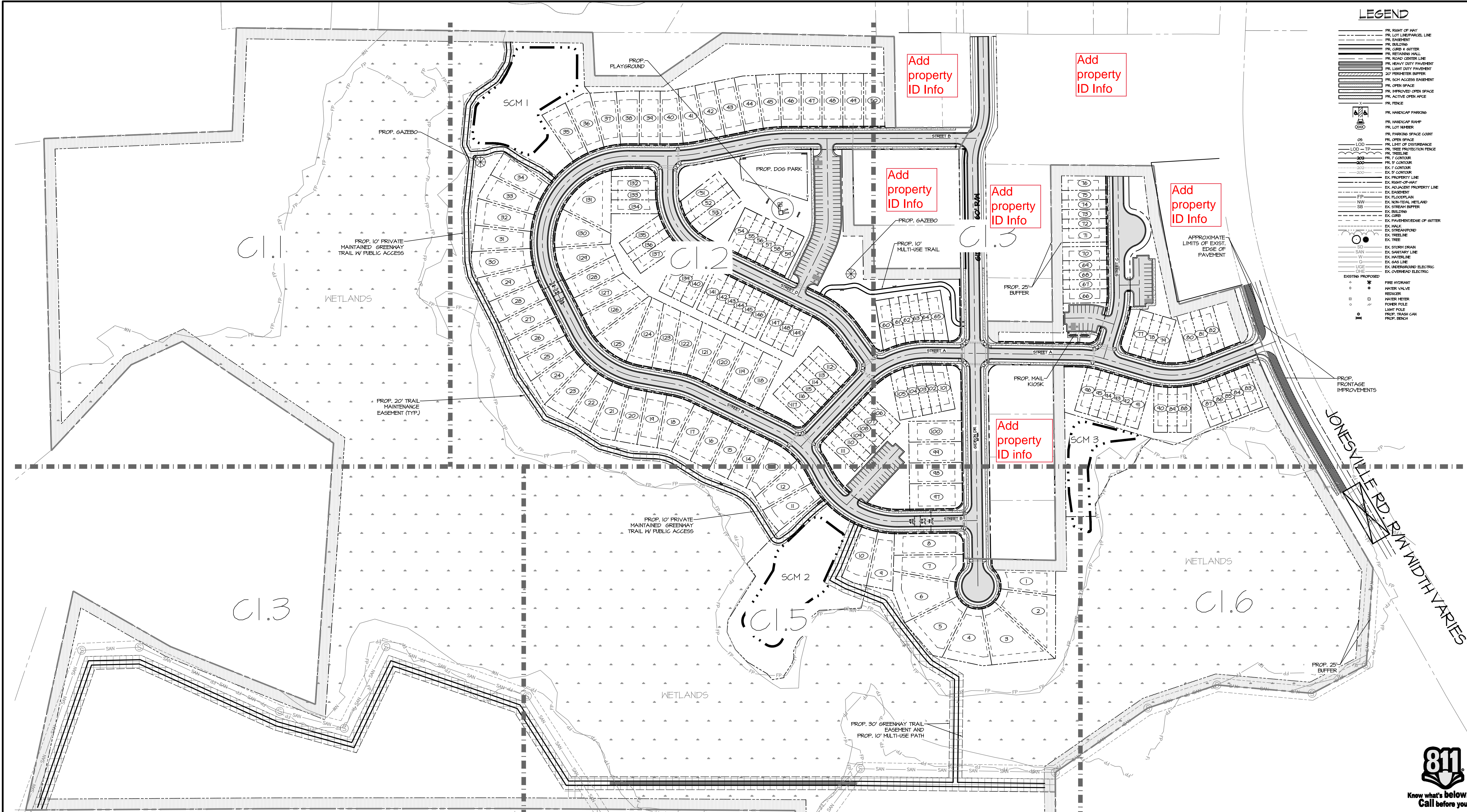


LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. 20' PERIMETER BUFFER
- PR. SCM ACCESS EASEMENT
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1' GROUND
- PR. 2' GROUND
- PR. 3' GROUND
- EX. PROPERTY LINE
- EX. 1' GROUND
- EX. 2' GROUND
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CARE
- EX. PAVEMENT/EDGE OF GUTTER
- EX. WALL
- EX. SHED/POND
- EX. TREE LINE
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- REDUCER
- WATER METER
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH



