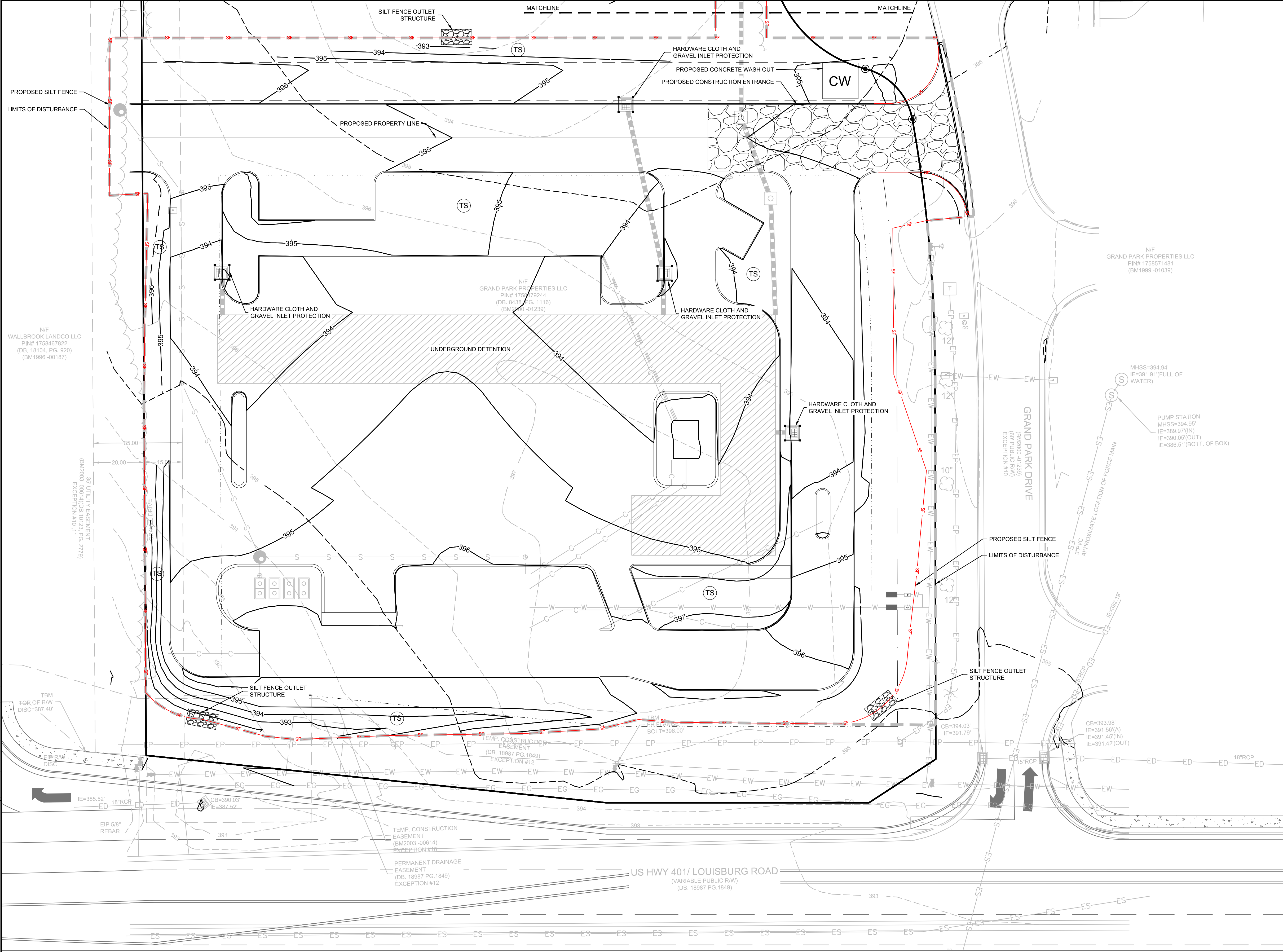


PHASE II SEQUENCING:

- CONTACT SEDIMENT CONTROL INSPECTOR FOR APPROVAL TO PROCEED.
- TEMPORARILY STABILIZE GRADED AREAS (NON-STEEP SLOPES) AS REQUIRED.
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- CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACING TOPSOIL, PERMANENT DRAINAGE, OR OTHER SITE DEVELOPMENT IMPROVEMENTS AND GROUND COVERS.
- INSTALL CURB ALONG THE PERIMETER OF THE SITE TO AID IN THE PROTECTION OF THE EXISTING ADJACENT PROPERTIES AND THE ADJACENT ROADWAYS.

INLET PROTECTION NOTE:

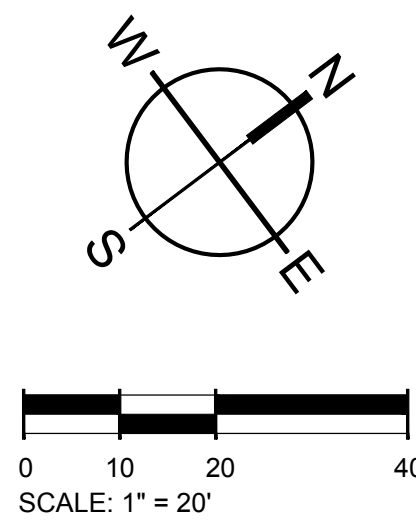
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TOTAL SITE ACREAGE	1.82 ACRES
DISTURBED ACREAGE	2.02 ACRES

EXISTING UTILITY NOTE:
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E&S PLAN LEGEND

LIMITS OF DISTURBANCE	CONCRETE WASHOUT BASIN (SEE DETAIL)	CW
SILT FENCE, STANDARD	DANDY SACK INLET PROTECTION	
SILT FENCE OUTLET/RIP RAP APRON/RIP RAP BASIN & ROCK SEDIMENT TRAP	HARDWARE CLOTH AND GRAVEL INLET PROTECTION	
CONSTRUCTION ENTRANCE	TEMPORARY SEEDING	TS
PERMANENT SOD		



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36' UTILITY EASEMENT (BAM2003-00614) EXCEPTION #11

30' UTILITY EASEMENT (BAM2003-00614) EXCEPTION #10

TBM TGR OF R/W DISC=387.49'

IE=385.52' FD 18"RCP ED

IE=390.03' IE=387.42'

CB=394.03' IE=391.79'

CB=393.96' IE=391.56'(A) IE=391.42'(N) IE=391.42'(OUT)

IE=390.05'(OUT) IE=388.51'(BOTT. OF BOX)

MHSS=394.94' IE=391.91'(FULL OF WATER)

PUMP STATION MHSS=394.96' IE=390.97'(N) IE=390.05'(OUT) IE=388.51'(BOTT. OF BOX)

3"TRK APPROXIMATE LOCATION OF FORCE MAIN

GRAND PARK DRIVE (BAM2000-01238) (FOR PUBLIC R/W) EXCEPTION #18

US HWY 401/ LOUISBURG ROAD (VARIABLE PUBLIC R/W) (DB: 18987 PG.1849)

TEMP. CONSTRUCTION EASEMENT (BAM2003-00614) EXCEPTION #12

PERMANENT DRAINAGE EASEMENT (DB: 18987 PG.1849) EXCEPTION #12

TEMP. CONSTRUCTION EASEMENT (BAM2003-00614) EXCEPTION #10

PROP. SILT FENCE

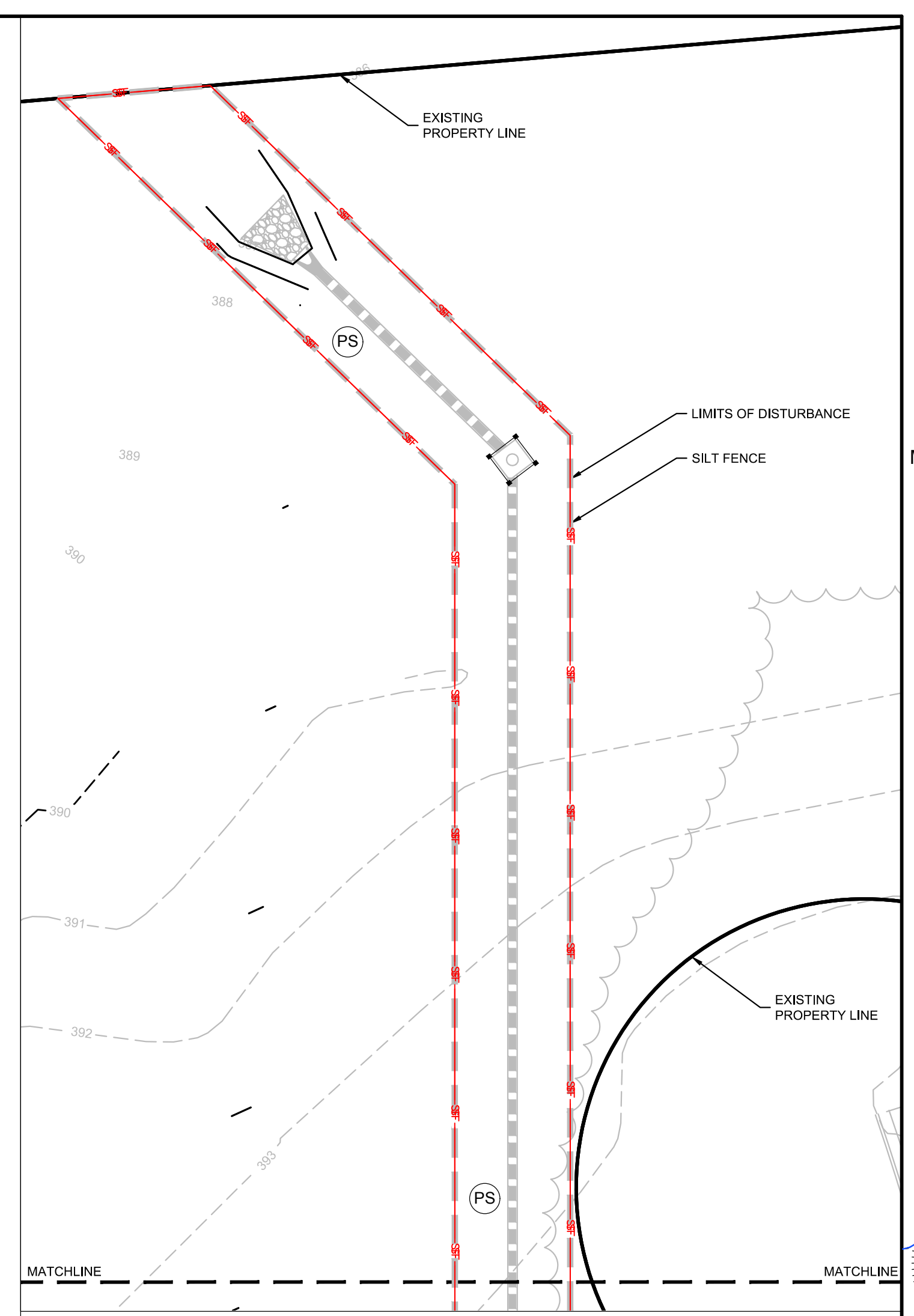
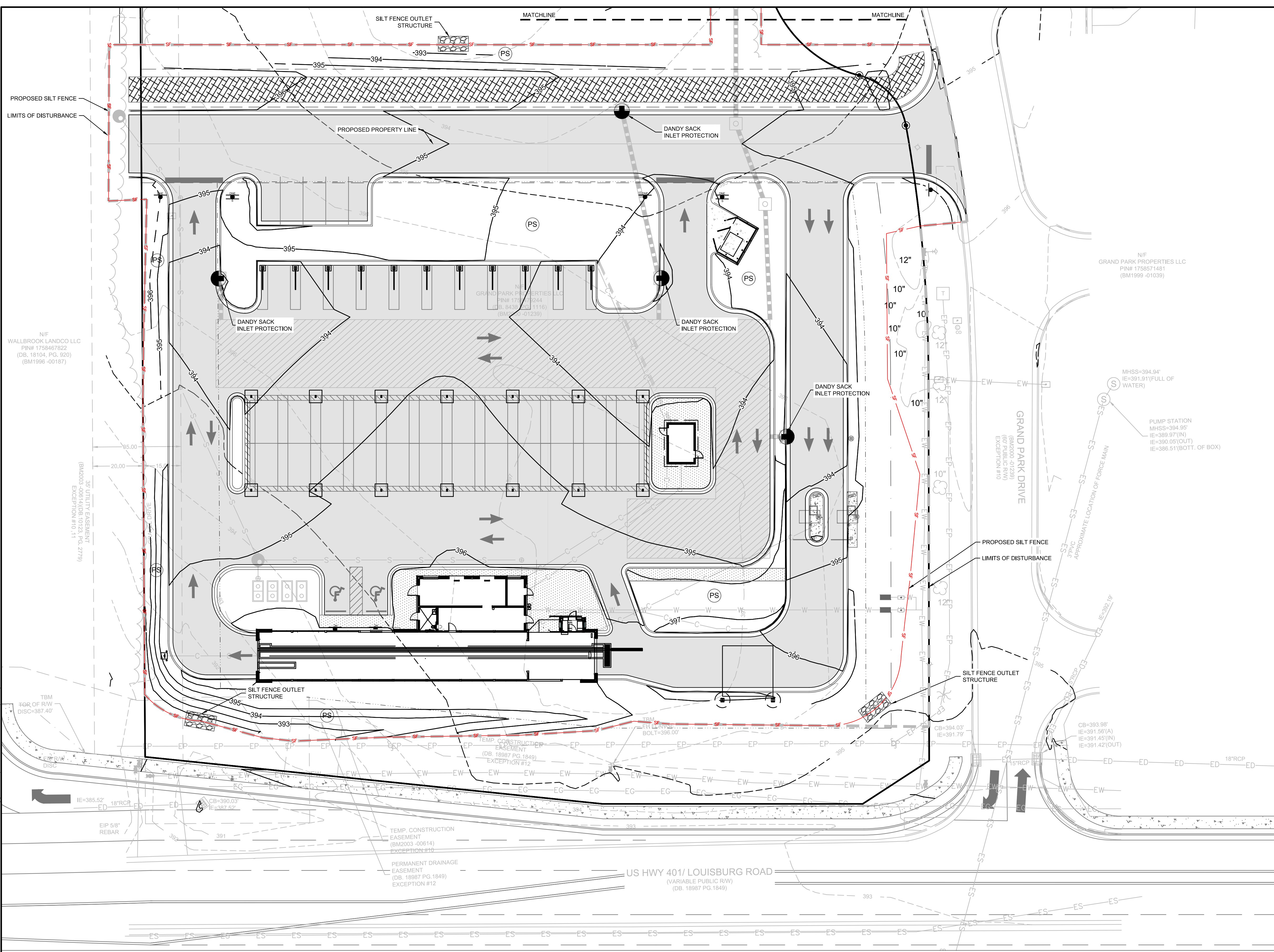
LIMITS OF DISTURBANCE

DANDY SACK INLET PROTECTION

SILT FENCE OUTLET STRUCTURE

PROPOSED PROPERTY LINE

EXISTING PROPERTY LINE



- PHASE III SEQUENCING:**
1. CONTACT SEDIMENT CONTROL INSPECTOR FOR APPROVAL TO PROCEED
 2. BEGIN FINE GRADING AND INITIATE FINAL PAVING
 3. ONCE BUILDING CONSTRUCTION FOR SITE IS COMPLETE, CONTACT SEDIMENT CONTROL INSPECTOR FOR APPROVAL TO REMOVE APPLICABLE EROSION CONTROL MEASURES.
 4. PERMANENTLY STABILIZE ANY REMAINING AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING SCHEDULE AND NOTES. INSTALL FINAL SITE LANDSCAPING
 5. REQUEST FINAL APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR PRIOR TO REMOVING ANY REMAINING SEDIMENT CONTROL MEASURES AND UPON COMPLETION OF FINAL GRADING, PERMANENT DRAINAGE, AND EROSION CONTROL FACILITIES, INCLUDING ESTABLISHED GROUND COVERS AND PLANTINGS, AND ALL OTHER WORK OF THE BUILDING PERMITS.

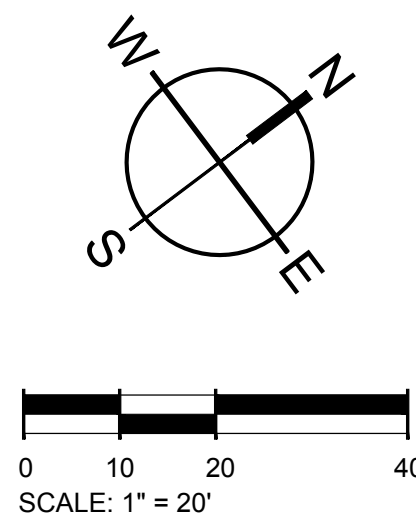
TOTAL SITE ACREAGE	1.82 ACRES
DISTURBED ACREAGE	2.02 ACRES

EXISTING UTILITY NOTE:

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STABILIZATION NOTE:

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E&S PLAN LEGEND

LIMITS OF DISTURBANCE		CONCRETE WASHOUT BASIN (SEE DETAIL)	
SILT FENCE, STANDARD		DANDY SACK INLET PROTECTION	
SILT FENCE OUTLET/RIP RAP APRON/RIP RAP BASIN & ROCK SEDIMENT TRAP		HARDWARE CLOTH AND GRAVEL INLET PROTECTION	
CONSTRUCTION ENTRANCE		TEMPORARY SEEDING	
PERMANENT SOD			

SW SEAMON WHITESIDE

MOUNT PLEASANT, SC 29566 843.884.1667
 GREENVILLE, SC 29615 864.298.0534
 SUMMERVILLE, SC 29586 843.972.0710
 SPARTANBURG, SC 29303 864.272.1272
 CHARLOTTE, NC 28237 980.312.5450

WWW.SEAMONWHITESIDE.COM

SEAMON WHITESIDE & ASSOCIATES, INC.
 NO. C-2466

Professional Engineer Seal for Tommie L. Little, No. 048282, dated 10/30/23.

TIDAL WAVE AUTO SPA

ROLESVILLE, NC

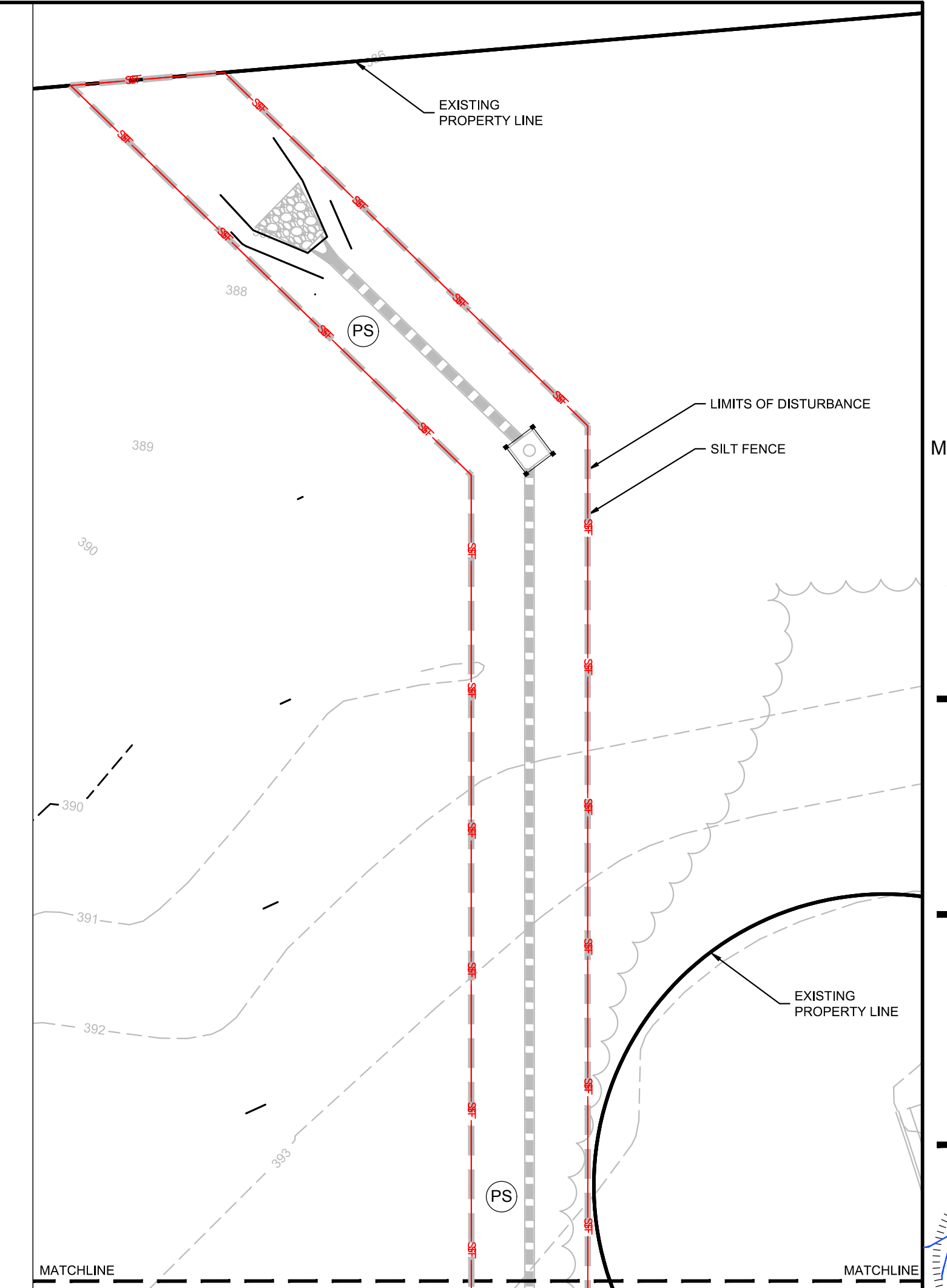
SW+ PROJECT: 10772
 DATE: 10/30/23
 DRAWN BY: CPE
 CHECKED BY: DWJ

REVISION HISTORY

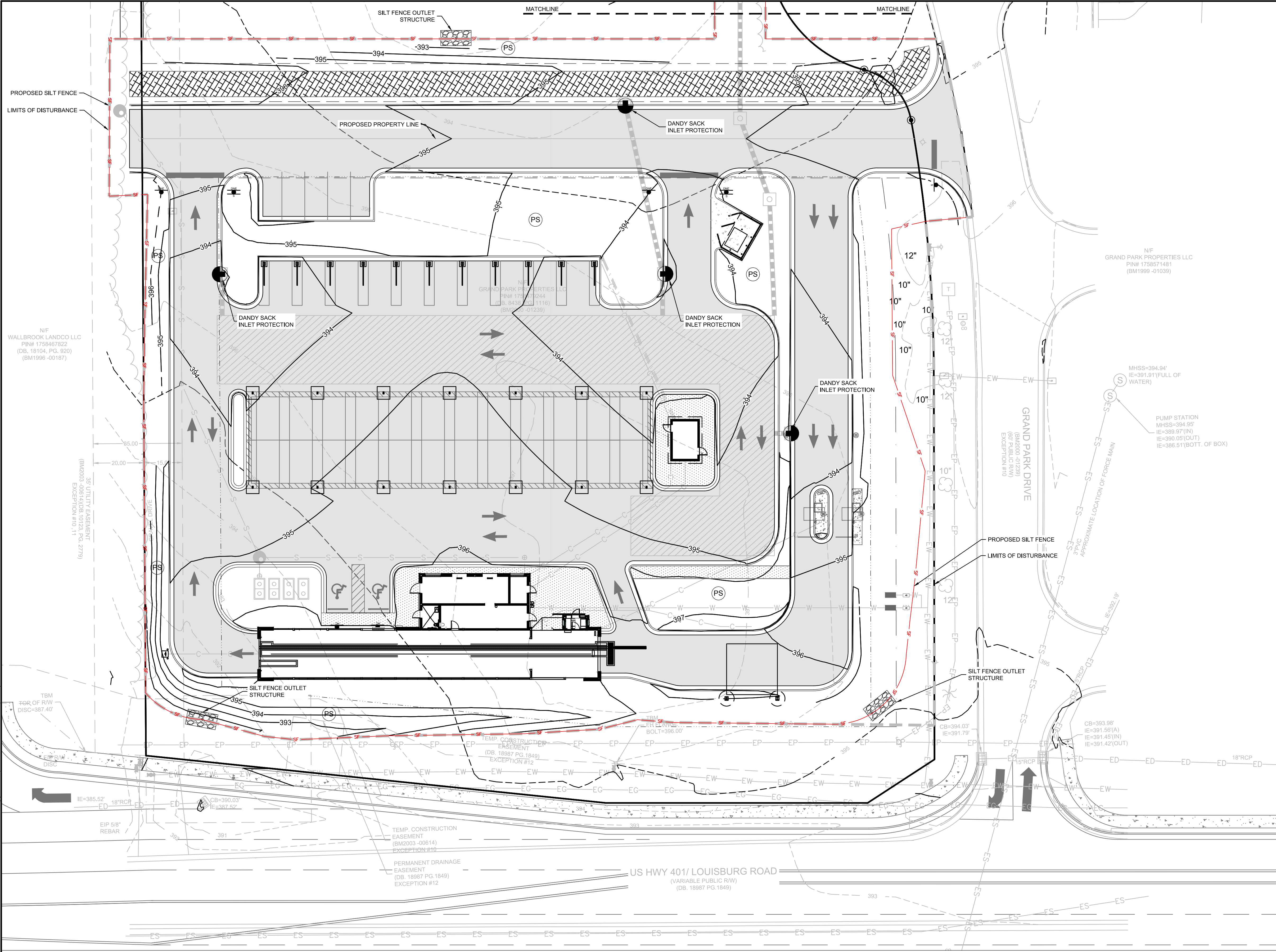
NO.	DATE	DESCRIPTION

EROSION CONTROL PH III





- PHASE III SEQUENCING:**
1. CONTACT SEDIMENT CONTROL INSPECTOR FOR APPROVAL TO PROCEED
 2. BEGIN FINE GRADING AND INITIATE FINAL PAVING
 3. ONCE BUILDING CONSTRUCTION FOR SITE IS COMPLETE, CONTACT SEDIMENT CONTROL INSPECTOR FOR APPROVAL TO REMOVE APPLICABLE EROSION CONTROL MEASURES.
 4. PERMANENTLY STABILIZE ANY REMAINING AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING SCHEDULE AND NOTES. INSTALL FINAL SITE LANDSCAPING
 5. REQUEST FINAL APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR PRIOR TO REMOVING ANY REMAINING SEDIMENT CONTROL MEASURES AND UPON COMPLETION OF FINAL GRADING, PERMANENT DRAINAGE, AND EROSION CONTROL FACILITIES, INCLUDING ESTABLISHED GROUND COVERS AND PLANTINGS, AND ALL OTHER WORK OF THE BUILDING PERMITS.

