

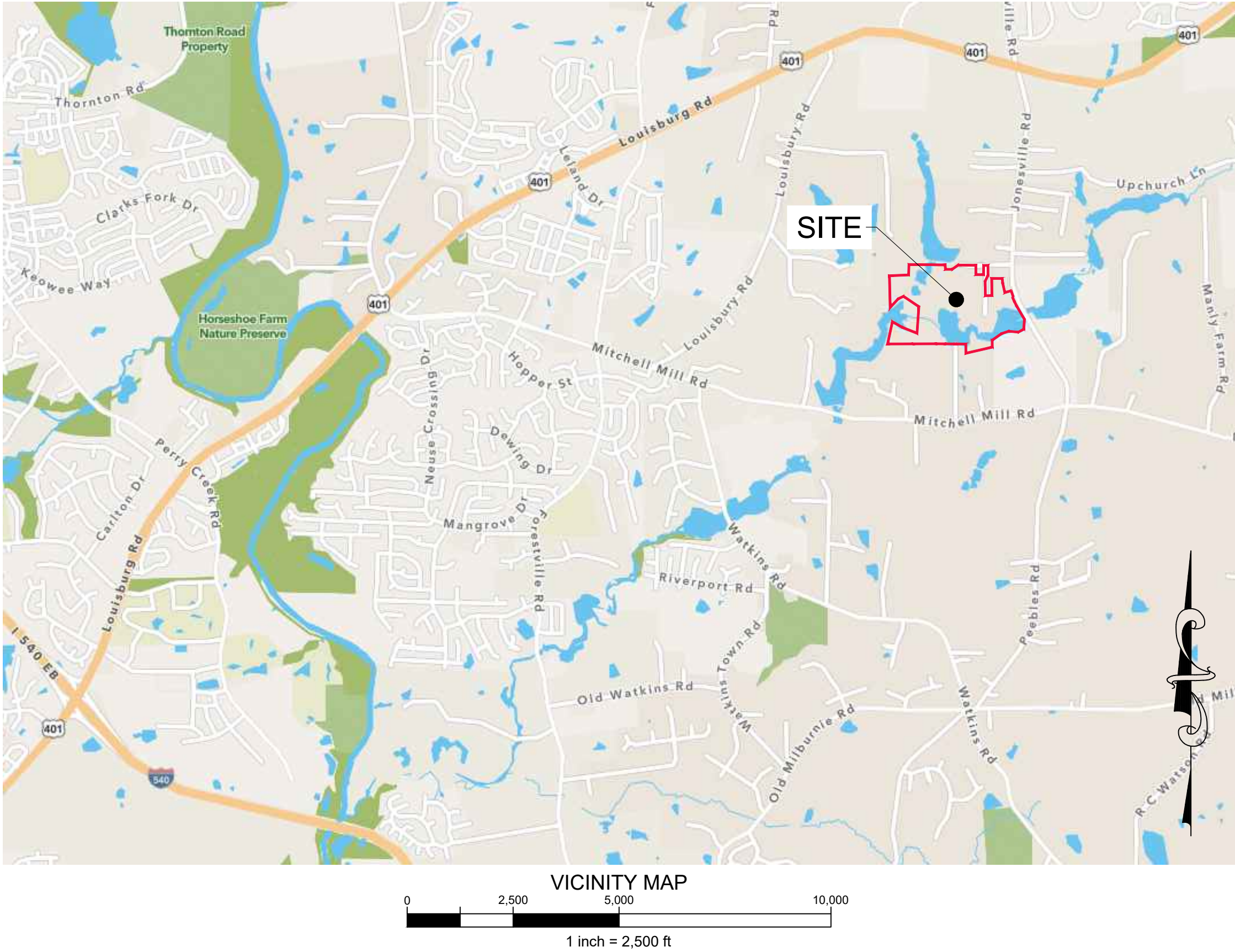
File Location: C:\Users\Tim Newsome\Quantech\Engineering - Documents\Harris Creek Farm - Jonesville\Engineering - DWG\Construction Plans\1 Cover.dwg

| SITE DATA TABLE | |
|--|---|
| OWNER | KENNETH INVESTMENTS, LLC Contact: STEPHAN GEORGE 10030 GREEN LEVEL CHURCH RD, STE 802 CARY, NC 27519 |
| ENGINEER: | QUANTECH ENGINEERING BRYAN A. HARRIS, PE 15000 WESTON PARKWAY, STE. 174 CARY, NC 27513 PHONE: (919) 815-9987 EMAIL: BRYAN@QUANTECHENG.COM |
| DEVELOPER: | THE CSC GROUP, LLC STEVE GEORGE 600 PARK OFFICES DRIVE, STE 372 RESEARCH TRIANGLE, NC 27709 PHONE: (919) 815-9987 |
| ENVIRONMENTAL CONSULTANT | MORRIS & RITCHIE ASSOCIATES 530 HINTON POND ROAD, SUITE 104 KNIGHTDALE, NC 27545 |
| SURVEYOR: | BATEMAN CIVIL SURVEY COMPANY JOSH DAVIDSON 2524 RELIANCE AVE APEX, NC 27539 PHONE: 919-557-1080 Ext 109 josh@batemancivilsurvey.com |
| SITE ADDRESS | 4928 UNIVERSAL DR WAKE FOREST, NC 27587-6356 |
| PIN: | 1757277811, 1757471559, 1757383572, 1757384572, 1757385064, 1757375975, 1757375865, 1757375765, 1757375665, 1757375575, 1757375464, 1757375365, 1757375276, 1757378303, 1757378109, 1757378013, 1757368816 |
| DEED BOOK / PAGE | 019248 / 01884 (all parcels) |
| PLAT BOOK / PAGE | BM2007 / 01224 |
| TOTAL SITE AREA: | 94.99 AC |
| EXISTING ZONING: | RM-CZ |
| CURRENT USE: | RESIDENTIAL |
| PROPOSED USE | RESIDENTIAL-CLUSTER (MEDIUM DENSITY) |
| RIVER BASIN | NEUSE RIVER BASIN |
| SUB WATERSHED | NEUSE (UPPER) - 03020201 |
| FEMA FIRM PANEL #: | 3720175700K |
| RESIDENTIAL DENSITY CALCULATIONS (CLUSTER SUBDIVISION) | |
| MAXIMUM DENSITY ALLOWED: | 5.0 UNITS / AC |
| PROPOSED DENSITY: | 120 UNITS / 94.99 AC = 1.26 UNITS / AC |
| LOTS (CLUSTER) | |
| MINIMUM LOT WIDTH | 42.0 FT |
| MINIMUM LOT AREA | 6,000 SF |
| MINIMUM BUILDING SETBACKS: | FRONT: 20' REAR: 20' CORNER: 10' SIDE: 5' |
| OPENSACE (MEDIUM DENSITY, CLUSTER) | |
| OPEN SPACE (REQUIRED 12%) | 11.40 AC |
| OPEN SPACE (PROPOSED) | 63.31 AC |
| PASSIVE (REQUIRED) | 5.70 AC |
| PASSIVE (PROPOSED) | 55.75 AC |
| PASSIVE (NOT IN SCM OR ENVIRONMENTAL AREAS) | 7.11 AC |
| ACTIVE (REQUIRED) | 5.70 AC |
| ACTIVE (PROPOSED) | 7.56 AC |
| ACTIVE SPACES (REQUIRED) | 2 MEDIUM AREA (1.0 - 2.5 AC) 1 LARGE AREA (> 2.5 AC) |
| ACTIVE SPACES (PROVIDED) | (2) MEDIUM AREAS Area 1 = (44,540 SF, 1.02 AC) Area 2 = (78,467 SF, 1.80 AC) (1) LARGE AREA Area 3 = (206,621 SF, 4.74 AC) |
| TREE SAVE SUMMARY (CLUSTER) | |
| EXISTING QUALIFIED TREES: | 514 Total |
| REQUIRED TREES SAVE: | 52 (10% of Total) |
| PROPOSED TREES SAVE: | 267 (52% of Total) |
| STREET DATA | |
| STREET A | 1,125 LF 50' R/W 35' BC - BC |
| STREET B | 1,245 LF VARIABLE R/W 35' BC - BC |
| STREET C | 2,360 LF 50' R/W 35' BC - BC |
| STREET D | 705 LF 50' R/W 27' BC - BC |
| STREET E | 370 LF 50' R/W 27' BC - BC |
| DEDICATED ROAD R.O.W. | 7.64 ACRES |

| IMPERVIOUS AREA | |
|-----------------------|---|
| EXISTING GRAVEL ROADS | 69,021 SF (1.58 AC) |
| PROPOSED ROADS | 186,157 SF (4.27 AC) |
| PROPOSED PARKING LOTS | 11,176 SF (0.26 AC) |
| PROPOSED SIDEWALKS | 56,138 SF (1.29 AC) |
| PROPOSED GREENWAYS | 65,664 SF (1.51 AC) |
| ALLOWABLE / LOTS | 20% = 827,553 SF (19.00 AC) -319,890 SF (7.34 AC) = 507,663 SF (11.65 AC) 507,663 SF / 120 Lots = 4,230 SF / Lot |

| PARKING CALCULATIONS | | | |
|------------------------------------|--|-------------|--|
| PRINCIPAL USES | MINIMUM REQ'D | MAX ALLOWED | PROPOSED SPACES |
| PARKS/PUBLIC RECREATION FACILITIES | 3 PER GROSS ACRE PLUS 1 PER 1000 SF OF GROSS FLOOR AREA OF BUILDINGS 5.09 Ac * 3 = 15.26 0 SF of FLOOR = 0 SPACES ADA CALC'S 26-50 PARKING SPACES REQUIRE ONE VAN ACCESSIBLE AND ONE STANDARD | NO MAXIMUM | 28 SPACES (INCLUDES 4 VAN ACCESSIBLE ADA SPACES) |

PROJECT REZONING WAS SUBMITTED AUGUST 2022. THE PROPERTY'S RM-CZ ZONING DISTRICT IS THEREFORE SUBJECT TO LDO SECTION 3.1.B(3.1.2.B)TABLE 3.1.2. CLUSTER DEVELOPMENT STANDARDS FOR MINIMUM LOT AREA (SIZE), WIDTH, AND BUILDING SETBACKS IN EFFECT AS OF AUGUST 2022. SPECIFICALLY, THIS IS PRIOR TO THE APRIL 4, 2023 ADOPTION OF TEXT AMENDMENT TA-23-02 WHICH MODIFIED THESE CLUSTER DEVELOPMENT STANDARDS.



PRELIMINARY PLAT FOR

HARRIS CREEK FARMS

TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

CASE NUMBER: PSP-24-05

APPROVED BY THE TOWN OF ROLESVILLE

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| 5 | Tree Removal Plan |
| 6 | Tree Save Plan |
| 7 | Overall Site Plan |
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| 39 | Road Widening & Striping Details |
| 40 | Road Widening & Striping Details |
| 41 | Mitchell Waterline 0+00 to 12+50 |
| 42 | Mitchell Waterline 12+50 to 25+00 |
| 43 | Mitchell Waterline 25+00 to 37+50 |
| 44 | Mitchell Waterline 37+50 to 50+00 |
| 45 | Mitchell Waterline 50+00 to 62+50 |
| 46 | Mitchell Waterline 62+50 to 75+00 |
| 47 | Mitchell Waterline 75+00 to 84+00 |
| 48 | Jonesville Rd Waterline 0+00 to 10+00 |
| 49 | Jonesville Rd Waterline 10+00 to 20+00 |
| 50 | Jonesville Rd Waterline 20+00 to 30+00 |

AGENCY CONTACTS

Town of Rolesville
Planning Department
502 Southtown Circle
Rolesville, NC 27511

Wake County
Watershed Management
Waverly F. Atkins Building
337 S. Salisbury St
Raleigh, NC 27601
Contact: Karen Pageau
Phone: (919) 756-8769
Email: karyn.pageau@wakegov.com

City of Raleigh Public Utilities Dept.
One Exchange Plaza Suite 620
Raleigh, NC 27602
Phone: (919) 995-3245
Email: publicutilityinfo@raleighnc.gov

NC DOT
Division 5, District 1 Office
4009 District Drive
Raleigh, NC 27607

N.C. UNDERGROUND UTILITIES

811
3 DAYS BEFORE DIGGING CALL
TOLL FREE 811 or (800)632-4949

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

Developer



10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519

Engineer



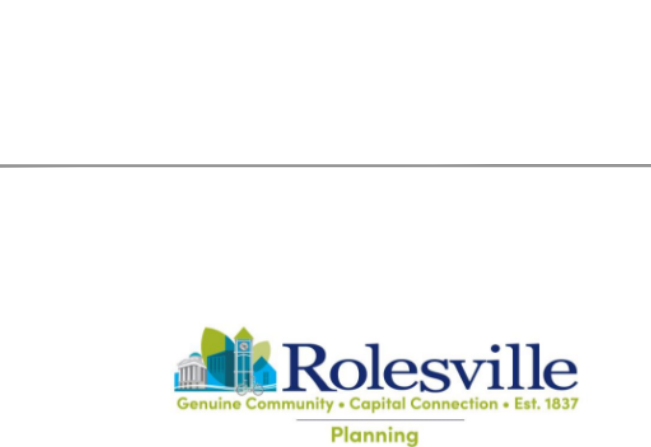
Surveyor



Jurisdiction / Municipality



Other Consultants

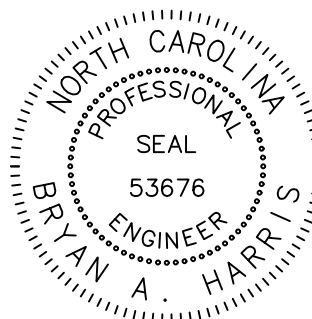


PSP-24-05 / Preliminary Subdivision Plat /
Harris Creek Farm
APPROVED
Date: May 17, 2025

Meredith Huber

Town of Rolesville Planning Department

Seal:



FINAL DRAWING - FOR
REVIEW PURPOSES ONLY

Issued / Print Date: 2025-April-30 (09:11)

File Name: 1 Cover.dwg

Last Saved by: Tim Newsome

Drawn by: TAN

Project:

HARRIS CREEK FARMS

Issued for: **PRELIMINARY PLANS
DO NOT USE FOR
CONSTRUCTION**

| REVISIONS | | |
|-----------|----------|---|
| No. | Date | Description |
| 1 | 11/08/24 | Town of Rolesville Planning Dept. comments |
| 2 | 02/07/25 | Town of Rolesville Planning Dept. comments |
| 3 | 04/30/25 | Lot lines changed due to recent survey or wetlands Location |

Sheet Title:

COVER

Sheet #:

1

File Location: C:\Users\Tim Newsome\Quantech\Engineering - Documents\Harris Creek Farm - Jonesville\Engineering - DWG\Construction Plans\1 Cover.dwg

GENERAL NOTES:

1. THE CONTRACTOR SHALL MARK THE LIMITS OF THE STREAM BUFFER AND WETLANDS WITH ORANGE TREE PROTECTION FENCE WITH APPROPRIATE SIGNAGE. TREE PROTECTION FENCE SHALL BE INSTALLED ALONG THE OUTER ZONE OF ANY NEUSE RIVER BUFFER OR CAPE FEAR BUFFER OR IF THERE IS ANY CONSTRUCTION WITHIN 50 FEET OF THE BUFFER EDGE. THIS MUST BE DONE PRIOR TO STARTING ANY CLEARING AND MUST BE DONE TO OBTAIN A CERTIFICATE OF COMPLIANCE.
2. IF THE DEVELOPER HAS RECEIVED APPROVAL TO WORK IN THE FIRST 20-FEET OF A STREAM BUFFER, THEN THE LAST 30-FOOT BOUNDARY SHALL BE MARKED IN THE AREA ADJACENT TO THIS WORK. OTHERWISE THE ENTIRE 50-FEET SHALL BE MARKED. THIS MARKING SHALL REMAIN IN PLACE UNTIL ALL ADJACENT DISTURBED AREAS HAVE BEEN COMPLETED AND STABILIZED.
3. CONTRACTOR WILL INSTALL TEMPORARY DIVERSION DITCHES WHEN SETTING UP EROSION CONTROL MEASURES IN THE SAME LOCATION AS THE PERMANENT DITCHES (7 DAY GROUND COVER REQUIRED).
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL LOCAL, COUNTY, OR STATE REQUIRED PERMITS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THE SITE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY'S (ELECTRIC, GAS, TELEPHONE, ETC.)
7. THE CONTRACTOR SHALL BE AWARE OF ANY OVERHEAD POWER LINES AND SHALL TAKE ALL NECESSARY PRECAUTION TO ENSURE THAT PERSONNEL AND TRAFFIC ARE SAFE AT ALL TIMES.
8. THE UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, CHARTED OR UNCHARTED, LOCATED OR UNLOCATED. ANY AND ALL WORK PERFORMED TO REPAIR UTILITIES DAMAGED BY THE UTILITY CONTRACTOR MUST MEET THE APPROVAL OF THE ASSOCIATED UTILITY COMPANY AND THE UTILITY CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY SUCH REPAIRS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLACEMENT OF A SUITABLE BACKFILL MATERIAL AND SHALL PLACE MATERIAL IN 12" LAYERS AND COMPACT SAID FILL TO A 95% STANDARD PROCTOR.
10. THE CONTRACTOR SHALL BE COGNIZANT OF THE EROSION CONTROL DEVICES FOR THIS PROJECT AND SHALL MAKE EVERY EFFORT TO ASSURE THAT ALL SUCH DEVICES ARE KEPT CLEAN AND IN APPROPRIATE WORKING ORDER. AFTER EACH STORM OR RAINFALL EVENT, ALL COLLECTED SEDIMENT SHALL BE REMOVED AND THE DEVICES RETURNED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL REIMBURSE ANY FINES, DUE TO EROSION CONTROL FAILURES, TO THE OWNER/DEVELOPER.
11. THE CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL DURING ALL PHASES OF THIS CONSTRUCTION IN ACCORDANCE WITH NCDOT AND ALL MUNICIPALITY STANDARDS.
12. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MOST CURRENT EDITION OF THE ORDINANCE.
14. THE CONTRACTOR SHALL OBTAIN A LANE CLOSURE PERMIT (IF APPLICABLE) FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAFFIC LANE FROM THE PUBLIC WORKS DEPARTMENT-TRANSPORTATION OPERATION DIVISION AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT A STREET CUT PERMIT (IF APPLICABLE).
16. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
17. THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB AND GUTTER, SIDEWALKS AND STREET TO EXISTING CONDITION OR BETTER.
18. ANY CHANGES OR DEVIATIONS FROM THESE PLANS NO MATTER HOW MINOR SHALL BE DONE ONLY WITH THE EXPRESS "PRE-APPROVAL" OF THE PROJECT ENGINEER.
19. IT IS REQUIRED BY THE STATE, THAT THE ENGINEER CERTIFY THE AS-BUILT CONDITIONS OF THE UTILITIES AFTER THEY HAVE BEEN CONSTRUCTED. IT IS THEREFORE NECESSARY THAT THE ENGINEER WITNESS AND MONITOR THE CONSTRUCTION PROCESS. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE ENGINEER, WITH AT LEAST 48 HOURS OF ADVANCE NOTICE OF WHEN THE CONSTRUCTION WILL TAKE PLACE SO THAT PROPER INSPECTIONS CAN BE MADE.
20. ALL EROSION CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
21. TO PREVENT SHORT CIRCUITING OF SEDIMENT TRAPS, ALL TRAPS CALL FOR SILT FENCE FLOW DIVERSIONS PER TRAPS DETAIL.
22. TEMPORARY DIVERSION DITCHES SHALL BE INSTALLED ALONG THE SIDES OF THE CLEARING AREA UNTIL SUCH TIME AS THE TYPICAL ROADWAY SECTION CAN BE ESTABLISHED.
23. NO EROSION CONTROL MEASURES MAY BE REMOVED WITHOUT THE PRIOR APPROVAL OF BOTH THE PROJECT ENGINEER AND LOCAL INSPECTOR.
24. THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY GROUND COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PERMANENT GROUND COVER WILL BE PROVIDED FOR ALL DISTURBED AREAS WITHIN 14 CALENDAR DAYS. (PER GENERAL STATUTE 113A-57 PARAGRAPH 2 & 3).
25. NO DISTURBED AREA SHALL BE ALLOWED TO REMAIN UNPROTECTED AND MUST BE MULCHED AND SEEDED WITHIN 14 DAYS OF WHEN WORK WAS CONDUCTED.
26. SEEDING OF THE SHOULDERS SHALL BE IN ACCORDANCE WITH THE EROSION CONTROL DETAIL SHEET WITH THESE PLANS.
27. THE WATER LINES SHALL BE BURIED A MINIMUM OF 3' DEEP, FROM THE TOP OF THE FINISHED GROUND ELEVATION TO THE TOP OF THE PIPE THROUGH THE ENTIRE LENGTH OF THE PIPE.
28. THE METER SETTERS SHALL BE PLACED AT LEAST SIX (6) FEET FROM THE PROPERTY LINE BETWEEN THE LOTS AND NO MORE THAN TEN (10) FEET FROM THE PROPERTY LINE BETWEEN THE LOTS. THE METER SETTERS SHALL BE LOCATED ONE (1) FOOT WITHIN THE RIGHT-OF-WAY NEAR THE LOT CORNER OF EACH LOT (UNLESS RESTRICTED BY SIDEWALK IN WHICH CASE WILL BE PLACED A REASONABLE DISTANCE FROM THE SIDEWALK BUT NO FURTHER THAN 6 FEET).
29. EACH WATER LINE TAP SHALL BE INDIVIDUAL AND MADE A MINIMUM OF 12" APART.
30. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY OF THE RADIUS CURVATURE, OR TWENTY (20) FEET FROM THE INTERSECTION OF RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT ENCROACH ON THE MINIMUM CORNER CLEARANCE.
31. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH THE ADA AND LOCAL STANDARD. WHERE SIDEWALK IS NOT REQUIRED ALONG THE PUBLIC ROW, CURB IS TO BE DEPRESSED AT ALL RAMP LOCATIONS. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, PARKED VEHICLE OR OTHER OBJECT.
33. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS.
34. EXISTING UNUSED UTILITY SERVICES SHALL BE ABANDONED AT MAIN AND REMOVED FROM THE ROW OR EASEMENT.
35. ALL STRUCTURAL STORM WATER SCM'S SHALL BE LOCATED OUTSIDE OF NCDOT RIGHT OF WAYS. A PERMANENT PUBLIC DRAINAGE EASEMENT SHALL BE LOCATED OUTSIDE OF THE NCDOT RIGHT OF WAY(S) FOR ACCESS. NCDOT ASSUMES NO RESPONSIBILITY FOR THE OPERATION & MAINTENANCE OR LIABILITY OF THE STRUCTURAL STORMWATER SCM'S.
36. ALL ROADWAY DITCHES MUST BE STABLE BEFORE THEY WILL BE TAKEN INTO THE STATE SYSTEM.
37. LOTS DENOTED WITH AN ASTERISK (*) NEXT TO THE LOT NUMBER MEANS THERE IS A 100 YR FLOOD EASEMENT WHICH CONSISTS OF THE 100 YR FLOOD PLAIN (BACK WATER) PLUS 1' (OBTAINED FROM GIS ELEVATIONS) OR THE LOT HAS FLOOD HAZARD SOILS ON IT.
38. BEFORE ACQUIRING A BUILDING PERMIT FOR LOTS MARKED BY AN * (ASTERISK) THE BUILDER MAY NEED TO OBTAIN A FLOOD HAZARD AREA INFORMATION. THE BUILDER'S ENGINEER, ARCHITECT AND/OR SURVEYOR (AS APPROPRIATE) MUST CERTIFY ON ANY PERMIT THAT ALL FLOOD HAZARD REQUIREMENTS ARE MET.
39. THERE SHALL BE NO FILLING OR ERECTION OF PERMANENT STRUCTURES IN THE AREAS OF FLOOD HAZARD SOILS OR FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) 100 YEAR FLOOD ZONES UNTIL A FLOOD STUDY IS APPROVED.

