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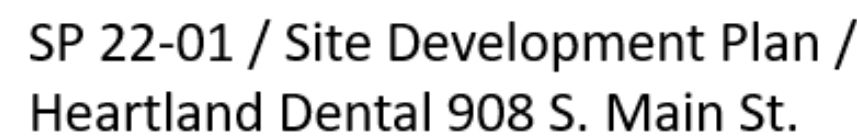
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APPROVED

Date: October 27, 2023

Meredith Gruber

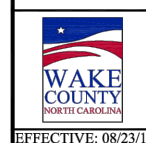
Town of Rolesville Planning Department

APPROVED PLAN

DATE 09/19/2023

PERMIT NO. S- SEC-077186-2022

Wake County Environmental Services
Sedimentation & Erosion Control
919-856-7400



ENVIRONMENTAL CONSULTANT SIGNATURE _____

VICINITY MAP

NTS

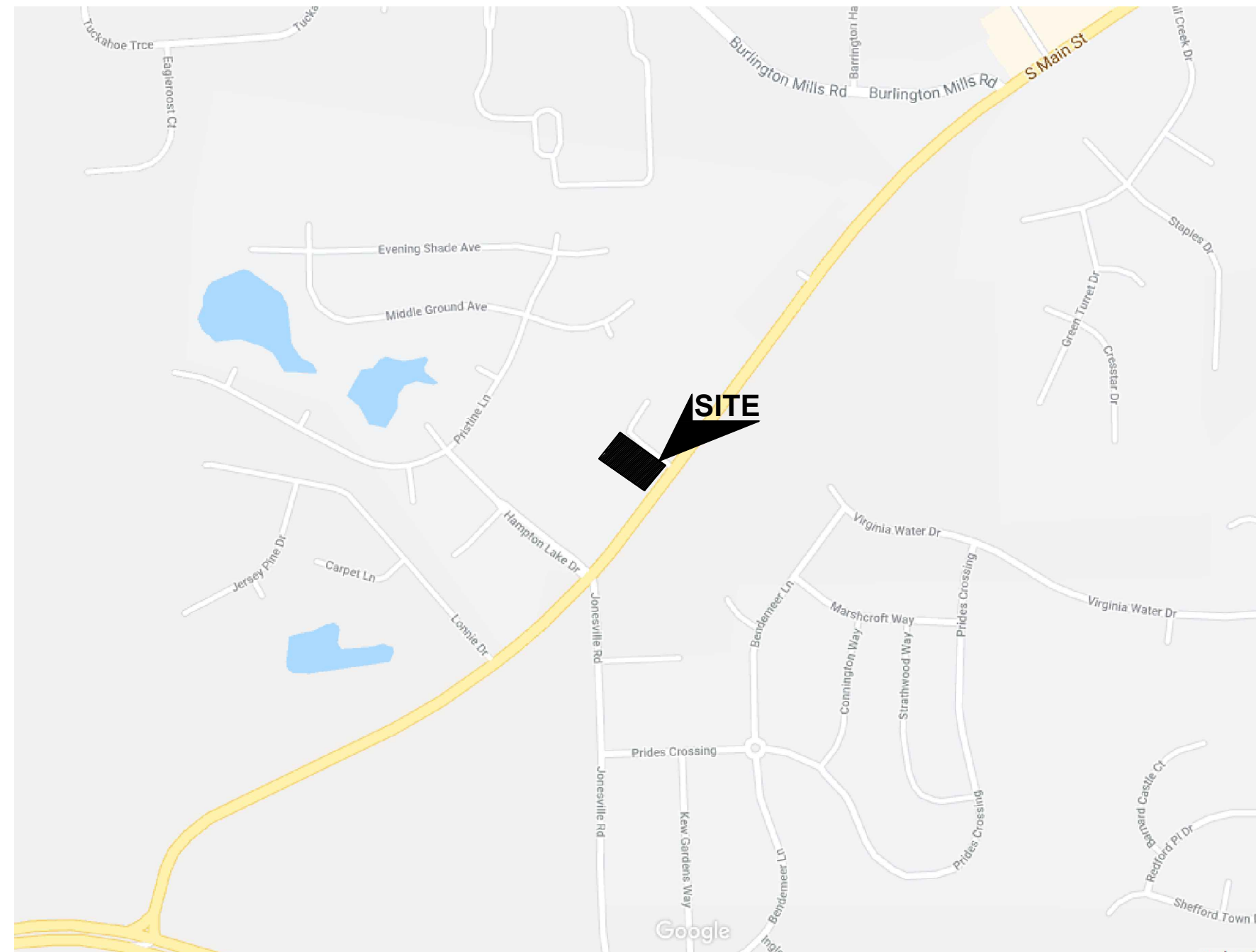
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

S-5169

City of Raleigh Development Approval

Raleigh Water Review Officer

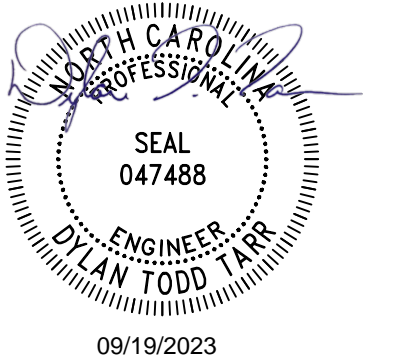


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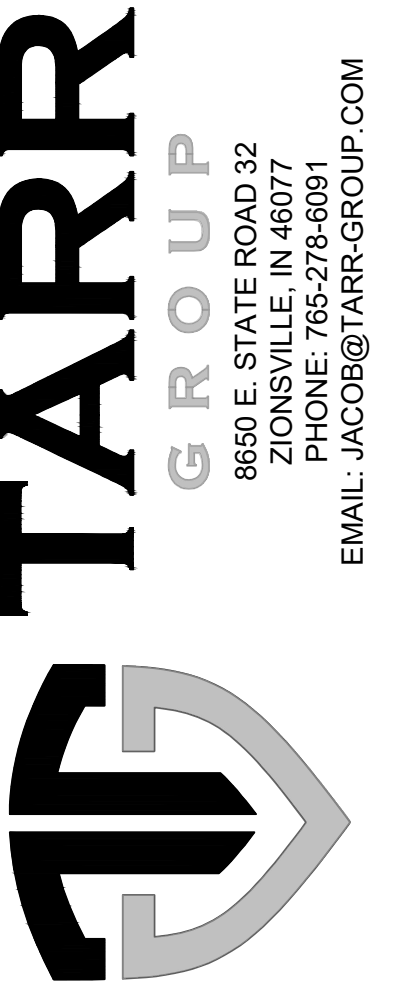
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NC Firm #P-1919



ROLESVILLE DENTAL OFFICE
WMG DEVELOPMENT, LLC
908 S MAIN ST.
ROLESVILLE, N.C.

ORIGINAL ISSUE DATE: 01/05/22

REVISIONS:

1	REVISION 1	03/28/2022
2	REVISION 2	04/13/2022
3	REVISION 3	06/22/2022
4	REVISION 4	09/01/2022
5	REVISION 5	10/03/2022
6	REVISION 6	01/13/2023
7	REVISION 7	07/20/2023
8	REVISION 8	09/18/2023

PROJ. NO.: 21040

CIVIL COVER SHEET

C0.1

SELECTIVE DEMOLITION NOTES

1. THE DEMOLITION PLAN IS BASED ON EXISTING CONDITION SITE INFORMATION OBTAINED FROM THE OWNER. TARR GROUP HAS NOT FIELD VERIFIED EXISTING CONDITIONS. REMOVAL ITEMS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO BE FULLY FAMILIAR WITH THE EXTENT OF THE REMOVAL ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REMOVALS NECESSARY TO COMPLETE CONSTRUCTION. QUESTIONS REGARDING ITEMS TO BE REMOVED SHALL BE DIRECTED TO TARR GROUP PRIOR TO DEMOLITION ACTIVITIES.
2. CAREFULLY PRESERVE AND MAINTAIN EXISTING BENCHMARKS, HORIZONTAL/VERTICAL CONTROL MONUMENTS, PROPERTY LINE PIPES AND PINS AND OTHER REFERENCE POINTS. CONTRACTOR TO RESTORE OR REPLACE AT OWN EXPENSE.
3. ONSITE BLASTING AND BURNING IS NOT ALLOWED. EMPLOY JACK HAMMERING AND OTHER LOUD NOISES AND METHODS SPARINGLY AND ONLY DURING TIME PERIODS APPROVE BY OWNER.
4. CONTRACTOR SHALL ARRANGE FOR DISPOSITION OF REMOVAL ITEMS IN ACCORDANCE WITH LOCAL REQUIREMENTS. LOCATION OF DUMP, LENGTH OF HAUL, AND DISPOSAL EXPENSES ARE CONTRACTOR'S RESPONSIBILITY.
5. MATERIALS ENCOUNTERED THAT ARE SUSPECTED OF CONTAINING HAZARDOUS MATERIALS SHALL NOT BE DISTURBED. CONTACT CIVIL ENGINEER OR OWNER IMMEDIATELY.
6. SALVAGED ITEMS ARE TO BE CLEANED, PACKED OR CRATED IN CLEARLY IDENTIFIED CONTAINERS, AND STORED IN A SECURE AREA UNTIL DELIVERED TO OWNER. CONTRACTOR TO PROTECT ITEMS FROM DAMAGE DURING TRANSPORT AND STORAGE.
7. THE CONTRACTOR SHALL CONTACT OWNER TO ARRANGE THE STORAGE OF ANY REMOVED SIGNS, LIGHTING, OR OTHER OBJECTS THAT ARE IDENTIFIED ON THE PLAN AS BEING RETURNED TO OWNER.
8. REFER TO THE CIVIL DRAWINGS FOR UTILITY DEMOLITION INFORMATION (IF APPLICABLE).
9. ALL EXISTING PLANTS TO REMAIN ARE TO BE PROTECTED FROM DAMAGE BY CONSTRUCTION OPERATIONS. DO NOT OPERATE EQUIPMENT, STORE, STOCKPILE, OR PARK WITHIN DRIP LINE OF PLANTS. REMOVE SOD OVER PROMINENT ROOTS BY HAND TO MINIMIZE DAMAGE TO ROOT SYSTEM. CONTRACTOR IS RESPONSIBLE FOR HEALTH AND LIFE OF ALL PLANTS TO REMAIN OR BE RELOCATED THROUGHOUT CONSTRUCTION AND WARRANTY PERIOD.
10. THE CONTRACTOR SHALL LOCATE AND PROTECT EXISTING IRRIGATION MAINLINE PRIOR TO DEMOLITION ACTIVITIES. IRRIGATION TO EXISTING LANDSCAPE AREAS SHALL BE PROTECTED AND MAINTAINED DURING CONSTRUCTION.
11. MINIMIZE DISTURBANCE IN CONSTRUCTION STAGING AREAS. REPLACE/RESTORE ALL LANDSCAPE, HARDSCAPE, IRRIGATION, LIGHTING, ETC, WHICH IS DISTURBED BY CONSTRUCTION.
12. CONTRACTOR TO CONDUCT SELECTIVE DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USE FACILITIES.
13. CONTRACTOR TO PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTIONS REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
14. CONTRACTOR SHALL NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. CONTRACTOR TO REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
15. CONTRACTOR TO COMPLY WITH ALL APPLICABLE LAWS FOR MATERIALS TRANSPORTATION DURING ONSITE AND OFFSITE HAULING.
16. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO EXISTING CONDITION BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.
17. THE LIMITS OF WORK DESCRIBED IN THE DRAWINGS ARE APPROXIMATE. WORK REQUIRED OUTSIDE THESE LIMITS WHICH IS NEEDED TO MEET THE INTENT OF THE DRAWING IS THE RESPONSIBILITY OF THE CONTRACTOR.

LAYOUT AND PAVING NOTES

1. THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
2. ALL EXISTING STRUCTURES, CONCRETE PADS/WALKS/DRIVES AND UTILITY SERVICES ON THE SITE SHALL BE REMOVED TO FULL DEPTH PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING WORK.
4. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL PERMITS AND PAY ALL FEES PRIOR TO BEGINNING WORK.
5. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES AND IRRIGATION SLEEVES PRIOR TO INSTALLATION OF PAVEMENT.
6. THE CONTRACTOR SHALL PROTECT ALL TREES TO REMAIN, IN ACCORDANCE WITH THE SPECIFICATIONS. DO NOT OPERATE OR STORE HEAVY EQUIPMENT OR STORE MATERIALS WITHIN THE DRIPLINES OF TREES OR OUTSIDE THE LIMIT OF GRADING.
7. CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH WITH NO EXPOSED AGGREGATE ON ANY FACE. ALL CONCRETE TO BE MINIMUM 4,000 PSI COMPRESSIVE STRENGTH WITH 5% (+/-1%) AIR ENTRAINMENT. MIXTURES WITH WATER/CEMENT RATIOS AT 0.5 OR BELOW ARE RECOMMENDED. CURB RAMPS, SIDEWALK SLOPES, AND DRIVEWAY RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT LOCAL REQUIREMENTS. IF APPLICABLE, THE CONTRACTOR SHALL REQUEST INSPECTION OF SIDEWALK AND RAMP FORMS PRIOR TO PLACEMENT OF CONCRETE, NO FLY ASH PERMITTED.
8. CONSTRUCTION OF REINFORCED CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH ACI 330 STANDARD SPECIFICATIONS. CURING COMPOUND SHALL BE APPLIED TO ALL CONCRETE SURFACES IMMEDIATELY AFTER BROOM. CONTRACTOR SHALL REJECT CONCRETE IF IT CANNOT BE PLACED WITHIN 90 MINUTES OF BATCH TIME OR WITHIN 75 MINUTES DURING SUMMER HIGH TEMPERATURE CONDITIONS.
9. ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN RESULTING FROM NEW CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
10. DIMENSIONS ARE TO THE FACE OF CURB, EXPOSED FACE OF WALL, EDGE OF CONCRETE OR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
11. SCREENED ITEMS INDICATE A PRE-CONSTRUCTION TOPOGRAPHIC SURVEY PROVIDED BY BALLENTINE ASSOCIATES, P.A., (919-929-0481), DATED 08/05/21.
12. CONCRETE PAVEMENT CONTRACTION JOINTS SHALL BE CONSTRUCTED TO A DEPTH OF AT LEAST 1/4 THE CONCRETE THICKNESS, AND SHALL DIVIDE CONCRETE ROUGHLY INTO SQUARES WITH MAXIMUM 10' SEGMENTS. JOINTS CAN BE SAWCUT, FORMED, OR TOOLED.
13. MAINTAIN ONE SET OF MARKED-UP AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION.
14. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY FOR COMPLETED SITE. CONSULT ENGINEER FOR SPECIFIC REQUIREMENTS.
15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING POSTAL DELIVERY METHOD WITH THE LOCAL JURISDICTION. IF A PHYSICAL MAILBOX IS REQUIRED, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PURCHASE, LOCATION PLACEMENT, AND INSTALLATION.
16. ALL PAVEMENT MARKINGS, SIGNAGE, AND TRAFFIC CONTROL SHALL CONFORM TO THE LOCAL DEPARTMENT OF TRANSPORTATION AND THE MUTCD STANDARDS, CURRENT EDITION, UNLESS NOTED OTHERWISE.
17. ALL CURBING CURB TO BE PAINTED YELLOW WHERE LESS THAN 6" (TYP)
18. IF PAVEMENT IS CONCRETE, ADD 4" WIDE SAFETY YELLOW STRIPE AT EDGE OF ALL SIDEWALK BORDERING PAVEMENT.

GENERAL UTILITY NOTES

1. WATER AND SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL CODES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL PAY ALL FEES AND OBTAIN PERMITS.
3. ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND ARE BASED ON BEST INFORMATION AVAILABLE. ADDITIONAL UTILITIES MAY BE PRESENT. SHOULD UNCHARTED UTILITIES BE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE FOR INSTRUCTIONS.
4. THE CONTRACTOR SHALL NOTIFY THE STATE ONE-CALL SYSTEM AT (811) AT LEAST THREE WORKING DAYS PRIOR TO ANY EXCAVATION AND/OR DEMOLITION.
5. MAINTAIN 10-FOOT HORIZONTAL AND 24-INCH VERTICAL SEPARATIONS BETWEEN SANITARY SEWER AND WATER SUPPLY LINES.
6. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES WITHIN 14 DAYS OF MOBILIZATION. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTORS EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES AND UNDERGROUND ELECTRIC DO NOT CONFLICT WITH SANITARY SEWERS OR STORM INSTALL UTILITIES PRIOR TO FINAL PAVEMENT CONSTRUCTION.
8. BACKFILL UTILITY TRENCHES UNDER PAVEMENT AREAS WITH CRUSHED STONE OR GRAVEL. BACKFILL UTILITY TRENCHES IN LAWN AREAS WITH SATISFACTORY FILL MATERIAL COMPACTED TO AT LEAST 95% OF MAXIMUM PER ASTM D698.
9. ADJUST ALL EXISTING CASTINGS TO MATCH PROPOSED FINISH GRADE.
10. ALL SANITARY SEWER PIPE SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE.
11. WATER SERVICE PIPE SHALL BE SDR21 PVC PRESSURE RATING 200 PSI.
12. CONTRACTOR IS RESPONSIBLE FOR ALL PUBLIC UTILITY CONNECTIONS (ELECTRIC, WATER, GAS, SEPTIC, SEWER) AS WELL AS PROVIDING ALL INFRASTRUCTURE REQUIRED BY UTILITY COMPANY.
13. SANITARY SEWER CLEANOUT LIDS SHALL BE HEAVY-DUTY RATED WHEN LOCATED IN PAVEMENT AND WHEN ACCESSIBLE BY VEHICLE, AND MEDIUM-DUTY RATED WHEN IN LANDSCAPED AREAS.
14. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY FOR COMPLETED UTILITIES. CONSULT ENGINEER FOR SPECIFIC REQUIREMENTS, TOP OF PIPE ELEVATIONS WILL BE REQUIRED FOR WATER AND SEWER AT ALL BENDS, APPURTENANCES, FITTINGS, ETC. FOR AS-BUILT SURVEY.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

City of Raleigh Development Approval

EROSION AND SEDIMENT CONTROL NOTES

1. CONSTRUCT TEMPORARY EROSION CONTROL AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING GRADING OPERATIONS
2. ALL LOCATIONS OF TEMPORARY EROSION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DIRECTED BY THE ARCHITECT/ENGINEER.
3. PROVIDE TEMPORARY SEEDING AND MULCH ON STOCKPILES AND ALL OTHER AREAS OF THE SITE THAT WILL REMAIN UNDISTURBED FOR 14 DAYS OR MORE.
4. SILT BARRIERS SHALL BE CLEANED OF ACCUMULATED SEDIMENT WHEN APPROXIMATELY 50% FILLED.
5. REPLACE DAMAGED AND WORN OUT SILT BARRIERS AS DIRECTED BY THE ENGINEER OR AS NECESSARY PER THE SWPPP NARRATIVE (IF APPLICABLE).
6. WHEN THE TEMPORARY EROSION CONTROL DEVICES ARE NO LONGER REQUIRED FOR THE INTENDED PURPOSE (IN THE ENGINEER'S OPINION), THEY SHALL BE REMOVED.
7. ALL DRAINAGE STRUCTURES, PIPES WITHIN THE LIMITS OF CONSTRUCTION AND DETENTION PONDS SHALL HAVE SEDIMENT REMOVED PRIOR TO FINAL ACCEPTANCE.
8. THE CONTRACTOR SHALL PROVIDE BARRICADES, FENCING, AND OTHER DEVICES TO KEEP UNAUTHORIZED PERSONNEL FROM THE PROJECT SITE AND WORK ZONES AND TO DIRECT TRAFFIC TO EXISTING PARKING AS NEEDED.
9. STAGING LOCATION FOR CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER.
10. SEE EROSION CONTROL DETAILS FOR LOCAL NOTES AND STANDARDS ALONG WITH SIZING CALCULATIONS FOR INDIVIDUAL PRACTICES.

GRADING AND DRAINAGE NOTES

1. TOPSOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM DEPTH OF 6 INCHES. MAKE STOCKPILES FREE DRAINING AND PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES
2. SATISFACTORY TOPSOIL IS DEFINED AS SOIL BEING FREE OF SUBSOIL, CLAY LUMPS, STONES, OTHER OBJECTS OVER 1 INCH IN DIAMETER, OR CONTAMINANTS.
3. ALL GRADED AREAS SHALL BE HAVE STABILIZATION APPLIED WITHIN 15 DAYS AFTER GRADING IS COMPLETED.
4. STABILIZED AREAS SHALL HAVE NO BARE SPOTS.
5. ALL SITE OPEN SPACE NOT OTHERWISE PAVED TO BE STABILIZED PER LANDSCAPE PLAN L2.1.
6. AFTER STRIPPING TOPSOIL, PROOFROLL SUBGRADE WITH A LOADED DUMP TRUCK WITH A MINIMUM WEIGHT OF 16 TONS.
7. FINISH GRADE TOLERANCES ARE 0.10 FOOT ABOVE OR BELOW DESIGN ELEVATIONS.
8. THE CONTRACTOR SHALL PROTECT ALL TREES DESIGNATE TO REMAIN. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE/STORE MATERIALS WITHIN DRIPLINES OF TREES.
9. TOP OF GRATE ELEVATIONS FOR CURB INLETS ARE GIVEN TO THE CENTER OF THE INLETS AT THE FACE OF CURB. THE GRATES SHALL SLOPE LONGITUDINALLY WITH THE PAVEMENT GRADE. ADJUST THE CASTING TO FALL ALONG THE CURB LINE.
10. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, PROTECT UTILITIES TO REMAIN, AND REPAIR CONTRACTOR-CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AT CONTRACTOR'S EXPENSE.
11. NOTIFY LOCAL UTILITY LOCATOR SERVICE OF INTENDED EXCAVATION/UTILITY TRENCHING OPERATIONS. SEE GENERAL UTILITY NOTE #4 ON THIS SHEET FOR PHONE NUMBER.
12. IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
13. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS.
14. SPOT ELEVATIONS AND CONTOURS REPRESENT PROPOSED FINISHED GRADE AND TOP OF FINISHED PAVEMENT.
15. CONTRACTORS SHALL VERIFY EXISTING ELEVATIONS AND INVERTS PRIOR TO BEGINNING WORK.
16. EXCESS MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR OFF THE OWNER'S PROPERTY AT NO ADDITIONAL COST IN ALL LEGAL MANNER.
17. CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF A DETAILED ENGINEERING GRADING DESIGN AND REFLECT THE PLANNED INTENT WITH REGARD TO DRAINAGE. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THIS INTENT OR ANY PROBLEMS WITH THE CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED PRIOR TO BEGINNING WORK.
18. ALL CURBS AND SIDEWALKS SHALL BE BACKFILLED FLUSH WITH TOPSOIL, AND SEEDED AND MULCHED UNLESS OTHERWISE NOTED.
19. ALL PIPES UNDER PAVED AREAS SHALL BE BACKFILLED WITH CRUSHED STONE. ALL PIPES UNDER LAWN AREAS SHALL BE BACKFILLED WITH SATISFACTORY MATERIAL, COMPACTED TO 95% OF MAXIMUM PER ASTM D698.
20. SCREENED EXISTING CONDITIONS ITEMS INDICATE A PRE-CONSTRUCTION TOPOGRAPHIC SURVEY PROVIDED BY BALLENTINE ASSOCIATES, P.A., (919-929-0481), DATED 08/05/21.
21. MAXIMUM SLOPES IN ALL DIRECTIONS OF HANDICAP PARKING SPACES/AISLES SHALL NOT EXCEED 2%
22. EARTHWORK FILL SHALL INCLUDE STRIPPING TOPSOIL AND PLACING ENGINEERED FILL IN MAXIMUM 8" LOOSE MATERIAL LIFTS AND COMPACTED TO MAXIMUM DRY DENSITY OF 98% OF STANDARD PROCTOR DENSITY (ASTM D698).
23. FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6 INCHES BELOW FINISHED FLOOR AT ALL NON PAVED AREAS.
24. ALL HDPE STORM PIPE SHALL BE ADS N-12 ST IB OR APPROVED EQUAL
25. STORM CLEANOUT LIDS SHALL BE HEAVY-DUTY RATED WHEN LOCATED IN PAVEMENT AND WHEN ACCESSIBLE BY VEHICLE, AND MEDIUM-DUTY RATED WHEN IN LANDSCAPED AREAS.
26. ALL SUBGRADE PREPARATION WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY PARTNER, PROJECT NO. 21-321152.2, DATED 06/23/2021.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO CONFORM TO THE REQUIREMENTS OF THE TOWN OF ROLESVILLE CODE OF ORDINANCES.
2. IRRIGATION SYSTEM TO BE DESIGN BUILD BY CONTRACTOR.
3. ALL LATERAL AND SUPPLY LINES SHALL BE CLASS 200 PVC, SIZED FOR FLOW VELOCITIES OF 5 FT./SEC. OR LESS.
4. PROVIDE TWO " QUICK COUPLING VALVES ON SUPPLY LINE.
5. PROVIDE AUTOMATIC DRAIN VALVES AT ALL LOW POINTS ON SUPPLY AND LATERAL LINES.
6. PROVIDE TWO PLASTIC SUPPLY LINE MANUAL DRAIN VALVES.
7. ACCEPTABLE SYSTEM COMPONENTS:
- A. SYSTEM CONTROLLER: HUNTER X-CORE SERIES, TORO TMC-212 SERIES, RAIN BIRD RX2 SERIES. CONTROLLER SHALL BE LOCATED IN THE RECEIVING AREA NEXT TO THE ELECTRICAL PANEL.
- B. ZONE CONTROL VALVES: HUNTER PGV SERIES, TORO 250/260 SERIES, RAIN BIRD DVI/DVF SERIES
- C. SPRINKLER HEADS: HUNTER SRM AND PRO SPRAY SERIES, TORO 570Z AND 300 SERIES, RAIN BIRD 1800 AND 3500 SERIES
- D. RAIN/FREEZE SENSORS: HUNTER RAIN CLIK PLUS HUNTER FREEZE CLIK, TORO TWRFS RAIN/FREEZE SENSOR OR RAIN BIRD WR2 WIRELESS RAIN/FREEZE SENSOR.

CONSTRUCTION CLOSE-OUT

1. MAINTAIN ONE SET OF MARKED-UP AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION.
2. ANY PLAN SUBSTITUTIONS THAT ARE NOT PREVIOUSLY APPROVED AND FOUND TO BE UNACCEPTABLE BY CIVIL ENGINEER & / OR LANDSCAPE ARCHITECT ARE TO BE RECONSTRUCTED AT CONTRACTOR'S EXPENSE.
3. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SPECIFICALLY CALLED OUT, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
4. REPAIR OR REPLACE DAMAGE TO EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC.) DESIGNATED TO REMAIN, AT NO ADDITIONAL EXPENSE TO THE OWNER.
5. WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGE THROUGH CARELESSNESS OR ANY OTHER CAUSES, FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER, AS REQUIRED BY THE ENGINEER AND/OR LANDSCAPE ARCHITECT AT THE CONTRACTORS EXPENSE. WORK DONE CONTRARY TO THE INSTRUCTIONS OF THE ENGINEER AND/OR LANDSCAPE ARCHITECT, WORK DONE BEYOND THE LINES SHOWN ON THE PLANS, OR ANY EXTRA WORK DONE WITHOUT AUTHORITY WILL NOT BE PAID FOR.
6. THE CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING MONUMENTATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT OF ANY MONUMENTS DAMAGED OR REMOVED DURING CONSTRUCTION. NEW MONUMENT SHALL BE REESTABLISHED BY A LICENSED SURVEYOR IN THE STATE OF THE PROJECT.
7. CONTRACTOR TO VERIFY UTILITY FINAL ACCEPTANCE PROCESS AND COORDINATE WITH THE APPROPRIATE PARTIES. THESE TASKS CAN INCLUDE, BUT ARE NOT LIMITED TO:
- 7.1. AS-BUILTS
- 7.2. INSPECTIONS
- 7.3. TESTING
- 7.4. CLEANING
- 7.5. EASEMENT RECORDATION
- 7.6. OPERATIONS AND MAINTENANCE AGREEMENT
8. CONTRACTOR TO VERIFY GRADING AND DRAINAGE FINAL ACCEPTANCE PROCESS AND COORDINATE WITH THE APPROPRIATE PARTIES. THESE TASKS CAN INCLUDE, BUT ARE NOT LIMITED TO:
- 8.1. AS-BUILTS
- 8.2. INSPECTIONS
- 8.3. EASEMENT RECORDATION
- 8.4. OPERATIONS AND MAINTENANCE AGREEMENT
9. CONTRACTOR TO VERIFY LANDSCAPE FINAL ACCEPTANCE PROCESS AND COORDINATE WITH THE APPROPRIATE PARTIES. THESE TASKS CAN INCLUDE, BUT ARE NOT LIMITED TO:
- 9.1. AS-BUILTS
- 9.2. INSPECTIONS
- 9.3. MATERIALS APPROVAL BY LANDSCAPE ARCHITECT.
- 9.4. PLANTING LOCATIONS IN REFERENCE TO AS-BUILT UTILITY LOCATIONS (NO TREE PLANTED WITH 10' OF ANY UTILITY LINES)

DATUM INFO

ELEVATIONS SHOWN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVd88). REFERENCE THE SURVEY ON THE EXISTING CONDITIONS SHEET, C.1.1.

FLOOD MAP INFO

PER F.I.R.M. NO. 3720175800 J, EFFECTIVE 05/02/2006, THE PROJECT SITE IS LOCATED IN ZONE X.

SITE LIGHTING

GC IS TO SOLICIT LIGHTING BIDS FOR ALL SHELL BUILDING LIGHTING & SITE LIGHTING FROM THE OWNERSHIP'S PREFERRED VENDORS ONLY. AWARD SHALL BE AT THE CONTRACTOR'S DISCRETION. THE CONTRACTOR SHALL SUPPLY AND INSTALL THE EXTERIOR LIGHTING PACKAGE WHICH CONSISTS OF ALL LIGHTING SHOWN IN THE SHELL BUILDING PLANS AND CIVIL PLANS.

CONTACT: RYAN HUNT
O: 978-661-1884
C: 978-404-1333
EMAIL: RHUNT@STANDARDELECTRIC.COM

SITE DATA TABLE

PROPERTY ZONED: CO (COMMERCIAL)
PROPERTY USE: CO (VACANT COMMERCIAL)
BUILDING SETBACKS: FRONT = 20'
LEFT SIDE = 0'
RIGHT SIDE = 15'
REAR = 35'

SITE AREA 46,173± S.F. = 1.06± ACRES

BUILDING AREA: 4,260 S.F. GROSS AREA
ONE-STORY, MAX HEIGHT = 35'-0"

MAX. FLOOR AREA/MAX. BUILDING COVERAGE: N/A
PROVIDED BUILDING COVERAGE: 10%
MIN. GREEN SPACE/OPEN SPACE AREA: 5%
PROVIDED OPEN SPACE AREA: (0.053+ ACRES) 5%+
MIN. LOT WIDTH: 100'
ACTUAL LOT WIDTH: 145±
MIN. LOT SIZE: 20,000 SF
ACTUAL LOT SIZE: 46,173± SF

EXISTING IMPERVIOUS AREA: 0.00 ACRES = 0%
EXISTING PERVIOUS AREA: 1.06 ACRES = 100%

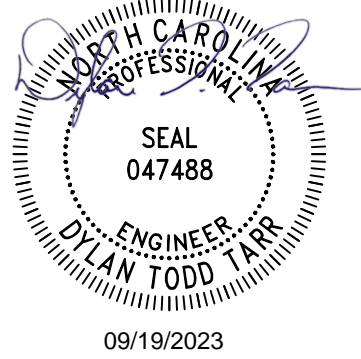
PROPOSED IMPERVIOUS AREA: 0.68 ACRES = 64%
PROPOSED PERVIOUS AREA: 0.36 ACRES = 36%

ABBREVIATIONS

@	AT
¢	CENTERLINE
ℙ	PROPERTY LINE
Ø	DIAMETER
±	APPROXIMATE
ARCH	ARCHITECTURE
BC	BOTTOM OF CURB
BLDG	BUILDING
BTM	BOTTOM
CO	CLEANOUT
(CNTRL	
STR)	CONTROL STRUCTURE
E	EAST
ELEV	ELEVATION
F	FLUSH
FES	FLARED END SECTION
FM	FORCEMAIN
FT	FOOT
HDPE	HIGH-DENSITY POLYETHYLENE
IE	INVERT ELEVATION
IN	INCH
IWS	INTERNAL WATER STORAGE
LF	LINEAR FEET
MEFG	MATCH EXISTING FINISHED GRADE
MH	MANHOLE
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
N	NORTH
NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
OC	ON CENTER
POC	POINT OF CONNECTION
PVC	POLYVINYL CHLORIDE
R	RADIUS
S	SLOPE / SOUTH
SHWT	SEASONAL HIGH WATER TABLE
SS	SANITARY SEWER/ STAINLESS STEEL
S/W	SIDEWALK
TC	TOP OF CURB
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
W	WEST
WQv	WATER QUALITY VOLUME
WSE	WATER SURFACE ELEVATION
WT	WATER

PARKING CALCULATIONS				
PROPOSED USE	AREA (SF)	REQUIRED PARKING/UNIT	MAX SPACES	PROVIDED SPACES
DENTAL OFFICE	4,260	2 / 1,000 SF	9	30 (INCLUDING 2 HC)
BICYCLE PARKING		2/LOT	-	2
LOADING SPACE		1/LOT	-	1

STRIPING LEGEND	
YELLOW CURBING AND BOLLARDS - PARKING LOT:	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF RUST. TWO COATS SHERWIN WILLIAMS - KEM4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B55Y300
STRIPING - PARKING LOT:	SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT YELLOW
HANDICAP STRIPING - PARKING LOT:	SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "h.c." BLUE AND WHITE.
FIRE LANE STRIPING - PARKING LOT:	SURFACES SHOULD BE CLEAN, DRY. STRIPING TO BE PAINTED RED, AND "FIRE LANE NO PARKING" TO BE PAINTED RED OR WHITE. COORDINATE AND CONFIRM SPACING AND PAINT COLOR WITH CITY FIRE MARSHAL INSPECTOR.



NC Firm #P-1919



8650 E. STATE ROAD 32
ZIONSVILLE, IN 46077
PHONE: 765-276-6097
EMAIL: JACOB@TARR-GROUP.COM

ROLESVILLE DENTAL OFFICE
WMG DEVELOPMENT, LLC
908 S MAIN ST.
ROLESVILLE, N.C.

ORIGINAL ISSUE DATE: 01/05/22

REVISIONS:

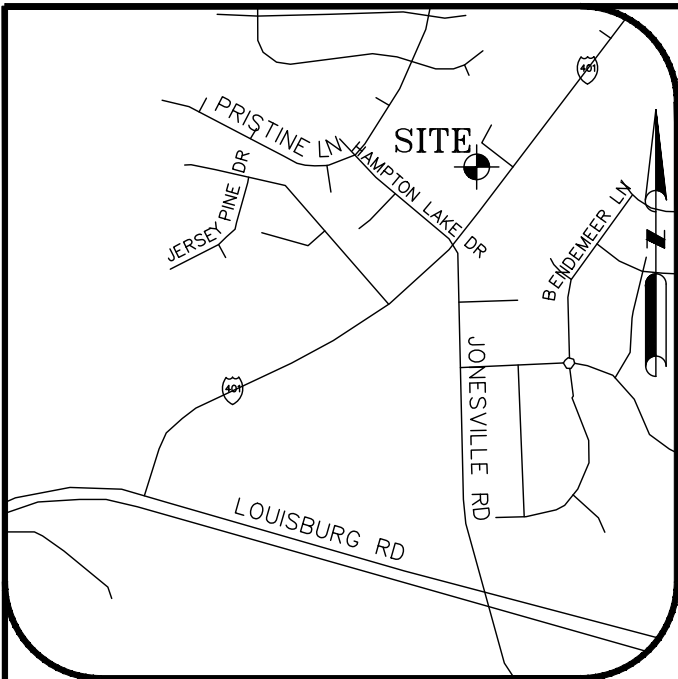
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2	REVISION 2	04/13/2022
3	REVISION 3	06/22/2022
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5	REVISION 5	10/03/2022
6	REVISION 6	01/13/2023
7	REVISION 7	07/20/2023
8	REVISION 8	09/18/2023

PROJ. NO.: 21040

NOTES SHEET

C0.2

2024-09-19 09:21:30 AM



VICINITY MAP
NOT TO SCALE.

To: WMG Acquisitions, LLC, a Delaware limited liability company; Chicago Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 8, 9, 13, 16, 17, 18 and 19 of Table A thereof. The field work was completed on **July 16, 2021**.

Date of Plat or Map: September 30, 2022.

DAVID E. BOWERS, P.L.S. L-4966

I, DAVID E. BOWERS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED DESCRIPTION RECORDED IN BOOK 10051 AND PAGE 530; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AND DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE (AS SHOWN); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000±; AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER, AND SEAL THIS

30th DAY OF SEPTEMBER, A.D. 2022.

DAVID E. BOWERS PLS L-4966



GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS AN ALTA/NSPS LAND TITLE SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID COORDINATES NAD 83 FROM GPS REAL TIME KINEMATIC OBSERVATIONS.
- VERTICAL DATUM: NAVD 88
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- FULL ZONING REPORT NOT PROVIDED TO SURVEYOR. ZONING INFORMATION BELOW IS FROM THE TOWN OF ROLESVILLE AND WAKE COUNTY GIS.
ZONING: G-2
- AREA BY COORDINATE GEOMETRY.
- SITE ADDRESS: 908 EAGLE SCHOLARS DRIVE, ROLESVILLE, NC
- THIS SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON:
FIRM PANEL: 3720175800 J
EFFECTIVE DATE: 05/02/2008
- REFERENCES: DB 10051, PG 530; BM 2004, PG 344; BM 2005, PG 181; BM 2009, PG 1043; BM 2017, PG 2265-2267 OF THE WAKE COUNTY REGISTRY.
- EXCEPT AS SHOWN, THERE ARE NO VISIBLE OR RECORDED EASEMENTS OR RIGHTS OF WAY ACROSS THE SURVEYED PROPERTY.
- THE LAND SURVEYED IS LAND DESCRIBED IN COMMITMENT # WFG-20-07003.
- NO CEMETERY OR BURIAL GROUNDS OBSERVED.
- NO BUILDINGS OBSERVED.
- NO OBSERVED EVIDENCE THAT SITE IS USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- NO OBSERVED EVIDENCE OF OFFSITE/APPURENTENANT EASEMENTS.
- NO OBSERVED EVIDENCE OF RECENT EARTHWORK OR CONSTRUCTION.
- NO KNOWN PROPOSED RIGHT OF WAY CHANGES
- SITE HAS DIRECT PHYSICAL ACCESS TO AND FROM U.S. HIGHWAY 401 BUSINESS, A PUBLIC RIGHT OF WAY, AND EAGLE SCHOLARS DRIVE, A PRIVATE RIGHT OF WAY.
- THE SURVEYED PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE AND THERE ARE NO GAPS, GORES, OR OVERLAPS.
- LINE(S) SHOWN IN GRAY ARE FROM PREVIOUS SURVEYS PERFORMED BY BALLENTINE ASSOCIATES, P.A. AND MAY NOT ACCURATELY REFLECT CURRENT LAND CONDITIONS.
- TREE VERIFICATION PERFORMED BY MICHAEL WETZEL, CERTIFIED ARBORIST SO-6891A, OF CS TREE SERVICES INC. ON JULY 24, 2021.
- UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. S.U.E. LOCATION PROVIDED BY KCI ASSOCIATES OF NORTH CAROLINA ON JULY 7, 2021.

SITE DATA

LOT 3A
HAMPTON POINTE ASSOCIATES, LLC
P/O PIN# 1758461097
P/O REID# 0318222
DB 10051, PG 530
BM 2022, PG1722
AREA: 43,129 SQ. FT. / 0.990 AC.

PROPERTY DESCRIPTION (FROM SURVEYOR)

Being all of Lot 3A, Hampton Pointe Dental Minor Subdivision Plat, according to the plat thereof recorded in Book of Maps 2022, pages 1722 in the Office of the Register of Deeds of Wake County, North Carolina.

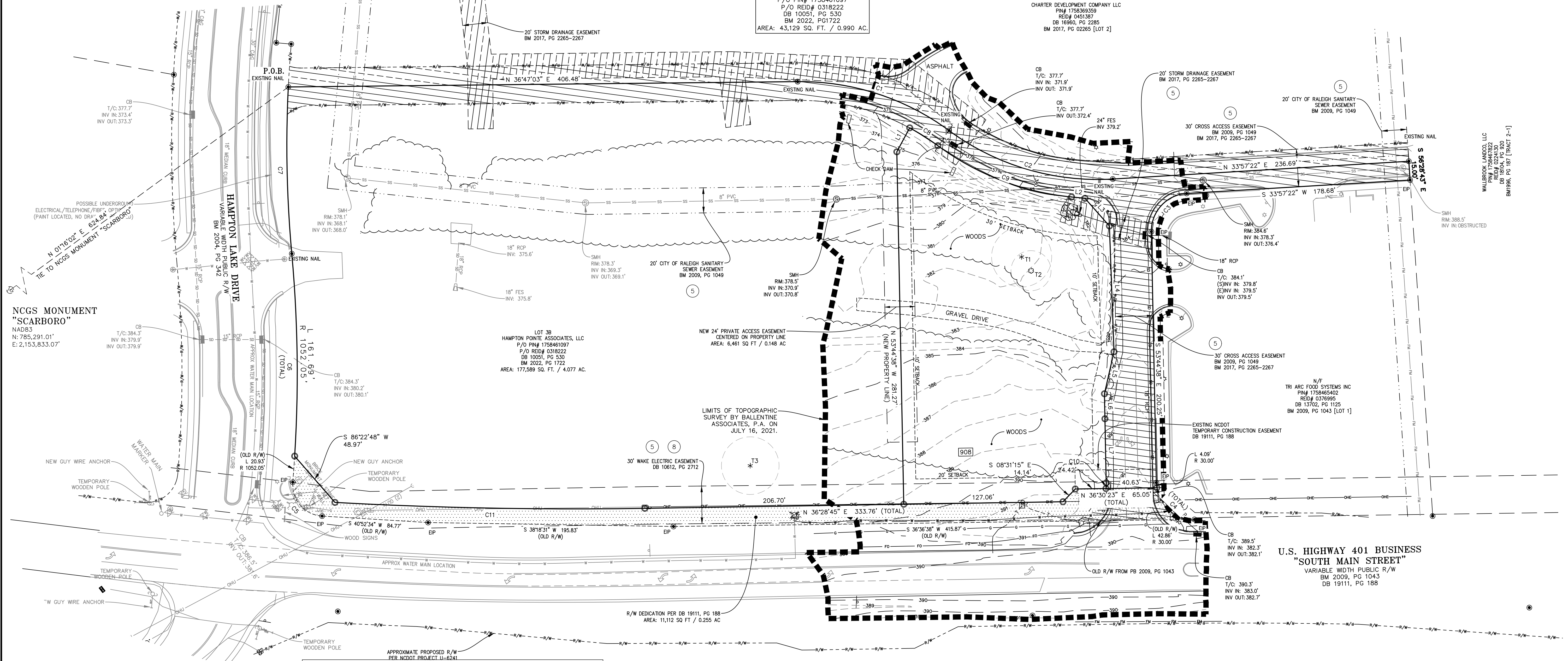
Chicago Title Insurance Company
Commitment Number: 21-08546CH
Commitment Date: May 5, 2021 @ 05:00 PM

- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are met. -[NO MATTERS FOUND]
- Taxes for the year 2021, and subsequent years, not yet due and payable. -[NOT A SURVEY MATTER]
- Any discrepancy, conflict, matters regarding access, shortage in area or boundary lines, encroachment, encumbrance, violation, variation, overlap, setback, easement or claims of easement, riparian right, and title to land within roads, ways, railroads, watercourses, burial grounds, marshes, dredged or filled areas or land below the mean highwater mark or within the bounds of any adjoining body of water, or other adverse circumstance affecting the title that would be disclosed by a current inspection and accurate and complete land survey of the Land. -[NO MATTERS FOUND]
- The correctness of the square footage/acreage computation contained in the description of the Land is not insured. -[AREA CALCULATED BY COORDINATE METHOD]
- Any right, easement, setback, interest, claim, encroachment, encumbrance, violation, variations or other adverse circumstance affecting the title disclosed by plat(s) recorded in Book of Maps 2004, page 344; Book of Maps 2005, page 181; Book of Maps 2009, page 1043; Book of Maps 2017, pages 2265, 2266 and 2267; and Book of Maps 2022, page 1043. (Exception to be completed upon satisfaction of Schedule B, Part I, Item 14.) -[AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- Covenants, conditions, restrictions, easements, and liens provided for in Declaration of Covenants, Conditions, Restrictions and Easements filed for record in Book 13702, page 1102, as supplemented by First Supplement to Declaration of Covenants, Conditions, Restrictions and Easements recorded in Book 16960, page 2277, and any related maps, plans, bylaws and other document(s) and amendment(s), but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. -[NO MATTERS FOUND]
- Utility Easement to Public Service Company of North Carolina, Incorporated doing business as PSNC Energy recorded in Book 11425, page 984. -[DOES NOT APPEAR TO AFFECT SUBJECT PROPERTY, ATTACHED EXHIBIT IS OFFSITE]
- Electric Line Right of Way Easement Overhead Distribution Lines to Wake Electric Membership Corporation recorded in Book 10612, page 2712. -[AFFECTS SUBJECT PROPERTY, SHOWN ON SURVEY]
- Electric Line Right of Way Easement Underground Distribution Lines to Wake Electric Membership Corporation recorded in Book 10624, page 615. -[NO LONGER AFFECTS SUBJECT PROPERTY, PORTION OF THE EASEMENT THAT WAS DEDICATED FOR A STREET LIGHT THAT WAS SHOWN ON EXHIBIT HAS BEEN DEDICATED TO PUBLIC R/W PER BM 2017, PG 2265-2267]
- Title to any portion of the Land lying within the right of way of South Main Street (US Highway 401). -[NO MATTERS FOUND]

TREE TABLE		
Tag/Trunk	Code	
T1	27"	PINE
T2	19"	ELM
T3	20"	PINE

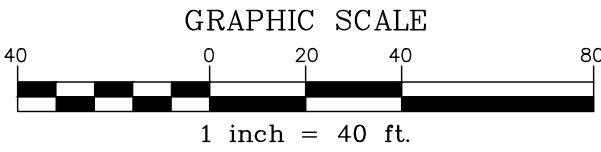
LEGEND

- CATCH BASIN
- CONIFEROUS TREE
- DECIDUOUS TREE
- ELECTRIC METER
- ELECTRIC VAULT
- EXISTING IRON PIPE
- FIRE HYDRANT
- GUY WIRE
- IRON PIPE SET
- LIGHT POLE
- SANITARY CLEANOUT
- SEWER MANHOLE
- SIGN
- TELEPHONE BOX
- UTILITY POLE
- WATER VALVE
- FIBER OPTIC
- FORCE MAIN LINE
- GAS LINE
- OVERHEAD UTILITY LINE
- SANITARY SEWER LINE
- STORM DRAINAGE LINE
- TOP OF BANK
- UNDERGROUND GAS LINE
- WATERLINE

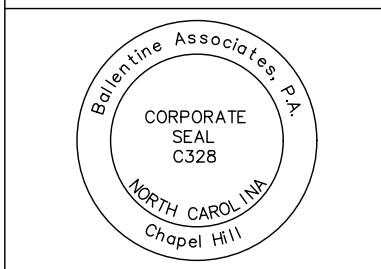


PROPERTY LINE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	200.00'	129.21'	S 55°17'33" W	126.98'
C2	200.00'	139.09'	S 53°52'43" W	136.30'
C3	30.00'	45.75'	N 09°56'44" W	41.44'
C4	30.00'	46.95'	N 81°20'44" E	42.30'
C5	25.00'	39.81'	N 86°29'36" E	35.73'
C6	1,052.05'	182.62'	S 52°51'43" W	182.39'
C7	948.00'	133.18'	S 53°48'37" E	133.07'
C8	185.00'	26.62'	N 69°40'47" E	26.59'
C9	215.00'	115.70'	N 58°23'04" E	114.31'
C10	30.00'	4.55'	S 49°24'01" E	4.54'
C11	3,550.68'	247.40'	N 38°28'43" E	247.35'

PROPERTY LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 24°26'31" W	21.71'
L2	N 42°58'04" E	10.76'
L3	N 85°57'30" E	29.44'
L4	S 54°43'15" E	100.46'
L5	S 39°46'54" E	34.35'
L6	S 53°44'38" E	20.00'
L7	S 53°44'38" E	51.11'



Ballentine Associates, PA
281 Providence Road
Chapel Hill, NC 27514
919.996.6644
ballentineassociates.com



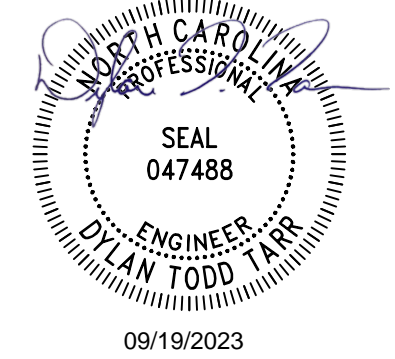
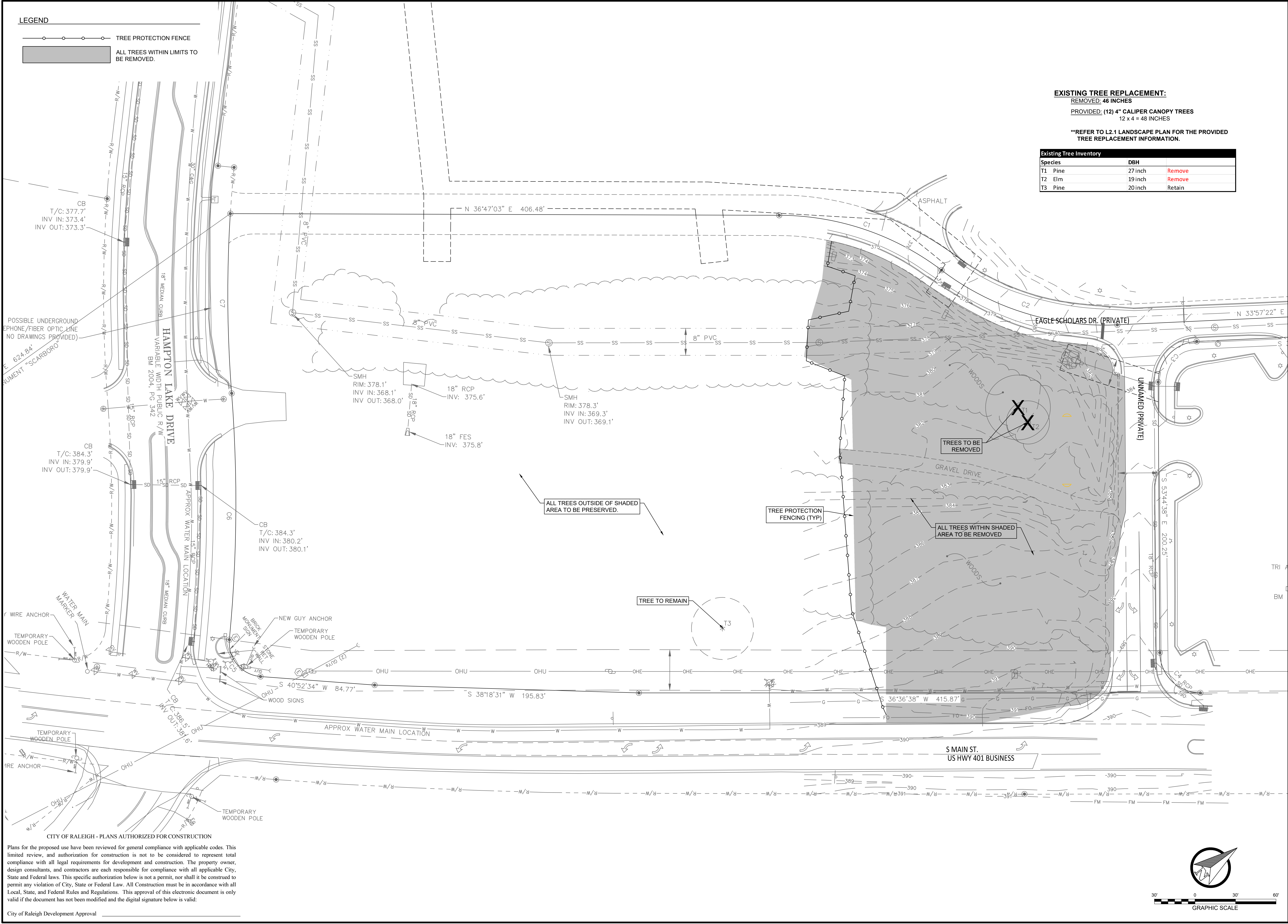
REVISIONS		DATE
ADDED PROPOSED R/W AND EASEMENTS	10 SEP 21	
ADDED PROPOSED SUBDIVISION LINES	11 NOV 21	
ADDED RECORDED SUBDIVISION REFERENCES	30 SEP 22	