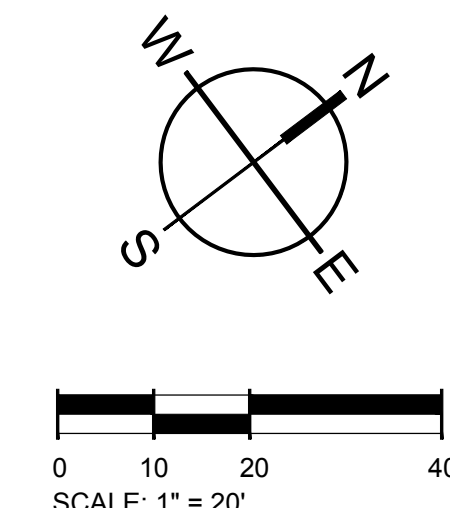


TOTAL SITE ACREAGE
1.82 ACRES

DISTURBED ACREAGE
2.02 ACRES

EXISTING UTILITY NOTE:
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E&S PLAN LEGEND

LIMITS OF DISTURBANCE	---	CONCRETE WASHOUT BASIN (SEE DETAIL)	CW
SILT FENCE, STANDARD	—+—	DANDY SACK INLET PROTECTION	DS
SILT FENCE OUTLET/RIP RAP APRON/RIP RAP BASIN & ROCK SEDIMENT TRAP	[Pattern]	HARDWARE CLOTH AND GRAVEL INLET PROTECTION	GI
CONSTRUCTION ENTRANCE	[Pattern]	TEMPORARY SEEDING	TS
PERMANENT SOD	(PS)		



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 WALLBROOK LANDCO LLC PIN# 1758467822 (DB, 18104, PG. 920) (BM1996-00187)
 GRAND PARK PROPERTIES LLC PIN# 1758571481 (BM1999-01039)
 NIF WALLBROOK LANDCO LLC PIN# 1758467822 (DB, 18104, PG. 920) (BM1996-00187)
 GRAND PARK PROPERTIES LLC PIN# 1758571481 (BM1999-01039)
 NIF GRAND PARK PROPERTIES LLC PIN# 1758571481 (BM1999-01039)
 MHS=394.94' IE=391.91'(FULL OF WATER)
 PUMP STATION MHS=394.94' IE=390.05'(OUT) IE=388.51'(BOTT. OF BOX)
 TBM TGR OF RW DISC=397.49'
 IE=385.52' FD 18"RCR ED
 CB=390.03' IE=387.42'
 TEMP. CONSTRUCTION EASEMENT (BM2023-00614) EXCEPTION #10
 PERMANENT DRAINAGE EASEMENT (DB, 18987 PG.1849) EXCEPTION #12
 US HWY 401/ LOUISBURG ROAD (VARIABLE PUBLIC RW) (DB, 18987 PG.1849)
 GRAND PARK DRIVE (BROADWAY 01228) (FOR PUBLIC RW) EXCEPT #18
 MHS=394.94' IE=391.91'(FULL OF WATER)
 PUMP STATION MHS=394.94' IE=390.05'(OUT) IE=388.51'(BOTT. OF BOX)
 TBM TGR OF RW DISC=397.49'
 IE=385.52' FD 18"RCR ED
 CB=390.03' IE=387.42'
 TEMP. CONSTRUCTION EASEMENT (BM2023-00614) EXCEPTION #10
 PERMANENT DRAINAGE EASEMENT (DB, 18987 PG.1849) EXCEPTION #12
 US HWY 401/ LOUISBURG ROAD (VARIABLE PUBLIC RW) (DB, 18987 PG.1849)
 GRAND PARK DRIVE (BROADWAY 01228) (FOR PUBLIC RW) EXCEPT #18

501 WINDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29566 | JUDSON MILLS BUILDING 6000 TOXIC EASLEY BROCK RD, SUITE 6000 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 701 N. CEDAR STREET | SUMMERVILLE, SC 29582 | 10A N. DANIEL HICKORY AVENUE, SUITE 300 | SPARTANBURG, SC 29591

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING. SECTION A: SELF-INSPECTION. Table with columns: Impact, Frequency, Inspection records must include.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING. SECTION B: RECORDKEEPING. Table with columns: Item to Document, Documentation Requirements.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING. SECTION C: REPORTING. Table with columns: Occurrence, Reporting Timeframes (After Discovery) and Other Requirements.

PART II, SECTION 6, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT. Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down...

- (a) The E&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur.
(b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit.
(c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin.
(d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above.
(e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices.
(f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT. SECTION E: GROUND STABILIZATION. Table with columns: Site Area Description, Stabilize within this many calendar days after ceasing land disturbance, Timeframe variations.

EQUIPMENT AND VEHICLE MAINTENANCE. LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE. PAINT AND OTHER LIQUID WASTE. PORTABLE TOILETS. EARTHEN STOCKPILE MANAGEMENT. HERBICIDES, PESTICIDES AND RODENTICIDES. HAZARDOUS AND TOXIC WASTE.

CONCRETE WASHOUTS. Diagram showing washout station details. Table with 4 columns for HERBICIDES, PESTICIDES AND RODENTICIDES. Table with 3 columns for HAZARDOUS AND TOXIC WASTE.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

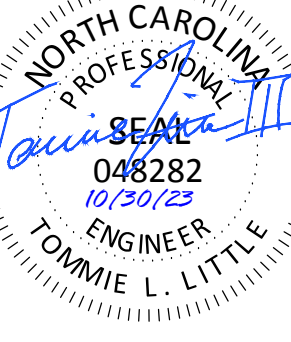
EFFECTIVE: 04/01/19

SEAMON WHITESIDE logo and address information: MOUNT PLEASANT, SC 29584, GREENVILLE, SC 29615, SUMMERVILLE, SC 29582, SPARTANBURG, SC 29591, CHARLOTTE, NC 28202.

Professional Engineer Seal for Tommie L. Little, No. C-2466. License expires 10/31/23.

TIDAL WAVE AUTO SPA logo and address information: ROLESVILLE, NC.

REVISION HISTORY table with columns for revision number, description, and date.



TIDAL WAVE AUTO SPA
ROLESVILLE, NC

SW+ PROJECT: 10772
DATE: 10/30/23
DRAWN BY: CPE
CHECKED BY: DWJ

REVISION HISTORY

NO.	DESCRIPTION

SITE PLAN

SITE INFORMATION:
ADDRESS: ROLESVILLE, NC
PROPERTY AREA: 1.82 ACRES
PARCEL: 1758479244
EXISTING USE: UNDEVELOPED
PROPOSED USE: CAR WASH

PROPERTY ZONING: GI-CZ (GENERAL INDUSTRIAL - CONDITIONAL ZONING)
BUILDING SETBACKS:
FRONT (SE): 30'
FRONT (NE): 25'
SIDE (NW): 15'
SIDE (SW): 30'

PERIMETER LANDSCAPE YARDS:
NORTHEAST: 15'

PRE VS. POST DEVELOPMENT AREA:
SITE AREA: 1.82 AC
PRE-IMPERVIOUS AREA: 0.04 AC (2.20%)
POST-IMPERVIOUS AREA: 1.29 AC (70.88%)

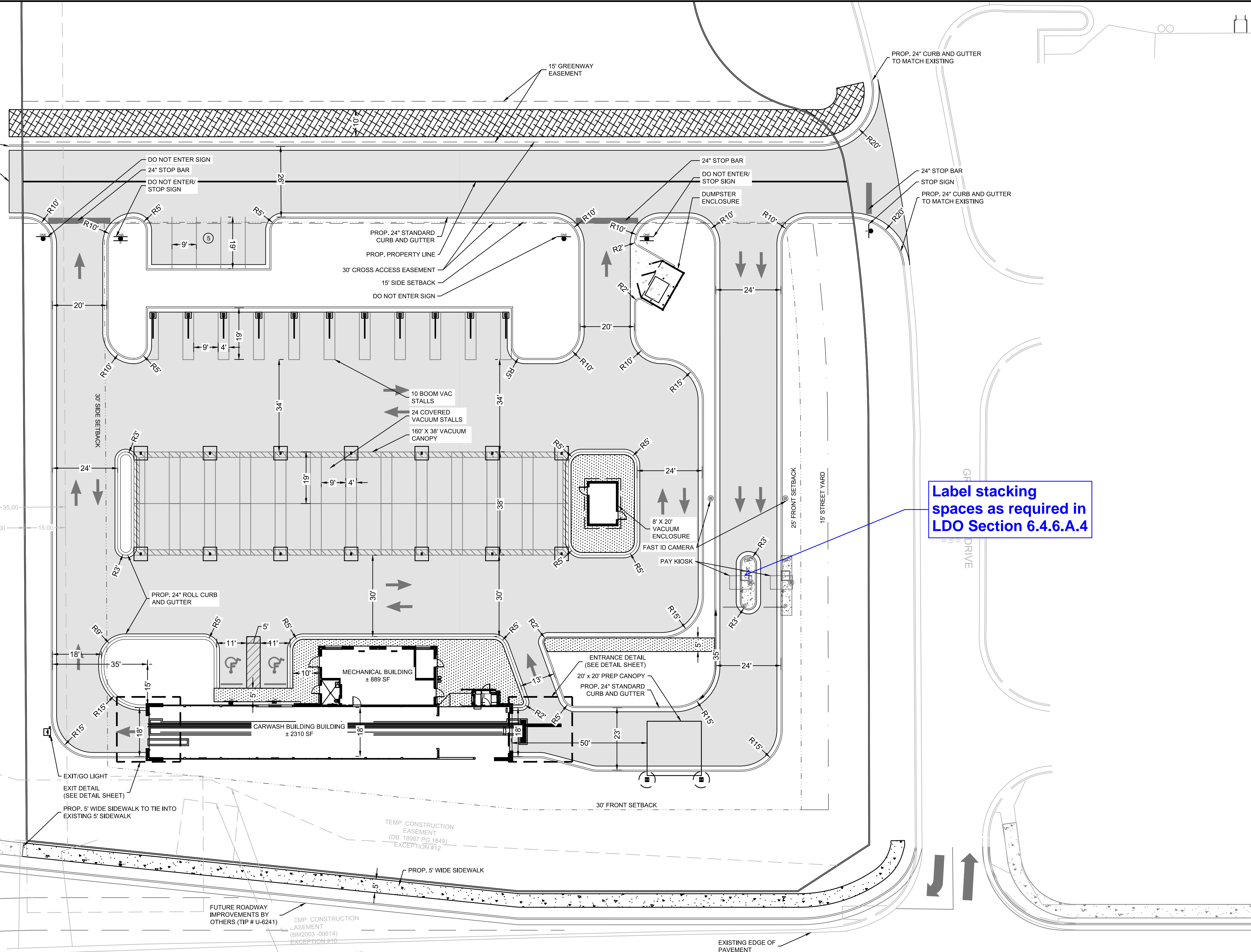
PARKING NOTE:
PARKING REQUIRED:
1 SPACE PER 400 SF GFA OR 5 SPACES MINIMUM = 5 SPACES

PARKING PROVIDED:
EMPLOYEE SPACES: 5 SPACES (1 ADA)
(4 MAX ON SHIFT)
VACUUM STALLS: 34 STALLS

SITE LAYOUT AND STAKING NOTES:

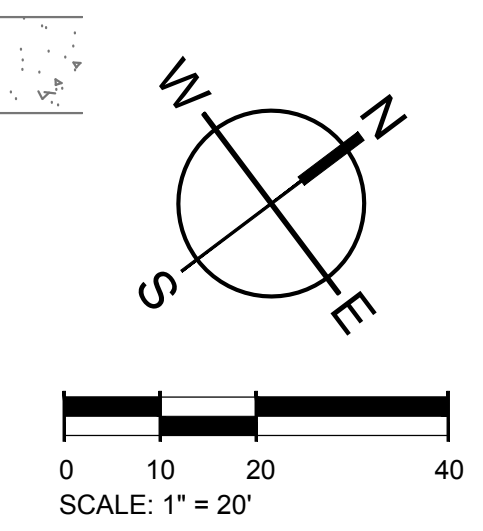
- CONTRACTOR SHALL CAREFULLY EXAMINE ALL DOCUMENTS AND THE CONSTRUCTION SITE TO OBTAIN FIRST HAND KNOWLEDGE OF EXISTING CONDITIONS.
- ENTIRE SITE SHALL BE DRESSED TO UNIFORM, WELL DRAINED AND VISUALLY APPEALING SURFACE WITH A MINIMUM TOPSOIL LAYER OF FOUR INCHES.
- ALL STRIPING AND SIGNS SHALL CONFORM WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION. PARKING STALL STRIPING TO BE WHITE WITH BLUE HANDICAPPED STRIPING.
- ALL HANDICAP PARKING SPACED AND ACCESSIBLE ROUTE SHALL CONFORM WITH THE AMERICAN WITH DISABILITY ACT DESIGN GUIDELINES AND SPECIFICATIONS LATEST EDITION.
- DIMENSIONS AND CURVE RADII ARE GIVEN TO FACE OF CURB, WHERE CURB AND GUTTER IS SHOWN. OTHERWISE DIMENSIONS ARE GIVEN TO THE EDGE OF PAVEMENT. CONTRACTOR IS TO COORDINATE WITH THE ARCHITECTURAL PLANS AS TO THE BUILDING LAYOUT AND DIMENSIONS.

Label stacking spaces as required in LDO Section 6.4.6.A.4

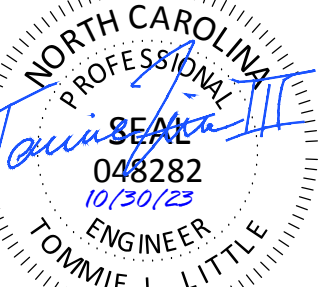


SITE LEGEND

[Pattern]	PROPOSED SIDEWALK
[Pattern]	HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	STANDARD DUTY CONCRETE PAVEMENT
[Pattern]	ASPHALT GREENWAY
[Symbol]	STOP SIGN
[Symbol]	DO NOT ENTER SIGN
[Symbol]	HANDICAP PARKING SIGN



501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29566 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000, GREENVILLE, SC 29611 | 230 PETERSON DR., CHARLOTTE, NC 28217 | 710 N. CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301
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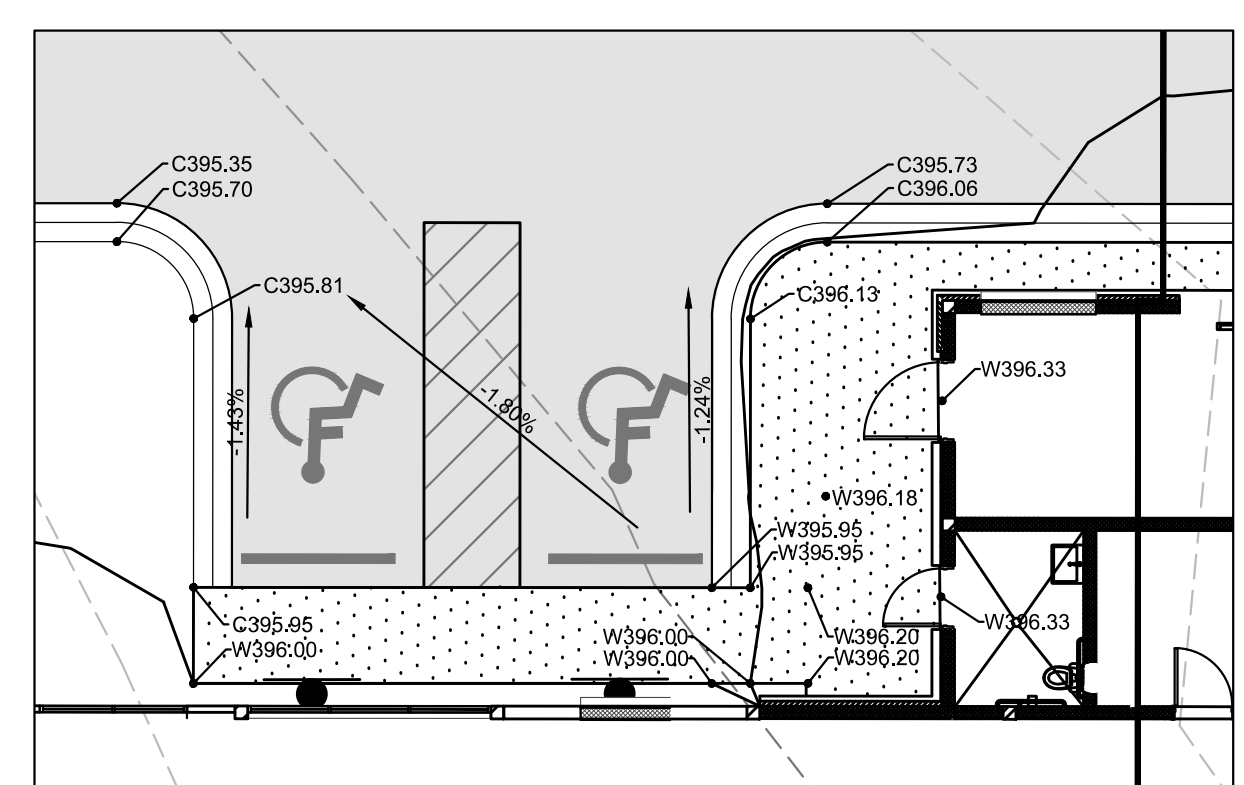
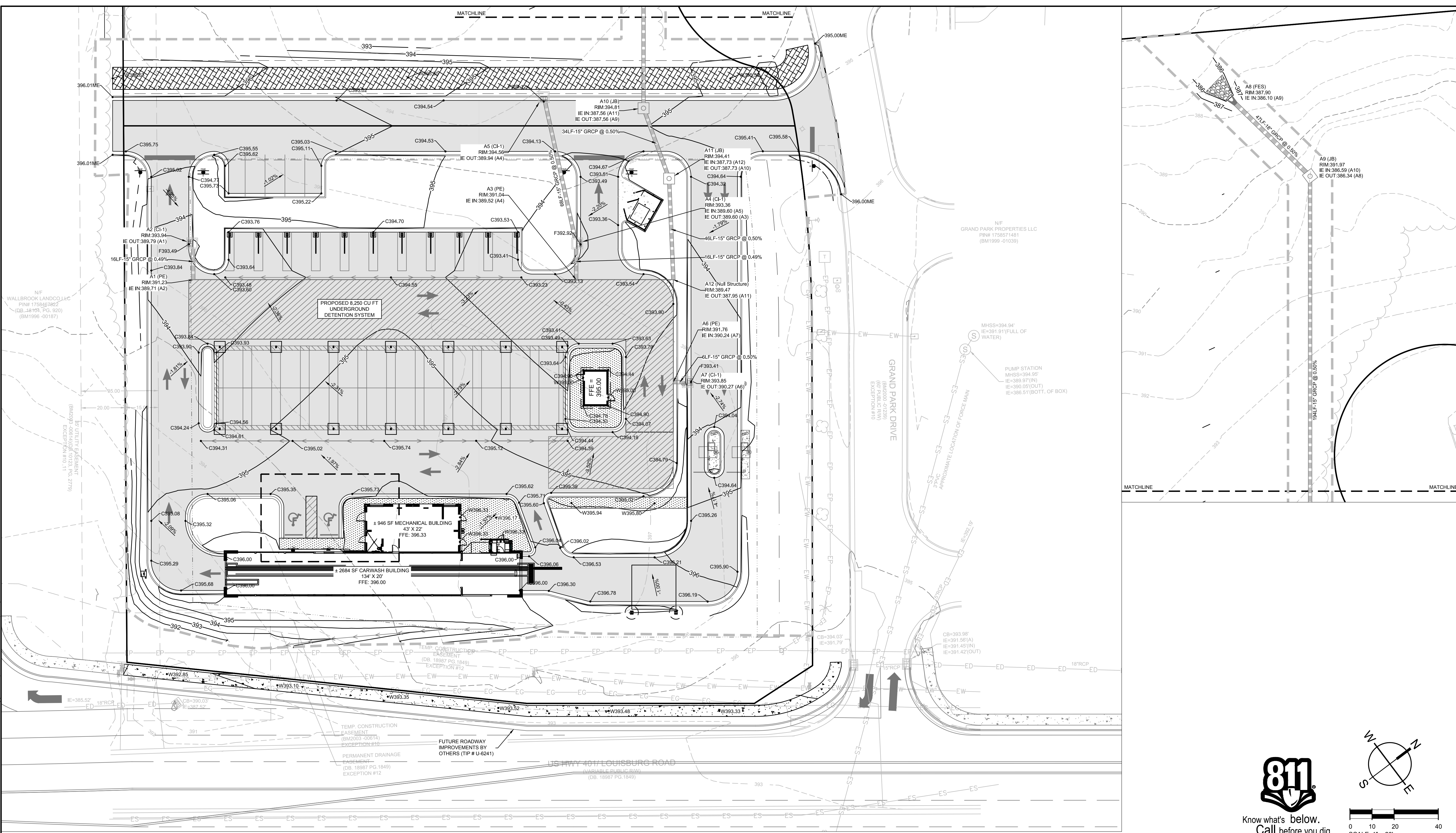
TIDAL WAVE AUTO SPA
ROLESVILLE, NC

SW+ PROJECT: 10772
DATE: 10/30/23
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REVISION HISTORY

NO.	DESCRIPTION

OVERALL GRADING AND DRAINAGE PLAN



NOTES:
1. THE LONGITUDINAL SLOPE OF ALL SURFACES ALONG THE ADA ACCESSIBLE ROUTE, WHICH ARE NOT SPECIFICALLY NOTED AS BEING A RAMP, SHALL NOT EXCEED 1:20. RAMPS SHALL NOT EXCEED A SLOPE OF 1:12. TRANSVERSE SLOPES SHALL NOT EXCEED 1:50. CONTRACTOR SHALL FIELD VERIFY SLOPES BEFORE INSTALLATION AND NOTIFY ENGINEER IMMEDIATELY IF MAX. SLOPES ARE EXCEEDED.
2. AT PARKING SPACES AND ASSOCIATED ACCESS AISLES, SLOPE SHALL NOT EXCEED 1:50 IN ANY DIRECTION.

LEGEND

RCP DRAINAGE PIPE	
GRADING LIMITS	
HOODED CATCH BASIN (HCB)	
JUNCTION BOX (JB)	