SITE SPECIFIC NOTES:

1. OVERALL TOPOGRAPHIC INFORMATION WAS TAKEN FROM WAKE COUNTY GIS. STREET SECTIONS AND LOCATION OF EXISTING PAVEMENT AND STRUCTURES PROVIDED BY THE SURVEYOR.
2. BOUNDARY INFORMATION WAS TAKEN FROM INFORMATION PROVIDED BY THE SURVEYOR.
3. ALL LOTS WILL BE SINGLE FAMILY RESIDENTIAL.
4. LOCAL RESIDENTIAL STREET RIGHT-OF-WAY WIDTHS SHALL BE 50' AND HAVE 24' WIDE ASPHALT PAVEMENT SECTION WITH 30 INCH VALLEY CURB & GUTTER. COLLECTOR RESIDENTIAL STREETS SHALL HAVE 60' RIGHT-OF-WAY WIDTHS AND HAVE 30' ASPHALT PAVEMENT SECTION WITH 30" STANDARD CURB & GUTTER.
5. CUL-DE-SACS SHALL HAVE A 50' RADIUS. ASPHALT PAVEMENT RADII WITHIN CUL-DE-SAC SHALL BE 35'.
6. THERE ARE NO FEMA FLOOD BOUNDARIES ON THIS SITE ACCORDING TO CURRENT FIRM PANEL.
7. 404/401 PERMITS WILL NOT BE NEEDED.

MA 22-08 REZONING CONDITIONS:

1. THE SUBJECT PROPERTY SHALL BE DEVELOPED IN GENERAL COMPLIANCE WITH THE MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN DATED 01-01-24.
2. THE DEVELOPMENT SHALL CONSIST OF MAXIMUMS OF 120 SINGLE FAMILY DETACHED DWELLING UNITS/LOTS AS DETAILED IN THE MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN DATED 01-01-24.
3. SINGLE FAMILY DETACHED DWELLING UNIT FACADE ANTI-MONOTONY: IN ORDER TO PROMOTE VARIATION IN HOME APPEARANCE, NO SINGLE FAMILY FRONT FACADE SHALL BE DUPLICATED FOR THREE LOTS IN A ROW, OR DIRECTLY ACROSS THE STREET. FOR THE CORNER LOTS, THIS SHALL APPLY TO THE LOTS DIAGONALLY ACROSS THE INTERSECTION.
4. ALL GARAGE DOORS SHALL EITHER CONTAIN WINDOWS OR CARRIAGE STYLE ADORNMENTS.
5. SINGLE FAMILY DETACHED DWELLING UNITS SHALL:
 - A. BE A MINIMUM OF 1,500 HEATED SQUARE FEET.
 - B. HAVE CEMENTITIOUS SIDING THAT SHALL VARY IN TYPE AND COLOR WITH BRICK, SHAKES, BOARD AND BATTEN, OR STONE ACCENTS PROVIDED AS DECORATIVE FEATURES.
 - C. HAVE AT LEAST TWO TYPES OF FINISHES ON THE FRONT: LAP SIDING, MASONRY, SHAKES, AND BOARD BATTEN.
6. A HOME OWNERS ASSOCIATION (HOA) SHALL BE CREATED AND ALL OPEN SPACES OBSERVED IN MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN DATED 01-01-24, SHALL BE OWNED AND MAINTAINED BY THE HOA.
7. FOUNDATIONS: ALL FOUNDATIONS ARE TO BE MONOLITHIC POURED SLAB FOUNDATIONS. TOP OF SLABS SHALL BE ELEVATED A MINIMUM OF 18" ABOVE FINISHED GRADE FOR ALL DWELLING UNITS. ALL FOUNDATIONS SHALL BE TREATED WITH MASONRY ON THE FRONT AND STREET-FACING SIDES FOR A MINIMUM OF 10'.
8. RECREATIONAL AMENITIES: THE FOLLOWING RECREATIONAL AMENITIES SHALL BE CONSTRUCTED AS OBSERVED IN MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN DATED 01-01-24. PUBLIC GREENWAY (APPROXIMATELY 5,600 LINEAR FEET), PRIVATE MULTI-USE PATHS (APPROXIMATELY 410 LINEAR FEET), GAZEBOs, PLAYGROUNDS, AND A DOG PARK, AMENITIES SHALL BE BUILT PRIOR TO ISSUANCE OF THE BUILDING PERMIT FOR THE 70TH LOT.
9. LANDSCAPING: AT LEAST 20 PERCENT (20%) OF ALL LANDSCAPING REQUIRED BY THE LDO, THAT DOES NOT ALREADY QUALIFY UNDER LDO 6.2, SHALL UTILIZE PLANT MATERIALS LISTED AS NATIVE POLLINATOR PLANTS BY THE NORTH CAROLINA WILDLIFE FEDERATION, WHERE EVERGREEN PLANTINGS OR STREET TREES ARE REQUIRED BY THE LDO, NATIVE POLLINATOR PLANTINGS SHALL NOT BE REQUIRED. SUCH PLANTINGS SHALL NOT BE REQUIRED. SUCH PLANTINGS SHALL BE CLEARLY SHOWN IN CONSTRUCTION DRAWINGS AND INSTALLED AS PART OF SUBDIVISION INFRASTRUCTURE. NOTHING HEREIN SHALL BE CONSTRUCTED TO LIMIT THE PLANT MATERIALS PERMITTED ON THE INDIVIDUAL RESIDENTIAL LOTS.
10. SIDEWALK EASEMENT: THE DEVELOPMENT SHALL ATTEMPT TO PROCURE AN EASEMENT FROM THE OWNERS OF THOSE PROPERTIES WITH PINS: 1757-48-1376 AND 1757-38-8408 IN ORDER TO PROVIDE A 5' WIDE SIDEWALK RUNNING FROM THE DEVELOPMENT'S PROPOSED ACCESS TO JONESVILLE ROAD TO THE INTERSECTION WITH UNIVERSAL DRIVE. IF THE DEVELOPMENT PROCURES EASEMENTS FROM BOTH PROPERTY OWNERS, THE SIDEWALK SHALL BE LOCATED WITHIN SAID EASEMENTS AND CONSTRUCTED CONSISTENT WITH THE TOWN OF ROLESVILLE TRANSPORTATION PLAN, AND SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE ONE HUNDREDTH (100TH) BUILDING PERMIT. IF THE DEVELOPMENT IS UNABLE TO PROCURE AN EASEMENT FROM EITHER OF THE PROPERTY OWNER PRIOR TO THE ISSUANCE OF THE FIRST (1ST) BUILDING PERMIT, THEN THE DEVELOPMENT SHALL PAY A FEE-IN-LIEU FOR THE SIDEWALK CONSTRUCTION TO THE TOWN OF ROLESVILLE. THE FEE-IN-LIEU SHALL BE PAID PRIOR TO THE ISSUANCE OF THE ONE HUNDREDTH (100TH) BUILDING PERMIT.
11. UNIVERSAL DRIVE: THE DEVELOPMENT SHALL ATTEMPT TO PROCURE A MINIMUM 20' WIDE ACCESS EASEMENT FROM THE OWNER OF THAT PROPERTY WITH PIN: 1757-38-8408 FOR VEHICULAR INGRESS AND EGRESS TO AND FROM GIDEON DRIVE AND JONESVILLE ROAD. THIS EASEMENT SHALL BE RECORDED WITH THE WAKE COUNTY REGISTRY. IF THE EASEMENT IS OBTAINED AND RECORDED, THE DEVELOPMENT SHALL PAVE THE EASEMENT AREA WITH A 20' WIDE ASPHALT SURFACE COAT OVER TOP OF THE EXISTING PRIVATE GRAVEL ACCESS DRIVE. THE PAVING SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE ONE HUNDREDTH (100TH) BUILDING PERMIT.
12. PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT FOR A DWELLING UNIT, THE DEVELOPMENT SHALL DONATE THIRTY FIVE THOUSAND DOLLARS AND NO CENTS (\$35,000.00) TO HOMES FOR HEROES.
13. HISTORICAL MONUMENT: THE DEVELOPMENT SHALL DEDICATE A 10-FOOT BY 10-FOOT AREA LOCATED NEXT TO THE GAZEBO AND GREENWAY PARKING AREA ALONG JONESVILLE ROAD TO ALLOW THE TOWN OF ROLESVILLE TO PLACE A HISTORICAL MONUMENT RELATED TO THE JONESVILLE AREA.
14. NAMING OF ROADS: PRIOR TO THE NAMING OF ANY PUBLIC ROADS WITHIN THE DEVELOPMENT, THE PROPERTY OWNER SHALL FORMALLY REQUEST SUGGESTED ROAD NAMES FROM JONESVILLE COMMUNITY CONNECT AND WILL SUBMIT THOSE SUGGESTED NAMES TO THE POST OFFICE FOR APPROVAL. IF THE NUMBER OF THOSE APPROVED NAMES ARE EQUAL OR GREATER THAN THE NUMBER OF PUBLIC STREETS WITHIN THE DEVELOPMENT, THE DEVELOPMENT SHALL EXCLUSIVELY USE THOSE APPROVED ROAD NAMES WITHIN THE DEVELOPMENT. IF THE NUMBER OF THOSE APPROVED NAMES IS LESS THAN THE NUMBER OF PUBLIC ROADS WITHIN THE DEVELOPMENT, THE DEVELOPMENT SHALL USE ALL OF THOSE APPROVED NAMES AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR NAMING THE REMAINING PUBLIC ROADS.
15. BLASTING: THE PROPERTY OWNER SHALL COMPLY WITH ALL WAKE COUNTY AND NORTH CAROLINA REGULATIONS RELATED TO BLASTING. SEE 29 CFR 1926.900-909 & 13 NCAC 07F .0703-.0712. ANY PERSON DETONATING EXPLOSIVES ON THE PROPERTY SHALL FIRST NOTIFY THE TOWN OF ROLESVILLE THAT A BLAST IS PLANNED. SUCH NOTIFICATION SHALL BE RECEIVED AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO THE PLANNED DETONATION AND SHALL GIVE THE TIME (WITHIN 30 MINUTES) OF THE PLANNED DETONATION AND THE LOCATION WHERE THE BLASTING IS TO BE DONE. THE PERSON DETONATING THE EXPLOSIVES SHALL GIVE AN EQUIVALENT NOTICE TO EACH PROPERTY OWNER THAT IS LOCATED WITHIN 1000 FEET OF THE PROPOSED BLASTING LOCATION. AT LEAST 60 DAYS PRIOR TO ANY BLASTING WITH EXPLOSIVE MATERIALS ON THE PROPERTY, THE PROPERTY OWNER WILL NOTIFY THE HOMEOWNERS WITHIN 1000 FEET OF THE PROPERTY OF THE EXPECTED BLASTING AND SHALL PROVIDE AN OPPORTUNITY FOR A PRE-BLASTING INSPECTION ("PBI") OF THE HOMEOWNER'S PROPERTY (INCLUDING STRUCTURES AND WELLS) TO ESTABLISH A BASELINE CONDITION OF THE HOMEOWNER'S PROPERTY. IF A NOTICED HOMEOWNER PROVIDES A WRITTEN ELECTION FOR A PBI AND PROVIDES REASONABLE ACCESS TO ITS PROPERTY AT REASONABLE TIMES, PROPERTY OWNER THROUGH ITS CONSULTANT ("BLASTING CONSULTANT") WILL CAUSE A PBI WITH REGARD TO SUCH HOMEOWNER'S PROPERTY TO BE PERFORMED PRIOR TO BLASTING ACTIVITIES. CONTACT INFORMATION FOR THE PURPOSE OF REPORTING DAMAGE CAUSED BY BLASTING SHALL BE PROVIDED. IF A PBI WAS PERFORMED AND THE HOMEOWNER PROVIDES NOTICE OF DAMAGE CAUSED BY BLASTING WITHIN 30 DAYS FOLLOWING BLASTING, THE PROPERTY OWNER SHALL CAUSE AN AFTER BLASTING INSPECTION ("ABI") TO BE PERFORMED AND IF A COMPARISON OF THE PBI TO THE ABI INDICATES THAT DAMAGE WAS CAUSED BY PROPERTY OWNER'S BASTING, IN THE REASONABLE OPINION OF THE BLASTING CONSULTANT, THE PROPERTY OWNER SHALL MAKE COMMERCIALY REASONABLE EFFORTS TO REPAIR SUCH DAMAGE WITHIN 180 DAYS OF FOLLOWING COMPLETION OF BLASTING ACTIVITIES ON THE PROPERTY. ALL BLASTING OPERATIONS SHALL BE COVERED IN SUCH MANNER AS TO PREVENT FRAGMENTS OF ROCK, GRAVEL, EARTH, TREES, OR OTHER SUBSTANCES OR MATERIALS FROM BEING THROWN AGAINST OR UPON LOTS, BUILDINGS, UTILITY LINES, OR ANY STREET OR HIGHWAY. WHENEVER BLASTING IS BEING CONDUCTED IN THE VICINITY OF GAS, ELECTRIC, WATER, FIRE ALARM, TELEPHONE, TELEGRAPH, OR STEAM UTILITIES, THE BLASTER SHALL NOTIFY THE APPROPRIATE REPRESENTATIVE OF SUCH UTILITIES AT LEAST 24 HOURS IN ADVANCE OF BLASTING SPECIFYING THE LOCATION AND INTENDED TIME OF SUCH BLASTING. HOURS OF DETONATION SHALL BE LIMITED AS PROVIDED BY THE ROLESVILLE TOWN CODE. PERSONS RESPONSIBLE FOR BLASTING OPERATIONS SHALL MAINTAIN A RECORD OF EACH BLAST. ALL ORIGINAL BLASTING RECORDS SHALL BE RETAINED BY THE PERSONS RESPONSIBLE FOR THE BLASTING OPERATIONS FOR AT LEAST FIVE YEARS FOLLOWING THE CESSATION OF THE BLASTING OPERATIONS AND SHALL BE AVAILABLE FOR INSPECTION BY THE FIRE MARSHAL UPON REQUEST.

Developer



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Engineer



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Jurisdiction / Municipality

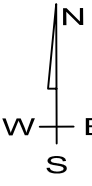


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502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517

PSP-24-05

Other Consultants

Sheet map:



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NOTES

Sheet#:

2

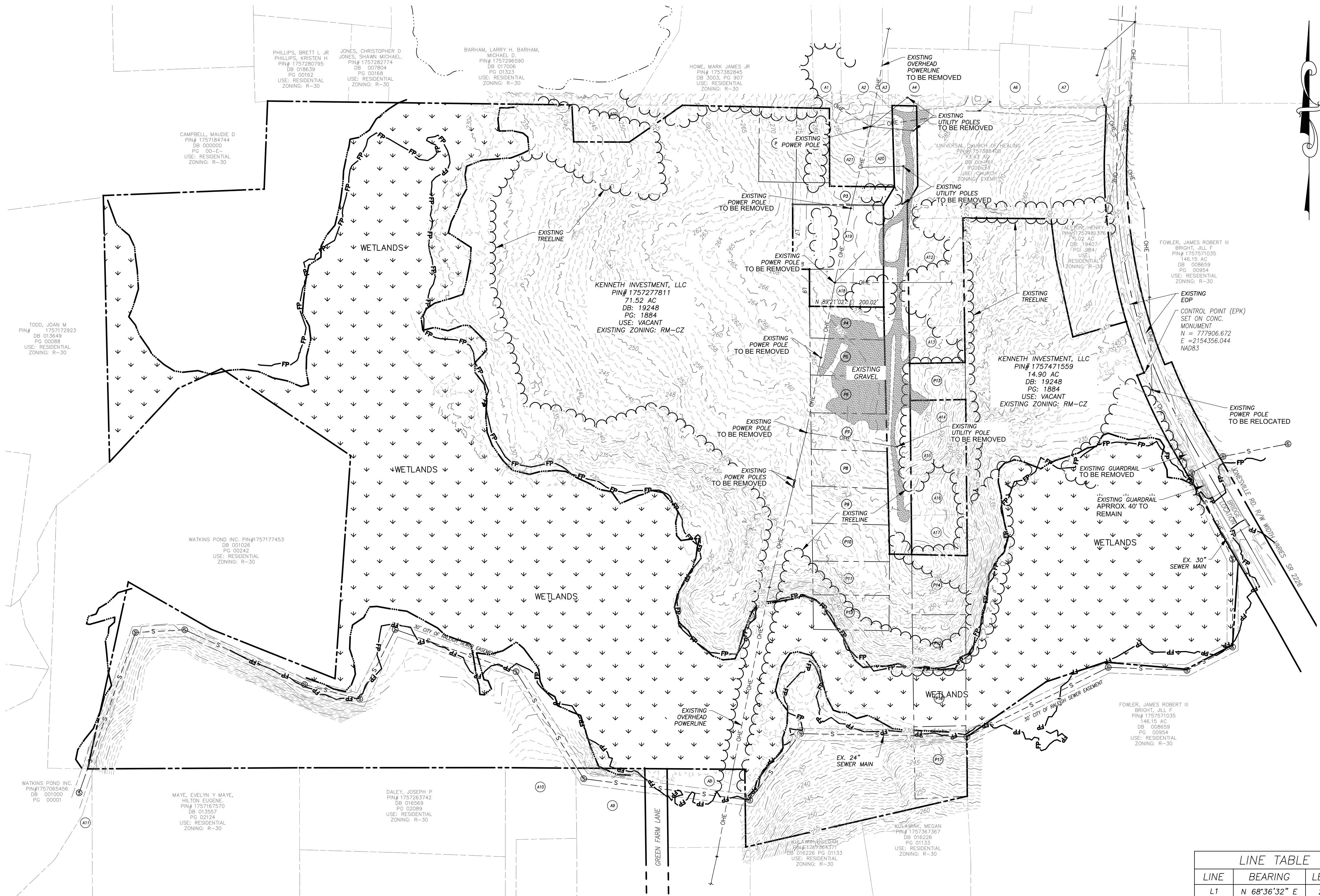
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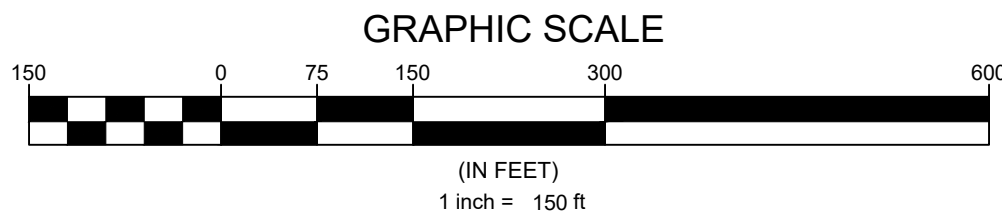


