

PRELIMINARY SUBDIVISION PLANS

YOUNG ST COMMERCIAL

GRAVITY COMPANIES

PSP-25-02/PSP-25-0001

SURVEY BENCHMARK

BENCHMARK IS LOCAL TO SITE.
SEE SHEET C1.00 FOR BENCHMARK INFORMATION.
VERTICAL DATUM BASED ON NAVD 88.

PARCEL DATA

PIN:	1768464343
OWNER:	WAKE CNTY BOARD OF EDUCATION
ADDRESS:	901 E YOUNG ST ROLESVILLE, NC 27587
ZONING:	CG-CZ
AREA:	21.04 ACRES
REAL ESTATE ID:	0408361

901 E YOUNG ST, ROLESVILLE, NC | 27587 | WAKE COUNTY

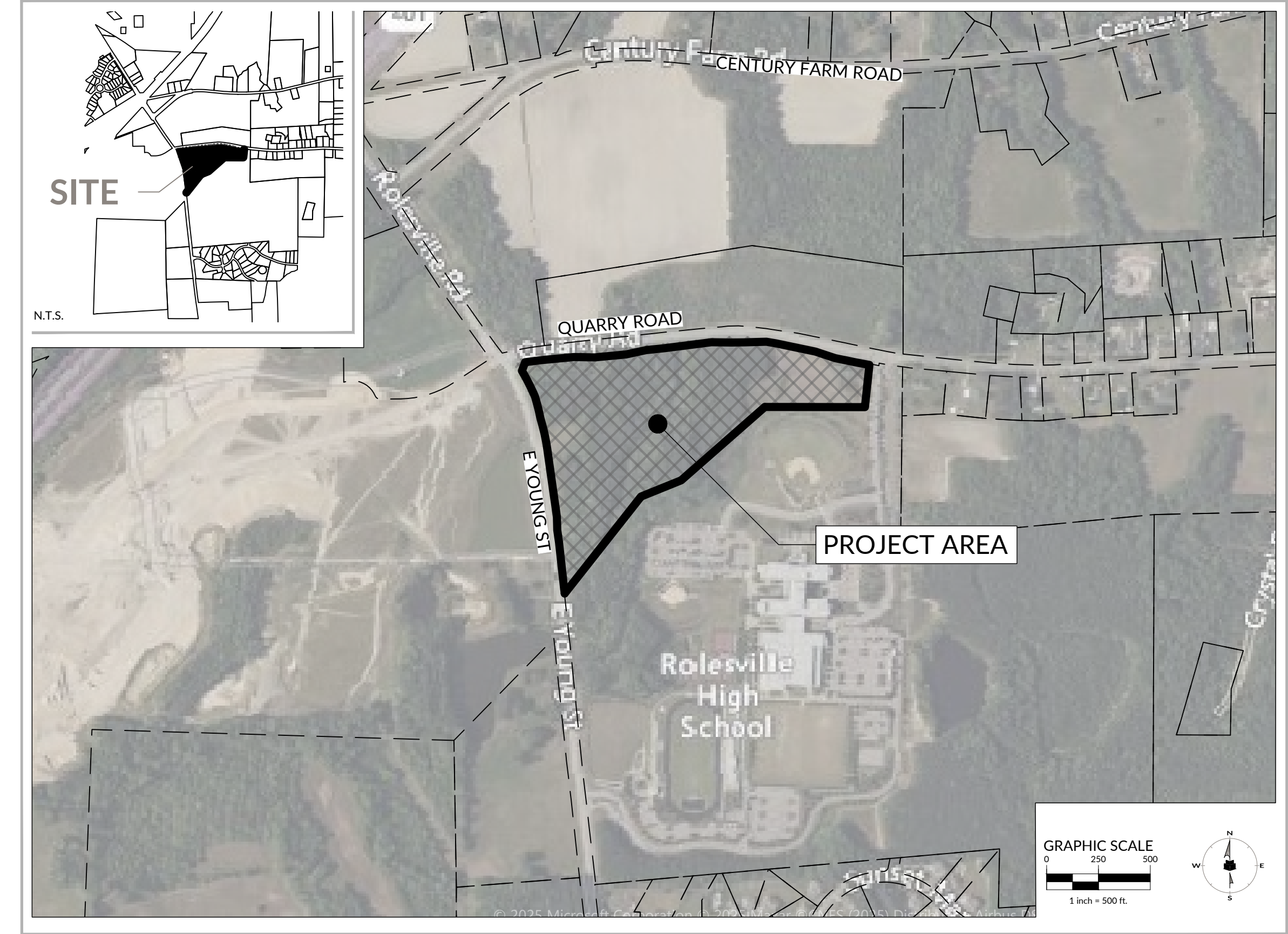
APPROVAL: MARCH 23, 2026

SITE DATA TABLE

TOWN PROJECT NO.	PSP-25-02
PARCEL PIN NO.	1768464343
EXISTING PROPERTY SIZE (ACRES)	21.04 AC
PROPOSED ROW DEDICATION (ACRES)	0.85 AC
PROPOSED PROPERTY SIZE (ACRES)	20.19 AC
WATERSHED	MILBURNIE LAKE (HUC 10-0302020107)
RIVER BASIN	NEUSE RIVER BASIN
BOOK OF MAPS/DEED REFERENCE	DEED BOOK/PAGE 014097/02016
JURISDICTION	TOWN OF ROLESVILLE
EXISTING ZONING	GC-CZ
CURRENT USE	VACANT
PROPOSED USE	COMMERCIAL/RETAIL/OFFICE
EXISTING IMPERVIOUS AREA	0 SF
PROPOSED IMPERVIOUS AREA	TBD
TREE COVERAGE DATA	SEE SHEETS C1.10 & C1.11
SETBACKS:	
FRONT	20 FT
SIDE	15 FT
REAR	35 FT
CORNER	25 FT
PROJECT PERIMETER	4,843 FT
MINIMUM OPEN SPACE REQUIRED	1.01 AC
PROPOSED OPEN SPACE	1.06 AC

OPEN SPACE CALCULATIONS

REQUIRED TOTAL OPEN SPACE AREA	SITE AREA X 5%	20.19 X 5% = 1.01 AC
REQUIRED ACTIVE OPEN SPACE	50% OF TOTAL OPEN SPACE	1.01 X 50% = 0.51 AC
REQUIRED PASSIVE OPEN SPACE	TOTAL OPEN SPACE - ACTIVE OPEN SPACE (LESS THAN 50% OF TOTAL OPEN SPACE)	1.01 - 0.51 = 0.50 AC
PROVIDED TOTAL OPEN SPACE AREA	-	1.06 AC
PROVIDED ACTIVE OPEN SPACE	-	0.69 AC (65%)
PROVIDED PASSIVE OPEN SPACE	-	0.37 AC (35%)



WETLAND & BUFFER NOTES

ALL IMPACTED WETLANDS AND BUFFERS AS SHOWN ON THIS SET OF PLANS SHALL BE PERMITTED THROUGH N.C.D.W.R. AND U.S.A.C.E. PRIOR TO OBTAINING CONSTRUCTION INFRASTRUCTURE DRAWING (CID) APPROVAL FROM THE TOWN OF ROLESVILLE.