OWNER INFORMATION:	
OWNER	HAMPTON POINTE ASSOCIATES, LLC
ADDRESS	1207 ROSENKATH RD STE 200
CITY	RICHMOND, VA 23230-4638
OWNERS REPRESENTATIVE:	
NAME	MS. L. DAWN MARTIN
PHONE	(704) 375-0700
FAX	(704) 375-1700

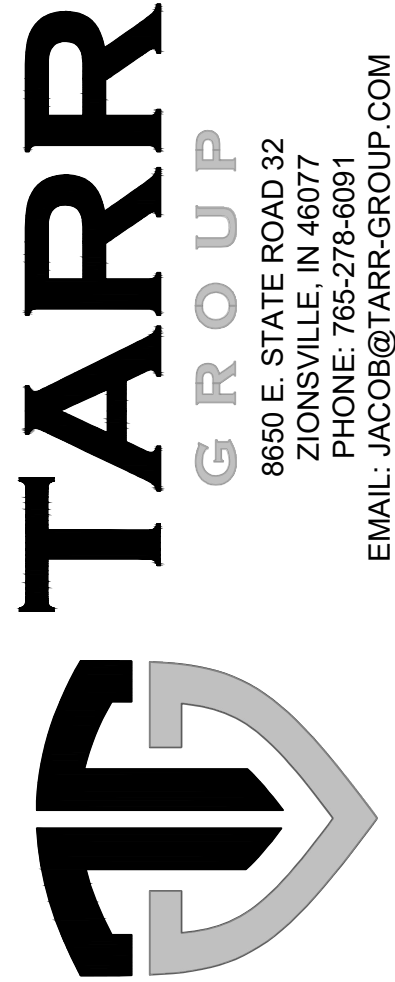
ISSUED		DATE
TO CLIENT	06 AUG 21	
TO CLIENT	10 SEP 21	
TO CLIENT	11 NOV 21	
TO CLIENT	30 SEP 22	

SURVEY OF:
HAMPTON POINTE ASSOCIATES, LLC
908 EAGLE SCHOLARS DRIVE
ROLESVILLE, NC, 27571
WAKE FOREST TOWNSHIP, WAKE COUNTY, NORTH CAROLINA
ALTA/NSPS LAND TITLE SURVEY

JOB NUMBER: 221027.00
DATE: 05 AUG 21
SCALE: 1"=40'
DRAWN BY: DDS, EJS
REVIEWED BY: DEB



NC Firm #P-1919



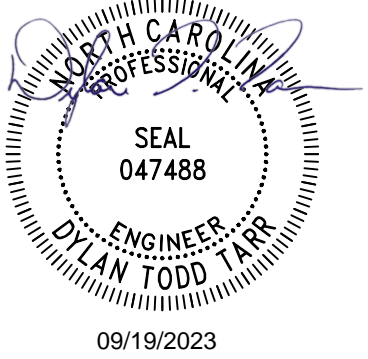
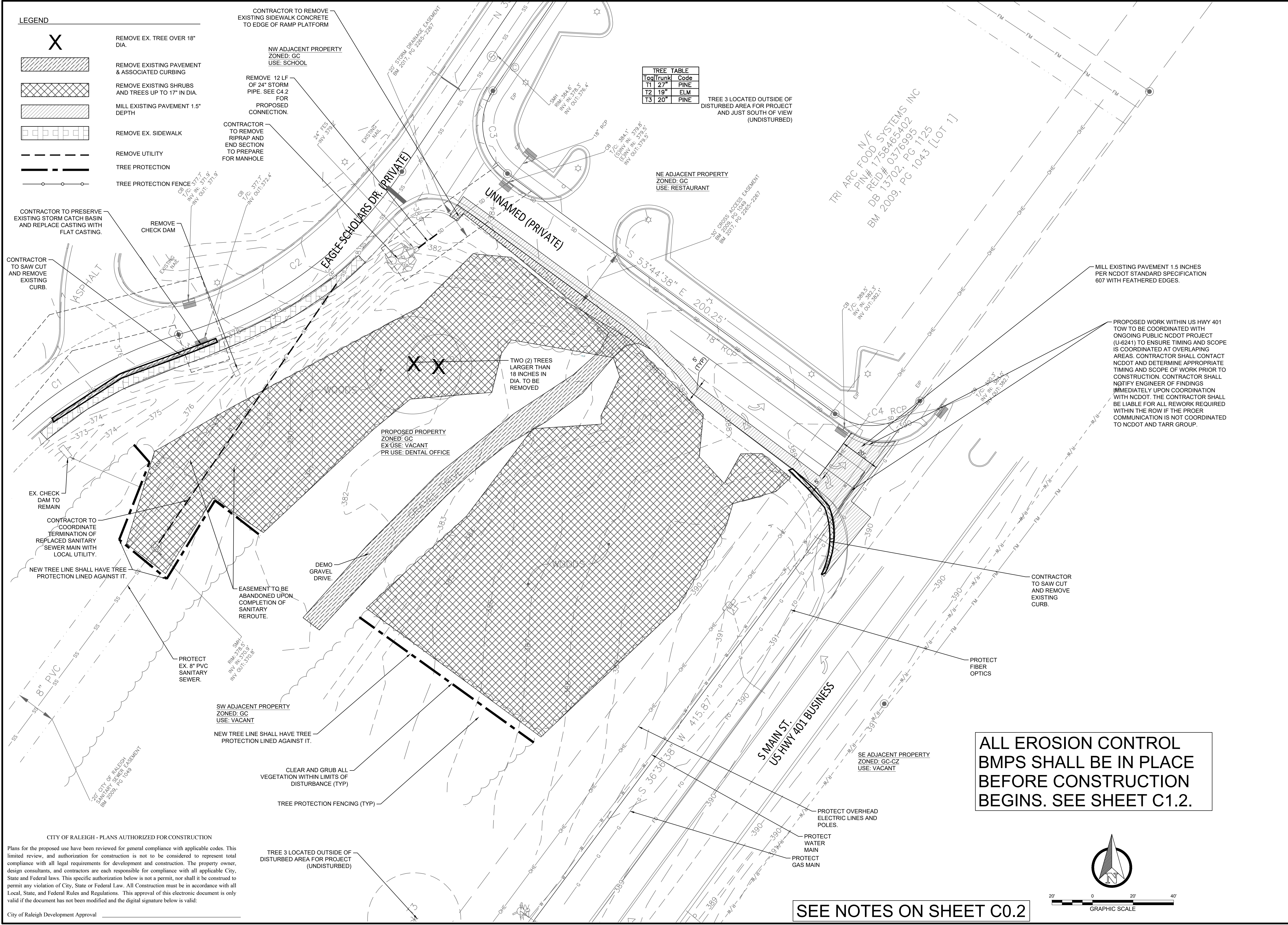
ROLESVILLE DENTAL OFFICE
WMG DEVELOPMENT, LLC
908 S MAIN ST.
ROLESVILLE, N.C.

ORIGINAL ISSUE DATE: 01/05/22		
REVISIONS:		
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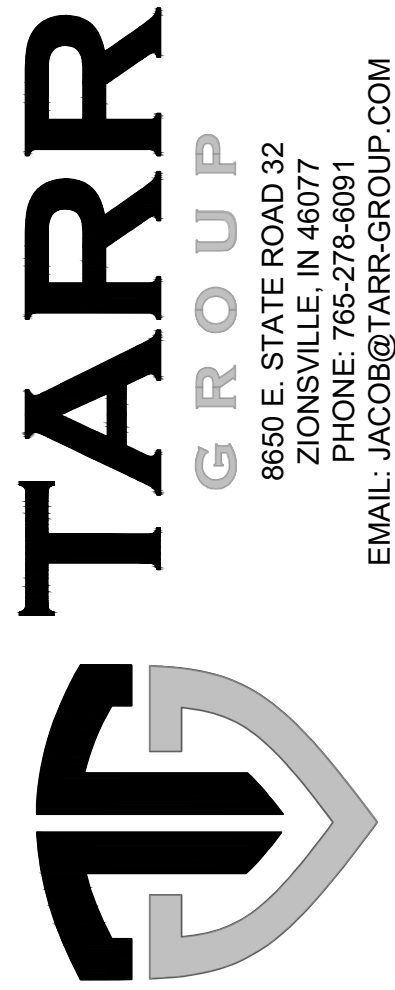
PROJ. NO.: 21040

TREE PRESERVATION
PLAN

C0.4



NC Firm #P-1919



ROLESVILLE DENTAL OFFICE
WMG DEVELOPMENT, LLC
908 S MAIN ST.
ROLESVILLE, N.C.

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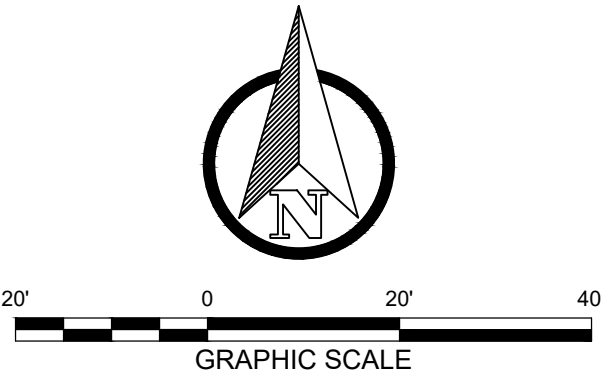
PROJ. NO.: 21040

DEMOLITION PLAN

C0.5

ALL EROSION CONTROL
BMPS SHALL BE IN PLACE
BEFORE CONSTRUCTION
BEGINS. SEE SHEET C1.2.

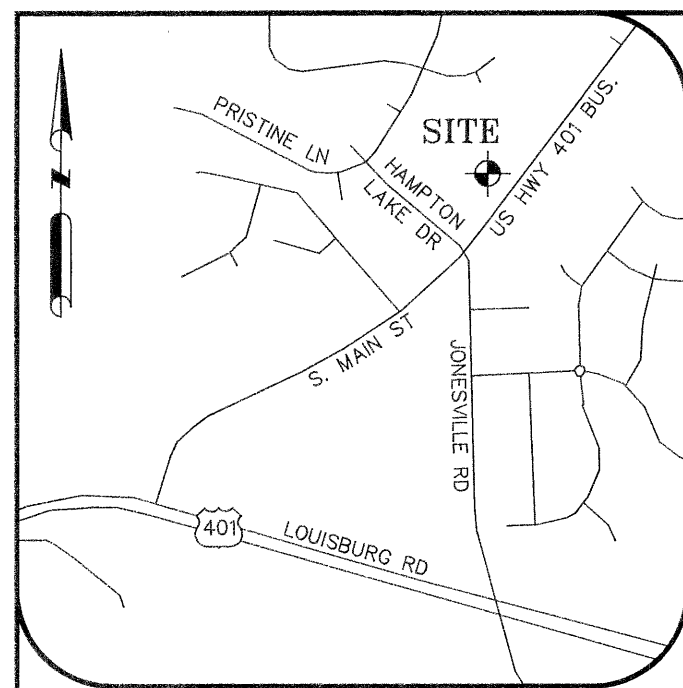
SEE NOTES ON SHEET C0.2



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

City of Raleigh Development Approval



VICINITY MAP
NOT TO SCALE.

GENERAL NOTES

1. THIS IS A SURVEY OF AN EXISTING PARCEL OF LAND. THIS IS A MINOR SUBDIVISION PLAT.
2. BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD83 BASED ON VRS REAL TIME KINEMATIC OBSERVATIONS.
3. TIE TO NGS MONUMENT "SCARBORO" SHOWN WITH OBSERVED COORDINATES.
4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
5. AREAS CALCULATED BY COORDINATE METHOD.
6. ZONING: GC
7. THIS SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON:
FIRM PANEL: 3720175800 J
EFFECTIVE DATE: 05/02/2006
8. REFERENCES: DB 10051, PG 530; BM 2004, PG 344; BM 2005, PG 181; BM 2009, PG 1043; BM 2017, PG 2265-2267 OF THE WAKE COUNTY REGISTRY.

SITE DATA TABLE

PROPERTY INFORMATION	EXISTING AREA	NEW AREA
HAMPTON POINTE ASSOCIATES, LLC PIN# 1758461097 REID# 0318222 DB, 10051, PG 530 BM 2017, PG 2265 [LOT 3]	220,718 SQ. FT. 5.067 ACRES	LOT 3A 43,129 SQ. FT. 0.990 ACRES LOT 3B 177,589 SQ. FT. 4.077 ACRES

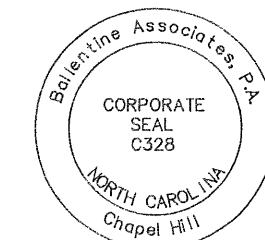
N/F
CHARTER DEVELOPMENT COMPANY LLC
PIN# 1758369359
REID# 0451387
DB 16960, PG 2285
BM 2017, PG 02265 [LOT 2]

N/F
WALLBROOK LANDCO, LLC
PIN# 1758467822
REID# 0224130
DB 18104, PG 920
BM1996, PG 187 [TRACT 2-1]

Balentine
Associates, PA

221 Providence Road
Chapel Hill, NC 27514
919.529.0481
balentineassociates.com

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PERMISSION OF BALENTINE ASSOCIATES, P.A. WILL BE
SUBJECT TO LEGAL ACTION.



OWNER INFORMATION

HAMPTON POINTE ASSOCIATES, LLC
1207 ROSENEATH RD STE 200
RICHMOND VA 23230-4638

OWNERS REPRESENTATIVE

TARR GROUP, LLC
JAMIE LINENBERG
PH: 317.678.7517
EMAIL: jamie@tarr-group.com

DATE	ISSUED
13 JAN 22	TOWN REVIEW
01 JUL 22	TOWN REVIEW
01 SEP 22	TOWN REVIEW

HAMPTON POINTE DENTAL

HAMPTON POINTE SUBDIVISION, LOT 3
0 HAMPTON LAKE DR, ROLESVILLE, NC 27571

WAKE FOREST TOWNSHIP, WAKE COUNTY, NORTH CAROLINA

MINOR SUBDIVISION PLAT

JOB NUMBER:	221029.00
DATE:	13 JAN 22
SCALE:	1"=50'
DRAWN BY:	EJS
REVIEWED BY:	DEB

SHEET

1 OF 1

TOR NUMBER: FP 22-02

LINE	BEARING	DISTANCE
L1	N 24°26'31" W	21.71'
L2	N 42°58'04" E	10.76'
L3	N 85°57'30" E	29.44'
L4	S 54°43'15" E	100.46'
L5	S 39°46'54" E	34.35'
L6	S 53°44'38" E	20.00'
L7	S 53°44'38" E	51.11'

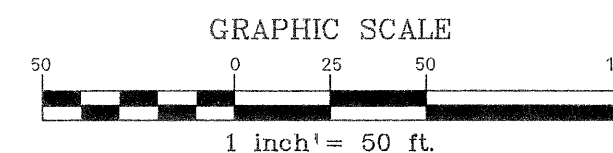
LOT 3B
AREA: 177,589 SQ. FT.
4.077 AC.

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	200.00'	129.21'	S 55°17'33" W	126.98'
C2	200.00'	139.09'	S 53°52'43" W	136.30'
C3	30.00'	45.75'	N 09°56'44" W	41.44'
C4	30.00'	46.95'	N 81°20'44" E	42.30'
C5	25.00'	39.81'	N 86°29'36" E	35.73'
C6	1,052.05'	182.62'	N 52°51'43" W	182.39'
C7	948.00'	133.18'	S 53°48'37" E	133.07'
C8	185.00'	26.62'	N 69°40'47" E	26.59'
C9	215.00'	115.70'	N 58°23'04" E	114.31'
C10	30.00'	4.55'	S 49°24'01" E	4.54'
C11	3,550.68'	247.40'	N 38°28'43" E	247.35'

30' WAKE ELECTRIC EASEMENT
DB 10612, PG 2712

R/W DEDICATION PER DB 19111, PG 188
AREA: 11,112 SQ. FT / 0.255 AC

U.S. HIGHWAY 401 BUSINESS
"SOUTH MAIN STREET"
VARIABLE WIDTH PUBLIC R/W
BM 2009, PG 1043
DB 19111, PG 188



LEGEND

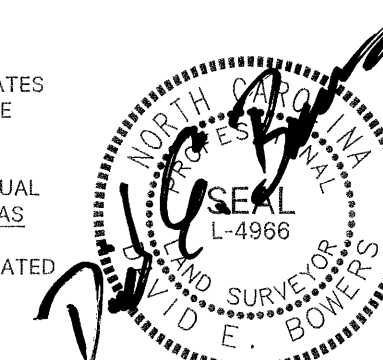
⊙	NGS MONUMENT	—	PROPERTY LINE
●	EXISTING CORNER (AS SHOWN)	- - -	UNSURVEYED LINE
○	SET CORNER (AS SHOWN)	- · - · -	RIGHT OF WAY
○	EASEMENT CORNER	- · - · -	EXISTING EASEMENT
XXX	ADDRESS		

SURVEYORS CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE: 47-30 (f)(11)(a). THIS SURVEY CREATES SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

I, DAVID E. BOWERS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEED DESCRIPTION RECORDED IN BOOK AND PAGE (AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AND DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE (AS SHOWN); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER, AND SEAL THIS

7 DAY OF SEPTEMBER A.D. 2022.
DAVID E. BOWERS PLS L-4966



REVIEW OFFICER CERTIFICATE

I, Meredith Gruber Review Officer of the Town of Rolesville, Wake County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.
Meredith Gruber
Review Officer

9-19-2022
Date

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations of the Town of Rolesville, Wake County, and that this plat has been approved by the LDA of the Town of Rolesville for recording in the Office of the Register of Deeds of Wake County.

Meredith Gruber
LDA, Town of Rolesville
Rolesville, North Carolina

9-19-2022
Date

CERTIFICATE OF OWNERSHIP AND DEDICATION

I hereby certify that I am the owner of the property shown and describe hereon, which is located in the subdivision jurisdiction of the Town of Rolesville and that I hereby adopt this plan of subdivision with my free consent and establish minimum building setback lines as noted.

V.V.
Owner

9/15/2022
Date

WAKE COUNTY, NC 61
TAMMY L. BRUNNER
REGISTER OF DEEDS
PRESENTED & RECORDED ON
09/23/2022 14:56:52
BOOK: BM2022 PAGE: 01722

LEGEND

DESCRIPTION

SYMBOL

SILT FENCE

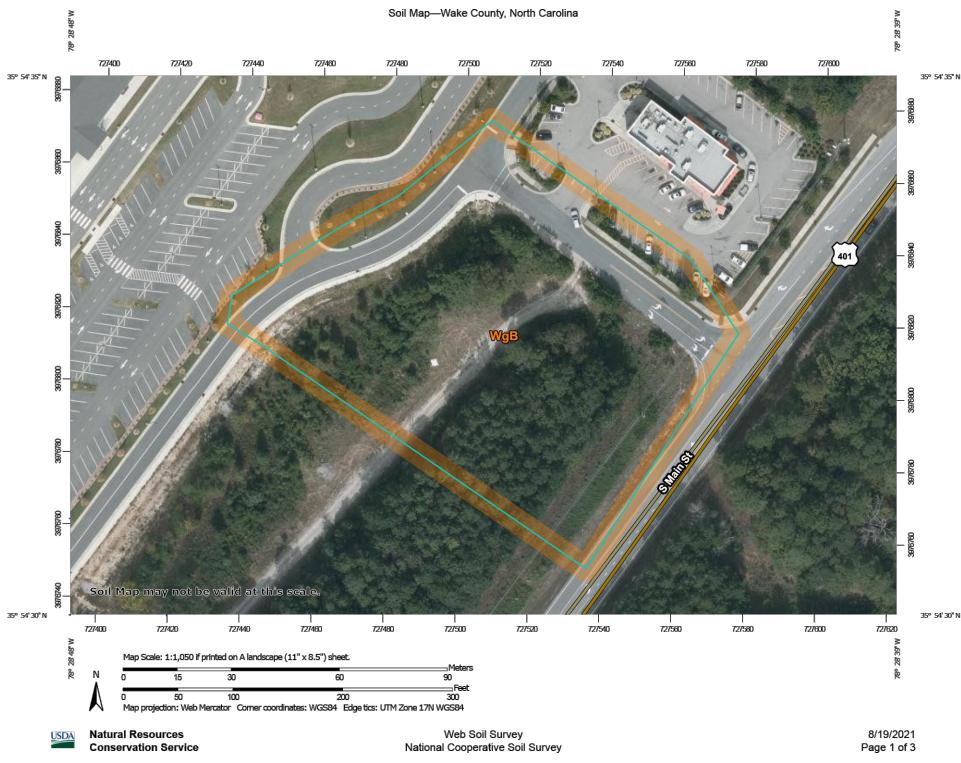
SF

LIMITS OF DISTURBANCE:

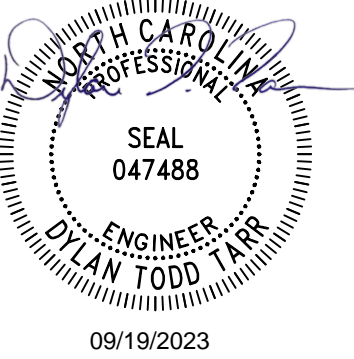
INLET PROTECTION:

CONSTRUCTION ENTRANCE

TEMP. SILT DITCH (7/C1.3):



SOIL DATA
WgB - WEDOOE- URBAN LAND COMPLEX (2 TO 6% SLOPES)
HYDRAULIC SOIL CLASS D
AREA 1.12 ACRES (100% OF SITE)



NC Firm #P-1919



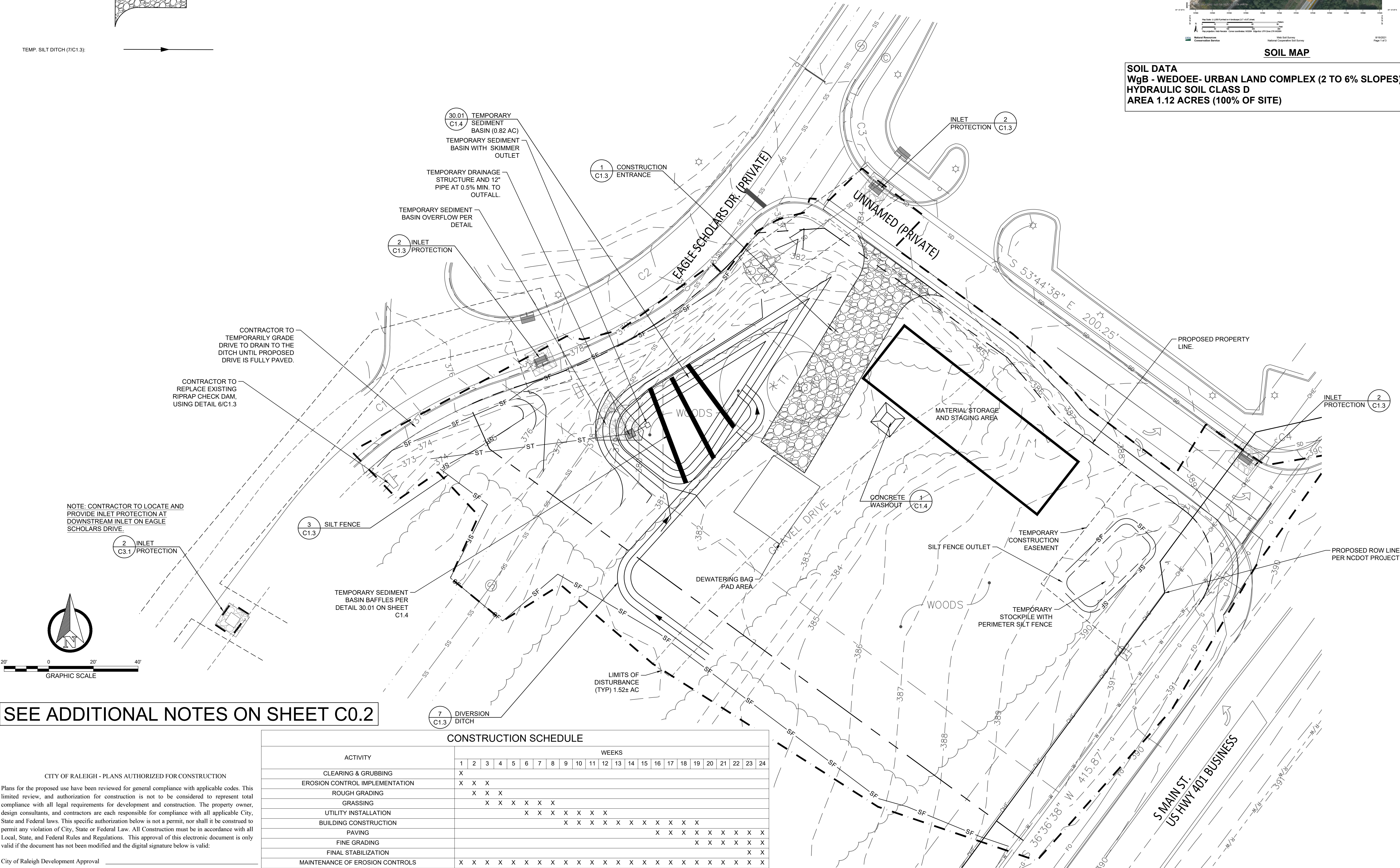
ROLESVILLE DENTAL OFFICE
WMG DEVELOPMENT, LLC
908 S MAIN ST.
ROLESVILLE, N.C.

ORIGINAL ISSUE DATE: 01/05/22		
REVISIONS:		
1	REVISION 1	03/28/2022
2	REVISION 2	04/13/2022
3	REVISION 3	06/22/2022
4	REVISION 4	09/01/2022
5	REVISION 5	10/03/2022
6	REVISION 6	01/13/2023
7	REVISION 7	07/20/2023
8	REVISION 8	09/18/2023

PROJ. NO.: 21040

EROSION & SEDIMENT
CONTROL PLAN PHASE 1

C1.1



SEE ADDITIONAL NOTES ON SHEET C0.2

ACTIVITY	WEEKS																							
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
CLEARING & GRUBBING	X																							
EROSION CONTROL IMPLEMENTATION	X	X	X																					
ROUGH GRADING		X	X	X																				
GRASSING			X	X	X	X	X	X																
UTILITY INSTALLATION							X	X	X	X	X	X	X											
BUILDING CONSTRUCTION									X	X	X	X	X	X	X	X	X	X	X					
PAVING															X	X	X	X	X	X	X	X	X	X
FINE GRADING																				X	X	X	X	X
FINAL STABILIZATION																						X	X	
MAINTENANCE OF EROSION CONTROLS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

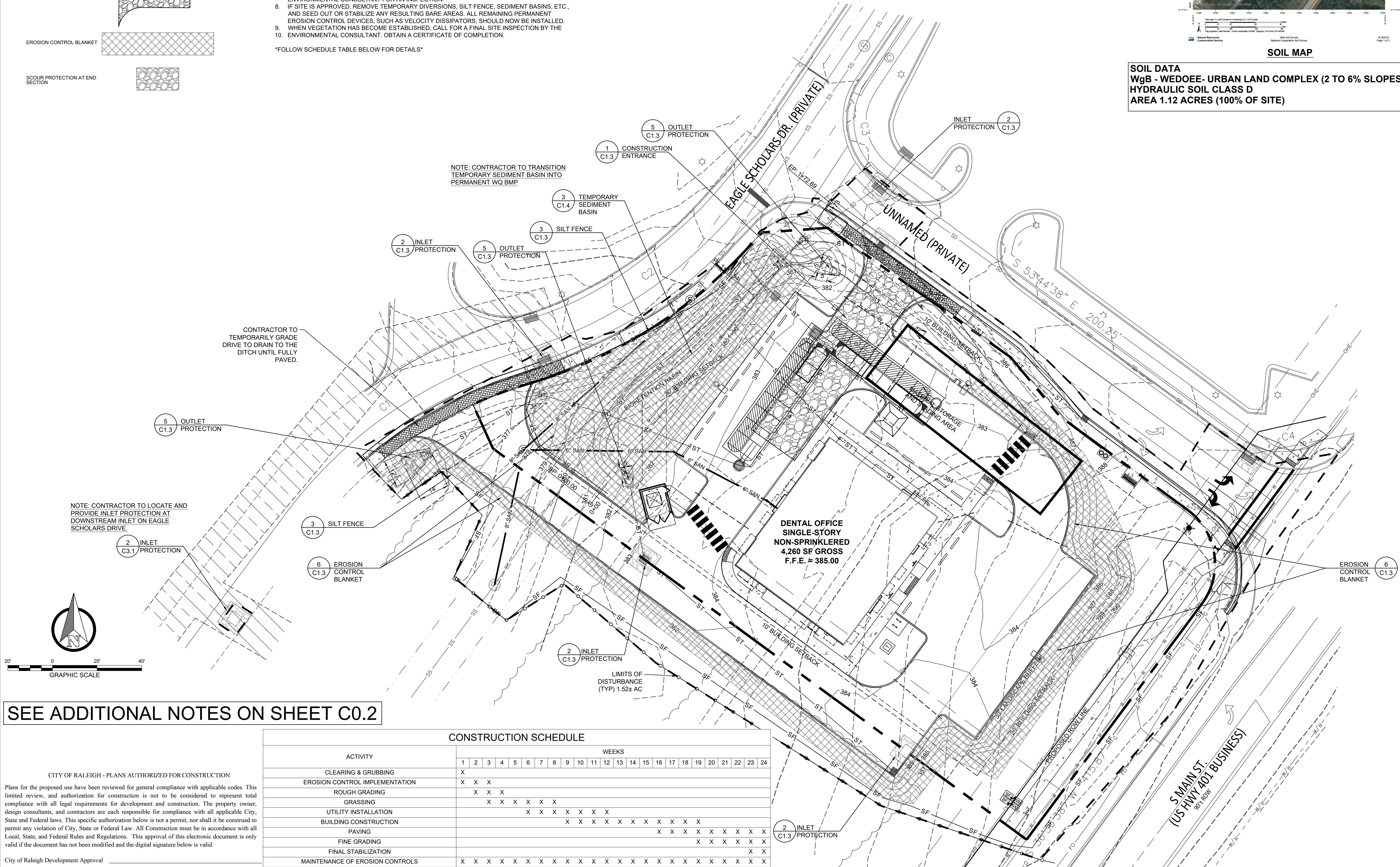
Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

City of Raleigh Development Approval

LEGEND

DESCRIPTION	SYMBOL
SILT FENCE	SF
LIMITS OF DISTURBANCE:	
INLET PROTECTION:	
CONSTRUCTION ENTRANCE	
EROSION CONTROL BLANKET	
SCOUR PROTECTION AT END SECTION	

- REQUIRED WAKE COUNTY CONSTRUCTION SEQUENCE
1. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT. OBTAIN A LANDDISTURBING PERMIT.
 2. INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
 3. CALL ENVIRONMENTAL CONSULTANT FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
 4. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE.
 5. INSTALL STORM SEWER, IF SHOWN, AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS, SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.
 6. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES.
 7. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ENVIRONMENTAL CONSULTANT FOR AN INSPECTION.
 8. IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
 9. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.
 10. ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.
- *FOLLOW SCHEDULE TABLE BELOW FOR DETAILS*



NC Firm #P-1919

TARR GROUP

8650 E. STATE ROAD 32
ZIONSVILLE, IN 46077
PHONE: 765-226-8893
EMAIL: JACOB@TARR-GROUP.COM

ROLESVILLE DENTAL OFFICE
WMG DEVELOPMENT, LLC
908 S MAIN ST.
ROLESVILLE, N.C.

ORIGINAL ISSUE DATE: 01/05/22

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8	REVISION 8	09/18/2023

PROJ. NO.: 21040

EROSION & SEDIMENT CONTROL PLAN PHASE 2

C1.2

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed -7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(d) Slopes 3:1 to 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope
(e) Areas with slopes flatter than 4:1	14	

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

Ground Stabilization Specification	
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:	
Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none">Temporary grass seed covered with straw or other mulches and tackifiersHydroseedingRoller erosion control products with or without temporary grass seedAppropriately applied straw or other mulchPlastic sheeting	<ul style="list-style-type: none">Permanent grass seed covered with straw or other mulches and tackifiersGeotextile fabrics such as permanent soil reinforcement mattingHydroseedingShrubs or other permanent plantings covered with mulchUniform and evenly distributed ground cover sufficient to restrain erosionStructural methods such as concrete, asphalt or retaining wallsRoller erosion control products with grass seed

- POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**
- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
 - Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
 - Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
 - Provide ponding area for containment of treated Stormwater before discharging offsite.
 - Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

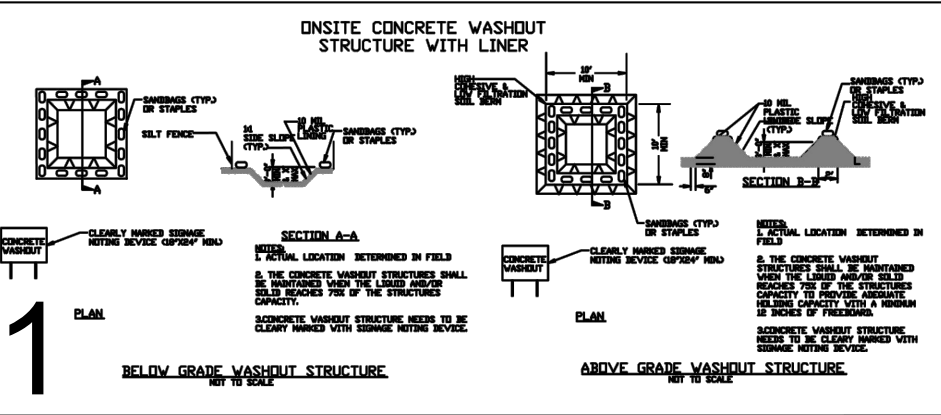
- EQUIPMENT AND VEHICLE MAINTENANCE**
- Maintain vehicles and equipment to prevent discharge of fluids.
 - Provide drip pans under any stored equipment.
 - Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
 - Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
 - Remove leaking vehicles and construction equipment from service until the problem has been corrected.
 - Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

- LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**
- Never bury or burn waste. Place litter and debris in approved waste containers.
 - Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
 - Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
 - Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
 - Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
 - Anchor all lightweight items in waste containers during times of high winds.
 - Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
 - Dispose waste off-site at an approved disposal facility.
 - On business days, clean up and dispose of waste in designated waste containers.

- PAINT AND OTHER LIQUID WASTE**
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
 - Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
 - Contain liquid wastes in a controlled area.
 - Containment must be labeled, sized and placed appropriately for the needs of site.
 - Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

- PORTABLE TOILETS**
- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
 - Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
 - Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

- EARTHEN STOCKPILE MANAGEMENT**
- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
 - Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
 - Provide stable stone access point when feasible.
 - Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

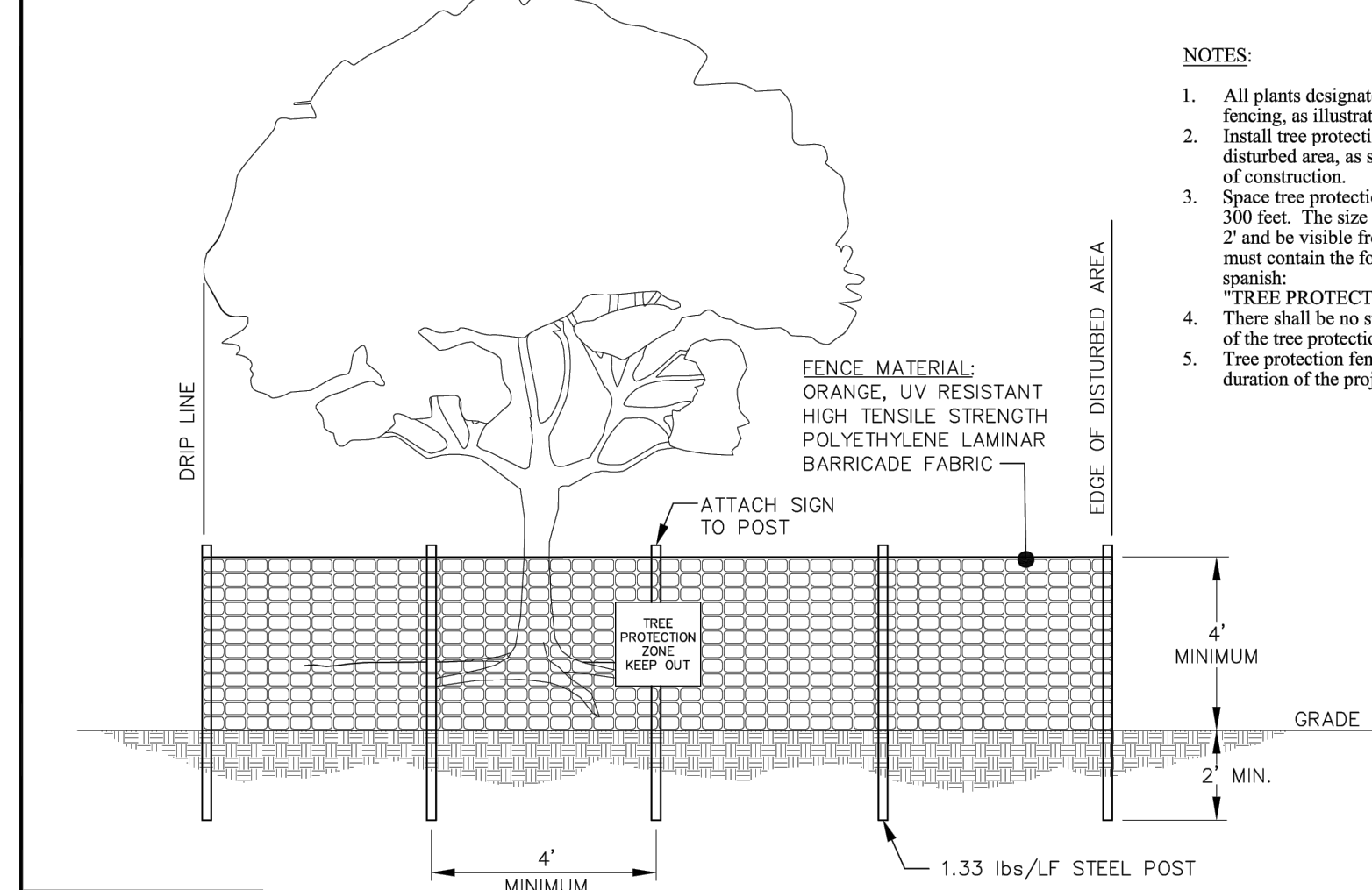


- CONCRETE WASHOUTS**
- Do not discharge concrete or cement slurry from the site.
 - Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
 - Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within top perimeter silt fence.
 - Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
 - Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
 - Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
 - Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
 - Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
 - Remove leaveings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
 - At the completion of the concrete work, remove remaining leaveings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

- HERBICIDES, PESTICIDES AND RODENTICIDES**
- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
 - Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
 - Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
 - Do not stockpile these materials onsite.

- HAZARDOUS AND TOXIC WASTE**
- Create designated hazardous waste collection areas on-site.
 - Place hazardous waste containers under cover or in secondary containment.
 - Do not store hazardous chemicals, drums or bagged materials directly on the ground.

Skimmer Basin	
Okay	
0.82 Drainage Area (Acres)	
2.85 Peak Flow from 10-year Storm (cfs)	
1476 Required Volume (ft ³)	
1153 Required Surface Area (ft ²)	
24.0 Suggested Width (ft)	
48.0 Suggested Length (ft)	
41 Trial Top Width at Spillway Invert (ft)	
35 Trial Top Length at Spillway Invert (ft)	
3 Trial Side Slope Ratio Z:1	
2 Trial Depth (ft) (2 to 3.5 feet above grade)	
29 Bottom Width (ft)	
23 Bottom Length (ft)	
667 Bottom Area (ft ²)	
2054 Actual Volume (ft ³)	Okay
1435 Actual Surface Area (ft ²)	Okay
10 Trial Weir Length (ft)	
0.5 Suggested Trial Depth of Flow (ft)	
10.6 Spillway Capacity (cfs)	Okay
1.5 Skimmer Size (inches)	Skimmer Size (Inches)
0.125 Head on Skimmer (feet)	1.5
0.75 Office Size (1/4 inch increments)	2
3.21 Dewatering Time (days)	2.5
Required 3 to 5 days for Wake County	3
	4
	5
	6
	8

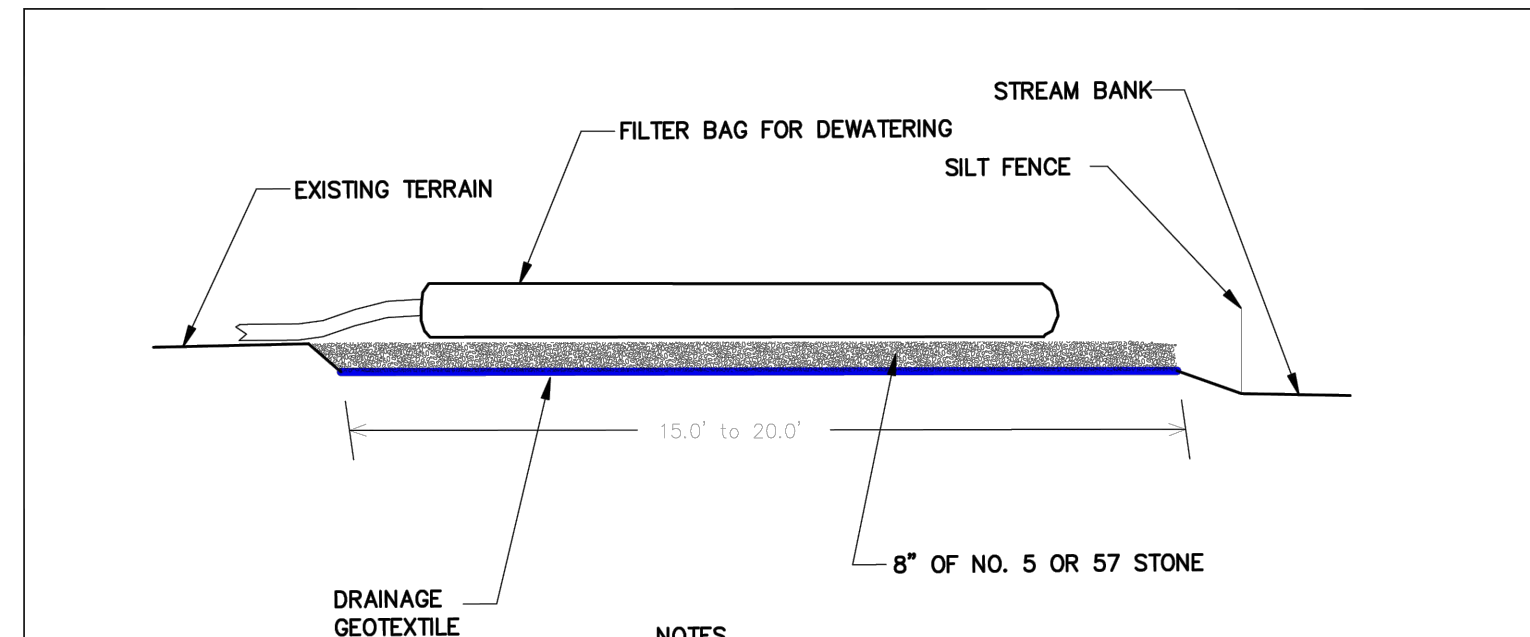


STANDARD TREE PROTECTION FENCE DETAIL

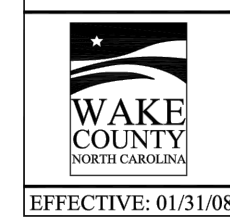
A-11

Required Wake County Basin Removal Sequence

- Schedule a site meeting with the Environmental Consultant to determine if a basin can be removed. Install silt fencing or other temporary erosion control measures as needed prior to removal of the basin.
- Contact NCDEQ - Raleigh Regional Office (919) 791-4200 to determine the Division of Energy, Mineral and Land Resources contact person to receive dewatering notifications. **At least 10 days prior to beginning dewatering activity**, send Email to NCDEQ-DEMLR contact person and copy Environmental Consultant that met you onsite. The email should include: E&SC Jurisdiction: Wake County, Wake County Project: Name, Number, and Location (city/town), Environmental Consultant Name, and address the following: a) Reason for conversion, b) Basin #, c) Dewatering method, and d) all other necessary info from Part II, Section G, Item 4 of the NCG01. **(Keep email for your NPDES monitoring documentation)**
- After receiving positive confirmation from NCDEQ-DEMLR that you may remove the basin OR on ≥ Day 11, whichever is sooner. Remove Basin(s) and associated temporary diversion ditches. If pipes need to be extended, perform this operation at this time. Fine grade area in preparation for seeding.
- Perform seedbed preparation, seed, mulch and anchor any resulting bare areas immediately.
- Install velocity dissipators and/or level spreaders as required on the Erosion Control Plan.
- When site is fully stabilized, call Environmental Consultant for approval of removing remaining temporary erosion control measures and advice on when site can be issued a Certificate of Completion. Note: A meeting should also be scheduled with the Environmental Consultant to determine when a basin may be converted for stormwater use. Some municipalities may also require this.



PROVIDE STABILIZED OUTLET TO STREAM BANK. WOOD PALLETS MAY BE USED IN LIEU OF STONE AND GEOTEXTILE AS DIRECTED. A SUFFICIENT NUMBER OF PALLETS MUST BE PROVIDED TO ELEVATE THE ENTIRE FILTER BAG FOR DEWATERING ABOVE NATURAL GROUND.



STANDARD FILTER BAG FOR DEWATERING ACTIVITIES

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING		
SECTION A: SELF-INSPECTION		
Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.		
Inspect	Frequency (during normal business hours)	Inspection Records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use an rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDCs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indication of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands on-site (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division or Regional Office per Part II, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover), 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- F sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.



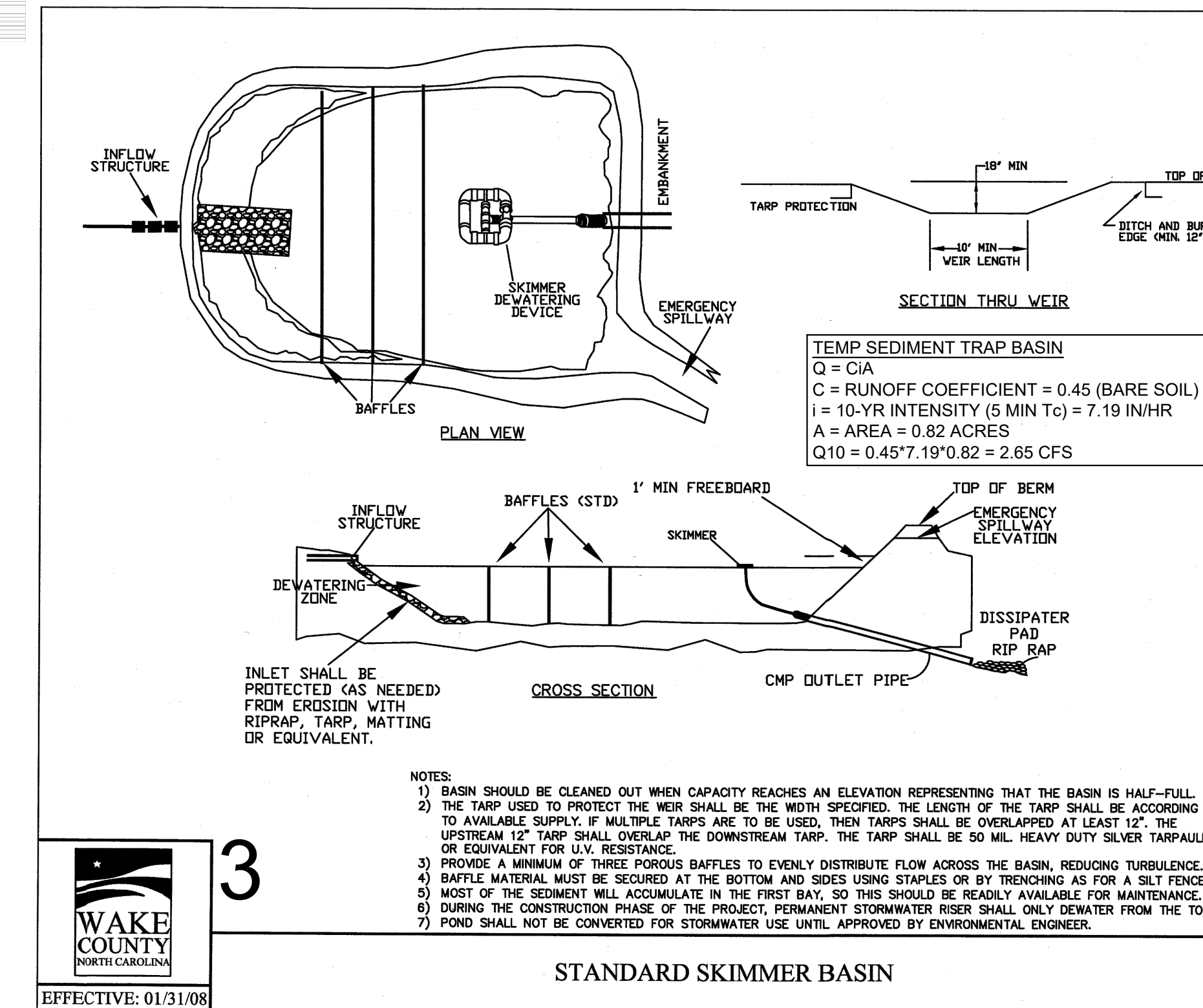
NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING	
SECTION B: RECORDKEEPING	
1. E&SC Plan Documentation	
The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.	
Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

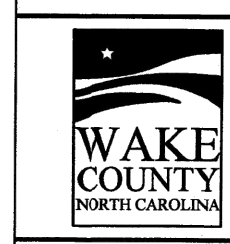
- 2. Reporting Timeframes and Other Requirements**
- After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none">Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(b) Oil spills and release of hazardous substances per item 1(b)-(c) above	<ul style="list-style-type: none">A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.43(i)(6)].Division staff may waive the requirement for a written report on a case-by-case basis.
(c) Anticipated bypasses [40 CFR 122.43(m)(3)]	
(d) Unanticipated bypasses [40 CFR 122.43(m)(3)]	
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.43(i)(7)]	



- NOTES:
- Basin should be cleaned out when capacity reaches an elevation representing that the basin is half-full.
 - The tarp used to protect the weir shall be the width specified. The length of the tarp shall be according to available supply. If multiple tarps are to be used, then tarps shall be overlapped at least 12". The upstream 12" tarp shall overlap the downstream tarp. The tarp shall be 50 mil heavy duty silver tarpaulins or equivalent for UV resistance.
 - Provide a minimum of three porous baffles to evenly distribute flow across the basin, reducing turbulence.
 - Baffle material must be secured at the bottom and sides using staples or by trussing as for a silt fence.
 - Most of the sediment will accumulate in the first bay, so this should be readily available for maintenance.
 - During the construction phase of the project, permanent stormwater riser shall only dewater from the top of pipe.
 - Pond shall not be converted for stormwater use until approved by environmental engineer.