| ADJACENT PROPERTIES | | | | | |
|---------------------|--------------|---|--------------|-------------|--------|
| PLAN ID | PIN # | OWNER | DB/PG | USE | ZONING |
| A1 | 1757-38-4791 | ROSARIO, MODESTO ESCARFULLER | 19545 / 517 | Residential | R-30 |
| A2 | 1757-38-5884 | CURTIS, HENDALL HEIRS | 20-E / 3830 | Residential | R-30 |
| A3 | 1757-38-7858 | GARCIA, SALVADOR | 18610 / 2740 | Residential | R-30 |
| A4 | 1757-38-5884 | FERRELL, CHARLES E & FERRELL, SHARON R | 7662 / 727 | Residential | R-30 |
| A5 | 1757-38-7880 | POWER ELEVEN CONSTRUCTION, LLC | 19349 / 1245 | Residential | R-30 |
| A6 | 1757-48-0701 | HARTSFIELD, ROZELIA J HEIRS HATTIE SMITH | 10-E / 1220 | Residential | R-30 |
| A7 | 1757-48-1740 | HARTSFIELD, ROZELIA J HEIRS HATTIE SMITH | 10-E / 1220 | Residential | R-30 |
| A8 | 1757-36-1783 | BIRMINGHAM, JOHN DAVIS | 3642 / 732 | Residential | R-30 |
| A9 | 1757-26-9620 | CARPENTER, BOBBY RAY CARPENTER, ALBERTA L | 19601 / 2199 | Residential | R-30 |
| A10 | 1757-26-6697 | RIVERS, SUSAN MARSHALL | 3406 / 539 | Residential | R-30 |
| A11 | 1757-16-4026 | SOUTTER, SUSAN R SOUTTER, ROBERT QUENTIN | 17592 / 381 | Residential | R-30 |
| A12 | 1757-38-7189 | DUNN, JAMES WILLIAM HEIRS MONTAGUE, BUNNIE DUNN | N/A | Vacant | R-30 |
| A13 | 1757-38-7090 | WW OVERTIME LLC | 19202 / 2051 | Vacant | R-30 |
| A14 | 1757-37-7799 | WHITLEY, CLEVELAND G HEIRS | N/A | Residential | R-30 |
| A15 | 1757-37-7699 | JARVIS, MARIE D CURTIS, HURLEY MAE | 11946 / 1968 | Vacant | R-30 |
| A16 | 1757-37-8610 | JARVIS, MYRON JARVIS, MARIE | 9106 / 1133 | Residential | R-30 |
| A17 | 1757-37-7497 | JARVIS, MARIE D CURTIS, HURLEY MAE | 11946 / 1968 | Residential | R-30 |
| A18 | 1757-38-5155 | HARRIS, OLLIE VIRGIN HEIRS HARRIS, LORINE B | 98-E / 2613 | Vacant | R-30 |
| A19 | 1757-38-5249 | CHEN, PING LI, FANXING | 8518 / 367 | Residential | R-30 |
| A20 | 1757-27-7811 | ROUSE, ELLEN CURTIS | 19170 / 1070 | Vacant | R-30 |
| A21 | 1757-38-5562 | QUIRINO, MARIA ESTELA | 17501 / 945 | Residential | R-30 |
| A22 | 1757-28-9559 | WILDER, THOMAS H III WILDER, MAGGIE | 12-E / 3295 | Residential | R-30 |

| DEVELOPMENT OWNED PROPERTIES | | | | | |
|------------------------------|--------------|-------------------------|--------------|--------|--------|
| PLAN ID | PIN # | OWNER | DB/PG | USE | ZONING |
| P1 | 1757-38-3572 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P2 | 1757-38-4572 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P3 | 1757-38-5349 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P4 | 1757-38-5064 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P5 | 1757-37-5975 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P6 | 1757-37-5865 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P7 | 1757-37-5765 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P8 | 1757-37-5665 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P9 | 1757-37-5575 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P10 | 1757-37-5464 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P11 | 1757-37-5365 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P12 | 1757-37-5276 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P13 | 1757-37-7990 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P14 | 1757-37-8303 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P15 | 1757-37-8109 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P16 | 1757-37-8073 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |
| P17 | 1757-36-8816 | KENNETH INVESTMENT, LLC | 19248 / 1884 | Vacant | RM-CZ |

| LINE TABLE | | |
|------------|---------------|---------|
| LINE | BEARING | LENGTH |
| L1 | N 68°36'32" E | 20.00' |
| L2 | N 89°33'15" W | 60.01' |
| L3 | S 02°47'46" E | 100.00' |
| L4 | S 89°47'46" E | 150.00' |
| L5 | N 55°18'54" E | 174.59' |
| L6 | S 31°00'37" W | 57.95' |
| L7 | S 00°09'07" E | 175.02' |
| L8 | N 89°21'02" E | 45.00' |
| L9 | S 00°09'07" E | 100.01' |
| L10 | S 88°57'37" W | 150.00' |
| L11 | N 00°53'13" W | 100.00' |
| L12 | N 88°57'37" E | 150.00' |
| L13 | S 06°57'52" E | 113.70' |
| L14 | N 73°55'50" E | 149.95' |

| CURVE TABLE | | | | |
|-------------|---------------|----------------|------------|----------|
| CURVE | CHORD BEARING | CHORD DISTANCE | ARC LENGTH | RADIUS |
| C1 | S 19°15'36" E | 146.36' | 146.42' | 1462.39' |
| C2 | S 25°28'26" E | 211.09' | 211.27' | 1482.39' |



EXISTING CONDITIONS LEGEND

| | |
|---------------------------------|-----|
| EXISTING BOUNDARY / R.O.W. | --- |
| EXISTING MAJOR CONTOUR | --- |
| EXISTING MINOR CONTOUR | --- |
| EXISTING SEWER LINE | --- |
| EXISTING SANITARY SEWER MANHOLE | ⊙ |
| EXISTING WATERLINE | --- |
| EXISTING EASEMENT | --- |
| EXISTING 100 YEAR FLOOD PLAIN | --- |
| EXISTING TREELINE | --- |
| EXISTING OVERHEAD ELECTRIC LINE | --- |
| EXISTING WETLANDS | --- |

EXISTING CONDITION NOTES:

- BOUNDARY TAKEN FROM SURVEY BY GIL CLARK SURVEYING, 2329 HODGE RD, KNIGHTDALE, NC 27545, (919) 266-9732. DATED 07-28-2022
- TOPOGRAPHIC INFORMATION TAKEN FROM BATEMAN CIVIL SURVEY COMPANY, 2524 RELIANCE AVENUE, APEX NC 27539.
- THE SUBJECT PROPERTY HAS FEMA 100 YR-FLOODWAY PER FEMA MAP #3720175700K WITH AN EFFECTIVE DATE OF JULY 19, 2022.
- SITE IS LOCATED WITHIN THE NEUSE RIVER BASIN.
- THIS SITE HAS ACCESS TO WATER, SEWER AND ELECTRICAL UTILITY SERVICES.

Developer



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Engineer



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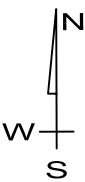
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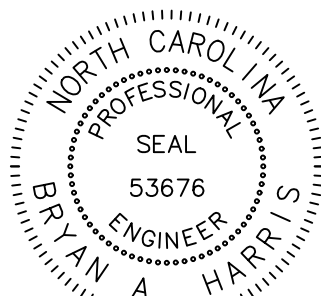
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Sheet map:



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N.C. UNDERGROUND UTILITIES

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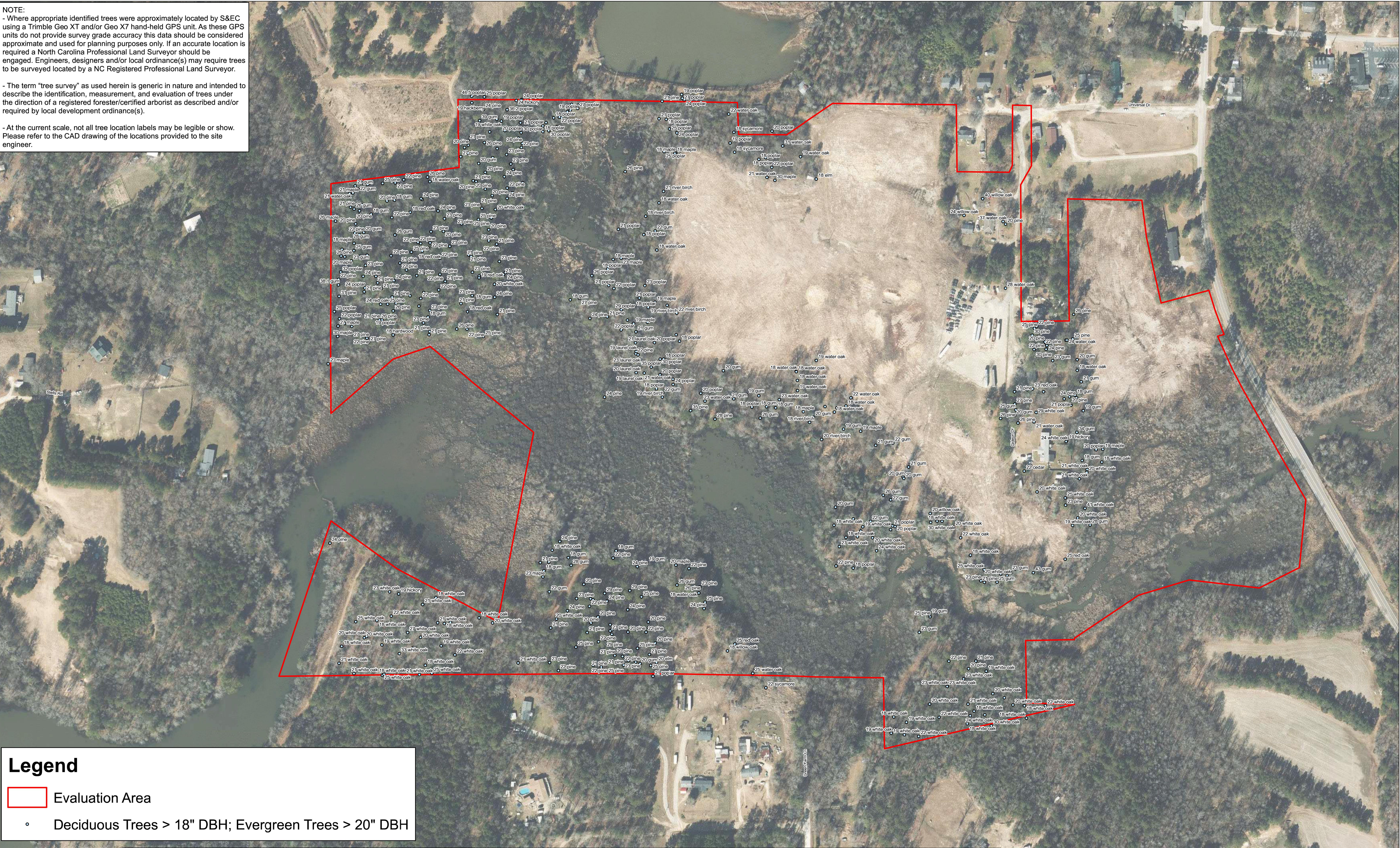
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File Location: C:\Users\Tim Newsome\Quantech\Engineering - Documents\Harris Creek Farm - Jonesville\Engineering - DWG\Construction Plans\3 Overall Existing conditions.dwg

NOTE:
- Where appropriate identified trees were approximately located by S&EC using a Trimble Geo XT and/or Geo XT hand-held GPS unit. As these GPS units do not provide survey grade accuracy this data should be considered approximate and used for planning purposes only. If an accurate location is required a North Carolina Professional Land Surveyor should be engaged. Engineers, designers and/or local ordinance(s) may require trees to be surveyed located by a NC Registered Professional Land Surveyor.

- The term "tree survey" as used herein is generic in nature and intended to describe the identification, measurement, and evaluation of trees under the direction of a registered forester/certified arborist as described and/or required by local development ordinance(s).

- At the current scale, not all tree location labels may be legible or show. Please refer to the CAD drawing of the locations provided to the site engineer.



Legend

Evaluation Area

Deciduous Trees > 18" DBH; Evergreen Trees > 20" DBH

| | | | |
|--|---|--|---|
| Project No. 16217.W1 | <div><div>N W E S</div><div>0150300600</div><div>Feet</div></div> | <div><div>Town of Rolesville Tree Survey Sketch Map</div><div>Harris Tract</div></div> | <div><div>S&EC</div><div>Soil & Environmental Consultants, Inc. 8412 Falls of Neuse Road, Suite 104, Raleigh, NC 27615 • Phone (919) 846-5900 • Fax (919) 846-9467 sandec.com</div></div> |
| Project Mgr.: SB | | | |
| Scale: 1" = 150' | | | |
| 09/30/2024 | | | |
| Source: Aerials from NC One Maps | | | |

Developer

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BCSO

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Rolesville

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Other Consultants

Sheet map:

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S

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NORTH CAROLINA
PROFESSIONAL
SEAL
53676
ENGINEER
BRYAN A. HAIR

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EXISTING TREE
SURVEY

Sheet #:

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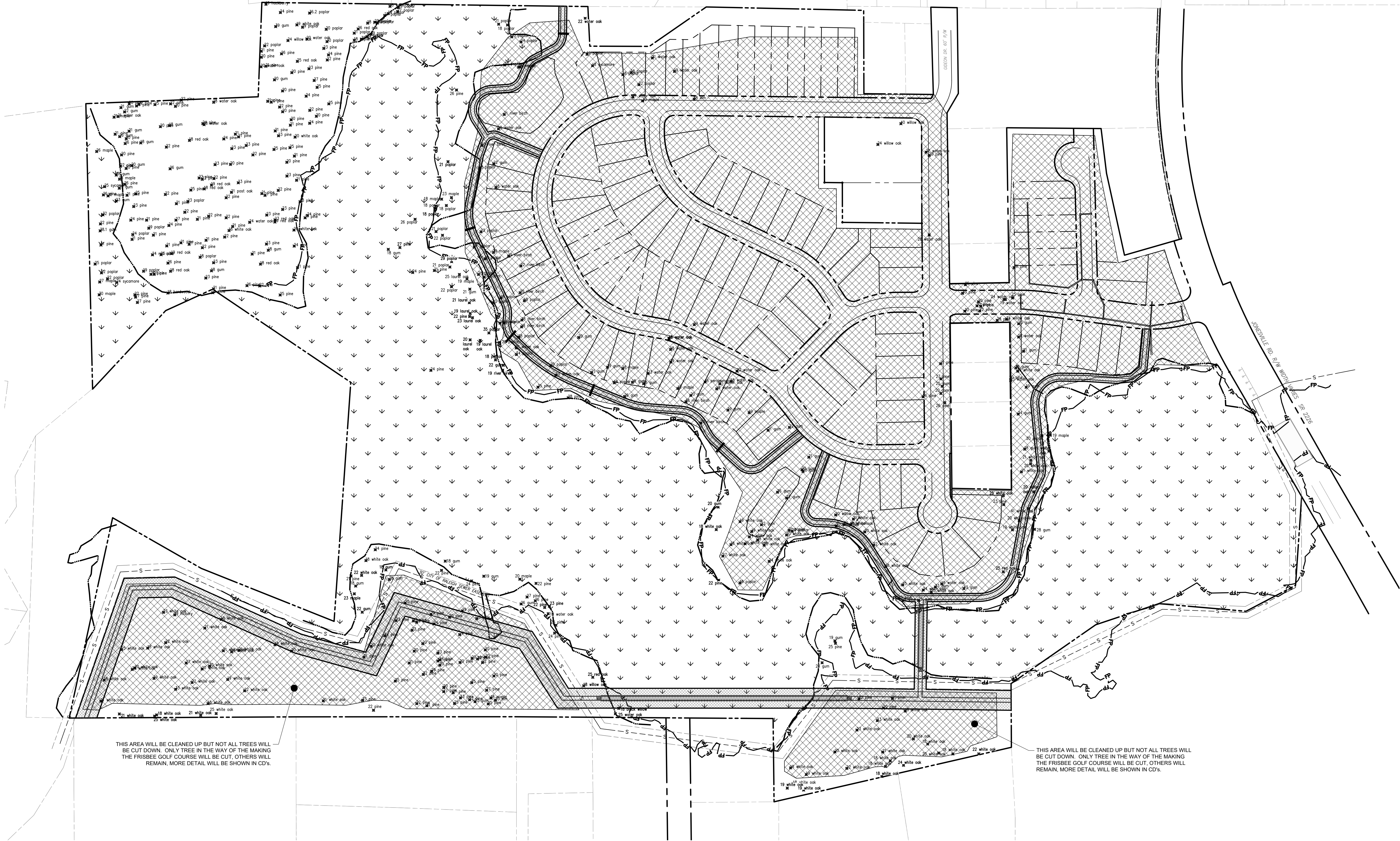
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THIS AREA WILL BE CLEANED UP BUT NOT ALL TREES WILL BE CUT DOWN. ONLY TREE IN THE WAY OF THE MAKING THE FRISBEE GOLF COURSE WILL BE CUT. OTHERS WILL REMAIN. MORE DETAIL WILL BE SHOWN IN CD'S.

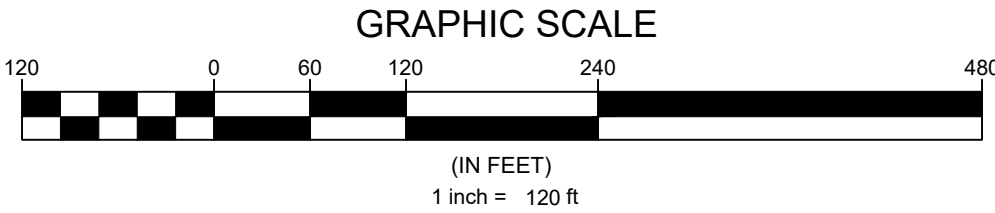
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TREE PLAN LEGEND

EXISTING TREE

AREAS TO BE REMOVED OF TREES

25 red oak



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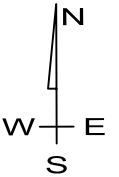
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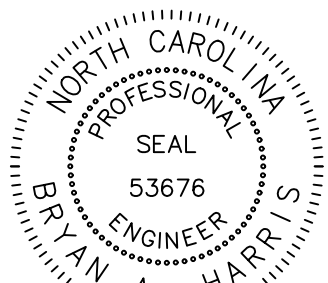
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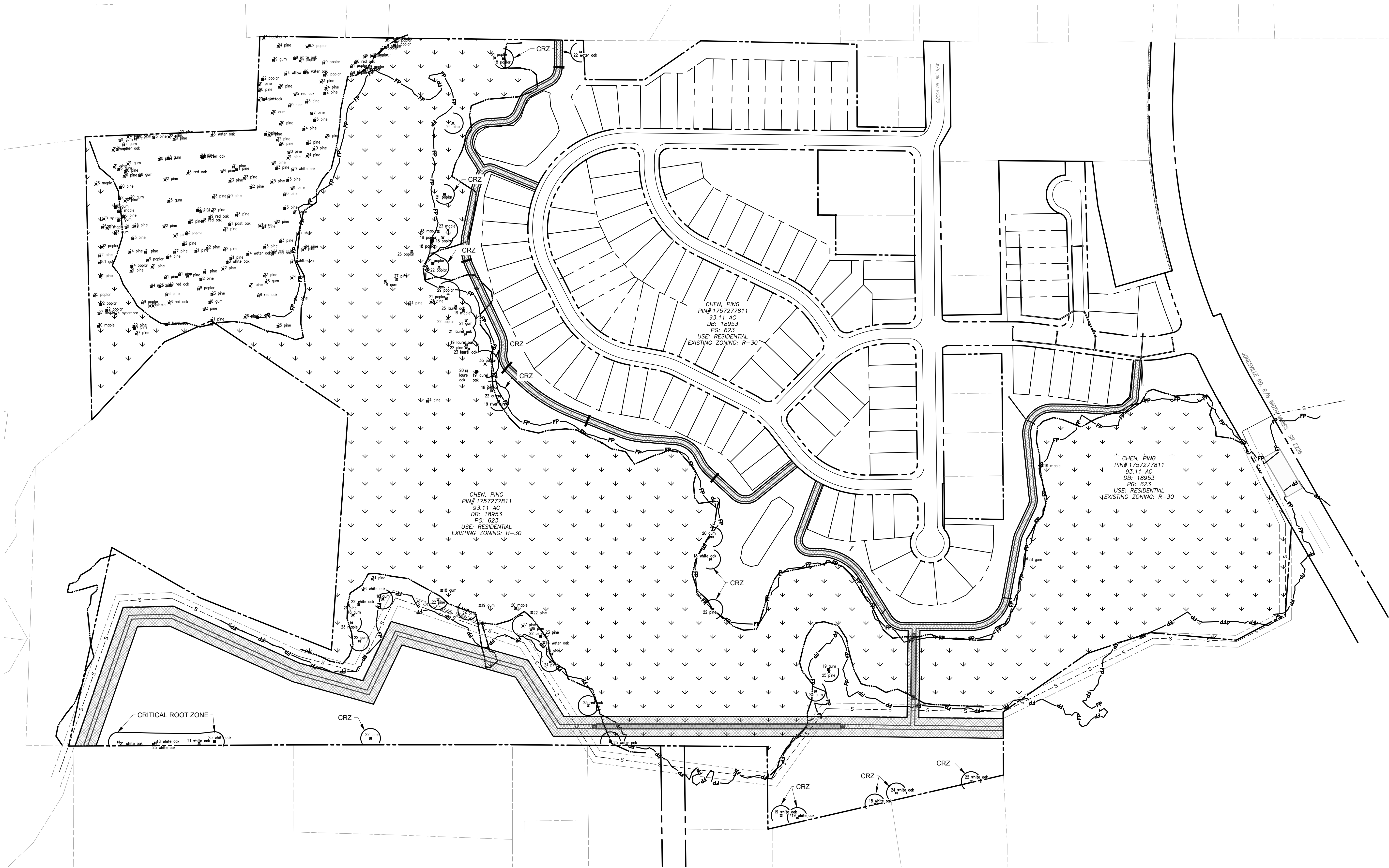
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TREE REMOVAL PLAN