EROSION & SEDIMENT CONTROL NOTES

EROSION CONTROL PLANS AND CALCULATIONS SHALL BE PROVIDED DURING THE TOWN OF ROLESVILLE'S CONSTRUCTION INFRASTRUCTURE DRAWING (C.I.D.) REVIEW PROCESS. THE LEVEL OF DESIGN PROVIDED IN THIS PLAN SET IS INSUFFICIENT TO PROVIDE ACCURATE EROSION AND SEDIMENT CONTROL DESIGN AND CALCULATIONS AT THIS TIME.

FIRE ACCESS NOTES

FIRE ACCESS:
FIRE ACCESS PLAN FOR THE PROPOSED LOTS SHALL BE PROVIDED DURING THE TOWN OF ROLESVILLE'S SITE DEVELOPMENT PLAN (S.D.P.) REVIEW PROCESS.

OFF-SITE IMPROVEMENTS NOTES

OFF-SITE IMPROVEMENTS WILL BE DESIGNED ACCORDING TO TOWN OF ROLESVILLE ADOPTED PLANS AND RECOMMENDATIONS PER THE TRAFFIC IMPACT ANALYSIS PREPARED BY EXULT ENGINEERING, PC., AND DATED DECEMBER 2025. THE PROPOSED IMPROVEMENTS WILL BE SHOWN ON THE CONSTRUCTION INFRASTRUCTURE DRAWINGS (CID).

PROPOSED RIGHT-OF-WAY LINES HAVE BEEN LOCATED SUCH THAT REQUIRED OFF-SITE AND ROAD FRONTAGE IMPROVEMENTS CAN BE CONSTRUCTED TO BE WITHIN THE PUBLIC RIGHT-OF-WAY.

Sheet List Table

Sheet Number	Sheet Title
C0.00	COVER
C1.00	EXISTING CONDITIONS AND DEMOLITION PLAN
C1.10	TREE PRESERVATION PLAN
C1.11	TREE PRESERVATION CALCULATIONS & DETAILS
C2.00	SITE PLAN
C2.01	SUBDIVISION PLAN
C2.02	PROJECT ACCESS ROAD CROSS SECTIONS
C3.00	UTILITY PLAN
C4.00	GRADING AND DRAINAGE PLAN
A-4	E YOUNG ST & QUARRY RD TYPICAL SECTIONS

INFRASTRUCTURE DATA TABLE

	TOTAL
UNITS	
6" WATER MAIN [LF]	---
8" WATER MAIN [LF]	1,749
12" WATER MAIN [LF]	---
8" SEWER MAIN [LF]	1,731
12" SEWER MAIN [LF]	---
4' SEWER MANHOLES [UNITS]	17
STORM DRAINAGE [LF]	2,821
IMPERVIOUS SURFACE [SF.]	---
SEWER FLOW (360 GAL/UNIT)[GPD]	TBD
SIDEWALK [LF]	3,278
PUBLIC GREENWAY [LF]	---



PSP-25-02 / Preliminary Subdivision Plat / Gravity-901 E Young St
APPROVED – April 14, 2026

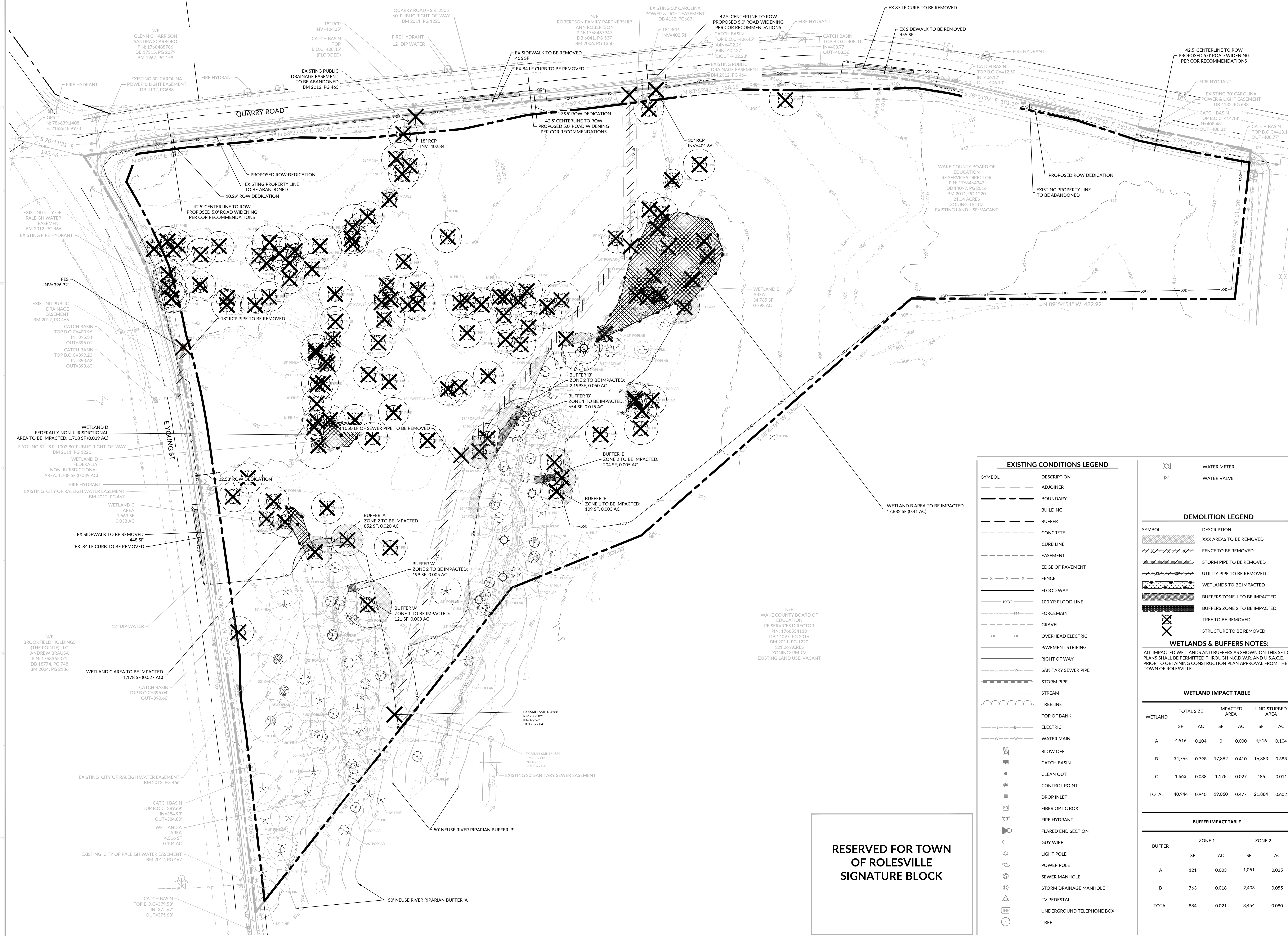
Town of Rolesville Planning Department

CONTACT LIST:

CIVIL ENGINEER Drew Plato, PE WithersRavenel 137 S. Wilmington Street, Suite 200 Raleigh, NC 27601 919-535-5200 dplato@withersravenel.com	LANDSCAPE ARCHITECT Kayleigh Gill, PLA WithersRavenel 137 S. Wilmington Street, Suite 200 Raleigh, NC 27601 919-535-5200 kgill@withersravenel.com	DEVELOPER Jake Jones Gravity Companies 2629 St. Mary's St. Raleigh, NC 27609 919-414-5166 jake@gravity-companies.com	OWNER Wake County Board of Education Attn: Real Estate Services 1551 Rock Quarry Road Raleigh, NC 27610 919-999-6550 dburnett@wcpsnc.gov
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DEVELOPER:



EXISTING CONDITIONS LEGEND

SYMBOL	DESCRIPTION
---	ADJOINER
---	BOUNDARY
---	BUILDING
---	BUFFER
---	CONCRETE
---	CURB LINE
---	EASEMENT
---	EDGE OF PAVEMENT
-X-X-X-	FENCE
---	FLOOD WAY
---	100 YR FLOOD LINE
---	FORCEMAIN
---	GRAVEL
---	OVERHEAD ELECTRIC
---	PAVEMENT STRIPING
---	RIGHT OF WAY
---	SANITARY SEWER PIPE
---	STORM PIPE
---	STREAM
---	TREELINE
---	TOP OF BANK
---	ELECTRIC
---	WATER MAIN
---	BLOW OFF
---	CATCH BASIN
---	CLEAN OUT
---	CONTROL POINT
---	DROP INLET
---	FIBER OPTIC BOX
---	FIRE HYDRANT
---	FLARED END SECTION
---	GUY WIRE
---	LIGHT POLE
---	POWER POLE
---	SEWER MANHOLE
---	STORM DRAINAGE MANHOLE
---	TV PEDESTAL
---	UNDERGROUND TELEPHONE BOX
---	TREE

DEMOLITION LEGEND

SYMBOL	DESCRIPTION
XXX	AREAS TO BE REMOVED
---	FENCE TO BE REMOVED
---	STORM PIPE TO BE REMOVED
---	UTILITY PIPE TO BE REMOVED
---	WETLANDS TO BE IMPACTED
---	BUFFERS ZONE 1 TO BE IMPACTED
---	BUFFERS ZONE 2 TO BE IMPACTED
---	TREE TO BE REMOVED
---	STRUCTURE TO BE REMOVED

WETLANDS & BUFFERS NOTES:

ALL IMPACTED WETLANDS AND BUFFERS AS SHOWN ON THIS SET OF PLANS SHALL BE PERMITTED THROUGH N.C.D.W.R. AND U.S.A.C.E. PRIOR TO OBTAINING CONSTRUCTION PLAN APPROVAL FROM THE TOWN OF ROLESVILLE.

WETLAND IMPACT TABLE

WETLAND	TOTAL SIZE		IMPACTED AREA		UNDISTURBED AREA	
	SF	AC	SF	AC	SF	AC
A	4,516	0.104	0	0.000	4,516	0.104
B	34,765	0.798	17,882	0.410	16,883	0.388
C	1,663	0.038	1,178	0.027	485	0.011
TOTAL	40,944	0.940	19,060	0.437	21,884	0.602

BUFFER IMPACT TABLE

BUFFER	ZONE 1		ZONE 2	
	SF	AC	SF	AC
A	121	0.003	1,051	0.025
B	763	0.018	2,403	0.055
TOTAL	884	0.021	3,454	0.080

RESERVED FOR TOWN OF ROLESVILLE SIGNATURE BLOCK



N/F
GLENN C HARRISON
SANDRA SCARBORO
PIN: 1768488786
DB 17315, PG 2379
BM 1967, PG 159

EXISTING 30' CAROLINA
POWER & LIGHT EASEMENT
DB 4132, PG 683

EXISTING PUBLIC
DRAINAGE EASEMENT
TO BE ABANDONED
BM 2012, PG 463

N/F
ROBERTSON FAMILY PARTNERSHIP
ANN ROBERTSON
PIN: 1768467947
DB 6041, PG 537
BM 2006, PG 1350

EXISTING 30' CAROLINA
POWER & LIGHT EASEMENT
DB 4132, PG 683

WAKE COUNTY BOARD OF
EDUCATION
RE SERVICES DIRECTOR
PIN: 1768464343
DB 14097, PG 2016
BM 2011, PG 1220
21.04 ACRES
ZONING: GC-CZ
EXISTING LAND USE: VACANT

N/F
WAKE COUNTY BOARD OF
EDUCATION
RE SERVICES DIRECTOR
PIN: 1768554110
DB 14097, PG 2016
BM 2011, PG 1220
121.26 ACRES
ZONING: RM-CZ
EXISTING LAND USE: VACANT

N/F
BROOKFIELD HOLDINGS
(THE POINTE) LLC
ANDREW BRAUSA
PIN: 1768345071
DB 18774, PG 748
BM 2024, PG 2186

LEGEND:

- PROPERTY LINE
- LOD --- LIMITS OF DISTURBANCE
- TP --- TREE PROTECTION FENCE
- *--- CRZ
- *--- CRZ TO BE PRESERVED
- *--- CRZ TO BE REMOVED
- X TREE TO BE REMOVED

TREE PRESERVATION NOTES:

- THE CRZ SHALL REMAIN FREE OF ALL BUILDING MATERIALS, REFUSE, & DEBRIS.

**RESERVED FOR TOWN
OF ROLESVILLE
SIGNATURE BLOCK**

GRAVITY COMPANIES

Gravity Companies
2629 St. Mary's St.
Raleigh, NC 27609

PRELIMINARY SUBDIVISION PLANS
**YOUNG ST COMMERCIAL
GRAVITY COMPANIES
PSP-25-02/PSP-25-0001**

901 E Young St, Rolesville, NC | 27587 | Wake County

North Carolina
PLANNING COMMISSION
2455
WAKE COUNTY

Signed by: *Hannah All* 3/23/2026
DATE: 03/23/2026

SCALE: 1 inch = 60 ft.