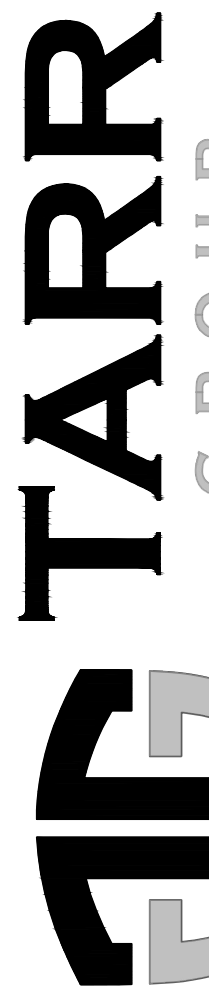
STANDARD SKIMMER BASIN



EFFECTIVE: 01/31/08



NC Firm #P-1919



8650 E. STATE ROAD 32
ZIONVILLE, IN 46077
PHONE: 765-262-0897
EMAIL: JACOB@TARR-GROUP.COM

ROLESVILLE DENTAL OFFICE
WMG DEVELOPMENT, LLC
908 S MAIN ST.
ROLESVILLE, N.C.

ORIGINAL ISSUE DATE: 01/05/22

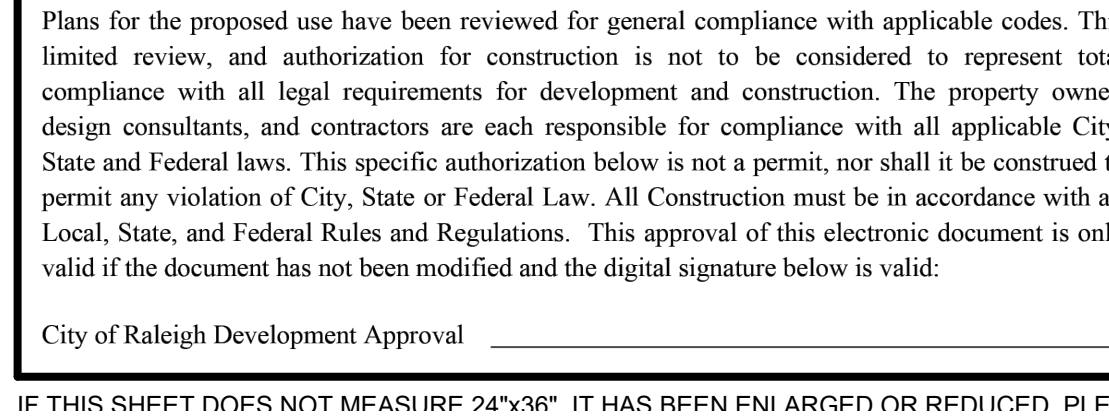
REVISIONS:

REVISION	DATE
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2	04/13/2022
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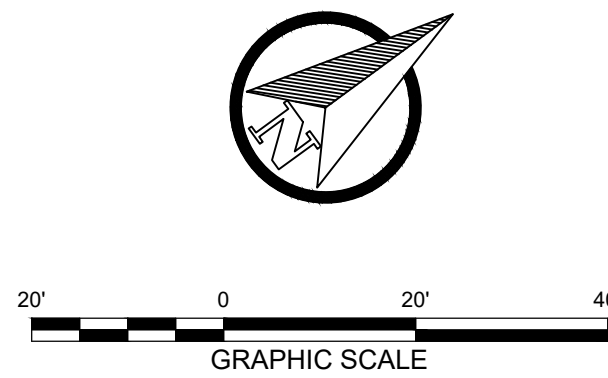
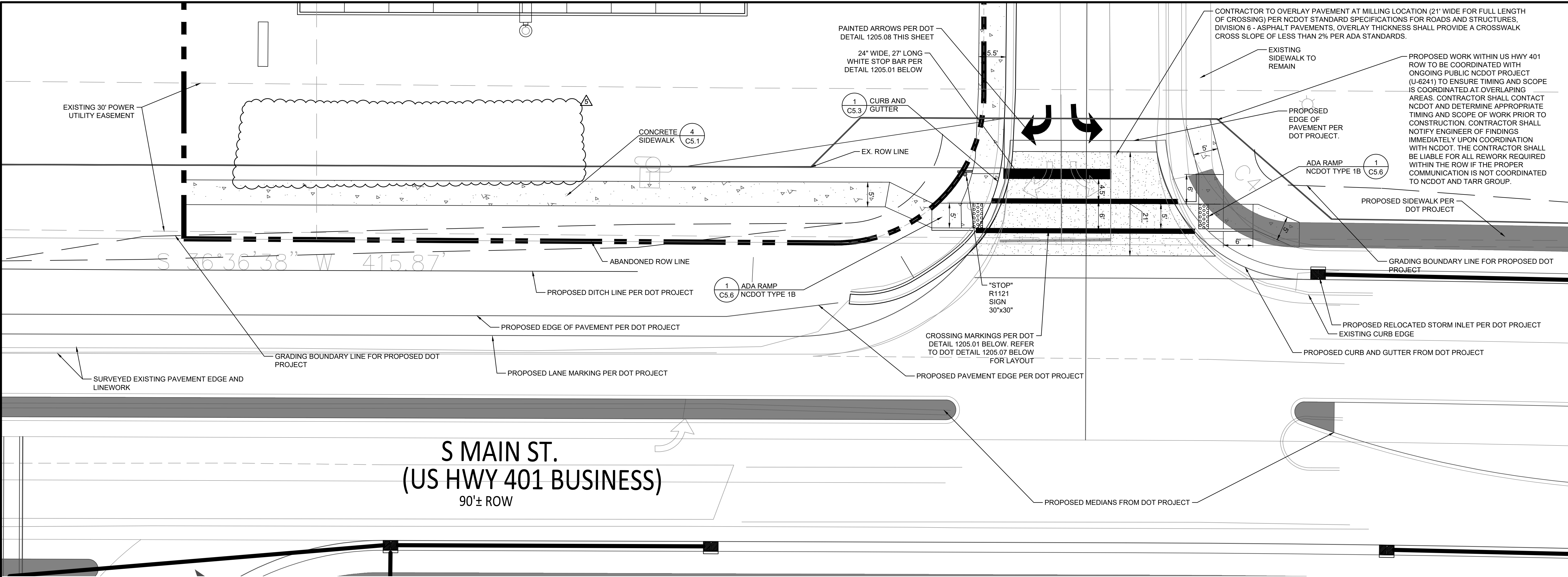
PROJ. NO.: 21040

EROSION AND SEDIMENT CONTROL DETAILS

C1.4

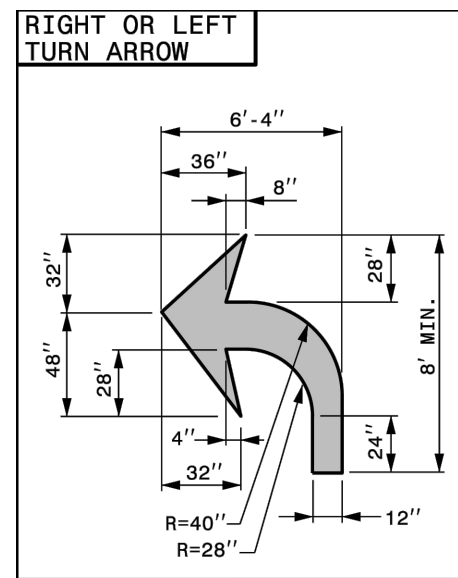


21040 - C2.2 ROW PLAN.dwg

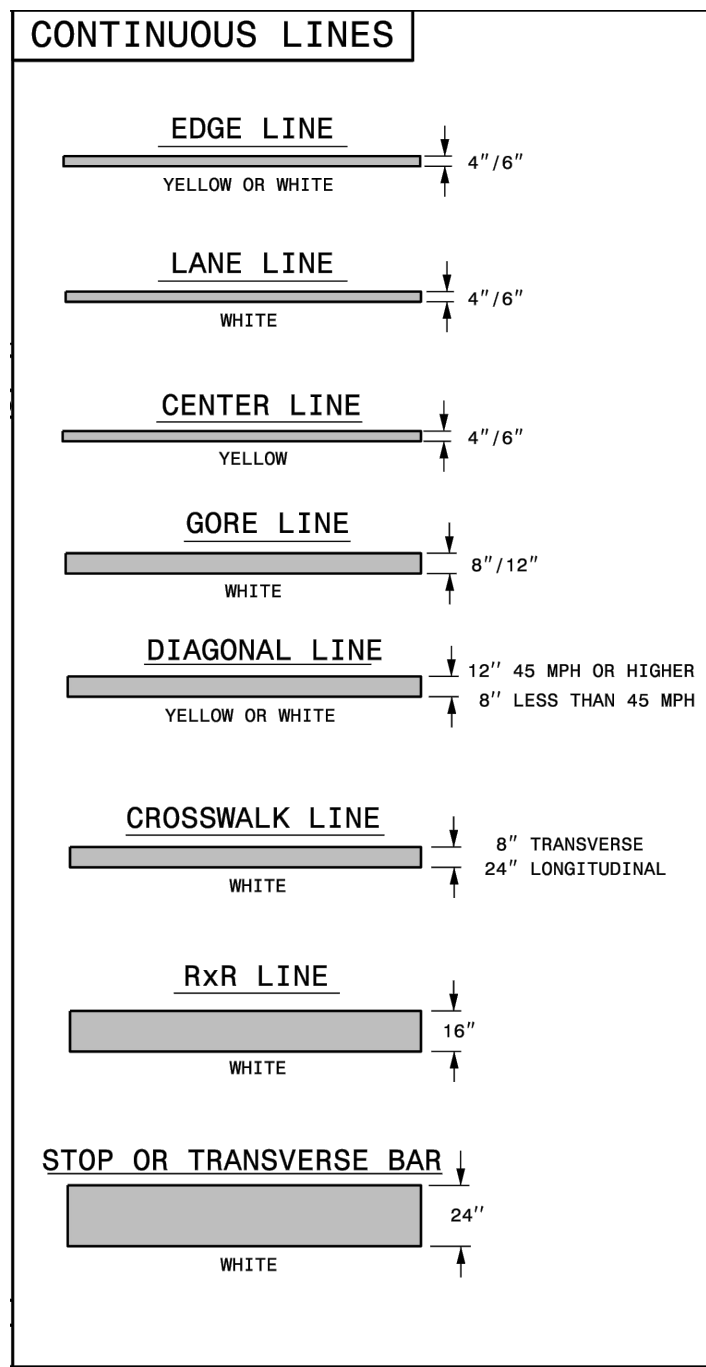


LEGEND

- PROPERTY LINE
- ROADWAY CENTERLINE
- EASEMENT / SETBACK LINE
- CONCRETE SIDEWALK
- DUMPSTER PAD / HEAVY DUTY CONCRETE
- HEAVY DUTY ASPHALT PAVING
- EXISTING CONCRETE SIDEWALK
- BIKE RACK
- SIGN
- LIGHT POLE LOCATION

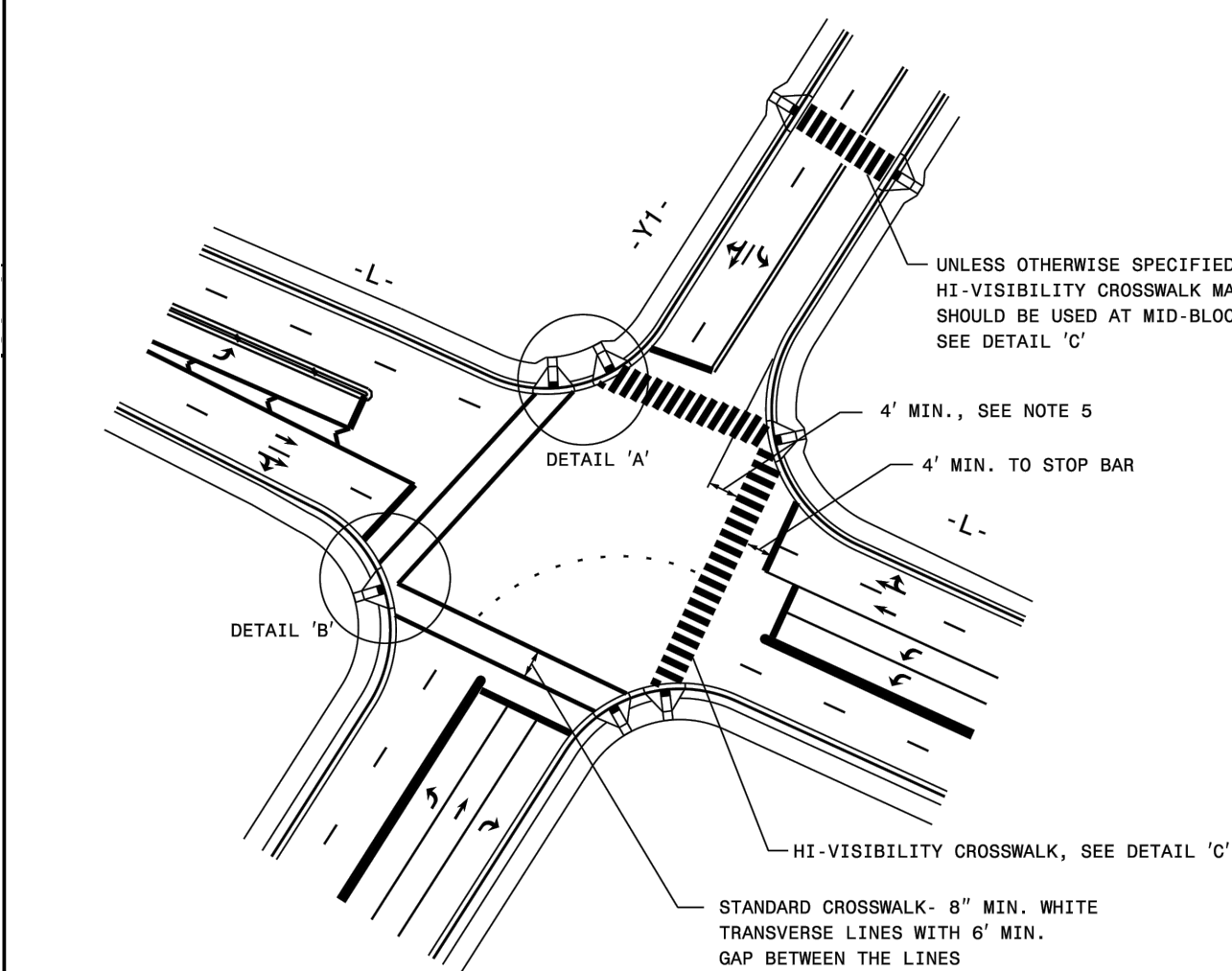


NCDOT DETAIL 1205.08



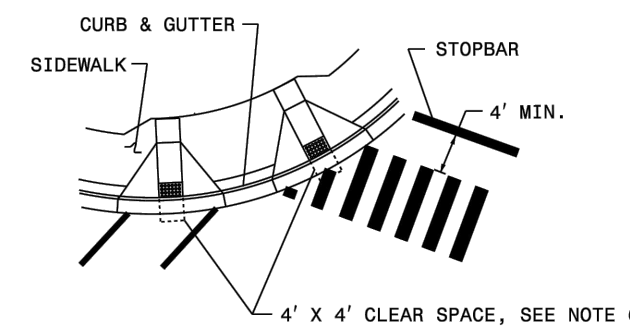
NCDOT DETAIL 1205.01

CROSSWALK PLACEMENT GUIDANCE

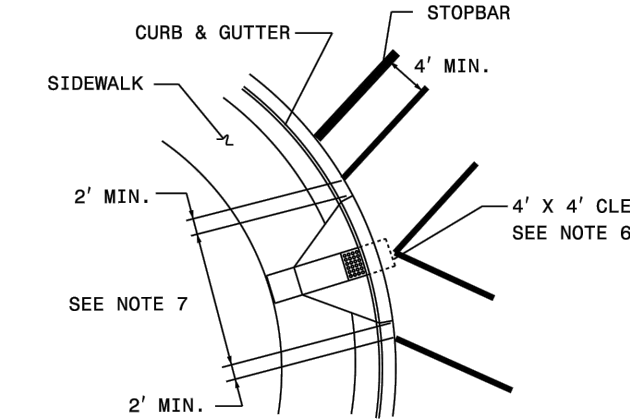


GENERAL NOTES:

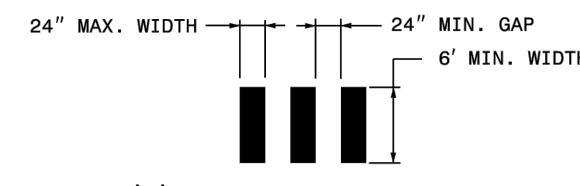
- USE THE DETAILS ABOVE AND THE FOLLOWING NOTES FOR GUIDANCE IN PLACING CROSSWALK MARKINGS. REFER TO NCDOT ROADWAY STANDARD DRAWINGS, MUTCD AND ADA STANDARDS FOR ADDITIONAL GUIDANCE.
- THE LOCATION AND TYPE OF CROSSWALK MARKINGS SHOWN ON THE ABOVE DETAILS ARE FOR REFERENCE ONLY. LOCATE CROSSWALK MARKINGS AS SHOWN ON THE PROJECT DETAIL SHEETS OR AS DIRECTED BY THE ENGINEER. THE CROSSWALK MARKING TYPE, STANDARD OR HI-VISIBILITY, SHALL BE INSTALLED AS SPECIFIED ON THE PROJECT DETAIL SHEETS OR AS DIRECTED BY THE ENGINEER.
- THE STANDARD CROSSWALK IS TWO WHITE 8" MIN. TRANSVERSE LINES WITH A 6' MIN. GAP BETWEEN THE LINES. THE HI-VISIBILITY CROSSWALK IS WHITE 24" MAX. WIDE LONGITUDINAL LINES WITH 24" MIN. GAPS BETWEEN LINES. SEE DETAIL 'C'. HI-VISIBILITY CROSSWALKS SHOULD BE A MINIMUM OF 6' WIDE. CURB RAMPS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARES.
- STOP BARS SHOULD BE PLACED A 4' MIN. IN ADVANCE OF NEAREST CROSSWALK LINE.
- SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL IS 4' MIN.
- BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE OF 4' X 4' MIN. SHALL BE PROVIDED WITHIN THE MARKINGS.
- SINGLE DIAGONAL CURB RAMPS WITH FLARED SIDES SHALL HAVE A SEGMENT OF CURB 2' MIN. LONG LOCATED ON EACH SIDE OF THE CURB RAMP AND WITHIN THE MARKED CROSSING, SEE DETAIL 'B'.
- CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE LATEST NCDOT ROADWAY STANDARD DRAWINGS. CURB RAMPS THROUGH MEDIAN ISLANDS, SINGLE RAMPS AT DUAL CROSSWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR DETAILS OR A SPECIAL DESIGN.



DETAIL 'A'- DUAL CURB RAMPS



DETAIL 'B'- SINGLE DIAGONAL CURB RAMP

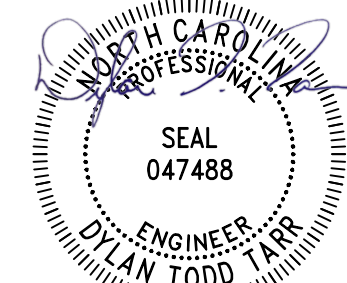


DETAIL 'C'- HI-VISIBILITY CROSSWALK

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

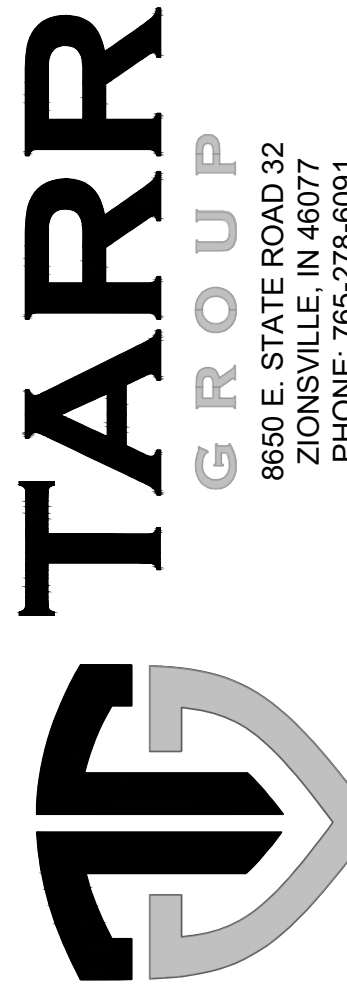
ROADWAY STANDARD DRAWING FOR
PAVEMENT MARKINGS
PEDESTRIAN CROSSWALKS

SHEET 1 OF 1
1205.07



09/19/2023

NC Firm #P-1919



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8	REVISION 8	09/18/2023

PROJ. NO.: 21040

ROW PLAN

C2.2

STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES

ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE

- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

Public
Sewer Collection / Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # **S-5169**

Authorization to Construct See digital signature

SITE LIGHTING

GC IS TO SOLICIT LIGHTING BIDS FOR ALL SHELL BUILDING LIGHTING & SITE LIGHTING. THE OWNERSHIP'S PREFERRED VENDORS ONLY. AWARD SHALL BE AT THE CONTRACTOR'S DISCRETION. THE CONTRACTOR SHALL SUPPLY AND INSTALL THE EXTERIOR LIGHTING PACKAGE WHICH CONSISTS OF ALL LIGHTING SHOWN IN THE SHELL BUILDING PLANS AND CIVIL PLANS.

STANDARD ELECTRIC
CONTACT: RYAN HUNT
O: 978-661-1884
C: 978-404-1333
EMAIL: RHUNT@STANDARD-ELECTRIC.COM

ESTIMATED FLOW DEMANDS

POTABLE WATER = 450 GPD
IRRIGATION = 300 GPD
SEWER = 440 GPD

UTILITY LEGEND

	SAN	SEWER PIPE
	W	WATER PIPE
	IR	IRRIGATION SLEEVE
	UG-E	UNDERGROUND ELECTRIC
	OH-E	OVERHEAD ELECTRIC
	G	NATURAL GAS PIPE
	SS	SANITARY MANHOLE
	C	SANITARY CLEANOUT
	WT	GREASE TRAP
	M	WATER METER
	F	FIRE HYDRANT
	BP	BACKFLOW PREVENTER
	R	REDUCER
	CV	CORP VALVE
	GV	GATE VALVE
	T	TEE
	LPB	LIGHT POLE BASE

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

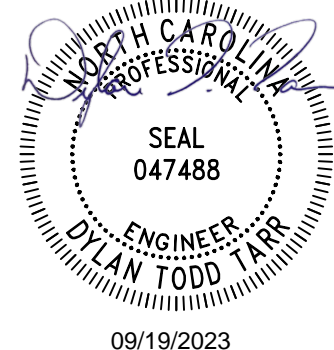
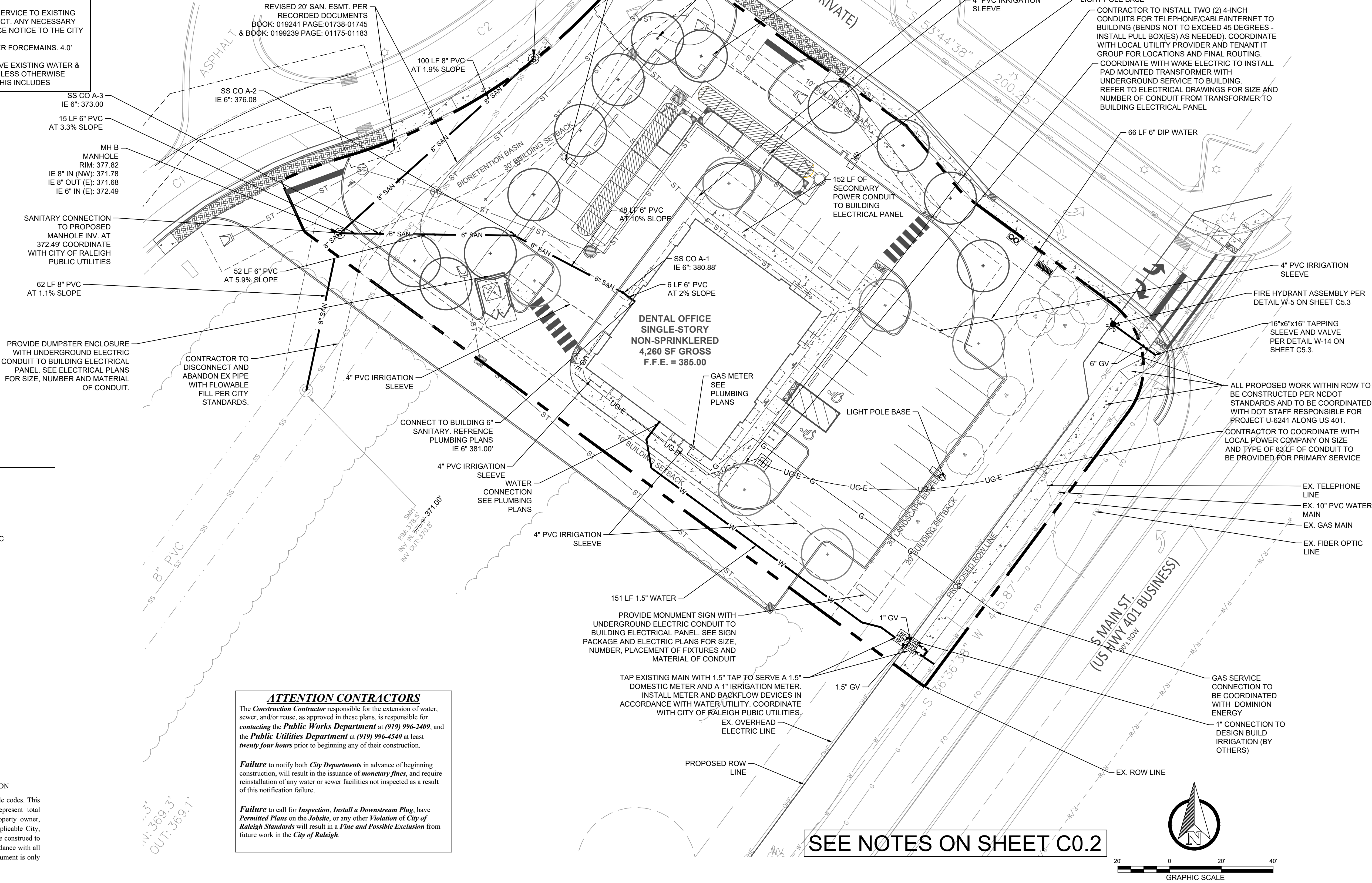
City of Raleigh Development Approval

ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

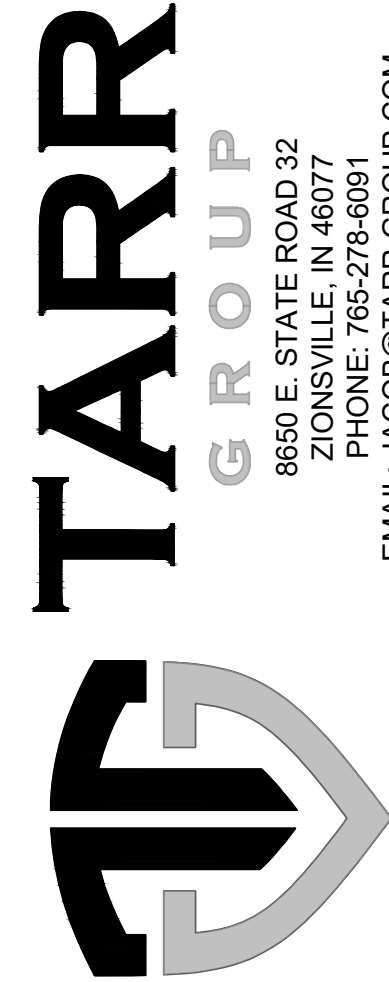
Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection**, **Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.



09/19/2023

NC Firm #P-1919



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REVISIONS:

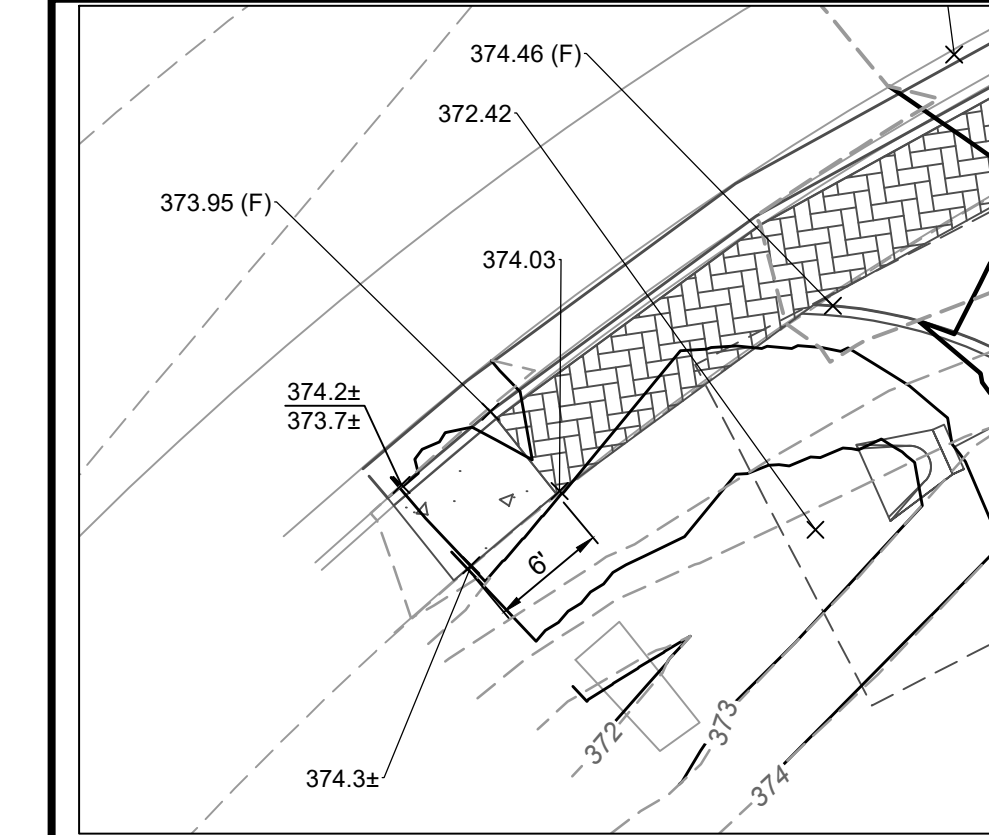
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	REVISION 3	06/22/2022
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PROJ. NO.: 21040

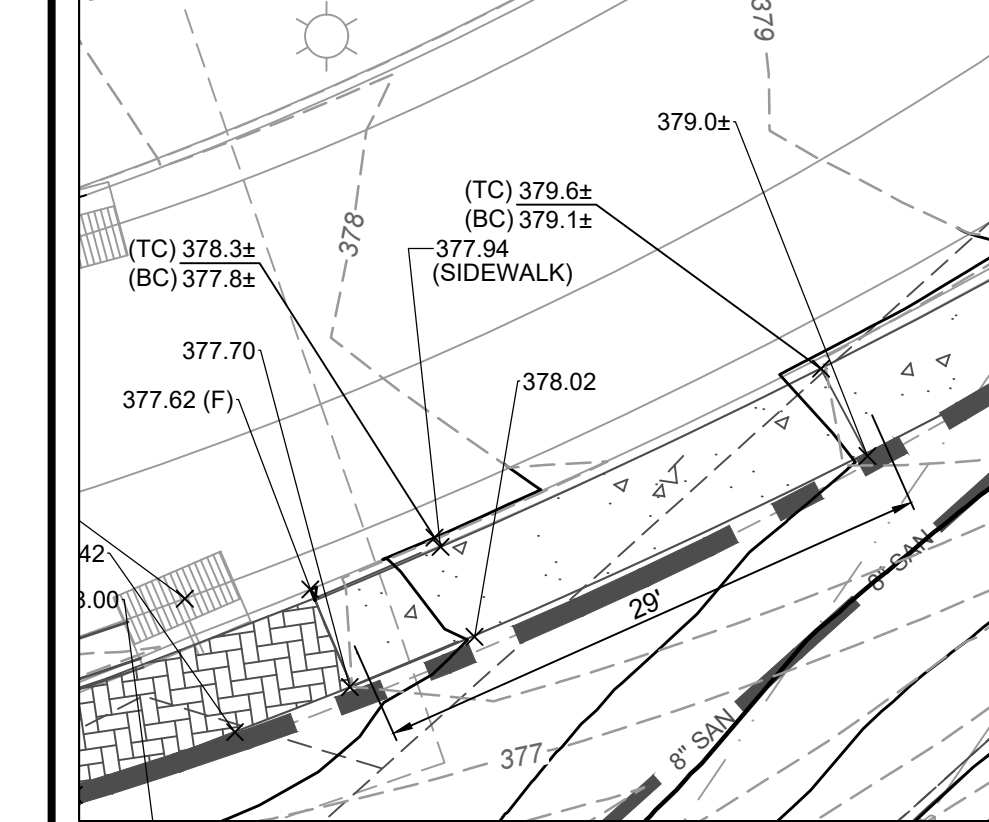
UTILITY PLAN

C3.1

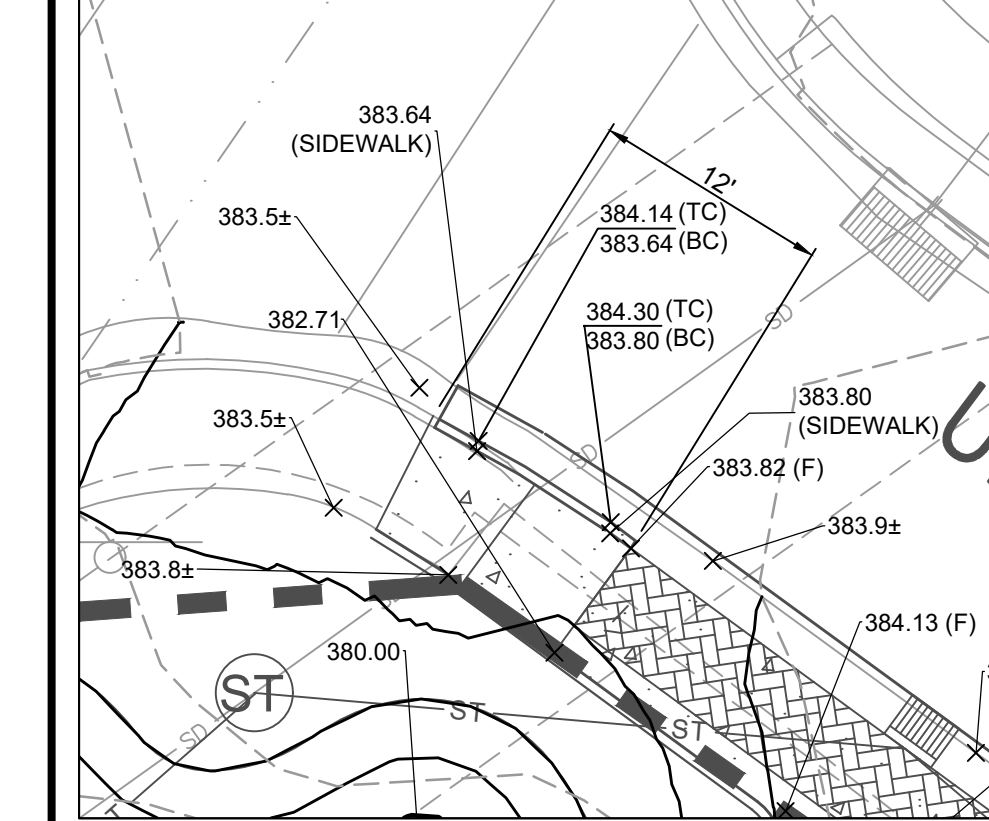
21040 - C4.1 GRADING PLAN.dwg



BLOW UP DETAIL-1 (1"=10')



BLOW UP DETAIL-2 (1"=10')



BLOW UP DETAIL-3 (1"=10')



FEMA FLOOD INSURANCE RATE MAP

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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City of Raleigh Development Approval

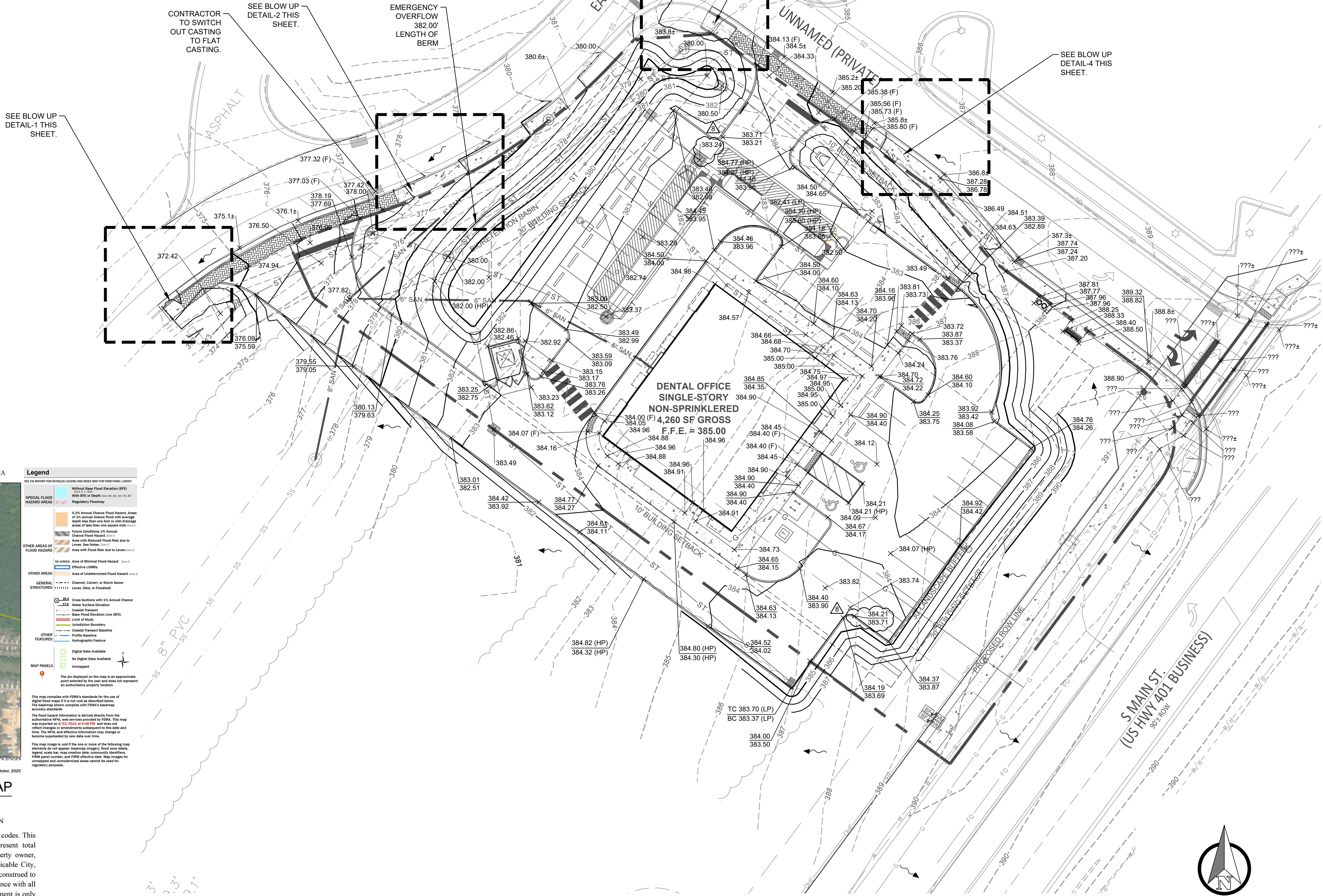
IF THIS SHEET DOES NOT MEASURE 24"x36" IT HAS BEEN ENLARGED OR REDUCED. PLEASE ADJUST SCALE ACCORDINGLY

GRADING LEGEND

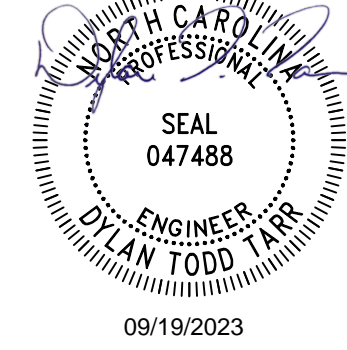
- 69 MINOR CONTOUR
- 70 MAJOR CONTOUR
- 101.00 SPOT ELEVATION (FINISHED SURFACE)
- 101.00 (FFE) SPOT ELEVATION (FINISHED FLOOR ELEVATION)
- 101.0± SPOT ELEVATION (MATCH EXISTING FINISHED GRADE)
- 101.50 SPOT ELEVATION (TOP OF CURB / BOTTOM FACE OF CURB)
- 101.00 SLOPE (DOWNHILL)
- BENCHMARK

DATUM INFORMATION

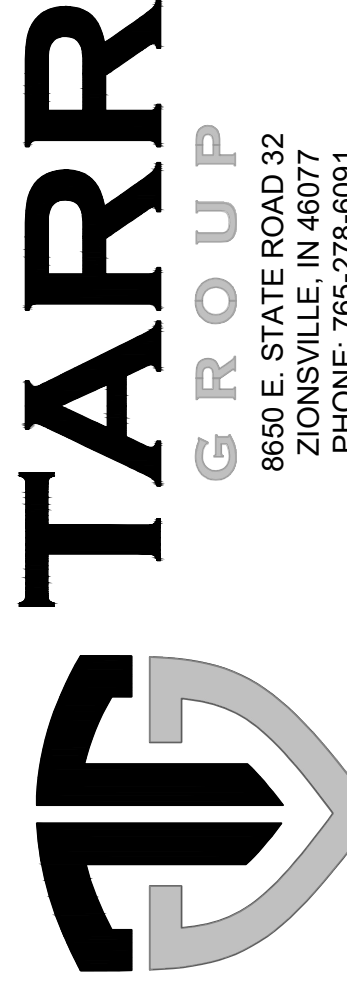
ELEVATIONS SHOWN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).



SEE NOTES ON SHEET C0.2



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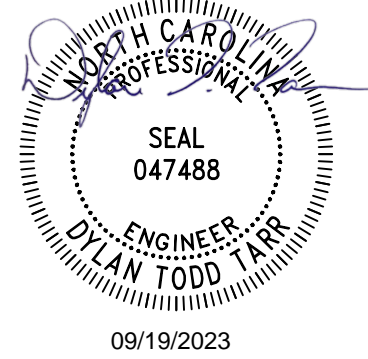
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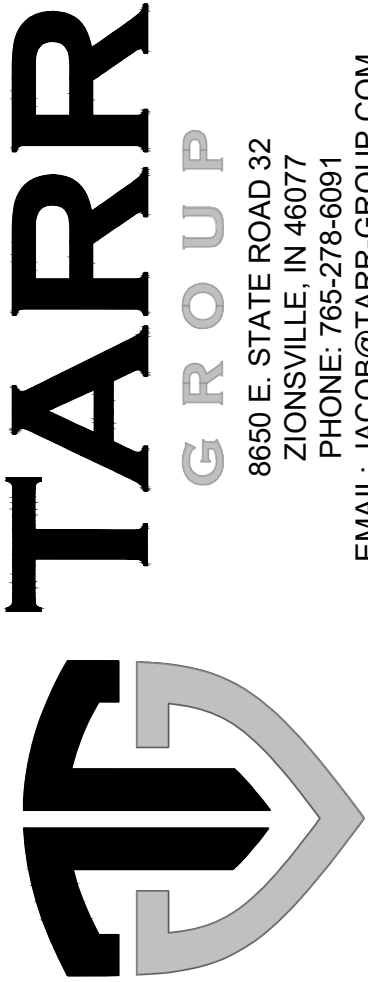
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GRADING PLAN

C4.1



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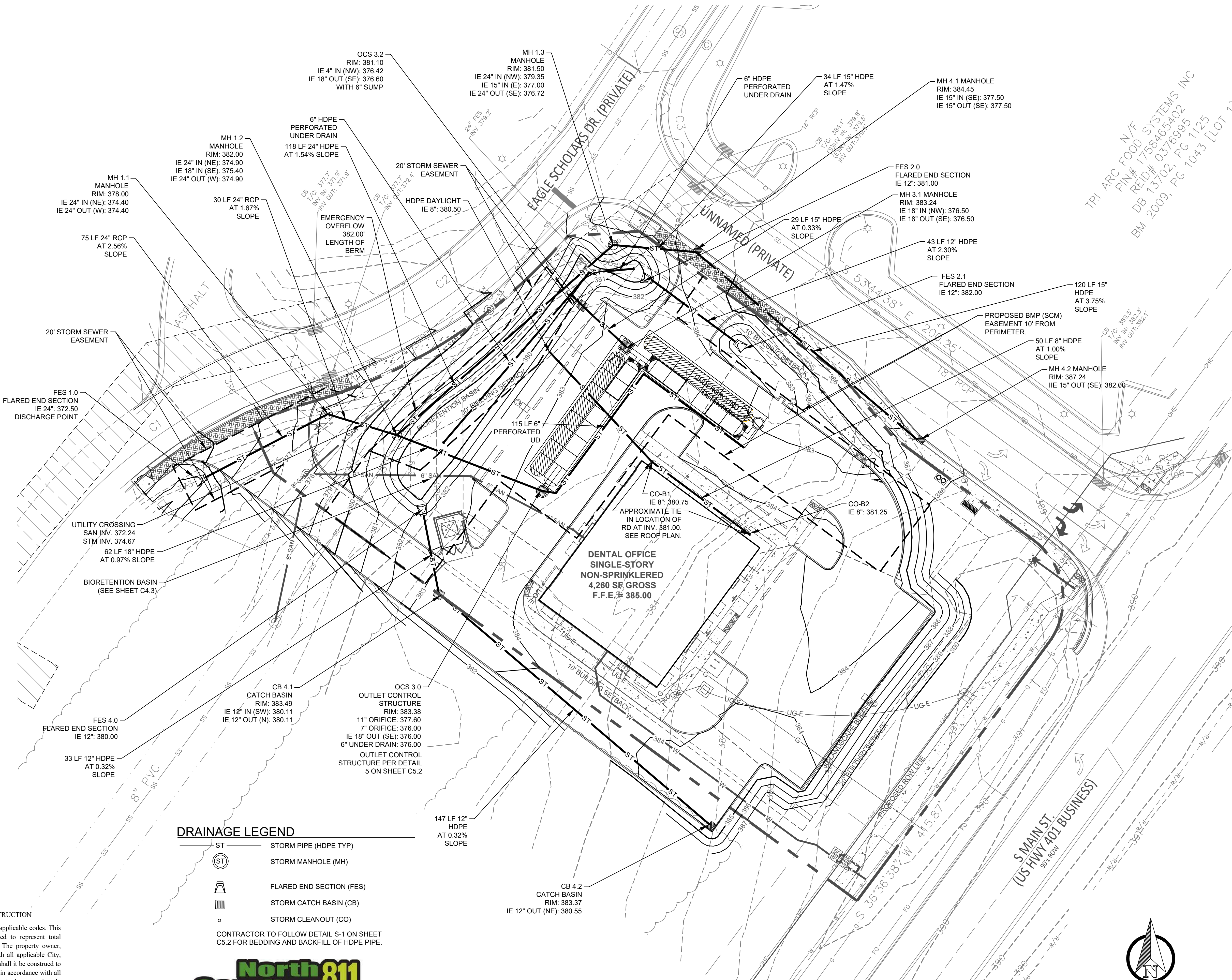
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PROJ. NO.: 21040

DRAINAGE PLAN

C4.2



DRAINAGE LEGEND

- ST STORM PIPE (HDPE TYP)
- ST STORM MANHOLE (MH)
- FLARED END SECTION (FES)
- STORM CATCH BASIN (CB)
- STORM CLEANOUT (CO)

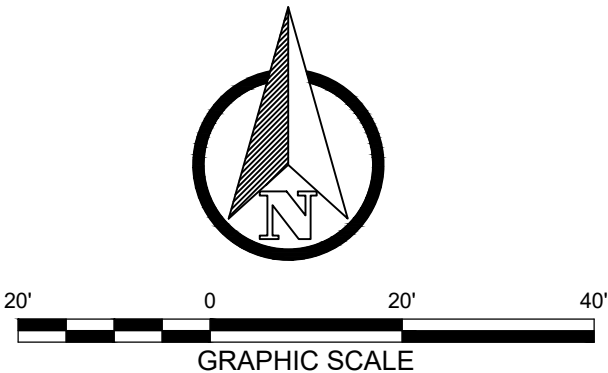


CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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SEE NOTES ON SHEET C0.2