Sheet #:

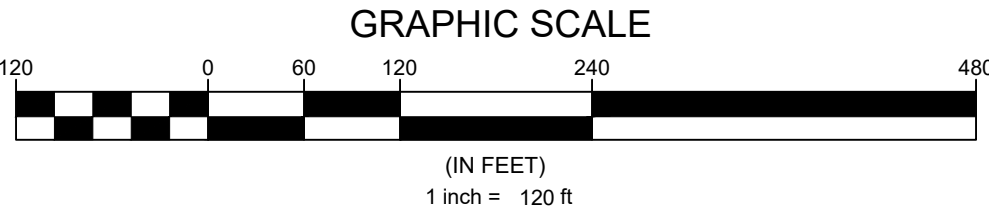
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TREE SAVE NOTES:

1. QUALIFYING TREES TO BE SAVED ARE SHOWN WITH CRITICAL ROOT ZONES (CRZ) AND LABELED AS "CRZ".
2. THE AREA IN THE NORTH WEST PART OF THE TRACT TO THE WEST OF THE WETLANDS WILL NOT BE DISTURBED AND ALL TREES IN THIS AREA SHALL BE SAVED.
3. ADDITIONAL QUALIFYING TREES IN WETLANDS WILL BE SAVED IN THE WETLANDS.
4. ADDITIONAL QUALIFYING TREES MAY BE SAVED IN THE ACTIVE AREAS AT THE DISCRETION OF THE CONTRACTOR.

| TREE SAVE SUMMARY | |
|---------------------------|--------------------|
| EXISTING QUALIFIED TREES: | 514 Total |
| REQUIRED TREE SAVE: | 52 (10% of Total) |
| PROPOSED TREE SAVE: | 267 (52% of Total) |




Developer



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Rolesville
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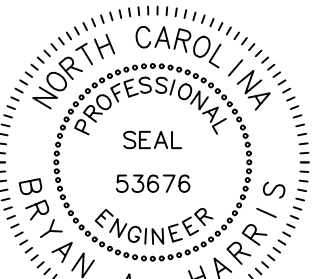
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Project:

HARRIS CREEK FARMS

Issued for:

**PRELIMINARY PLANS
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REVISIONS

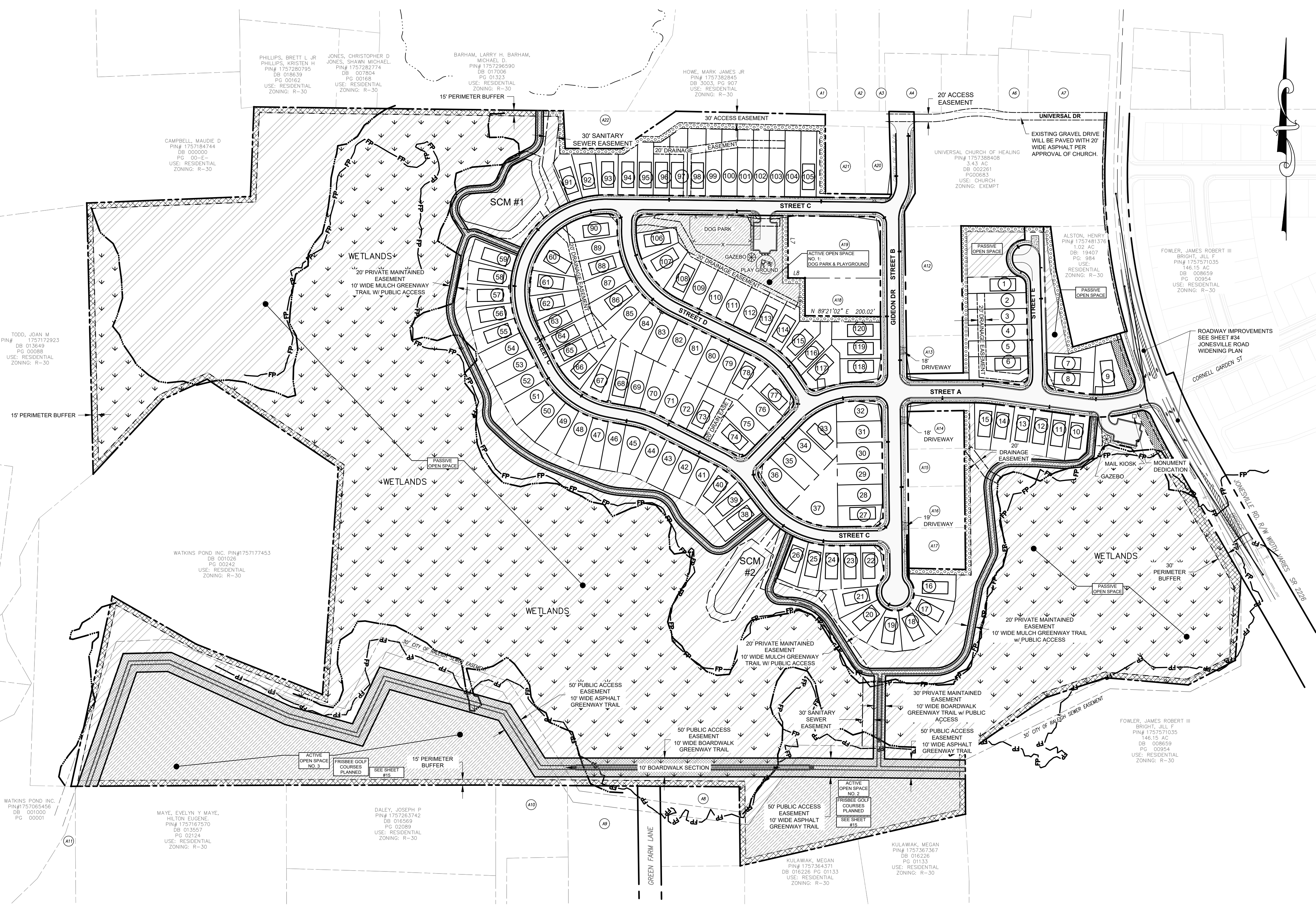
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| 1 | 11/08/24 | Town of Rolesville Planning Dept. comments |
| 2 | 02/07/25 | Town of Rolesville Planning Dept. comments |
| 3 | 04/30/25 | Lot lines changed due to recent survey or wetlands Location |

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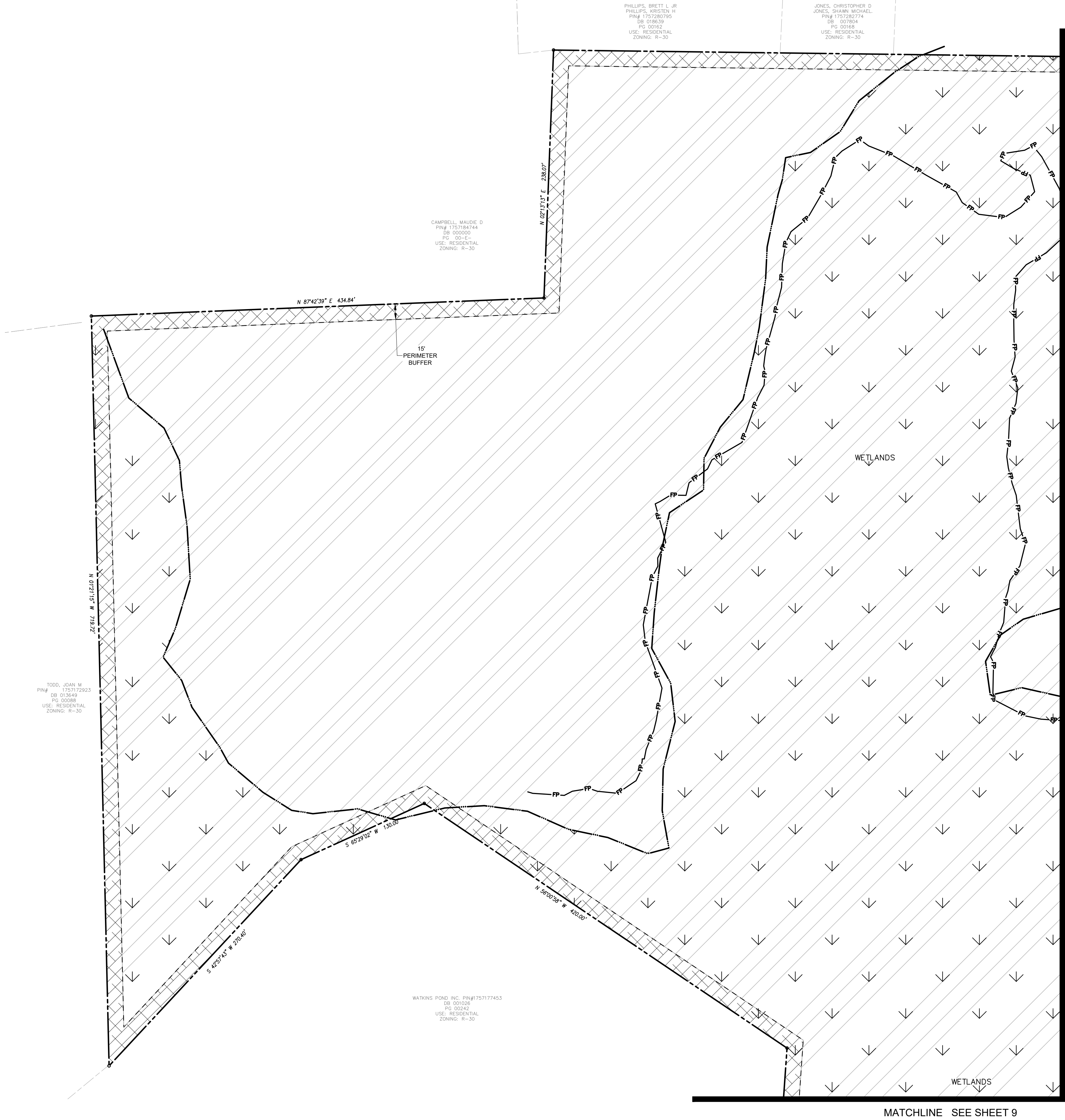
TREE SAVE PLAN

Sheet #:

6

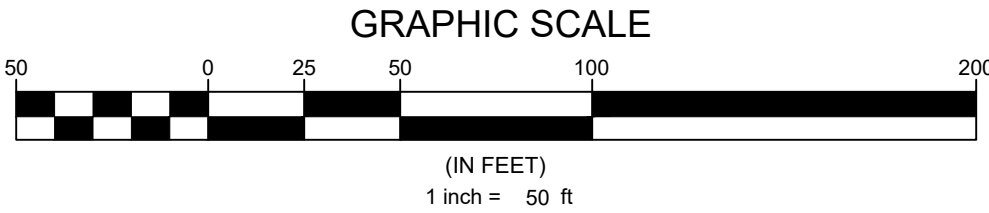


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SITE PLAN LEGEND

| | |
|---|--|
| PROPOSED R.O.W. | |
| PROPOSED LOT SETBACK | |
| PROPOSED EASEMENT | |
| PROPOSED OPEN SPACE PASSIVE | |
| PROPOSED OPEN SPACE ACTIVE | |
| PROPOSED GREENWAY | |
| PROPOSED 30' JONESVILLE RD STREETSCAPE | |
| PROPOSED 15' BOUNDARY BUFFER CONSERVATION | |
| PROPOSED 15' BOUNDARY LANDSCAPE BUFFER | |
| PROPOSED 5' SIDEWALK | |
| EXISTING BOUNDARY / R.O.W. | |
| EXISTING EASEMENT | |
| EXISTING 100 YEAR FLOOD PLAIN | |
| EXISTING WETLANDS | |



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Cary, N.C. 27513
(919) 996-9455

Surveyor

BCSC Bateman Civil Survey Company
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Apex, NC 27539
919-557-1080 ext 109
www.batemancivilsurvey.com

Jurisdiction / Municipality

Rolesville
502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517
PSP-24-05

Other Consultants

Sheet map:

Seal:

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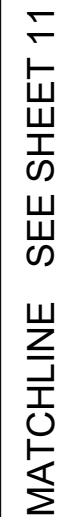
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Sheet Title:

**SITE PLAN
SHEET 1 OF 6**

Sheet#:

8



GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft

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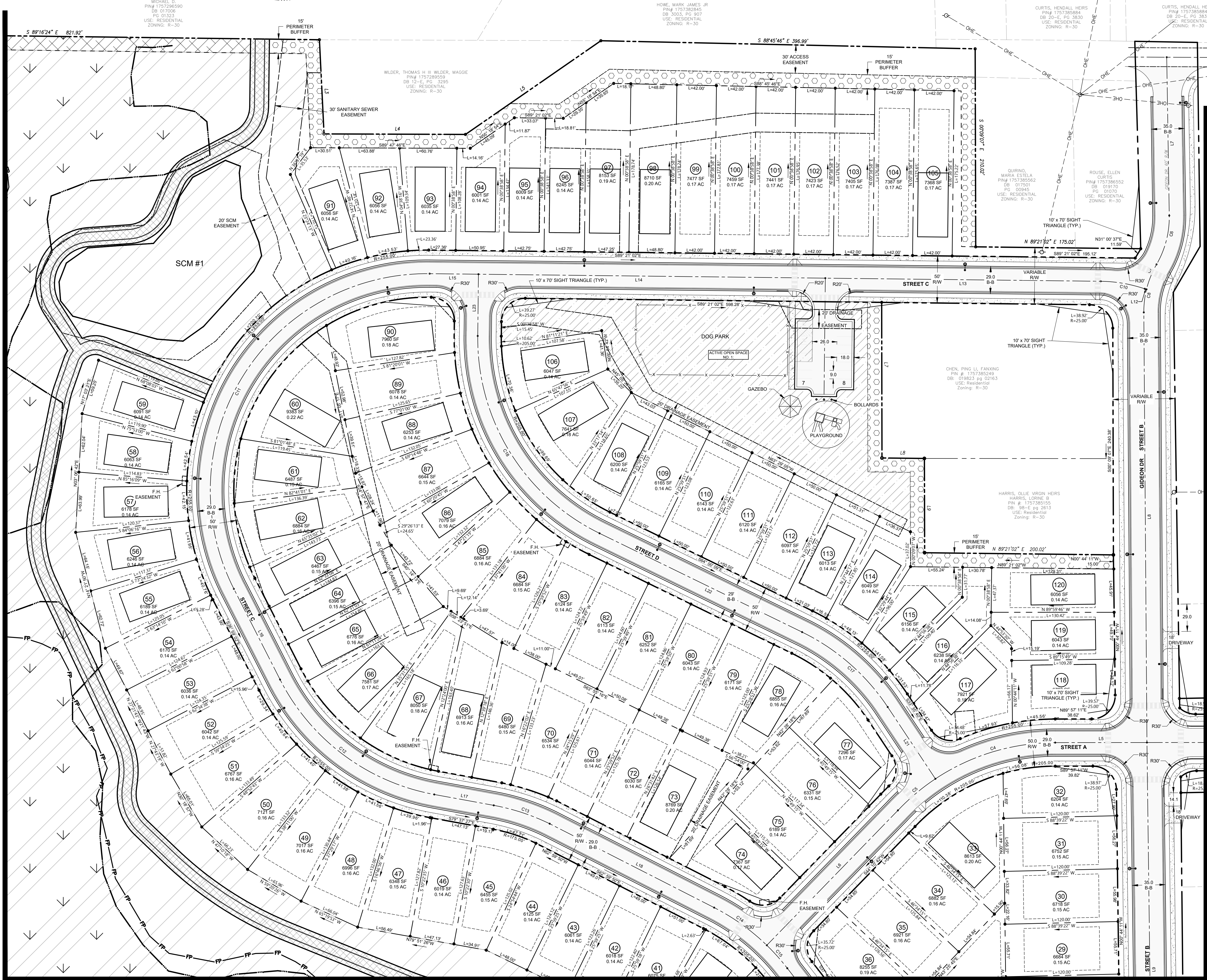
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SITE PLAN
SHEET 2 OF 6

9

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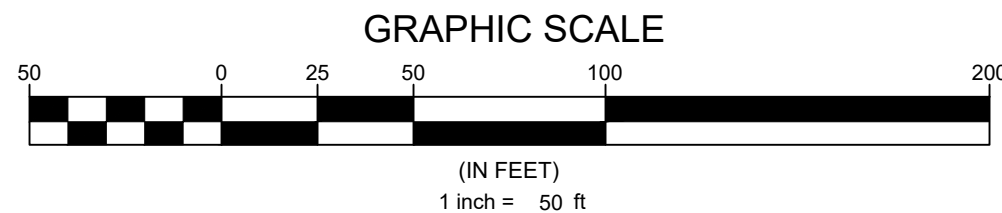
MATCHLINE SEE SHEET 8



MATCHLINE SEE SHEET 11

MATCHLINE SEE SHEET 12

| SITE PLAN LEGEND | |
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| PROPOSED R.O.W. | |
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Phone: 919-554-6517
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Other Consultants

Sheet map:

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53676
BRYAN A. HAIR
ENGINEER

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SITE PLAN SHEET 3 OF 6

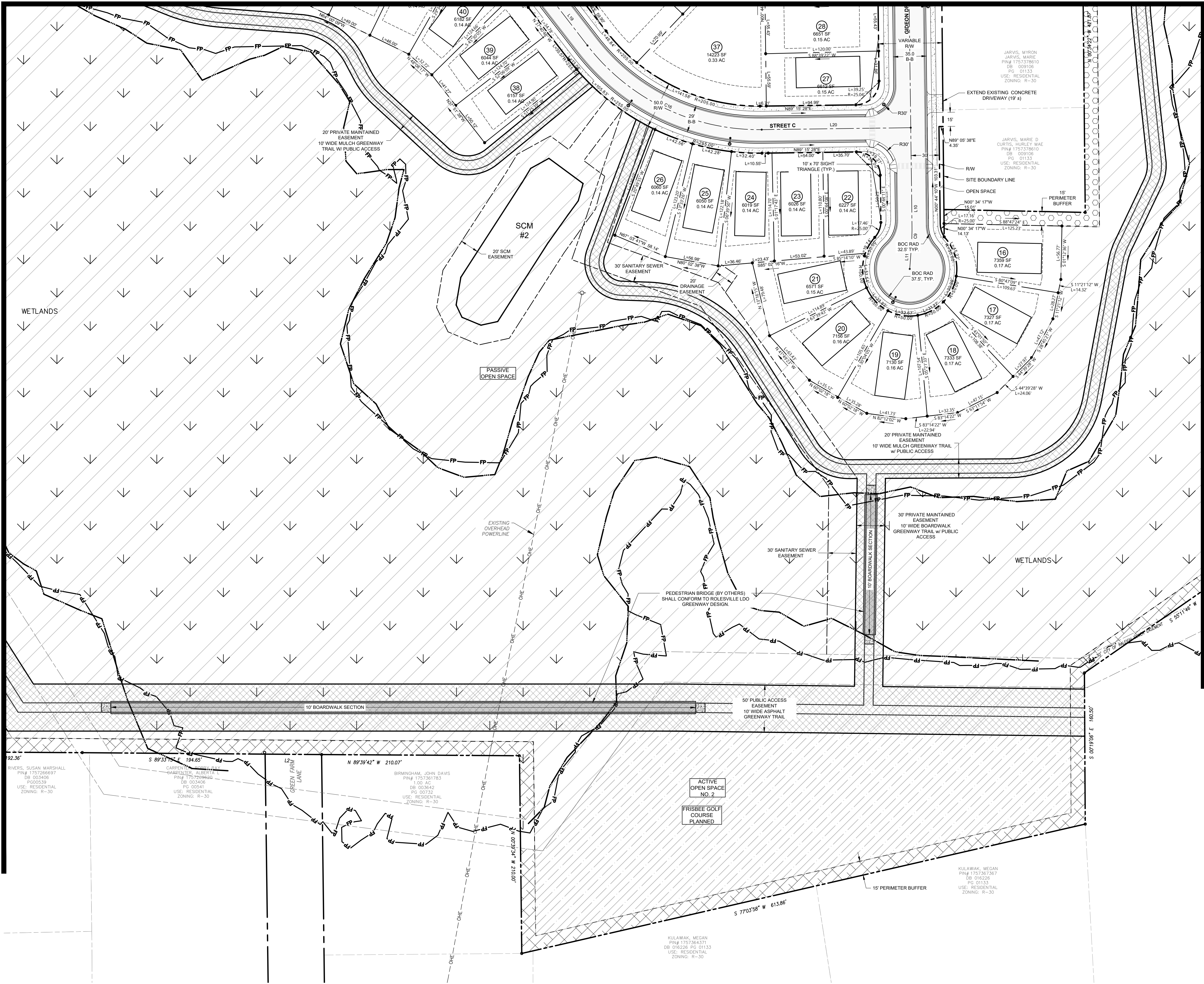
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MATCHLINE SEE SHEET 10