SIGNATURE SET DATE: 03/23/2026

Know what's below.
Call before you dig.

WR JOB NUMBER 24-0129-A
DRN: WR DGN: WR CKD: WR

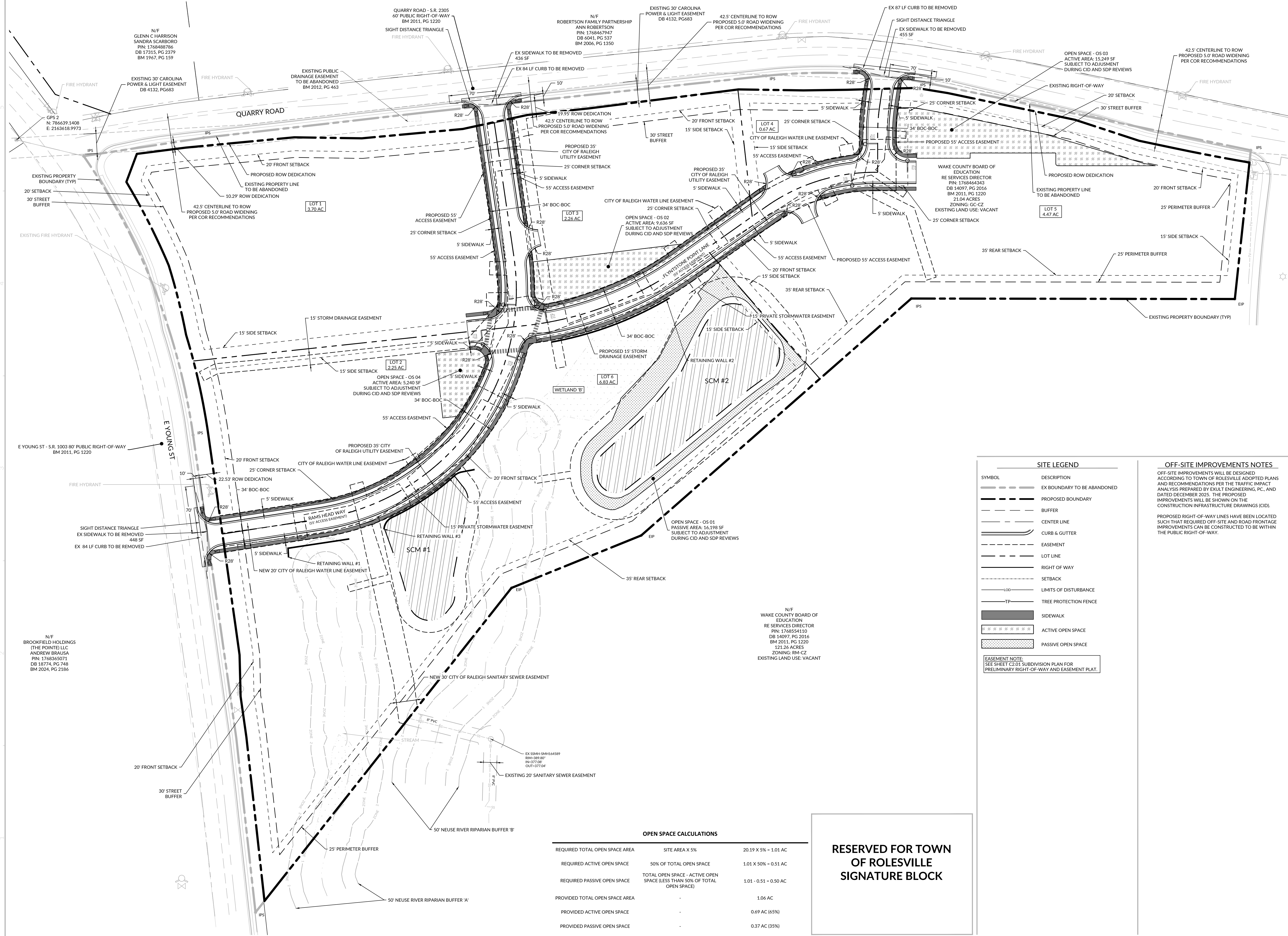
TREE PRESERVATION PLAN

C1.10

WithersRavenel

137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601
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our people • your success



SITE LEGEND

SYMBOL	DESCRIPTION
---	EX BOUNDARY TO BE ABANDONED
- - - -	PROPOSED BOUNDARY
---	BUFFER
---	CENTER LINE
---	CURB & GUTTER
---	EASEMENT
---	LOT LINE
---	RIGHT OF WAY
---	SETBACK
---	LIMITS OF DISTURBANCE
---	TREE PROTECTION FENCE
---	SIDEWALK
---	ACTIVE OPEN SPACE
---	PASSIVE OPEN SPACE

EASEMENT NOTE:
SEE SHEET C2.01 SUBDIVISION PLAN FOR PRELIMINARY RIGHT-OF-WAY AND EASEMENT PLAN.

OFF-SITE IMPROVEMENTS NOTES

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PROPOSED RIGHT-OF-WAY LINES HAVE BEEN LOCATED SUCH THAT REQUIRED OFF-SITE AND ROAD FRONTAGE IMPROVEMENTS CAN BE CONSTRUCTED TO BE WITHIN THE PUBLIC RIGHT-OF-WAY.

