



Opal at Main

Town of Rolesville, Wake County, North Carolina

Planning Board– May 18th, 2026

History

THE FISCHER GROUP

FOUNDED IN **1980**

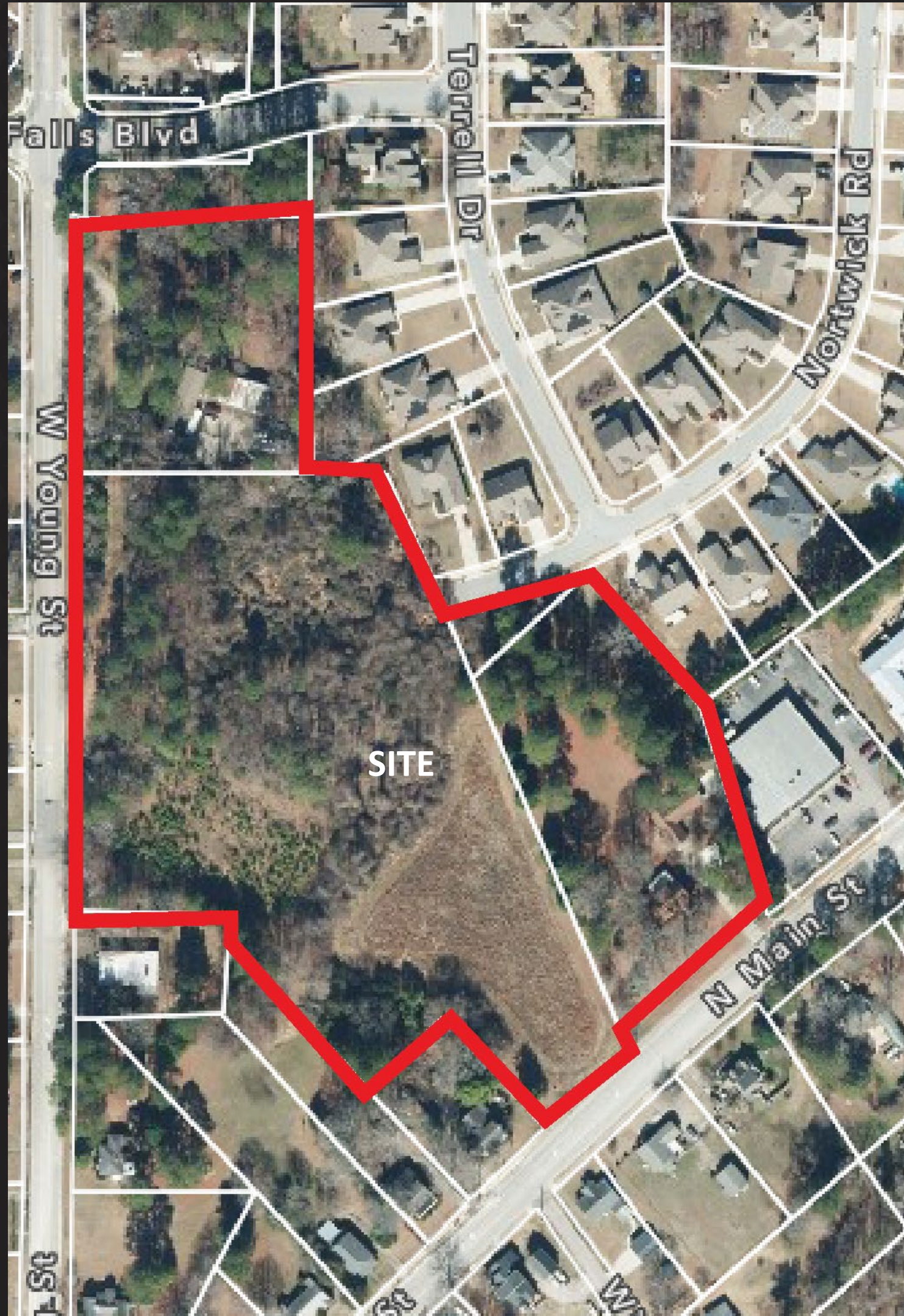
FAMILY BUSINESS WITH **750+**
ASSOCIATES