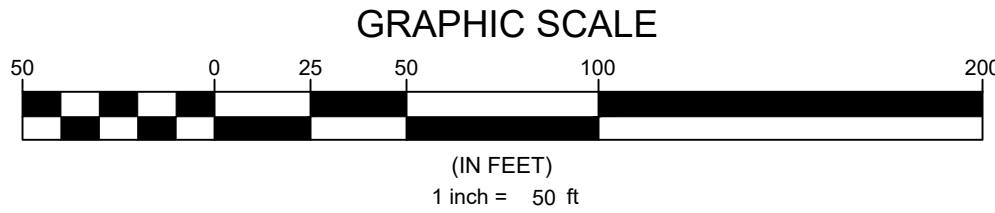
MATCHLINE SEE SHEET 9

MATCHLINE SEE SHEET 13



SITE PLAN LEGEND

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Surveyor

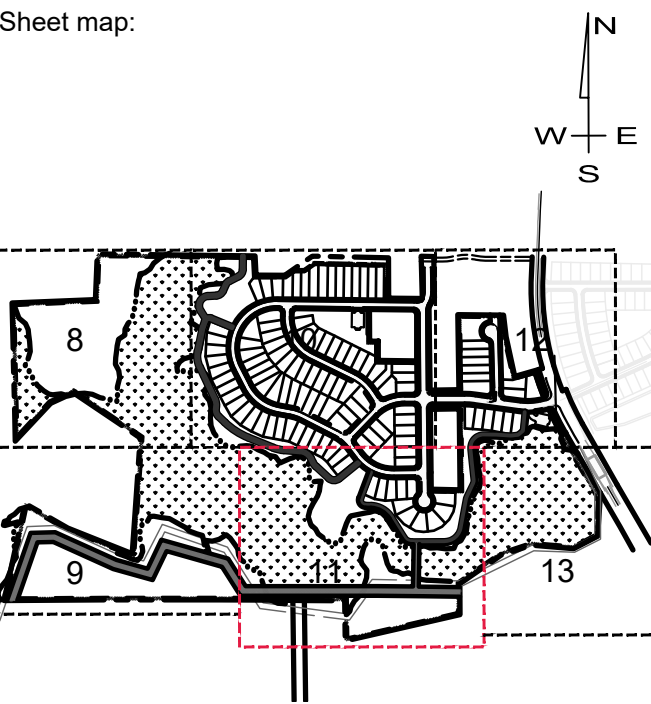
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www.batemancivilsurvey.com

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Sheet map:



Seal:



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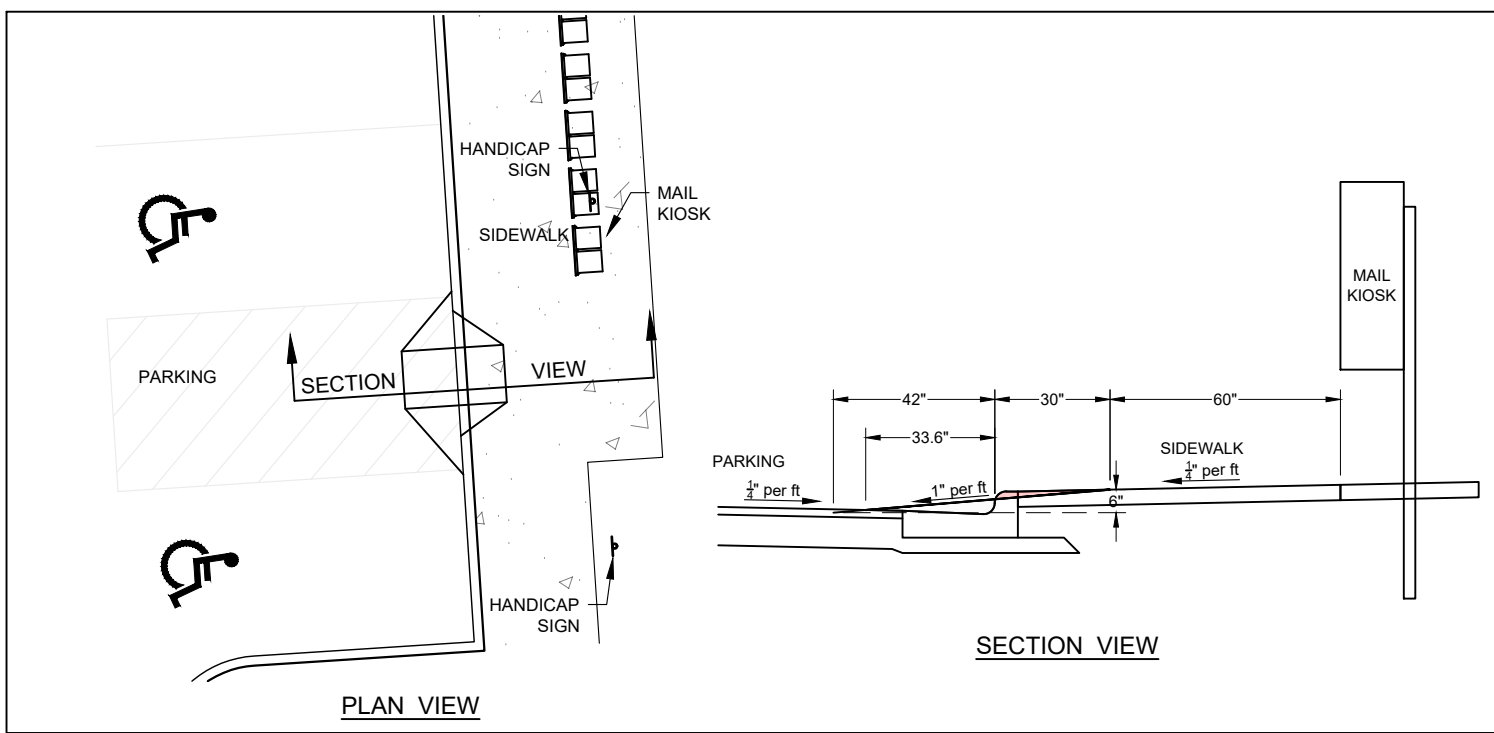
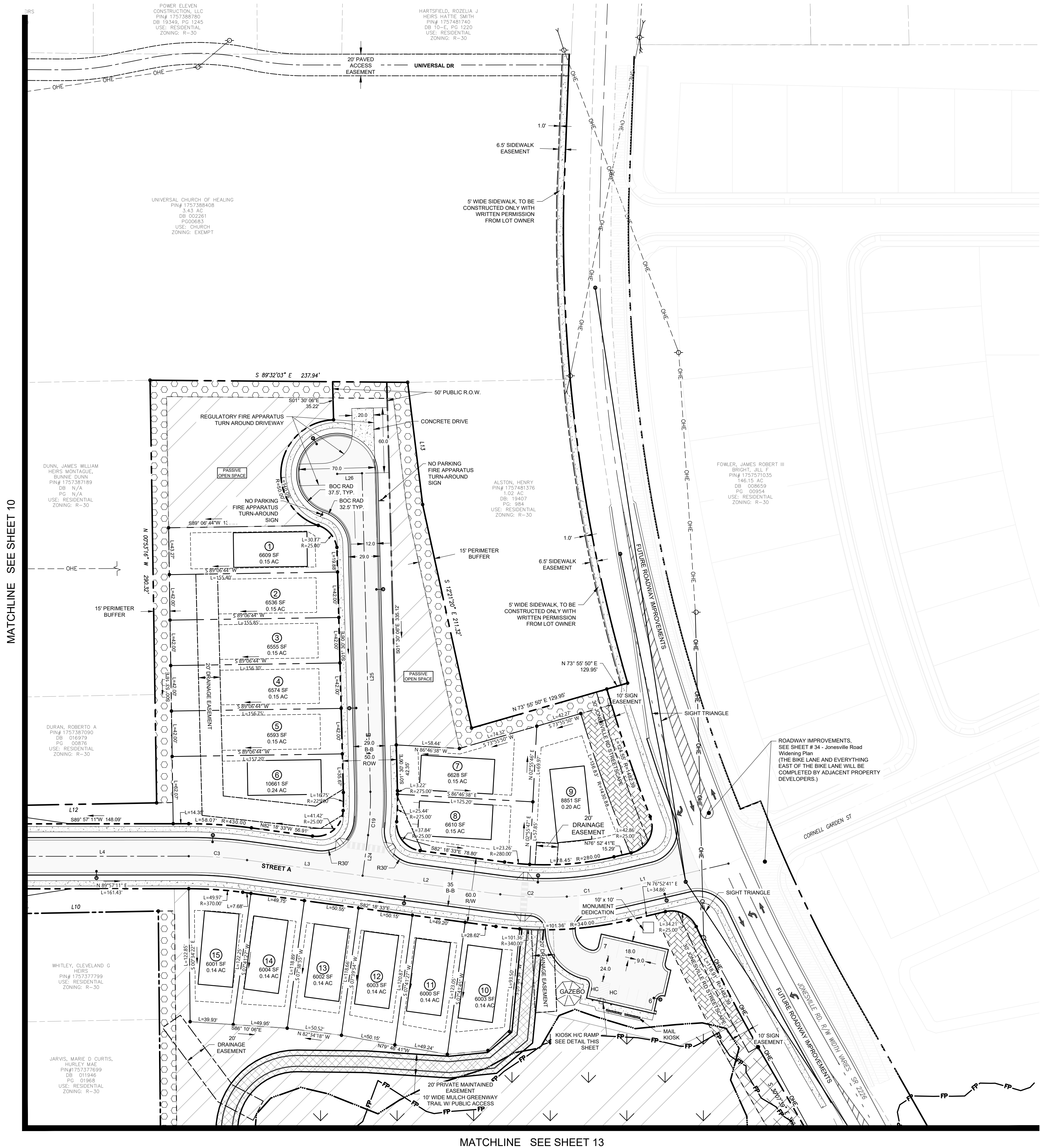
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SITE PLAN SHEET 4 OF 6

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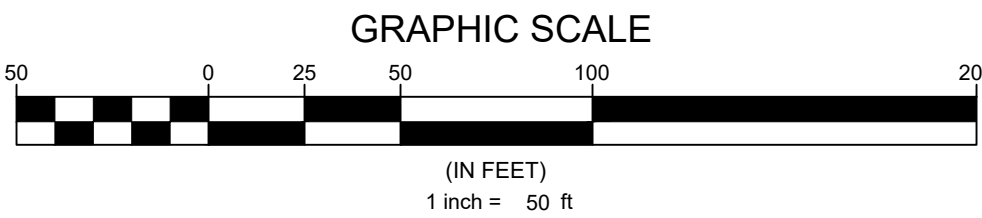
HANDICAP RAMP AT KIOSK DETAIL
NTS



| Description | A freestanding ground sign identifying entry to a mixed-use district, neighborhood, or a residential subdivision. A sign permit is required. |
|-------------|--|
| Size | Sign Width: Maximum 25', excluding support structures, columns or decorative features without a sign face. Sign Height: Maximum 10', including support structures, columns or other features including sign face. Sign Area: For projects/developments up to 5 acres, a maximum 50 square feet (single tenant) and 100 square feet (multi-tenant). For projects/developments 5 acres or greater, a maximum 100 square feet (single tenant) and 200 square feet (multi-tenant). |
| Location | 2 signs per entrance, maximum. Approval for any right-of-way encroachment required by the owner of the right-of-way, consistent with Section 6.1.2.K. |
| Standards | Identifying signs may be placed on a subdivision wall or fence provided that no part of the wall or fence exceeds 6' in height. |

SITE PLAN LEGEND

| | |
|---|--|
| PROPOSED R.O.W. | |
| PROPOSED LOT LINE | |
| PROPOSED LOT SETBACK | |
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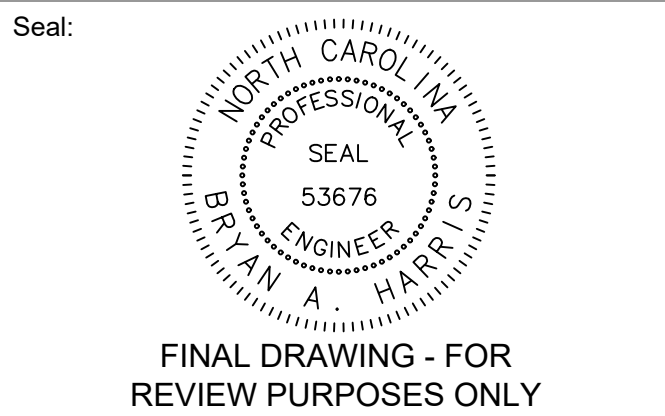
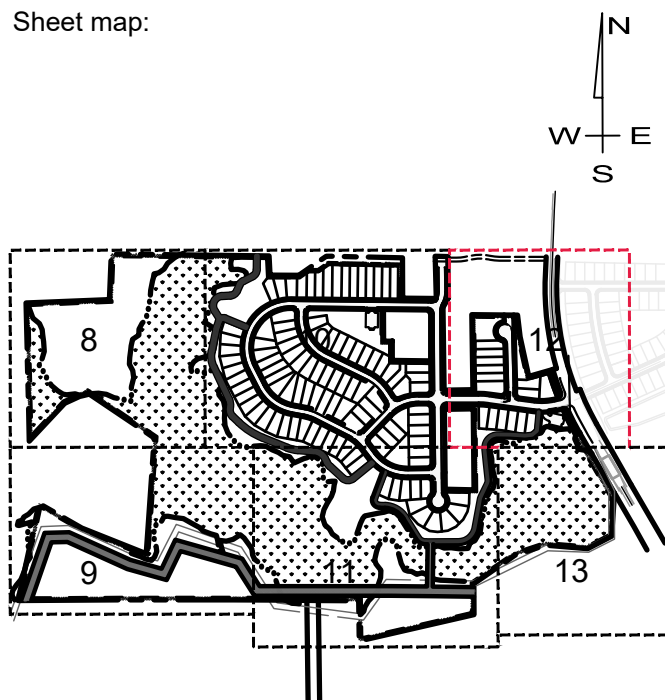
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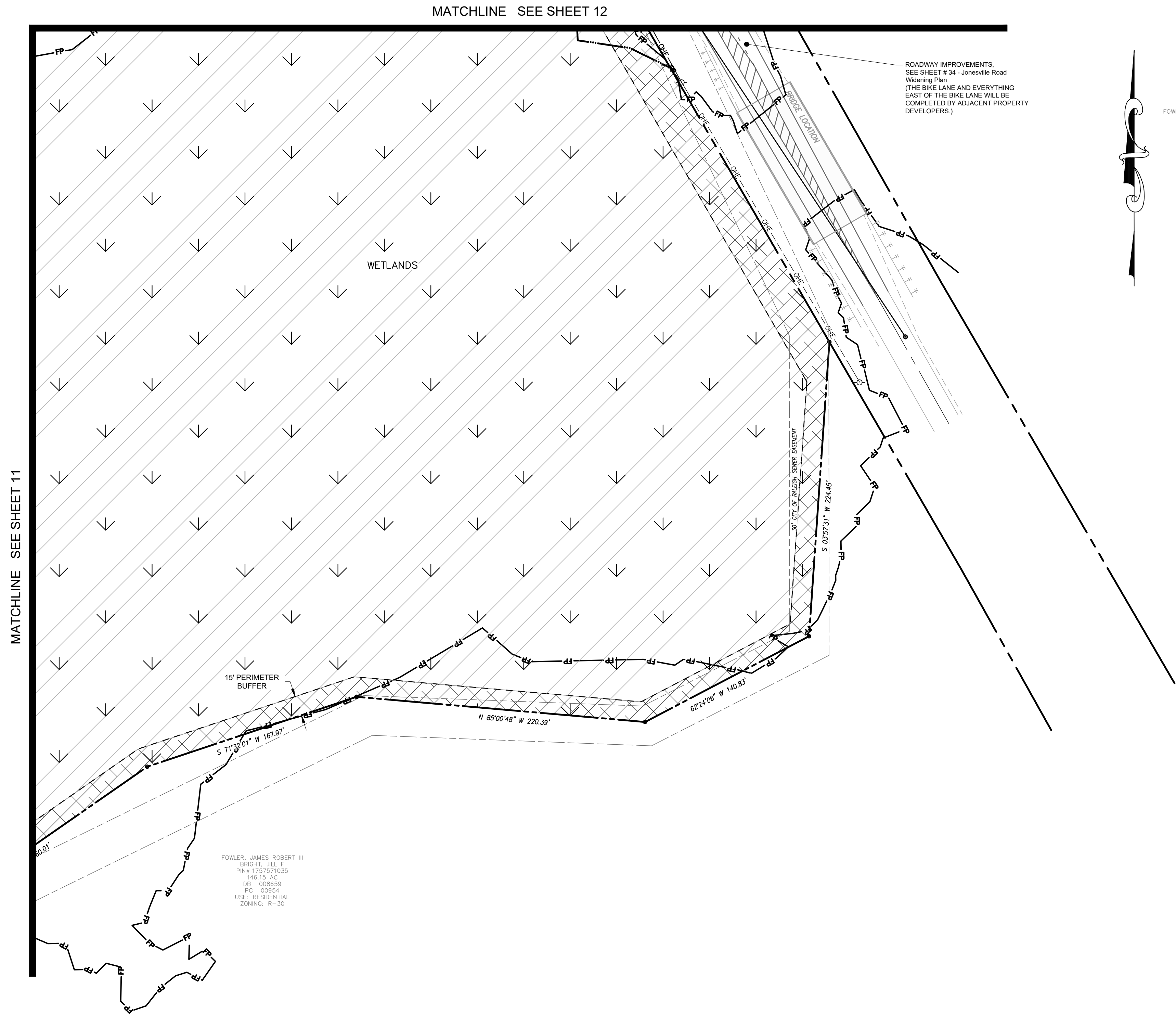
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SHEET 5 OF 6**