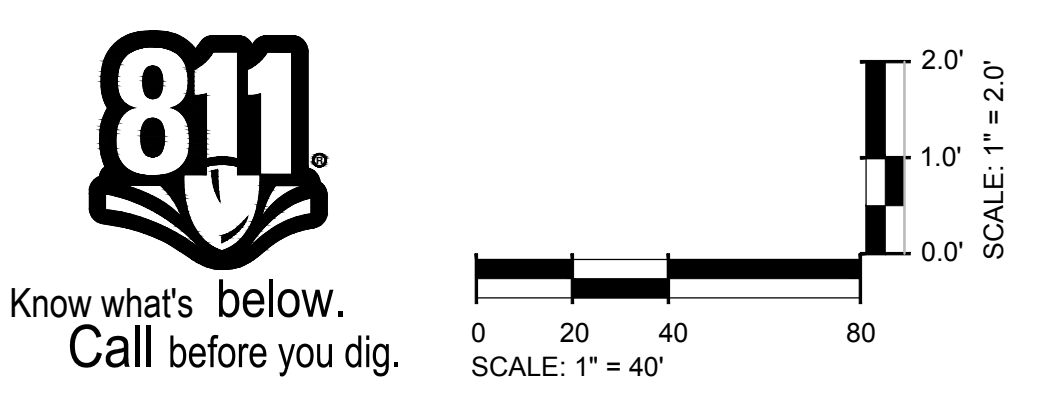
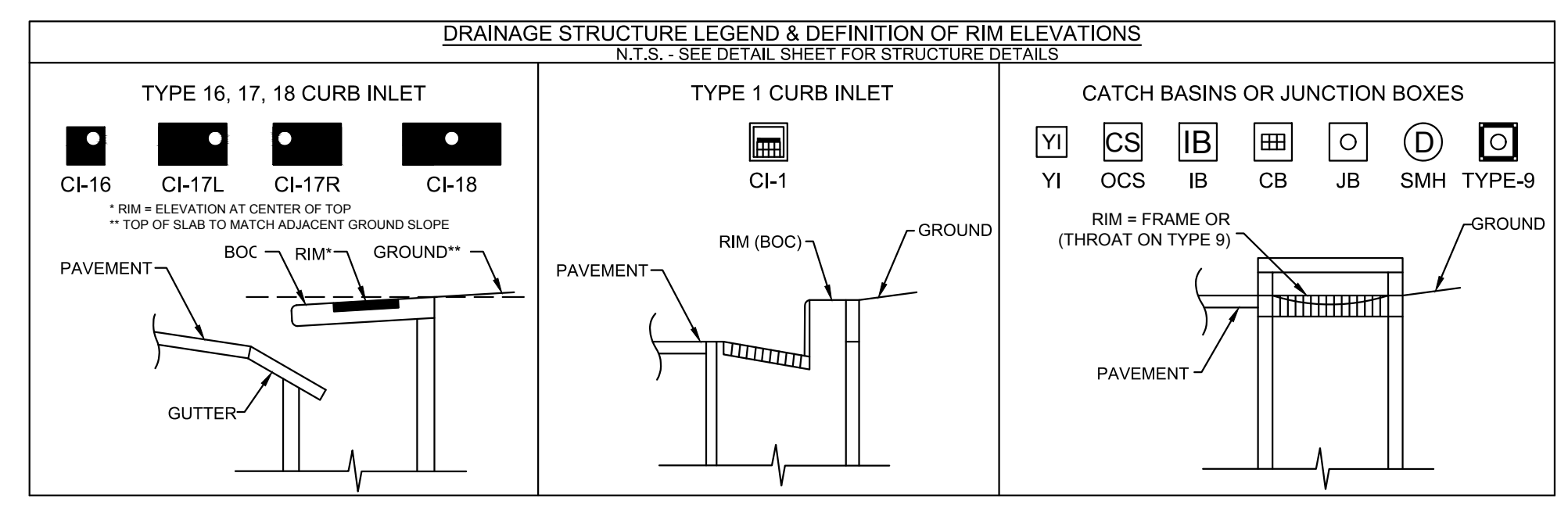
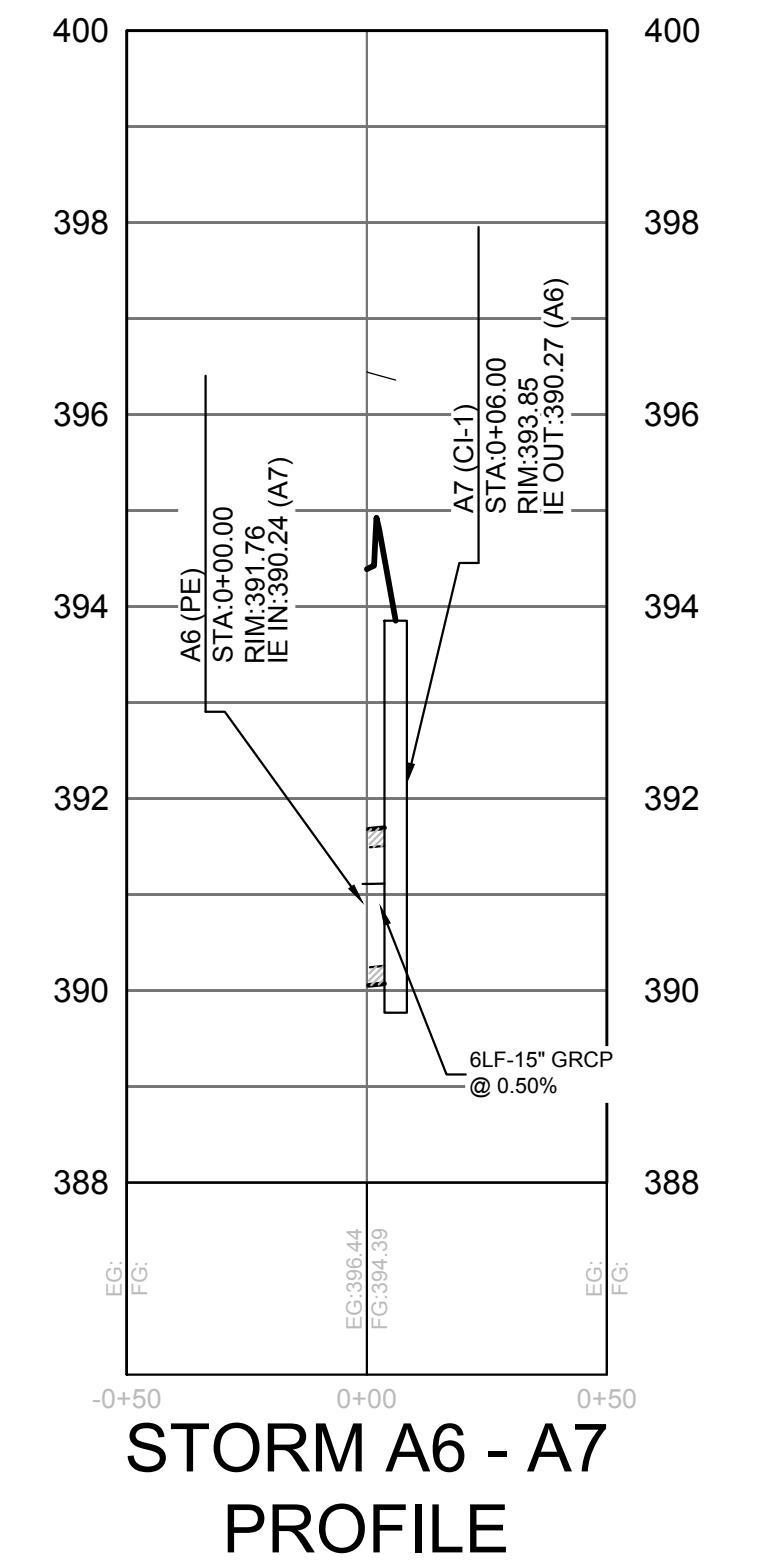
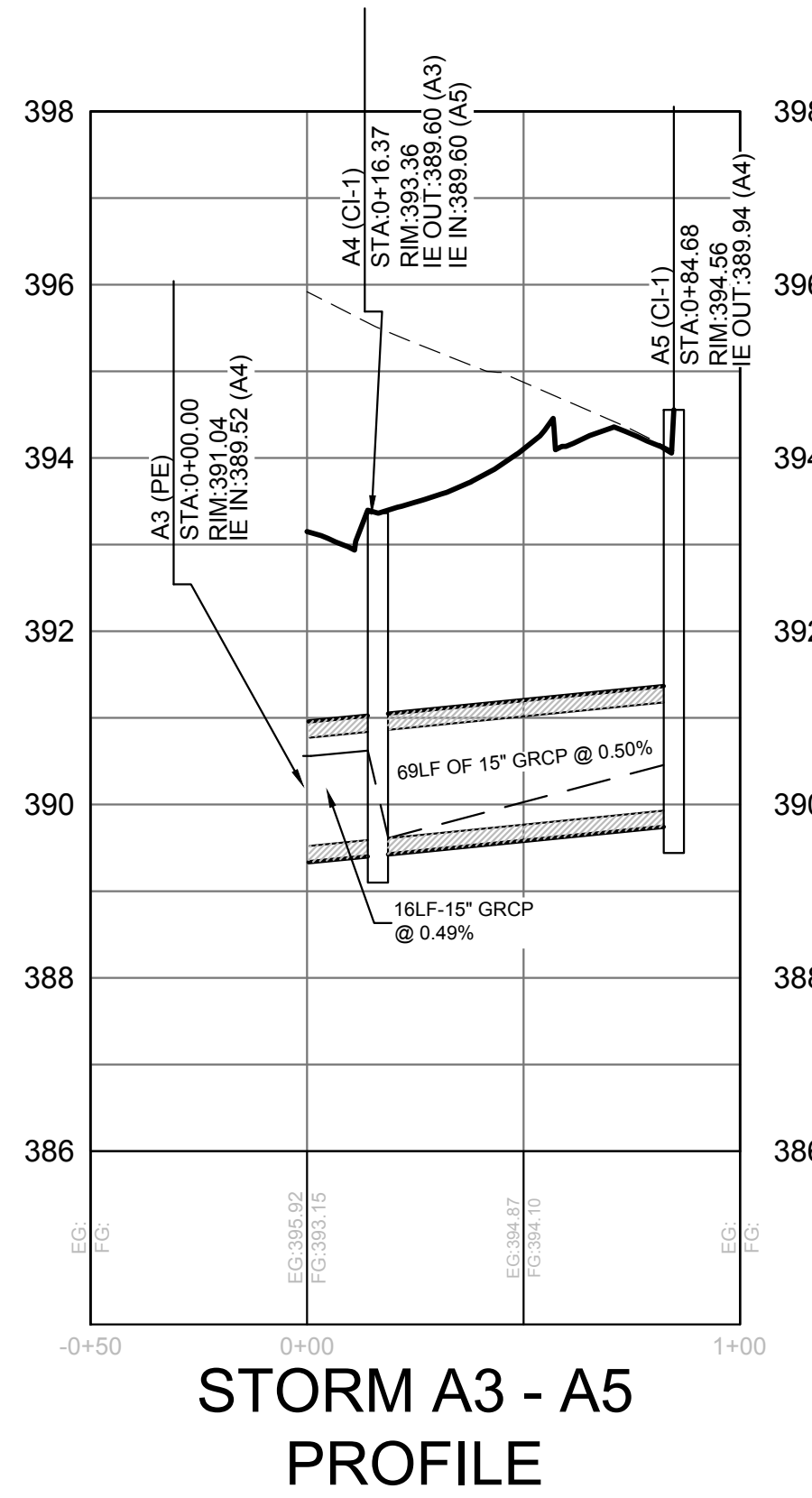
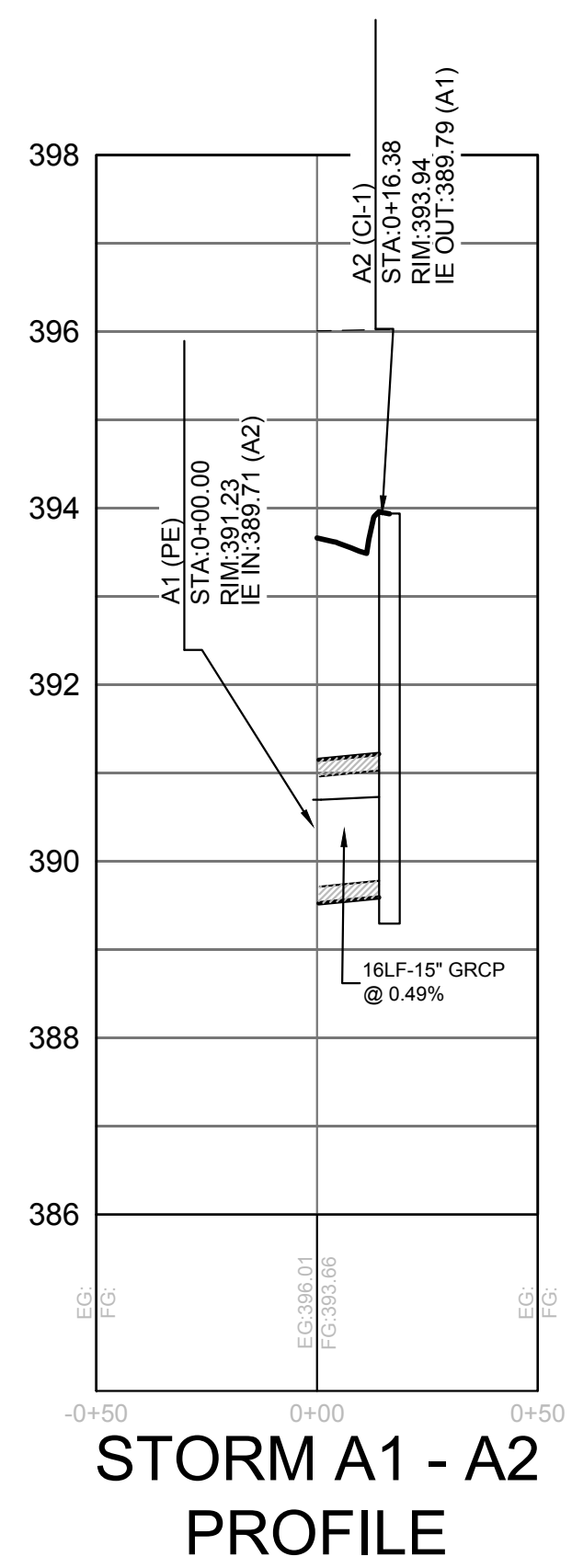
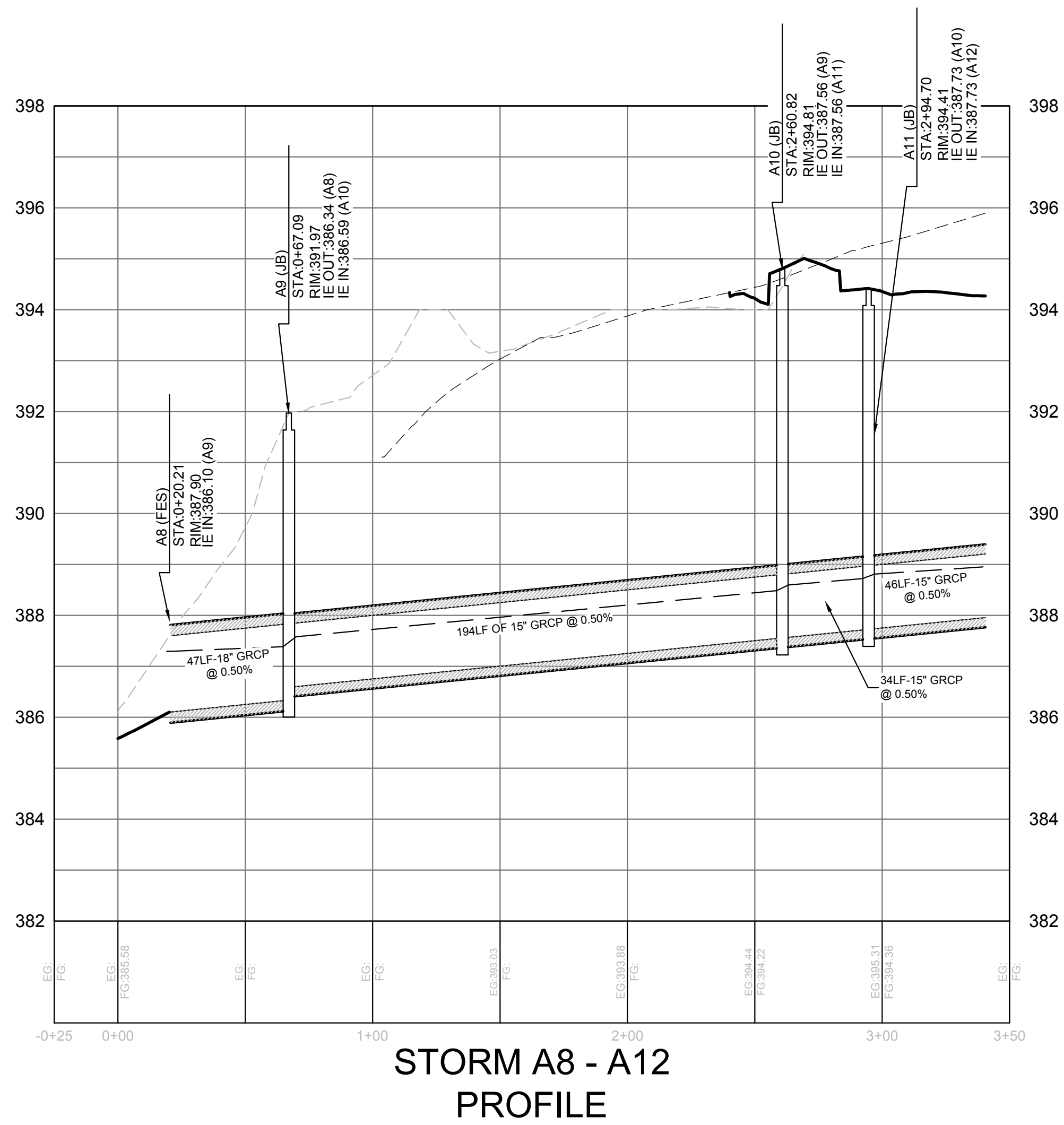
SPOT ELEV KEY (FINISHED GRADING)

A-(ASPHALT) SURFACE OF FINISHED ASPHALT ROADWAY OR WALKING PATH
C-(CONCRETE) CONCRETE PAVING
D-(DIRT) FINISHED GROUND ELEVATION
F-(FLOW) ELEVATION AT WHICH SURFACE WATER FLOWS INTO DRAINAGE STRUCTURE
-SURFACE OF ASPHALT ADJACENT TO THROAT OR GRATE AT CURB INLET
-SURFACE OF ACCESS COVER FOR JUNCTION OR ISOLATION BOX
-SURFACE OF GRATE AT OUTSIDE EDGE FOR CATCH BASIN, GUTTER INLET, OR GRATED POND STRUCTURE
FFE - FINISHED FLOOR ELEVATION
G-(GUTTER) SURFACE OF FINISHED GUTTER AT LOWEST POINT (ALONG WATER FLOW PATH)
W-(WALK) SURFACE OF FINISHED CONCRETE OR INTERLOCKING PAVEMENT SIDEWALK, PATIO, PLAZA, OR SLAB
TC - TOP OF CURB ELEVATION
BC - BOTTOM OF CURB ELEVATION
TS - TOP OF STAIRS ELEVATION
BS - BOTTOM OF STAIRS ELEVATION
TW - FINISHED GRADE ELEVATION AT TOP OF WALL
BW - FINISHED GRADE ELEVATION AT BOTTOM OF WALL
ME-(MATCH EXISTING) FOLLOWING ELEVATION NUMBER - INDICATES TO MATCH ELEVATION OF EXISTING SURFACE AT POINT OF CONNECTION

EXAMPLE: A12.56ME MEANS THAT THE SURFACE OF NEW ASPHALT IS TO BE AT ELEVATION 12.56 WHICH SHOULD MATCH THE ELEVATION OF THE EXISTING ASPHALT SURFACE AT THE JOINT

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 WALLBROOK LANDCO LLC PIN# 1758567822 (DB: 48193, PG. 920) (BM1998-00187)
 GRAND PARK PROPERTIES LLC PIN# 1758571481 (BM1999-01039)
 MHS# 394.94 IE=391.91(FULL OF WATER)
 PUMP STATION MHS# 394.96 IE=389.97(IN) IE=390.05(OUT) IE=386.51(BOTT. OF BOX)
 GRAND PARK DRIVE (BROADWAY 01238) (FOR PUBLIC ROW) EXCEPTION #10
 3" RCP APPROXIMATE LOCATION OF FORCE MAIN
 US HWY 401 LOUISBURG ROAD (WALKABLE PUBLIC ROW) (DB: 18987 PG. 1849)
 TEMP. CONSTRUCTION EASEMENT (BMD203-10514) EXCEPTION #10
 FUTURE ROADWAY IMPROVEMENTS BY OTHERS (TIP # U-6241)
 PERMANENT DRAINAGE EASEMENT (DB: 18987 PG. 1849) EXCEPTION #12
 601 WINDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000 TOY EASLEY BRIDGE RD, SUITE 6000 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 7124 CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301
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 PERMANENT DRAINAGE EASEMENT (DB: 18987 PG. 1849) EXCEPTION #12

NO.	DESCRIPTION



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BACKFLOW PREVENTION NOTES

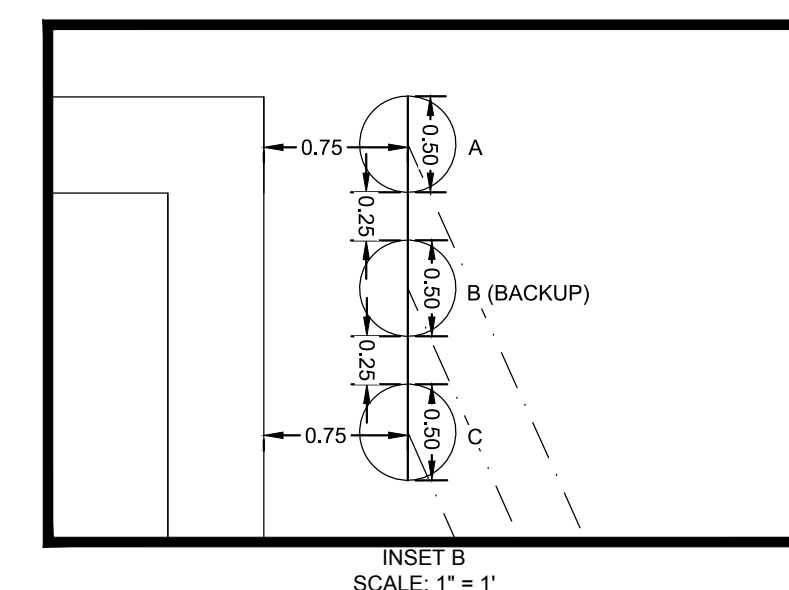
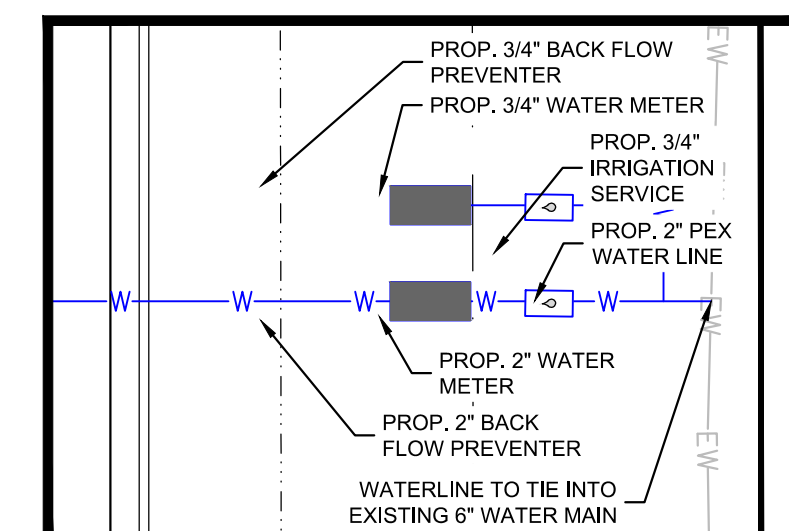
1. REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY AS APPROVED BY TOWN OF ROLESVILLE AND INSTALLED BY CONTRACTOR DURING CONSTRUCTION. ASSEMBLY TO BE INSTALLED ABOVE GROUND WITHIN INSULATED ENCLOSURE PER TOWN OF ROLESVILLE REQUIREMENTS. ENCLOSURE TO BE LOCATED OUT OF SETBACK.
2. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS OR OTHER WATER USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS REQUIRED BACKFLOW PREVENTER.
3. EACH REQUIRED BACKFLOW PREVENTION ASSEMBLY IS REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE AND YEARLY THEREAFTER. SUBMIT PASSING TEST REPORTS TO TOWN OF ROLESVILLE.
4. DUCTILE IRON, COPPER, OR OTHER METALLIC PIPING (NO PVC) IS TO BE USED WITHIN 5 FEET OF ALL BACKFLOW PREVENTION DEVICES.
5. TAMPER SWITCHES SHALL BE INSTALLED ON THE FIRE LINE BACKFLOW PREVENTION. INSTALL 3/4" CONDUIT FROM FIRE LINE BACKFLOW ENCLOSURE/Vault TO BUILDING ALARM SYSTEM INSIDE BUILDING. COORDINATE WITH ELECTRICAL DRAWINGS AND ALARM SYSTEM MANUFACTURER.

WATER SERVICE NOTES

1. 2" WATER METER FOR DOMESTIC SERVICE FURNISHED AND INSTALLED BY (CONTRACTOR/UTILITY) IN BELOW GRADE CONCRETE VAULT PREPARED BY CONTRACTOR IN ACCORDANCE WITH UTILITY DEPARTMENT STANDARDS. SEE DETAILS.
2. 3/4" WATER METER FOR IRRIGATION SERVICE FURNISHED AND INSTALLED BY (CONTRACTOR/UTILITY) IN BELOW GRADE CONCRETE VAULT PREPARED BY CONTRACTOR IN ACCORDANCE WITH UTILITY DEPARTMENT STANDARDS. SEE DETAILS.

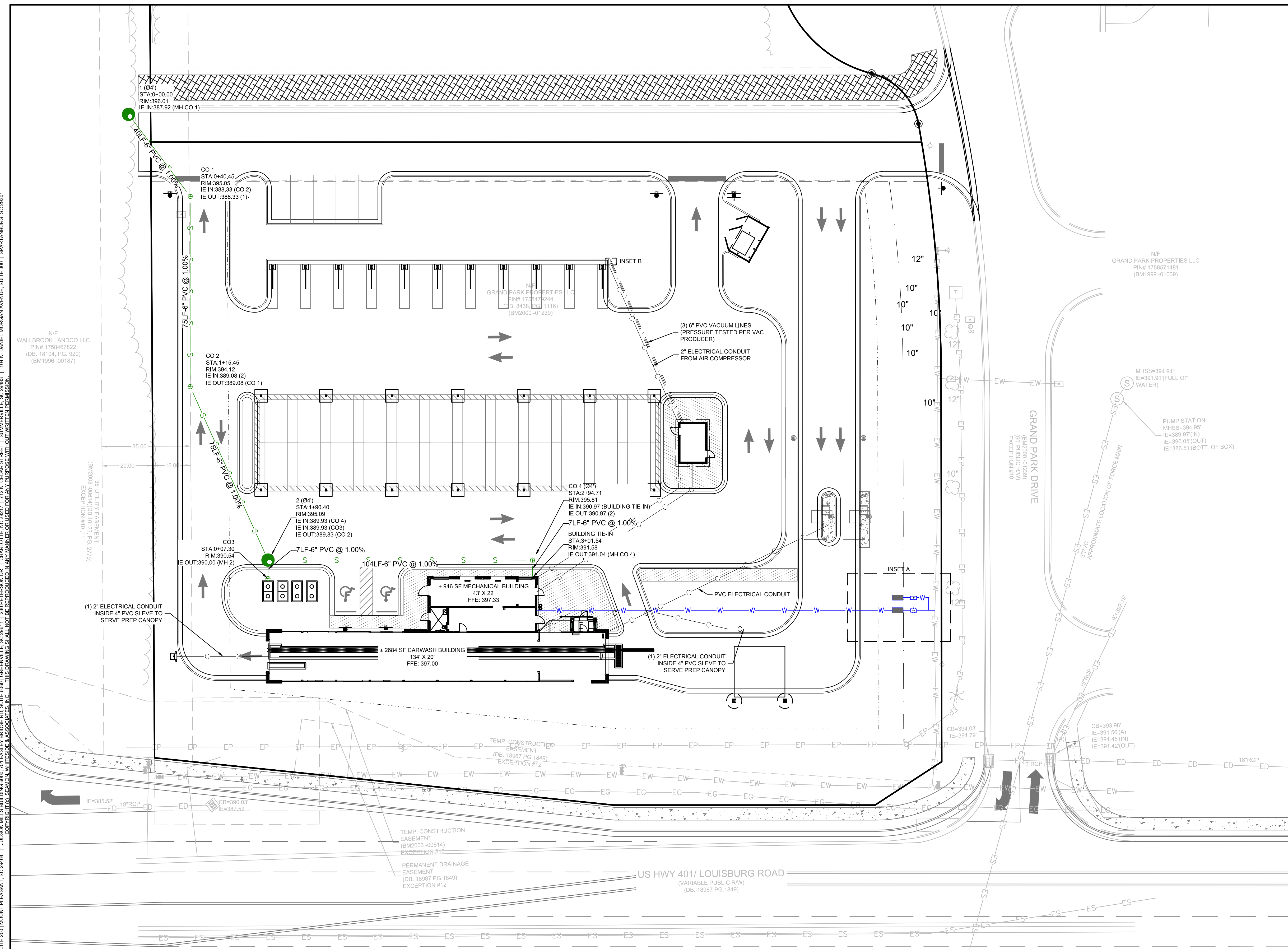
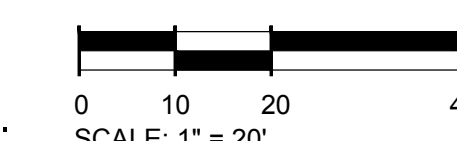
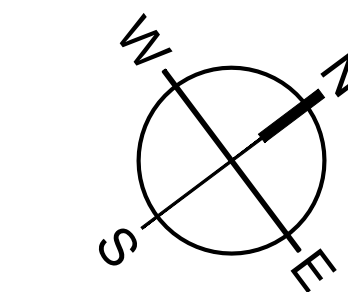
STANDARD SEWER PLAN NOTES

1. FOR PROJECT SURVEY INFORMATION INCLUDING VERTICAL DATUM AND BENCHMARK LOCATIONS, SEE "PROJECT SURVEY INFORMATION AND CONTRACTOR VERIFICATION REQUIREMENTS" ON SHEET C1.0.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO TOPOGRAPHIC, TREE, STORM DRAINAGE FACILITIES, AND ALL UTILITIES. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ENGINEER. THEREFORE, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES. ANY DISCREPANCIES OR CONFLICTS IDENTIFIED DURING VERIFICATION OF EXISTING CONDITIONS AND UTILITIES SHALL BE REPORTED TO THE OWNER AND ENGINEER. ANY COSTS ASSOCIATED WITH CORRECTIVE WORK OR DAMAGES THAT ARE A RESULT OF THE CONTRACTOR NOT VERIFYING EXISTING CONDITIONS AND THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WILL BE THE CONTRACTOR'S RESPONSIBILITY.
3. MANHOLE COVERS ARE NOT ALLOWED WITHIN CURB AND GUTTER AND ARE TO BE INSTALLED COMPLETELY WITHIN OR COMPLETELY OUT OF PAVED AREAS (INCLUDING SIDEWALKS).
4. SEWER MANHOLE CONES ADJACENT TO CURB AND/OR SIDEWALK RAMP SHALL BE ROTATED TO LOCATE MANHOLE FRAME AND COVER AWAY FROM THE SIDEWALK RAMP AND CURBS.
5. REFER TO THE SEWER AUTHORITY'S STANDARD NOTES, DETAILS, AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND PROCEDURES, INCLUDING WATERTIGHT MANHOLE LOCATIONS.
6. REFER TO SEWER DETAIL SHEETS AND SEWER PROFILE SHEETS FOR DETAILS AND ANY ADDITIONAL SEWER SYSTEM INFORMATION.