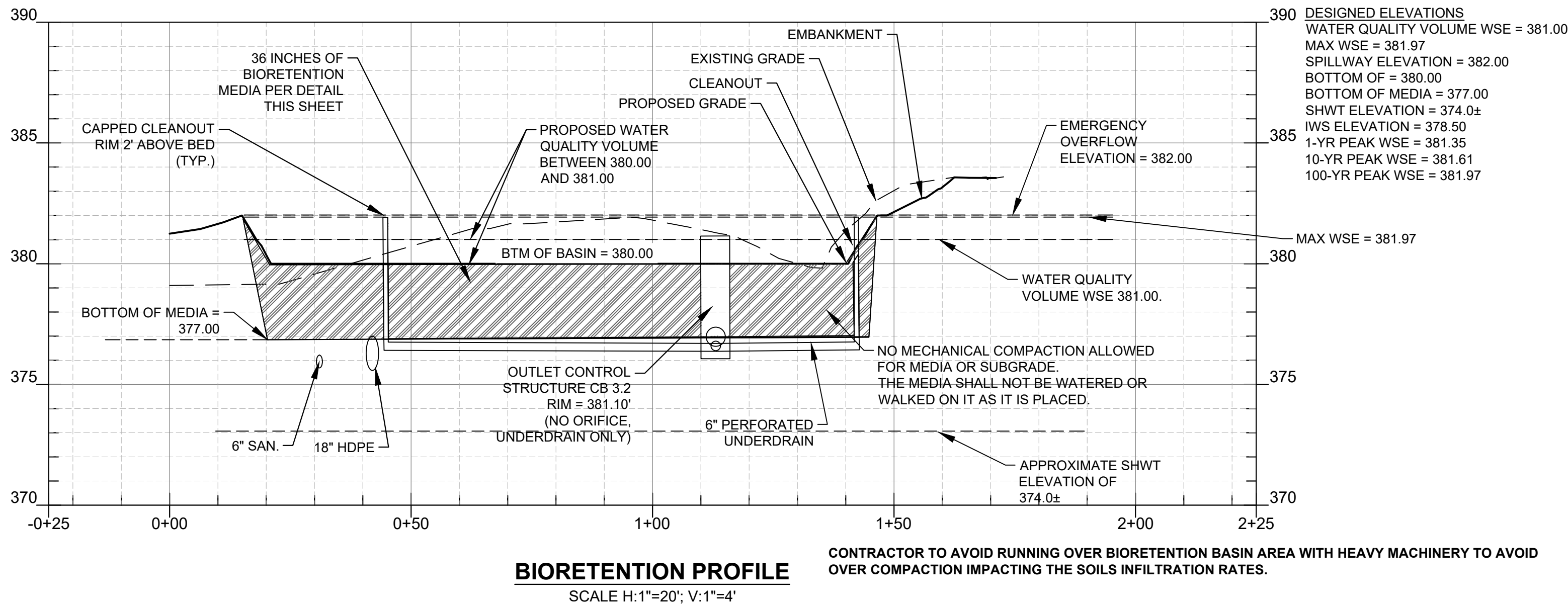
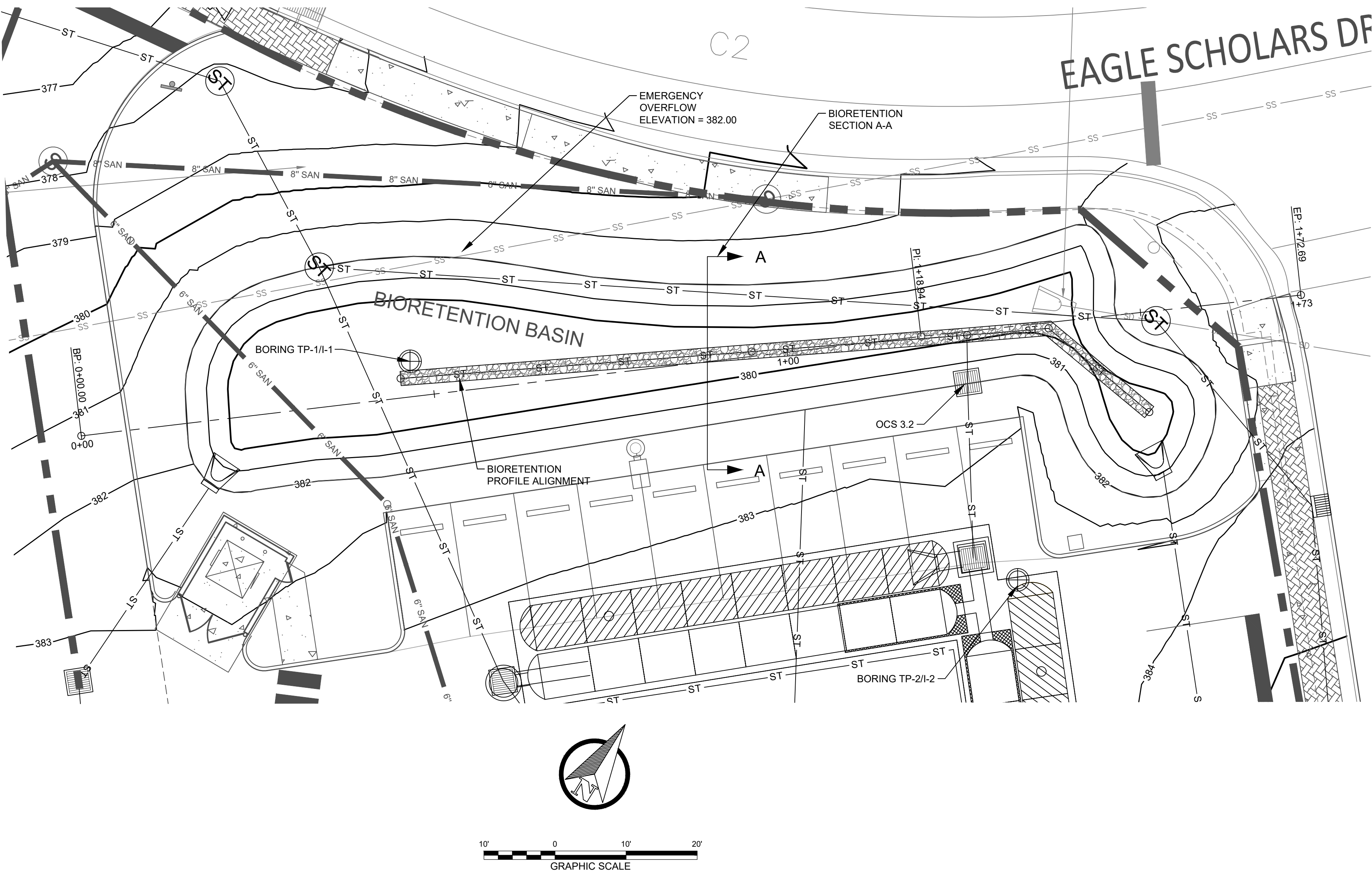


TRI ARC FOOD SYSTEMS INC
PIN# 1758465402
DB 13702, PG 1125
BM 2009, PG 1043 [LOT 1]

21040 - C4.2 DRAINAGE PLAN.dwg

IF THIS SHEET DOES NOT MEASURE 24"x36" IT HAS BEEN ENLARGED OR REDUCED. PLEASE ADJUST SCALE ACCORDINGLY

21040 - C4.3 BMP PLAN AND PROFILE.dwg



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

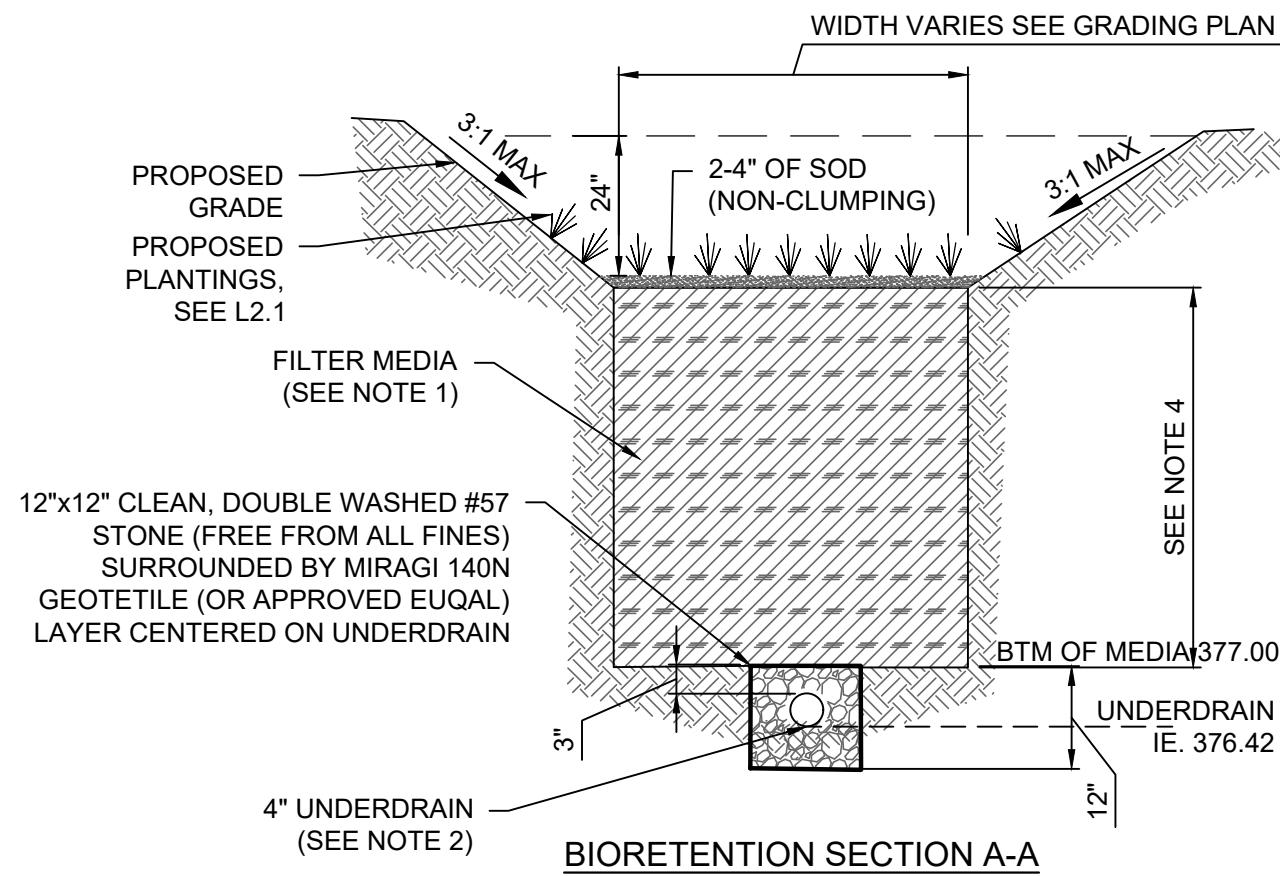
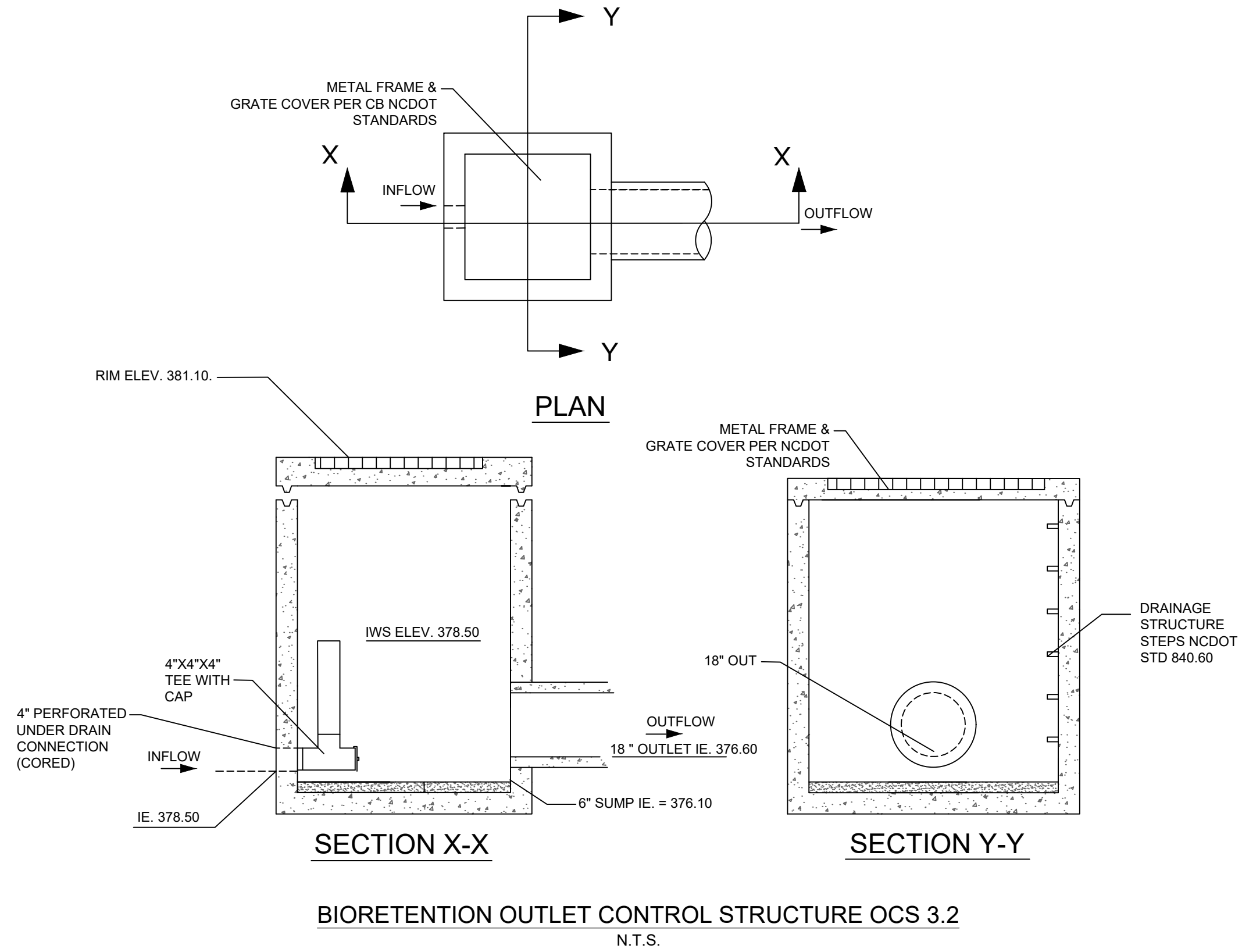
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FOLLOW ALL NC DEQ MANUAL STANDARDS AND DETAILS FOR CONSTRUCTION OF BIORETENTION AND INFILTRATION BMPs

BIORETENTION MDC REQUIREMENT PARAMETERS:

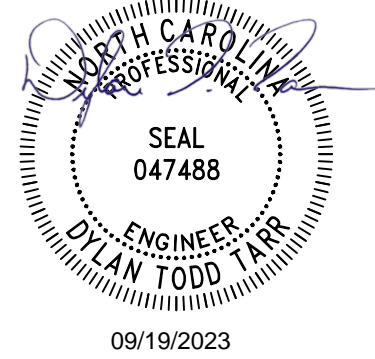
1. SEPARATION FROM SHWT IS 3.2 FEET FROM THE BOTTOM OF MEDIA MEETING THE REQUIREMENT OF OVER TWO FEET AS SHOWN IN PROFILE BELOW.
2. MAX DEPTH FOR THE DESIGN VOLUME IS 1' ABOVE BOTTOM OF THE . WATER QUALITY VOLUME ELEVATION IS 381.00. THIS PROVIDES APPROX. 3,500 CUBIC FEET OF STORAGE WHICH IS MORE THAN THE REQUIRED 2,523 CUBIC FEET WATER QUALITY VOLUME. DRAWDOWN IS GREATER THAN 2,600 CF IN THE 2-5 DAY DESIGN PERIOD THROUGH THE SUBGRADE AND UNDERDRAIN. MEDIA SQUARE FOOTAGE = 1,386.
3. PEAK ATTENUATION VOLUME MAXIMUM WATER ELEVATION IS 381.97 FEET WHICH IS LESS THAN 24 INCHES ABOVE BOTTOM OF MEETING THE 24" MAXIMUM REQUIREMENT. THE OUTLET RIM ELEVATION IS 1.1 FEET ABOVE PLANTING SURFACE MEETING THE 18" MAXIMUM REQUIREMENT.
4. THE UNDERDRAIN WILL BE PROVIDED FOR THIS AREA AS 2 IN/HR INFILTRATION IS NOT MET IN SOME PLACES. A MAJORITY OF THE AREA WILL HAVE AN INFILTRATION RATE OF 3 IN/HR PER THE INFILTRATION TESTING RESULTS. INTERNAL WATER STORAGE (IWS) OF 18" BELOW PLANTING SURFACE IS PROVIDED. SEE OUTLET CONTROL STRUCTURE DETAIL BELOW.
5. MEDIA DEPTH IS DESIGNED AT 36 INCHES WITH AN INTERNAL WATER STORAGE COMPONENT.
6. MEDIA MIX IS AS SHOWN BELOW IN THE BIORETENTION TYPICAL CROSS SECTION DETAIL.
7. THE PHOSPHORUS INDEX (P-INDEX) SHALL NOT EXCEED 30 (DRAINS TO NSW WATERS) AS DEFINED IN 15A NCAC 02B .0202 AS NOTED IN NOTE 9 OF THE BIORETENTION TYPICAL CROSS SECTION NOTES.
8. NO MECHANICALLY COMPACTED MEDIA OR SUBGRADE IS ALLOWED PER THIS DESIGN.
9. MAINTENANCE OF THE MEDIA WILL BE PER O&M MANUAL FOR THE SITE WHICH REQUIRES A MAINTENANCE OF AT LEAST 1 INCH PER HOUR INFILTRATION RATE. PLEASE SEE O&M MANUAL.
10. LANDSCAPING IS USING NON-CLUMPING, DEEP ROOTED SOD. PLANTING AND SEEDING PER LANDSCAPE PLAN ON SHEET L2.1. ASSOCIATED DETAILS PROVIDED ON L5.1.
11. SOD IS BEING USED FOR THIS DESIGN, NO MULCH REQUIRED.
12. CLEANOUTS ARE PROVIDED AT THE END OF EACH UNDERDRAIN. PVC PIPES EXTEND AT LEAST 2 FEET OUT OF THE GROUND WITH CAPS AS REQUIRED.



NOTES:

1. FILTER MEDIA SHALL CONSIST OF THE FOLLOWING: 70%-85% SAND, 8%-10% SILT + CLAY, WITH NO MORE THAN 10% CLAY, AND 5% TO 10% ORGANIC MATTER. FILTER MEDIA SHALL HAVE A CATION EXCHANGE CAPACITY OF GREATER THAN 10 meq/100 g, AND A MINIMUM INFILTRATION RATE OF 1 TO 2 INCHES PER HOUR. A RATIO OF 50% SAND, 30% TOPSOIL AND 20% ACCEPTABLE LEAF COMPOST IS RECOMMENDED FOR TREE PLANTING AREAS. (ASTM C33, AASHTO M 6/M 80, ASTM C330, AASHTO M195, OR EQUIVALENT.)
2. UNDERDRAIN SHALL BE 6 INCH CORRUGATED HDPE PIPE WITH 3/8" PERFORATIONS AT 6" ON CENTER, WITH A MINIMUM OF 4 HOLES PER ROW AROUND THE CIRCUMFERENCE OF THE PIPE. SLOPE PIPE AT 0.5% MINIMUM.
3. PROVIDE CLEANOUTS AT THE END OF UNDERDRAIN LINES.
4. FILTER MEDIA DEPTH SHALL BE 36-INCHES DEEP MINIMUM FOR BIORETENTION.
5. THE CONTRACTOR SHALL TAKE PHOTOGRAPHS DURING EACH PHASE OF INSTALLATION TO DEMONSTRATE PROPER MEDIA AND GRAVEL DEPTHS WERE INSTALLED PER PLANS.
6. BIORETENTION FACILITY MUST MEET ALL REQUIREMENTS FROM THE NCDEQ STORMWATER DESIGN MANUAL. SEE C-2 BIORETENTION CELL FOR MORE INFORMATION. REFERENCE MDC REQUIREMENTS ABOVE FOR FURTHER DETAILS.
7. CLEAN OUTS SHALL BE PROVIDED AT THE END OF EACH UNDERDRAIN WITH A CAP AT A MIN. 2' ABOVE PLANT SURFACE (CAP ELEV. 382.00).
8. CONTRACTOR TO SUBMIT SOIL MEDIA SAMPLE FOR APPROVAL TO NC DEPARTMENT OF AGRICULTURE LAB OR EQUIVALENT FOR PHOSPHORUS INDEX (P-INDEX) ANALYSIS. P-INDEX SHALL NOT EXCEED 30 (DRAINS TO NSW WATERS) AS DEFINED IN 15A NCAC 02B .0202. SUBMIT P-INDEX RESULTS TO ENGINEER PRIOR TO CONSTRUCTION.

BIORETENTION TYP. CROSS SECTION
N.T.S.



NC Firm #P-1919



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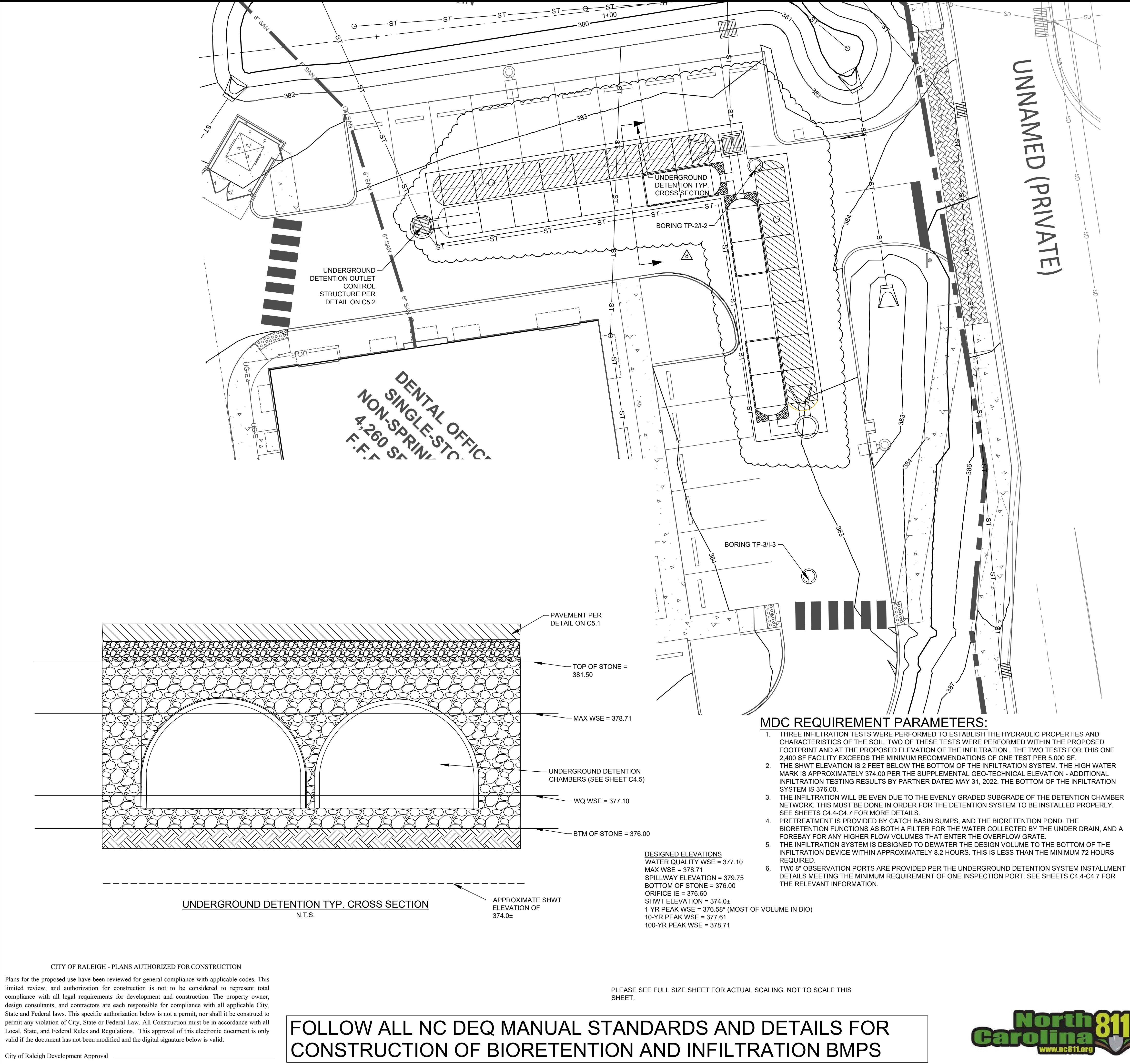
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BMP PLAN AND
PROFILE

C4.3



21040 - C4.3 BMP PLAN AND PROFILE.dwg



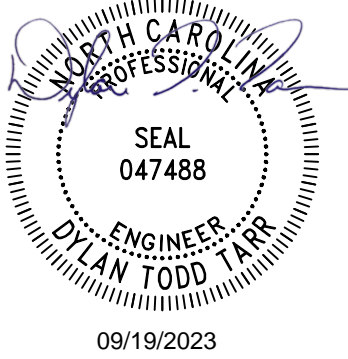
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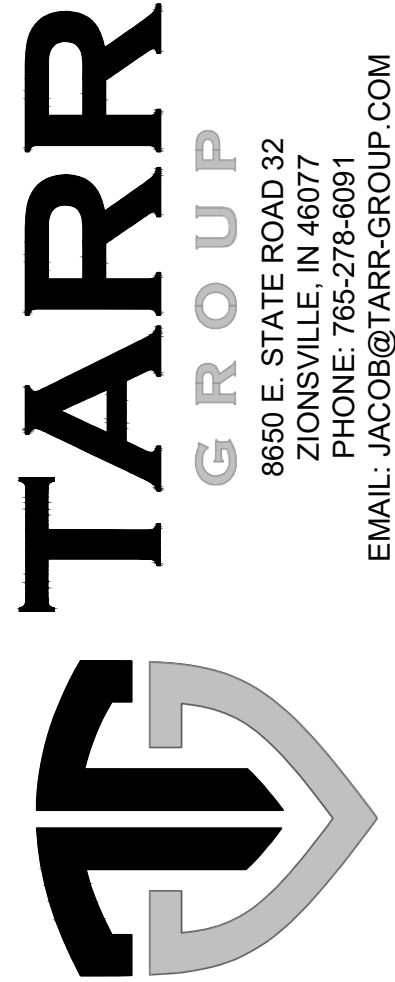
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PLEASE SEE FULL SIZE SHEET FOR ACTUAL SCALING. NOT TO SCALE THIS SHEET.



NC Firm #P-1919



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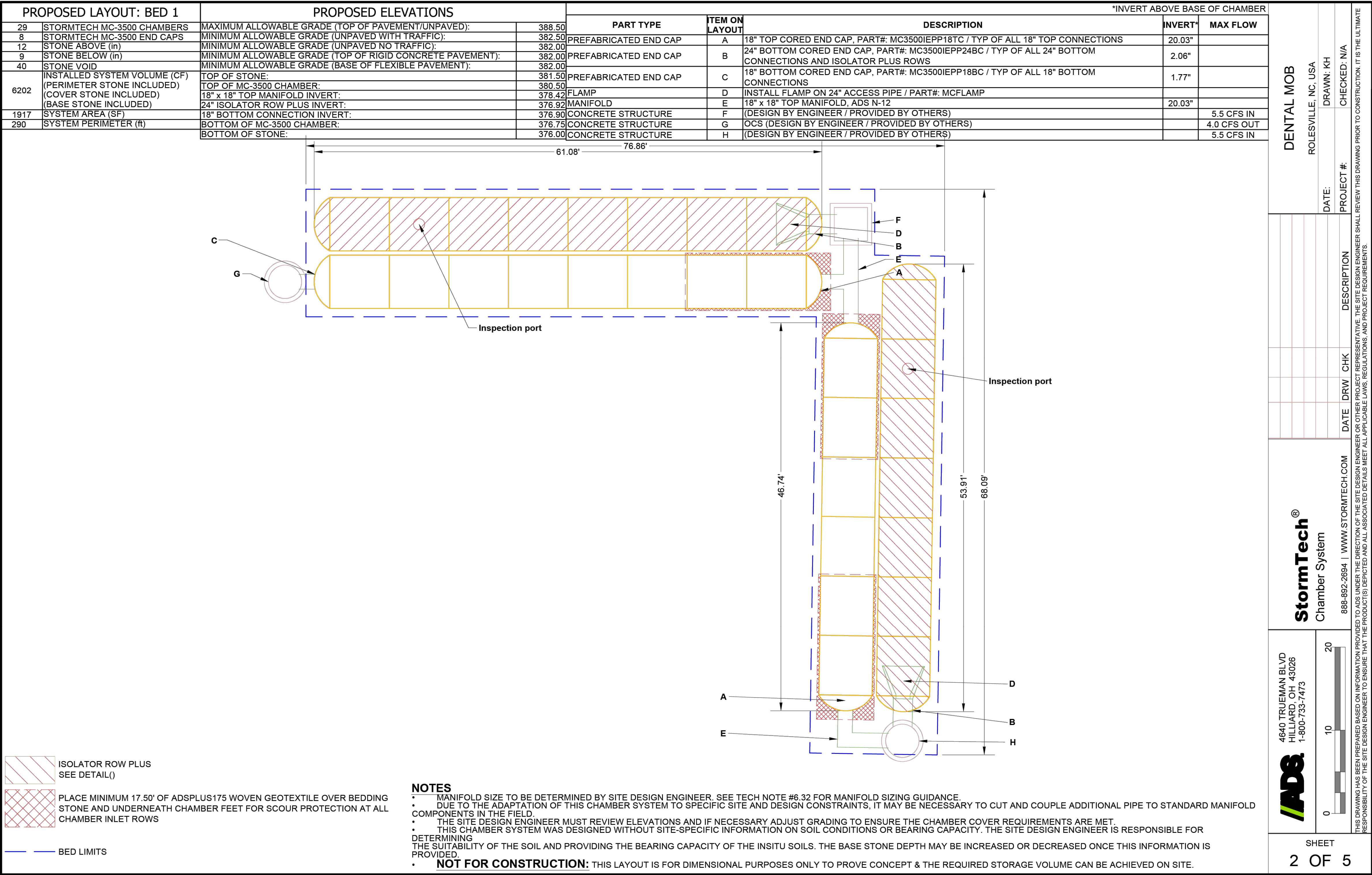
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UNDERGROUND BMP
MDC REQUIREMENTS

C4.4

21040 - C4.3 BMP PLAN AND PROFILE.dwg



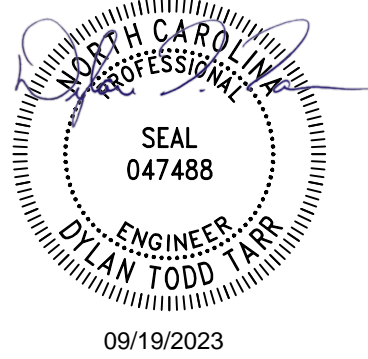
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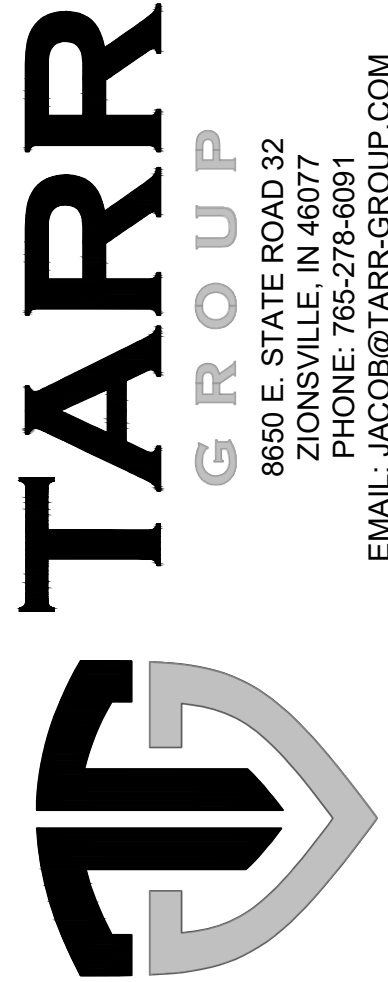
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UNDERGROUND
DETENTION DETAILS

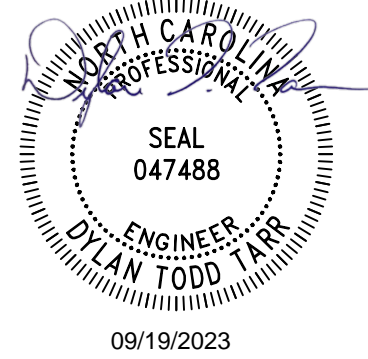
C4.5

21040 - C4.3 BMP PLAN AND PROFILE.dwg

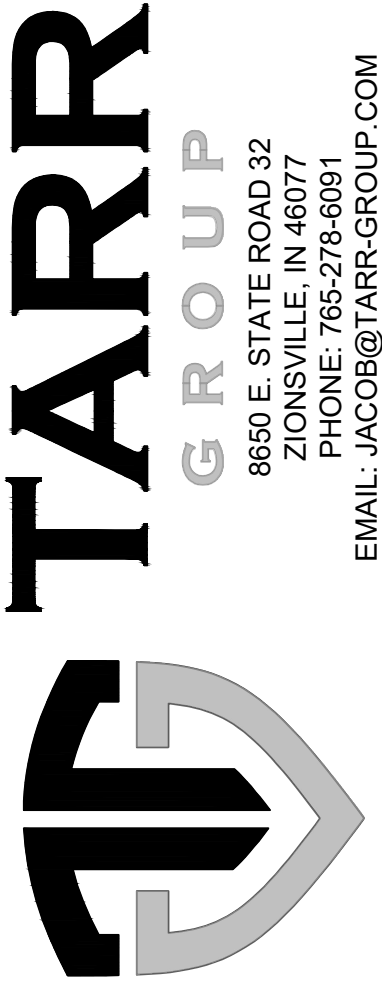


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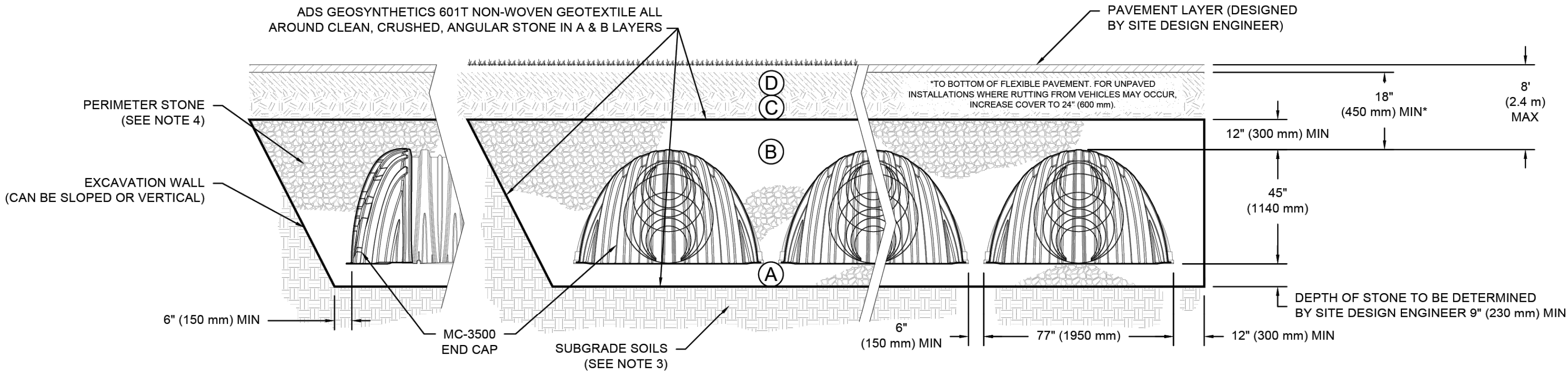
C4.6

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION		DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT/%. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

DENTAL MOB
ROLESVILLE, NC, USA

DATE: PROJECT #:
DRAWN: KH CHECKED: N/A

StormTech®
Chamber System

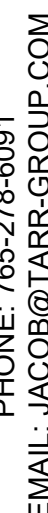
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HILLIARD, OH 43026
1-800-733-7473

ADG

SHEET
3 OF 5

THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED TO ADG UNDER THE DIRECTION OF THE SITE DESIGN ENGINEER OR OTHER PROJECT REPRESENTATIVE. THE SITE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION. IT IS THE ULTIMATE RESPONSIBILITY OF THE SITE DESIGN ENGINEER TO ENSURE THAT THE PRODUCT(S) DEPICTED AND ALL ASSOCIATED DETAILS MEET ALL APPLICABLE LAWS, REGULATIONS, AND PROJECT REQUIREMENTS.



ROLESVILLE DENTAL OFFICE
WMG DEVELOPMENT, LLC
908 S MAIN ST.
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PROJ. NO.: 21040

UNDERGROUND DETENTION DETAILS

C4.7



INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
- A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
- A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
- A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
- B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
- B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
- i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
- ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
- B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

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1-800-733-7473

SHEET
OF 5

DESCRIPTION	DATE	DRW	CHK	PROJECT #	ISSUED: 10/1
THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION FROM THE DIRECTION OF THE SITE DESIGN ENGINEER OR OTHER PROJECT REPRESENTATIVE. THE SITE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION. IT IS THE ULTIMATE RESPONSIBILITY OF THE SITE DESIGN ENGINEER TO ENSURE THAT THE PRODUCT(S) DEPICTED AND ALL ASSOCIATED DETAIL S MEET ALL APPLICABLE LAWS, REGULATIONS, AND PROJECT REQUIREMENTS.	000-052-2054	WWW.STONMTECH.COM			

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:



City of Raleigh Development Approval

PLEASE SEE FULL SIZE SHEET FOR ACTUAL SCALING. NOT TO SCALE THIS SHEET.

FOLLOW ALL NC DEQ MANUAL STANDARDS AND DETAILS FOR CONSTRUCTION OF BIORETENTION AND INFILTRATION BMPS

PROJECT INFORMATION	
ENGINEERED PRODUCT MANAGER	
ADS SALES REP	
PROJECT NO.	



DENTAL MOB

ROLESVILLE, NC, USA

MC-3500 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-3500.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT³%, THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM

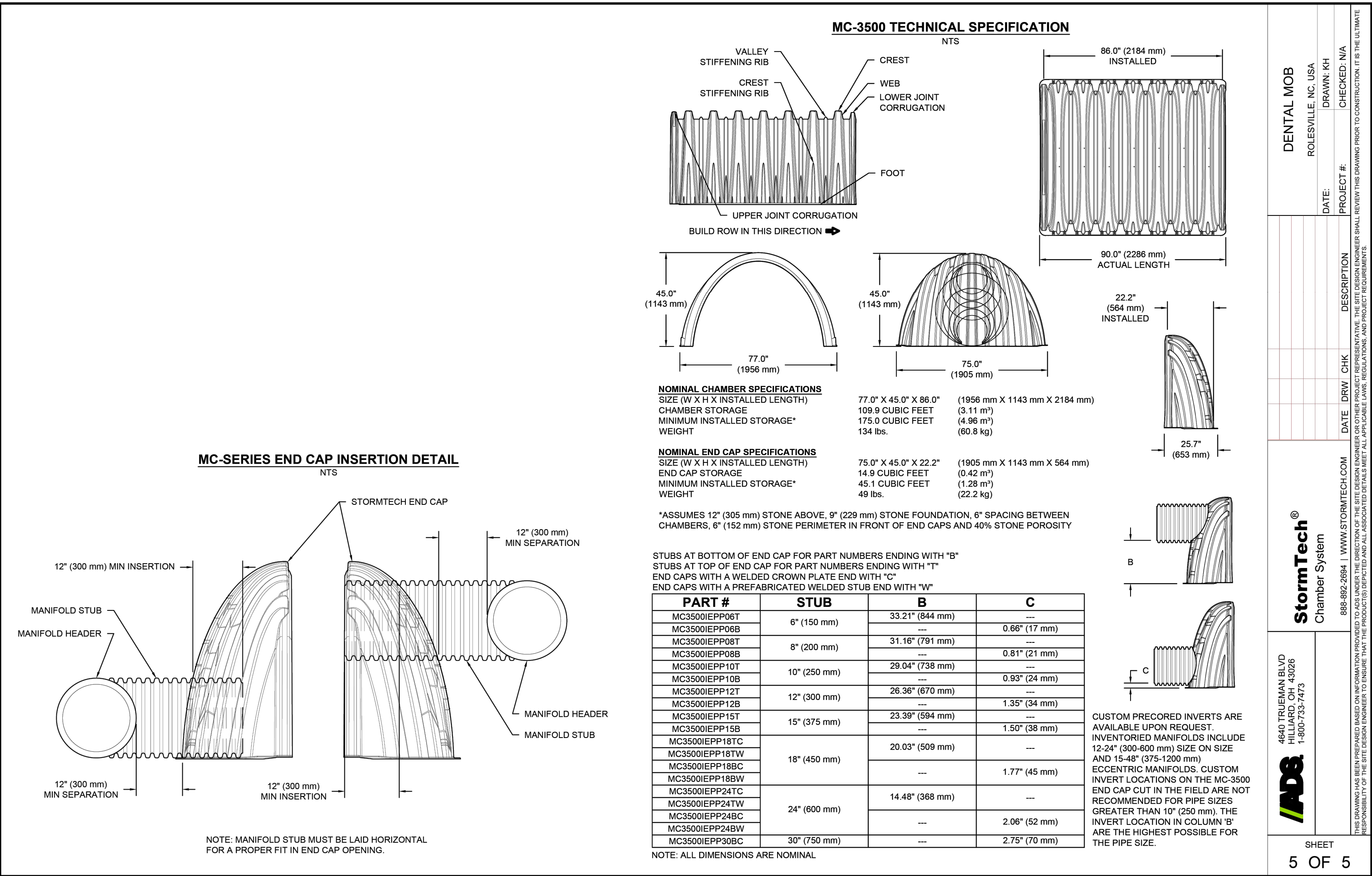
- STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- THE USE OF EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER Tired LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2894 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

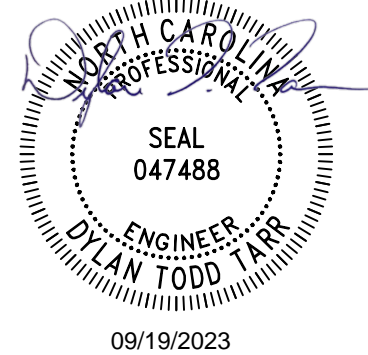
Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

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FOLLOW ALL NC DEQ MANUAL STANDARDS AND DETAILS FOR CONSTRUCTION OF BIORETENTION AND INFILTRATION BMPS



NC Firm #P-1919



8650 E. STATE ROAD 32
ZIONSVILLE, IN 46077
PHONE: 765-226-8891
EMAIL: JACOB@TARR-GROUP.COM

ROLESVILLE DENTAL OFFICE
WMG DEVELOPMENT, LLC
908 S MAIN ST.
ROLESVILLE, N.C.

ORIGINAL ISSUE DATE: 01/05/22

REVISIONS:

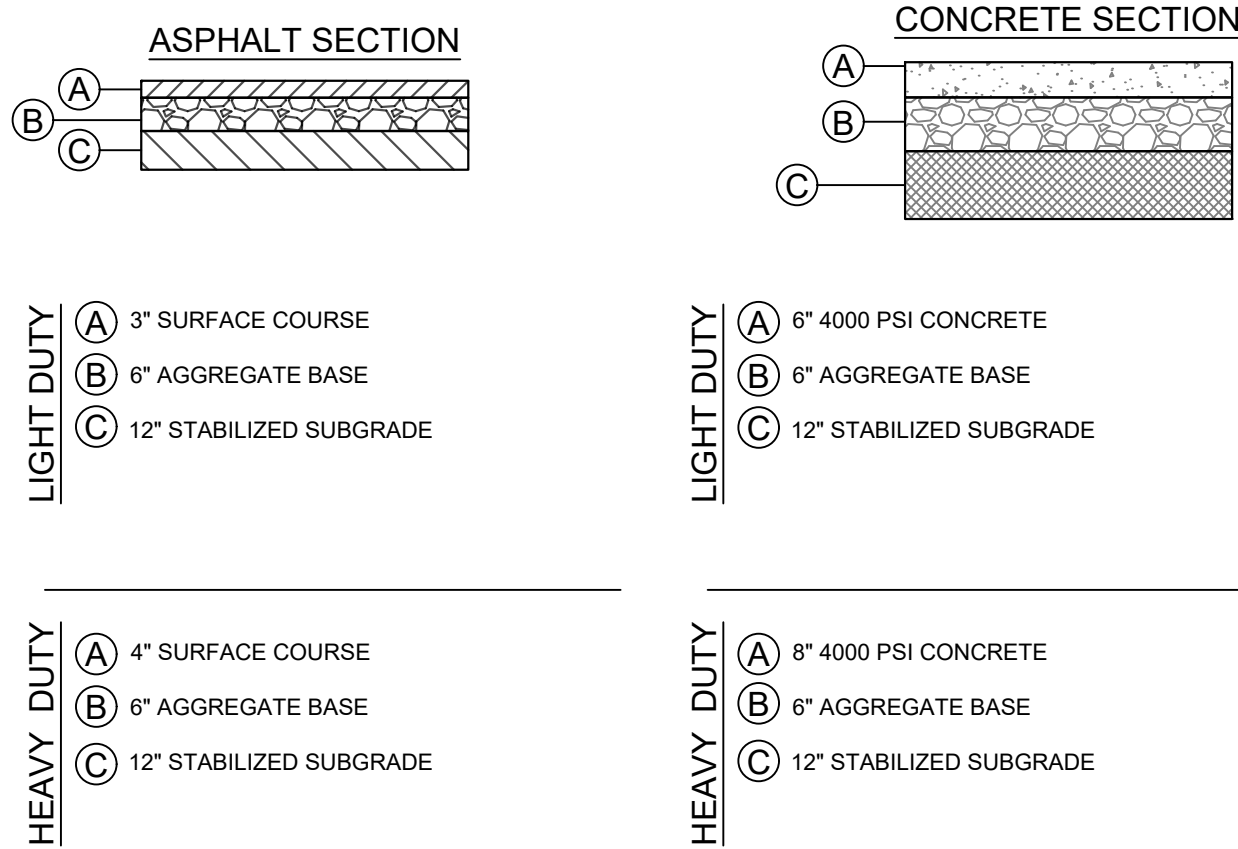
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2	REVISION 2	04/13/2022
3	REVISION 3	06/22/2022
4	REVISION 4	09/01/2022
5	REVISION 5	10/03/2022
6	REVISION 6	01/13/2023
7	REVISION 7	07/20/2023
8	REVISION 8	09/18/2023

PROJ. NO.: 21040

UNDERGROUND
DETENTION DETAILS

C4.8

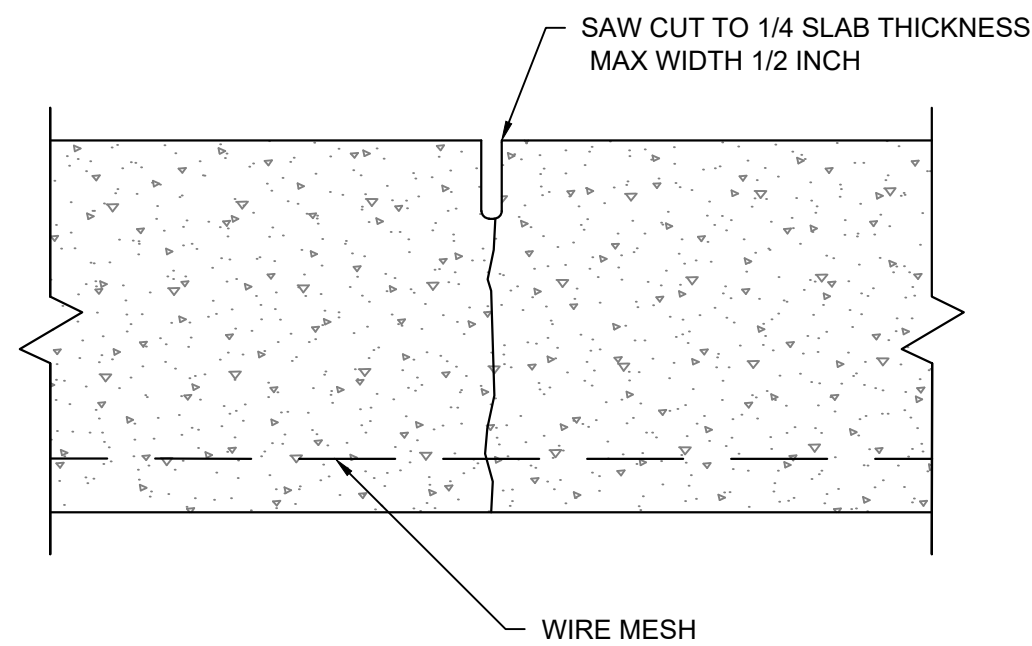
21040 - C5.X DETAILS.dwg



- NOTES:
- REFER TO GEOTECHNICAL INVESTIGATION PREPARED BY PARTNER, PROJECT #21-321152.2, DATED JUNE 23, 2021.
 - PAVEMENT CONSTRUCTION AND COMPONENTS SHOULD MEET NCDOT SPECIFICATIONS.

1 PAVEMENT SECTIONS

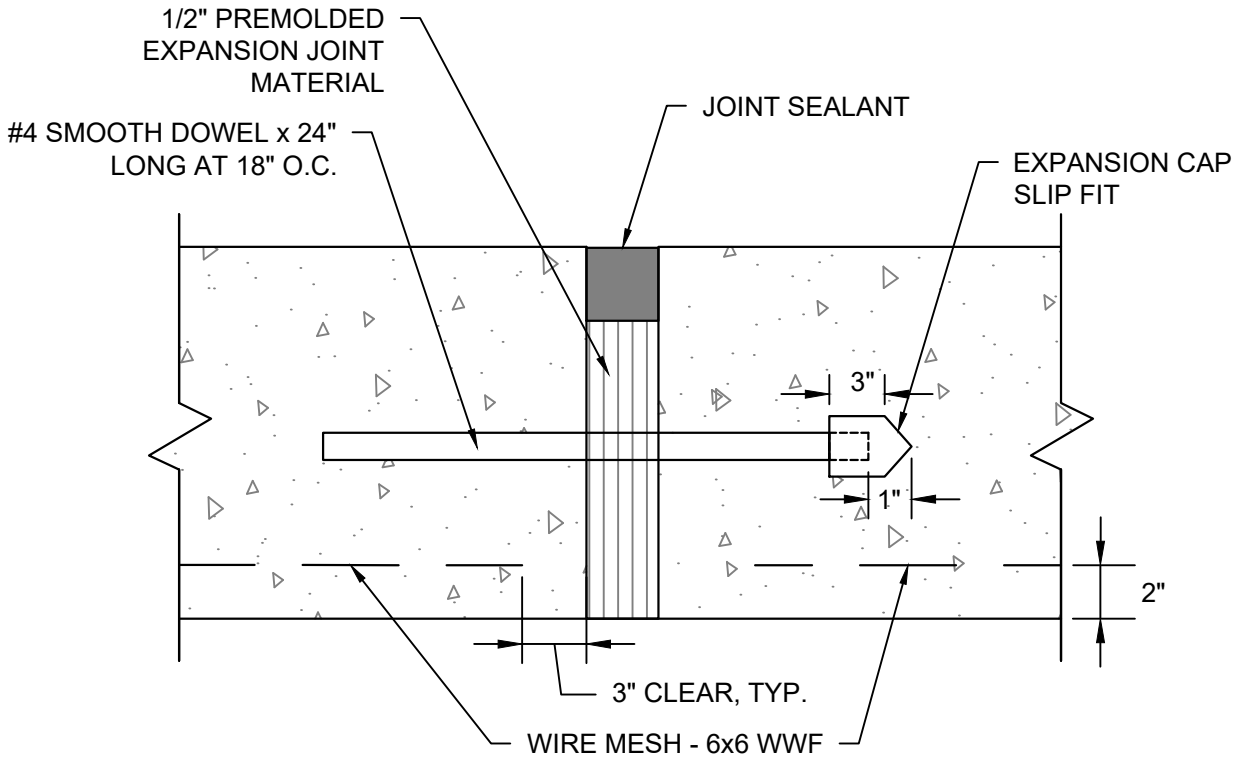
NTS



NOTE: CONTRACTION JOINTS TO BE SPACED EVERY 10'

2 CONTRACTION JOINTS IN CONCRETE

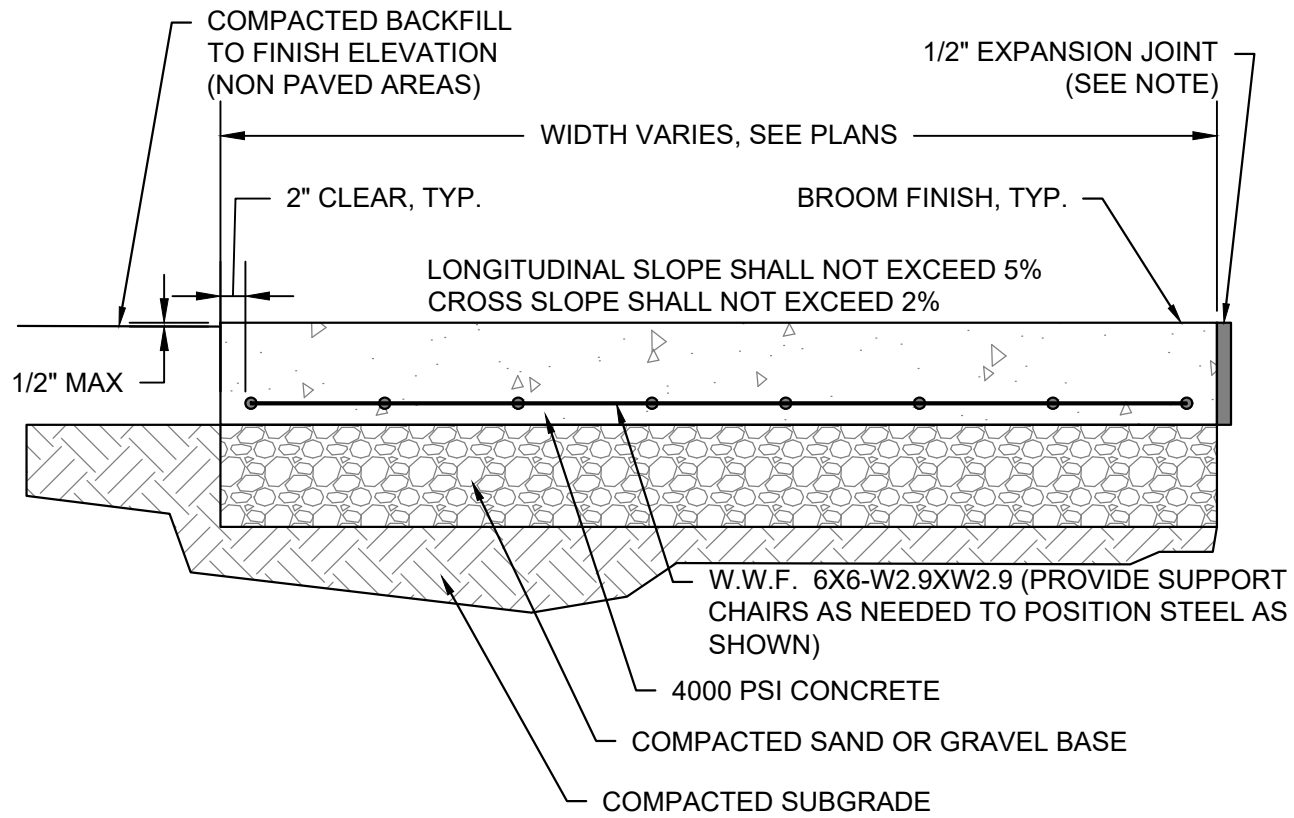
NTS



- PARKING LOT EXPANSION JOINTS TO BE INSTALLED IN 3 LOCATIONS:
- IN THE PARKING LOT LIMITS ALONG A LINE EXTENDED FROM THE FACE OF THE BUILDING.
 - ALONG THE PERIMETER OF THE DUMPSTER WHERE IT ABUTS CONCRETE PAVEMENT.
 - ALONG CONNECTION OF PARKING LOT TO ANY CONCRETE DRIVEWAY RAMPS.