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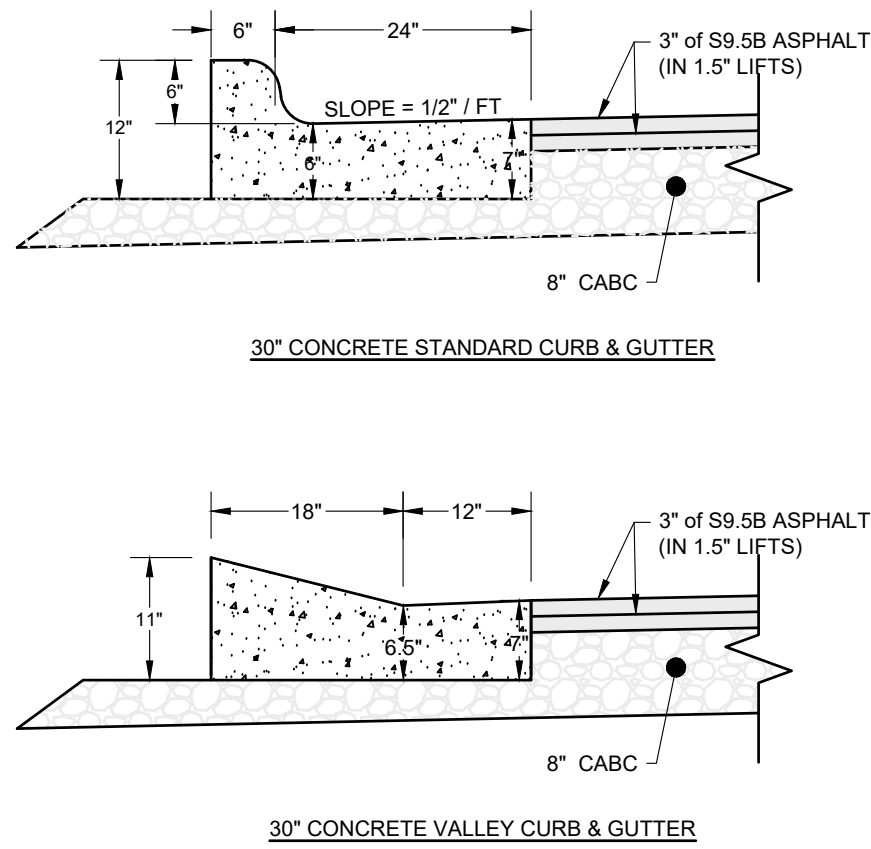
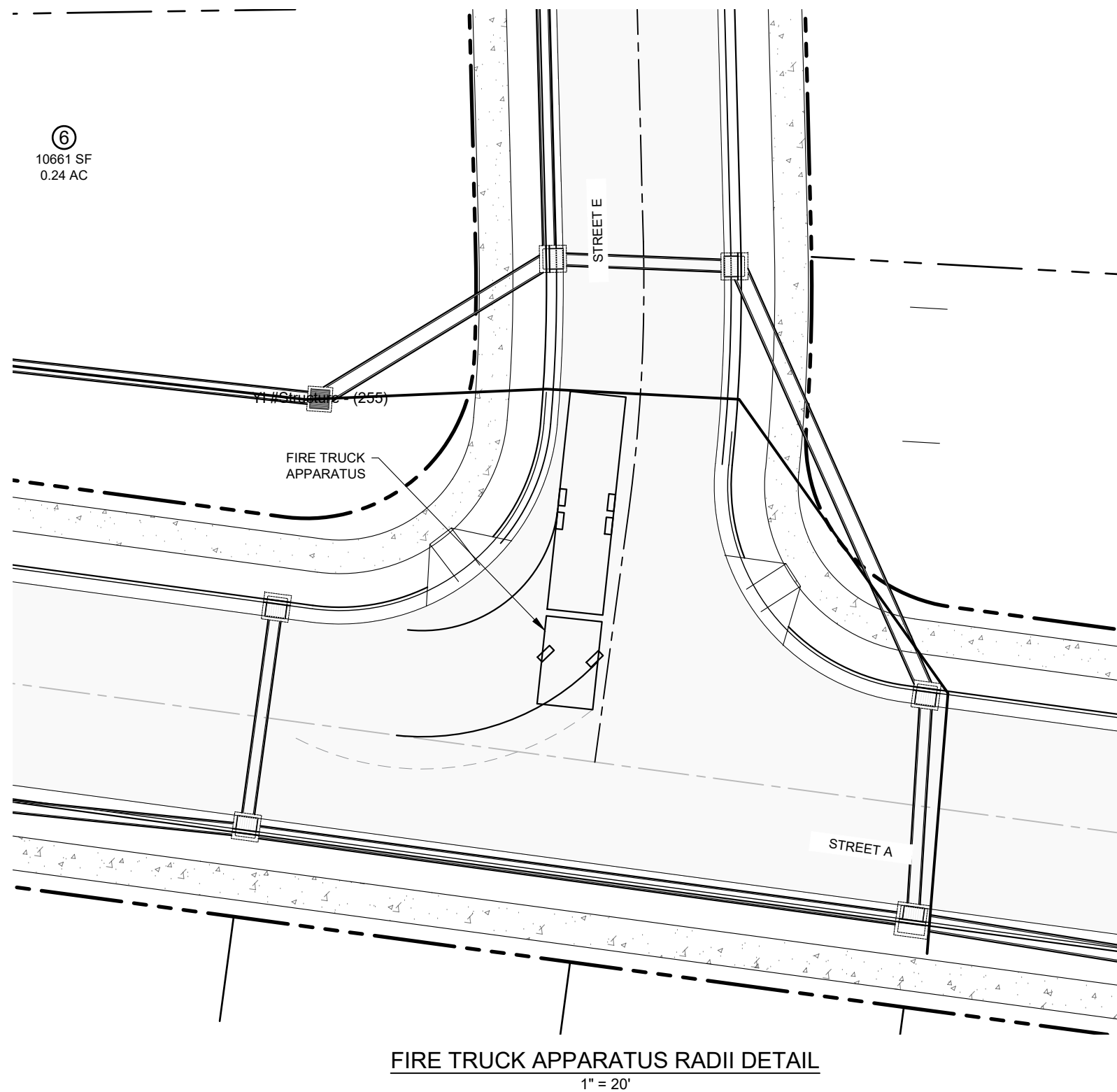
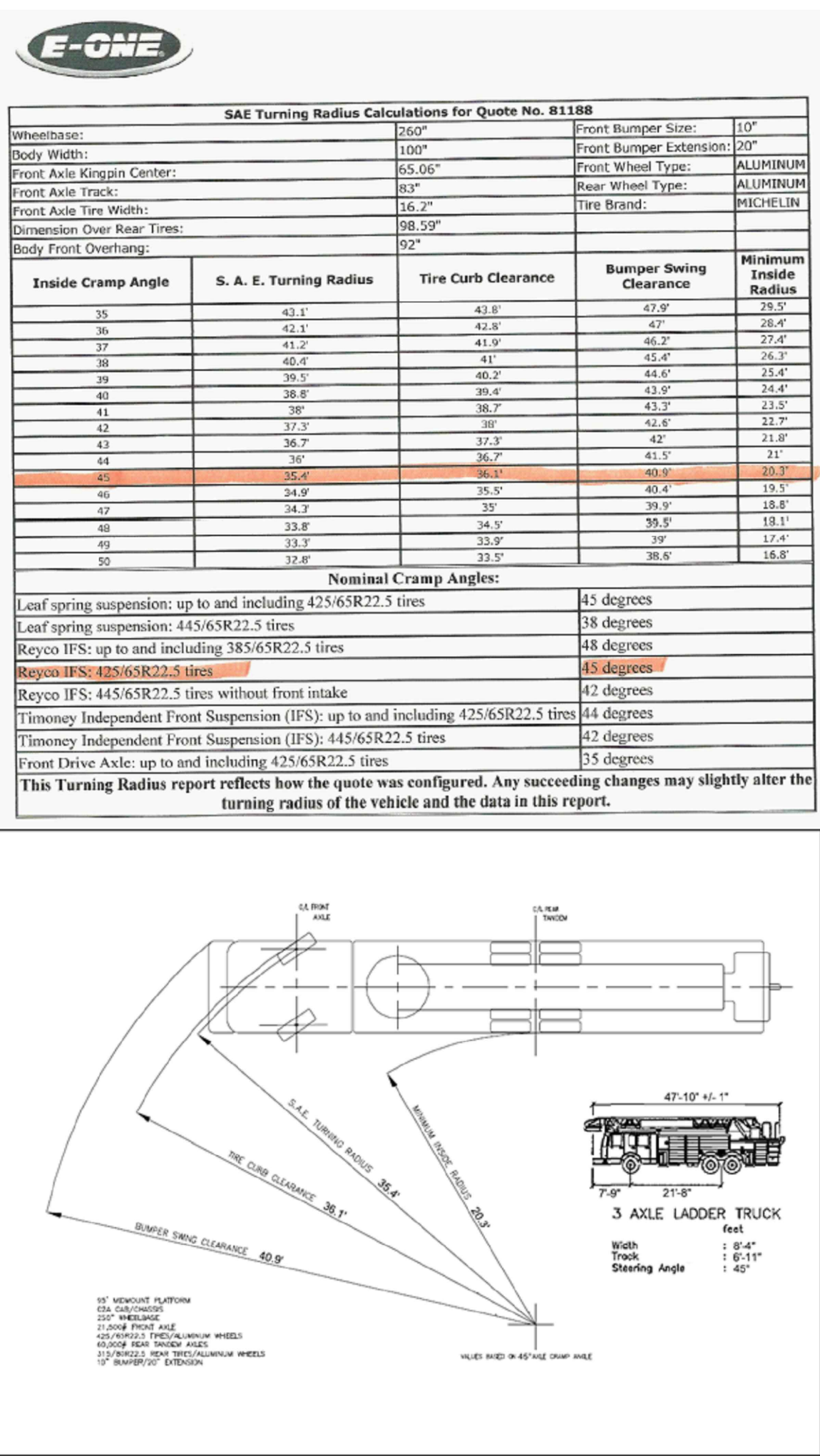
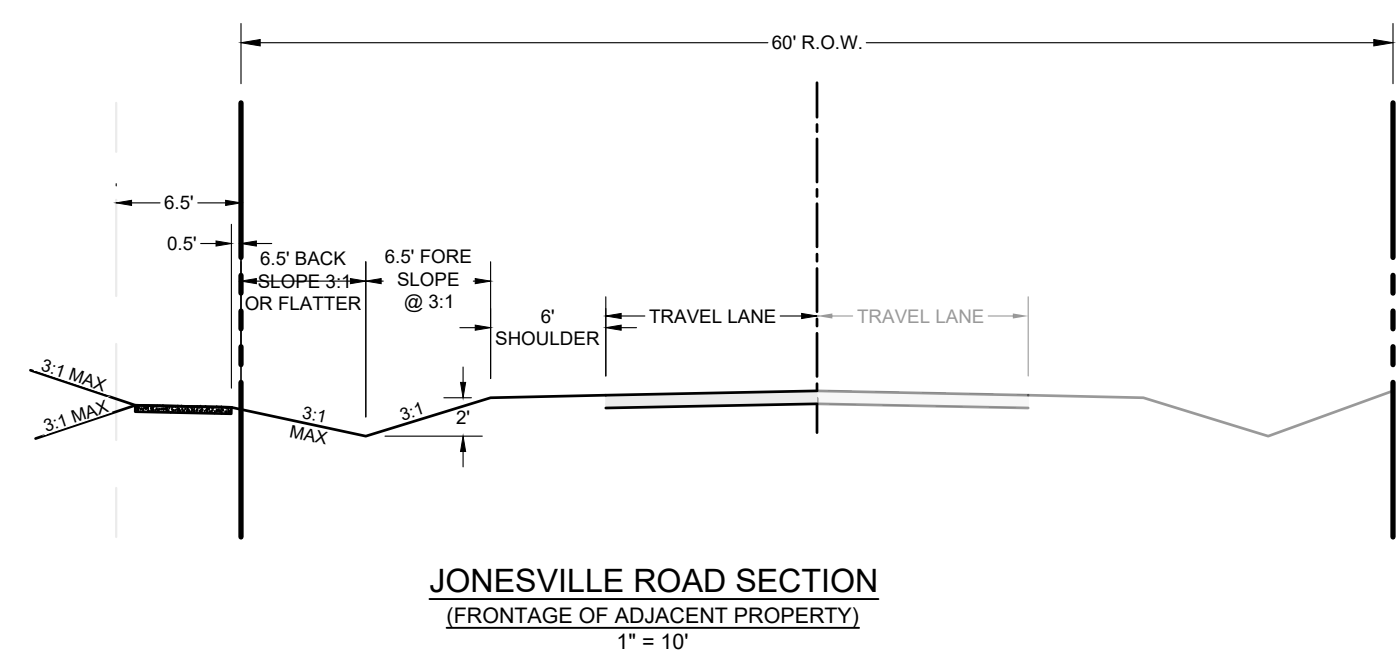
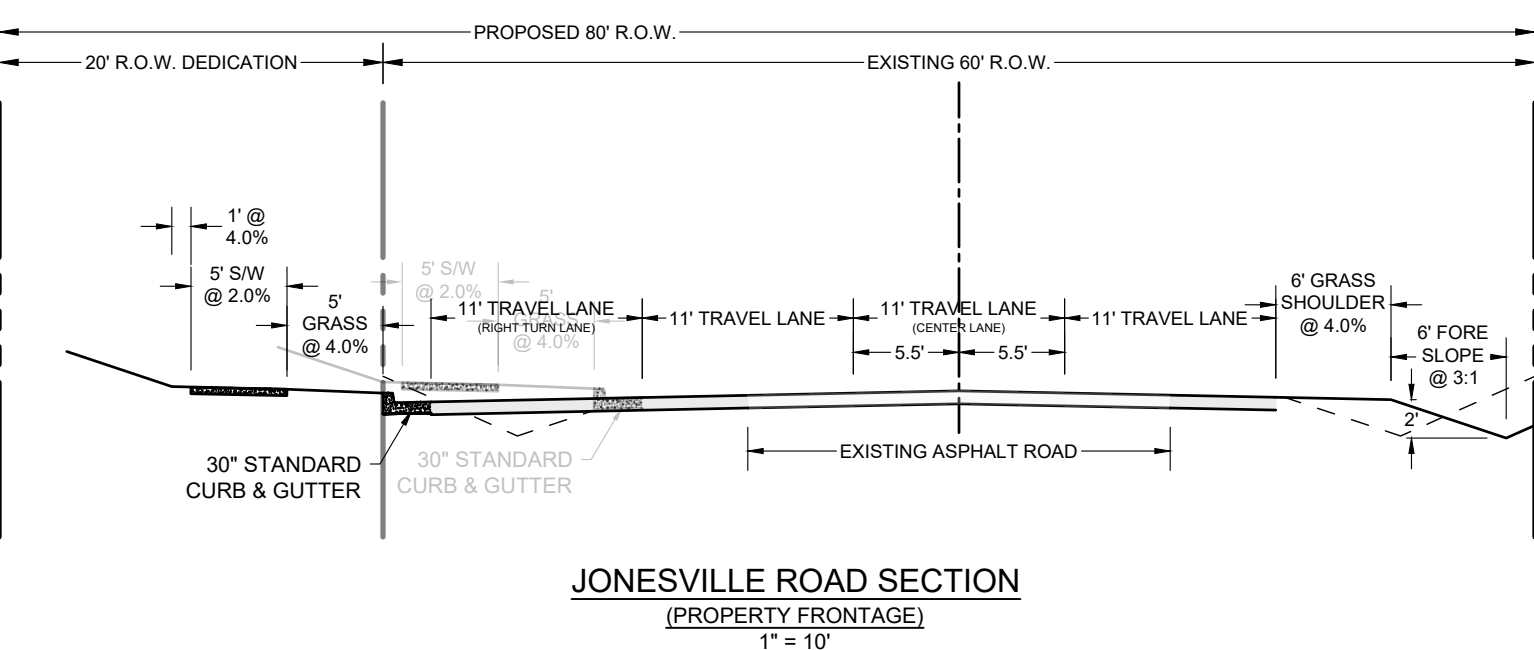
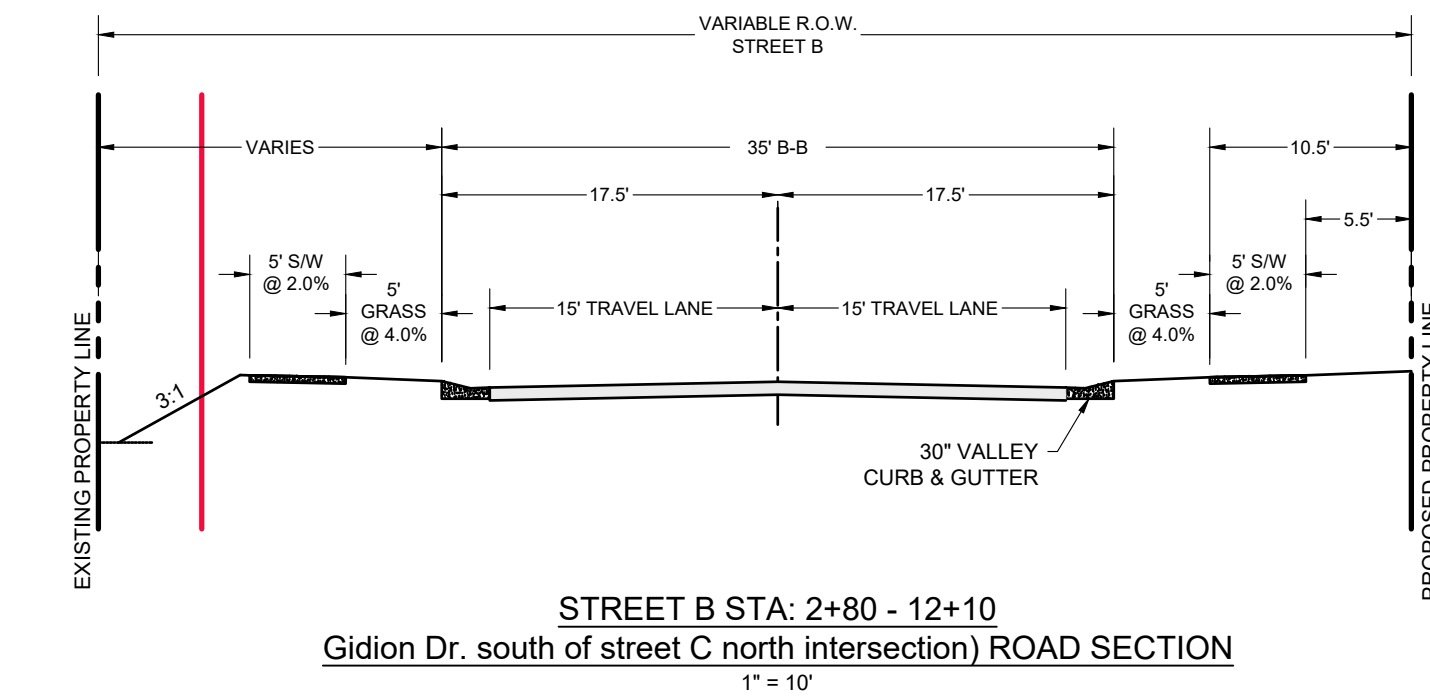
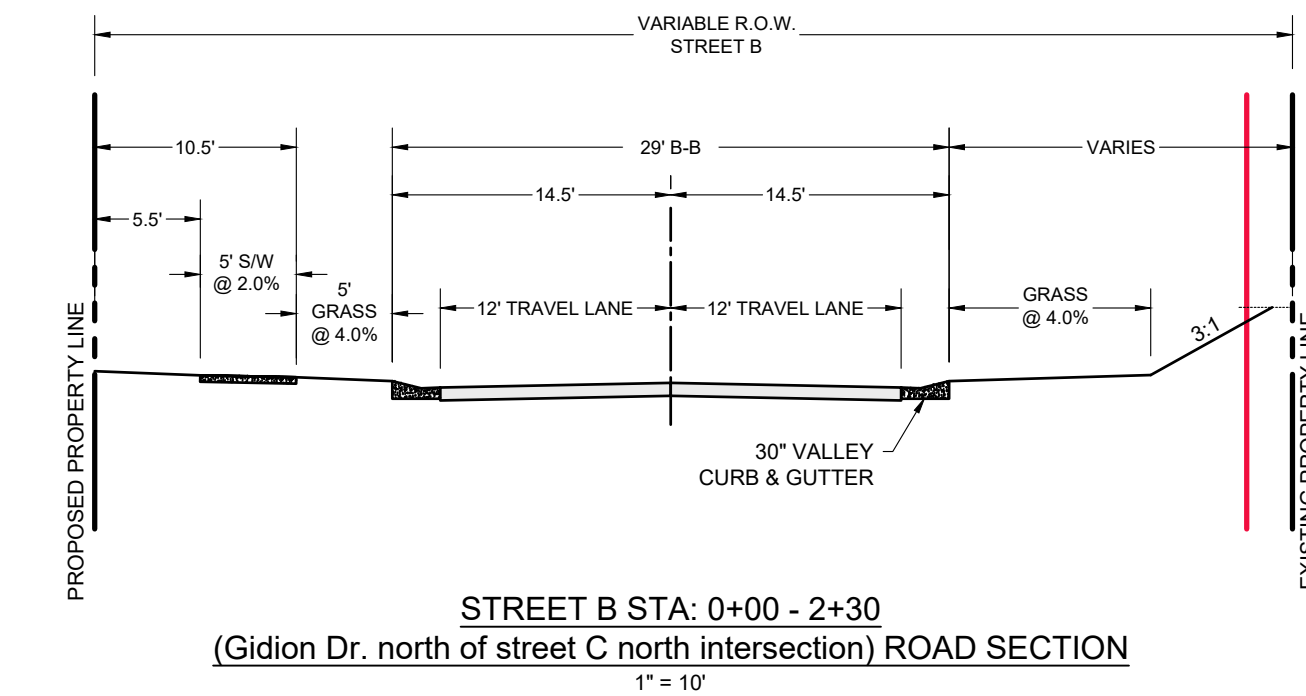
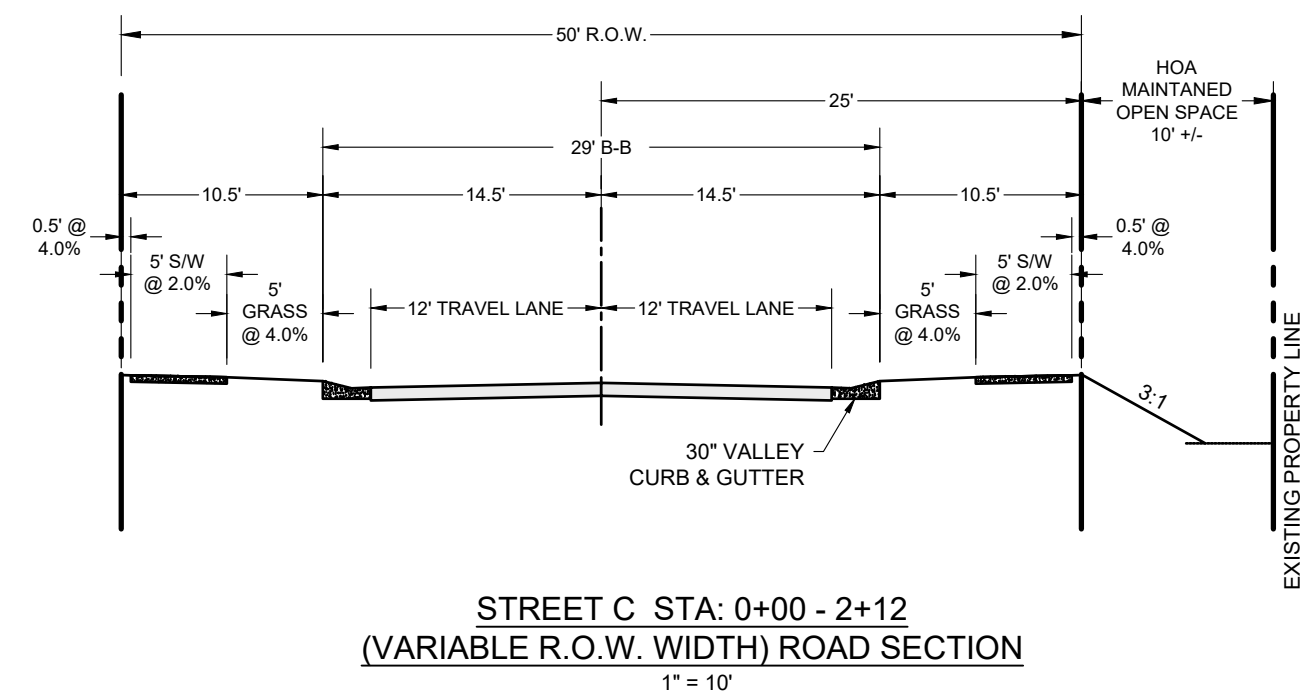
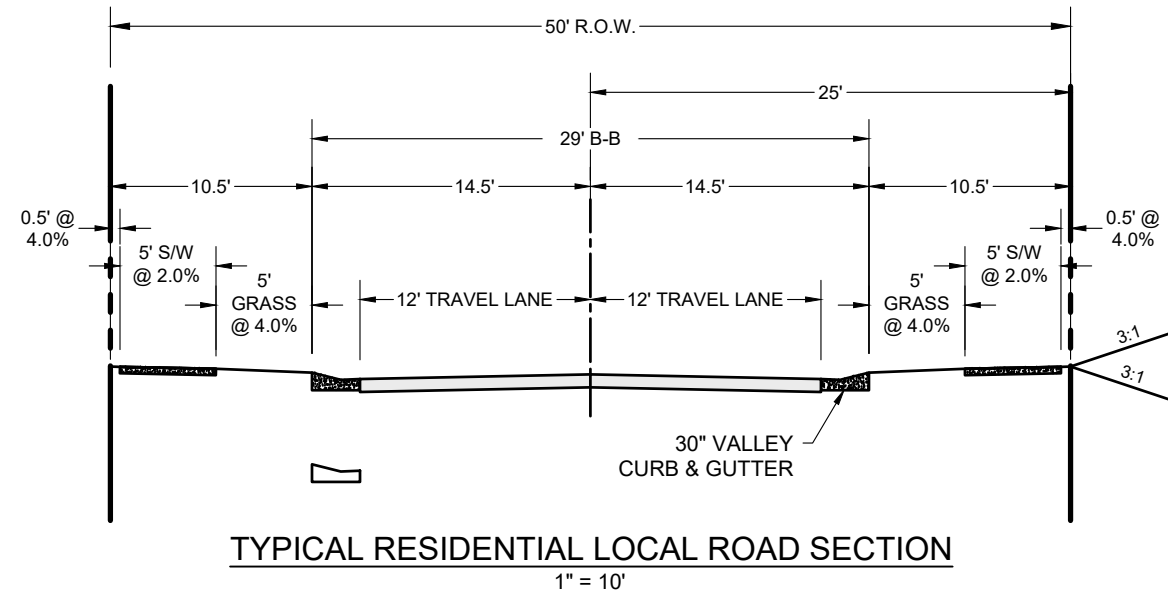
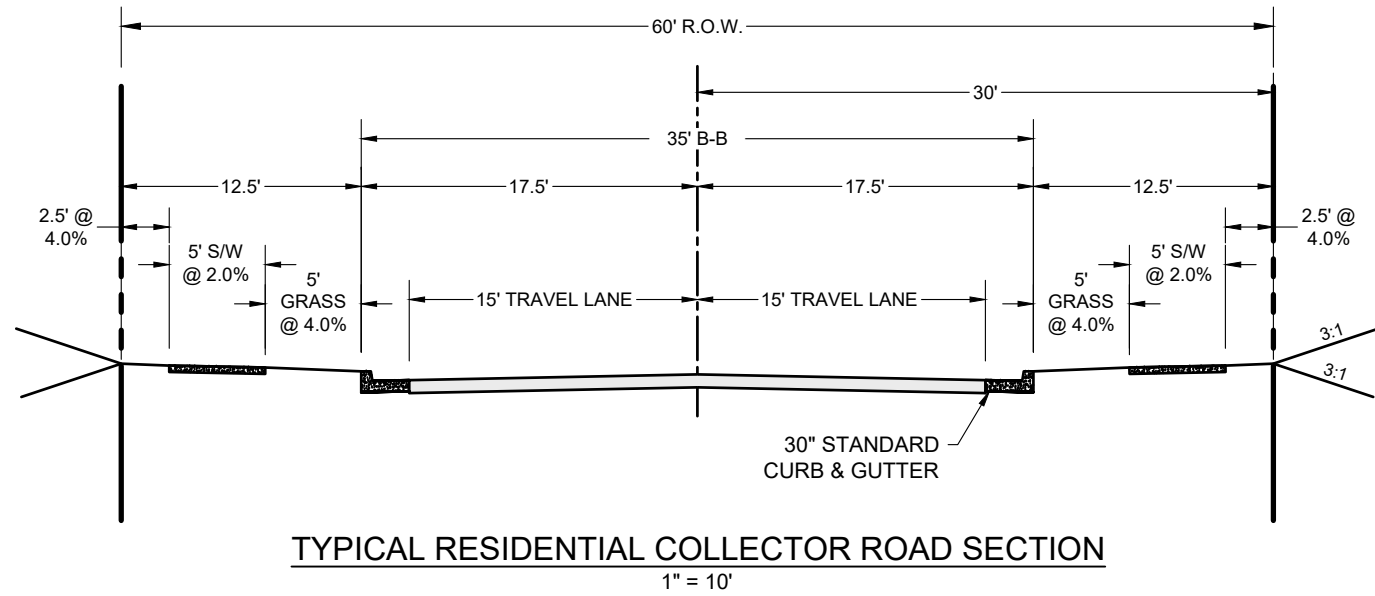