OPEN SPACE CALCULATIONS

REQUIRED TOTAL OPEN SPACE AREA	SITE AREA X 5%	20.19 X 5% = 1.01 AC
REQUIRED ACTIVE OPEN SPACE	50% OF TOTAL OPEN SPACE	1.01 X 50% = 0.51 AC
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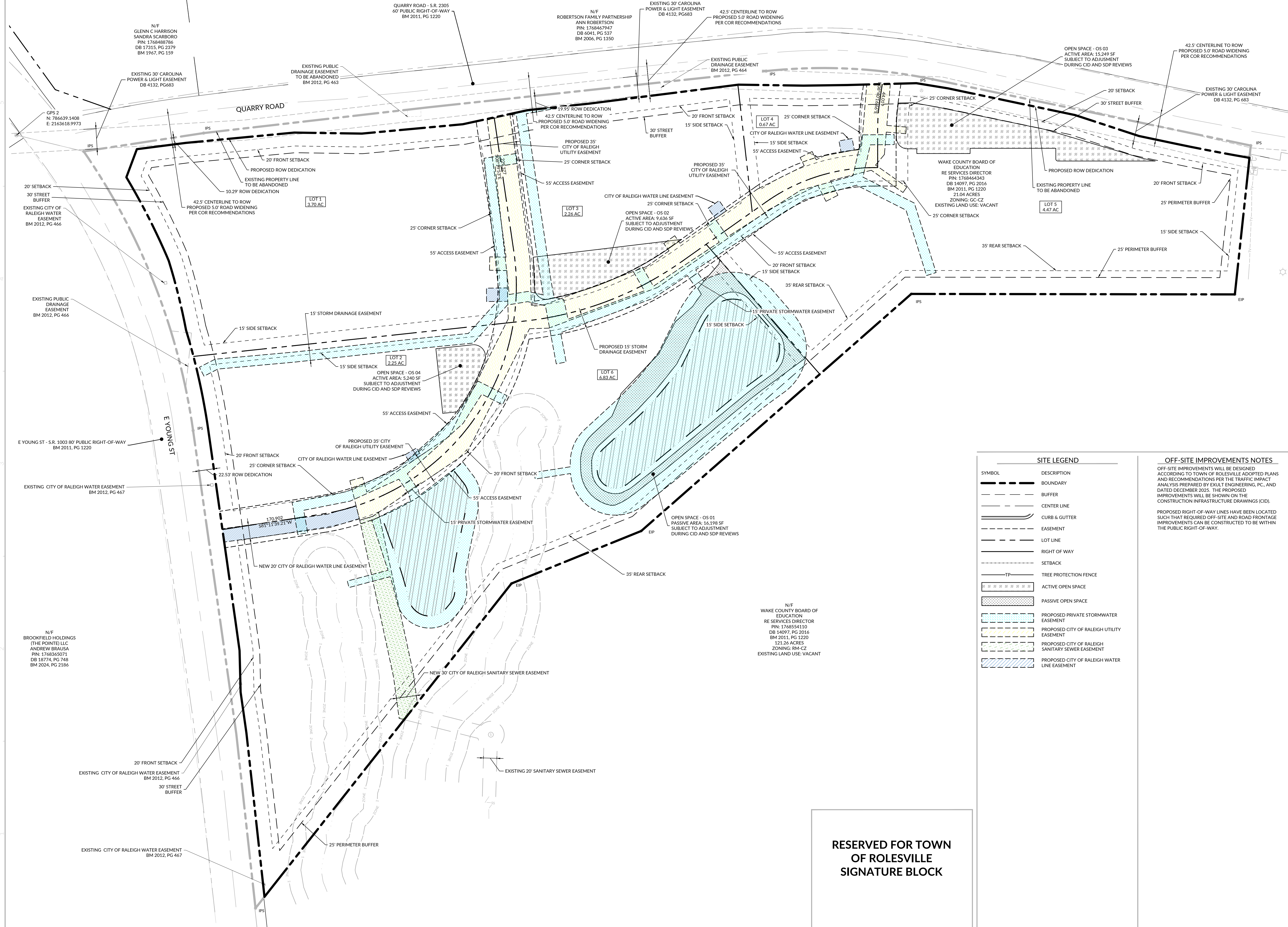
GRAVITY COMPANIES
Gravity Companies
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PRELIMINARY SUBDIVISION PLANS
YOUNG ST COMMERCIAL
GRAVITY COMPANIES
PSP-25-02/PSP-25-0001
901 E Young St, Rolesville, NC | 27587 | Wake County

PROFESSIONAL ENGINEER SEAL
ANDREW C. PLATO
056417
3/23/2026
SCALE: 1 inch = 60 ft.
SIGNATURE SET DATE: 03/23/2026

Know what's below.
Call before you dig.
WR JOB NUMBER: 24-0129-A
DRN: WR DGN: WR CKD: WR

SITE PLAN
C2.00



SITE LEGEND	
SYMBOL	DESCRIPTION
	BOUNDARY
	BUFFER
	CENTER LINE
	CURB & GUTTER
	EASEMENT
	LOT LINE
	RIGHT OF WAY
	SETBACK
	TREE PROTECTION FENCE
	ACTIVE OPEN SPACE
	PASSIVE OPEN SPACE
	PROPOSED PRIVATE STORMWATER EASEMENT
	PROPOSED CITY OF RALEIGH UTILITY EASEMENT
	PROPOSED CITY OF RALEIGH SANITARY SEWER EASEMENT
	PROPOSED CITY OF RALEIGH WATER LINE EASEMENT

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N/F
WAKE COUNTY BOARD OF
EDUCATION
RE SERVICES DIRECTOR
PIN: 1768554110
DB 14097, PG 2016
BM 2011, PG 1220
121.26 ACRES
ZONING: RM-CZ
EXISTING LAND USE: VACANT

**RESERVED FOR TOWN
OF ROLESVILLE
SIGNATURE BLOCK**

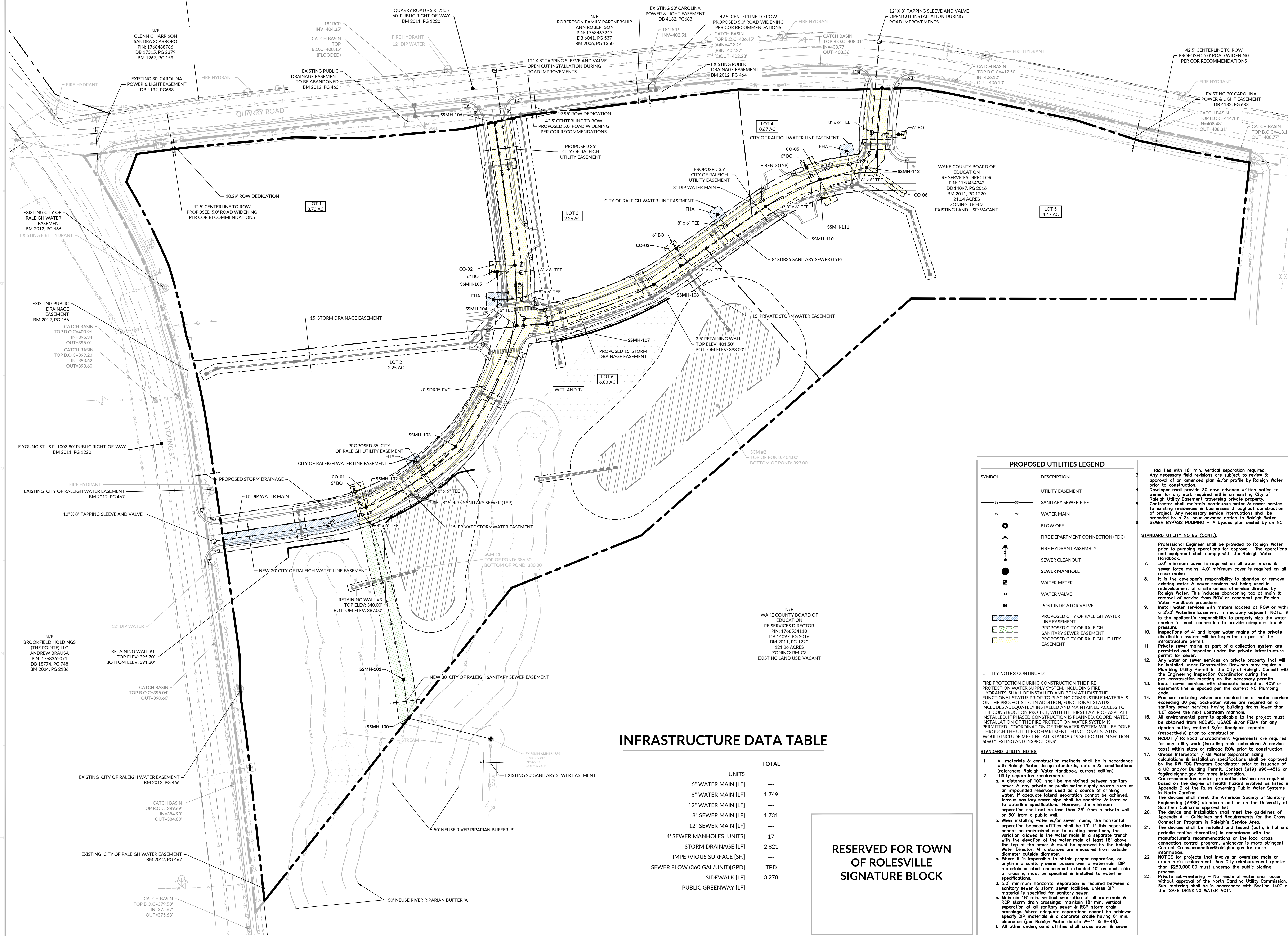
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GRAVITY COMPANIES
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2629 St. Mary's St.
Raleigh, NC 27609