40,000 TOTAL NEW HOMES
CONSTRUCTED

#32 RANKING ON THE “HOME BUILDER
EXECUTIVE” OF THE LARGEST U.S. HOME
BUILDERS

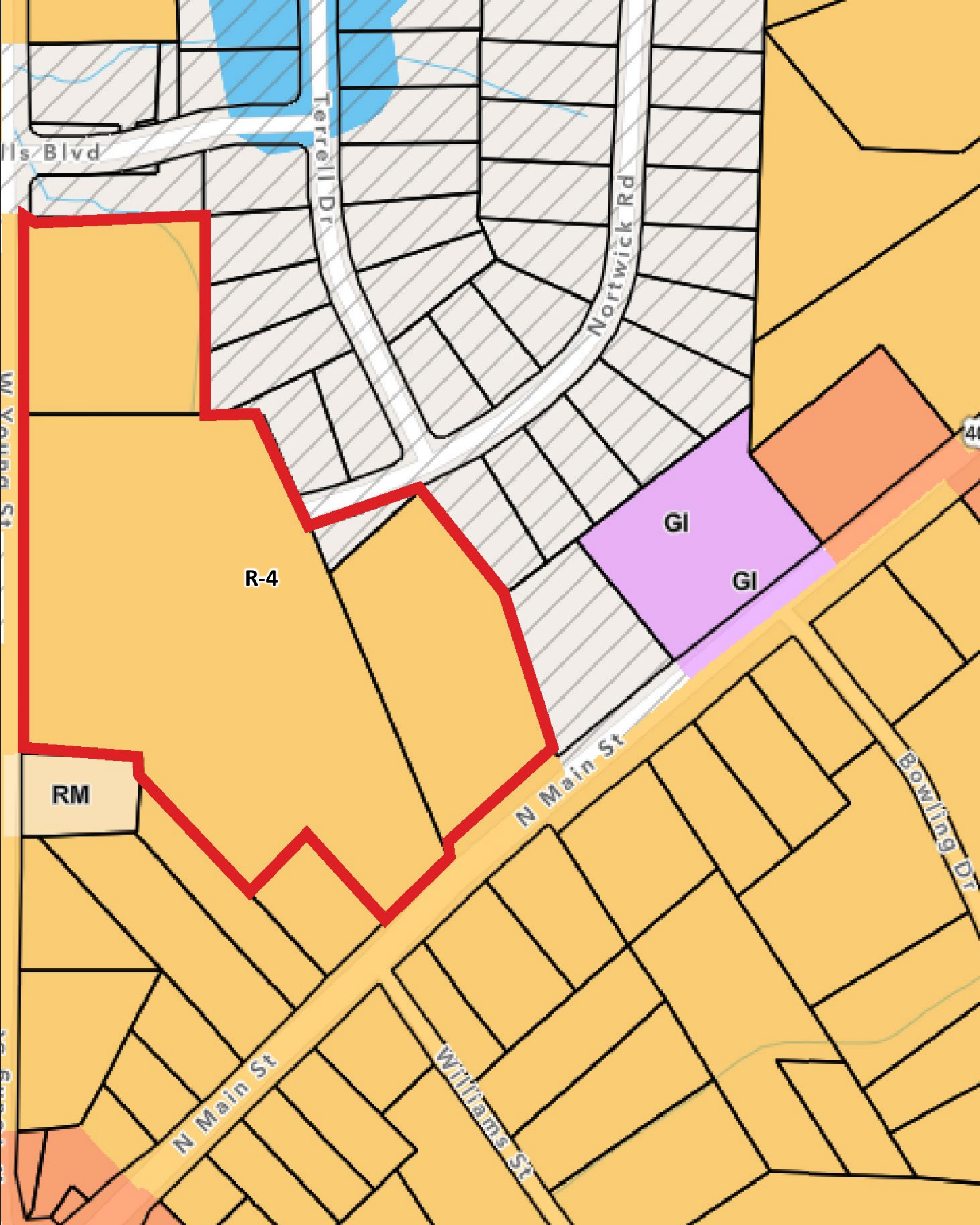
ACTIVE MARKETS: CINCINNATI/NORTHERN
KENTUCKY, INDIANAPOLIS, LOUISVILLE,
LEXINGTON, ST. LOUIS, RALEIGH, ATLANTA,
DAYTON, COLUMBUS AND GULF COAST EAST