3 EXPANSION JOINT FOR CONCRETE PAVEMENT

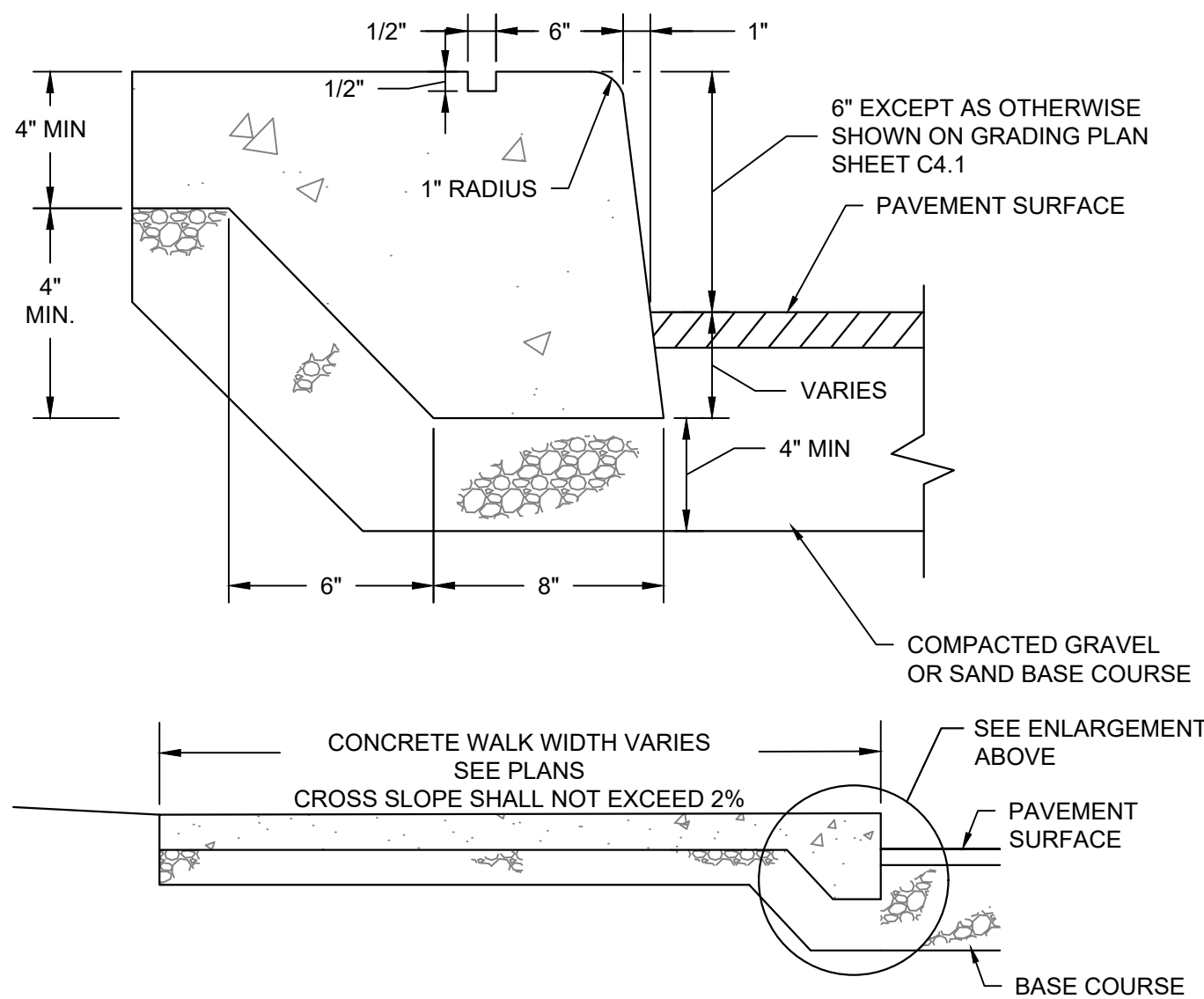
NTS



- NOTES:
- PROVIDE WEAKENED PLANE (SAW CUT OR TOOLED) CONTROL JOINTS AT 5'-0" ON CENTER.
 - PROVIDE EXPANSION JOINTS AT 50'-0" (MAX) ON CENTER AND CONTINUOUSLY BETWEEN SIDEWALK AND WALLS OR OTHER STRUCTURES

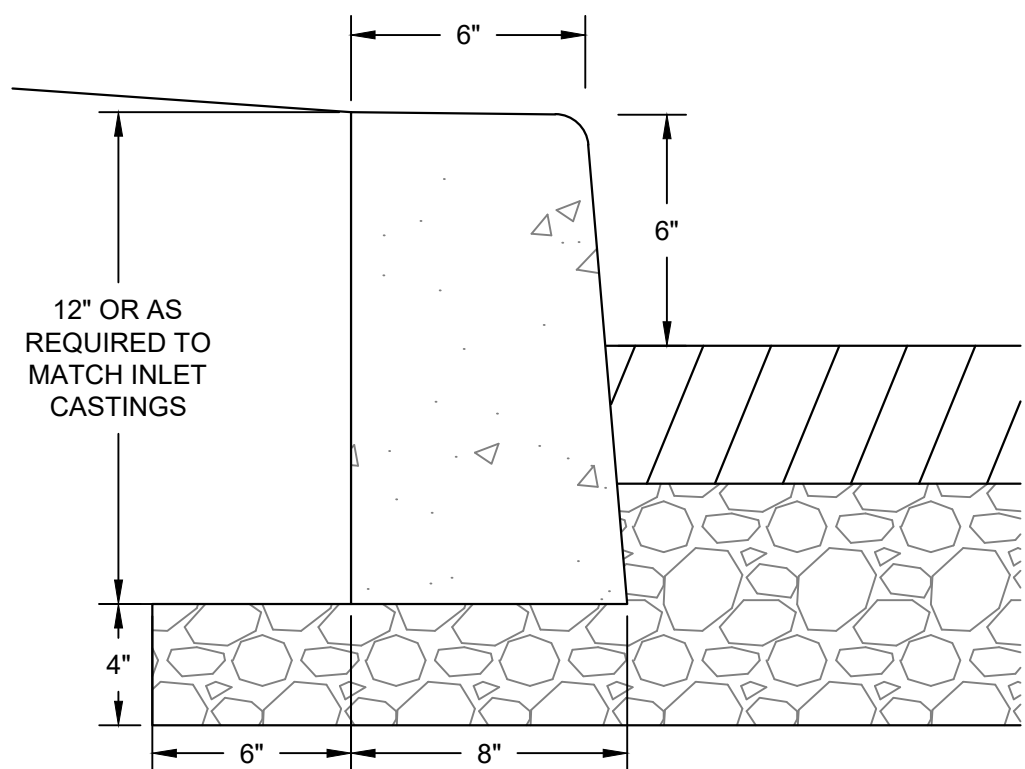
4 CONCRETE SIDEWALK SECTION

NTS



5 CONCRETE SIDEWALK HEADER SECTION

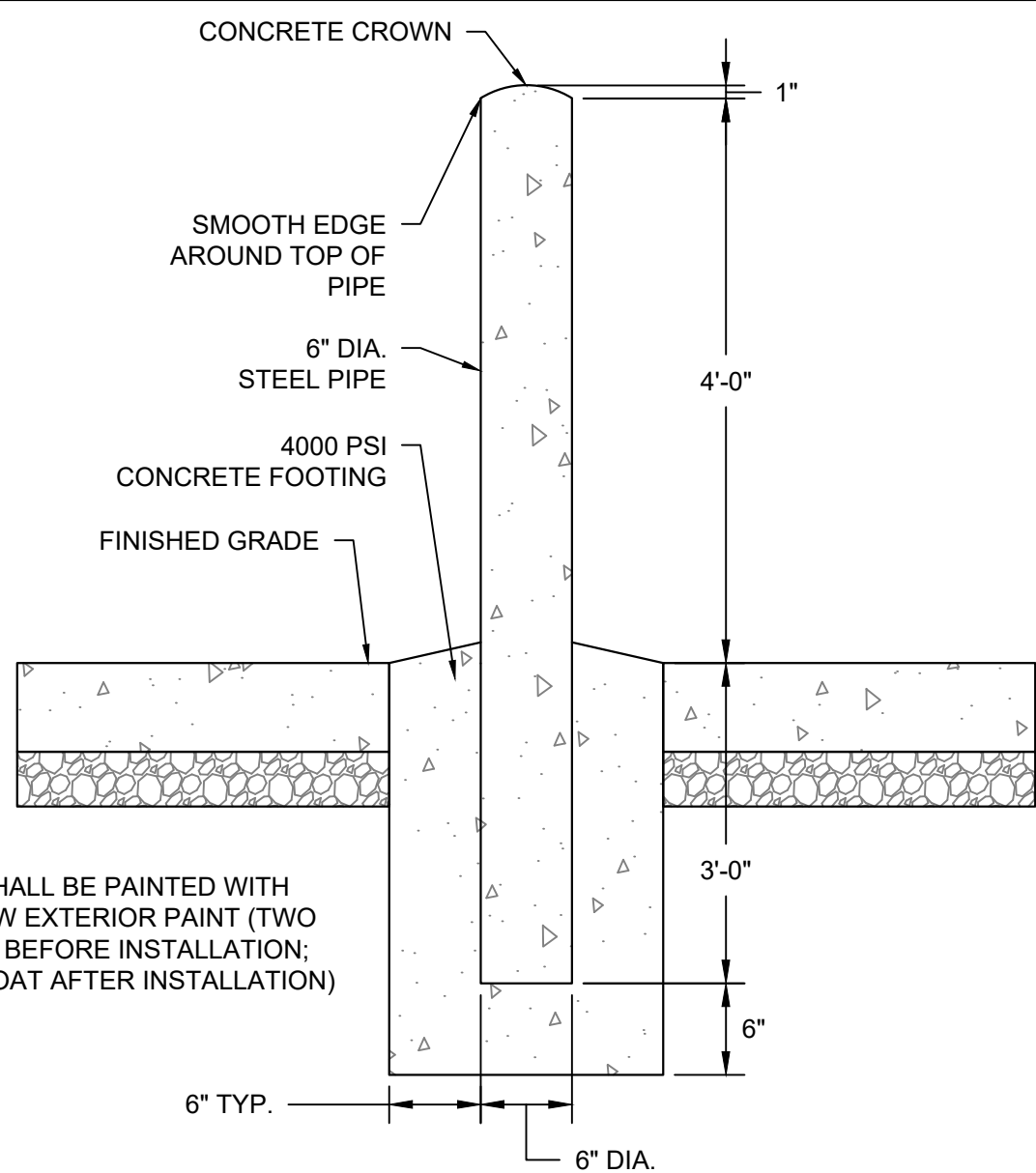
NTS



- NOTES:
- CURB SHALL BE CONSTRUCTION IN 10-FOOT LENGTHS, OR EXTRUDED AND THEN SAWCUT AT 10-FOOT INTERVALS TO A DEPTH OF 1-3/4 INCHES.
 - 1/2-INCH EXPANSION JOINTS SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 50 FEET, AT THE ENDS OF RETURNS AND AT ALL POINTS WHERE THE NEW CURB ABUTS OTHER CONCRETE STRUCTURES OR INLET CASTINGS.
 - ALL CONCRETE SHALL BE 4000 PSI (TYP.)
 - CURB HEIGHT TO BE 6 INCHES UNLESS OTHERWISE NOTED ON GRADING PLAN, SHEET C4.1

6 CONCRETE POST CURB

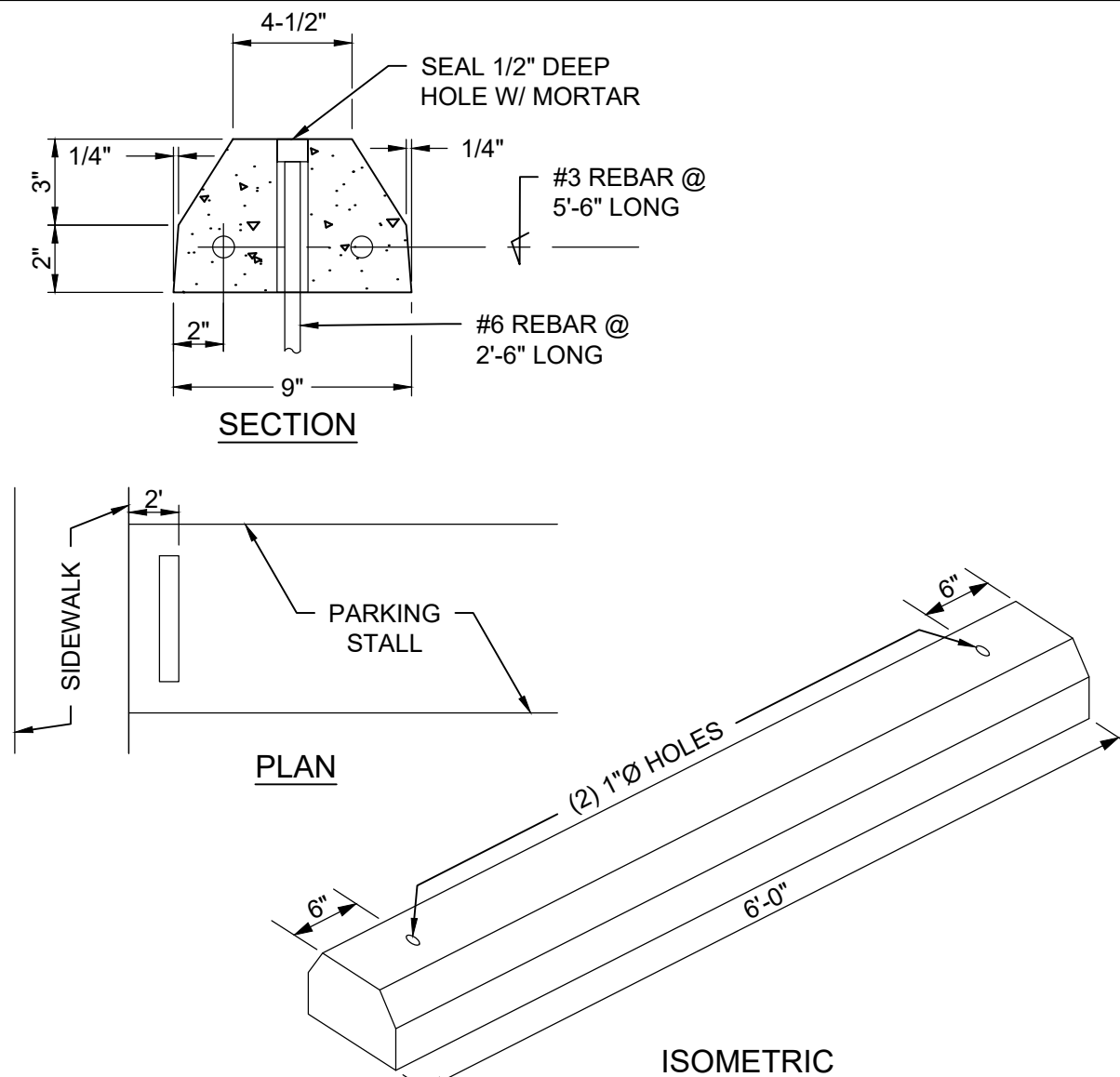
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PIPE SHALL BE PAINTED WITH YELLOW EXTERIOR PAINT (TWO COATS BEFORE INSTALLATION; ONE COAT AFTER INSTALLATION)

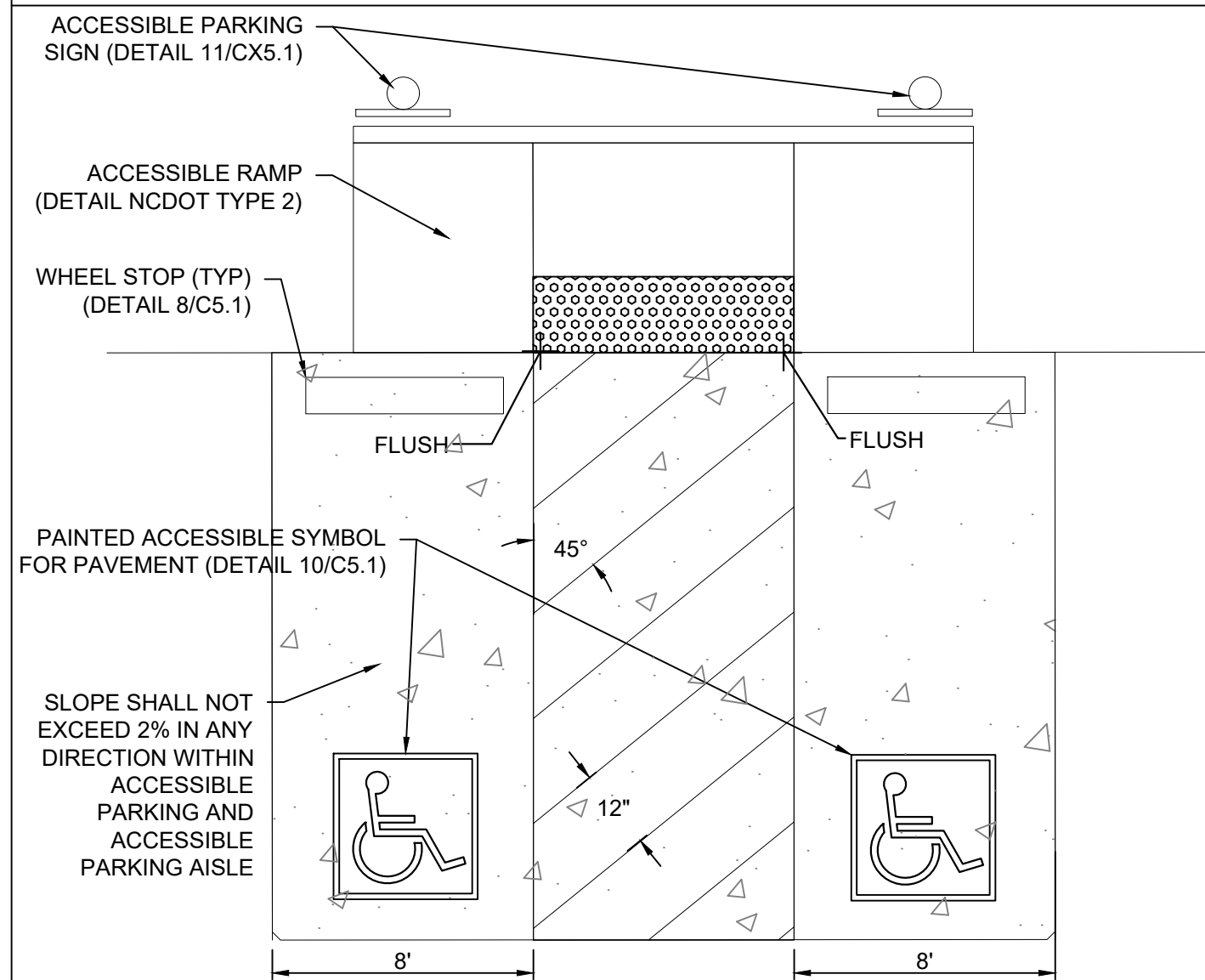
7 BOLLARD

NTS



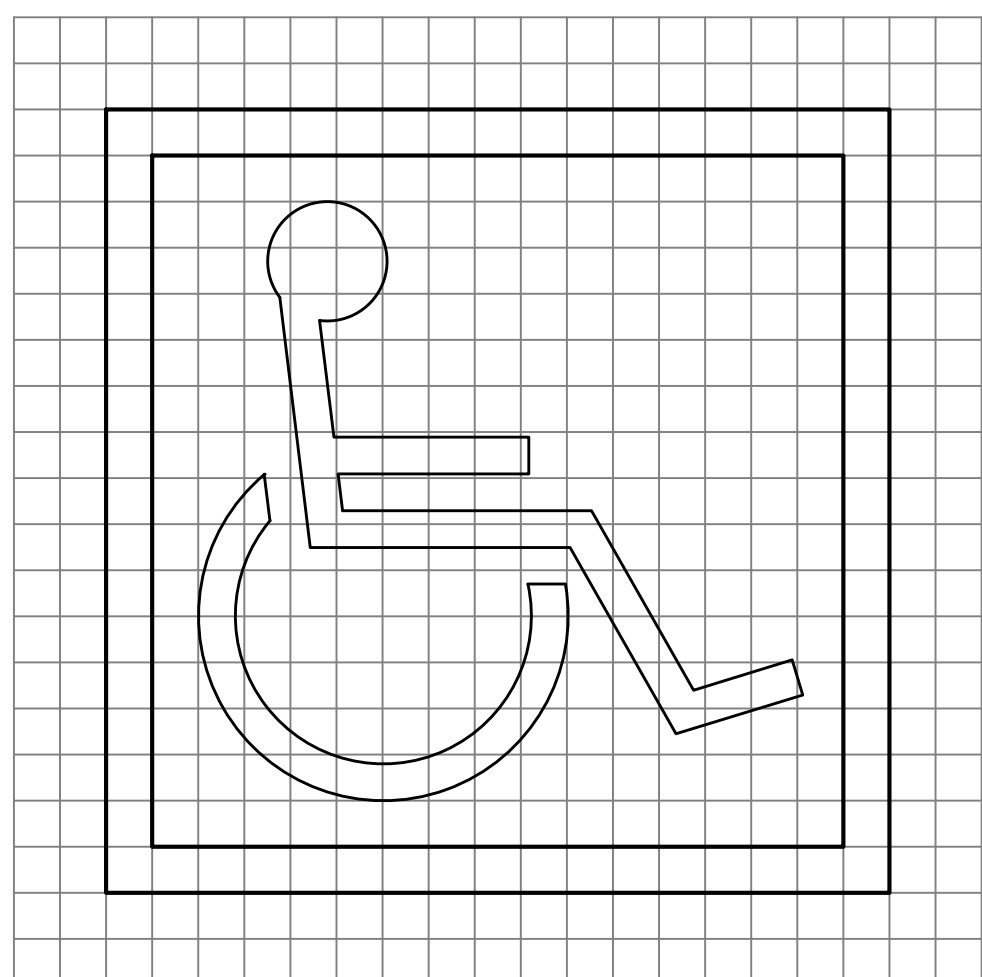
8 PRECAST CONCRETE WHEEL STOP

NTS



9 ACCESSIBLE PARKING LAYOUT

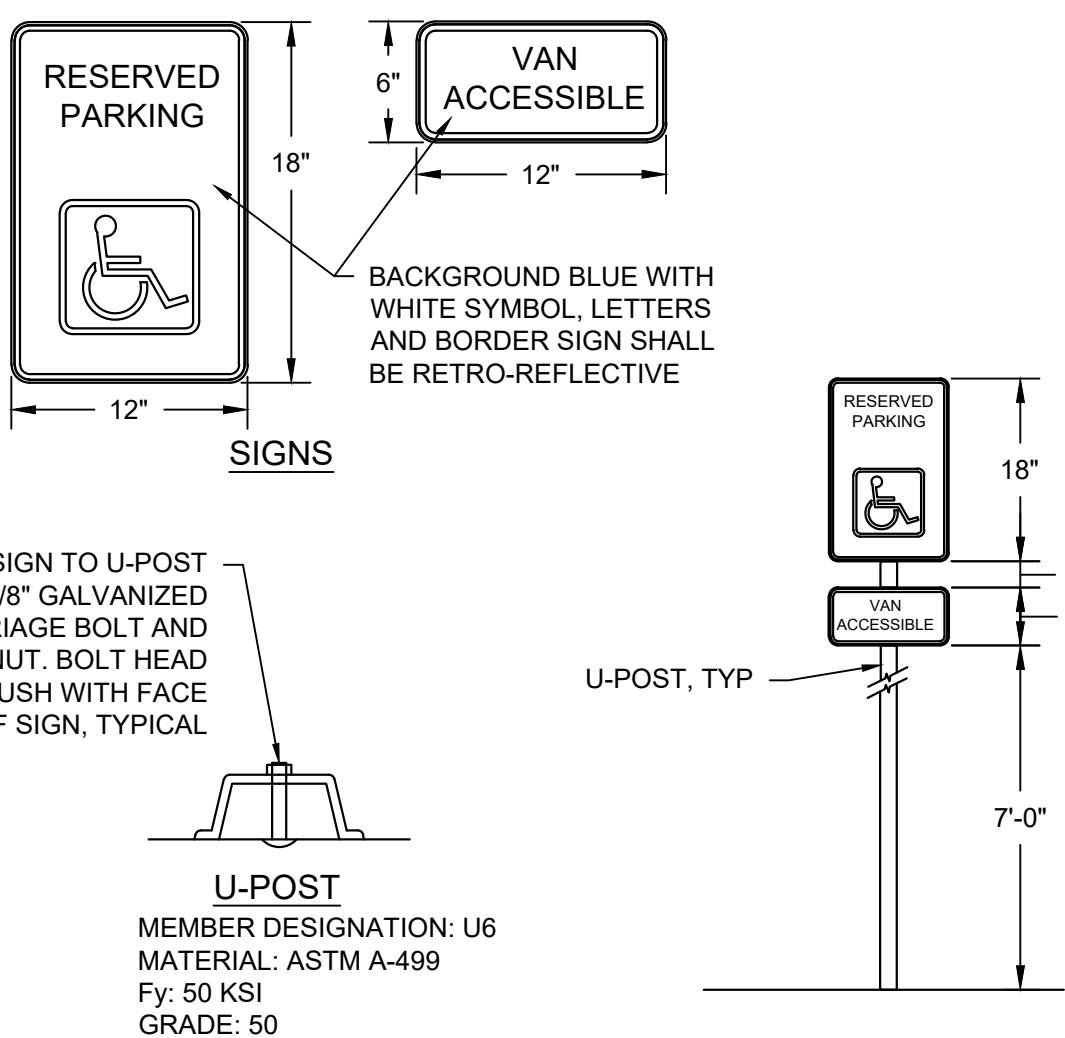
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4'x4' GRID PROVIDED FOR LAYOUT OF SYMBOL. PROVIDE PAINT COLORS IN ACCORDANCE WITH ADA AND LOCAL REQUIREMENTS (TYPICALLY WHITE SYMBOL ON BLUE BACKGROUND INSIDE WHITE BORDER).

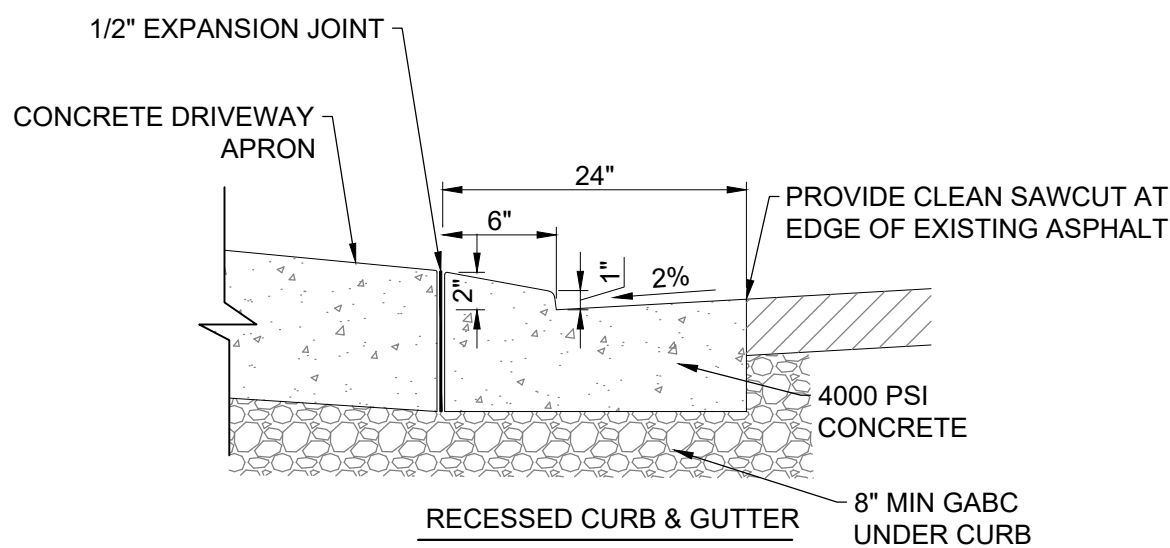
10 PAINTED ACCESSIBLE SYMBOL FOR PAVEMENT

NTS



11 ACCESSIBLE PARKING SIGN

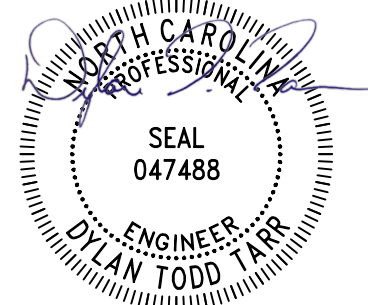
NTS



- NOTES:
- CURB AND GUTTER SHALL BE CONSTRUCTION IN 10-FOOT LENGTHS, OR EXTRUDED AND THEN SAWCUT AT 10-FOOT INTERVALS TO A DEPTH OF 1-3/4 INCHES.
 - 1/2-INCH EXPANSION JOINTS SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 50 AND BETWEEN CURB AND GUTTER AND DRIVEWAY APRON.
 - PITCHED CURB & GUTTER TO BE USED WHERE WATER FLOWS AWAY FROM THE CURB FACE. REFER TO GRADING PLAN, SHEET C3.1. 10-FOOT LONG TRANSITIONS SHALL BE PROVIDED BETWEEN NORMAL AND PITCHED GUTTER.
 - ALL CONCRETE SHALL BE 4,000 PSI (TYP.)
 - REGULAR CURB AND GUTTER SECTION IS 18". GUTTER PAN SHALL BE 18" IN 24" CURB AND GUTTER SECTION.

12 DRIVEWAY CURB AND GUTTER

NTS



09/19/2023

NC Firm #P-1919



ROLESVILLE DENTAL OFFICE
WMG DEVELOPMENT, LLC
908 S MAIN ST.
ROLESVILLE, N.C.

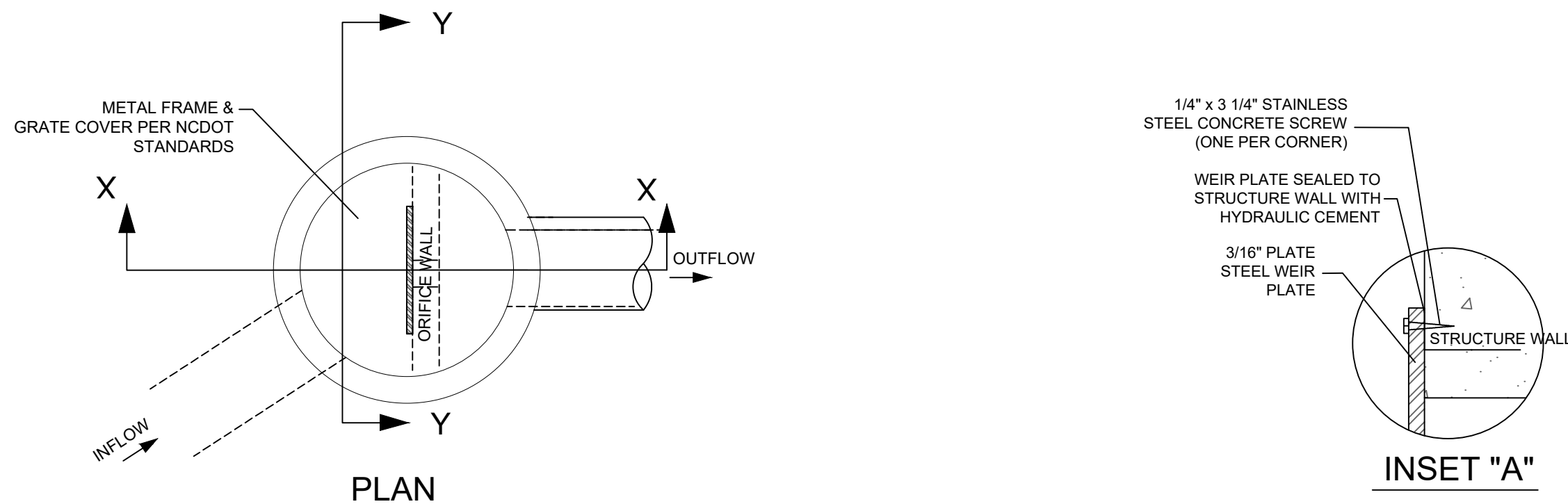
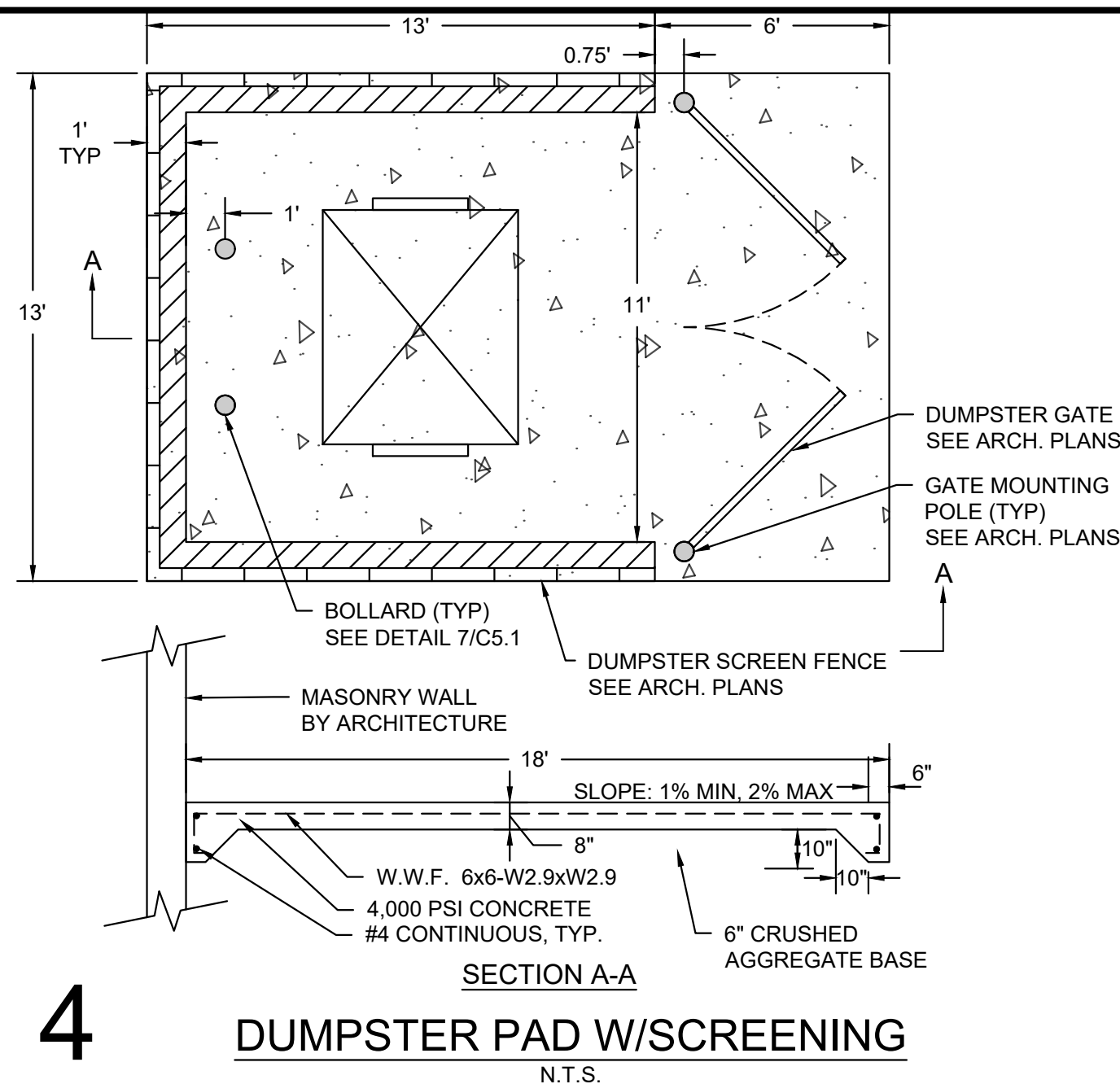
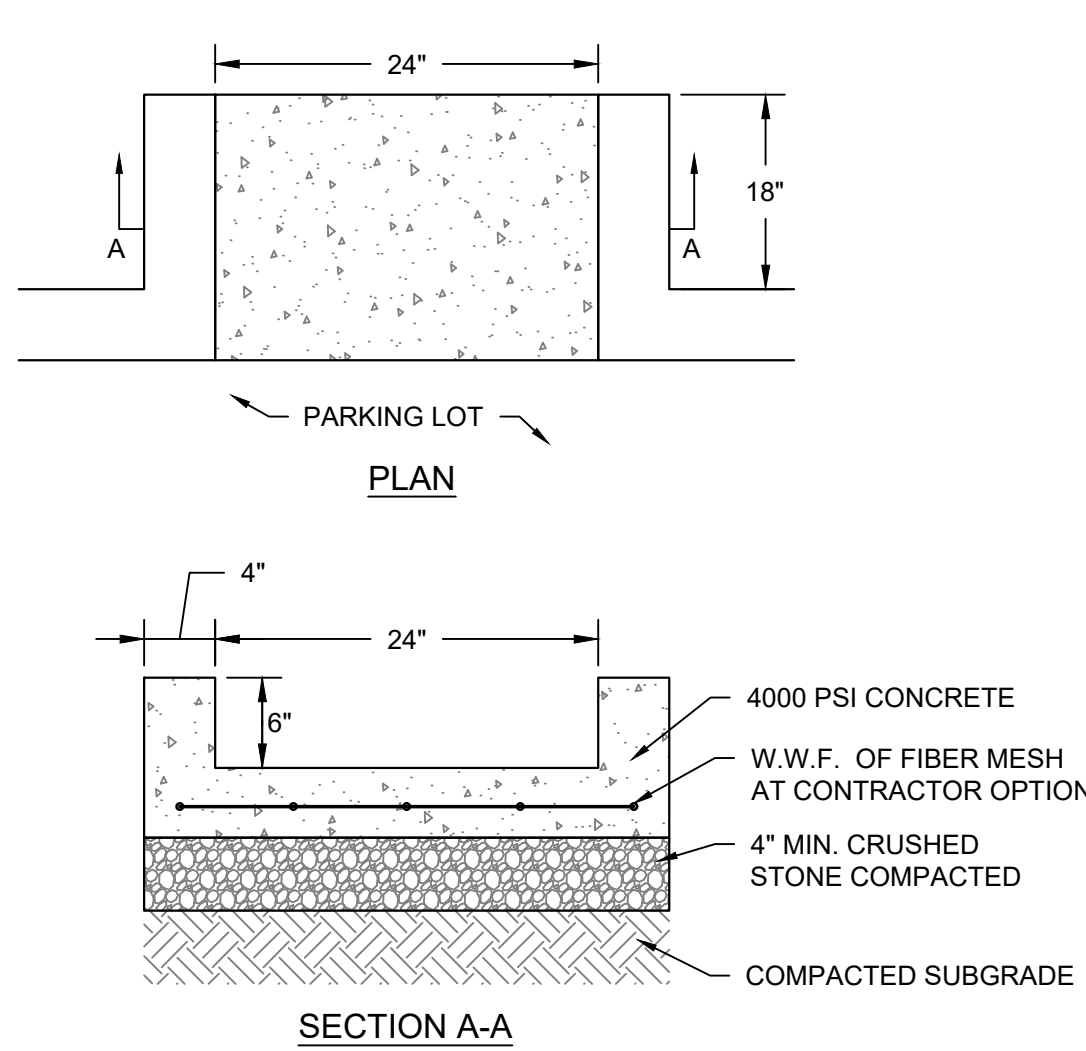
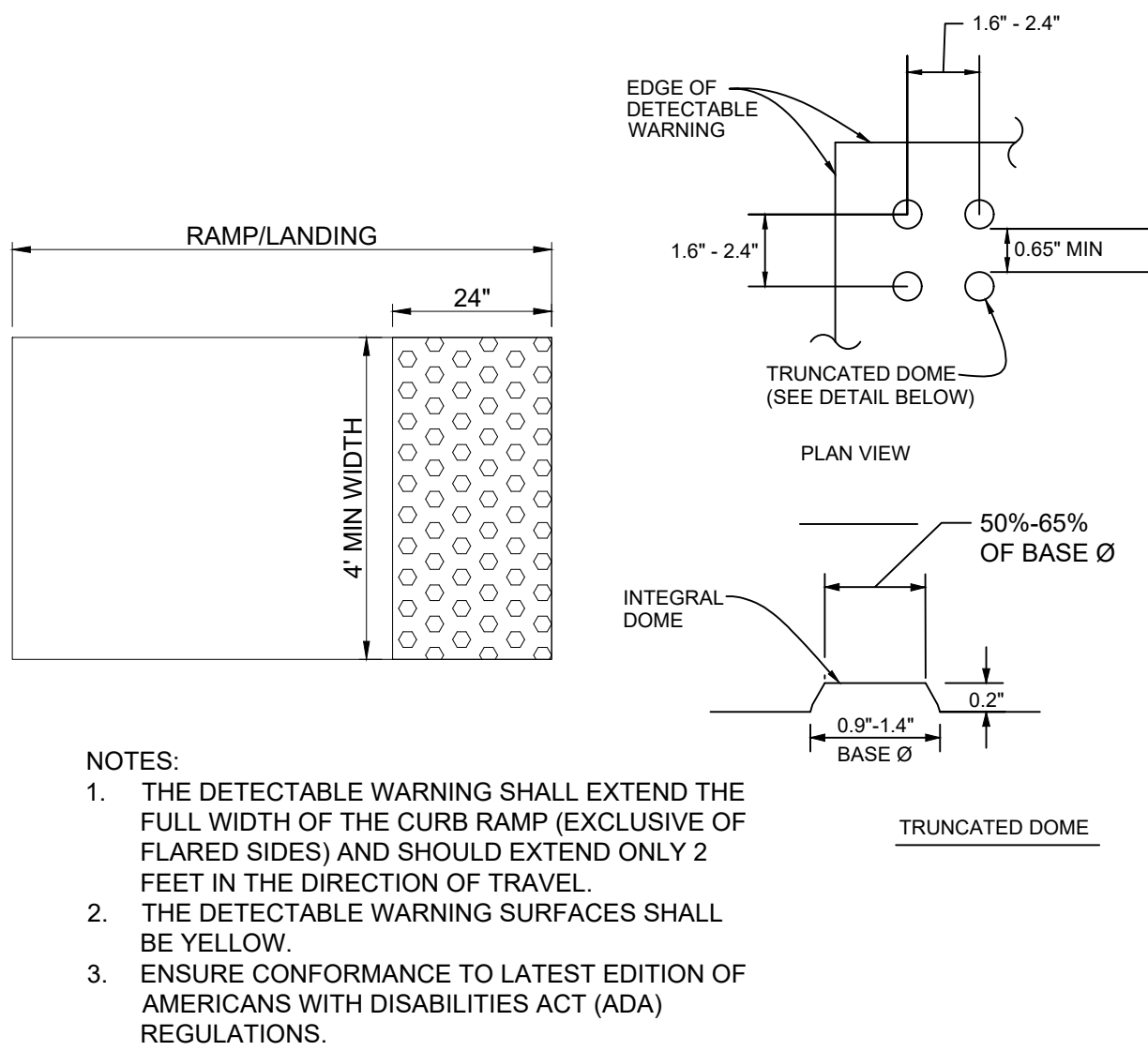
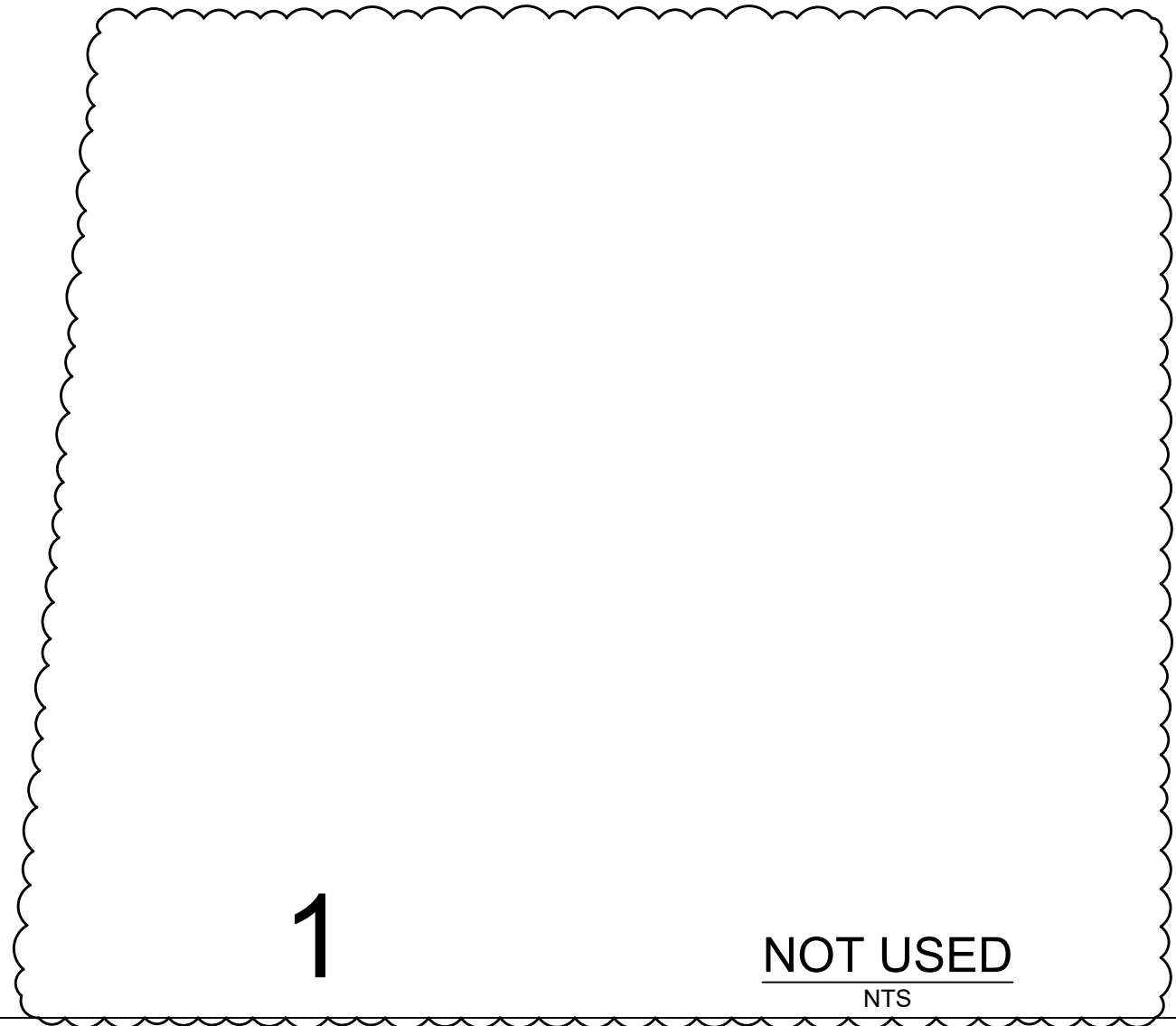
ORIGINAL ISSUE DATE: 01/05/22
REVISIONS:

REVISION	DATE
1	03/28/2022
2	04/13/2022
3	06/22/2022
4	09/01/2022
5	10/03/2022
6	01/13/2023
7	07/20/2023
8	09/18/2023

PROJ. NO.: 21040

CIVIL DETAILS

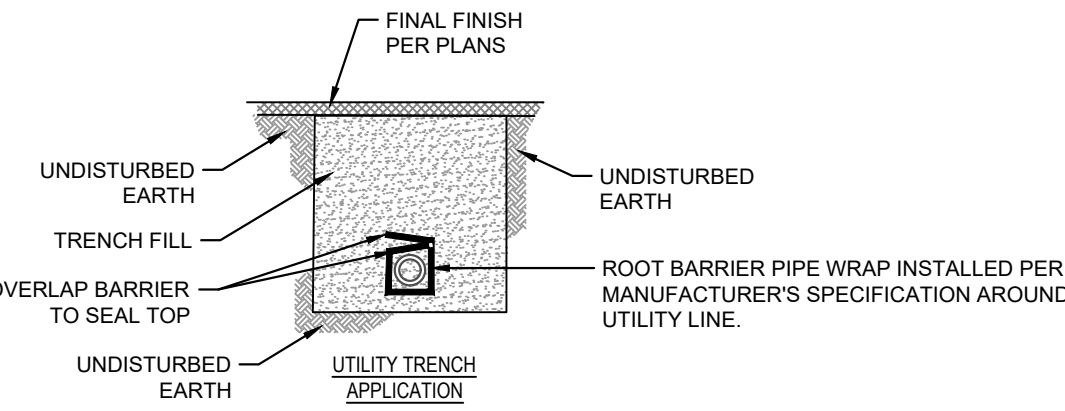
C5.1



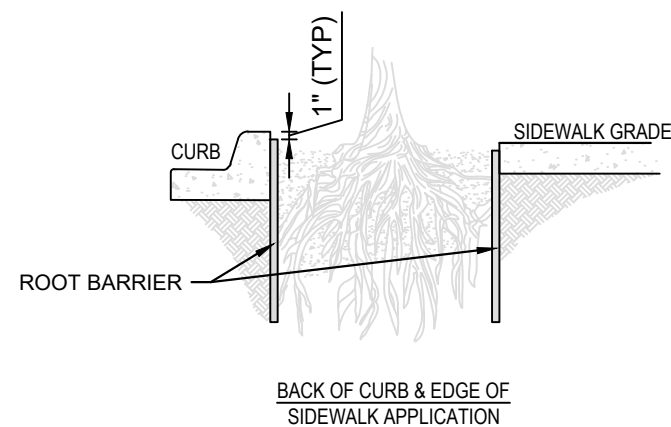
NOTES

- ALL CONCRETE SHALL BE 3600 PSI.
- ALL JOINTS ARE TO BE SEALED WATER TIGHT.
- REFER TO NCDOT STANDARD DRAWINGS FOR BOX CONSTRUCTION.