PRELIMINARY SUBDIVISION PLANS
**YOUNG ST COMMERCIAL
GRAVITY COMPANIES
PSP-25-02/PSP-25-0001**
901 E Young St, Rolesville, NC | 27587 | Wake County

Professional Engineer Seal
Andrew Disto
3/23/2026
SCALE: 1 inch = 60 ft.
SIGNATURE SET DATE: 03/23/2026

Know what's below.
Call before you dig.
WR JOB NUMBER: 24-0129-A
DRN: WR DGN: WR CKD: WR
SUBDIVISION PLAN
C2.01



INFRASTRUCTURE DATA TABLE

UNITS	TOTAL
6" WATER MAIN [LF]	---
8" WATER MAIN [LF]	1,749
12" WATER MAIN [LF]	---
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SEWER FLOW (360 GAL/UNIT)[GPD]	TBD
SIDEWALK [LF]	3,278
PUBLIC GREENWAY [LF]	---

RESERVED FOR TOWN
OF ROLESVILLE
SIGNATURE BLOCK

PROPOSED UTILITIES LEGEND

SYMBOL	DESCRIPTION
---	UTILITY EASEMENT
SS-SS	SANITARY SEWER PIPE
W-W	WATER MAIN
○	BLOW OFF
▲	FIRE DEPARTMENT CONNECTION (FDC)
⊕	FIRE HYDRANT ASSEMBLY
⊕	SEWER CLEANOUT
⊕	SEWER MANHOLE
⊕	WATER METER
⊕	WATER VALVE
⊕	POST INDICATOR VALVE
▨	PROPOSED CITY OF RALEIGH WATER LINE EASEMENT
▨	PROPOSED CITY OF RALEIGH SANITARY SEWER EASEMENT
▨	PROPOSED CITY OF RALEIGH UTILITY EASEMENT

UTILITY NOTES CONTINUED:

- FIRE PROTECTION DURING CONSTRUCTION THE FIRE PROTECTION WATER SUPPLY SYSTEM, INCLUDING FIRE HYDRANTS, SHALL BE INSTALLED AND BE IN AT LEAST THE FUNCTIONAL STATUS PRIOR TO PLACING COMBUSTIBLE MATERIALS ON THE PROJECT SITE. IN ADDITION, FUNCTIONAL STATUS INCLUDES ADEQUATELY INSTALLED AND MAINTAINED ACCESS TO THE CONSTRUCTION PROJECT, WITH THE FIRST LAYER OF ASPHALT INSTALLED, IF PHASED CONSTRUCTION IS PLANNED. COORDINATED INSTALLATION OF THE FIRE PROTECTION WATER SYSTEM IS PERMITTED. COORDINATION OF THE WATER SYSTEM WILL BE DONE THROUGH THE UTILITIES DEPARTMENT. FUNCTIONAL STATUS WOULD INCLUDE MEETING ALL STANDARDS SET FORTH IN SECTION 6060 "TESTING AND INSPECTIONS".
- STANDARD UTILITY NOTES:**
- All materials & construction methods shall be in accordance with Raleigh Water design standards, details & specifications (reference: Raleigh Water Handbook, current edition)
 - Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Raleigh Water Director. All distances are measured from outside diameter outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per Raleigh Water details W-41 & S-49).
 - All other underground utilities shall cross water & sewer

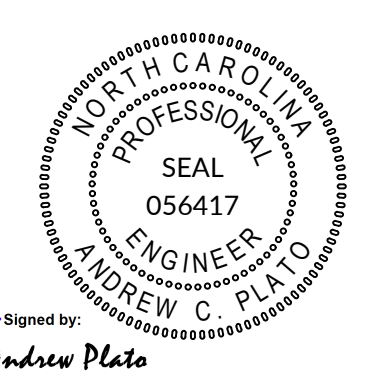
facilities with 18" min. vertical separation required. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by Raleigh Water prior to construction. Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to Raleigh Water. SEWER BYPASS PUMPING - A bypass pump sealed by an NC

STANDARD UTILITY NOTES (CONT.):

- Professional Engineer shall be provided to Raleigh Water prior to pumping operations for approval. The operations and equipment shall comply with the Raleigh Water Handbook.
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment or a site unless otherwise directed by Raleigh Water. This includes abandoning top at main & removal of service from ROW or easement per Raleigh Water Handbook procedure.
- Install water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Inspections of 4" and larger water mains of the private distribution system will be inspected as part of the infrastructure permit.
- Private sewer mains as part of a collection system are permitted and inspected under the private infrastructure permit for sewer.
- Any water or sewer services on private property that will be installed under Construction Drawings may require a Plumbing Utility Permit in the City of Raleigh. Consult with the Engineering Inspection Coordinator during the pre-construction meeting on the necessary permits.
- Install sewer services with cleanouts located at ROW or easement line & spaced per the current NC Plumbing code.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction. Grassy Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FOG Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 596-4316 or fog@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina. The devices shall meet the American Society of Sanitary Engineering (ASSE) standards and be on the University of Southern California approval list. The device and installation shall meet the guidelines of Appendix A - Guidelines and Requirements for the Cross Connection Program in Raleigh's Service Area.
- The devices shall be installed and tested (both, initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact Cross.connection@raleighnc.gov for more information.
- NOTICE for projects that involve an oversized main or urban main replacement. Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.
- Private sub-metering - No resale of water shall occur without approval of the North Carolina Utility Commission. Sub-metering shall be in accordance with Section 1400 of the SAFE DRINKING WATER ACT.