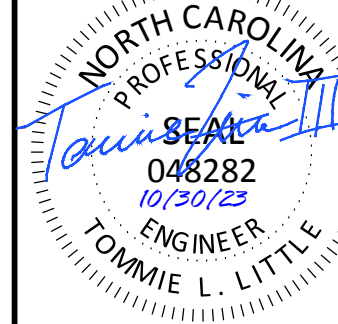
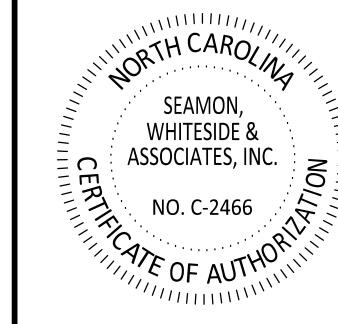


EXISTING UTILITY NOTE:

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



501 WANDO BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000 TOY EASLEY BRIDGE RD, SUITE 6000 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 701 N. CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301
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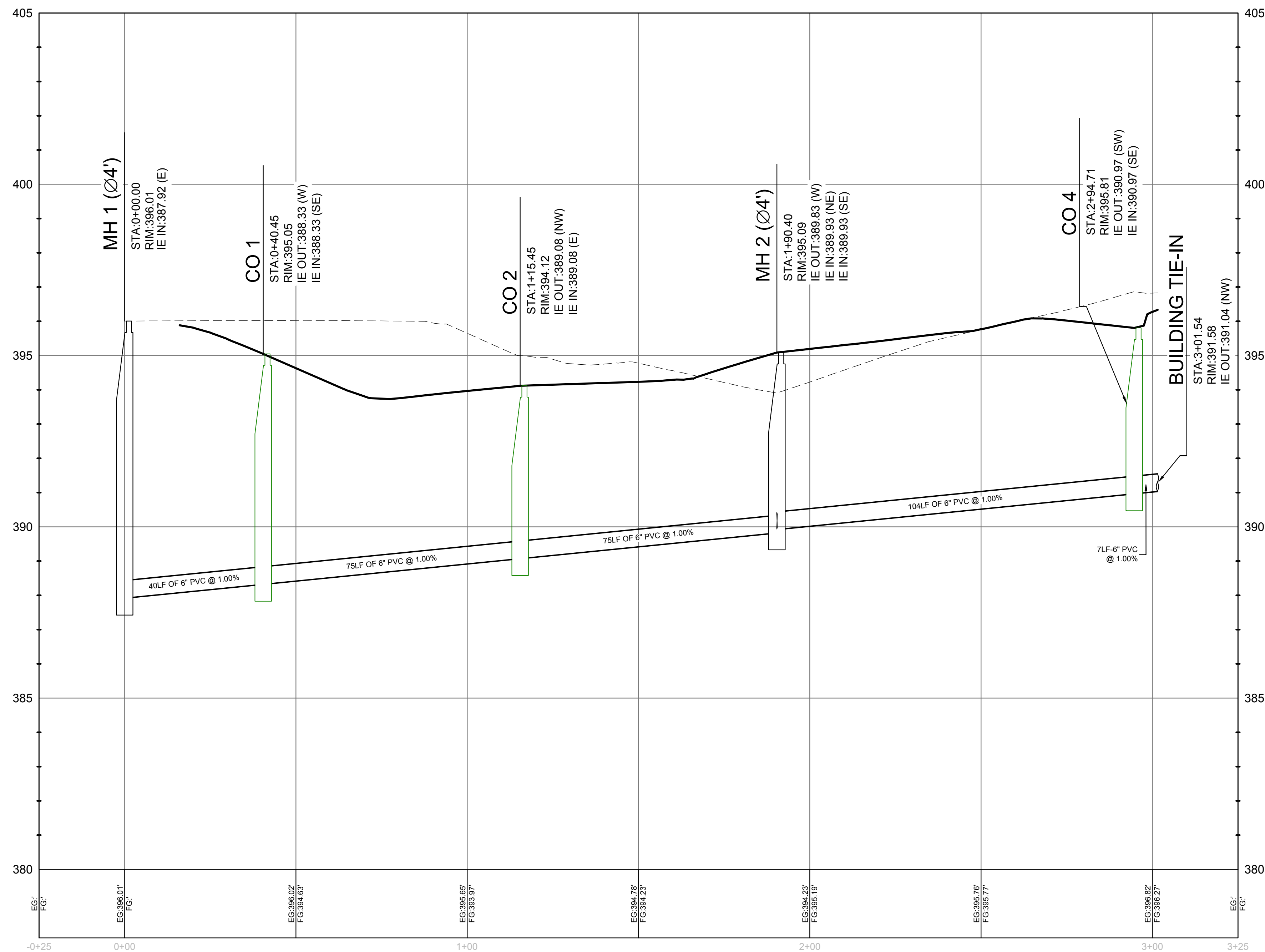
TIDAL WAVE AUTO SPA
ROLESVILLE, NC

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CHECKED BY: DWJ

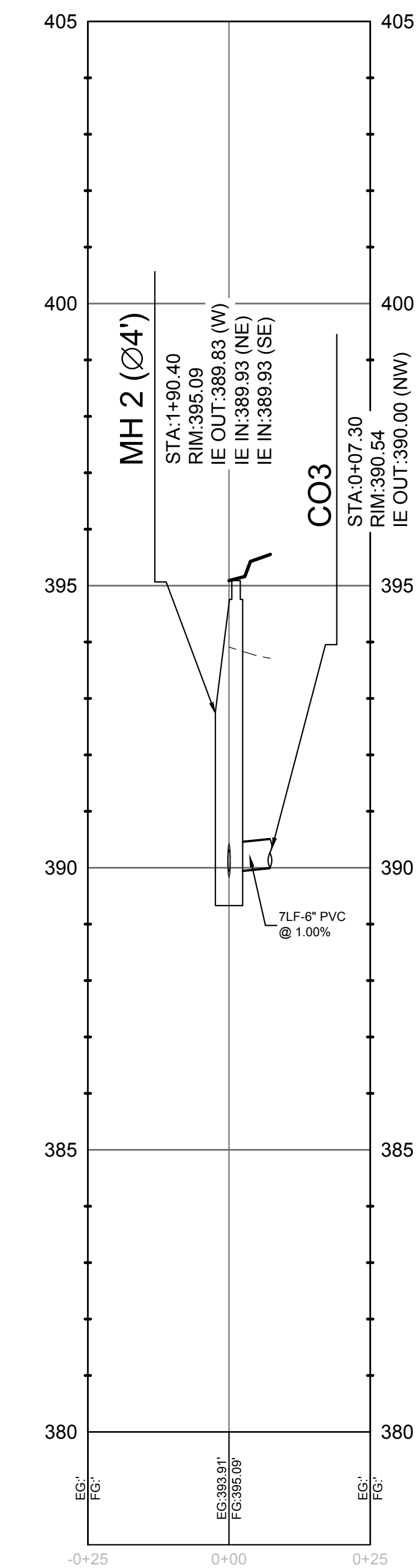
REVISION HISTORY

NO.	DESCRIPTION

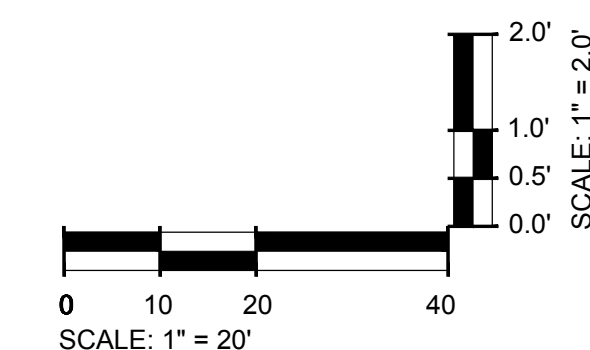
UTILITY PROFILES



MH 1 - BUILDING TIE-IN PROFILE



MH 2 - CO3 PROFILE



EXISTING UTILITY NOTE:

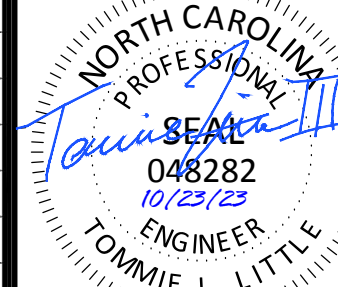
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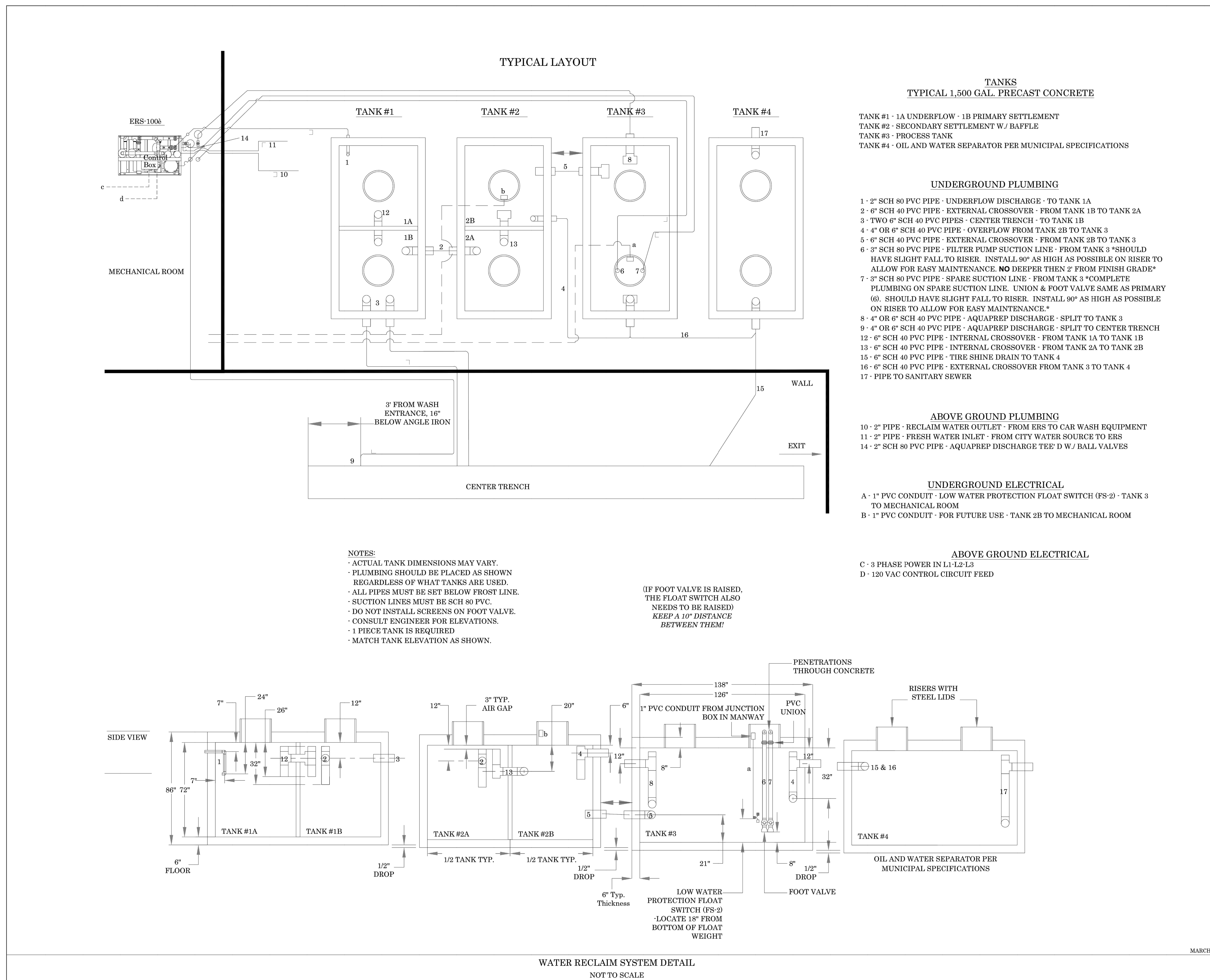
Know what's below.
Call before you dig.



MOUNT PLEASANT, SC
843.884.1667
GREENVILLE, SC
864.298.0534
SUMMERVILLE, SC
843.972.0710
SPARTANBURG, SC
864.272.1272
CHARLOTTE, NC
980.312.5450
WWW.SEAMONWHITESIDE.COM



DATE OF PLANS		
03/31/2023		
REVISIONS		
NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-



TECHNICAL CRITERIA
SHJ CONSTRUCTION GROUP
WATER RECLAIM SYSTEM DETAIL

TIDAL WAVE AUTO SPA
ROLESVILLE, NC

SW+ PROJECT: 10772
DATE: 10/26/23
DRAWN BY: CPE
CHECKED BY: DWJ

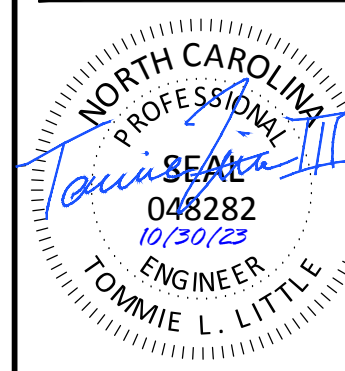
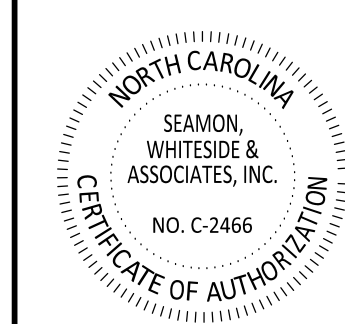
REVISION HISTORY

NO.	DATE	DESCRIPTION

NOT TO SCALE
SHEET
1 OF 1

CONSTRUCTION DETAILS

501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 600 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 710 N. CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301
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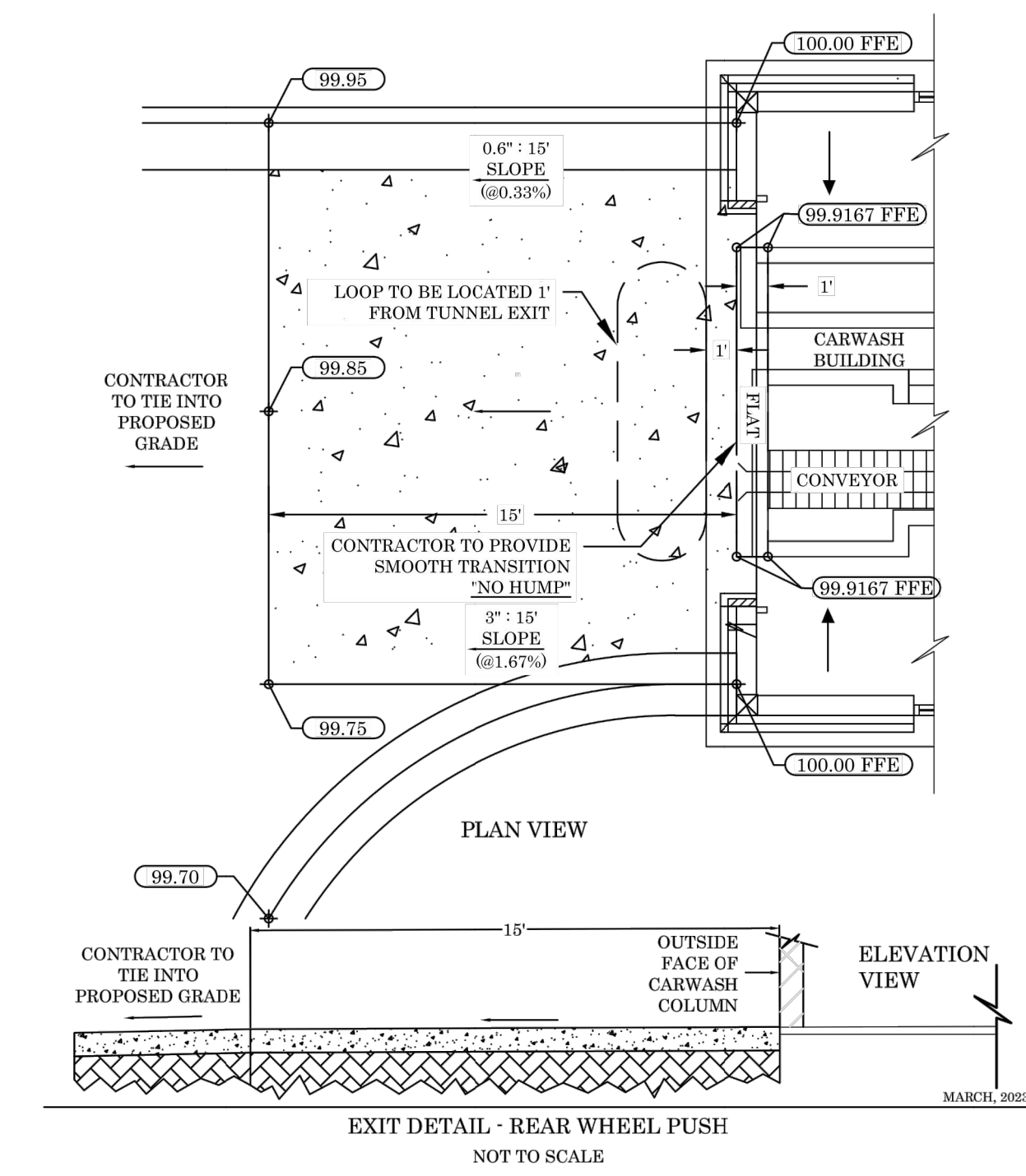


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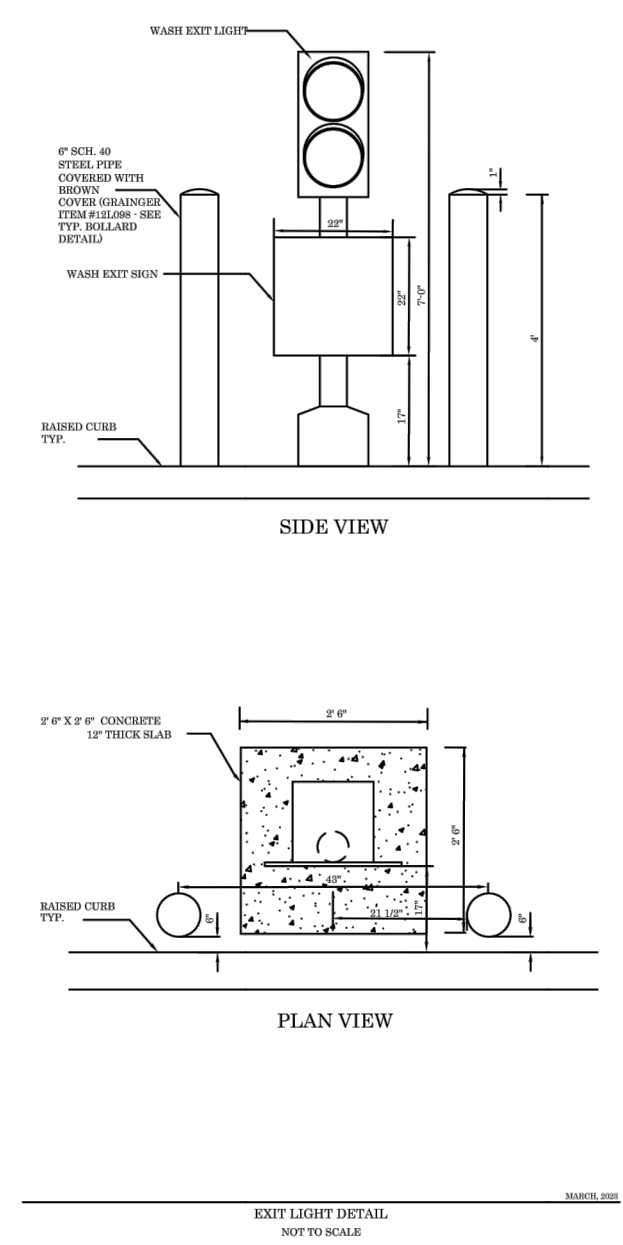
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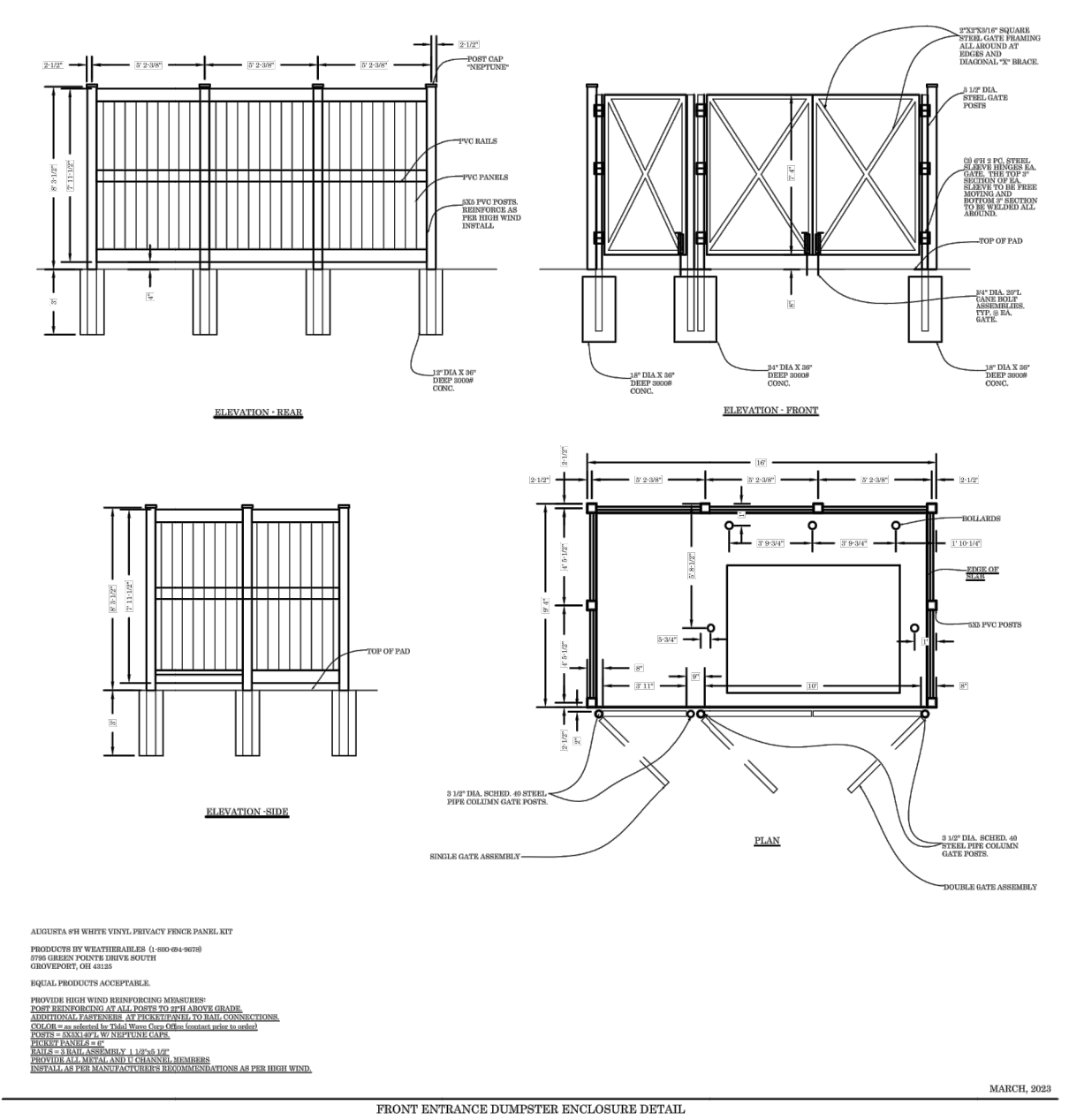
CONSTRUCTION DETAILS



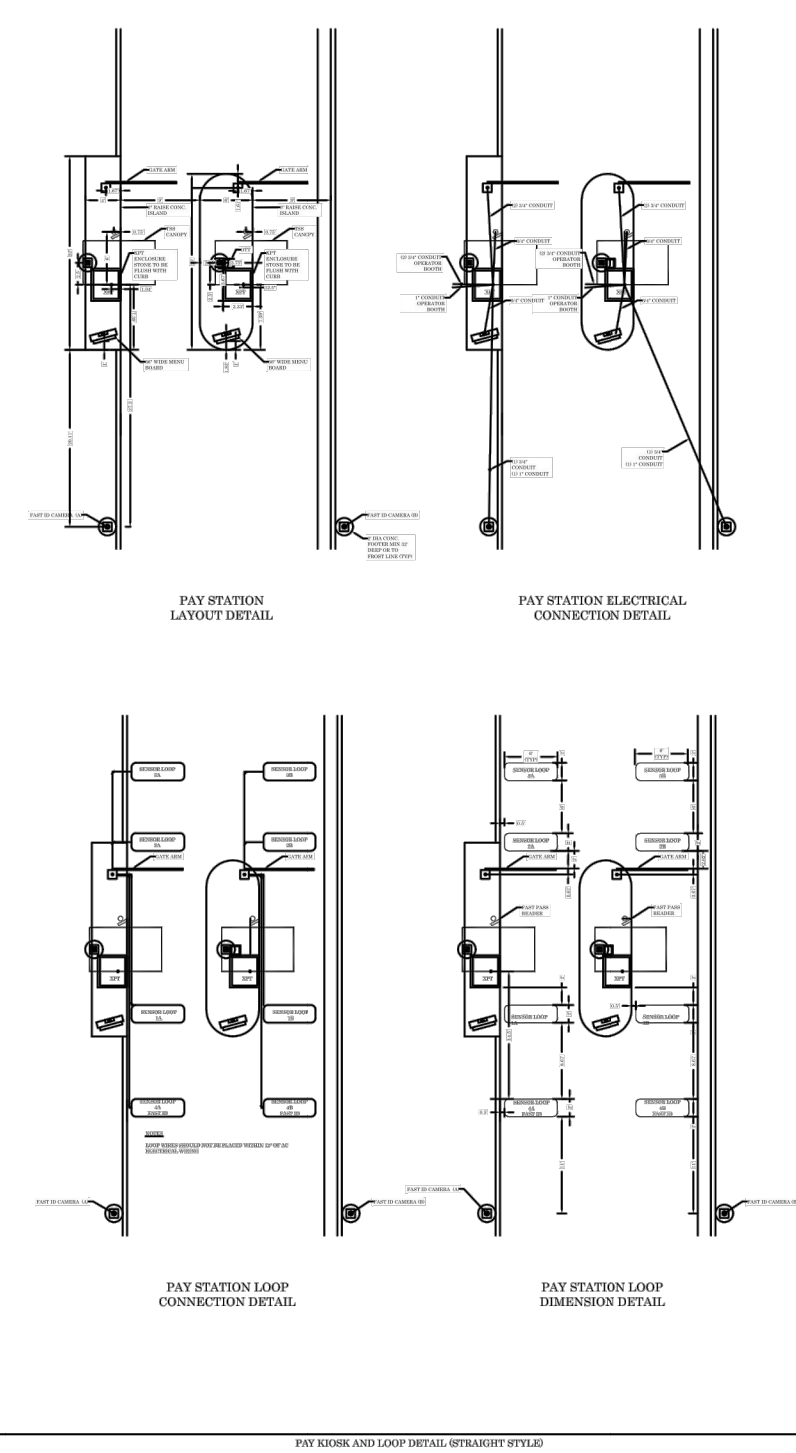
TECHNICAL CRITERIA
REAR-WHEEL PUSH - EXIT
SHJ CONSTRUCTION GROUP