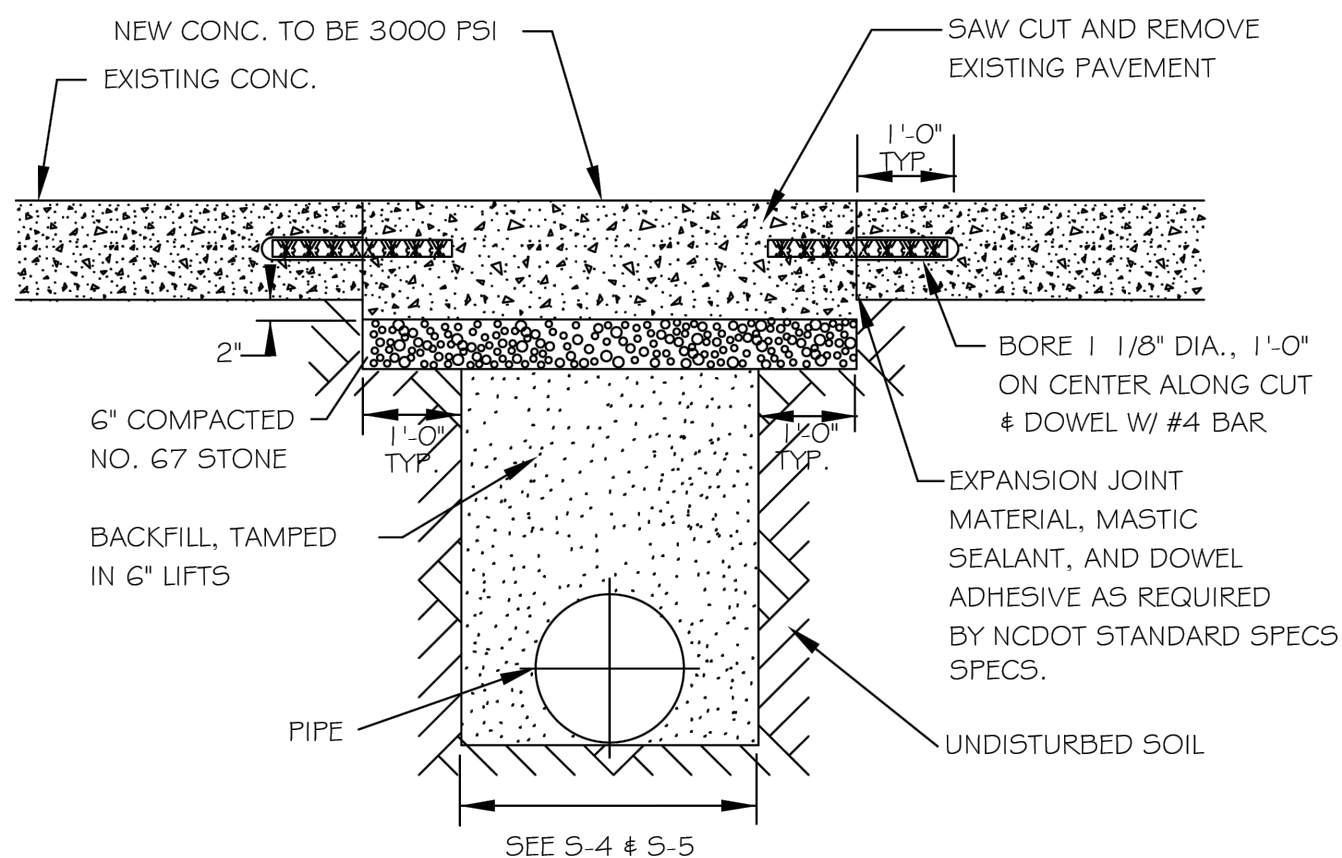
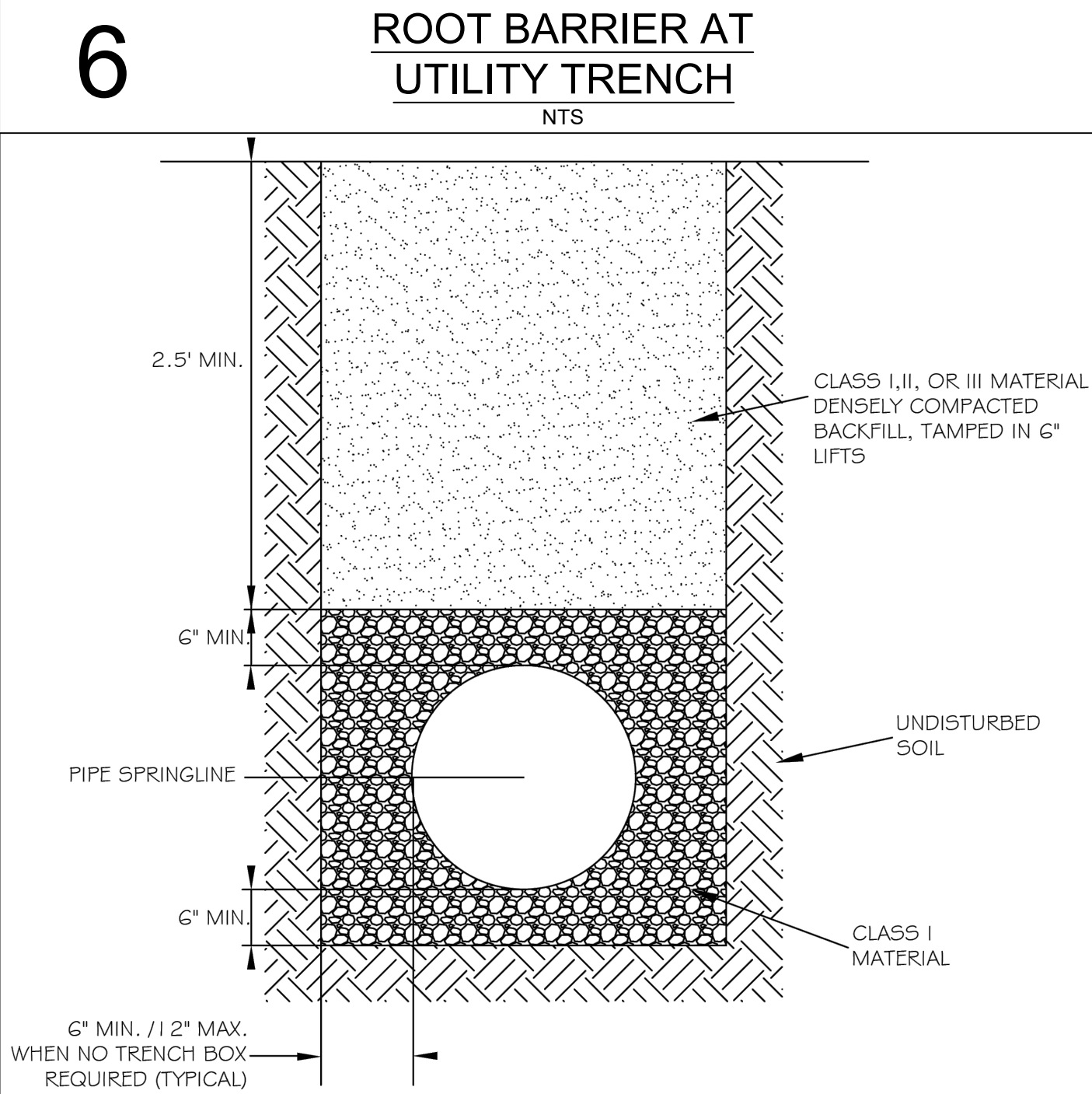
OUTLET STRUCTURES ELEVATIONS TABLE							
STRUCTURE	BASIN	ORIFICE 'A' INVERT ELEV. (FT)	ORIFICE 'A' DIAMETER (IN)	ORIFICE 'B' INVERT ELEV. (FT)	ORIFICE 'B' DIAMETER (IN)	WEIR 'C' ELEV. (FT)	WEIR 'C' AREA (FT^2)
OCS 3.0	SITE	376.00	5.00	377.60	8.00	379.75	4



NOTE: ROOT BARRIER TO BE BIOBARRIER ROOT CONTROL FABRIC BY TYPAR (ITEM CODE 213019), OR CIVIL ENGINEER APPROVED EQUAL. INSTALL BARRIER PER MANUFACTURER'S SPECIFICATIONS.



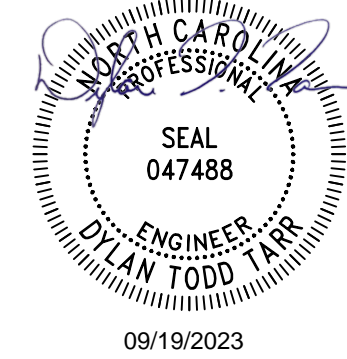
NOTE: ROOT BARRIER TO BE CPU 48-2, UTILITY SERIES PANELS MANUFACTURED BY CENTURY PRODUCTS OR CIVIL ENGINEER APPROVED EQUAL. INSTALL BARRIER PER MANUFACTURER'S SPECIFICATIONS.



- NOTES:
- See City of Raleigh standards for trenches and pipe bedding (S-4 & S-5) for additional details.
 - Pavement cuts over 5'-0" in width shall be reinforced to N.C.D.O.T. standards.
 - Pavement cuts shall be made with an appropriate saw cut machine.
 - Pavement cuts within NCDOT ROW shall conform to the approved on site encroachment permit.

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD BEDDING DETAILS FOR CCFRPM PIPES			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-1	J.P.S	10-8-10	

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD CONCRETE PAVEMENT PATCH DETAIL			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-2	D.W.C. RRH	6-23-99 3-30-00	A.B.B. J.P.S



NC Firm #P-1919



ROLESVILLE DENTAL OFFICE
WMG DEVELOPMENT, LLC
908 S MAIN ST.
ROLESVILLE, N.C.

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6	REVISION 6	01/13/2023
7	REVISION 7	07/20/2023
8	REVISION 8	09/18/2023

PROJ. NO.: 21040

CIVIL DETAILS

C5.2

NOTES:

1. IN NCDOT MAINTAINED ROADWAYS ENCROACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.
2. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.
3. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
4. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-80 AS MODIFIED BY NCDOT.
5. THE ENTIRE THICKNESS AND VERTICAL EDGE OF CUT SHALL BE TACKED.
6. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 2" THICK.
7. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
8. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING (S-4 & S-5) FOR ADDITIONAL DETAILS.
9. NO HAND PATCHING ALLOWED.
10. PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
STANDARD ASPHALT PAVEMENT PATCH DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
S-3	D.W.C.	11-1-99	A.B.B.	4-19-04	
	RRH	3-30-00	J.P.S.	10-8-10	

TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE

NOTES:

1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
S-5	TO NOTES	3-1-87	D.W.C.	9-3-99	
		7-2-82	RRH	3-30-00	

THRUST BLOCKING

NOTES:

1. CONCRETE SHALL BE 3000 PSI.
2. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
3. TRENCHES SHALL CONFORM TO STANDARD DETAIL W-3.
4. SEE STANDARD THRUST BLOCK TABLES, W-10 THRU W-11, FOR AREA OF CONCRETE REQUIRED.
5. ALL BENDS AND INTERSECTIONS SHALL HAVE CONCRETE THRUST BLOCKING.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
STANDARD THRUST BLOCKING VIEWS					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
S-7	D.W.C.	3-1-87	RRH	3-31-00	
		9-7-99	D.H.L.	6-18-08	

TYPICAL SANITARY SEWER LATERAL CONNECTION

NOTES:

1. THE FULL LENGTH OF THE SERVICE DITCH SHALL BE COMPACTED IN 6" LIFTS WITH MECHANICAL TAMPING.
2. ALL TAPS WILL BE MADE USING MECHANICAL TAPPING MACHINE. FOR PVC INSTALLATIONS, SADDLE AND BEND MUST BE BEDDED IN #67 STONE. BEDDING AND HAUNCHING OF PIPE BARREL MUST COMPLY WITH REQUIREMENTS OF DETAIL S-4 OR S-5 ACCORDING TO PIPE MATERIAL.
3. 8", 10" OR 12" TAPPING SADDLE OR IN-LINE WYE.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
TYPICAL SANITARY SEWER LATERAL CONNECTION					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
S-30	Y.C.A.	6-92	A.B.B.	4-8-04	
	RRH	3-30-00	D.H.L.	6-18-08	

CURB AND GUTTER

NOTES:

1. CURB AND GUTTER SHALL BE CONSTRUCTION IN 10-FOOT LENGTHS, OR EXTRUDED AND THEN SAWCUT AT 10-FOOT INTERVALS TO A DEPTH OF 1-3/4 INCHES.
2. 1/2-INCH EXPANSION JOINTS SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 50 FEET, AT THE ENDS OF RETURNS AND AT ALL POINTS WHERE THE NEW CURB AND GUTTER ABUTS OTHER CONCRETE STRUCTURES OR INLET CASTINGS.
3. PITCHED CURB & GUTTER TO BE USED WHERE WATER FLOWS AWAY FROM THE CURB FACE. REFER TO GRADING PLAN, C4.1. 10-FOOT LONG TRANSITIONS SHALL BE PROVIDED BETWEEN NORMAL GUTTER AND PITCHED GUTTER.
4. ALL CONCRETE SHALL BE 4,000 PSI (TYP.)
5. CURB HEIGHT TO BE 6 INCHES UNLESS OTHERWISE NOTED ON GRADING PLAN, SHEET C3.1
6. CONSTRUCT NORMAL GUTTER SLOPE AT 8% SLOPE WHEN DRAINING TOWARDS CURB. CONSTRUCT PITCHED GUTTER AT 4% SLOPE WHEN DRAINING AWAY FROM CURB. WHERE GUTTER IS IN FRONT OF CURB RAMPS OR ACCESSIBLE ROUTES, CONSTRUCT GUTTER AT 1.5% MAX. SLOPE.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
S-31	RRH	3-1-87			
		3-30-00			

LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE

NOTES:

1. BACKFILL UNDER PVC SADDLE, ADAPTOR, AND CAST IRON BEND WITH #67 STONE AS SHOWN ON S-4.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
S-31	RRH	3-1-87			
		3-30-00			

REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS
BASED ON TEST PRESSURE OF 200 P.S.I.

ALL AREAS GIVEN IN SQUARE FEET.

SIZE AND DEGREE OF BEND	STATIC THRUST IN POUNDS	MORTARITY DRY CLAY 400 LBS/ft²	SOFT CLAY 2000 LBS/ft²	1500 LBS/ft² GRAVEL / COARSE SAND	800 LBS/ft² DRY CLAY - ALWAYS DRY	SAND, COMPACT FIRM 800 LBS/ft²	SAND, CLEAN DRY 400 LBS/ft²	SOIL 1000 LBS/ft² QUICK SAND - VERY POOR	ROCK, POOR 10,000 LBS/ft²
6"									
11 1/4°	1,108	1	1	1	1	1	2	1	
22 1/2°	2,207	1	2	2	1	1	3	1	
45°	4,328	2	3	3	1	1	5	1	
90°	7,996	2	4	5	1	1	8	1	
PLUG	5,655	2	3	4	1	1	6	1	
8"									
11 1/4°	1,970	1	1	2	1	1	2	1	
22 1/2°	3,922	1	2	3	1	1	4	1	
45°	7,694	2	4	5	1	1	8	1	
90°	14,215	4	8	9	2	2	15	2	
PLUG	10,053	3	5	6	2	2	10	1	
12"									
11 1/4°	4,433	2	3	3	1	1	5	1	
22 1/2°	8,826	3	5	6	2	2	9	1	
45°	17,312	5	9	11	3	3	18	2	
90°	31,983	8	16	19	4	4	32	4	
PLUG	22,619	6	12	14	3	3	23	3	
16"									
11 1/4°	7,681	2	4	5	1	1	8	1	
22 1/2°	15,691	4	8	10	2	2	16	2	
45°	30,779	8	16	19	4	4	31	4	
90°	56,861	15	29	35	8	8	57	6	
PLUG	40,213	10	21	25	5	5	41	5	

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
THRUST BLOCKING DESIGN QUANTITY TABLE					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-10	D.W.C.	6-23-99			

4" - 24" STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY

NOTES:

1. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
2. SEE STANDARD REACTION BLOCK TABLES, W-10 AND W-11 FOR AREA OF CONCRETE REQUIRED.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
4" - 24" STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-14	Y.C.A.	12-31-91	RRH	3-31-00	
	D.W.C.	9-7-99	J.P.S.	11-1-10	

TARR GROUP, Inc.

8650 E. STATE ROAD 32
ZIONSVILLE, IN 46077
PHONE: 765-226-8891
EMAIL: JACOB@TARR-GROUP.COM

NC Firm #P-1919

ROLESVILLE DENTAL OFFICE
WMG DEVELOPMENT, LLC
908 S MAIN ST.
ROLESVILLE, N.C.

ORIGINAL ISSUE DATE: 01/05/22

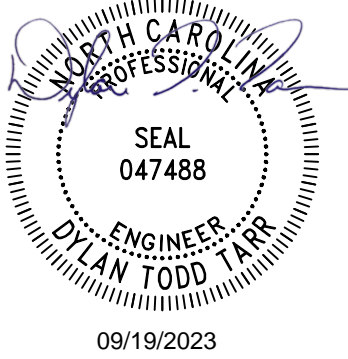
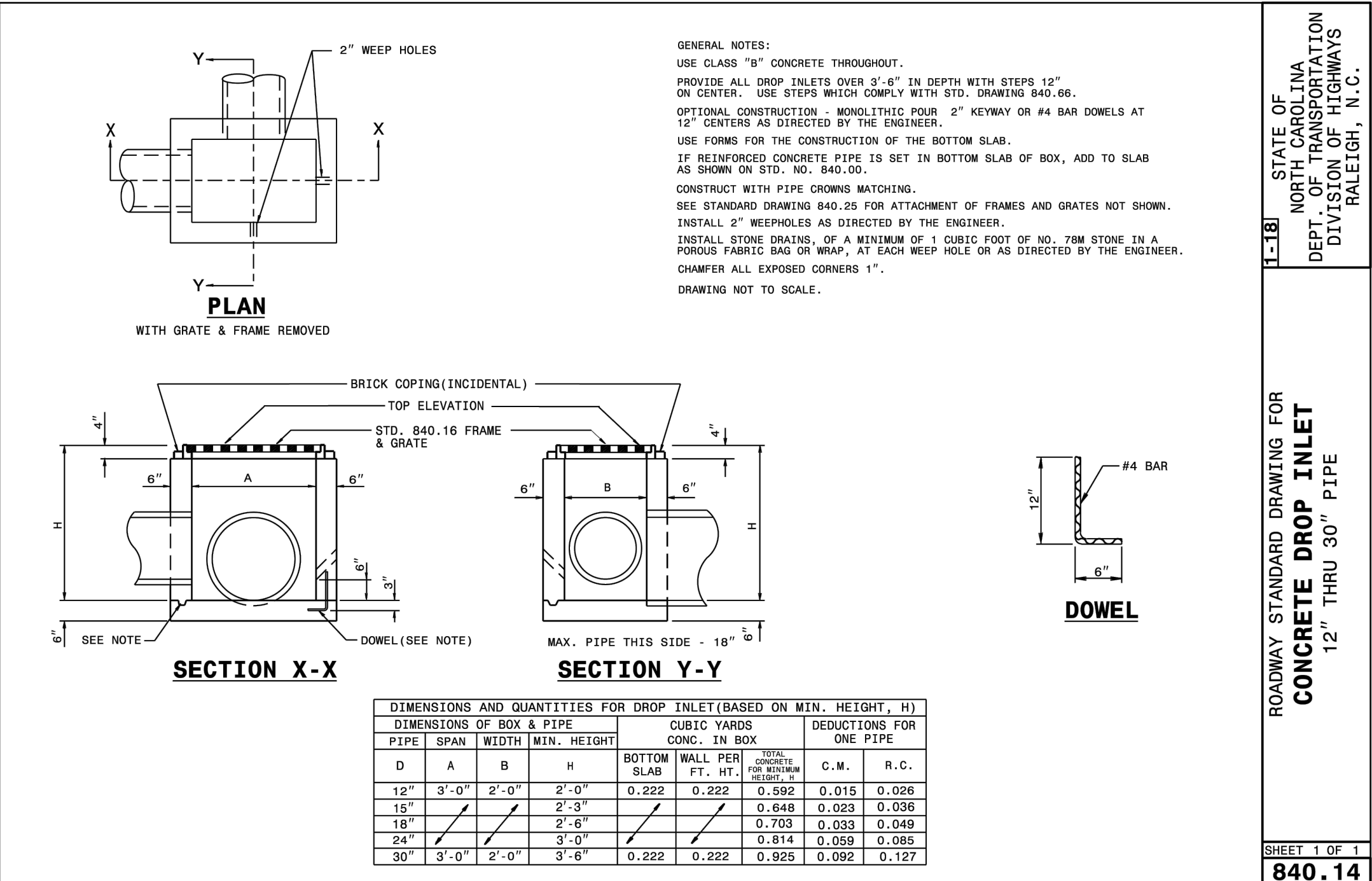
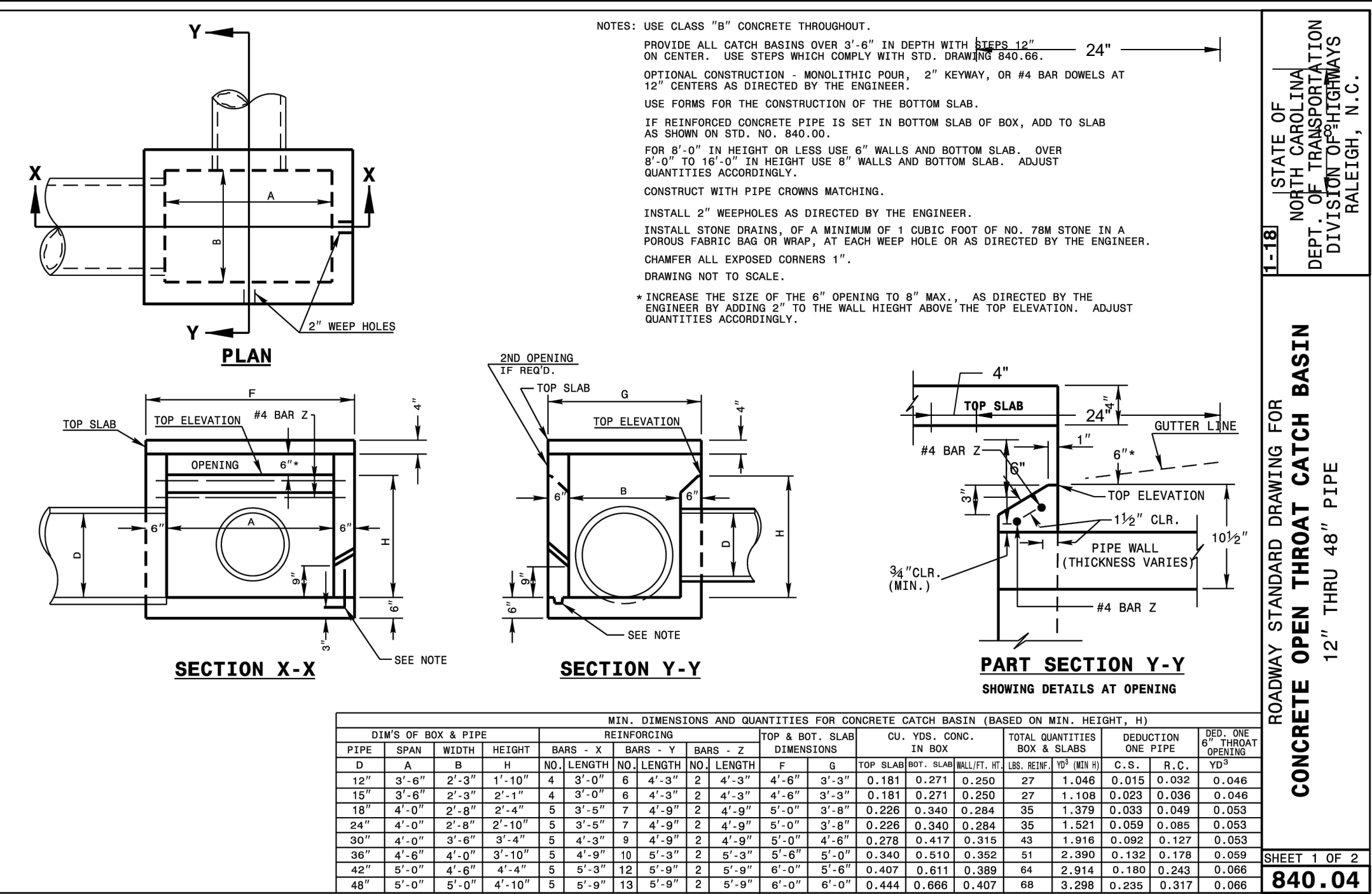
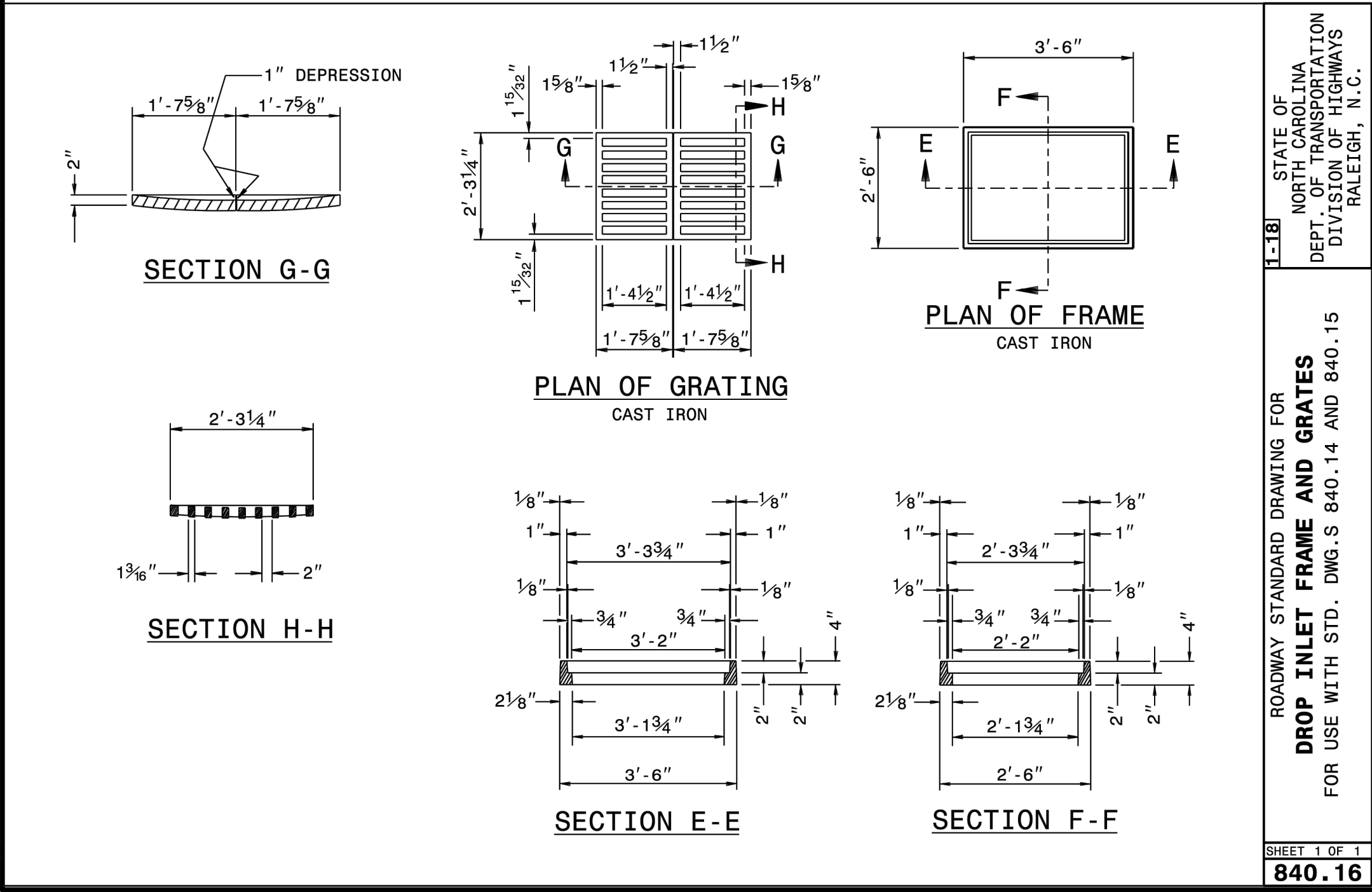
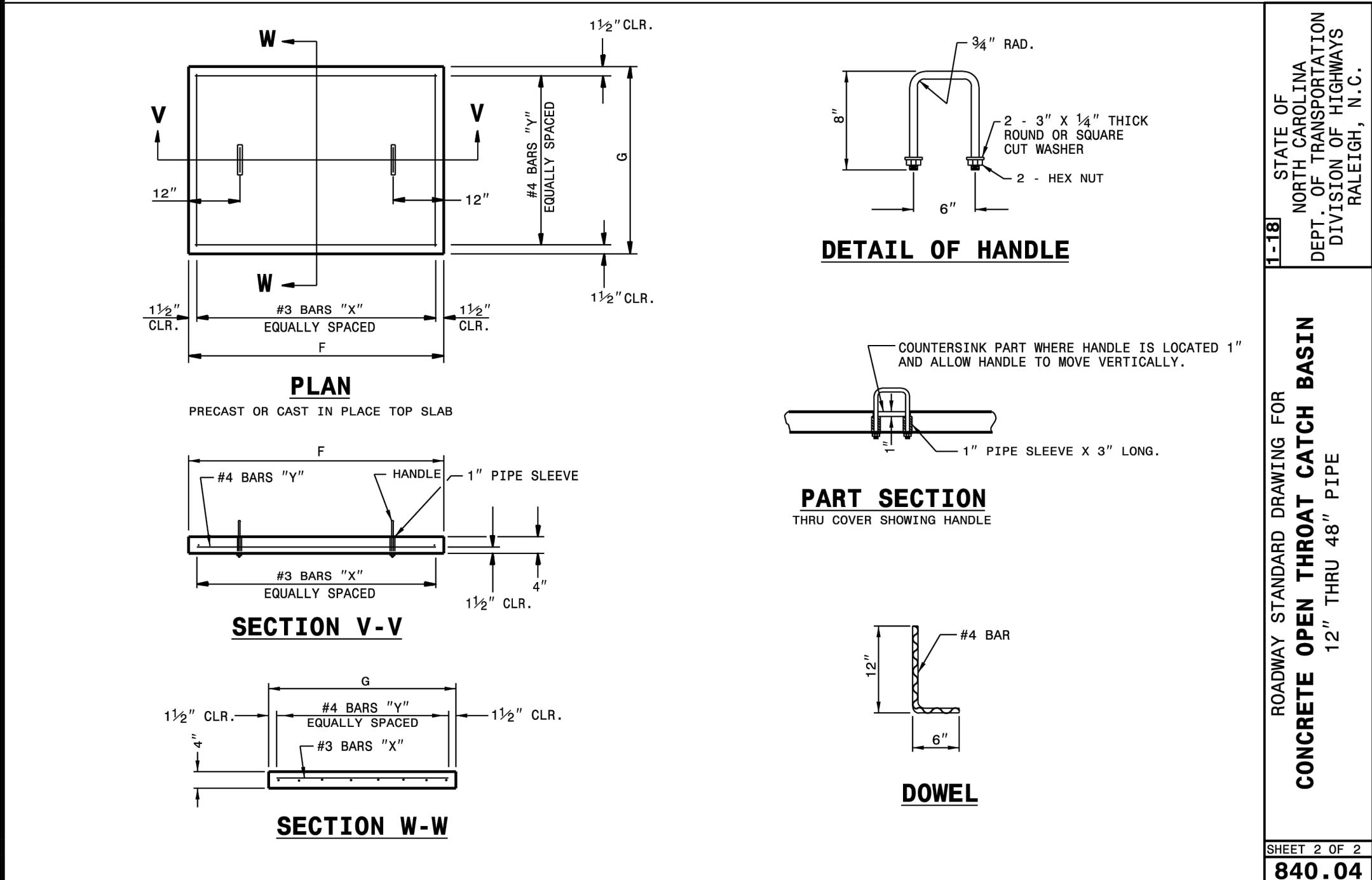
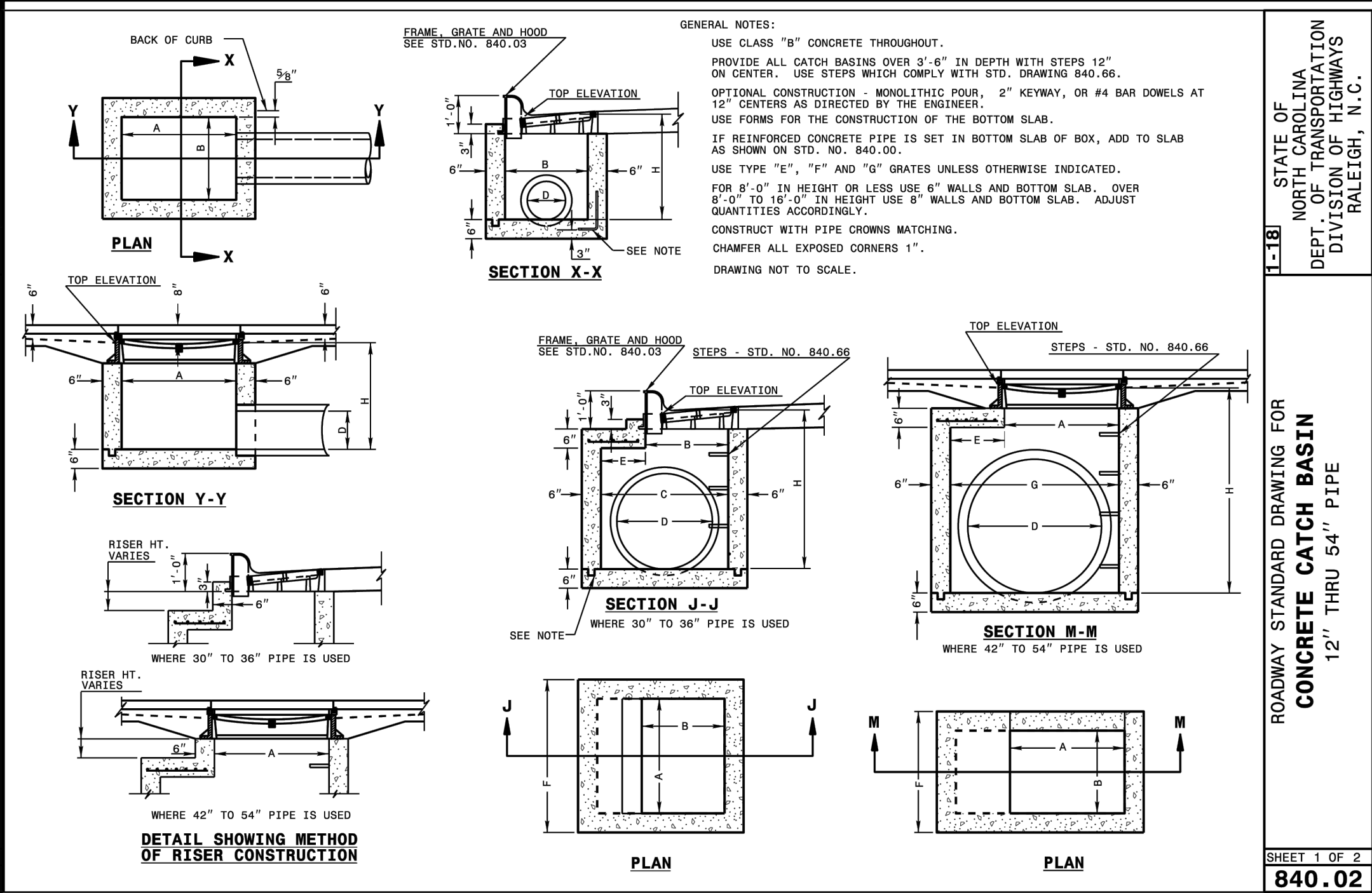
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PROJ. NO.: 21040

CIVIL DETAILS

C5.3



09/19/2023

NC Firm #P-1919



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PROJ. NO.: 21040

CIVIL DETAILS

C5.5

1

TYPE 1A

SIDEWALK
5' MIN

2'-6" CURB & GUTTER

SIDEWALK WIDTH
5' MIN.

2'-6" CURB &

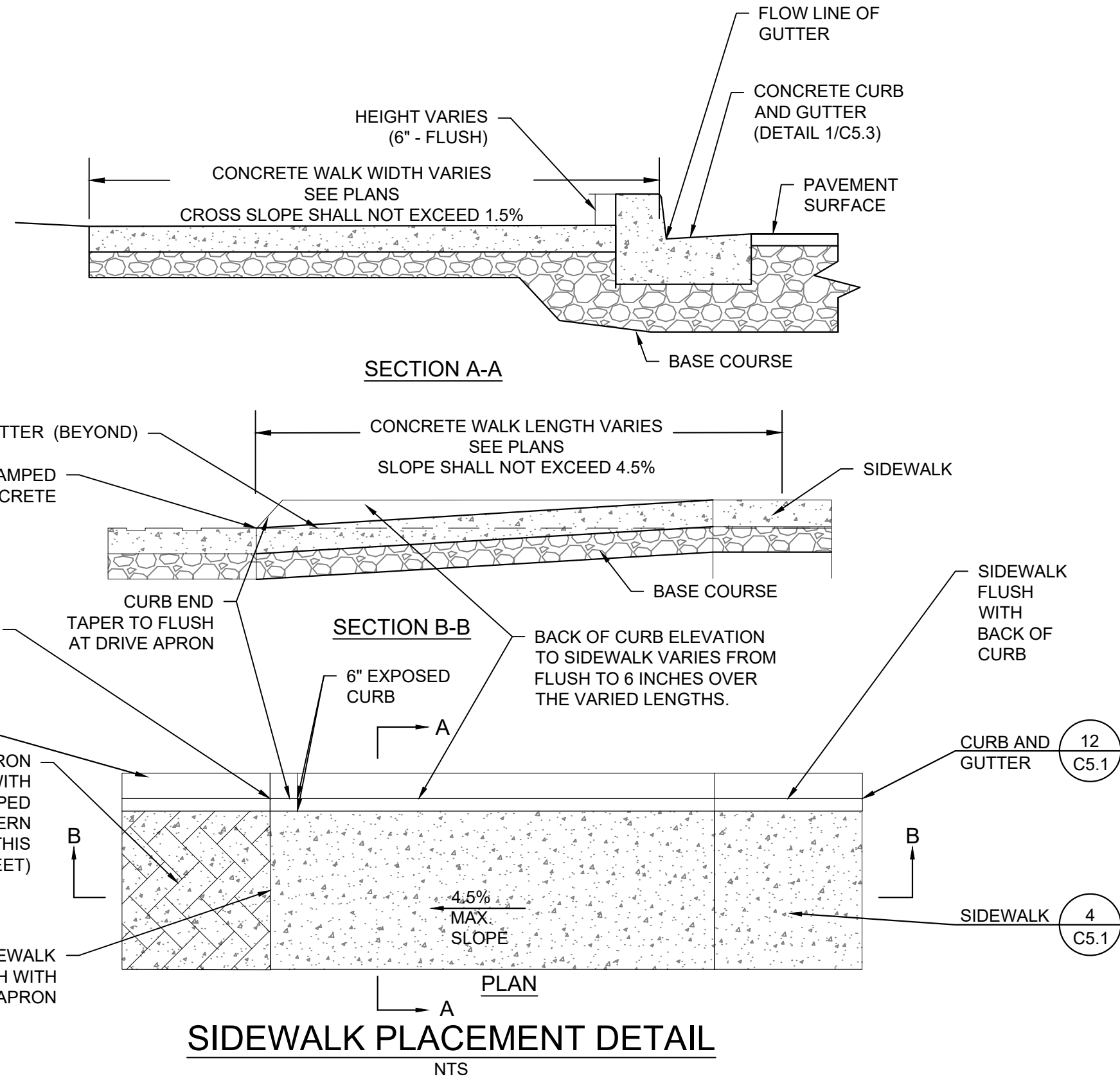
6" x 12" CONCRETE CURB

DETECTABLE WARNING
SURFACE SEE R.S.D.N. 848.05

SLOPE: ZERO +/- 2.00%

DETECTABLE WARNING
SURFACE SEE R.S.D.N. 848.05

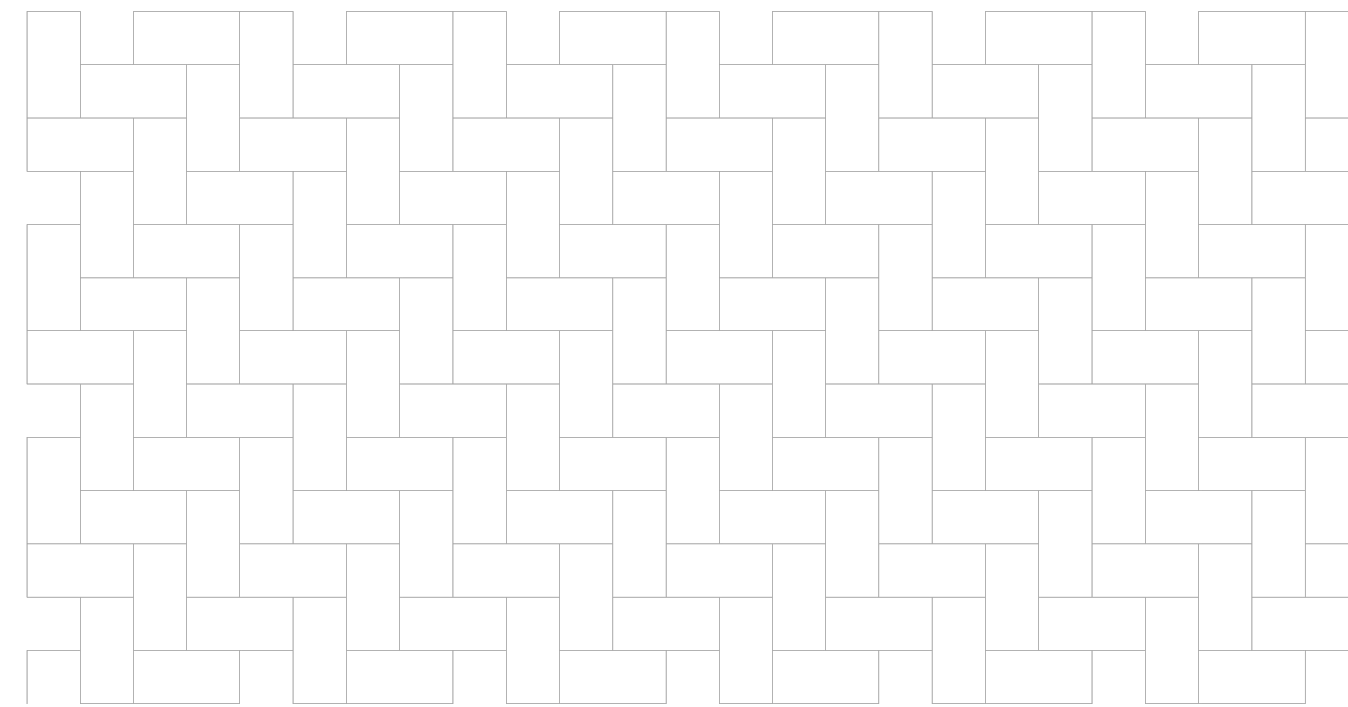
6" x 12" CONCRETE CURB



2

SIDEWALK PLACEMENT DETAIL
NTS

Stamped Asphalt Cable Stamping Patterns

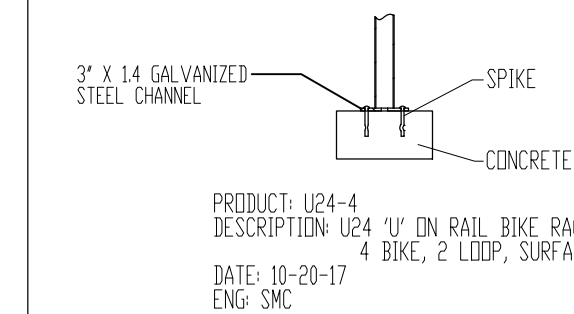
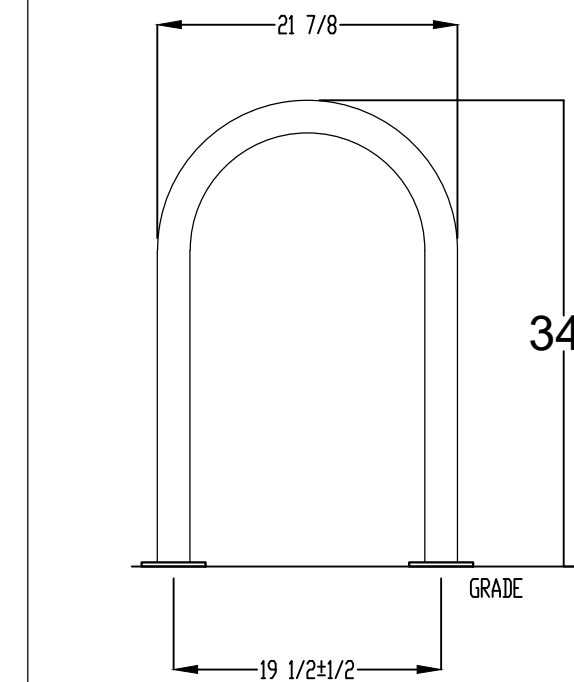


Pattern: Herringbone
Item No: CSTA-HB
Brick size: 9.75" x 4.75" (24.75 cm x 12.0 cm)
Cable size: .325" (.825 cm)

NOTE: CONTRACTOR MAY SELECT A SIMILAR PRODUCT



Pattern Paving Products
1750 Hwy 160 West
Unit 101-222
Fort Mill, SC 29708
888-434-8611 toll free
704-996-7248 direct
215-893-4827 fax
www.patternpaving.com



PRODUCT: U24-4
DESCRIPTION: U24 1" IN RAIL, BIKE RACK
DATE: 10-20-17
ENG: SMC

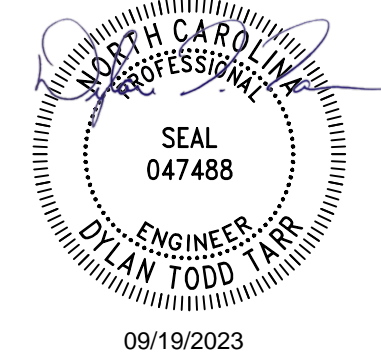
NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. COLOR: BLACK POWDER COAT. SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

MADRAX DIVISION
GRABER MANUFACTURING, INC.
1080 UNEX DRIVE
WILMAHET, WI 53597
P(800) 448-7700, P(608) 849-1080, F(608) 849-1081
WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM

CONTRACTOR CAN REQUEST USE OF AN APPROVED EQUAL

4

BIKE RACK
NTS



NC Firm #P-1919



ROLESVILLE DENTAL OFFICE
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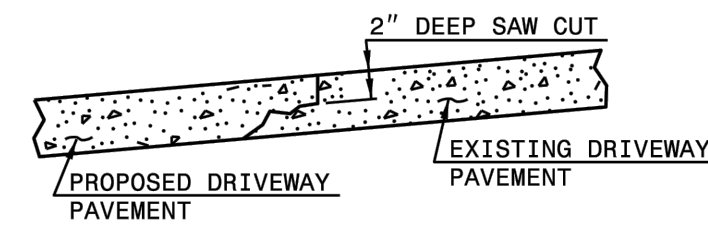
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CIVIL DETAILS

C5.6

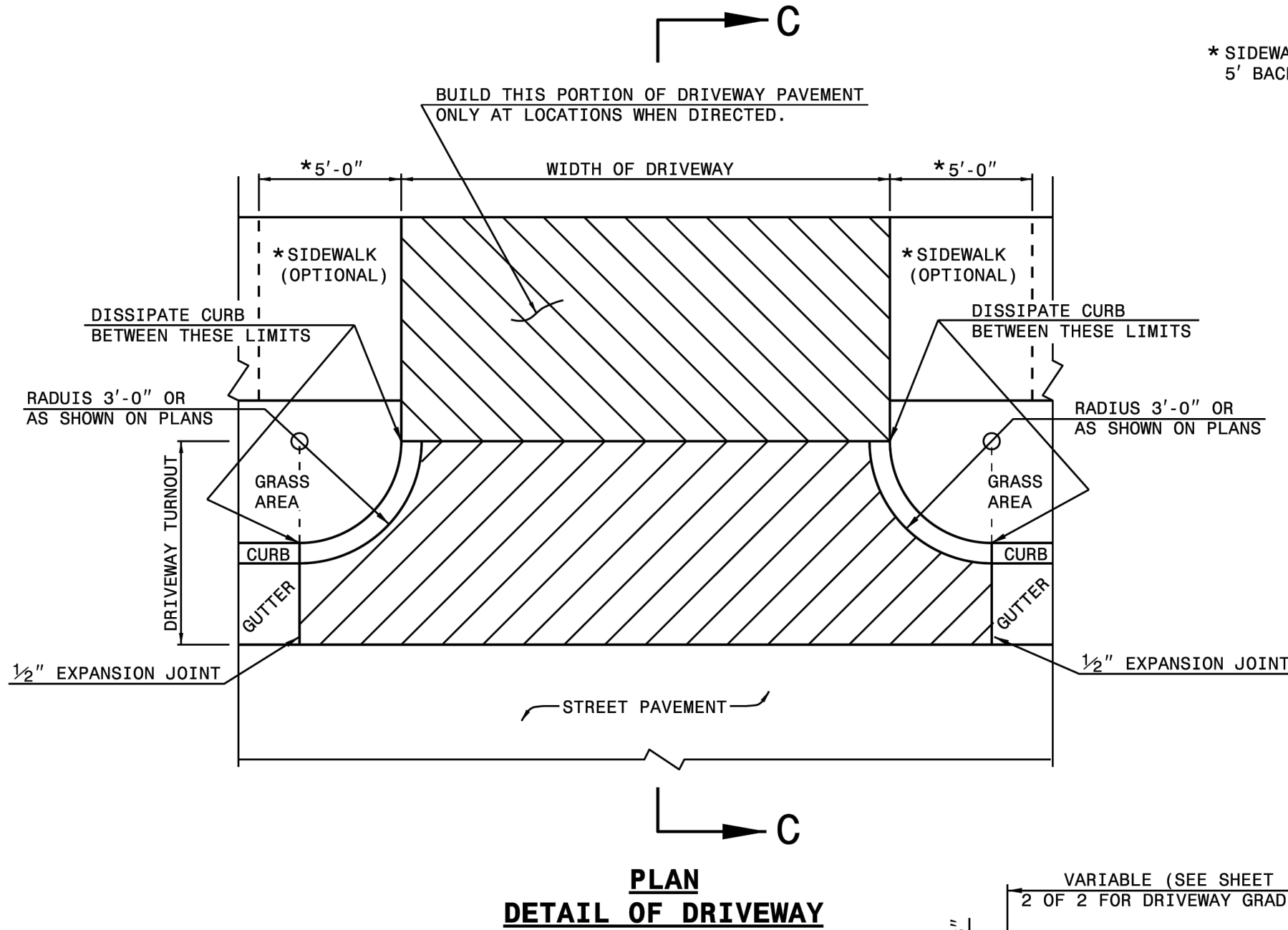
21040 - C5.X DETAILS.dwg

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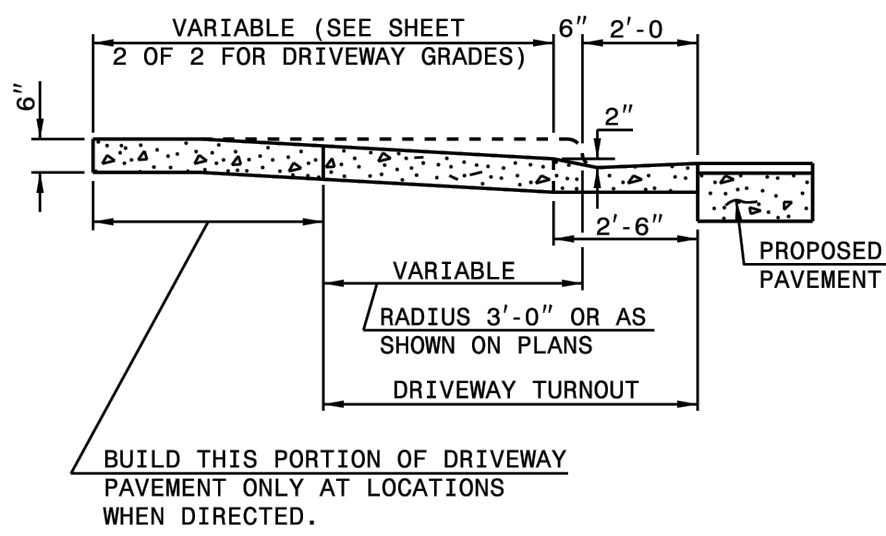


METHOD OF TIE IN

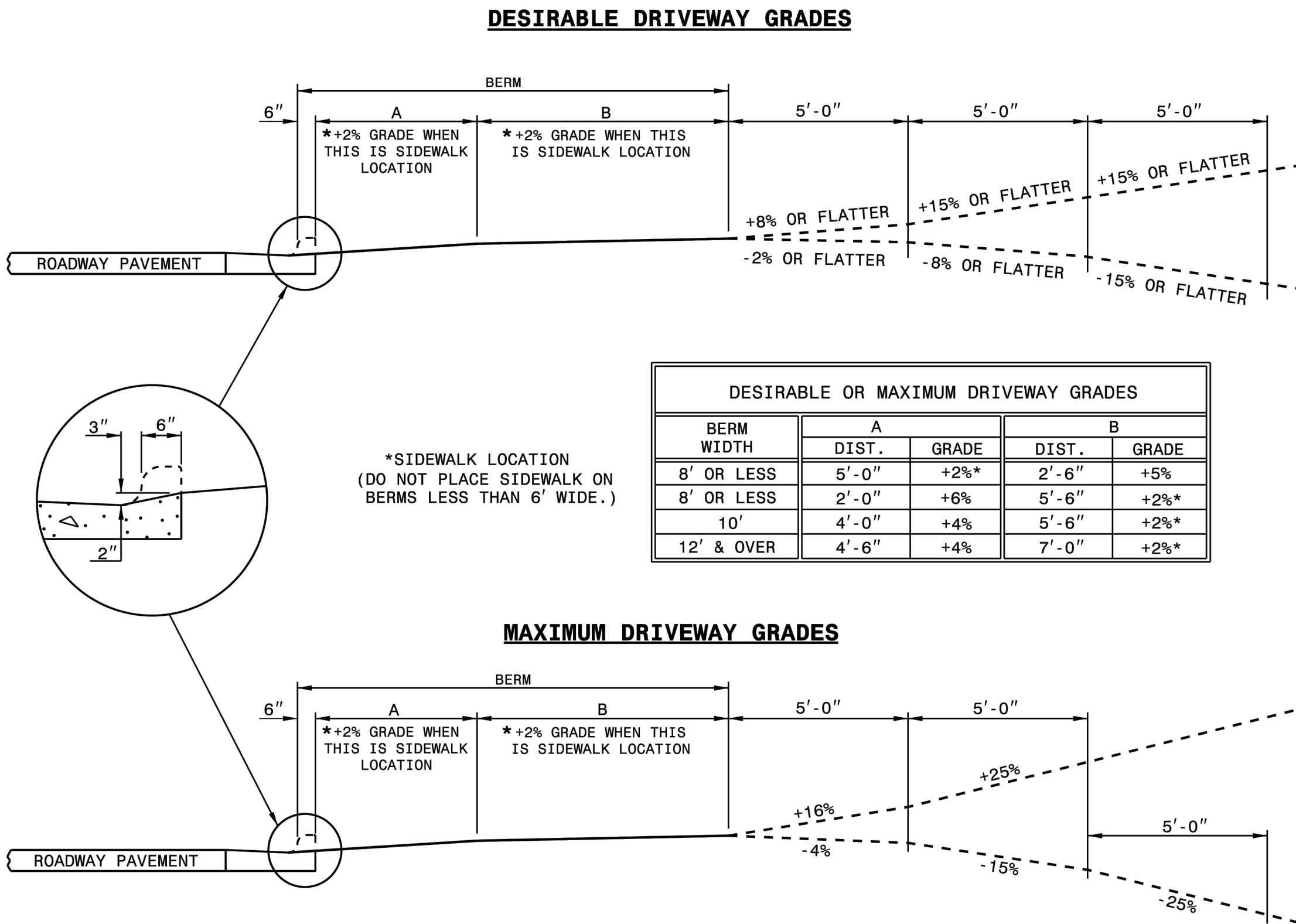
WHEN EXISTING DRIVEWAY PAVEMENT IS CONCRETE, SAW CUT 2" DEEP JOINT AT THE POINT OF TIE-IN. SAW JOINT PERPENDICULAR TO EDGE OF EXISTING DRIVEWAY PAVEMENT.