Add property ID Info

Add property ID Info

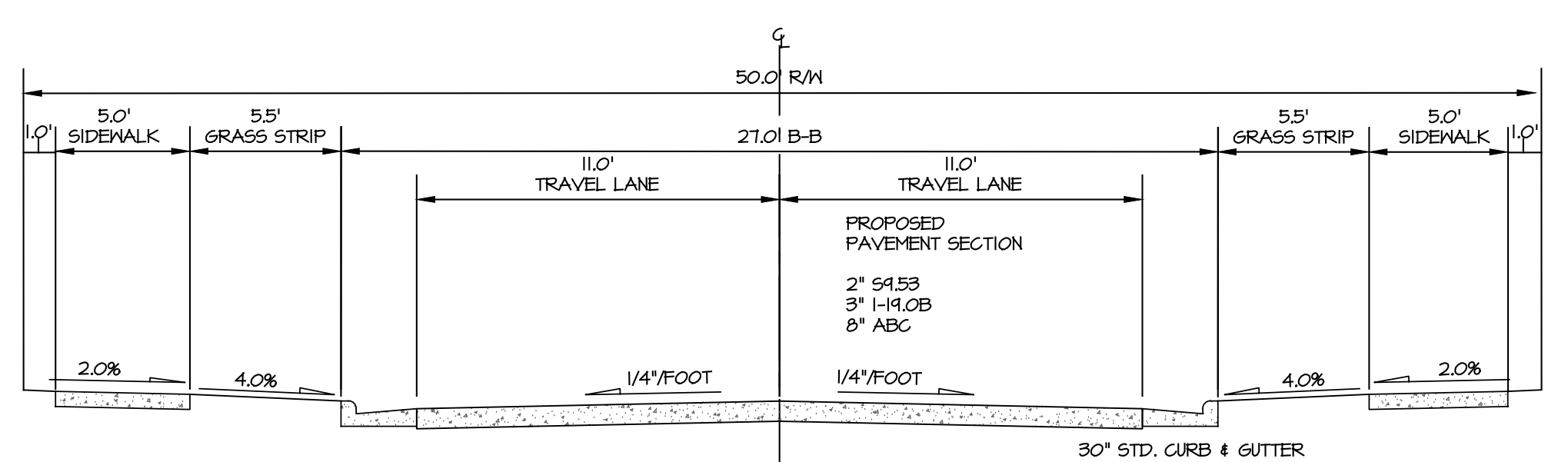
Add property ID Info

Add property ID Info

Add property ID Info

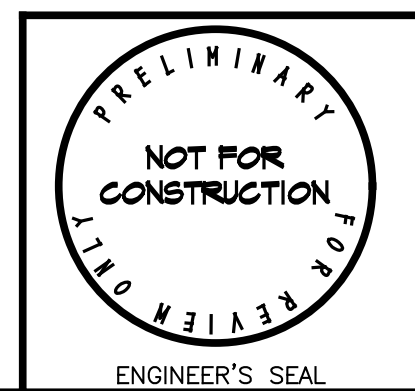
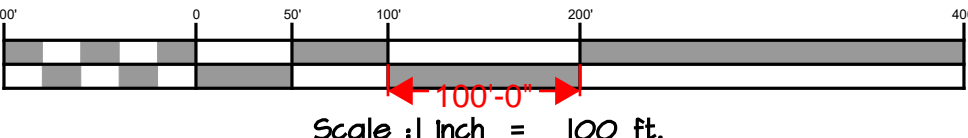
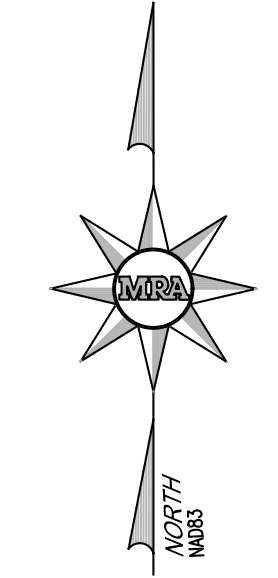
Add property ID info

TYPICAL CROSS SECTION



REQUIRED PARKING

REQUIRED:	2.0/DWELLING UNIT PLUS 0.25 GUEST SPACES/DWELLING UNIT 81 UNITS X 2.25 = 183 SPOTS REQUIRED
PROVIDED:	81 UNITS X 1 (DRIVEWAY) = 81 SPOTS PARKING LOTS = 116 SPOTS (1 HANDICAP) TOTAL PROVIDED = 197 SPOTS



OVERALL SITE PLAN
FOR
HARRIS CREEK FARMS

TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

MORRIS & RITCHIE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
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LICENSE # C-4182
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No.	DATE	REVISIONS	
A	9/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	JOB NO. 21790
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
			DATE: 6/1/2022
			ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: JMK



STATUS: PRELIMINARY NOT FOR CONSTRUCTION REVISION: B SHEET: C1.0



S:\PROJECTS\NC\2021\1790 - Jonesville RA\20-10E\10 Prelim\PILOT\1 - OVERALL SITE PLAN.dwg, 12/1/2022, 12:06:52 PM, Copyright 2022, Morris & Ritchie Associates, Inc.