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| Street Centerline Line Table | | |
|------------------------------|-------------|---------------|
| Line # | Length (ft) | BEARING |
| L1 | 101.59 | N76° 52' 41"E |
| L2 | 235.96 | S82° 18' 33"E |
| L3 | 235.96 | S82° 18' 33"E |
| L4 | 217.09 | N89° 57' 11"E |
| L5 | 94.23 | N89° 57' 11"E |
| L6 | 199.48 | N44° 10' 45"E |
| L7 | 167.95 | N00° 55' 12"W |
| L8 | 456.14 | N00° 25' 00"W |
| L9 | 382.47 | N00° 44' 11"W |
| L10 | 102.62 | N00° 44' 11"W |
| L11 | 21.31 | N04° 15' 55"E |
| L12 | 1.97 | N73° 49' 16"W |
| L13 | 292.04 | N89° 21' 02"W |
| L14 | 367.89 | N89° 21' 02"W |
| L15 | 51.75 | N89° 21' 02"W |
| L16 | 107.86 | S26° 59' 02"E |
| L17 | 64.12 | S79° 37' 27"E |
| L18 | 195.83 | S62° 58' 47"E |
| L19 | 70.35 | S37° 40' 48"E |
| L20 | 158.26 | N89° 15' 29"E |
| L21 | 91.42 | N33° 35' 40"W |
| L22 | 238.98 | N64° 00' 09"W |
| L23 | 65.45 | N00° 38' 58"E |
| L24 | 37.82 | S07° 41' 27"W |
| L25 | 294.26 | S01° 30' 06"E |
| L26 | 23.00 | S88° 29' 54"W |

| Street Centerline Curve Table | | |
|-------------------------------|-------------|--------|
| Curve # | Length (ft) | Radius |
| C1 | 58.31 | 310.00 |
| C2 | 54.29 | 310.00 |
| C3 | 54.02 | 400.00 |
| C4 | 135.16 | 230.00 |
| C5 | 51.60 | 230.00 |
| * C7 | 53.30 | 100.00 |
| * C8 | 53.30 | 100.00 |
| * C9 | 26.19 | 300.00 |
| * C10 | 47.52 | 150.00 |
| C11 | 472.21 | 230.00 |
| C12 | 211.31 | 230.00 |
| C13 | 62.61 | 230.00 |
| C14 | 68.88 | 230.00 |
| C15 | 32.68 | 230.00 |
| C16 | 213.00 | 230.00 |
| C17 | 122.07 | 230.00 |
| C18 | 259.53 | 230.00 |
| C19 | 40.11 | 250.00 |

* CURVE C6, C7, C8, & C9 ARE LOCATED AT THE SHIFT IN R/W ON GIDEON BEHIND THE CHURCH.



SIDEWALK NOTES

- WHERE IT IS NECESSARY TO REMOVE A PORTION OF EXISTING SIDEWALKS OR DRIVEWAYS, SAW A NEAT EDGE ALONG THE PAVEMENT TO BE RETAINED APPROXIMATELY 2 INCHES DEEP WITH A CONCRETE SAW BEFORE BREAKING THE ADJACENT PAVEMENT AWAY.
- CONSTRUCT CONCRETE IN ACCORDANCE WITH TOWN STANDARDS AND NCDOT STANDARDS & SPECIFICATIONS SECTION 825 AND GIVE SIDEWALK FINISH, EXCEPT AS OTHERWISE PROVIDED HEREIN.
- BROOM THE CONCRETE SURFACE IN A TRANSVERSE DIRECTION TO TRAFFIC. MAKE JOINT SPACING NO LESS THAN 5 FEET. WHERE EXISTING SIDEWALKS ARE BEING WIDENED, LINE UP NEW TRANSVERSE JOINTS WITH EXISTING JOINTS IN THE ADJACENT SIDEWALK. SEAL EXPANSION JOINTS WHERE SIDEWALK AND CURB RAMPS ARE PLACED ADJACENT TO CONCRETE CURB AND/OR GUTTER. DO NOT SEAL GROOVE JOINTS.
- DO NOT PLACE BACKFILL ADJACENT TO THE SIDEWALK, DRIVEWAY OR CURB RAMP UNTIL AT LEAST 3 CURING DAYS, AS DEFINED IN ARTICLE 825-9, HAVE ELAPSED UNLESS OTHERWISE APPROVED. COMPACT BACKFILL TO A DEGREE COMPARABLE TO THE ADJACENT UNDISTURBED MATERIAL.
- DO NOT PLACE VEHICLES ON THE COMPLETED WORK UNTIL 7 CURING DAYS, AS DEFINED IN ARTICLE 825-9, HAVE ELAPSED. WHEN HIGH EARLY STRENGTH CONCRETE IS USED, VEHICLES WILL BE PERMITTED ON THE COMPLETED WORK AFTER 3 CURING DAYS HAVE ELAPSED.
- INSTALL DETECTABLE WARNINGS FOR PROPOSED CURB RAMPS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- PRIOR TO PLACING DETECTABLE WARNINGS IN EXISTING CONCRETE CURB RAMPS, SAW CUT TO THE FULL DEPTH OF THE CONCRETE, FOR OTHER MATERIAL REMOVE AS NECESSARY, AND ADJUST THE EXISTING SUBGRADE TO THE PROPER GRADE.
- PLACE ALL DETECTABLE WARNINGS IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS.

Developer



Engineer



Surveyor

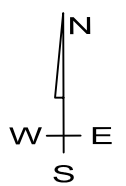


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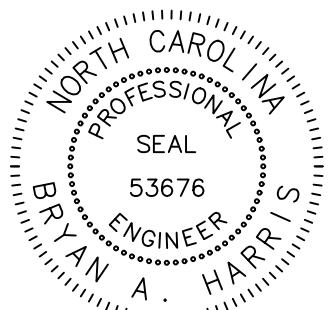


Other Consultants

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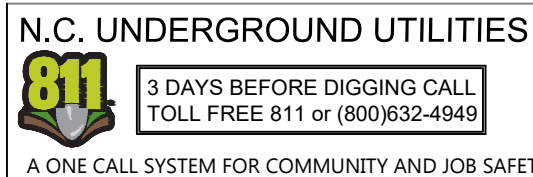
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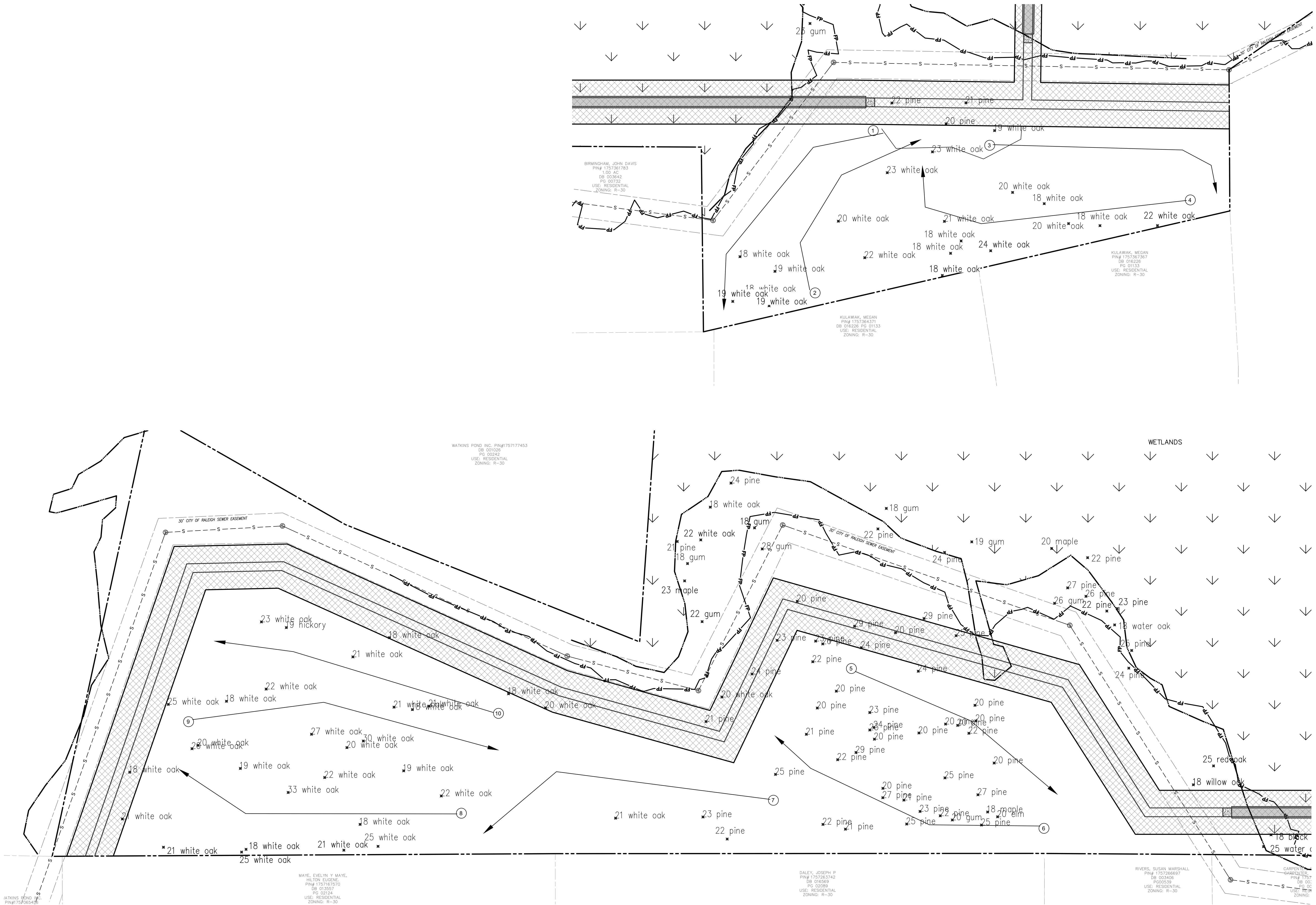
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DATA &
DETAILS

Sheet#:



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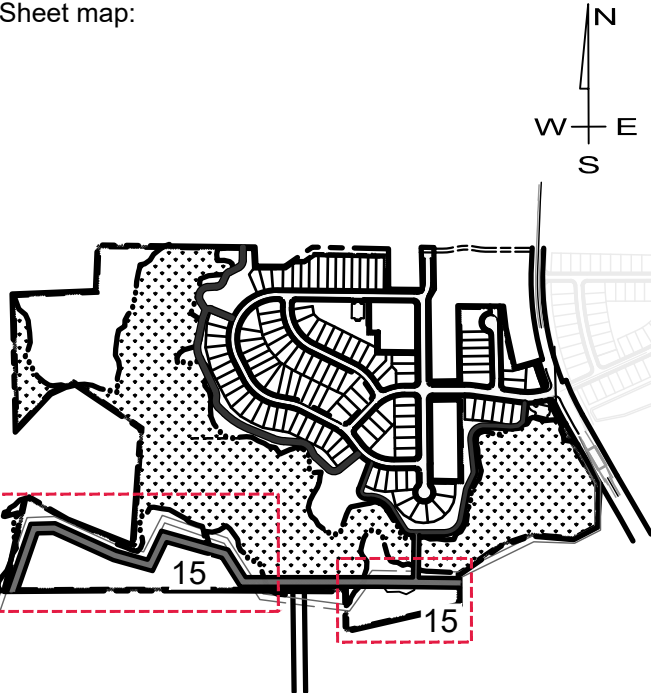
Jurisdiction / Municipality



Town of Rolesville
502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517
PSP-24-05

Other Consultants

Sheet map:



Seal:



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Project:

HARRIS CREEK FARMS

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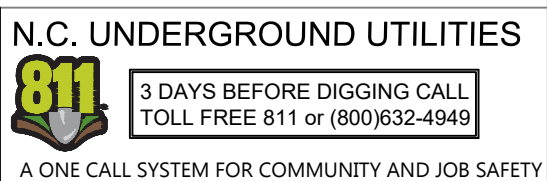
| REVISIONS | | |
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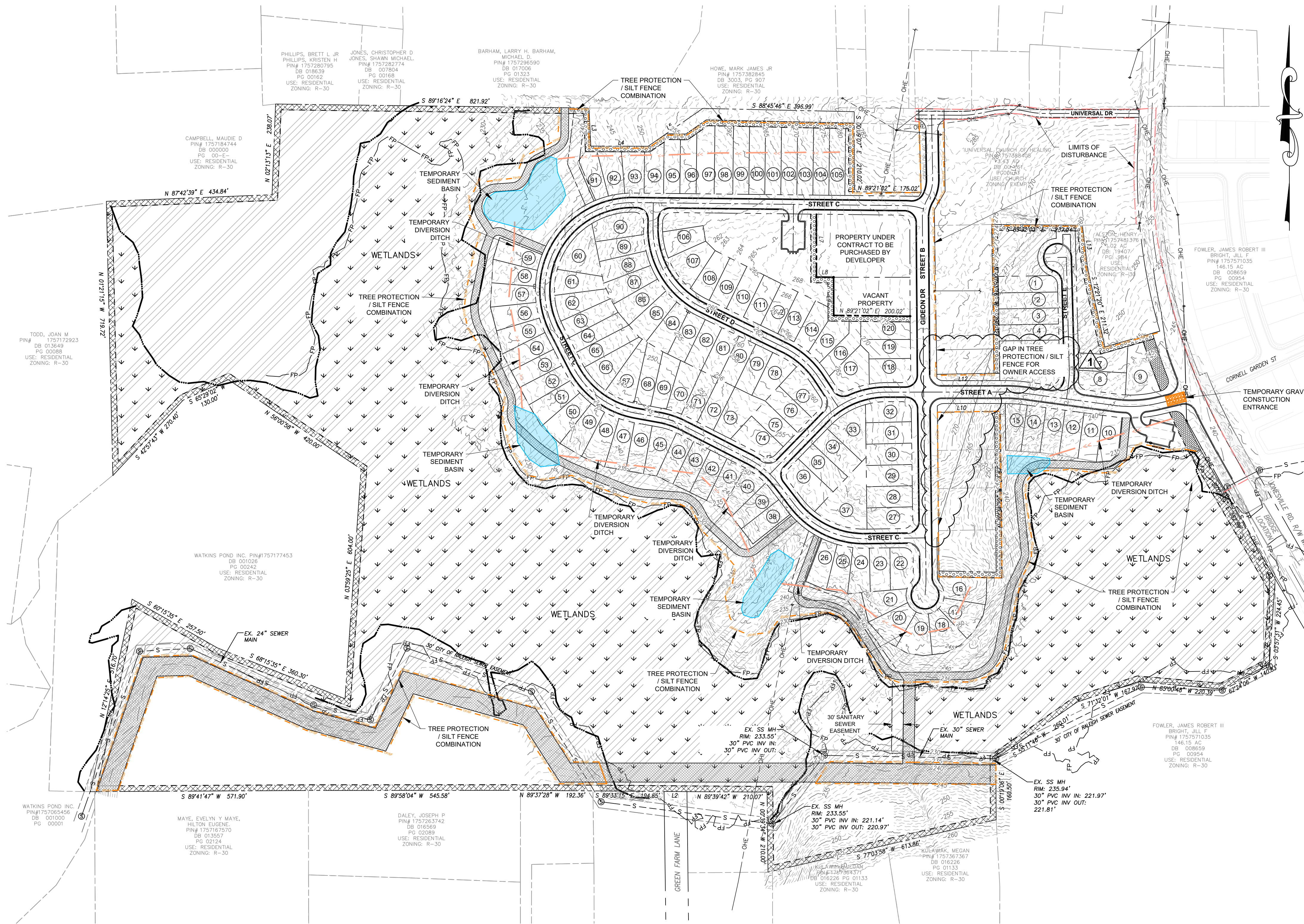
Sheet Title:

SITE PLAN DISC GOLF

Sheet #:

15





| EROSION CONTROL PLAN LEGEND | |
|--|-----------------|
| LIMITS OF DISTURBANCE | --- |
| TREE PROTECTION/SILT FENCE COMBINATION | --->--->--->--- |
| TEMPORARY DIVERSION DITCH | --->--- |
| TEMPORARY CONSTRUCTION ENTRANCE | --- |
| TEMPORARY SEDIMENT BASIN | --- |

WAKE COUNTY EROSION CONTROL SEQUENCE

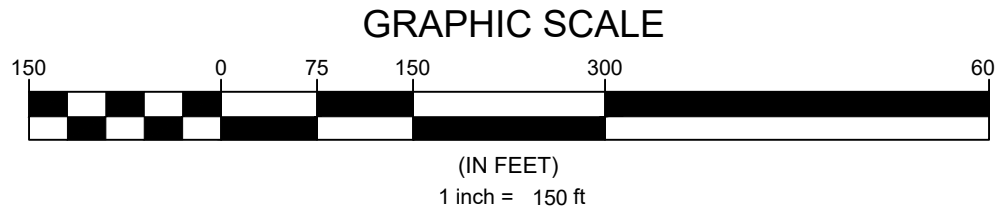
1. Schedule a preconstruction conference with the Environmental Consultant. Obtain a land disturbing permit.
2. Install gravel construction pad, temporary diversions, silt fence, sediment basins or other measures as shown on the approved plan. Clear only as necessary to install these devices. Seed temporary diversions, berms and basins immediately after construction.
3. Call Environmental Consultant for an onsite inspection by the Environmental Consultant to obtain a Certificate of Compliance.
4. Begin clearing and grubbing. Maintain devices as needed. Rough grade site.
5. Install storm sewer, if shown, and protect inlets with block and gravel inlet controls, sediment traps or other approved measures as shown on the plan. Begin construction, building, etc.
6. Stabilize site as areas are brought up to finish grade with vegetation, paving, ditch linings, etc. Seed and mulch denuded areas per Ground Stabilization Time Frames.
7. When construction is complete and all areas are stabilized completely, call Environmental Consultant for an inspection.
8. If site is approved, remove temporary diversions, silt fence, sediment basins, etc., and seed out or stabilize any resulting bare areas. All remaining permanent erosion control devices, such as velocity dissipators, should now be installed.
9. When vegetation has become established, call for a final site inspection by the Environmental Consultant. Obtain a Certificate of Completion.