TECHNICAL CRITERIA
EXIT LIGHT DETAIL
SHJ CONSTRUCTION GROUP

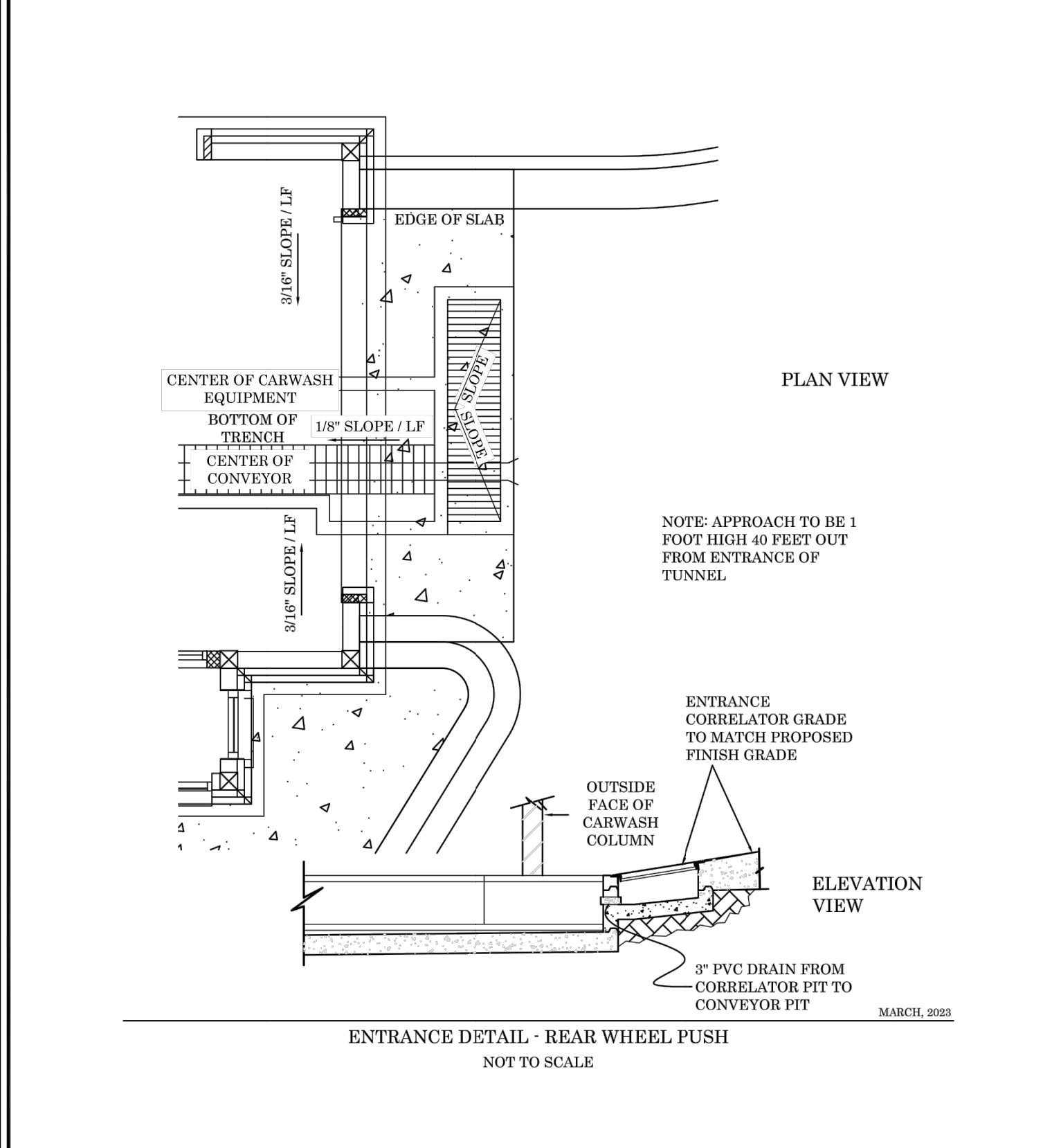


TECHNICAL CRITERIA
FRONT ENTRANCE DUMPSTER DETAIL
SHJ CONSTRUCTION GROUP



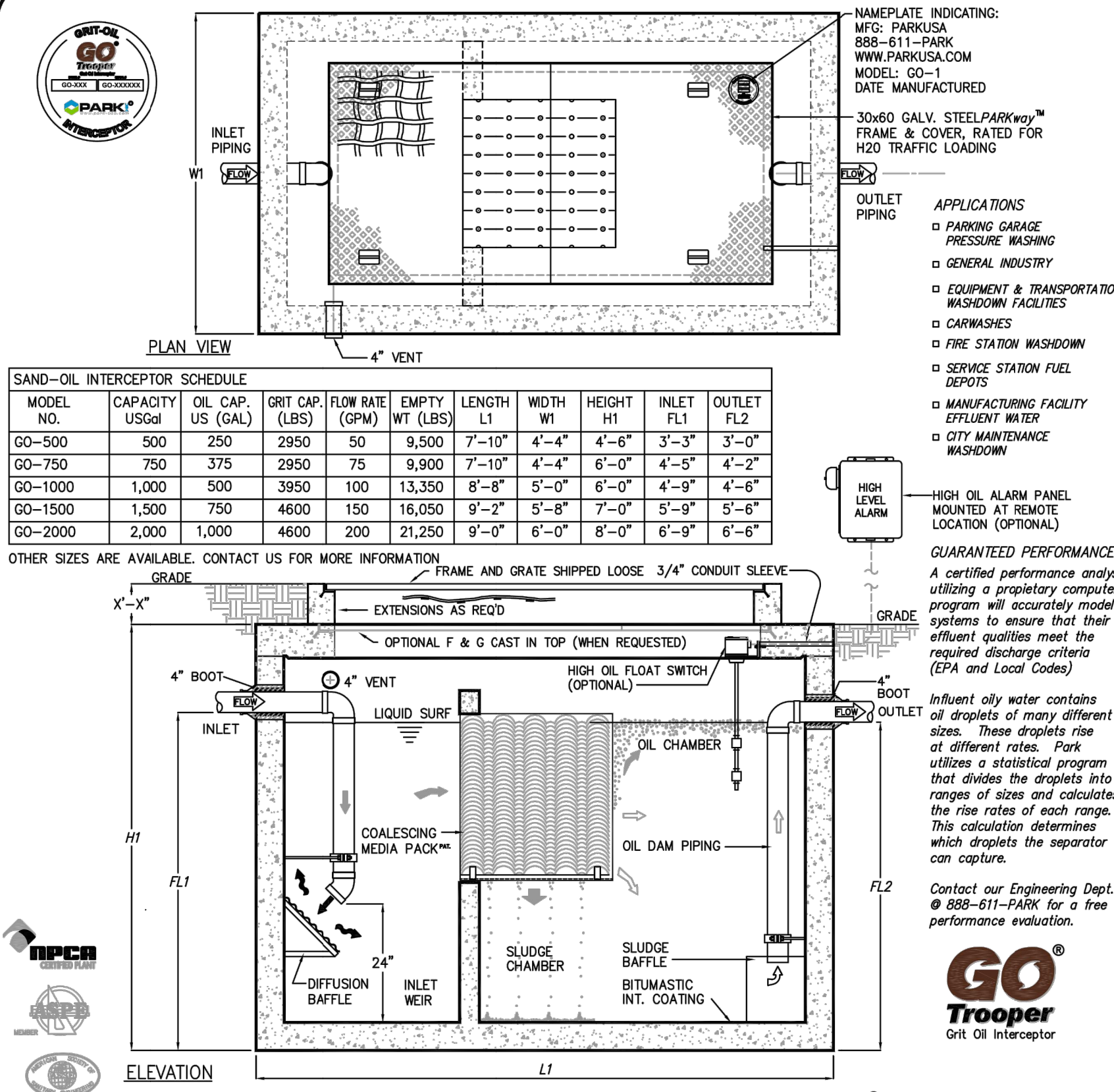
TECHNICAL CRITERIA
PAY KIOSK (STRAIGHT) DETAIL
SHJ CONSTRUCTION GROUP

DATE OF PLANS	03/31/2023
NOT TO SCALE	



TECHNICAL CRITERIA
REAL-WHEEL PUSH - ENTRANCE
SHJ CONSTRUCTION GROUP

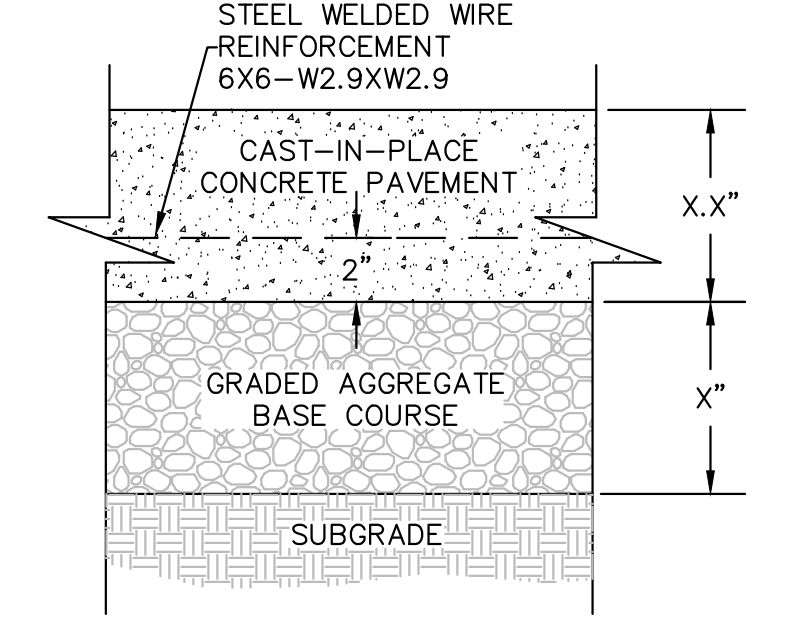
DATE OF PLANS	03/15/2023
NOT TO SCALE	



PROJECT:	
CUSTOMER:	
ENGINEER:	
ORDER #:	
PROJ #:	
DATE:	
Grit Oil Interceptor Model GO Sizes 500 thru 2000	
PM	DRN
DATE	2018
DWG. NO.	GO-1
REV.	A

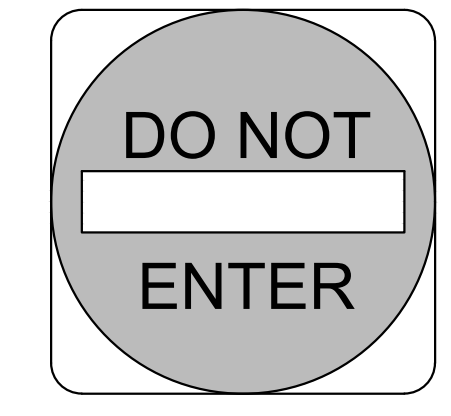
DATE OF PLANS	03/15/2023
NOT TO SCALE	

ITEM:	MATERIAL:
SUBGRADE	PREPARED IN-SITU SUBSOIL OR STRUCTURAL FILL
BASE COURSE	GRADED AGGREGATE BASE COURSE
CONCRETE PAVEMENT	CAST-IN-PLACE CONCRETE



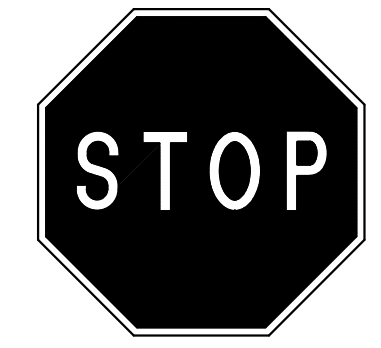
NOTES:
 1. WHERE SHOWN, SEE PLAN FOR EXPANSION AND CONTROL JOINT LOCATIONS. OTHERWISE, SEE SPECS FOR REQUIRED LOCATION AND SPACING.
 2. CONTRACTOR IS ADVISED THAT PAVING DESIGN RECOMMENDED BY GEOTECHNICAL ENGINEER IS BASED ON PREDICTED TRAFFIC LOADING AND ESTABLISHED STRENGTHS FOR PROPERLY INSTALLED PAVEMENTS. CONTRACTOR MUST COORDINATE REQUIRED GEOTECHNICAL TESTING & INSPECTION TO ENSURE THAT SUBGRADE AND PAVEMENT STRENGTH REQUIREMENTS ARE MET.

1 CONCRETE PAVEMENT - HEAVY DUTY
 SCALE: NOT TO SCALE



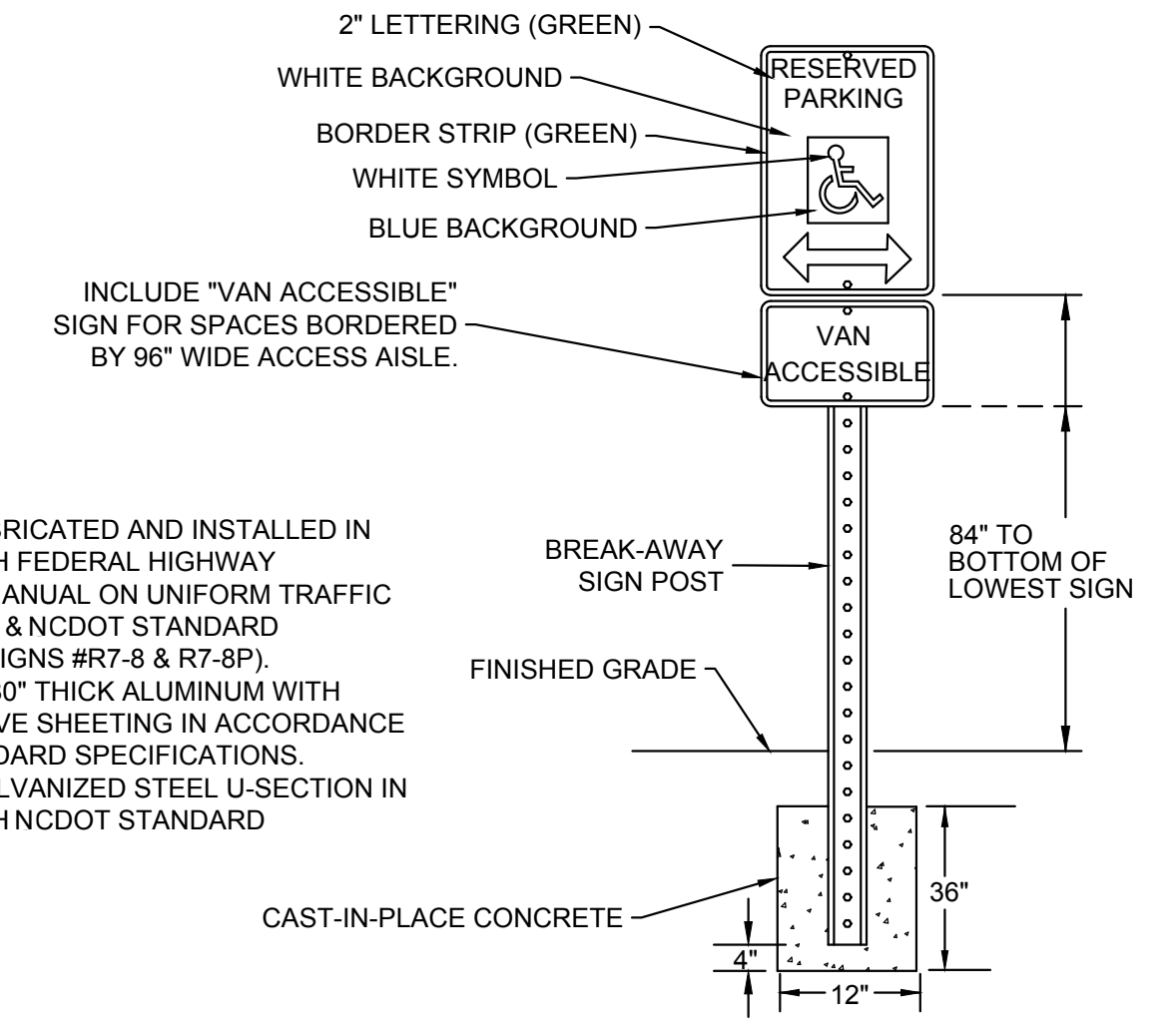
DO NOT ENTER SIGN AND INSTALLATION TO CONFORM WITH M.U.T.C.D. SPECIFICATIONS.
 NUMBER: R5-1-30
 SIZE: 30" X 30"
 CLASS: STANDARD
 LEGEND AND BACKGROUND: WHITE-REFLECTORIZED
 CIRCLE: RED-REFLECTORIZED
 SIGN POST: GALVANIZED U-CHANNEL PER NCDOT SPECIFICATIONS

2 SIGN - DO NOT ENTER
 SCALE: NOT TO SCALE



STOP SIGN AND INSTALLATION TO CONFORM WITH M.U.T.C.D. SPECIFICATIONS.
 NUMBER: R1-1-30
 SIZE: 30" X 30"
 CLASS: STANDARD
 BACKGROUND: RED-REFLECTORIZED
 LEGEND AND BORDER: WHITE-REFLECTORIZED
 SIGN POST: GALVANIZED U-CHANNEL PER NCDOT SPECIFICATIONS

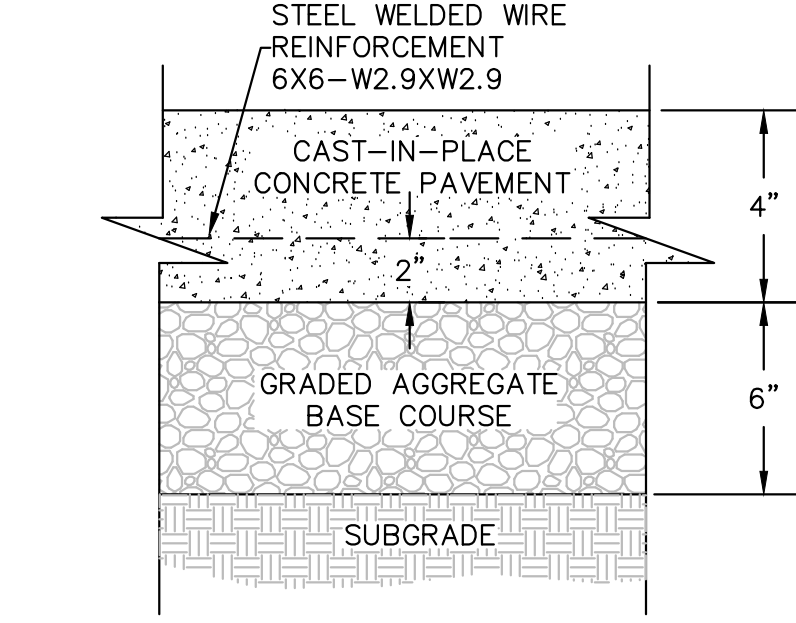
3 SIGN - STOP
 SCALE: NOT TO SCALE



NOTES:
 1. SIGN SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & NCDOT STANDARD SPECIFICATIONS (SIGNS #R7-8 & R7-8P).
 2. SIGN SHALL BE 0.080" THICK ALUMINUM WITH APPLIED REFLECTIVE SHEETING IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS.
 3. POST SHALL BE GALVANIZED STEEL U-SECTION IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS.

4 ADA PARKING SIGN
 SCALE: NOT TO SCALE

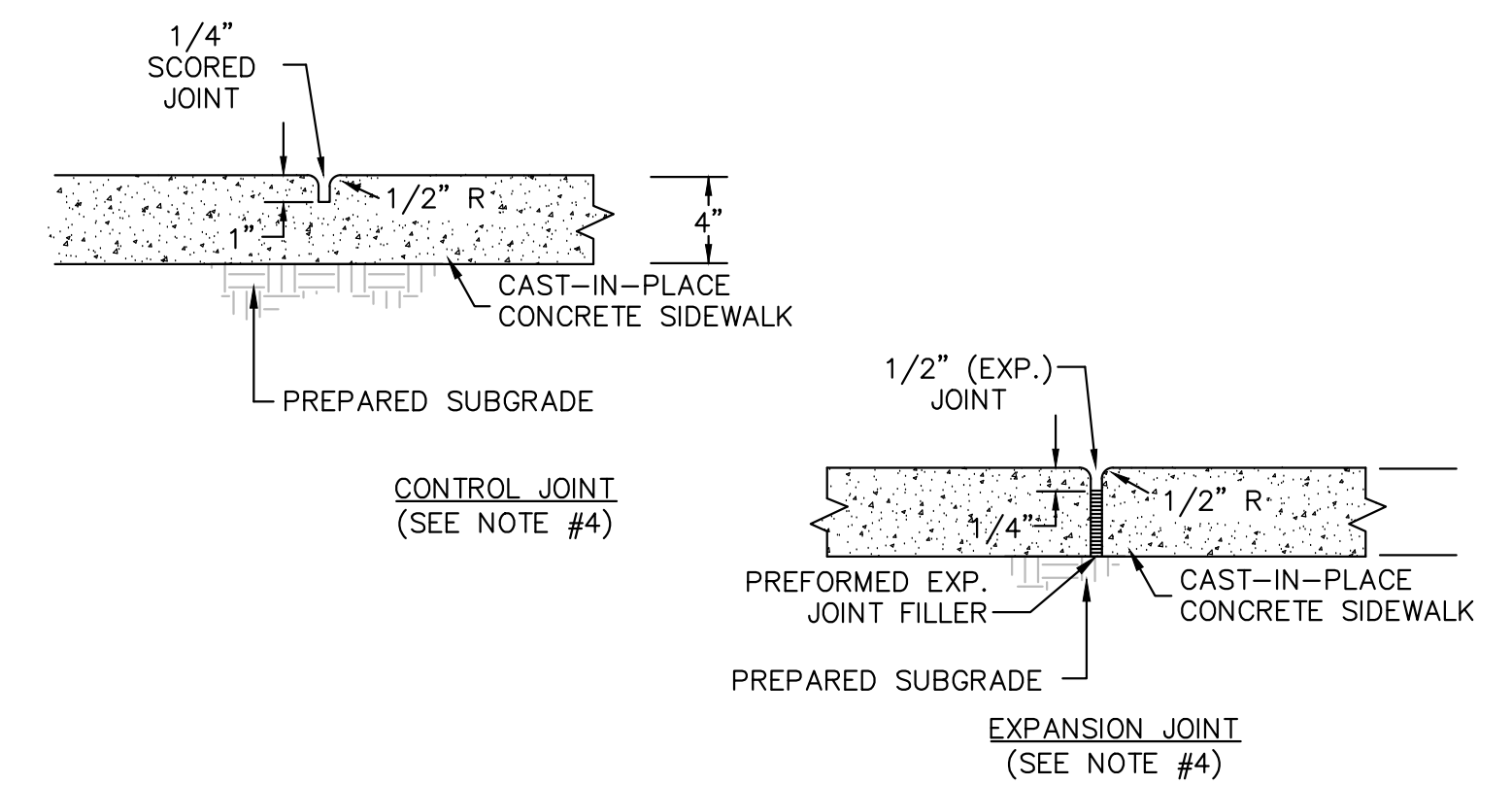
ITEM:	MATERIAL:
SUBGRADE	PREPARED IN-SITU SUBSOIL OR STRUCTURAL FILL
BASE COURSE	GRADED AGGREGATE BASE COURSE
CONCRETE PAVEMENT	CAST-IN-PLACE CONCRETE



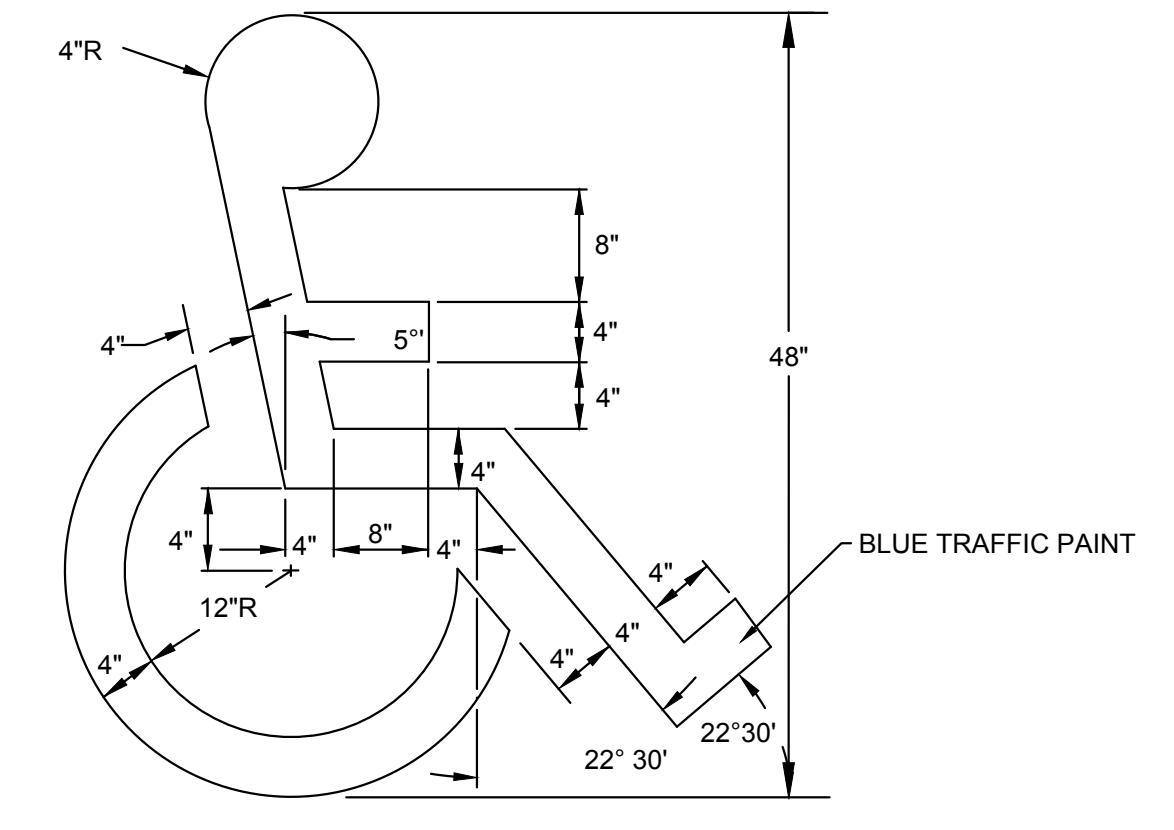
NOTES:
 1. WHERE SHOWN, SEE PLAN FOR EXPANSION AND CONTROL JOINT LOCATIONS. OTHERWISE, SEE SPECS FOR REQUIRED LOCATION AND SPACING.
 2. CONTRACTOR IS ADVISED THAT PAVING DESIGN RECOMMENDED BY GEOTECHNICAL ENGINEER IS BASED ON PREDICTED TRAFFIC LOADING AND ESTABLISHED STRENGTHS FOR PROPERLY INSTALLED PAVEMENTS. CONTRACTOR MUST COORDINATE REQUIRED GEOTECHNICAL TESTING & INSPECTION TO ENSURE THAT SUBGRADE AND PAVEMENT STRENGTH REQUIREMENTS ARE MET.

5 CONCRETE PAVEMENT - STANDARD DUTY
 SCALE: NOT TO SCALE

NOTES:
 1. SIDEWALK CROSS SLOPE NOT TO EXCEED 2% AND LONGITUDINAL SLOPE NOT TO EXCEED 5%.
 2. SIDEWALK TO HAVE LIGHT BROOM FINISH, PERPENDICULAR TO DIRECTION OF TRAVEL.
 3. SEE PLAN FOR SIDEWALK WIDTH.
 4. UNLESS OTHERWISE SHOWN ON DRAWINGS, SPACE CONTROL JOINTS NOT TO EXCEED 5'. SPACE EXPANSION JOINTS TO COINCIDE WITH CONTROL JOINTS, NOT TO EXCEED 50'. WHERE CURB IS ADJACENT TO CONCRETE WALK, JOINTS SHALL COINCIDE. SEE SPECIFICATIONS FOR ADDITIONAL INFO.