Site Overview

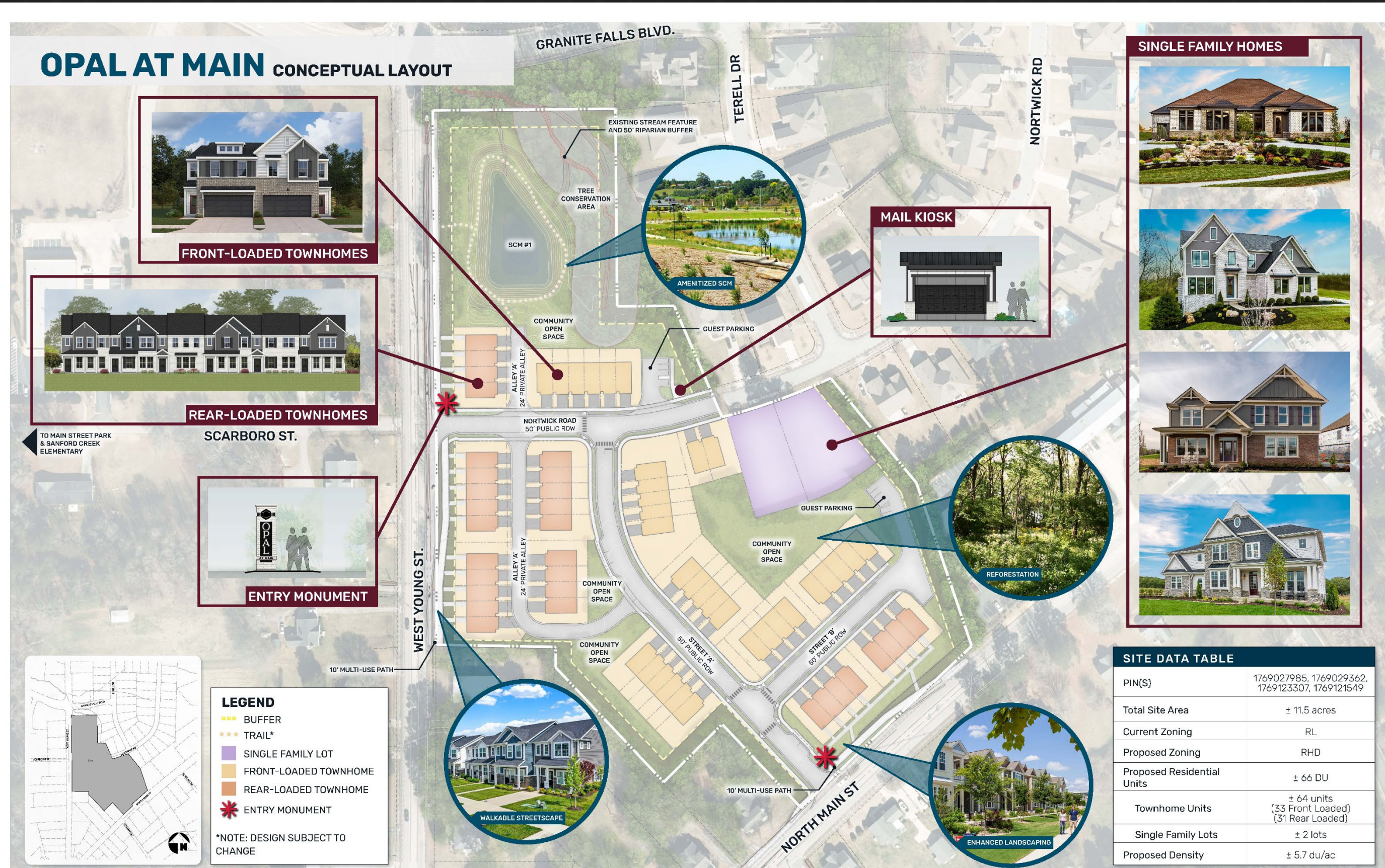
- 204 West Young Street
- Bounded by an existing neighborhood, single family homes, and a commercial use.