PRELIMINARY SUBDIVISION PLANS
YOUNG ST COMMERCIAL
GRAVITY COMPANIES
PSP-25-02/PSP-25-0001



Signed by: **Andrew D. DeLoe**
3/23/2026
SCALE: 1 inch = 60 ft.

SIGNATURE SET DATE: 03/23/2026

Know what's below.
Call before you dig.
WR JOB NUMBER: 24-0129-A
DRN-WR DGN-WR CKD-WR

UTILITY PLAN

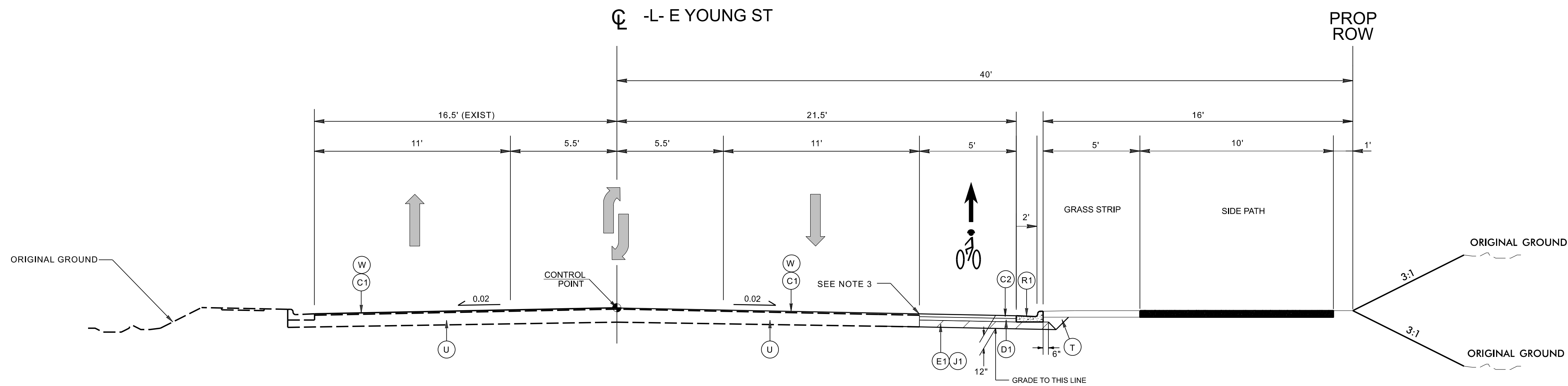
C3.00

WithersRavenel
137 S. Wilmington Street, Suite 200 | Raleigh, NC 27601
License #: F-1479 | T: 919.469.3340 | www.withersravenel.com

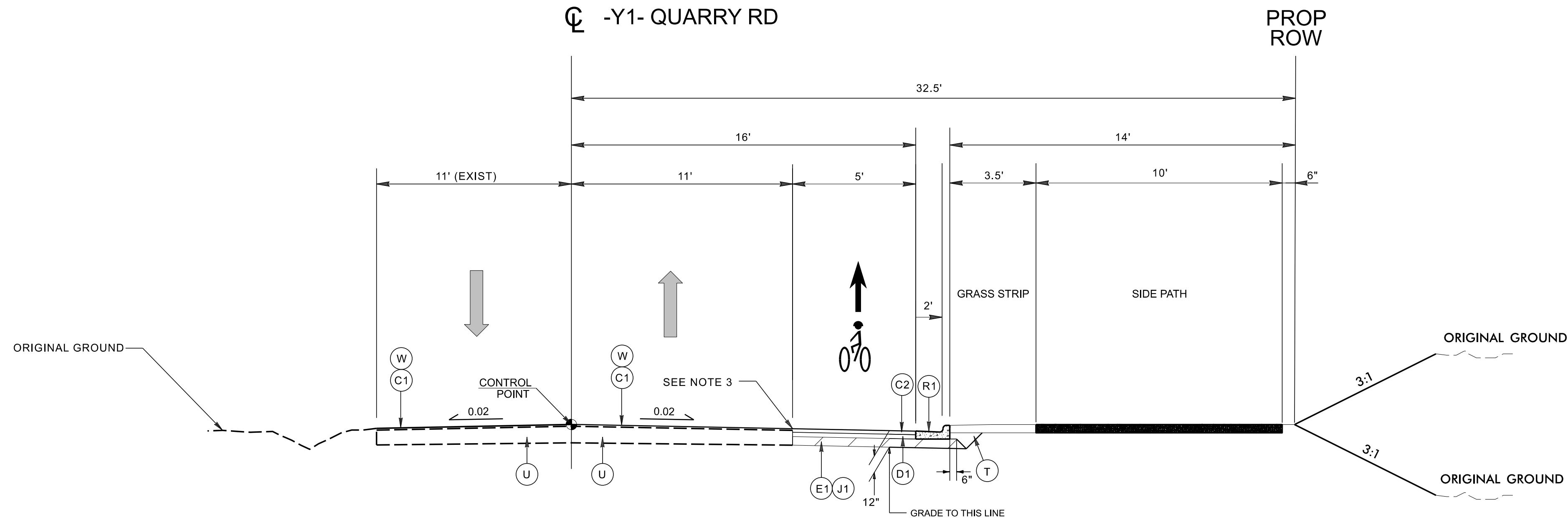
Gravity Companies
2629 St. Mary's St.
Raleigh, NC 27609