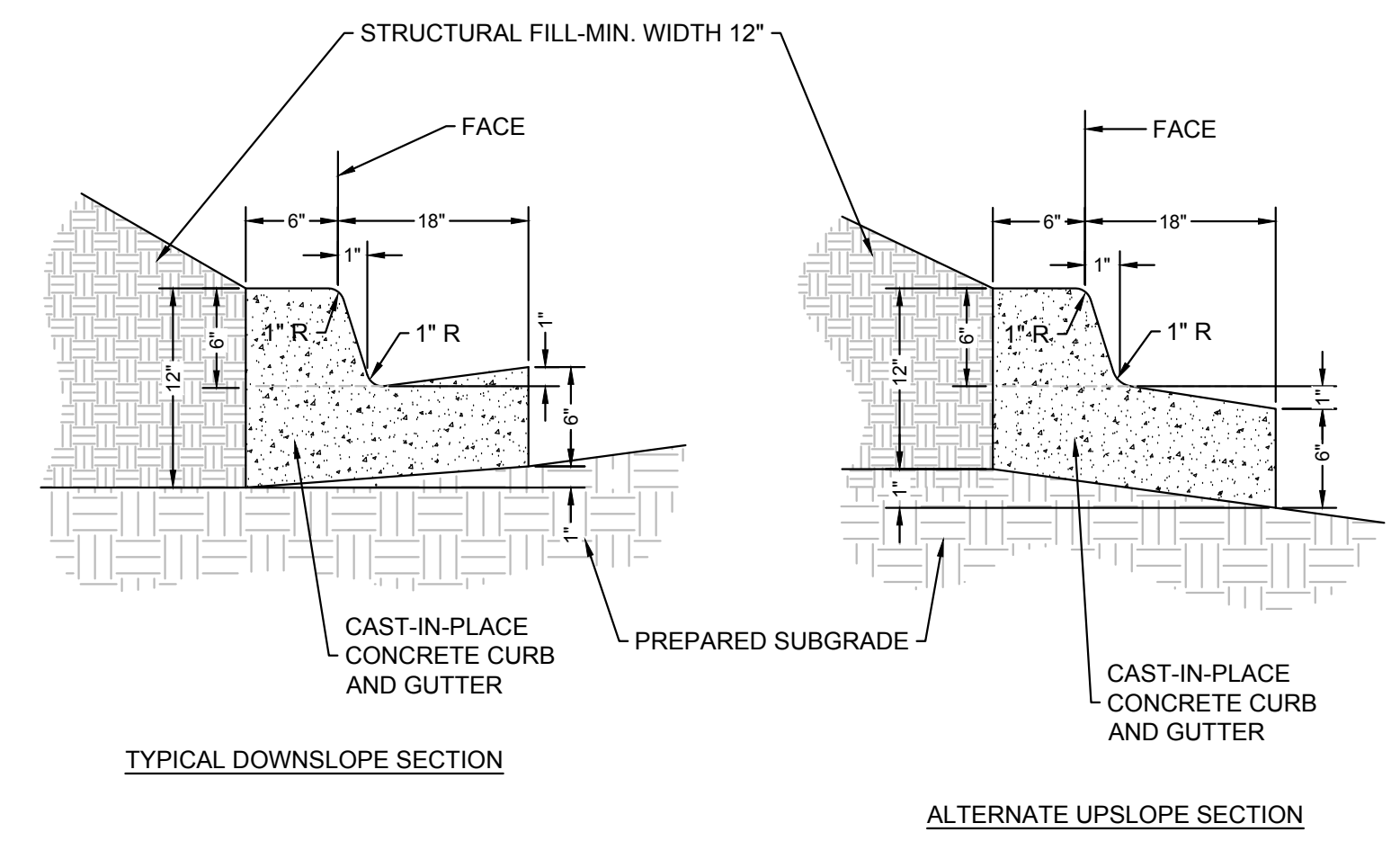


6 SIDEWALK-SECTION

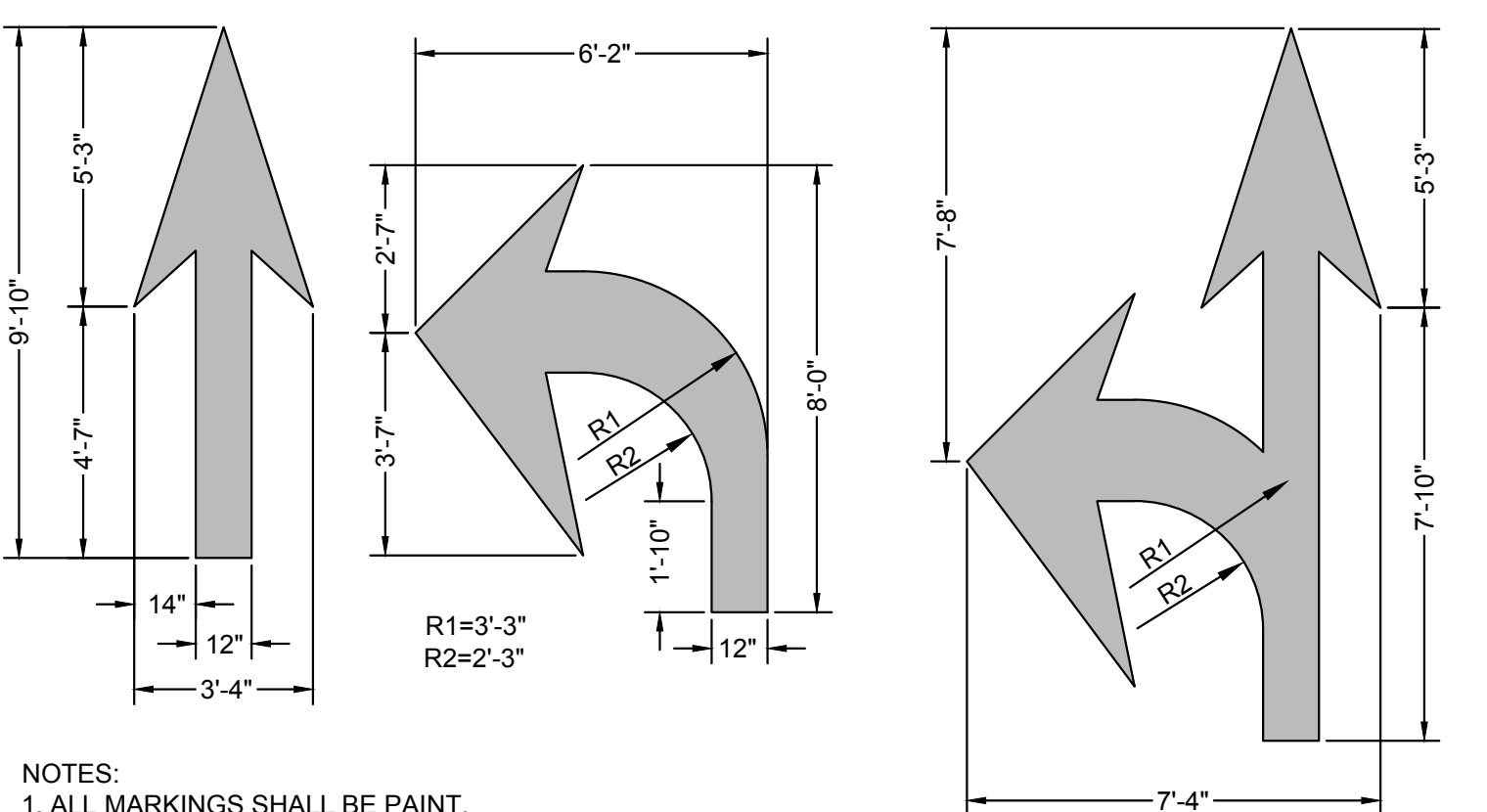


7 PAINTED ADA PARKING SYMBOL

NOTES:
 1. ALTERNATE UPSLOPE SECTION TO BE USED ONLY WHEN DRAINING AWAY FROM CURB.
 2. UNLESS OTHERWISE SHOWN ON DRAWINGS, LOCATE CONTROL JOINTS AT 10' INTERVALS AND EXPANSION JOINTS AT 50' INTERVALS. WHERE CURB IS ADJACENT TO CONCRETE WALK, JOINTS SHALL COINCIDE. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



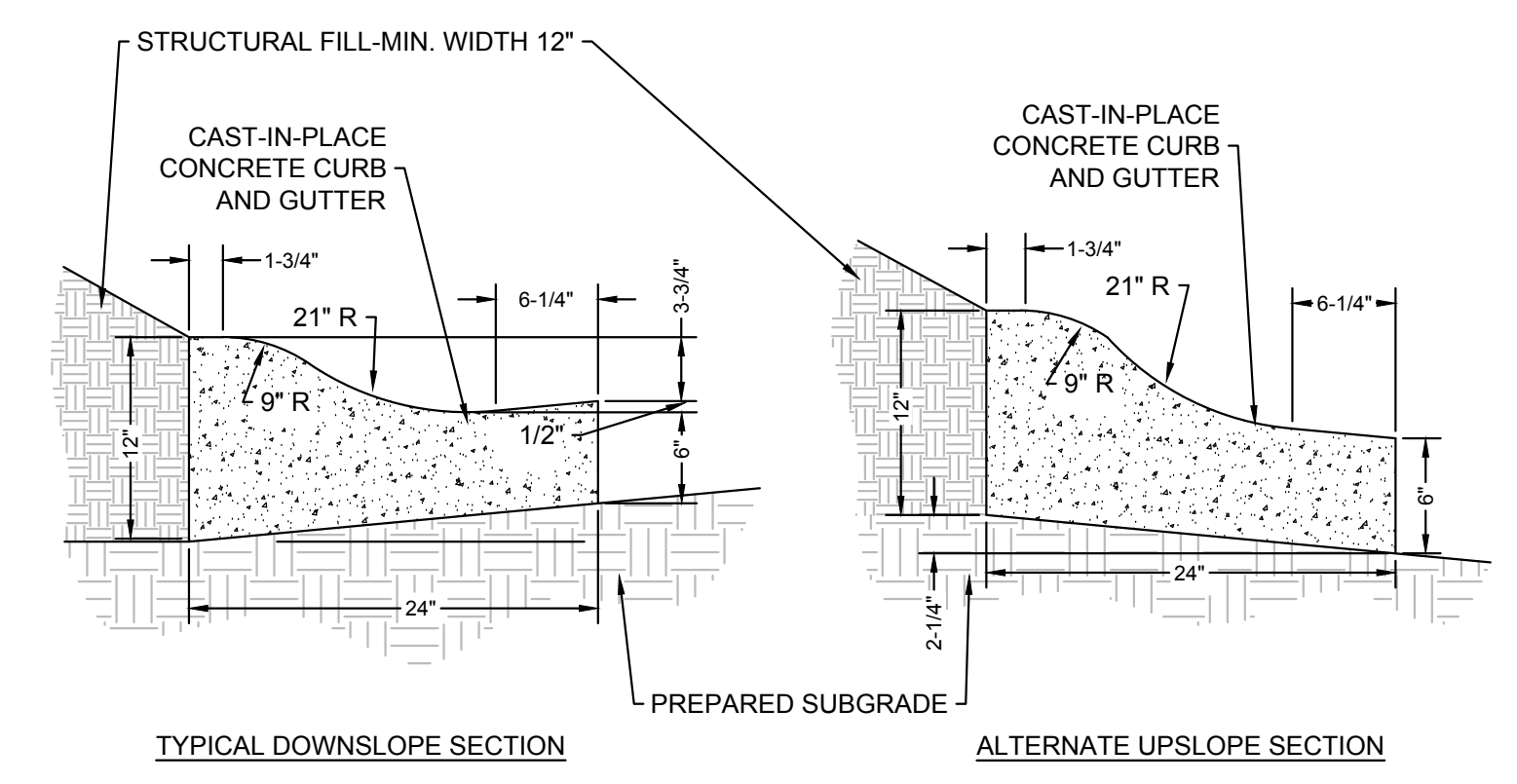
8 24" STRAIGHT CURB AND GUTTER
 SCALE: NOT TO SCALE



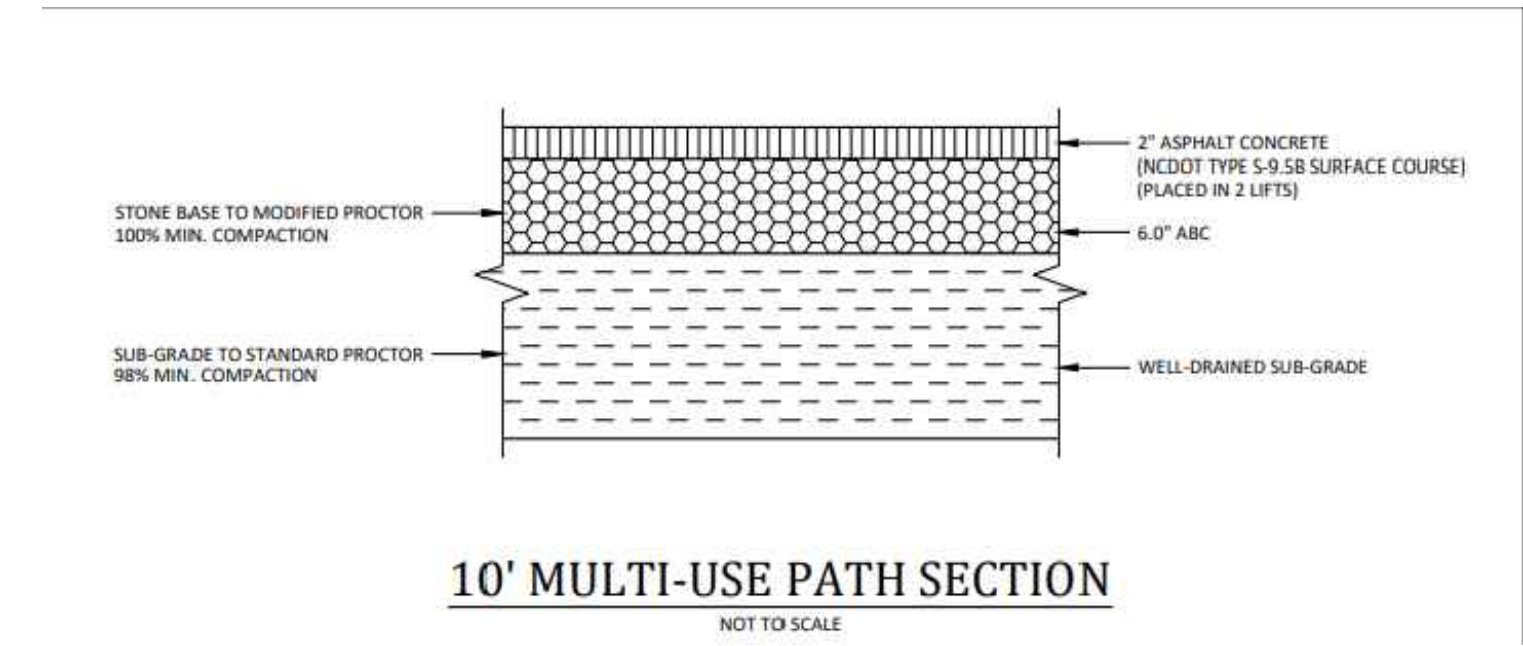
NOTES:
 1. ALL MARKINGS SHALL BE PAINT.
 2. ALL MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH N.C.D.O.T. STANDARD SPECIFICATIONS AND NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

9 PAVEMENT-MARKING
 SCALE: NOT TO SCALE

NOTES:
 1. ALTERNATE SECTION TO BE USED ONLY WHEN DRAINING AWAY FROM CURB.
 2. UNLESS OTHERWISE SHOWN ON DRAWINGS, LOCATE CONTROL JOINTS AT 10' INTERVALS AND EXPANSION JOINTS AT 50' INTERVALS. WHERE CURB IS ADJACENT TO CONCRETE WALK, JOINTS SHALL COINCIDE. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



10 24" ROLL CURB AND GUTTER
 SCALE: NOT TO SCALE



11 10' MULTI-USE PATH SECTION
 SCALE: NOT TO SCALE

SW SEAMONWHITESIDE
 MOUNT PLEASANT, SC 843.884.1667
 GREENVILLE, SC 864.298.0534
 SUMMERVILLE, SC 843.972.0710
 SPARTANBURG, SC 864.272.1272
 CHARLOTTE, NC 980.312.5450
 WWW.SEAMONWHITESIDE.COM

SEAMON WHITESIDE & ASSOCIATES, INC.
 NORTH CAROLINA PROFESSIONAL SEAL
 NO. C-2466
 048282
 10/30/23
 ENGINEER
 JOYDIE L. LITTLE

TIDAL WAVE AUTO SPA
 ROLESVILLE, NC

SW+ PROJECT:	10772
DATE:	10/30/23
DRAWN BY:	CPE
CHECKED BY:	DWJ

REVISION HISTORY	

CONSTRUCTION DETAILS

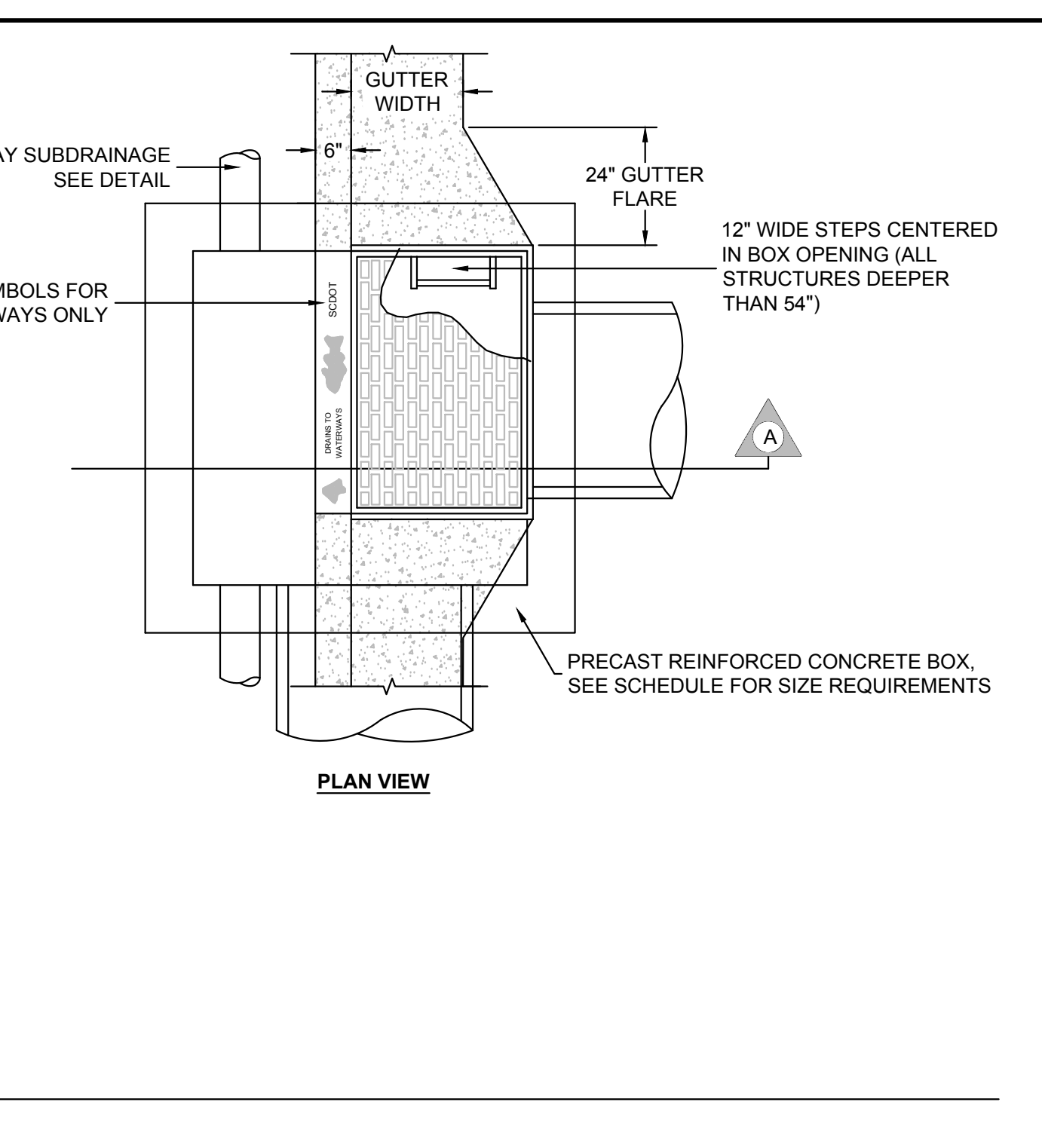
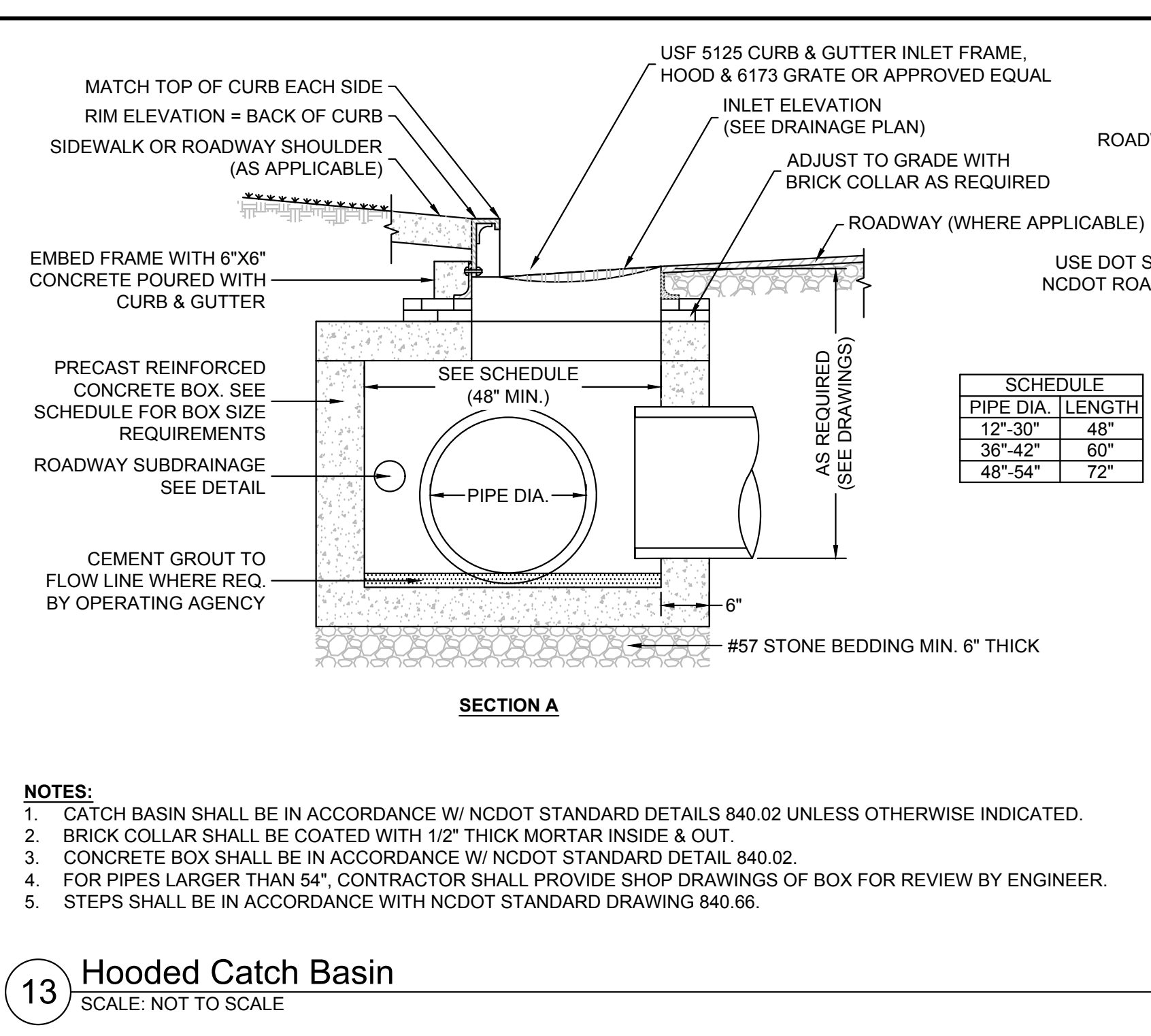
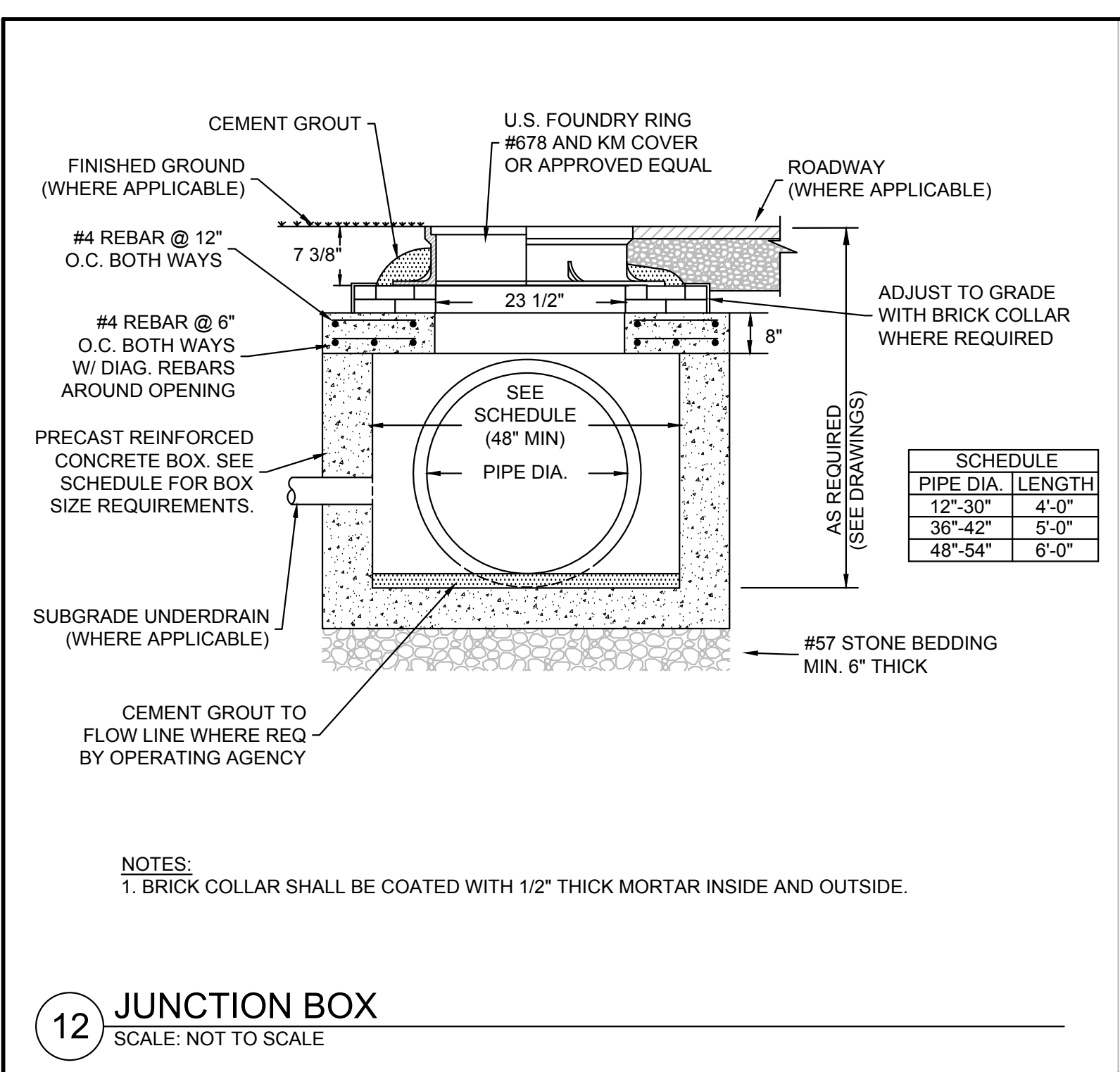
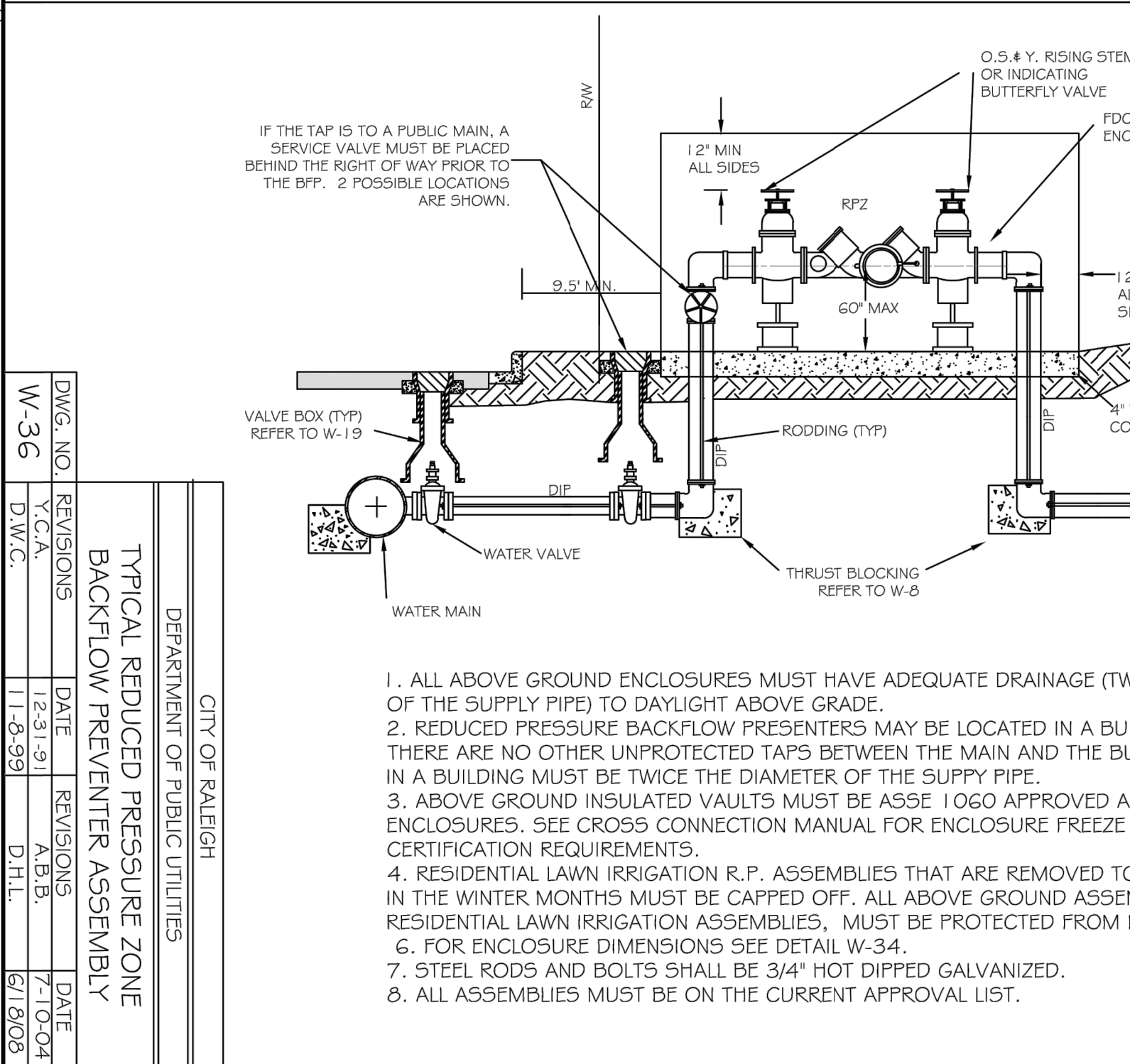
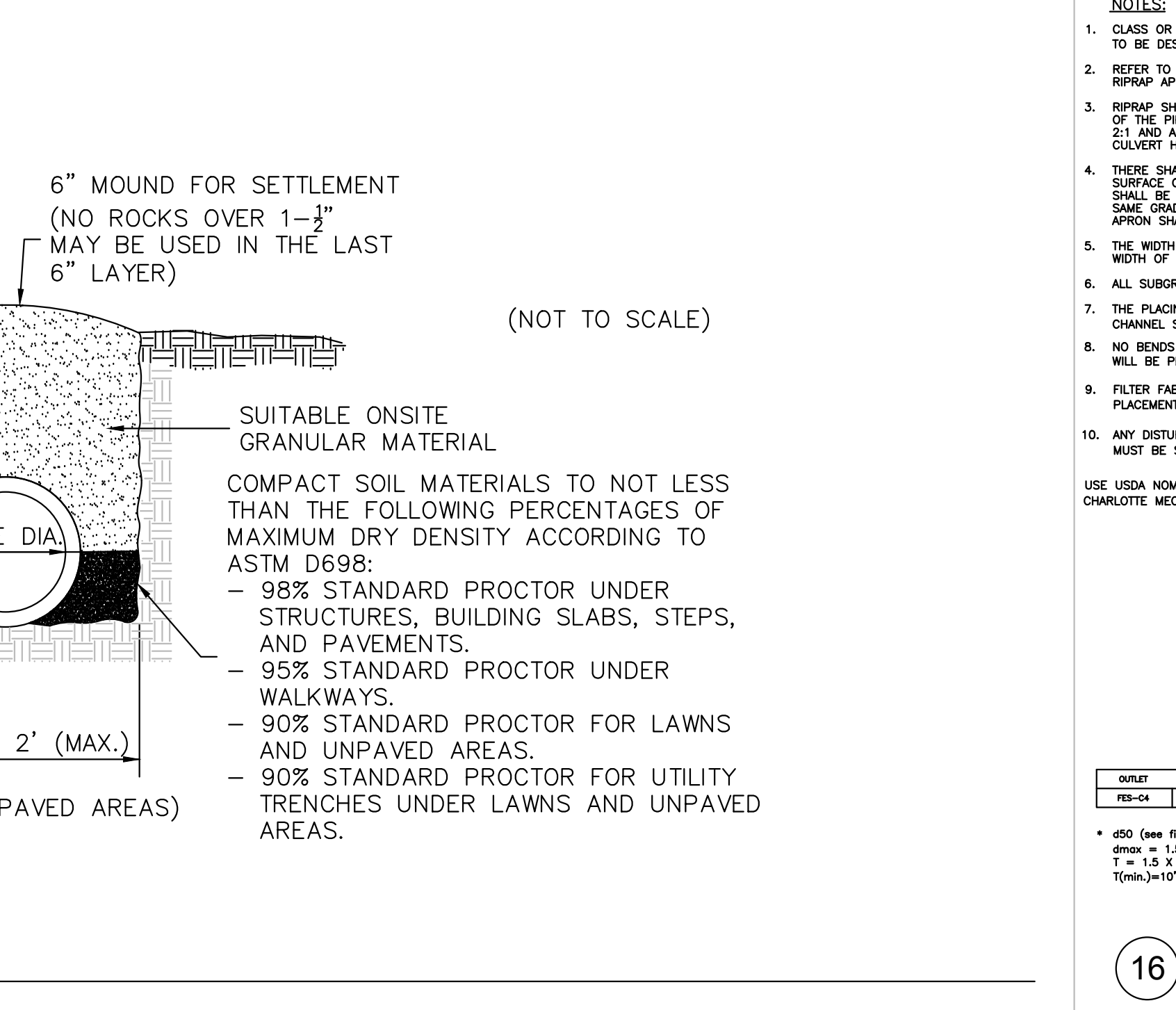
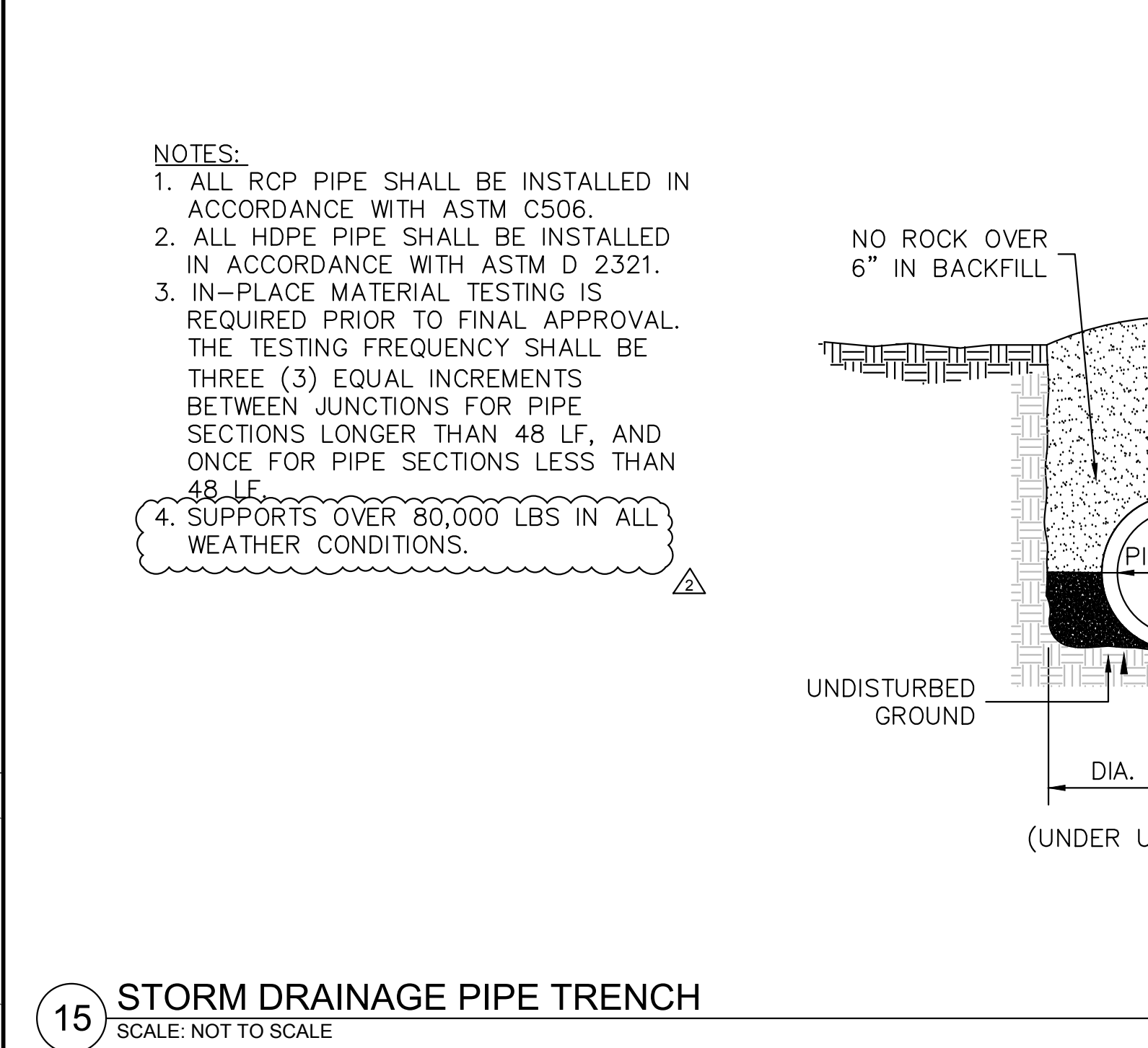