PLAN
DETAIL OF DRIVEWAY



SECTION C-C



DESIRABLE OR MAXIMUM DRIVEWAY GRADES				
BERM WIDTH	A		B	
	DIST.	GRADE	DIST.	GRADE
8' OR LESS	5'-0"	+2%*	2'-6"	+5%
8' OR LESS	2'-0"	+6%	5'-6"	+2%*
10'	4'-0"	+4%	5'-6"	+2%*
12' & OVER	4'-6"	+4%	7'-0"	+2%*

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

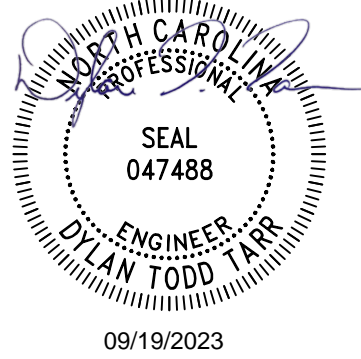
ROADWAY STANDARD DRAWING FOR
DRIVEWAY TURNOUT
RADIUS TYPE

SHEET 1 OF 2
848.02

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
DRIVEWAY TURNOUT
DRIVEWAY GRADES

SHEET 2 OF 2
848.02



NC Firm #P-1919



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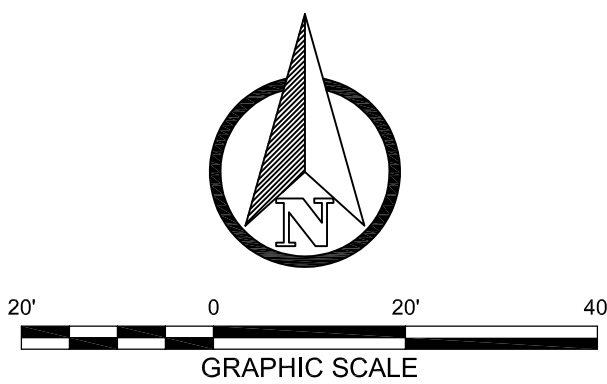
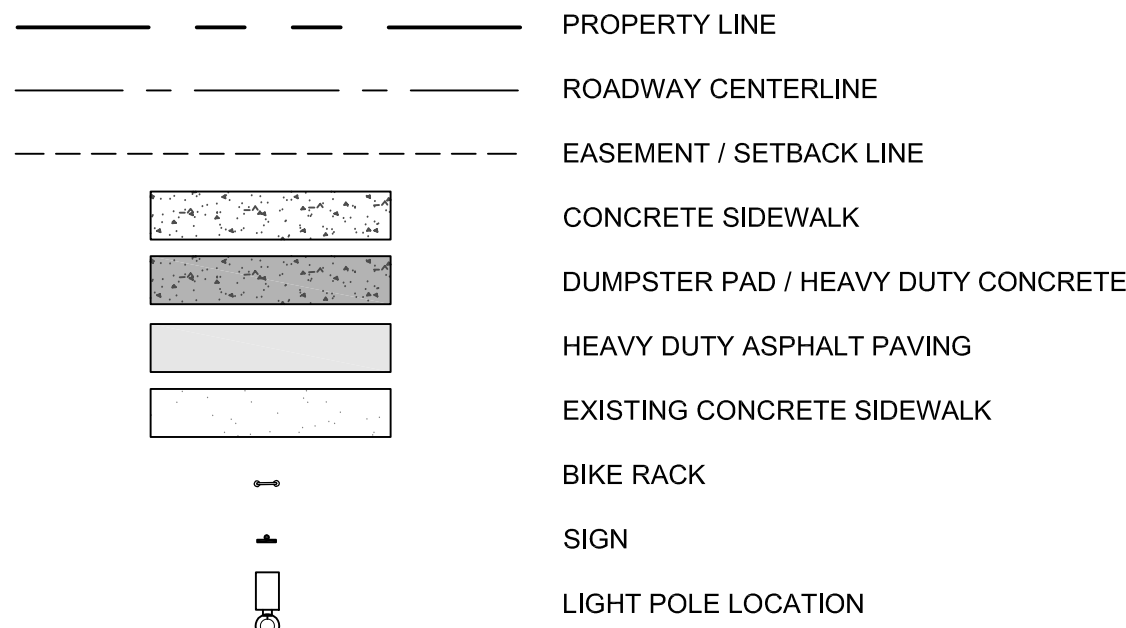
CIVIL DETAILS

C5.7

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FIRE TRUCK EXHIBIT

C6.1

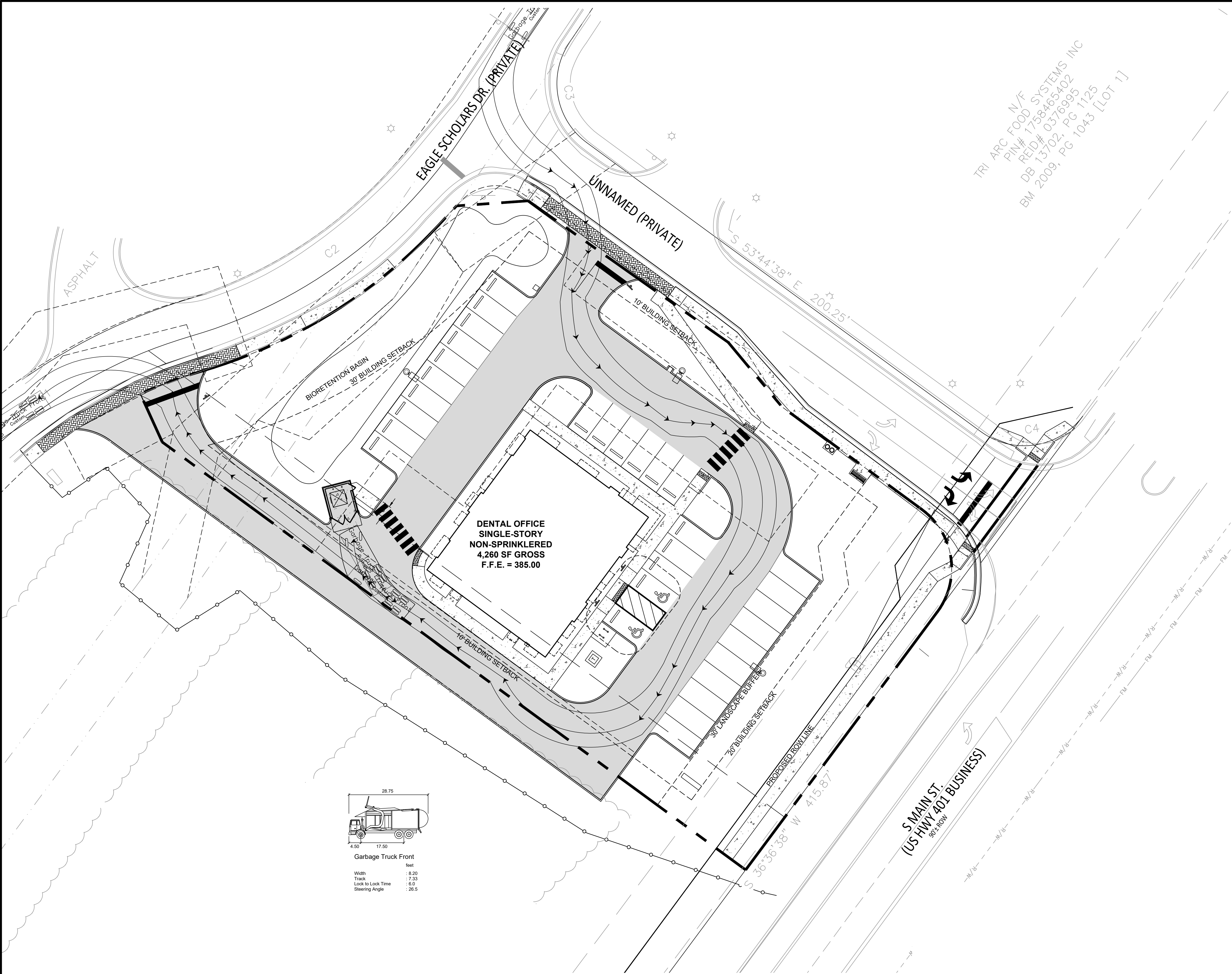


CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

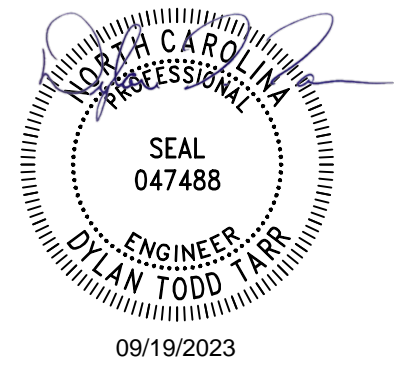
City of Raleigh Development Approval _____

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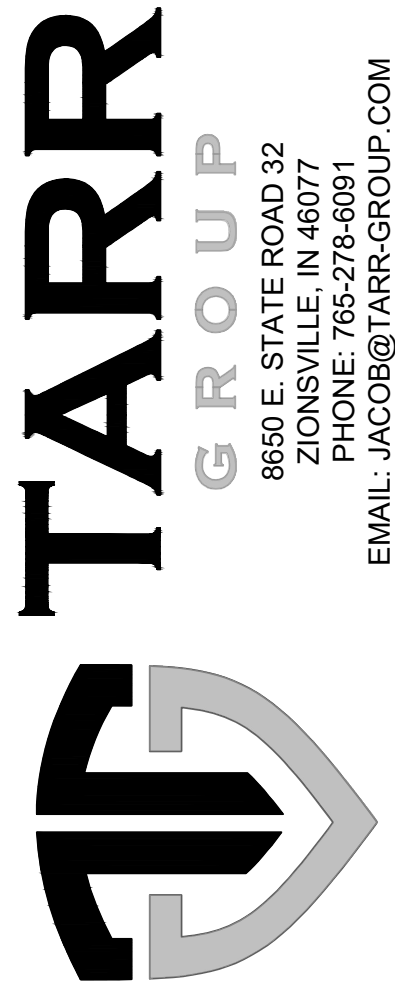


LEGEND

- PROPERTY LINE
- ROADWAY CENTERLINE
- EASEMENT / SETBACK LINE
- CONCRETE SIDEWALK
- DUMPSTER PAD / HEAVY DUTY CONCRETE
- HEAVY DUTY ASPHALT PAVING
- EXISTING CONCRETE SIDEWALK
- BIKE RACK
- SIGN
- LIGHT POLE LOCATION



NC Firm #P-1919



ROLESVILLE DENTAL OFFICE
WMG DEVELOPMENT, LLC
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PROJ. NO.: 21040

DUMP TRUCK EXHIBIT

C6.2

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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City of Raleigh Development Approval

LEGEND

- AREA TO BE SODDED WITH PREMIUM TURF GRASS, COMMERCIAL GRADE & LOCALLY SOURCED
- AREA TO BE SEEDDED WITH PREMIUM TURF GRASS, COMMERCIAL GRADE & LOCALLY SOURCED BETWEEN APRIL 1 AND JULY 30. USE A TEMPORARY STABILIZATION OR ANNUAL RYE SEEDDED AT THE RATE OF 4 LBS. PER 1,000 S.F. AT ALL OTHER TIMES. TEMPORARY RYE LAWNS SHALL BE SCARIFIED AND OVER SEEDDED AS SPECIFIED ABOVE BETWEEN APRIL 1 AND JUNE 1.
- BIORETENTION SHRUB MASS PLANTING & SODDING
- BIORETENTION SHRUB MASS PLANTING & SODDING
- BIORETENTION SHRUB MASS PLANTING & SODDING
- MULCH TYPE 1.
RE: LANDSCAPE NOTES ON L5.1
- MULCH TYPE 2.
RE: LANDSCAPE NOTES ON L5.1
- MULCH TYPE 3.
RE: LANDSCAPE NOTES ON L5.1
- GROUNDCOVER / PERENNIAL PLANTINGS
(AREA TO BE MULCHED WITH MULCH TYPE 4, RE: LANDSCAPE NOTES ON L5.1)
- GROUNDCOVER / PERENNIAL PLANTINGS
(AREA TO BE MULCHED WITH MULCH TYPE 4, RE: LANDSCAPE NOTES ON L5.1)
- PLANTING BED EDGE

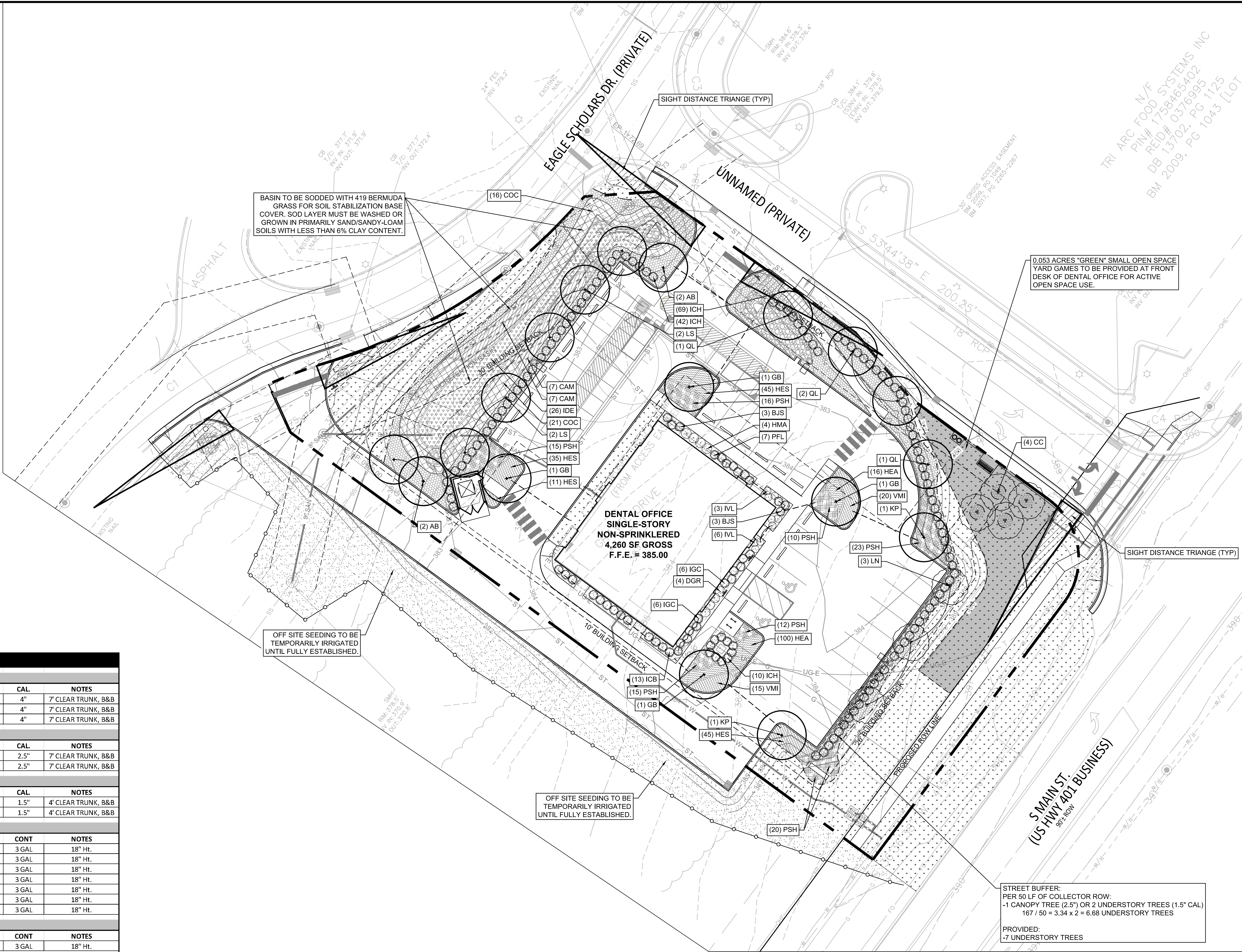
OPEN SPACE CALCULATION:
REQUIRED: 5% OF SITE & (1) SMALL OPEN SPACE
1.06 ACRES x 0.05 = **0.053 ACRES**
PROVIDED:
0.053+ ACRES
(1) SMALL OPEN SPACE AREA
- (1) BENCH
- (1) TRASH CAN
- (1) RECYCLING CAN
- YARD GAMES TO BE PROVIDED AT FRONT DESK OF OFFICE

BIORETENTION BASIN CALCULATION:
REQUIRED: 1,000 STEMS PER ACRE
3,352 SF / 43,560 SF = 0.077 x 1,000 = 77
77 SHRUBS
PROVIDED:
77 SHRUBS

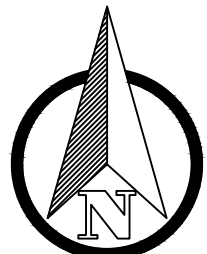
****BIORETENTION BASIN LANDSCAPE INSTALLATION IS TO COMPLY WITH ALL ASPECTS OF THE CHARLOTTE-MECKLENBURG STORM WATER SERVICE'S BMP DESIGN STANDARDS MANUAL.**

PLANTLIST					
CANOPY TREES (Tree Replacement)					
QTY	SYM	BOTANICAL NAME	COMMON NAME	CAL.	NOTES
4	AB	Acer barbatum	Southern sugar maple	4"	7" CLEAR TRUNK, B&B
4	LS	Liquidambar styraciflua	Fruitless sweetgum 'Rotundiloba'	4"	7" CLEAR TRUNK, B&B
4	QL	Quercus laurifolia	Laurel oak	4"	7" CLEAR TRUNK, B&B
CANOPY TREES (Vehicle Use Area)					
QTY	SYM	BOTANICAL NAME	COMMON NAME	CAL.	NOTES
4	GB	Ginkgo biloba	Ginkgo (male, fruitless)	2.5"	7" CLEAR TRUNK, B&B
2	KP	Koeleruteria paniculata	Golden raintree	2.5"	7" CLEAR TRUNK, B&B
ORNAMENTAL TREES (Street Buffer)					
QTY	SYM	BOTANICAL NAME	COMMON NAME	CAL.	NOTES
4	CC	Cercis canadensis	Eastern Redbud	1.5"	4" CLEAR TRUNK, B&B
3	LN	Lagerstroemia 'Natchez'	Crape myrtle	1.5"	4" CLEAR TRUNK, B&B
SHRUBS (Not required, Foundation Plantings)					
QTY	SYM	BOTANICAL NAME	COMMON NAME	CONT	NOTES
6	BJS	Berberis julianae 'Spring Glory'	Wintergreen Barberry	3 GAL	18" Ht.
4	DGR	Deutzia gracilis	Slender Deutzia	3 GAL	18" Ht.
4	HMA	Hydrangea macrophylla 'All Summer Beauty'	Big Leaf Hydrangea	3 GAL	18" Ht.
13	ICB	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	3 GAL	18" Ht.
12	IGC	Ilex glabra 'Compacta'	Dwarf Inkberry	3 GAL	18" Ht.
9	IVL	Itea virginica 'Little Henry'	Little Henry Itea	3 GAL	18" Ht.
7	PFL	Pieris floribunda	Mountain Pieris	3 GAL	18" Ht.
SHRUBS (Parking lot buffer)					
QTY	SYM	BOTANICAL NAME	COMMON NAME	CONT	NOTES
111	ICH	Ilex crenata 'Hetzli'	Dwarf Japanese Holly	3 GAL	18" Ht.
SHRUBS (Transformer Screening)					
QTY	SYM	BOTANICAL NAME	COMMON NAME	CONT	NOTES
10	ICH	Ilex crenata 'Hetzli'	Dwarf Japanese Holly	5 GAL	30" MIN Height
GROUNDCOVER (Vehicle Use Area)					
QTY	SYM	BOTANICAL NAME	COMMON NAME	CONT	NOTES
111	PSH	Panicum 'Shenandoah'	Shenandoah Switch Grass	3 GAL	18" HT.
116	HEA	Hemerocallis 'Autumn Red'	Red Daylily	1 GAL	1' HT
125	HES	Hemerocallis 'Stella de Oro'	Yellow Daylily	1 GAL	1' HT
30	VMI	Vinca minor	Littleleaf Periwinkle	1 GAL	8" HT.
Bioretention Area Plants					
37	COC	Cephalanthus occidentalis	Buttonbush	5 GAL.	36" MIN Height
14	CAM	Cornus amomum	Silky Dogwood	5 GAL.	36" MIN Height
26	IDE	Ilex decidua	Deciduous holly	5 GAL.	36" MIN Height

IF THIS SHEET DOES NOT MEASURE 24"x36", IT HAS BEEN ENLARGED OR REDUCED. PLEASE ADJUST SCALE ACCORDINGLY.



TRI ARC FOOD SYSTEMS INC
PIN # 1758465402
REID # 0376995
DB 13702, PG 1125
BM 2009, PG 1043 [LOT]



NC Firm No. C-668

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ORIGINAL ISSUE DATE: 1/5/2022

REVISIONS:

1	REVISION 1	03/28/2022
2	REVISION 2	04/13/2022
3	REVISION 3	06/21/2022
4	REVISION 4	09/01/2022
5	REVISION 5	10/06/2022
6	REVISION 6	1/13/2023
7	REVISION 7	7/19/2023
8	REVISION 8	9/18/2023

PROJ. NO.: 21040

LANDSCAPE PLAN

L2.1

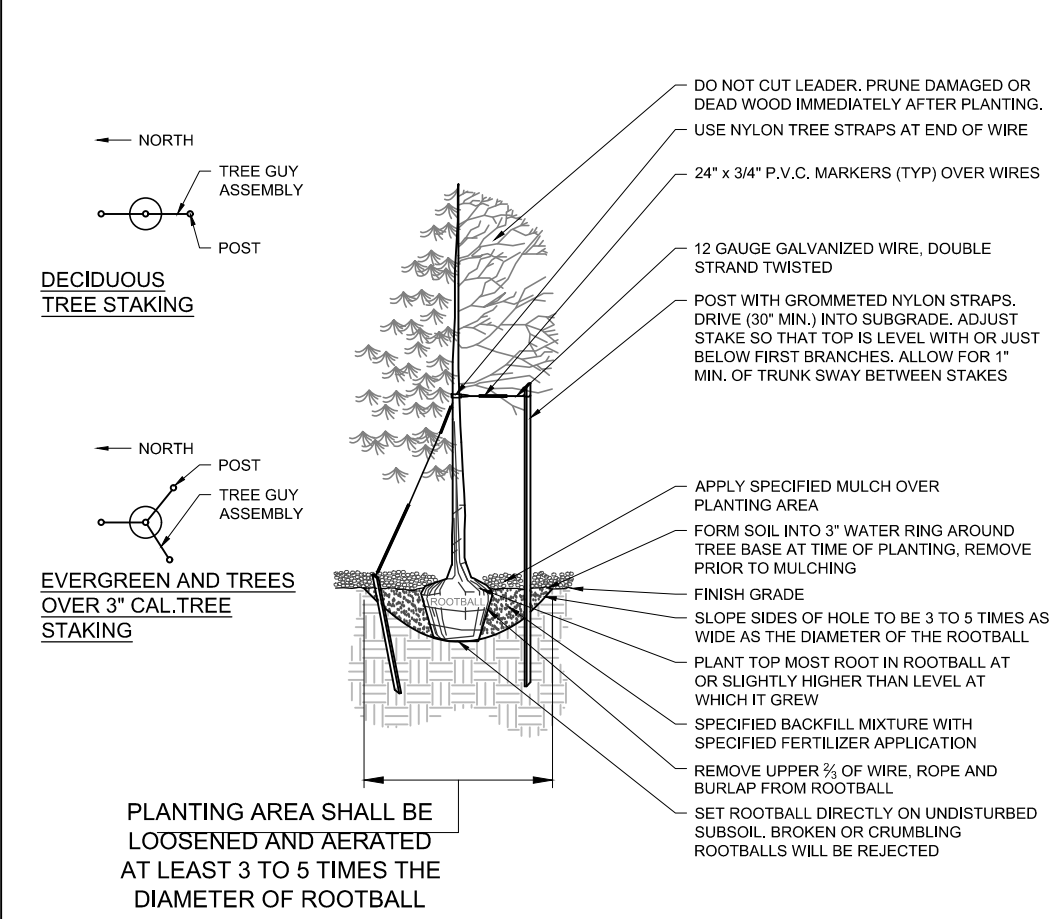
LANDSCAPE NOTES

1. THE LANDSCAPE PLAN DESCRIBES THE LANDSCAPE PORTION OF THE PROJECT ONLY. SEE OTHER SHEETS FOR SITE IMPROVEMENT INFORMATION.
2. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK. THE CONTRACTOR SHALL CONTACT THE UTILITIES NOTIFICATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION OR CONSTRUCTION TO REQUEST EXACT FIELD LOCATIONS OF ALL UTILITIES.
3. WHEN APPLICABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR BE STORED, NOR ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DRIPLINES OF TREES OUTSIDE THE LIMIT OF GRADING
4. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
5. CONTRACTOR TO HAVE ALL UTILITIES FIELD LOCATED AND MARKED ON SITE PRIOR TO LANDSCAPE BEING PLANTED. UTILITY LOCATION DISCREPANCIES FROM PLANS TO BE IDENTIFIED AND LANDSCAPE ARCHITECT TO BE INFORMED PRIOR TO PLANTING. TREES MUST NOT BE PLANTED WITHIN 10' OF ANY UTILITIES.
6. CONTRACTOR SHALL HAVE EXISTING AND NEW UTILITY LOCATIONS MARKED, FOR REFERENCE, DURING APPROVAL OF FINAL TREE PLANTING LAYOUT.
7. MINIMIZE DISTURBANCE OUTSIDE SCOPE OF WORK . ANY DAMAGE OUTSIDE SCOPE OF WORK INCURRED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO LIKE NEW CONDITION.
8. CONTRACTOR SHALL MAINTAIN IRRIGATION TO EXISTING SOD AND OTHER PLANT MATERIAL TO REMAIN.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL PLANTING PLANS. SHOULD DISCREPANCIES EXIST BETWEEN THE QUANTITIES OR S.F. AREAS PROVIDED IN THE LABEL AND THOSE DRAWN ON THE PLAN, THE PLAN SHALL GOVERN.
10. NO PLANT SHALL BE INSTALLED BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT, OR EQUAL.
11. ALL PLANTS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING, UNLESS OTHERWISE SPECIFIED OR DETAILLED.
12. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL SHALL BE REMOVED COMPLETELY AT TIME OF PLANTING.
13. CUT AWAY ROPES OR WIRES FROM B&B PLANTS. PULL BACK BURLAP FROM TOP OF ROOT BALL. DO NOT ALLOW BURLAP TO BE EXPOSED AT SURFACE. TOTALLY REMOVE BURLAP IF IT IS SYNTHETIC.IF CONTAINER GROWN PLANTS SHOW SIGNS OF BEING ROOT BOUND, SCORE ROOTS VERTICALLY.
14. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN AT LEAST TWO VERTICAL LOCATIONS.
15. DO NOT PLANT TREES WITHIN 10 FEET OF CENTERLINE OF UTILITIES OR WITHIN UTILITY EASEMENTS. IF UTILITY INSTALLATION DIFFERS FROM WHAT PLANS SHOW THEN INFORM LANDSCAPE ARCHITECT AND CIVIL ENGINEER OF CONFLICTING CONDITIONS.
16. REFER TO THE DETAILS AND NOTES FOR REQUIRED PLANTING METHODS, SOIL PREPARATION, AND OTHER INFORMATION REGARDING PLANTING.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING NECESSARY FOR INITIAL ESTABLISHMENT OF LANDSCAPE. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON. CONTRACTOR SHALL ALSO BE REQUIRED TO MAINTAIN LANDSCAPE THROUGH SUBSTANTIAL COMPLETION. MAINTENANCE SHALL INCLUDE (BUT IS NOT LIMITED TO) WATERING, MOWING, PRUNING, AND WEEDING.
18. PLANT MATERIAL SHALL NOT BE PRUNED UNLESS OTHERWISE INDICATED IN PLANTING SCHEDULE.
19. AREAS TO RECEIVE LANDSCAPE SHALL BE TILLED TO A DEPTH OF 12-INCHES. THEN APPLY SPECIFIED SOIL AMENDMENT OVER SURFACE. TILL AREAS AGAIN TO A MINIMUM DEPTH OF 8- INCHES.
20. FINISH GRADES IN PLANTING AREAS SHALL BE SET TO INCLUDE THE APPLICATION OF TOPSOIL IN MEETING SPOT ELEVATIONS ON CONTOURS SHOWN ON PLANS. SLOPES SHALL BE SMOOTH AND WORKED. SOIL SHALL NOT BE LEFT IN CLUMP FORM. HOLD FINISHED GRADE OF MULCH A MINIMUM OF 3" BELOW EDGE OF WALK, EDGING, OR CURB.
21. PROVIDE AT LEAST (2) 4" DIAMETER SCHEDULE 40 PVC SLEEVES UNDER ALL WALKS AND DRIVES FOR IRRIGATION PIPING AND WIRING, PRIOR TO INSTALLATION OF WALKS AND DRIVES. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF SLEEVES WITH LANDSCAPE CONTRACTOR. REFER TO APPROVED IRRIGATION PLANS FOR LOCATIONS WHERE SLEEVES ARE REQUIRED.
22. STEEL EDGER WITH A ROLLED TOP SHALL SEPARATE ALL SODDED AREAS, BED AREAS, MINERAL MULCH AREAS, NATIVE SEED AREAS, AND AREAS OF POLYMER BOUND AGGREGATE SURFACES. PRODUCT CUT SHEET TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
23. TRANSPLANTED TREES SHALL HAVE THE SAME ASPECT IN FINAL LOCATION (I.E. EXISTING NORTH ASPECT SHALL FACE NORTH IN FINAL LOCATION).
24. ALL AREAS DISTURBED BY UTILITY TRENCHING, SITE AND BUILDING CONSTRUCTION SHALL BE STABILIZED WITH SODDING AND SEEDING AS SHOWN BY THE PLAN.
25. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
26. THE LANDSCAPE INSTALLATION SHALL BE COORDINATED WITH THE IRRIGATION INSTALLATION WHEN APPLICABLE.
27. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TAKE SPECIAL CARE TO INSURE THAT BED PREPARATION DOES NOT INHIBIT DRAINAGE.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING BEHIND THE CURB SO GRADE IS LEVEL WITH TOP OF CURB.
29. ALL LAWN AREAS SHALL BE CULTIVATED TO A DEPTH OF 4" PRIOR TO SODDING AND SEEDING. PREPARED SOD AND SEED BEDS SHALL BE FREE FROM STONES OVER 2" DIAMETER AND OTHER DELETERIOUS MATERIAL
30. THE LANDSCAPE CONTRACTOR SHALL RAKE SMOOTH ALL SEED OR SOD AREAS PRIOR TO INSTALLATION.
31. SODDED AREAS SHALL HAVE NO BARE AREAS. SEEDDED AREAS SHALL BE CONSIDERED ACCEPTABLE WHEN FULL COVERAGE OF THE PERMANENT TURFGRASS SPECIES IS ESTABLISHED.
32. THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. QUESTIONS SHOULD BE DIRECTED TO THE LANDSCAPE ARCHITECT.
33. ALL PLANT MATERIALS SHALL BE NURSERY GROWN, UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z-60.1; LATEST EDITION, FOR SIZE AND QUALITY.
34. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
35. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. CONTACT LANDSCAPE ARCHITECT.
36. SOIL USED FOR PLANTING SHALL CONSIST OF 5 PARTS TOPSOIL, 1 PART SAND AND 2 PARTS ORGANIC MATTER, MIXED WITH 1 POUND OF FERTILIZER PER CUBIC YARD.
 - SAND SHALL BE CLEAN MASONRY SAND.
 - ORGANIC MATTER SHALL BE PEAT MOSS, OR WELL COMPOSTED PINE BARK, OR APPROVED EQUAL AND SHALL BE FINELY GROUND AND FREE OF WEEDS.
 - ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-50% OF ITS TOTAL NITROGEN IN A WATER INSOLUBLE FORM.
37. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AND SOD AREAS PRIOR TO INSTALLATION. TREFLAN OR AN APPROVED EQUAL SHALL BE USED.

38. ALL PLANT BEDS SHALL HAVE A MINIMUM OF 3" DEEP MULCH. ALL MULCH TYPE SAMPLES TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL, PRIOR TO INSTALLATION.
 - MULCH TYPE 1:** 1.5" LOCAL RIVER ROCK. COLOR: MIX OF BEIGE, GREY, BROWN. SOIL SEPARATOR FABRIC REQUIRED.
 - MULCH TYPE 2:** 3" INORGANIC ANGULAR FACE ROCK MULCH, COLOR: MIX OF BEIGE, GREY, BROWN. SOIL SEPARATOR FABRIC REQUIRED.
 - MULCH TYPE 3:** NCDOT CLASS B RIP RAP. SOIL SEPARATOR FABRIC REQUIRED.
 - MULCH TYPE 4:** FINE-GROUND SHREDDED HARDWOOD BARK MULCH – DOUBLE-GROUND, PARTIALLY COMPOSTED, AND FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS, PH RANGE 6.0-7.0
39. TREES PLANTED IN LAWN AREA TO HAVE A 3'-0" RADIUS MULCH BED AROUND THE BASE. MULCH TO BE MULCH TYPE 1.
40. THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, RELOCATION, WILDLIFE, THEFT, SEVERE WEATHER OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
41. PRIOR TO FINAL PAYMENT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON PROPER CARE OF ALL SPECIFIED PLANT MATERIALS.
42. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
43. ALL REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE, AND QUALITY AS SPECIFIED ON THE PLANT LIST, UNLESS APPROVED OTHERWISE IN WRITING BY THE LANDSCAPE ARCHITECT AND CITY.
44. ANY MATERIAL THAT IS DEEMED TO BE 25% DEAD OR MORE SHALL BE CONSIDERED DEAD, AND MUST BE REPLACED AT NO CHARGE. A TREE IS CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR MORE THAN 25% OF THE CROWN IS DEAD.
45. REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING SEASON UNLESS THE LANDSCAPE CONTRACTOR AGREES TO AN EARLIER DATE. FINAL CERTIFICATE OF OCCUPANCY MAY BE WITHHELD UNTIL PLANTING IS COMPLETE.
46. **THE LANDSCAPE CONTRACTOR MUST SUBMIT MATERIAL SAMPLES TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. SUBMITTALS ARE TO CONFIRM COMPLIANCE AND MATERIAL QUALITY. THESE SAMPLES INCLUDE, BUT ARE NOT LIMITED TO: MULCHES, EDGING, & PLANTS. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT.**

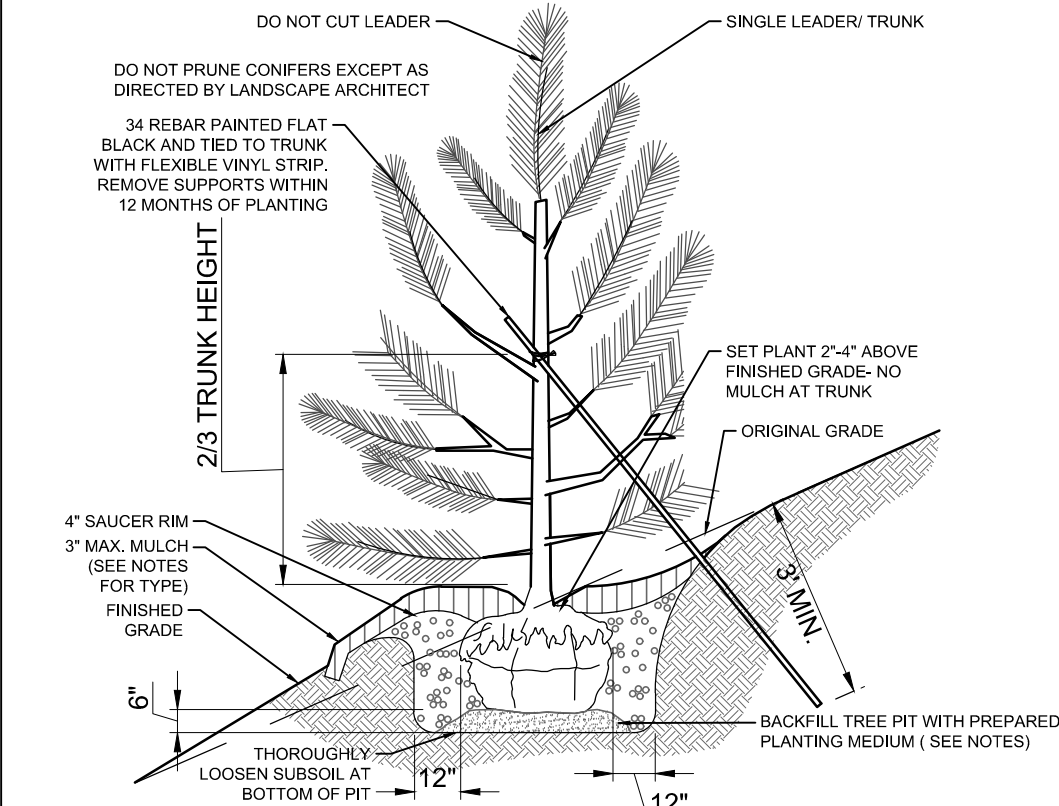
CONSTRUCTION CLOSE-OUT

1. MAINTAIN ONE SET OF MARKED-UP AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE LANDSCAPE ARCHITECT UPON COMPLETION.
2. ANY PLAN SUBSTITUTIONS THAT ARE NOT PREVIOUSLY APPROVED AND FOUND TO BE UNACCEPTABLE BY LANDSCAPE ARCHITECT ARE TO BE RECONSTRUCTED AT CONTRACTOR'S EXPENSE.
3. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SPECIFICALLY CALLED OUT, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
4. REPAIR OR REPLACE DAMAGE TO EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC.) DESIGNATED TO REMAIN, AT NO ADDITIONAL EXPENSE TO THE OWNER.
5. WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGE THROUGH CARELESSNESS OR ANY OTHER CAUSES, FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER, AS REQUIRED BY THE LANDSCAPE ARCHITECT AT THE CONTRACTORS EXPENSE. WORK DONE CONTRARY TO THE INSTRUCTIONS OF THE LANDSCAPE ARCHITECT, WORK DONE BEYOND THE LINES SHOWN ON THE PLANS, OR ANY EXTRA WORK DONE WITHOUT AUTHORITY WILL NOT BE PAID FOR.
6. THE CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING MONUMENTATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT OF ANY MONUMENTS DAMAGED OR REMOVED DURING CONSTRUCTION. NEW MONUMENT SHALL BE REESTABLISHED BY A LICENSED SURVEYOR IN THE STATE OF THE PROJECT.
7. CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT PHOTOGRAPHS OF AS-BUILT SITE UPON CONSTRUCTION AND LANDSCAPE INSTALLATION FOR REVIEW AND APPROVAL. CONTACT LANDSCAPE ARCHITECT.
8. CONTRACTOR TO VERIFY LANDSCAPE FINAL ACCEPTANCE PROCESS AND COORDINATE WITH THE APPROPRIATE PARTIES. THESE TASKS CAN INCLUDE, BUT ARE NOT LIMITED TO:
 - 4.1. AS-BUILTS
 - 4.2. INSPECTIONS.
 - 4.3. MATERIALS APPROVAL BY LANDSCAPE ARCHITECT.
 - 4.4. PLANTING LOCATIONS IN REFERENCE TO AS-BUILT UTILITY LOCATIONS.
 - 4.4.1. NO TREE PLANTED WITHIN 10' OF ANY UTILITY LINES UNLESS SAID UTILITY LINE IS NOTED TO BE WRAPPED IN ROOT BARRIER.

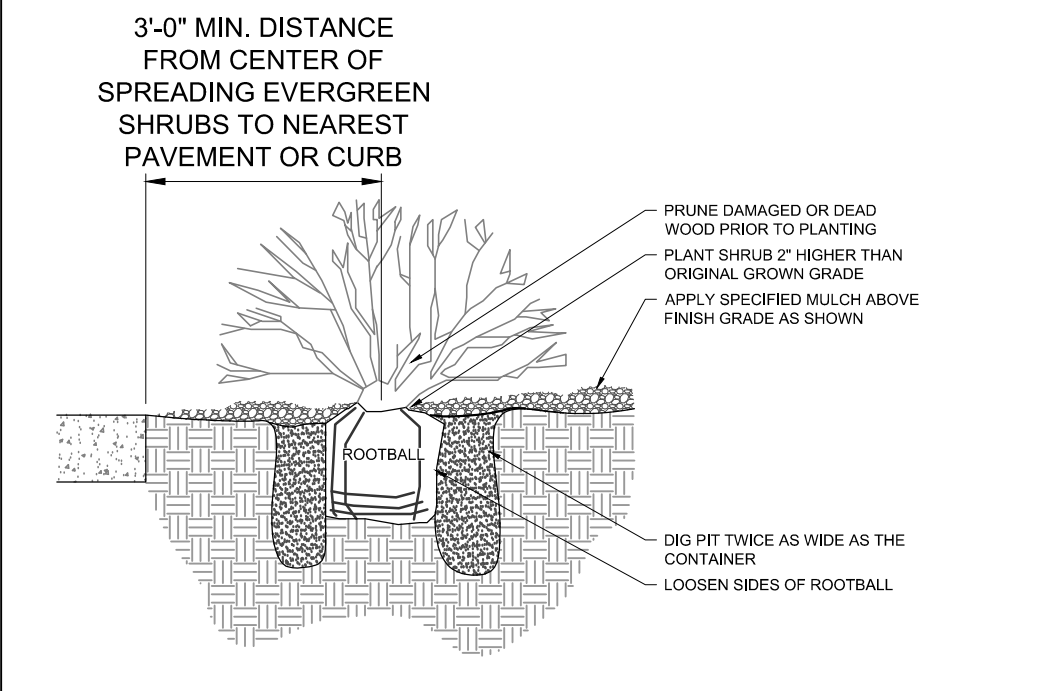


TREE PLANTING NTS

NOTE: PLANT MATERIAL SHALL CONFORM TO "THE AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1, LATEST EDITION) FOR SIZE FORM AND QUALITY. MYCORRHIZAL INOCULATED AND SUPER - ABSORBANT MATERIAL ADDED TO TOPSOIL, BACKFILL AT THE MANUFACTURERS RECOMMENDED RATE - SEE SPECIFICATIONS. EVERGREEN TREE SHOWN, REFER TO PLAN FOR PLANT TYPE TO BE PLANTED ON SLOPE.



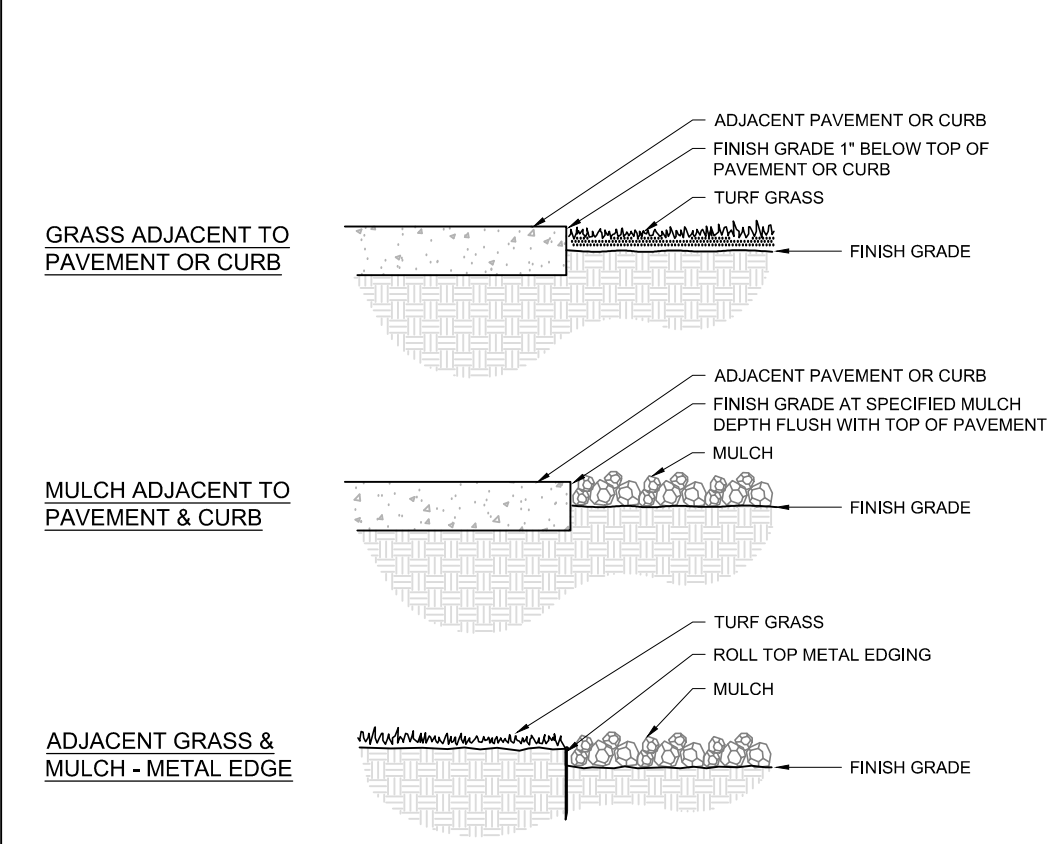
TREE PLANTING ON SLOPE NTS



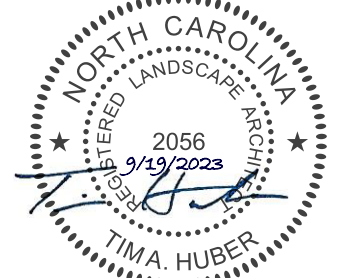
SECTION

- NOTES:
1. EVERGREEN SHRUBS SHALL BE PLANTED NO CLOSER THAN 3' TO THE CLOSEST PAVEMENT.
 2. ALL PLANT CONTAINERS TO BE REMOVED PRIOR TO PLANTING.
 3. PLACE WEED CONTROL FABRIC IN ALL SHRUB BEDS.
 4. BACKFILL AND WATER IN THOROUGHLY.
 5. BROKEN ROOTBALLS WILL BE REJECTED.