our people • your success

901 E Young St. Rolesville, NC | 27587 | Wake County



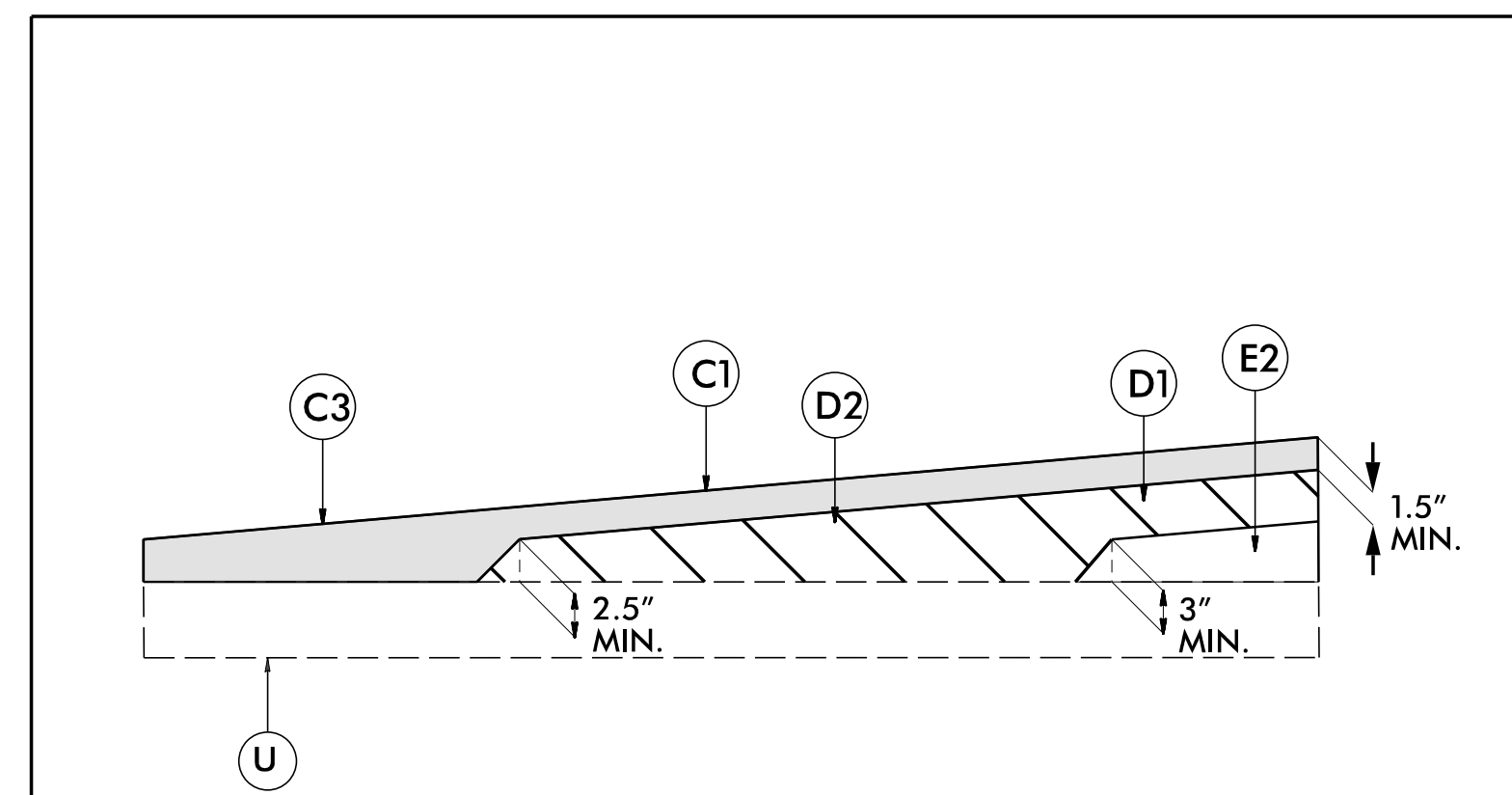
TYPICAL SECTION NO.1



TYPICAL SECTION NO.2

PRELIMINARY PAVEMENT SCHEDULE	
C1	PROP. APPROX. 1½" ASPHALT CONCRETE SURFACE COURSE, TYPE S9.5C, AT AN AVERAGE RATE OF 168 LBS. PER SQ. YARD.
C2	PROP. APPROX. 3" ASPHALT CONCRETE SURFACE COURSE, TYPE S9.5C, AT AN AVERAGE RATE OF 168 LBS. PER SQ. YARD.
C3	PROP. VAR. DEPTH ASPHALT CONCRETE SURFACE COURSE, TYPE S9.5C, AT AN AVERAGE RATE OF 112 LBS. PER SQ. YARD. PER 1" DEPTH TO BE PLACED IN LAYERS NOT TO EXCEED 1½" IN DEPTH.
D1	PROP. APPROX. 4" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE I19.0C, AT AN AVERAGE RATE OF 456 LBS. PER SQ. YARD.
D2	PROP. VAR. DEPTH ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE I19.0C, AT AN AVERAGE RATE OF 114 LBS. PER SQ. YARD PER 1" DEPTH TO BE PLACED IN LAYERS NOT LESS THAN 2 1/2" OR GREATER THAN 4" IN DEPTH.
E1	PROP. APPROX. 5" ASPHALT CONCRETE BASE COURSE, TYPE B25.0C, AT AN AVERAGE RATE OF 570 LBS. PER SQ. YARD
E2	PROP. VAR. DEPTH ASPHALT CONCRETE BASE COURSE, TYPE B25.0C, AT AN AVERAGE RATE OF 114 LBS. PER SQ. YARD PER 1" DEPTH TO BE PLACED IN LAYERS NOT LESS THAN 3" OR GREATER THAN 5½" IN DEPTH.
J1	PROP. 10" AGGREGATE BASE COURSE (MAY BE SUBSTITUTED FOR E1 IN AREAS WIDER THAN 6')
R1	PROPOSED 2'-6" CURB AND GUTTER
S	PROPOSED 4" CONCRETE SIDEWALK
T	EARTH MATERIAL
U	EXISTING PAVEMENT
V	MILLING EXISTING PAVEMENT, 1.5" DEPTH
W	VARIABLE DEPTH ASPHALT PAVEMENT (SEE WEDGING DETAIL ON THIS SHEET)

- NOTES:
1. PAVEMENT EDGE SLOPES ARE 1:1 UNLESS SHOWN OTHERWISE.
 2. REFER TO PLAN SHEETS FOR VARIABLE WIDTHS.
 3. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT TO PROVIDE 2' MINIMUM FULL DEPTH ASPHALT PAVEMENT.
 4. CONTRACTOR IS REQUIRED TO PROVIDE ASPHALT PATCH TO REPAIR PAVEMENT AS NEEDED WITHIN PROJECT LIMITS PRIOR TO OVERLAY.



WEDGING DETAIL FOR RESURFACING

E YOUNG ST
TYP 4A

NORTH CAROLINA
WAKE COUNTY

ROADWAY DESIGN
ENGINEER

DOCUMENT NOT CONSIDERED FINAL
UNLESS ALL SIGNATURES COMPLETED

PREPARED BY
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INCOMPLETE PLANS
DO NOT USE FOR R.O.W. ACQUISITION

REVISIONS