TABLE OF DIMENSIONS

D	T	A	B	C	E	L	WT.
12"	2-1/4"	4"	2'-0"	4'-1"	2'-0"	6'-1"	730
15"	2-1/4"	6"	2'-3"	3'-10"	2'-0"	6'-1"	730
18"	2-1/2"	9"	2'-3"	3'-10"	3'-0"	6'-1"	1160
24"	3"	10"	3'-8"	2'-6"	4'-0"	6'-2"	1770
30"	3-1/2"	1'-0"	4'-6"	1'-8"	5'-0"	6'-2"	2380
36"	4"	1'-3"	5'-3"	2'-11"	6'-0"	6'-2"	5320
42"	4-1/2"	1'-9"	5'-3"	2'-11"	6'-0"	6'-2"	5900
48"	5"	2'-0"	6'-0"	2'-2"	7'-0"	6'-2"	7470
54"	5-1/2"	2'-3"	6'-6"	2'-10"	7'-6"	6'-4"	8810
60"	6"	2'-6"	6'-0"	3'-3"	8'-0"	6'-3"	11180
66"	6-1/2"	3'-0"	6'-0"	2'-3"	8'-6"	6'-3"	12530
72"	7"	3'-0"	6'-6"	1'-8"	9'-0"	6'-3"	13980

GENERAL NOTES:

- SEE FORMER NCDOT STANDARD 310.01 FOR DETAILS.
- REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF REINFORCED CONCRETE PIPE OF LIKE DIAMETER PER AASHTO M170, TABLE 2, WALL B.
- ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.
- PROVIDE TONGUE OR SPIGOT JOINT AT INLET END SECTION.
- PROVIDE GROOVE OR BELL JOINT AT OUTLET END SECTION.
- THE DIMENSIONS FOR END SECTIONS SHALL SUBSTANTIALLY AGREE WITH THE TABLE. MINOR VARIATIONS WILL BE PERMITTED BASED ON THE MANUFACTURER'S STANDARD FORMS AND TEMPLATES.
- NOT TO BE USED IN NCDOT MAINTAINED RIGHT OF WAY.



NOTES:

- ALL ABOVE GROUND ENCLOSURES MUST HAVE ADEQUATE DRAINAGE (TWICE THE DIAMETER OF THE SUPPLY PIPE) TO DAYLIGHT ABOVE GRADE.
- REDUCED PRESSURE BACKFLOW PREVENTERS MAY BE LOCATED IN A BUILDING PROVIDED THERE ARE NO OTHER UNPROTECTED TAPS BETWEEN THE MAIN AND THE BUILDING. DRAINAGE IN A BUILDING MUST BE TWICE THE DIAMETER OF THE SUPPLY PIPE.
- ABOVE GROUND INSULATED VAULTS MUST BE ASSE 1060 APPROVED ABOVE GROUND ENCLOSURES. SEE CROSS CONNECTION MANUAL FOR ENCLOSURE FREEZE PROTECTION AND CERTIFICATION REQUIREMENTS.
- RESIDENTIAL LAWN IRRIGATION R.P. ASSEMBLIES THAT ARE REMOVED TO PREVENT FREEZING IN THE WINTER MONTHS MUST BE CAPPED OFF. ALL ABOVE GROUND ASSEMBLIES, EXCEPT RESIDENTIAL LAWN IRRIGATION ASSEMBLIES, MUST BE PROTECTED FROM FROST.
- FOR ENCLOSURE DIMENSIONS SEE DETAIL W-34.
- STEEL RODS AND BOLTS SHALL BE 3/4" HOT DIPPED GALVANIZED.
- ALL ASSEMBLIES MUST BE ON THE CURRENT APPROVAL LIST.

MOUNT PLEASANT, SC 843.884.1667
 GREENVILLE, SC 864.298.0534
 SUMMERVILLE, SC 843.972.0710
 SPARTANBURG, SC 864.272.1272
 CHARLOTTE, NC 980.312.5450
 WWW.SEAMONWHITESIDE.COM

TIDAL WAVE AUTO SPA
 ROLESVILLE, NC

SW+ PROJECT: 10772
 DATE: 10/30/23
 DRAWN BY: CPE
 CHECKED BY: DWJ

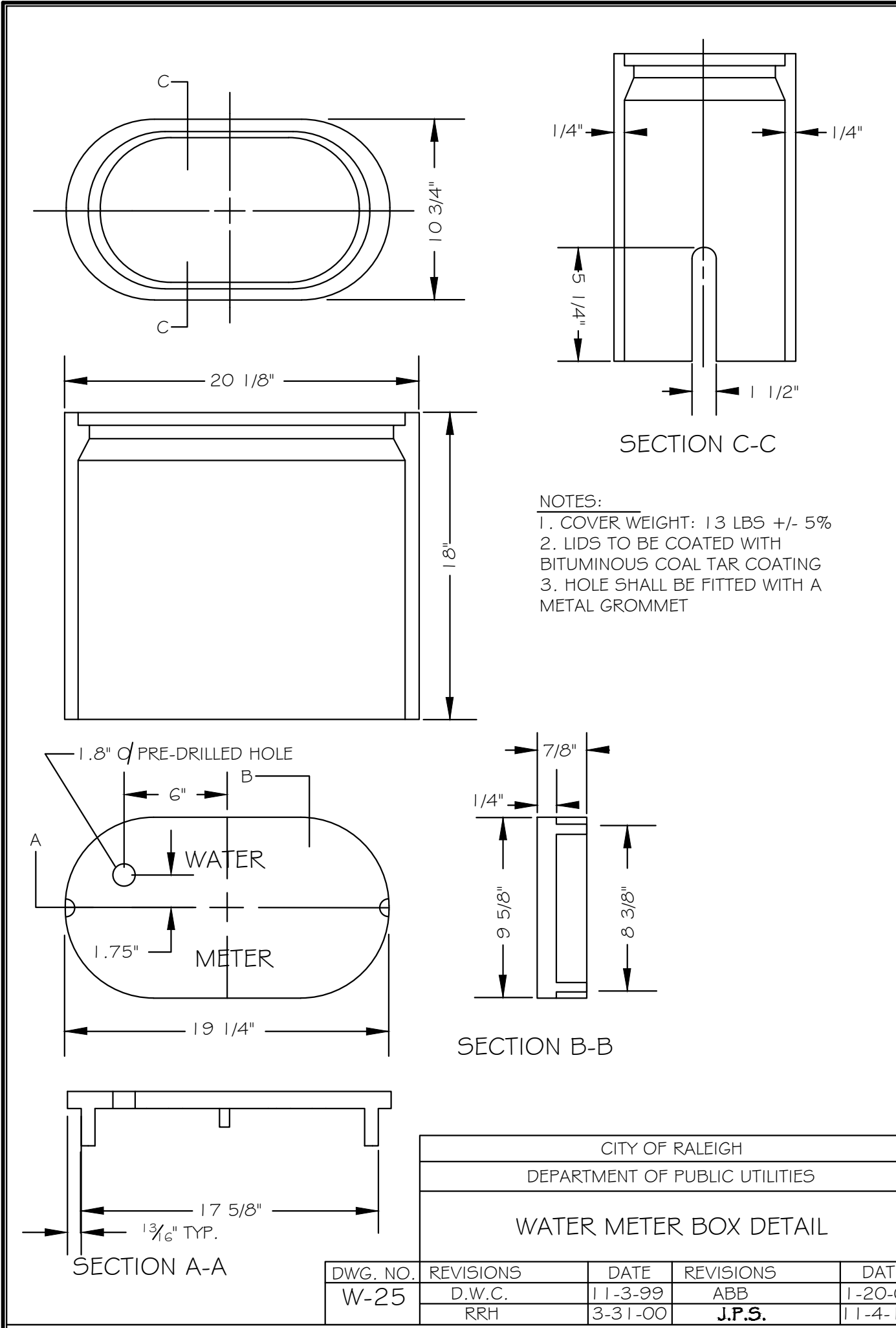
REVISION HISTORY

NO.	DATE	DESCRIPTION

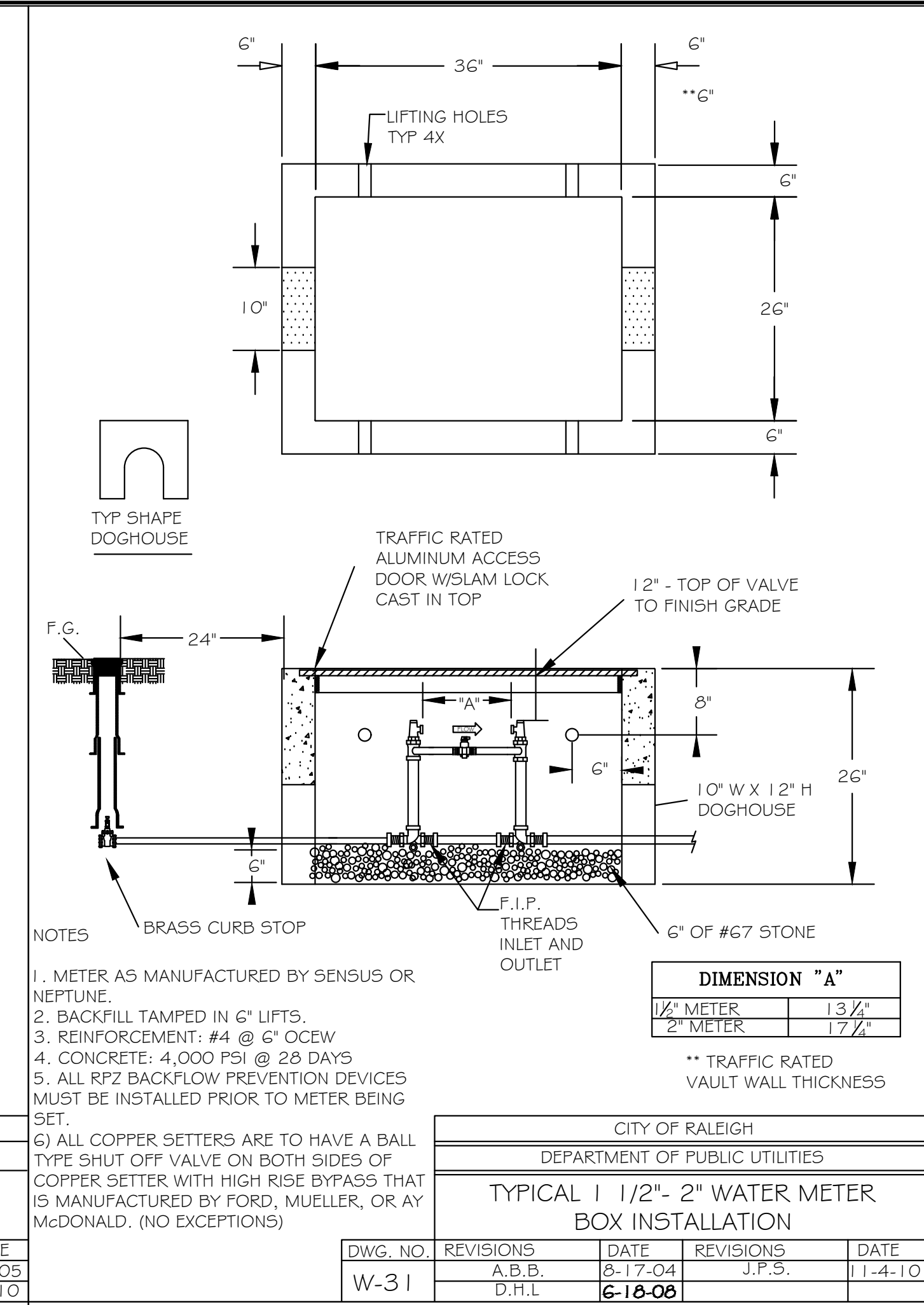
CONSTRUCTION DETAILS

C8.4

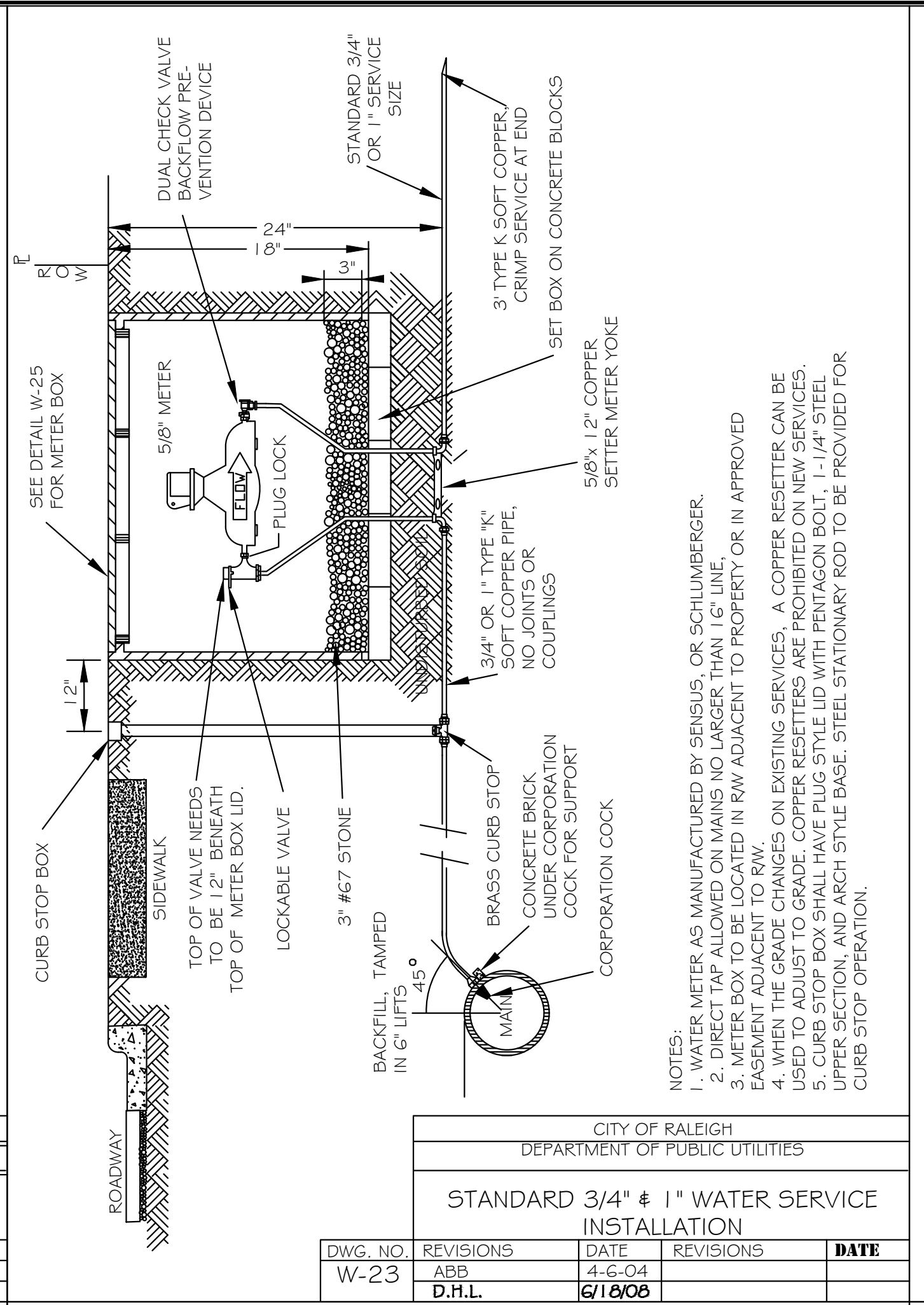
50 WINDY PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29566 | JUDSON HILLS BUILDING 6000 TO EASLEY BROOK RD, SUITE 600 | GREENVILLE, SC 29611 | 230 PERSON DR. | CHARLOTTE, NC 28217 | 724 CENAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301



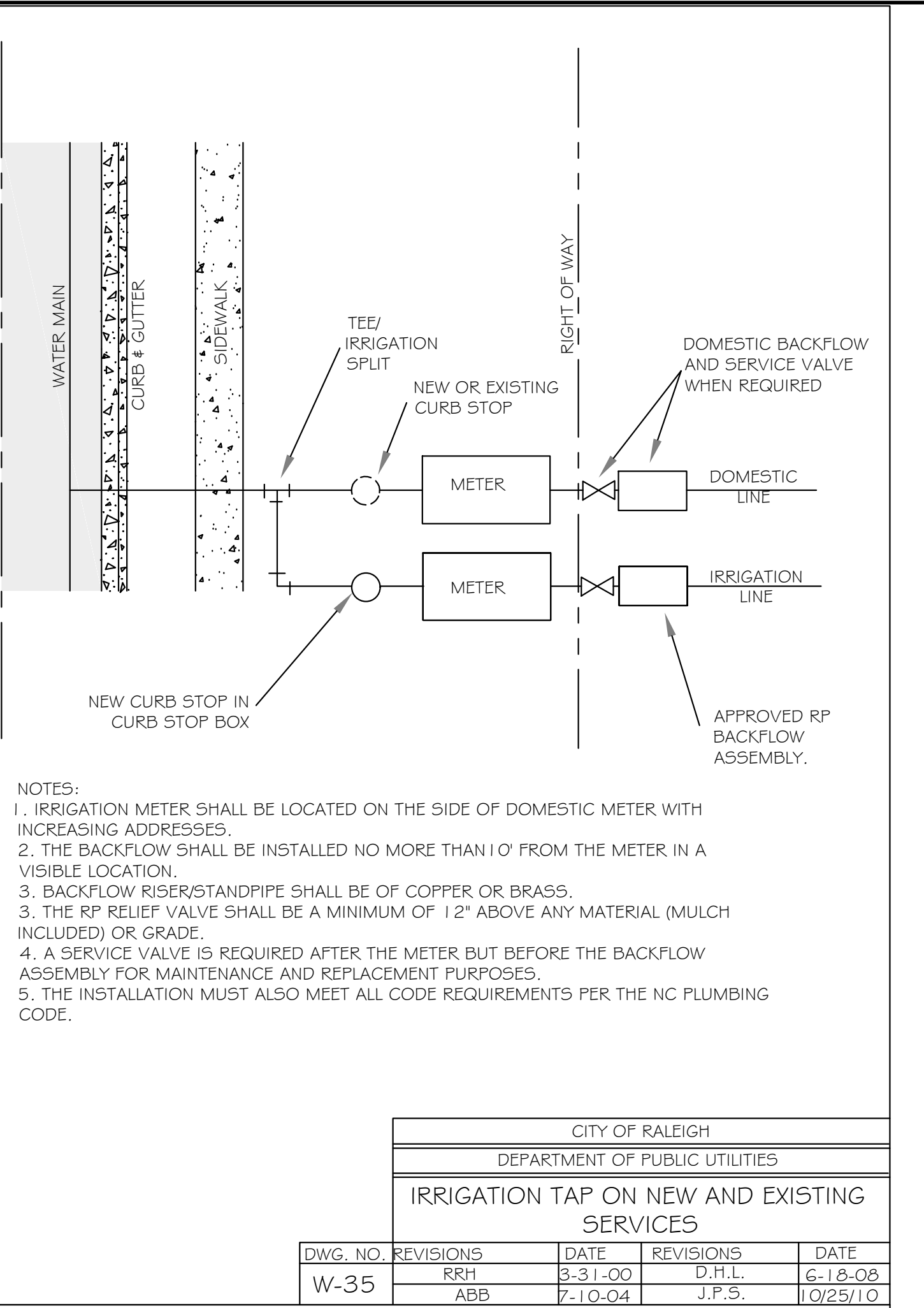
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
WATER METER BOX DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-25	D.W.C.	1-13-99	ABB	1-20-05
	RRH	3-31-00	J.P.S.	1-14-10