SHRUB PLANTING DETAIL NTS



EDGING DETAILS NTS



NC Firm No. C-668

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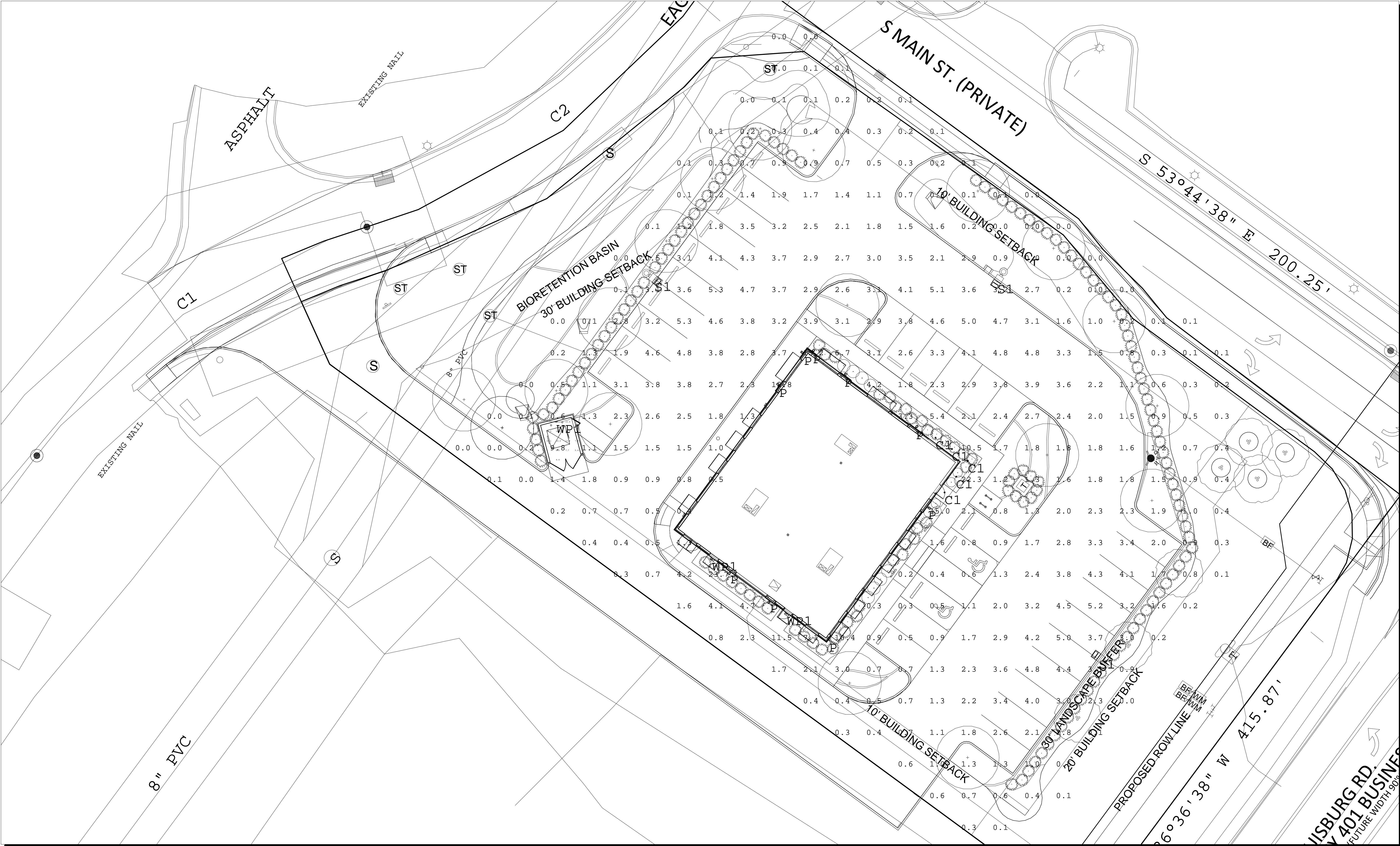
PROJ. NO.: 21040

LANDSCAPE NOTES
& DETAILS

L5.1

Standard Electric Luminaire Schedule										
Symbol	Qty	Label	Arrangement	[MANUFAC]	Description	Total Lumens	Total Wattage	LLF	BUG Rating	Mounting Height
	5	C1	Single	LiteLine	SLIMPRO6-40K-BK	950	11.2	0.980	B1-U2-G0	10
	9	P	Single	PROGRESS	P5644-31-30K P860047	3731	60	0.980	B1-U5-G1	7
	3	S1	Single	Lithonia Lighting	DSX1 LED P7 40K BLC MVOLT	16997	183	0.980	B2-U0-G3	25
	3	WP1	Single	RAB LIGHTING INC.	SLIM37N	3873	34.6	0.950	B1-U2-G1	8

Calculation Summary							
Label	CalcType	Max	Min	Avg	Avg/Min	Max/Min	Units
Entire Site	Illuminance	23.7	0.0	2.07	N.A.	N.A.	Fc
Trash Enclosure	Illuminance	24.9	4.4	12.18	2.77	5.66	Fc



Rev. #

Description

Rev. Date

R1

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R2

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R3

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R4

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R5

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Disclaimer

Project: WMG Development
Heartland Dental Site Lighting
Rolesville, NC

Date: 8/11/2022

Revision #: XX

Project #: 13-1977

Page #: Page 1 of 1

Size: ARCH D

Created By: Ryan Hunt



STANDARD ELECTRIC

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Wilmington, MA 01887
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WMG@standardelectric.com

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EXTERIOR FINISH SCHEDULE					ALL EXTERIOR FINISHES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.
TAG	MANUFACTURER	STYLE	DESCRIPTION	COMMENTS	
BRK-1	GLEN-GERY	BIRCHWOOD WILLIAMSBURG	BRICK VENEER, MODULAR, RUNNING BOND	PRIMED 6 1/4" SIDING - COLOR TO MATCH SW 7005 "PURE WHITE"	OR EQUAL
SDG-1	NICHIHA	SAVANNAH SMOOTH SIDING	PRIMED 6 1/4" SIDING - COLOR TO MATCH SW 7005 "PURE WHITE"	COLOR: #82 20001 "TTS WHITE", FINISH: "FINE"	OR EQUAL
STU-1	STOPOWERWALL CI	2" RIGID INSULATION	COLOR: SPECIAL COLOR TO MATCH DARK BRONZE STOREFRONT, FINISH: "FINE"		OR EQUAL
STU-2	STOPOWERWALL CI	1" RIGID INSULATION	PRIMED 11 1/4" TRIM BOARD - COLOR TO MATCH SW 7005 "PURE WHITE"		OR EQUAL
TRM-1	NICHIHA	NICHITRIM			

GENERAL EXTERIOR NOTES

- A. PROVIDE CONCEALED BLOCKING BEHIND LOCATIONS OF ALL ATTACHED BUILDING SIGNAGE.
- B. COORDINATE EXTERIOR ELEVATIONS WITH ELECTRICAL AND MECHANICAL DRAWINGS.
- C. SIGNAGE SHOWN FOR REFERENCE ONLY. ALL BUILDING SIGNAGE WILL BE SUBMITTED FOR APPROVAL BY TENANT UNDER A SEPERATE PERMIT.

DRAWING NOTES

- 4.101 BRICK ROWLOCK.
- 4.103 BRICK SOLDIER COURSE.
- 5.101 PREFINISHED ALUMINUM CANOPY SYSTEM WITH INTEGRATED GUTTER. BASIS OF DESIGN: AWNEX COLORADO CANOPY SYSTEM, FLAT SOFFIT, 12" SMOOTH FASCIA, RECESSED DOWN-LIGHTING PRE-INSTALLED. COLOR TO MATCH STOREFRONT.
- 7.40 PREFINISHED METAL COPING WITH CONTINUOUS CLEAT. COLOR TO MATCH STOREFRONT FRAMING.
- 7.84 CONTROL JOINT.
- 10.19 ALUMINUM FRAMED AWNING WITH SUNBRELLA OR EQUAL CANVAS. COLOR TO BE BLACK.
- 26.04 LIGHT FIXTURE. REFER TO ELECTRICAL LIGHT FIXTURE SCHEDULE.
- 70.01 LOCATION OF FUTURE SIGNAGE BY TENANT. COORDINATE REQUIRED BLOCKING WITH SIGN VENDOR.

Seal



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Project



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ROLESVILLE, NC

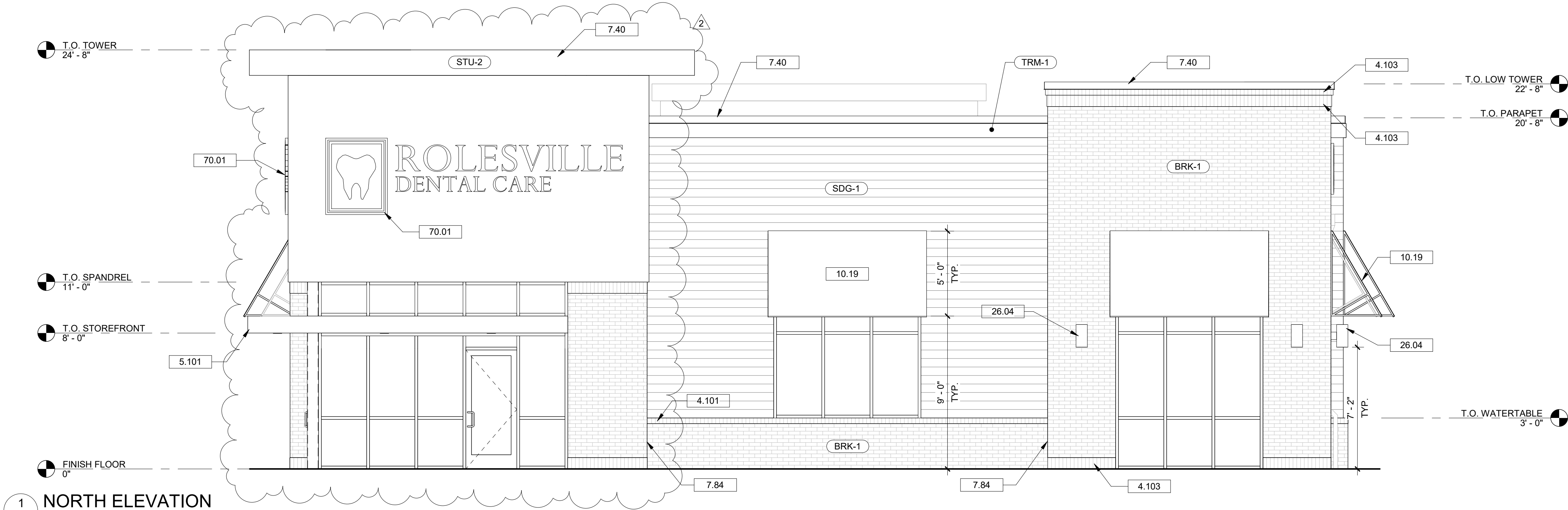
Project Number 21370
Drawn By JDS
Checked By KMW
Date 05 MAY 2022

Revisions
2 2022.10.05 PLANNING
COMMENTS

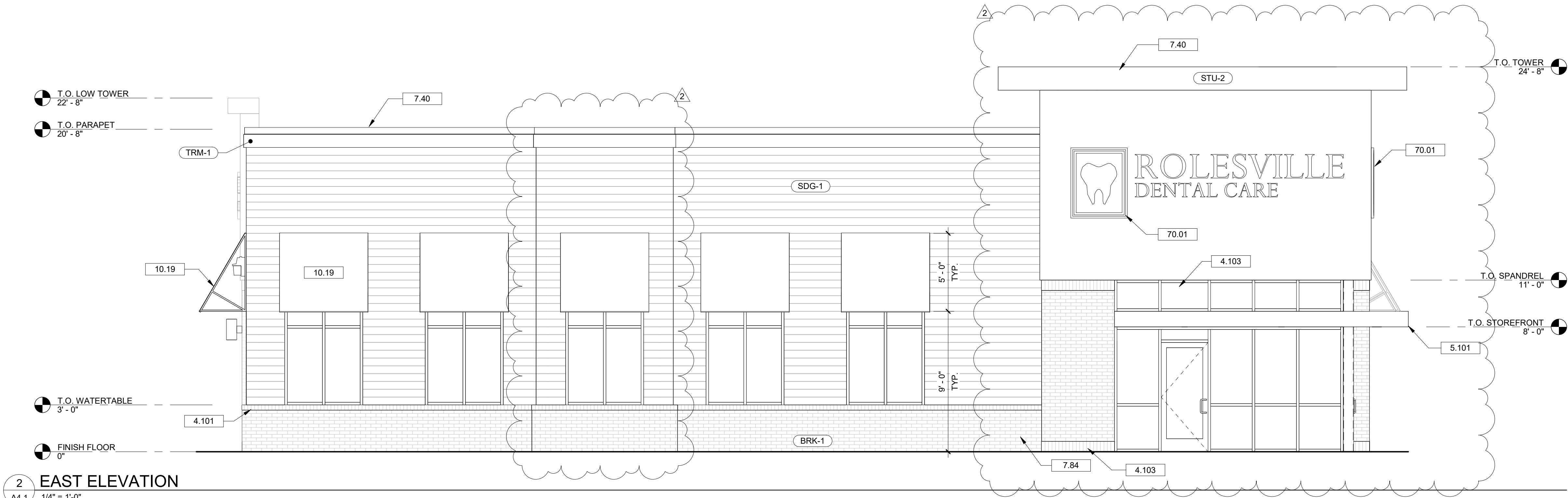
Drawing

EXTERIOR
ELEVATIONS

A4.1



NORTH ELEVATION: SF = 922 X .30 = 277 SF OF GLAZING REQUIRED. EXISTING GLAZING: 333 SF



EAST ELEVATION: SF = 1,100 X .30 = 330 SF OF GLAZING REQUIRED. EXISTING GLAZING: 369 SF

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EXTERIOR FINISH SCHEDULE

TAG	MANUFACTURER	STYLE	DESCRIPTION	COMMENTS
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SDG-1	NICHIHA	SAVANNAH SMOOTH SIDING	PRIMED 6 1/4" SIDING - COLOR TO MATCH SW 7005 "PURE WHITE"	OR EQUAL
STU-1	STOPPOWERWALL CI	2" RIGID INSULATION	COLOR: #82 20001 "TTS WHITE", FINISH: "FINE"	OR EQUAL
STU-2	STOPPOWERWALL CI	1" RIGID INSULATION	COLOR: SPECIAL COLOR TO MATCH DARK BRONZE STOREFRONT, FINISH: "FINE"	OR EQUAL
TRM-1	NICHIHA	NICHITRIM	PRIMED 11 1/4" TRIM BOARD - COLOR TO MATCH SW 7005 "PURE WHITE"	OR EQUAL

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- COORDINATE EXTERIOR ELEVATIONS WITH ELECTRICAL AND MECHANICAL DRAWINGS.
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DRAWING NOTES

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4.103 BRICK SOLDIER COURSE.
7.40 PREFINISHED METAL COPING WITH CONTINUOUS CLEAT. COLOR TO MATCH STOREFRONT FRAMING.
7.73 ROOF DRAIN SCUPPER. REFER TO 3/A1.2.
7.74 OVERFLOW SCUPPER. REFER TO 2/A1.2.
7.84 CONTROL JOINT.
10.19 ALUMINUM FRAMED AWNING WITH SUNBRELLA OR EQUAL CANVAS. COLOR TO BE BLACK.
26.04 LIGHT FIXTURE. REFER TO ELECTRICAL LIGHT FIXTURE SCHEDULE.
70.01 LOCATION OF FUTURE SIGNAGE BY TENANT. COORDINATE REQUIRED BLOCKING WITH SIGN VENDOR.

Seal



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Project



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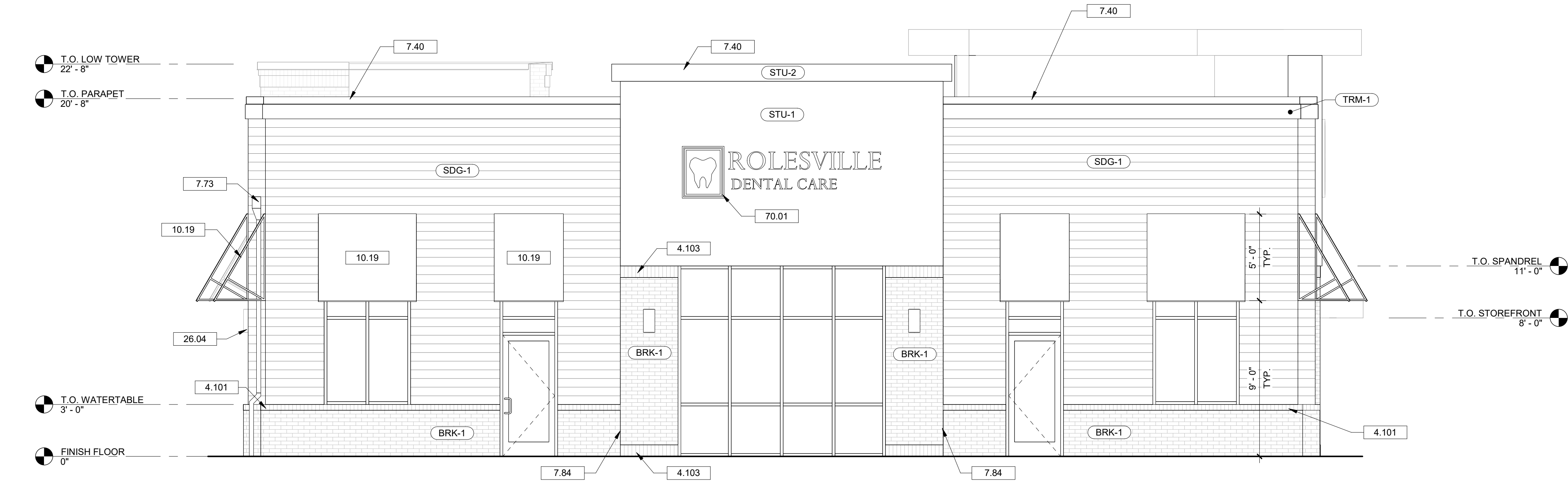
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Checked By KMW
Date 05 MAY 2022

Revisions
1 2022.09.06 PLANNING COMMENTS
2 2022.10.05 PLANNING COMMENTS

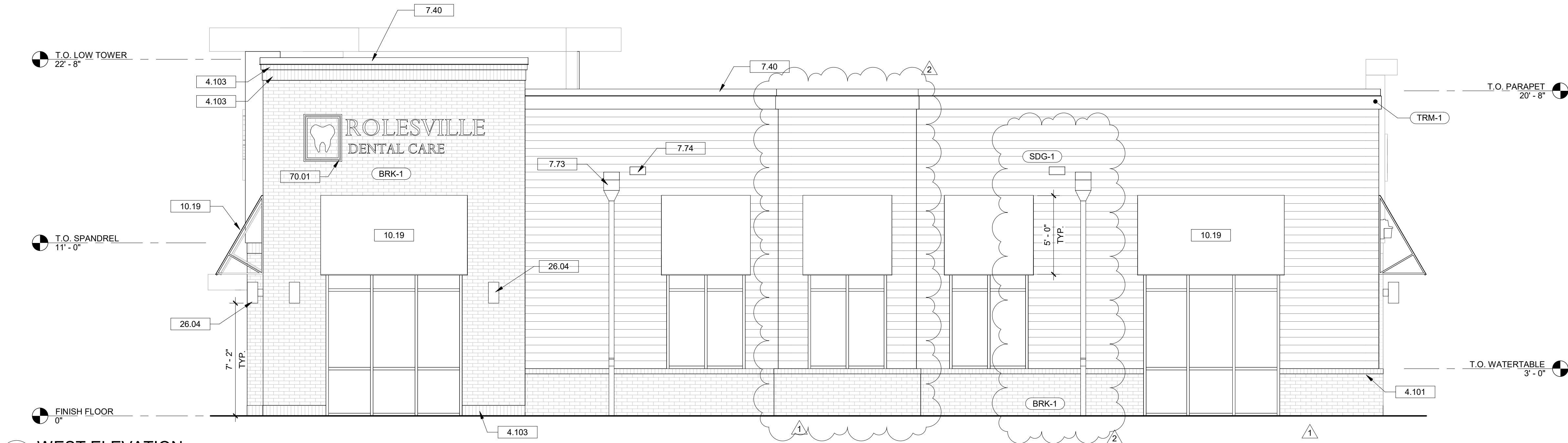
Drawing

EXTERIOR
ELEVATIONS

A4.2



1 SOUTH ELEVATION
A4.2 1/4" = 1'-0"



2 WEST ELEVATION
A4.2 1/4" = 1'-0"

WEST ELEVATION: SF = 1,029 X .30 = 308 SF OF GLAZING REQUIRED. REVISED GLAZING: 310 SF

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EXTERIOR FINISH SCHEDULE					
TAG	MANUFACTURER	STYLE	DESCRIPTION	COMMENTS	
BRK-1	GLEN-GERY	BIRCHWOOD WILLIAMSBURG	BRICK VENEER, MODULAR, RUNNING BOND	OR EQUAL	
SDG-1	NICHIHA	SAVANNAH SMOOTH SIDING	PRIMED 6 1/4" SIDING - COLOR TO MATCH SW 7005 "PURE WHITE"	OR EQUAL	
STU-1	STOPOWERWALL CI	2" RIGID INSULATION	COLOR: #82 20001 "TTS WHITE", FINISH: "FINE"	OR EQUAL	
STU-2	STOPOWERWALL CI	1" RIGID INSULATION	COLOR: SPECIAL COLOR TO MATCH DARK BRONZE STOREFRONT, FINISH: "FINE"	OR EQUAL	
TRM-1	NICHIHA	NICHITRIM	PRIMED 11 1/4" TRIM BOARD - COLOR TO MATCH SW 7005 "PURE WHITE"	OR EQUAL	



Seal



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www.DP3architects.com

Project



DENTAL OFFICE
ROLESVILLE, NC

Project Number 21370
Drawn By JDS
Checked By KMW
Date 05 MAY 2022

Revisions
2 2022.10.05 PLANNING
COMMENTS

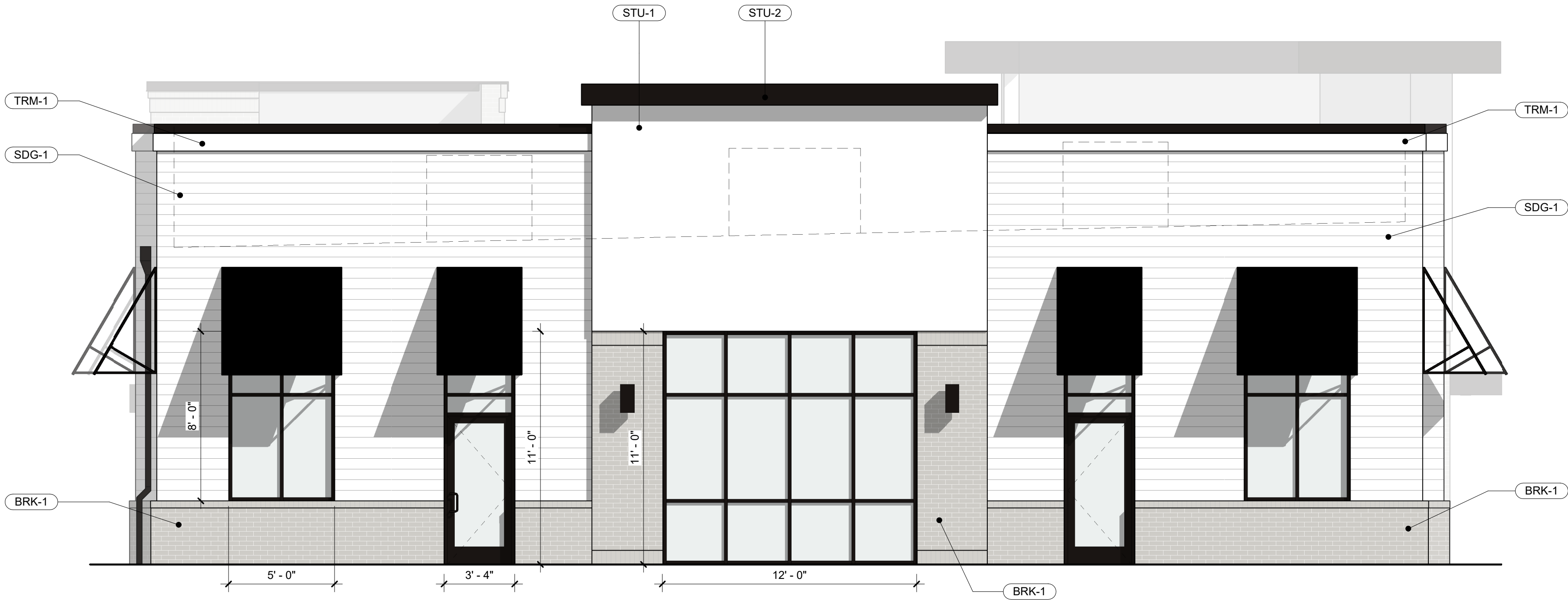
Drawing

COLORED
ELEVATIONS

A4.3

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EXTERIOR FINISH SCHEDULE					
TAG	MANUFACTURER	STYLE	DESCRIPTION	COMMENTS	
BRK-1	GLEN-GERY	BIRCHWOOD WILLIAMSBURG	BRICK VENEER, MODULAR, RUNNING BOND	OR EQUAL	
SDG-1	NICHIHA	SAVANNAH SMOOTH SIDING	PRIMED 6 1/4" SIDING - COLOR TO MATCH SW 7005 "PURE WHITE"	OR EQUAL	
STU-1	STOPOWERWALL CI	2" RIGID INSULATION	COLOR: #82 20001 "ITS WHITE", FINISH: "FINE"	OR EQUAL	
STU-2	STOPOWERWALL CI	1" RIGID INSULATION	COLOR: SPECIAL COLOR TO MATCH DARK BRONZE STOREFRONT, FINISH: "FINE"	OR EQUAL	
TRM-1	NICHIHA	NICHITRIM	PRIMED 11 1/4" TRIM BOARD - COLOR TO MATCH SW 7005 "PURE WHITE"	OR EQUAL	



1 SOUTH ELEVATION
A4.4 1/4" = 1'-0"



2 WEST ELEVATION
A4.4 1/4" = 1'-0"

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DENTAL OFFICE
ROLESVILLE, NC

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Date 05 MAY 2022

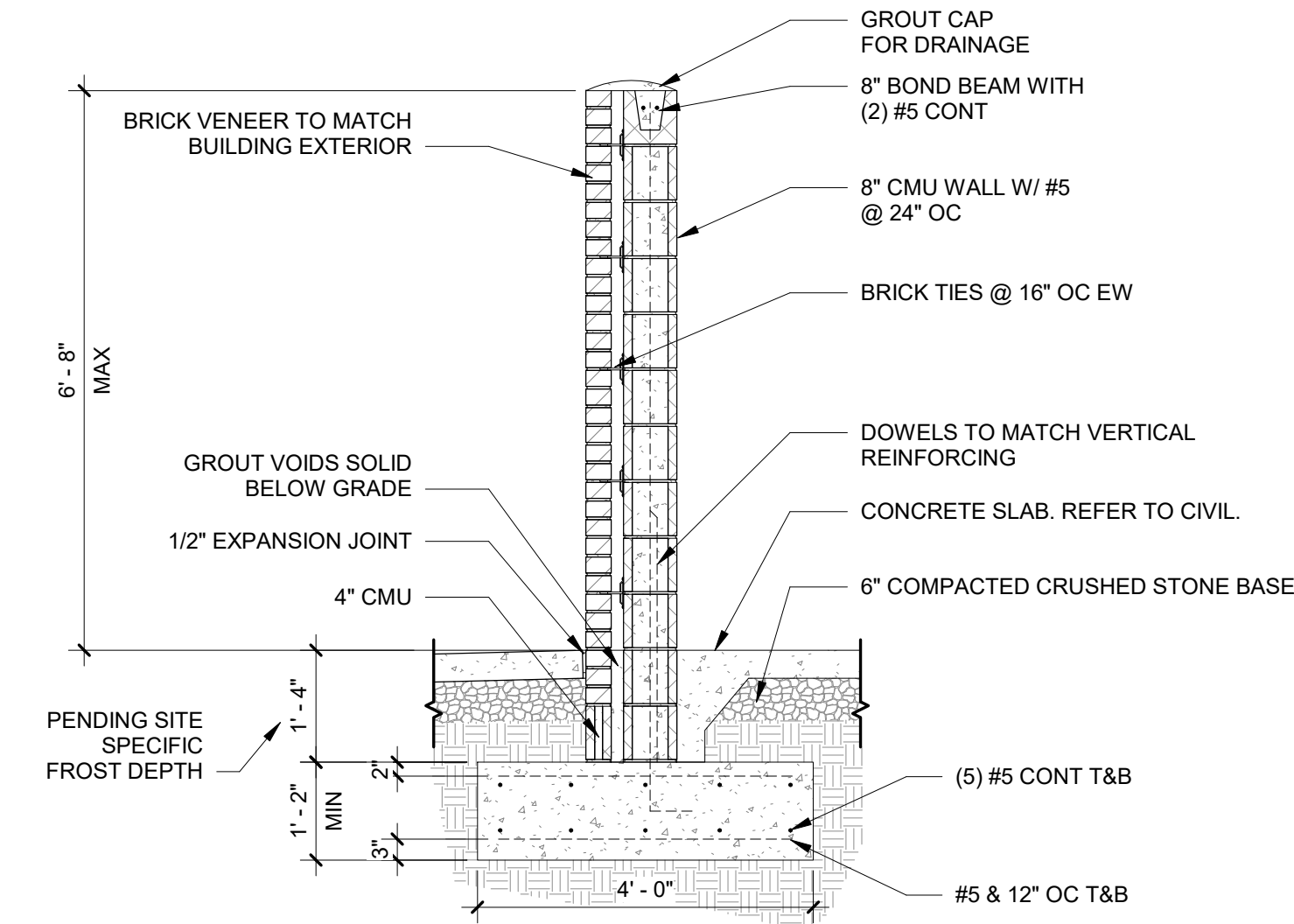
Revisions
1 2022.09.06 PLANNING COMMENTS
2 2022.10.05 PLANNING COMMENTS

Drawing

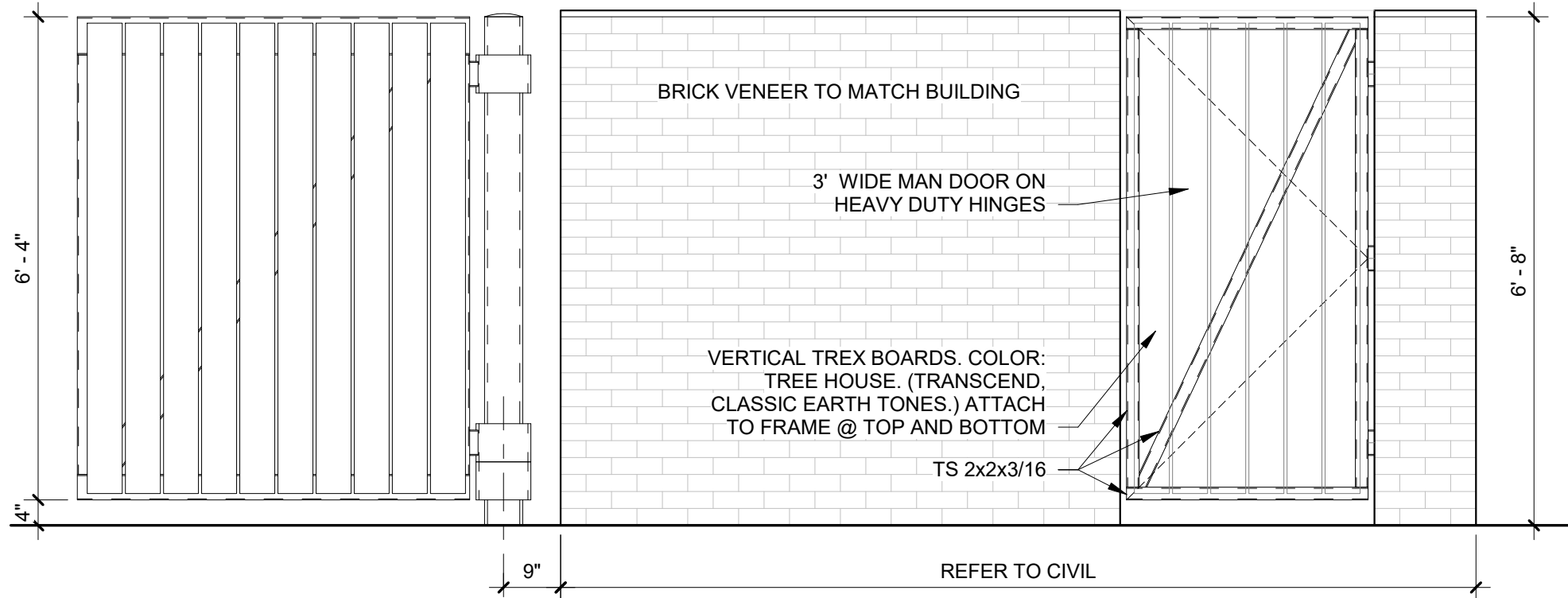
COLORED
ELEVATIONS

A4.4

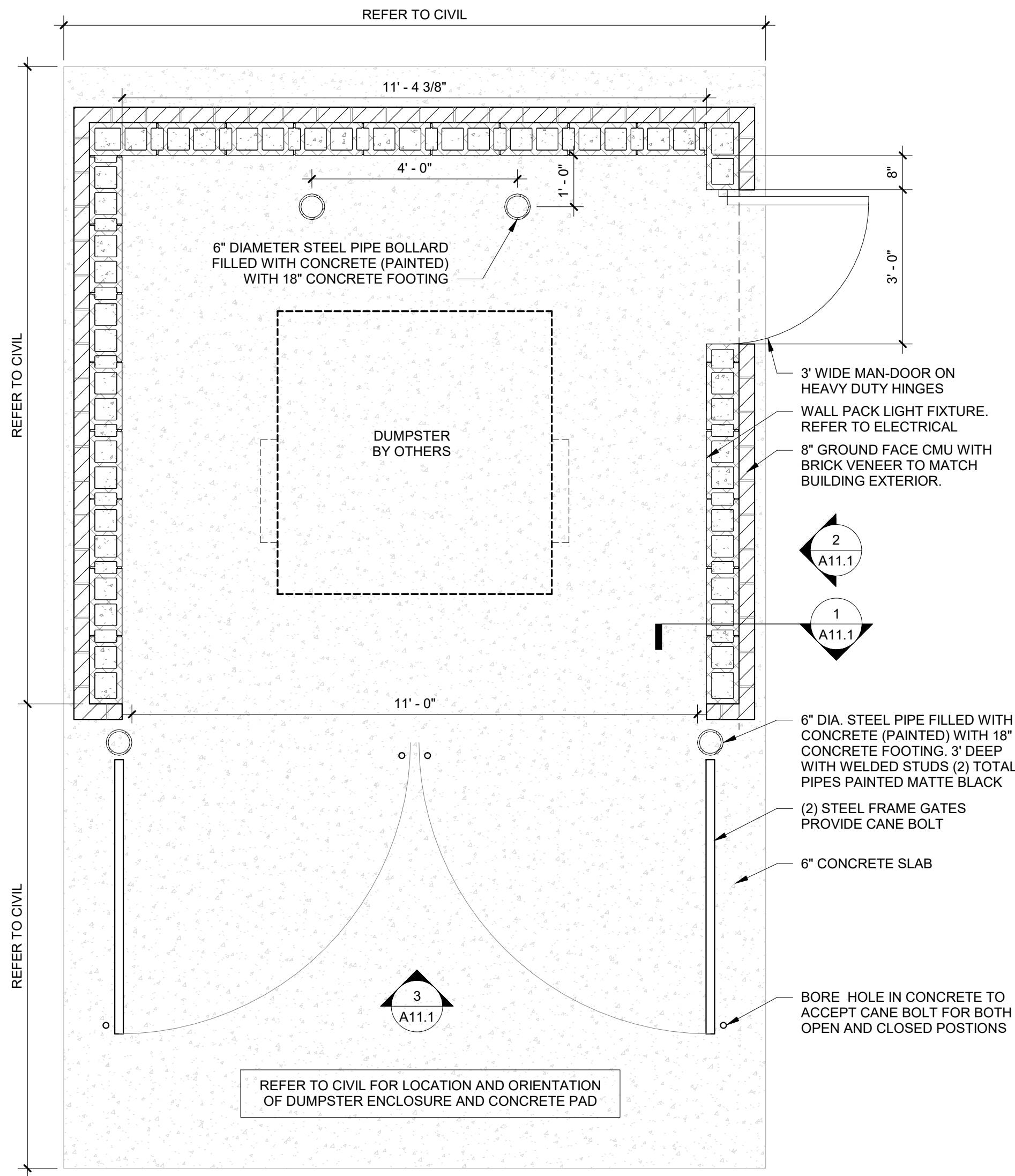
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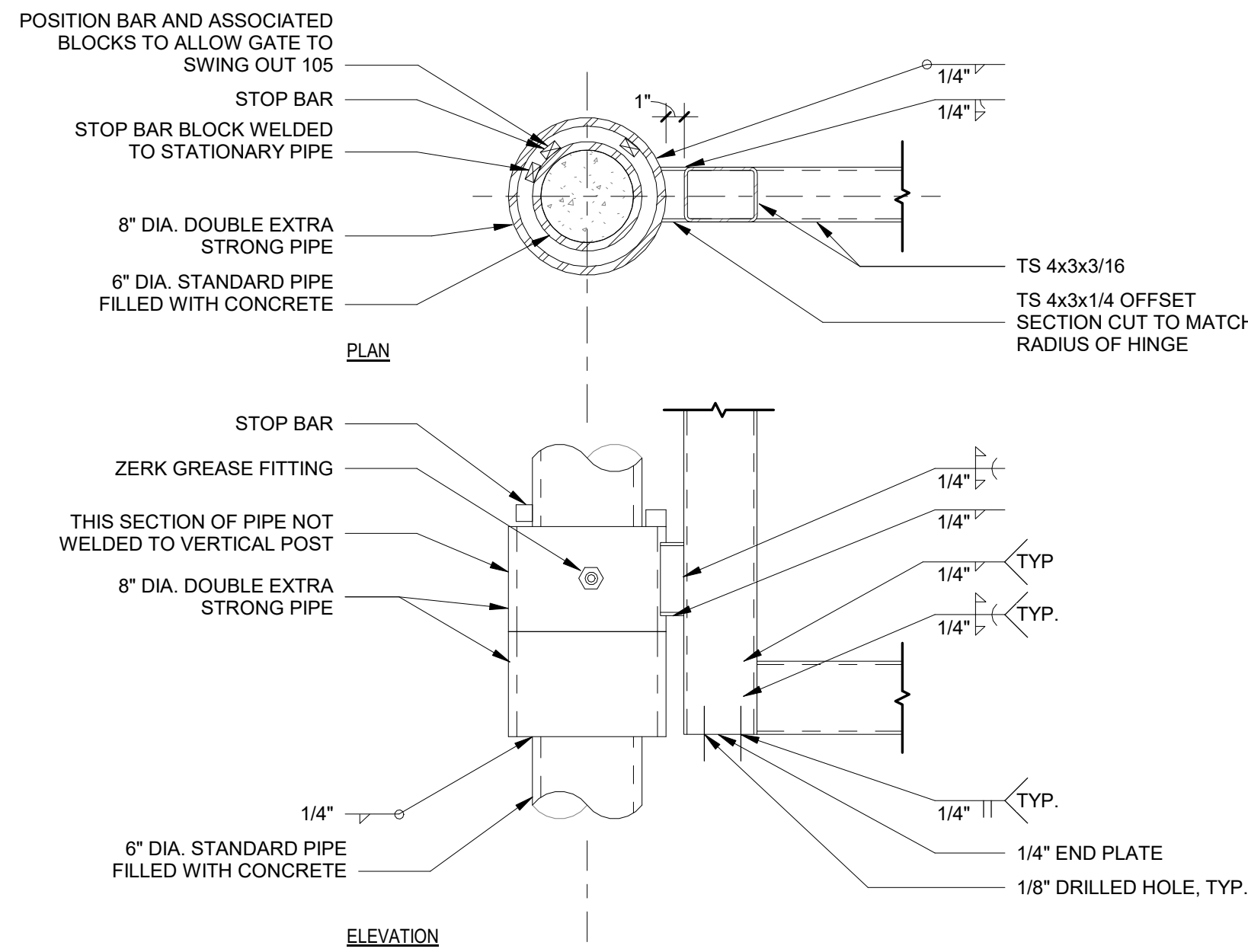
1 TRASH ENCLOSURE SECTION
A11.1 1/2" = 1'-0"



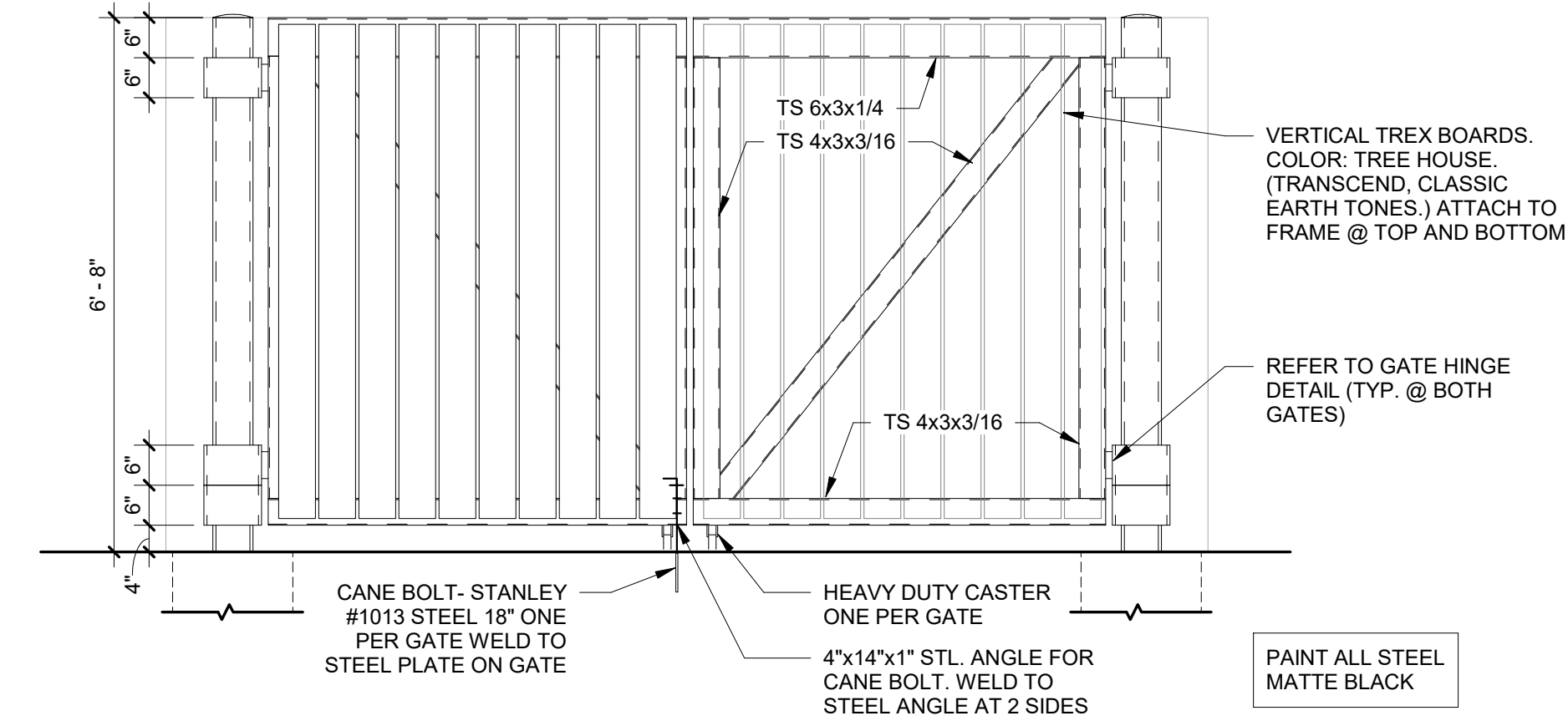
2 TRASH ENCLOSURE ELEVATION AND SECTION
A11.1 1/2" = 1'-0"



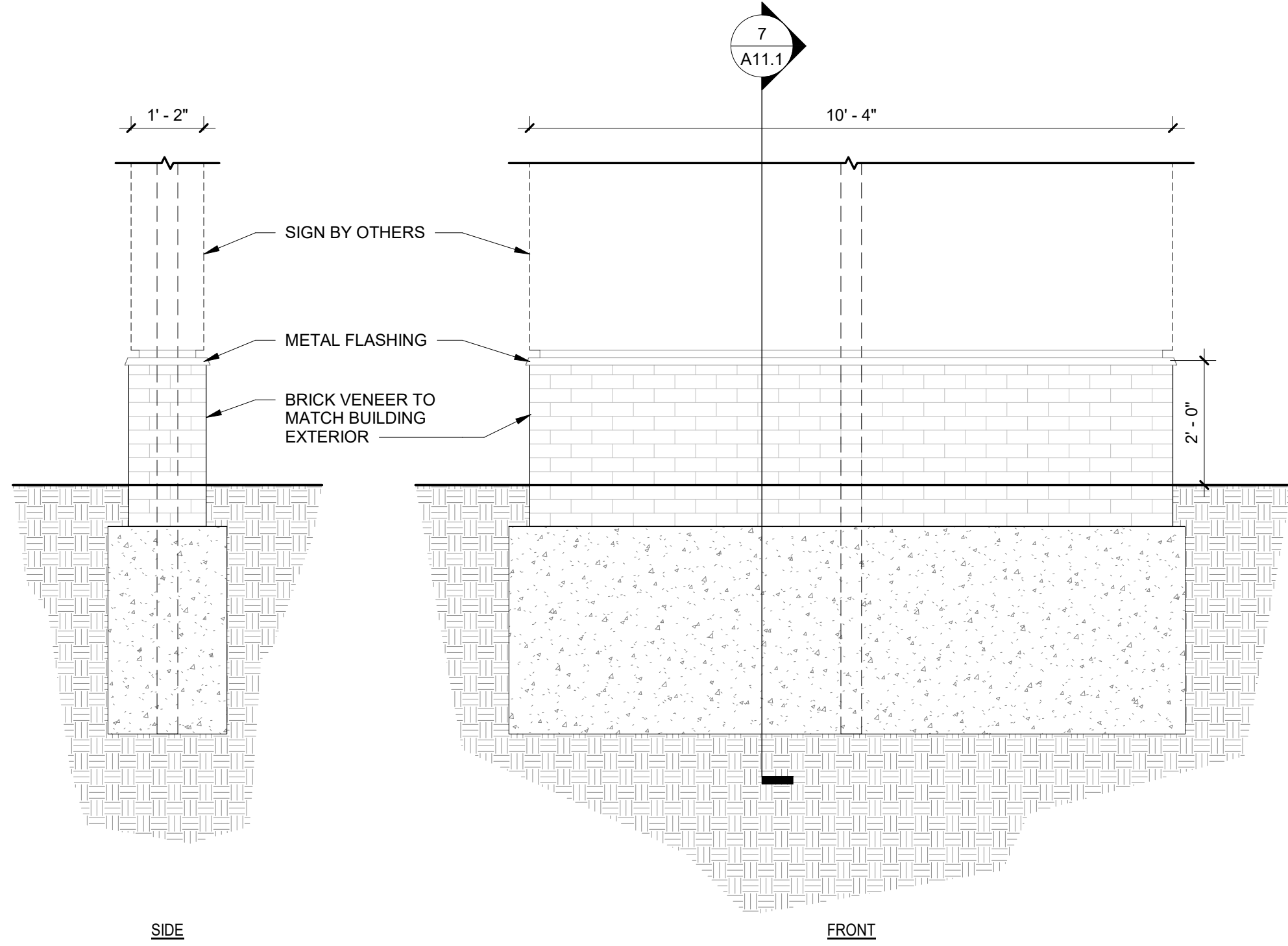
4 TRASH ENCLOSURE PLAN
A11.1 1/2" = 1'-0"



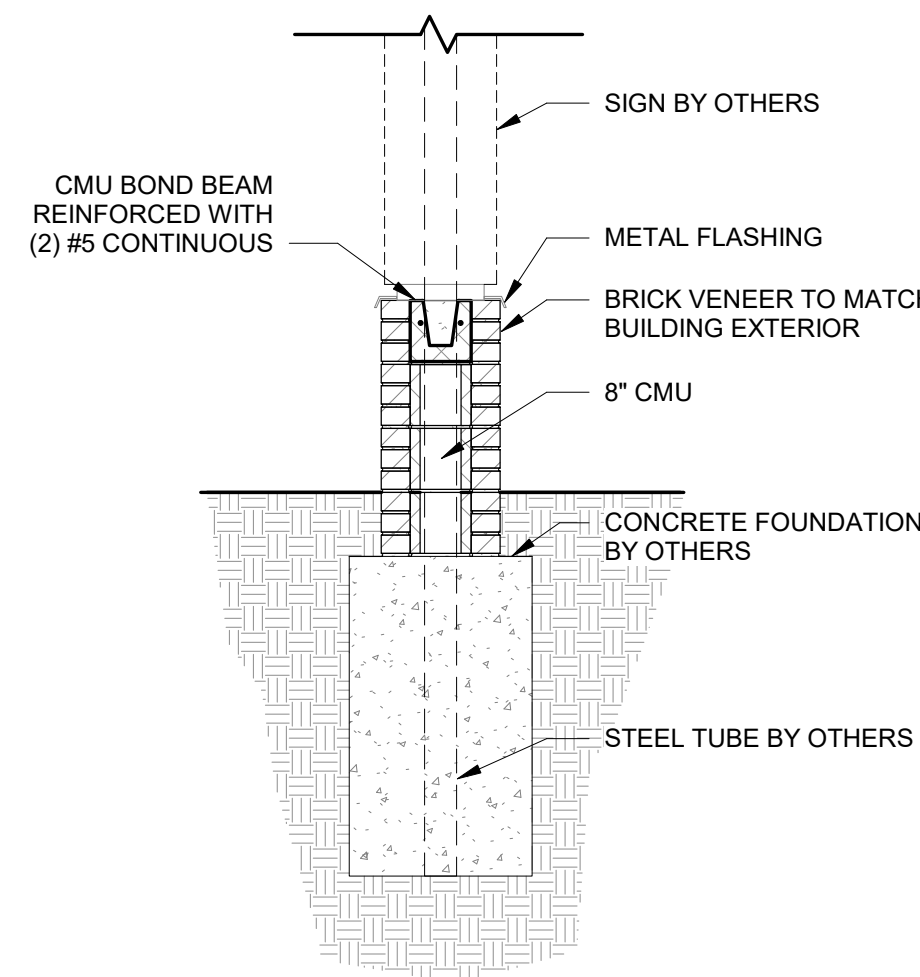
5 GATE HINGE DETAIL
A11.1 1 1/2" = 1'-0"



3 TRASH ENCLOSURE GATE ELEVATION
A11.1 1/2" = 1'-0"



6 MONUMENT SIGN ELEVATIONS
A11.1 1/2" = 1'-0"



7 MONUMENT SIGN SECTION
A11.1 1/2" = 1'-0"

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Project

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PASSIONATE. PROVEN. PROFESSIONAL

DENTAL OFFICE
ROLESVILLE, NC

Project Number 21370
Drawn By JDS
Checked By KMW
Date 04 NOV 2021

Revisions

Drawing

SITE DETAILS

A11.1