Current Zoning

- Current Zoning: Split -zoning of R -4 and R -M-CZ.

Community Plan

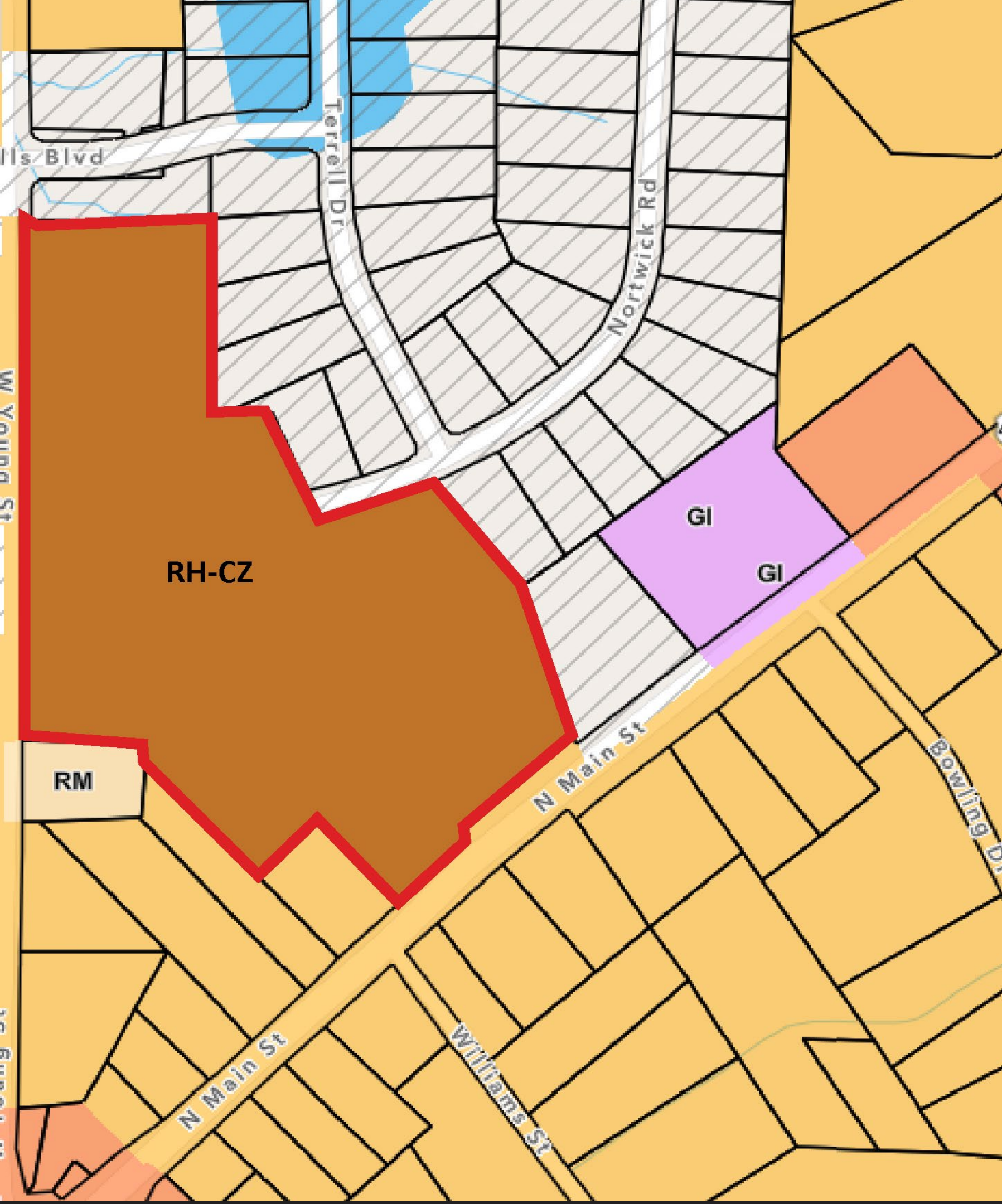


Proposed Zoning

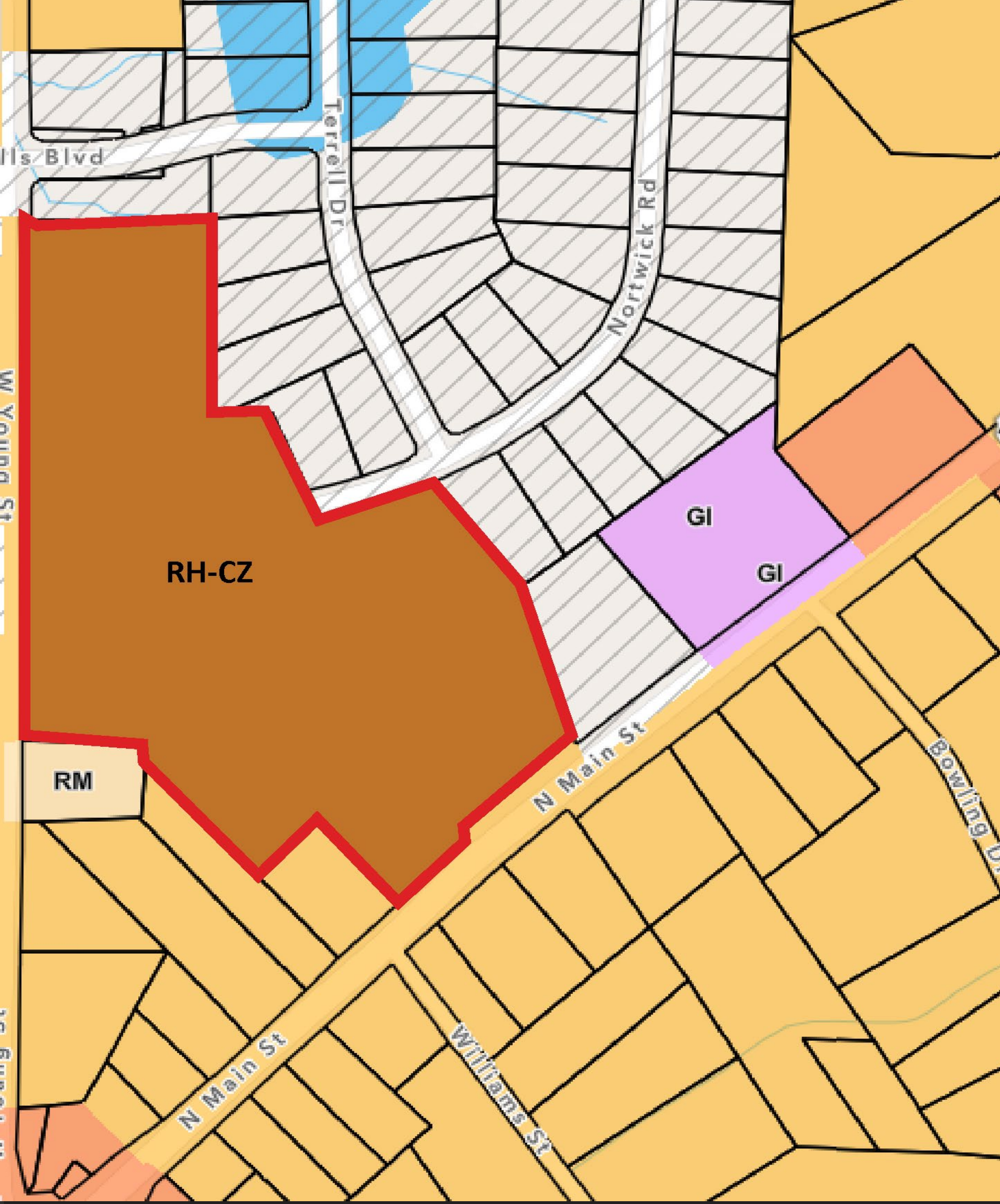
RH-CZ

Added Conditions:

1. The development shall allow for a maximum of sixty -two (62) single - family attached dwellings and two (2) single -family detached dwellings.
2. The stormwater control measure (SCM) shall be enhanced with trails, plantings, and a plaque to commemorate the historic significance of the site. The plaque shall be located to ensure public access to the memorial. The exact location and design of the plaque shall be determined at time of site plan.



Proposed Zoning Continued



RH-CZ

Added Conditions:

3. For all townhome lots adjacent to a public street or private alley: A minimum of one (1) evergreen tree at 2-inch caliper at the time of planting and a minimum of two (2) medium shrubs, a minimum of 3-gallon size at the time of planting; shall be installed by the developer prior to the Certificate of Occupancy.
4. A thirty (30) foot-wide buffer shall be provided along the property boundary with PIN 1769120094 (Little House Museum) where the proposed homes abut the museum. This buffer shall achieve a Type 3 planting standard in accordance with Town of Rolesville LDO.

Proposed Zoning Continued

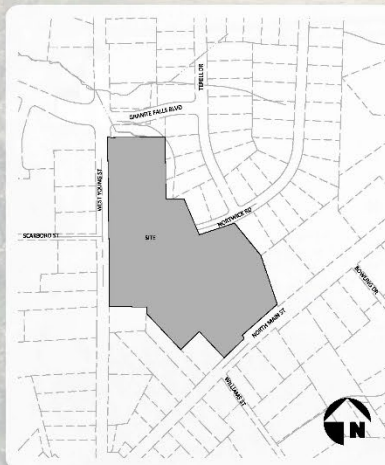
The developer has also committed to the following architectural standards within the zoning the conditions:

- Garages will have fully finished interiors, with drywall, paint and trim.
- The architectural commitments for this development shall be:
 - No dwelling unit shall be clad with aluminum or vinyl siding. Vinyl windows, trim and soffit are allowed.
 - No townhome building shall exceed six (6) units.
 - The minimum square footage for townhomes shall be 1,575 square feet. Garages shall not be counted towards the minimum square footage.

OPAL AT MAIN CONCEPTUAL LAYOUT



TO MAIN STREET PARK & SANFORD CREEK ELEMENTARY



LEGEND

- BUFFER
- TRAIL*
- SINGLE FAMILY LOT
- FRONT-LOADED TOWNHOME
- REAR-LOADED TOWNHOME
- ✱ ENTRY MONUMENT

*NOTE: DESIGN SUBJECT TO CHANGE



SINGLE FAMILY HOMES



SITE DATA TABLE

PIN(S)	1769027985, 1769029362, 1769123307, 1769121549
Total Site Area	± 11.5 acres
Current Zoning	RL
Proposed Zoning	RHD
Proposed Residential Units	± 66 DU
Townhome Units	± 64 units (33 Front Loaded) (31 Rear Loaded)
Single Family Lots	± 2 lots
Proposed Density	± 5.7 du/ac