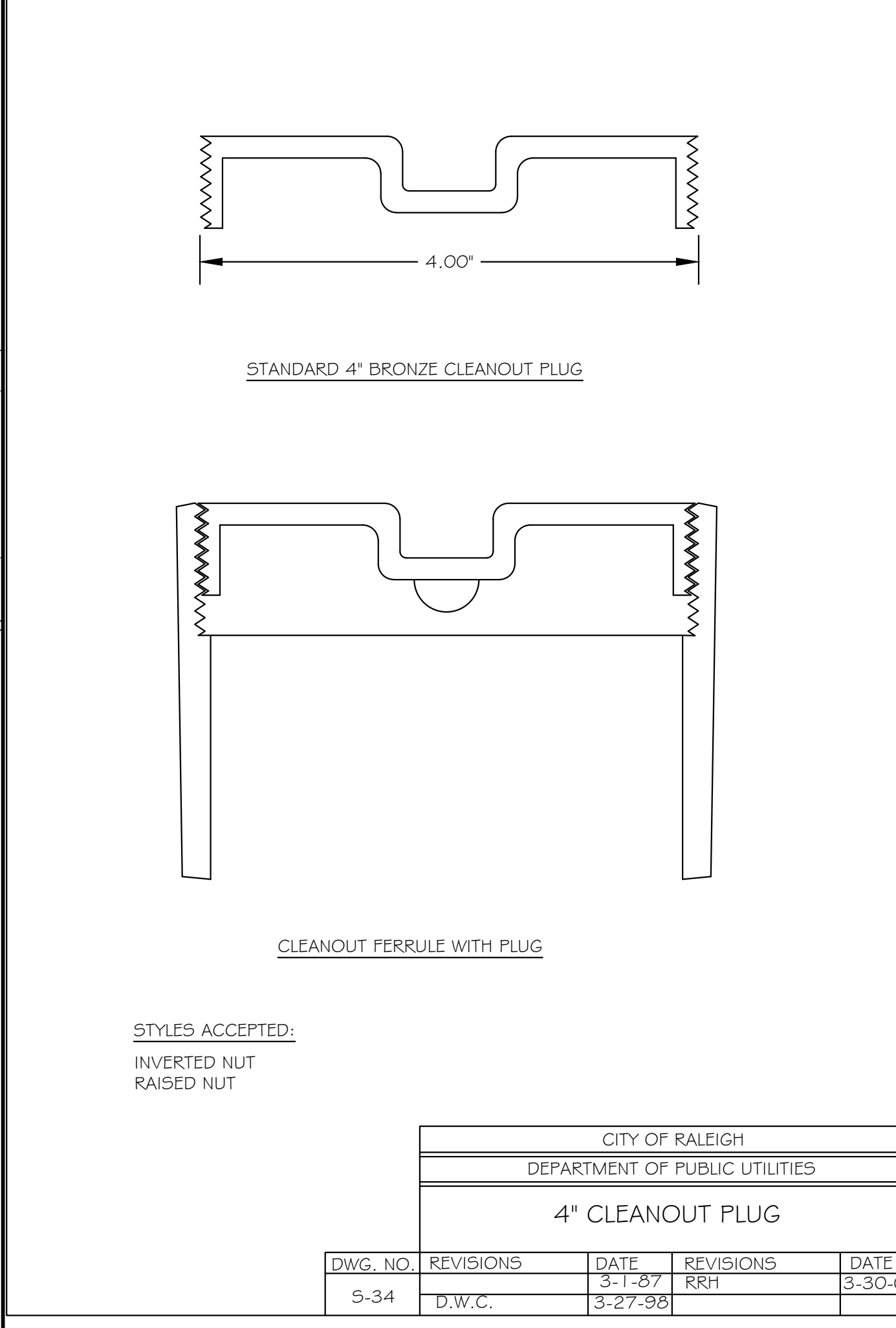
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL 1 1/2" - 2" WATER METER BOX INSTALLATION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-31	A.B.B.	8-17-04	J.P.S.	1-14-10
	D.H.L.	6-18-08		



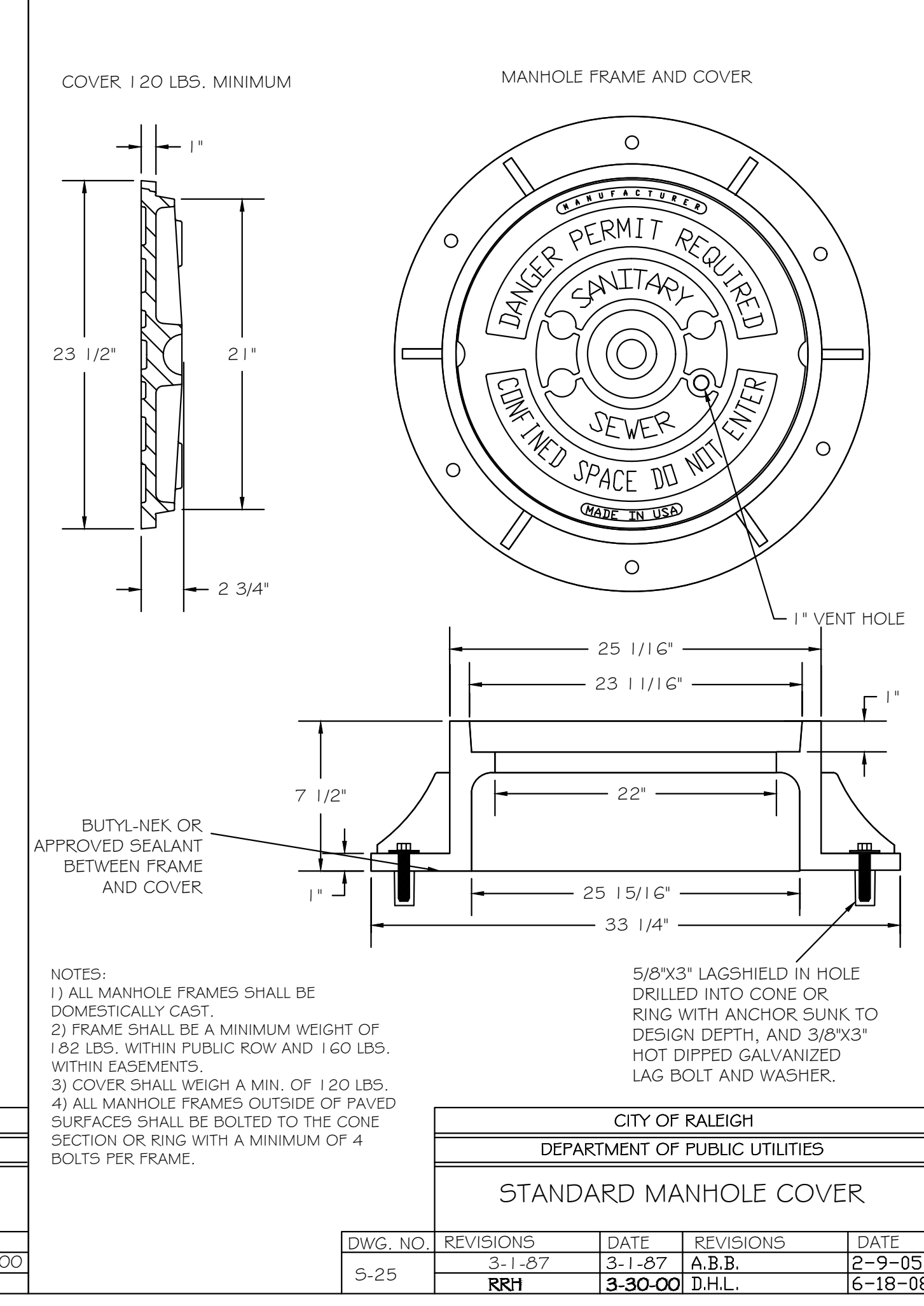
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD 3/4" & 1" WATER SERVICE INSTALLATION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-23	ABB	4-6-04		
	D.H.L.	6-18-08		



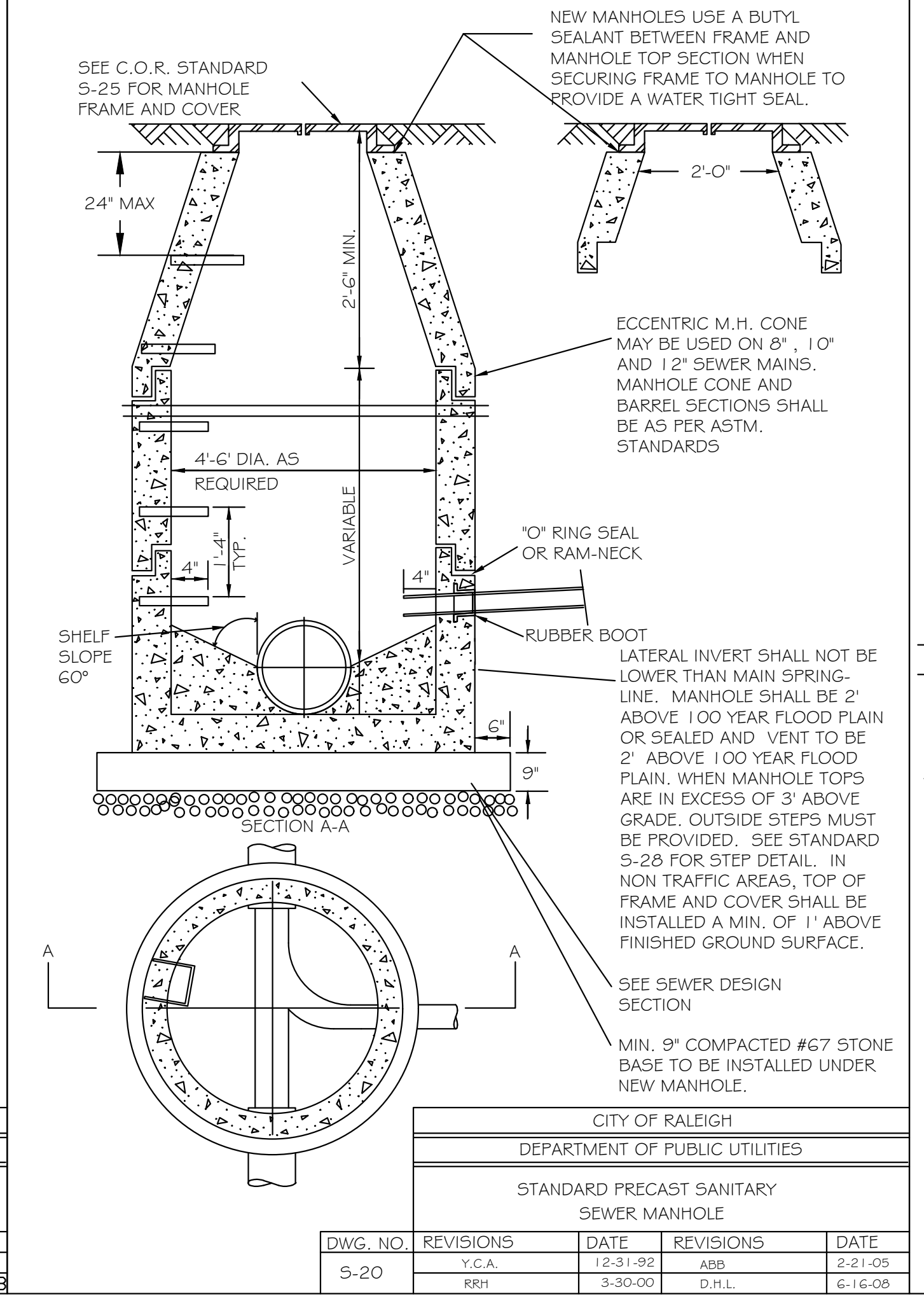
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
IRRIGATION TAP ON NEW AND EXISTING SERVICES				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-35	RRH	3-31-00	D.H.L.	6-12-08
	ABB	7-10-04	J.P.S.	1-02/5-10



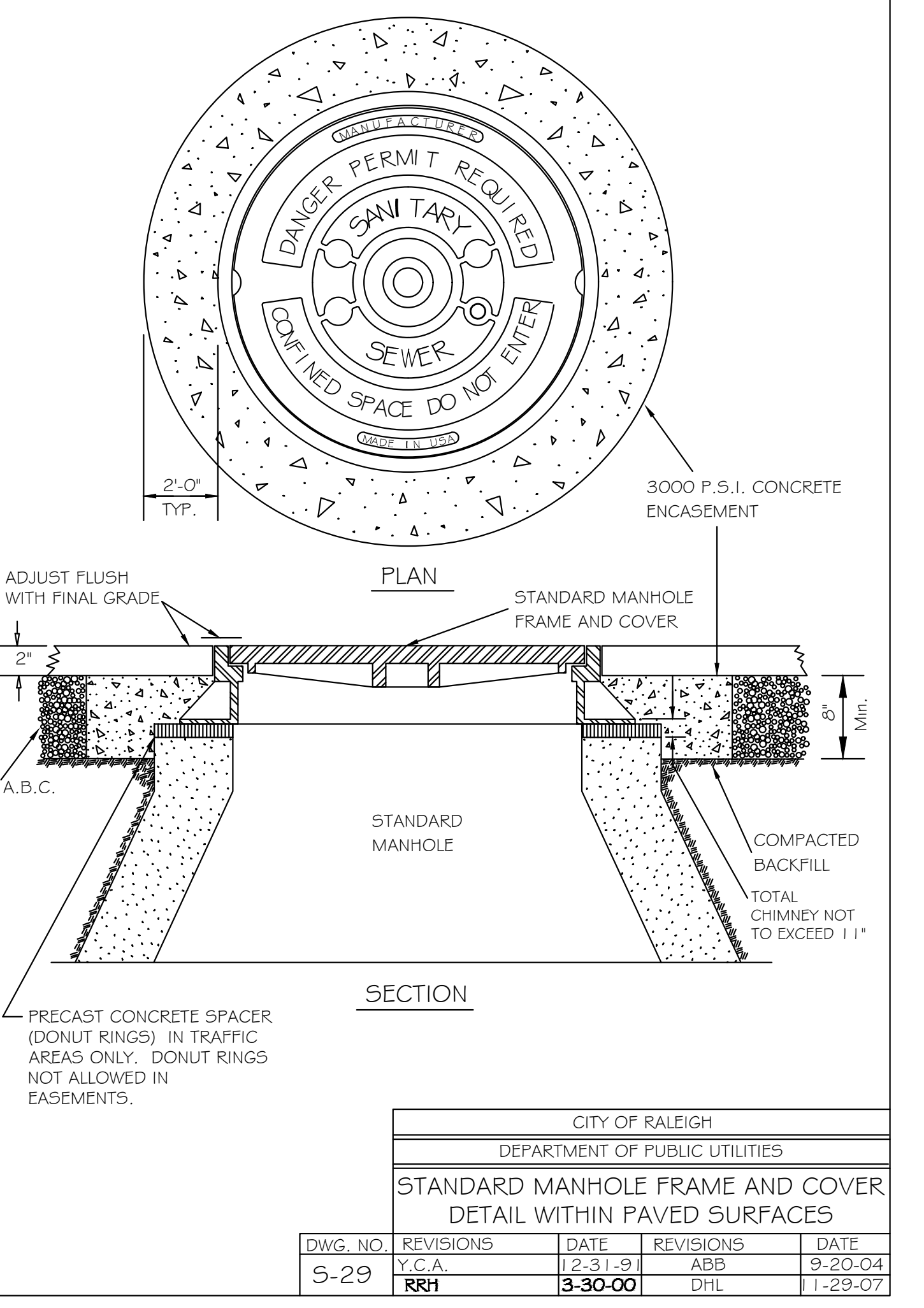
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
4" CLEANOUT PLUG				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-34	D.W.C.	3-1-87	RRH	3-30-00
		3-27-98		



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE COVER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-25		3-1-87	A.B.B.	2-9-05
	RRH	3-30-00	D.H.L.	6-18-08



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD PRECAST SANITARY SEWER MANHOLE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-20	Y.C.A.	12-31-92	ABB	2-21-05
	RRH	3-30-00	D.H.L.	6-18-08



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE FRAME AND COVER DETAIL WITHIN PAVED SURFACES				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-29	Y.C.A.	12-31-92	ABB	9-20-04
	RRH	3-30-00	D.H.L.	1-29-07

SW SEAMONWHITESIDE

MOUNT PLEASANT, SC 29384
 843.884.1667
 GREENVILLE, SC 29615
 864.298.0534
 SUMMERVILLE, SC 29586
 843.972.0710
 SPARTANBURG, SC 29301
 864.272.1272
 CHARLOTTE, NC 28202
 980.312.5450
 WWW.SEAMONWHITESIDE.COM

SEAMON WHITESIDE & ASSOCIATES, INC.
 NO. C-2466
 CERTIFICATE OF AUTHORITY

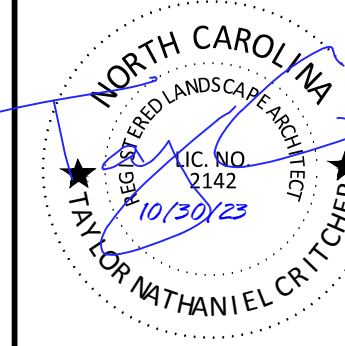
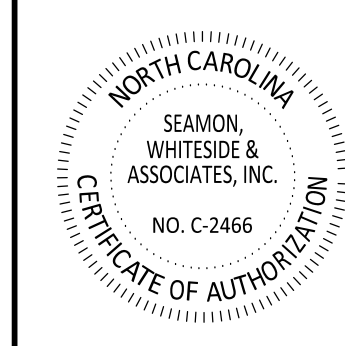
PROFESSIONAL SEAL
 048282
 10/30/23
 ENGINEER
 JOYMMIE L. LITTLE

TIDAL WAVE AUTO SPA
 ROLESVILLE, NC

SW+ PROJECT: 10772
 DATE: 10/30/23
 DRAWN BY: CPE
 CHECKED BY: DWJ

REVISION HISTORY				
NO.	DATE	BY	DESCRIPTION	APPROVED

CONSTRUCTION DETAILS



REVISION HISTORY

NO.	DESCRIPTION

GENERAL NOTES:

- SEE EROSION CONTROL PLANS (SHEETS C4.1 - C4.3) FOR SILT FENCE LOCATIONS, TREE PROTECTION ZONES AND BARRICADES, AND ADDITIONAL NOTES AND DETAILS.
- FOR TREE REMOVALS, PLEASE REFER TO SHEETS C3.1.
- FOR REQUIRED TREE MITIGATION AND DEVELOPMENT INCHES PER THE TOWN OF ROLESVILLE ZONING ORDINANCE, PLEASE REFER TO SHEET L1.1 FOR PLANT SCHEDULE QUANTITY AND SIZES. THE OVERALL PLANT QUANTITY FOR THE ENTIRE SITE CAN BE FOUND ON THE MASTER PLAN SCHEDULE, SHEET L1.1.
- SEE SITE PLAN (SHEET S.1) FOR SITE LABELS, INFORMATION AND DETAILS.
- CONTRACTOR TO CONTACT CIVIL ENGINEER OR LANDSCAPE ARCHITECT REGARDING ANY SITE WORK MODIFICATIONS FROM THESE PLANS PRIOR TO CHANGES IN THE FIELD.

US HWY 401 / LOUISBURG ROAD (317 LF)			
	STREET BUFFER	PLANTINGS REQUIRED	PLANTINGS PROVIDED
MINIMUM BUFFER WIDTH	30' MIN.		
CANOPY TREE	1"	1	1
UNDERSTORY TREE	2"	14	14

*ALL PLANT COUNTS ARE FOR 40' SECTION.

GRAND PARK DRIVE (275 LF)			
	STREET BUFFER	PLANTINGS REQUIRED	PLANTINGS PROVIDED
MINIMUM BUFFER WIDTH	10' MIN.		
CANOPY TREE	1"	5	5**

*ALL PLANT COUNTS ARE FOR 60' SECTION.

**SOME EXISTING TREES USED TO MEET REQUIREMENTS.

Existing vegetation must be properly represented on the existing conditions plan sheet and the TPF and CRZ shown on the demolition and grading sheets.

OPEN SPACE

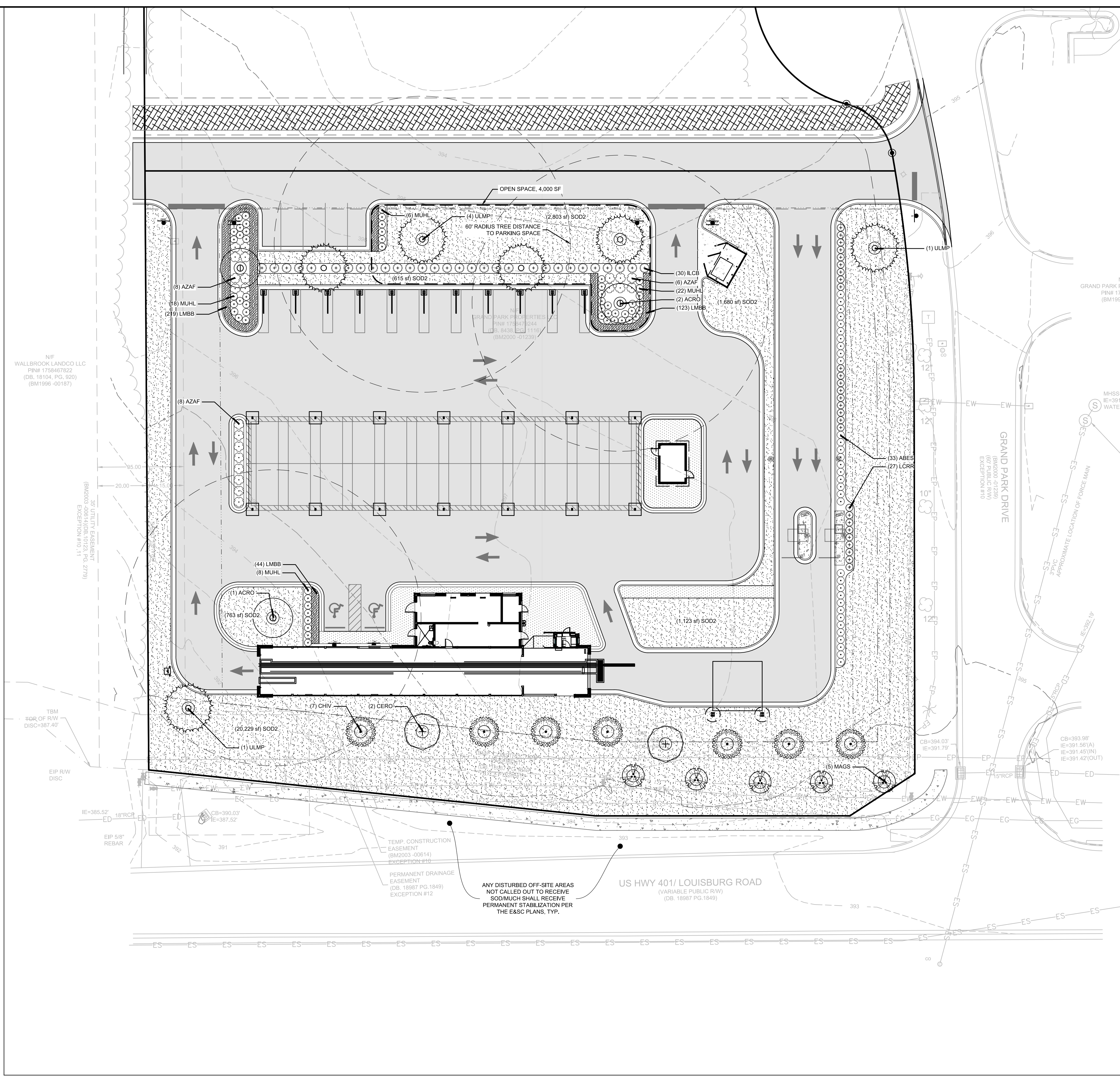
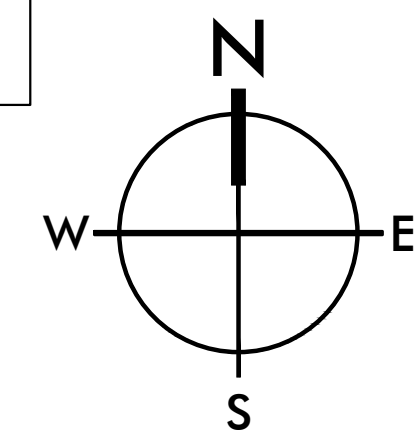
SITE AREA = 79,279.2 SF
 OPEN SPACE REQUIREMENTS = 5% OF TOTAL SITE AREA
 OPEN SPACE REQUIRED = 3,964 SF
 OPEN SPACE PROVIDED = 4,000 SF

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	ACRO	3	ACER RUBRUM 'OCTOBER GLORY'™ / OCTOBER GLORY MAPLE
	ULMP	6	ULMUS PARVIFOLIA / CHINESE ELM
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CERO	2	CERCIS CANADENSIS 'OKLAHOMA' / OKLAHOMA REDBUD
	CHIV	7	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE
	MAGS	5	MAGNOLIA X SOULANGIANA / SAUCER MAGNOLIA
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	ABES	33	ABELIA X GRANDIFLORA 'SHERWOODII' / DWARF ABELIA
	AZAF	22	AZALEA INDICA 'FORMOSA' / FORMOSA AZALEA
	ILCB	30	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY
	LCRR	27	LOROPETALUM CHINENSE RUBRUM 'RUBY' / DWARF RUBY FRINGE FLOWER
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME
	MUHL	54	MUHLENBERGIA FILIPES / SWEETGRASS
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	LMBB	422	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME
	SOD2	27,213 SF	CYNODON DACTYLON 'TIFTUF' / TIFTUF BERMUDA GRASS

TIDAL WAVE LANDSCAPE NOTES

- ALL DISTURBED AREAS NOT COVERED BY STRUCTURES, PAVING OR LANDSCAPING SHALL BE SODDED. NO SEEDING SHALL BE USED.
- ALL PLANT BEDS SHALL BE UNDERLAIN WITH LANDSCAPING FABRIC AND HAVE 3" OF DYED BROWN OR BLACK WOOD MULCH WITH EDGING AS REQUIRED. NO PINE STRAW MULCH WILL BE ALLOWED.
- ALL RIVER ROCK SHALL BE 4"-6" MINIMUM IN DIAMETER AND SHALL BE UNDERLAIN WITH LANDSCAPING FABRIC.
- AN UNDERGROUND IRRIGATION SYSTEM, SHALL BE INSTALLED AND SHALL COMPLY WITH ALL LOCAL MUNICIPAL CODES AND REGULATIONS AND ALSO COMPLY WITH THE LATEST NATIONAL ELECTRIC CODE RULES FOR ALL ELECTRIC WORKS AND MATERIALS.
- IF THERE IS NO PLANT BED AGAINST THE CAR WASH TUNNEL, VAC HOUSE(S), OR DUMPSTER ENCLOSURE, THEN THERE SHALL BE A 18 INCH MINIMUM STRIP OF RIVER ROCK INSTALLED.



501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000, GREENVILLE, SC 29611 | 230 PETERSON DR., CHARLOTTE, NC 28217 | 7124 CEDAR STREET, SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301
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