NPDES SELF INSPECTION PROGRAM

1. EFFECTIVE OCTOBER 1, 2010, PERSONS CONDUCTING LAND-DISTURBING ACTIVITY LARGER THAN ONE ACRE MUST INSPECT THEIR PROJECT AFTER EACH PHASE OF THE PROJECT, AND DOCUMENT THE INSPECTION IN WRITING. EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO, SEDIMENTATION CONTROL BASINS, SEDIMENTATION TRAPS, ROCK DAMS, TEMPORARY DIVERSIONS, TEMPORARY SLOPE DRAINS, SEDIMENT FENCE OR BARRIERS, ALL FORMS OF INLET PROTECTION, STORM DRAINAGE FACILITIES, ENERGY DISSIPATORS, AND STABILIZATION METHODS OF OPEN CHANNELS MUST BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY, LANDOWNER, OR THEIR AGENT. THE SELF-INSPECTION REPORTING FORM IS AVAILABLE AS PDF FROM THE LAND QUALITY WEB SITE: <https://deq.nc.gov/about/divisions/energy-mineral-land-resources/erosion-sediment-control/forms>
 2. IN ADDITION TO THE INSPECTIONS BY THE CONTRACTOR, THE OWNER, THE FINANCIALLY RESPONSIBLE PARTY, OR THEIR AGENT MUST CONDUCT INSPECTIONS IN ACCORDANCE WITH THE STATE OF NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY CONSTRUCTION GENERAL PERMIT NCG 010000 SELF-INSPECTION PROGRAM AND REPORTING REQUIREMENTS TO MONITOR AND MAINTAIN A RAIN GAUGE, RECORDS, PERMIT, AND S&E PLAN ON SITE.
- EROSION CONTROL NOTES
1. TREE PROTECTION FENCE LINE ALSO INCLUDE THE LIMITS OF DISTURBANCE FOR THAT SECTION.
 2. A COPY OF THE APPROVED EROSION CONTROL PLAN AND PERMIT PLACARD MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
 3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL AND WAKE COUNTY STANDARDS, SPECIFICATIONS AND DETAILS.
 4. THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
 5. FAILURE TO FOLLOW THE APPROVED PLAN, CONSTRUCTION SEQUENCE, AND DETAILS COULD SUBJECT THE CONTRACTOR AND/OR THE FINANCIALLY RESPONSIBLE PARTY TO FINES AND PENALTIES ISSUED BY EITHER THE WAKE COUNTY EROSION CONTROL DIVISION OR NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY.
 6. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR SHALL CALL FOR AN INSPECTION BY WAKE COUNTY EROSION CONTROL ONCE INITIAL MEASURES ARE IN PLACE. (SEE CONSTRUCTION SEQUENCES)
 7. CONTRACTOR SHALL INSPECT ALL SEDIMENT/EROSION CONTROL DEVICES WEEKLY AND AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF OF THE CAPACITY OF THE DEVICE. SEE NPDES SELF INSPECTION PROGRAM NOTES.
 8. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
 9. DISTURBANCE OUTSIDE OF THE SITE PROPERTY LIMITS OR PUBLIC RIGHT-OF-WAY SHALL ONLY BE AS ALLOWED BY SIGNED GRADING AGREEMENTS AND/OR EASEMENTS BETWEEN THE DEVELOPER AND THE OFFSITE PROPERTY OWNER.
 10. NO DEBRIS SHALL BE TRACKED ONTO PUBLIC RIGHT OF WAY. IF THE SITUATION OCCURS WHERE MUD, ROCK AND DEBRIS IS TRACKED ONTO PAVEMENT, THE CONTRACTOR SHALL CLEAN THE PAVEMENT AND INSTALL ADDITIONAL MEASURES TO PREVENT THE FUTURE OCCURRENCE.
 11. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND TREES, A CLEAN SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCE SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRAFFIC SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA AND SHALL BE INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.
 12. PROVIDE INLET PROTECTION AROUND ALL SITE STORM INLETS. PROTECT OPEN PIPES UNDER CONSTRUCTION WITH EITHER PLYWOOD OR WITH MESH AND GRAVEL WEIRS. RUNOFF SHALL NOT BE ALLOWED IN ANY OPEN TRENCH.
 13. CONTRACTOR WILL FIELD LOCATE SILT FENCE OUTLETS AT LOW POINTS IN SILT FENCE AS REQUIRED TO PROVIDE RELIEF FROM CONCENTRATED FLOWS AND PONDING. APPROXIMATE LOCATIONS ARE SHOWN ON EROSION CONTROL PLANS.
 14. TEMPORARY DIVERSIONS SHALL BE MAINTAINED DAILY BY CONTRACTOR SO THAT THEY ARE FUNCTIONAL AT THE END OF EACH WORKDAY AND WHEN STOPPING WORK FOR RAIN.
 15. CONTRACTOR SHALL SEED AND STABILIZE ALL STEEP SLOPES (GREATER THAN 2H:1V) WITHIN 7 DAYS, 10 DAYS FOR MODERATE SLOPES (3H:1V OR GREATER) AND WITHIN 14 CALENDAR DAYS EVERYWHERE ELSE (STATE LAW 2009-486).

OFFSITE SPOIL NOTE:

1. IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THE DISTURBED AREA FOR THE SPOILED/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A SEPARATE LAND-DISTURBANCE PERMIT.



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PSP-24-05

Other Consultants

Sheet map:

N
W
E
S

Seal:

NORTH CAROLINA PROFESSIONAL SEAL
53676
BRYAN A. HAIR, ENGINEER

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Project:

HARRIS CREEK FARMS

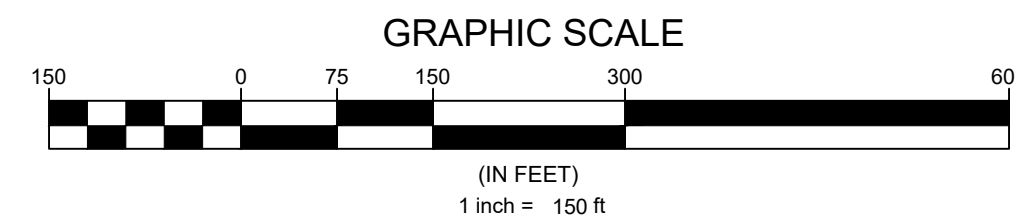
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OVERALL EROSION CONTROL PLAN

Sheet #:

| | |
|----------------------------|---------------------|
| EXISTING MAJOR CONTOUR | _____ |
| EXISTING MINOR CONTOUR | _____ |
| PROPOSED MINOR CONTOUR | _____ |
| PROPOSED MAJOR CONTOUR | _____ |
| PROPOSED BOUNDARY | _____ - - - - |
| PROPOSED R.O.W. | _____ |
| EXISTING SEWER LINE | - - S - - - S |
| EXISTING SEWER MANHOLE | ⊗ |
| PROPOSED SEWER LINE | _____ S _____ > |
| PROPOSED SEWER MANHOLE | ⊗ |
| EXISTING WATER LINE | - - W - - - W - - - |
| PROPOSED WATERLINE | _____ W _____ W |
| EXISTING EASEMENT | _____ - - - - |
| PROPOSED EASEMENT | _____ - - - - |
| PROPOSED STORM WATER INLET | _____ * |
| PROPOSED STORM PIPE | ===== |
| PROPOSED RETAINING WALL | ===== |



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Project

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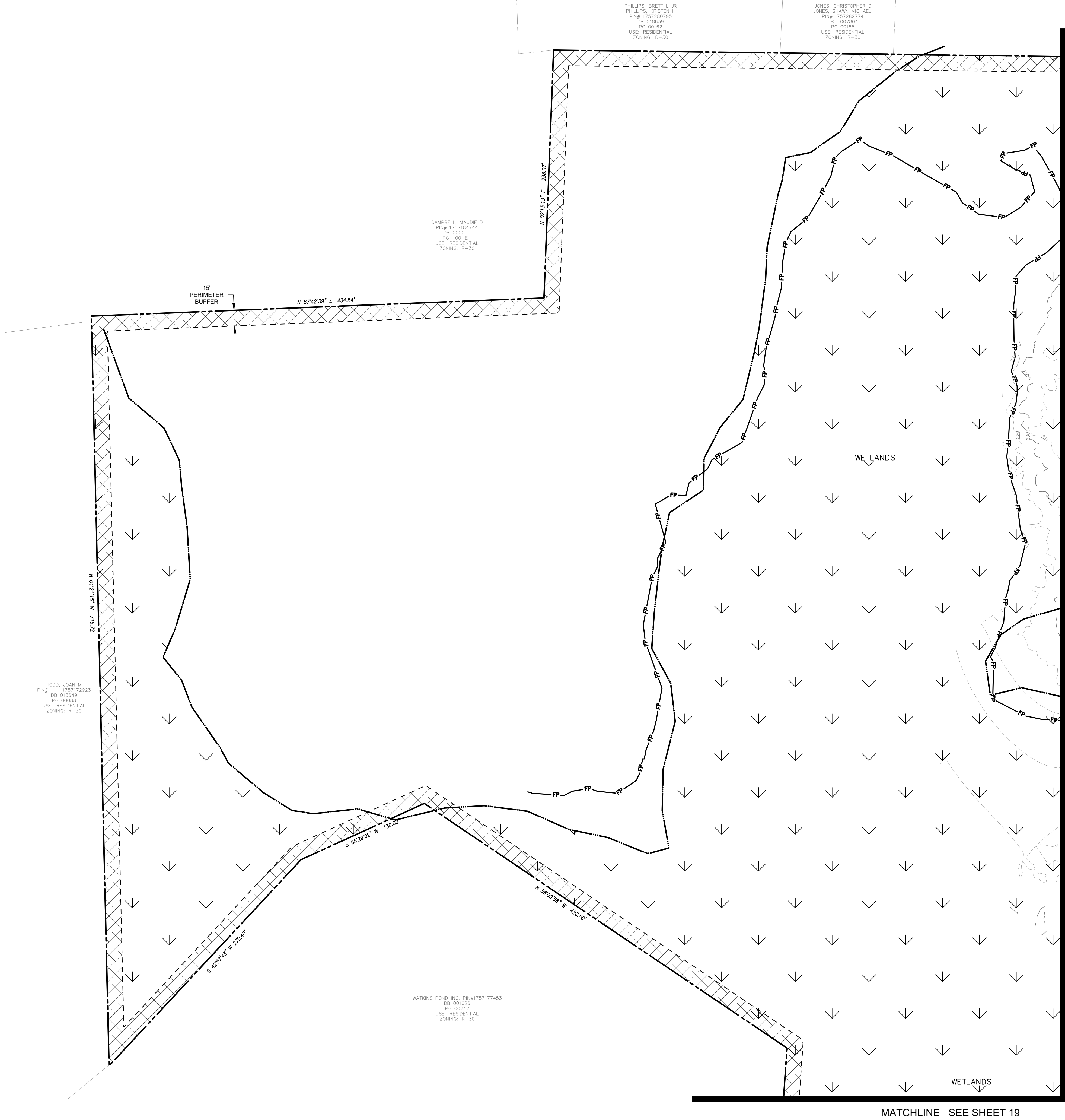
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DRAINAGE
PLAN**

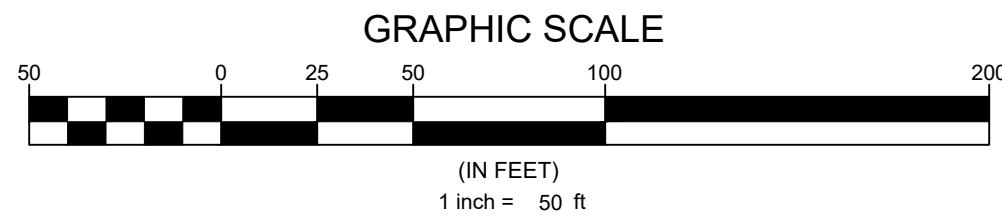
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MATCHLINE SEE SHEET 20

MATCHLINE SEE SHEET 19



GRADING PLAN LEGEND

| | |
|----------------------------|-----------------|
| EXISTING MAJOR CONTOUR | --- |
| EXISTING MINOR CONTOUR | - - - - - |
| PROPOSED MINOR CONTOUR | --- |
| PROPOSED MAJOR CONTOUR | --- |
| PROPOSED R.O.W. | --- |
| PROPOSED LOT LINE | --- |
| EXISTING SEWER LINE | --- S --- S --- |
| PROPOSED SEWER LINE | --- S --- S --- |
| EXISTING SEWER MANHOLE | ⊙ |
| PROPOSED SEWER LINE | --- S --- S --- |
| PROPOSED SEWER MANHOLE | ⊙ |
| EXISTING WATER LINE | --- W --- W --- |
| PROPOSED WATERLINE | --- W --- W --- |
| PROPOSED GATE VALVE | ⋈ |
| EXISTING EASEMENT | --- |
| PROPOSED EASEMENT | --- |
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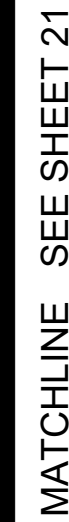
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Sheet #: **18**

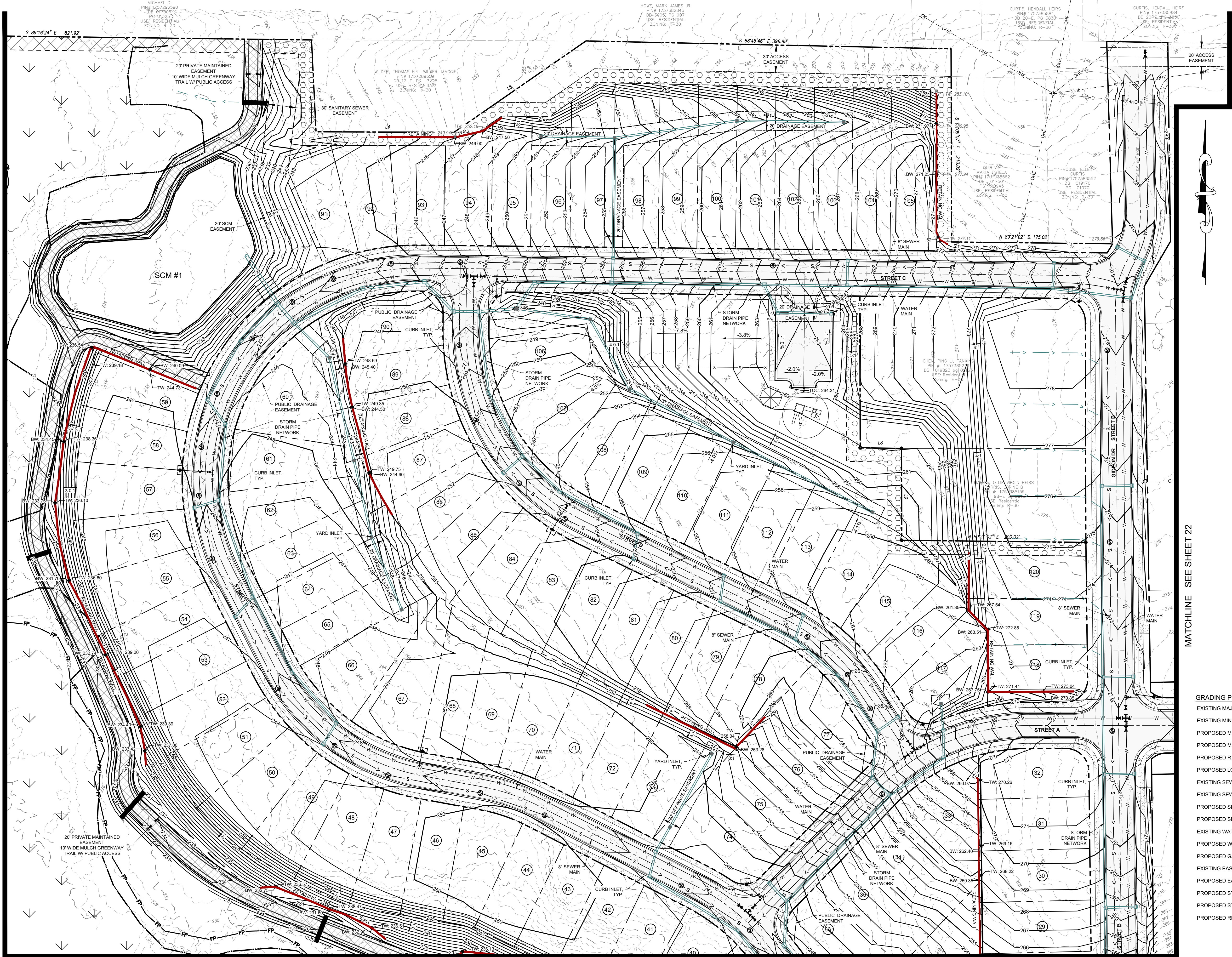


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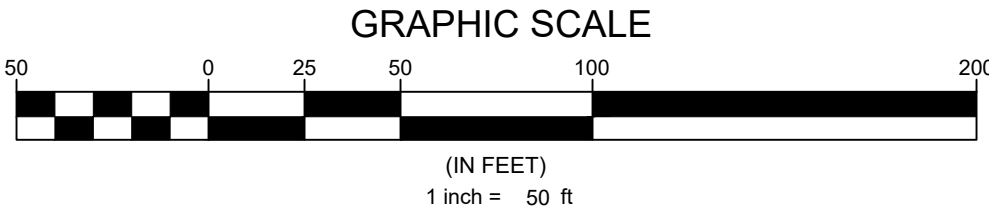
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1 inch = 50 ft



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| PROPOSED MINOR CONTOUR | --- |
| PROPOSED MAJOR CONTOUR | --- |
| PROPOSED R.O.W. | --- |
| PROPOSED LOT LINE | --- |
| EXISTING SEWER LINE | --- S --- S |
| EXISTING SEWER MANHOLE | ⊙ |
| PROPOSED SEWER LINE | --- S --- S |
| PROPOSED SEWER MANHOLE | ⊙ |
| EXISTING WATER LINE | --- W --- W |
| PROPOSED WATERLINE | --- W --- W |
| PROPOSED GATE VALVE | ⋈ |
| EXISTING EASEMENT | --- |
| PROPOSED EASEMENT | --- |
| PROPOSED STORM WATER INLET | ⊠ |
| PROPOSED STORM PIPE | --- |
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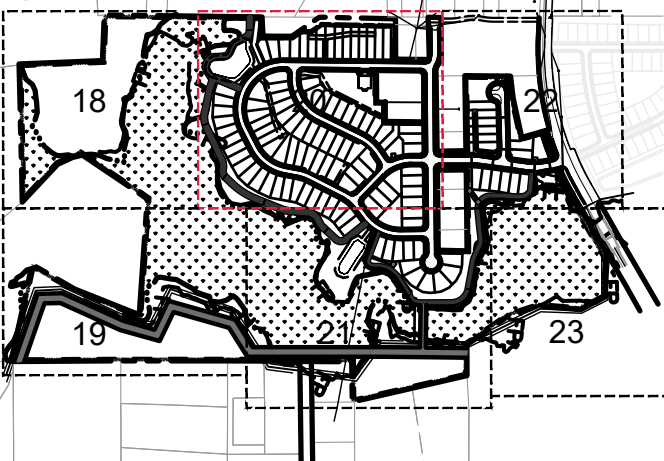


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Charlotte-Mecklenburg County, North Carolina


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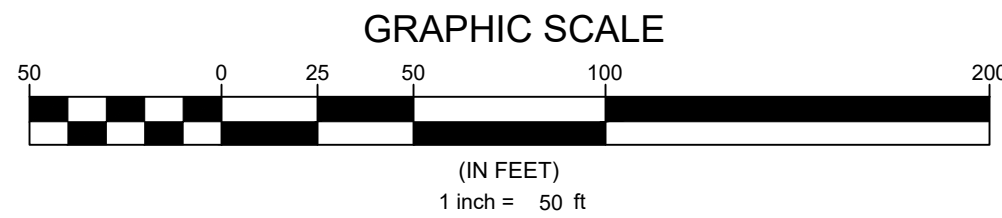
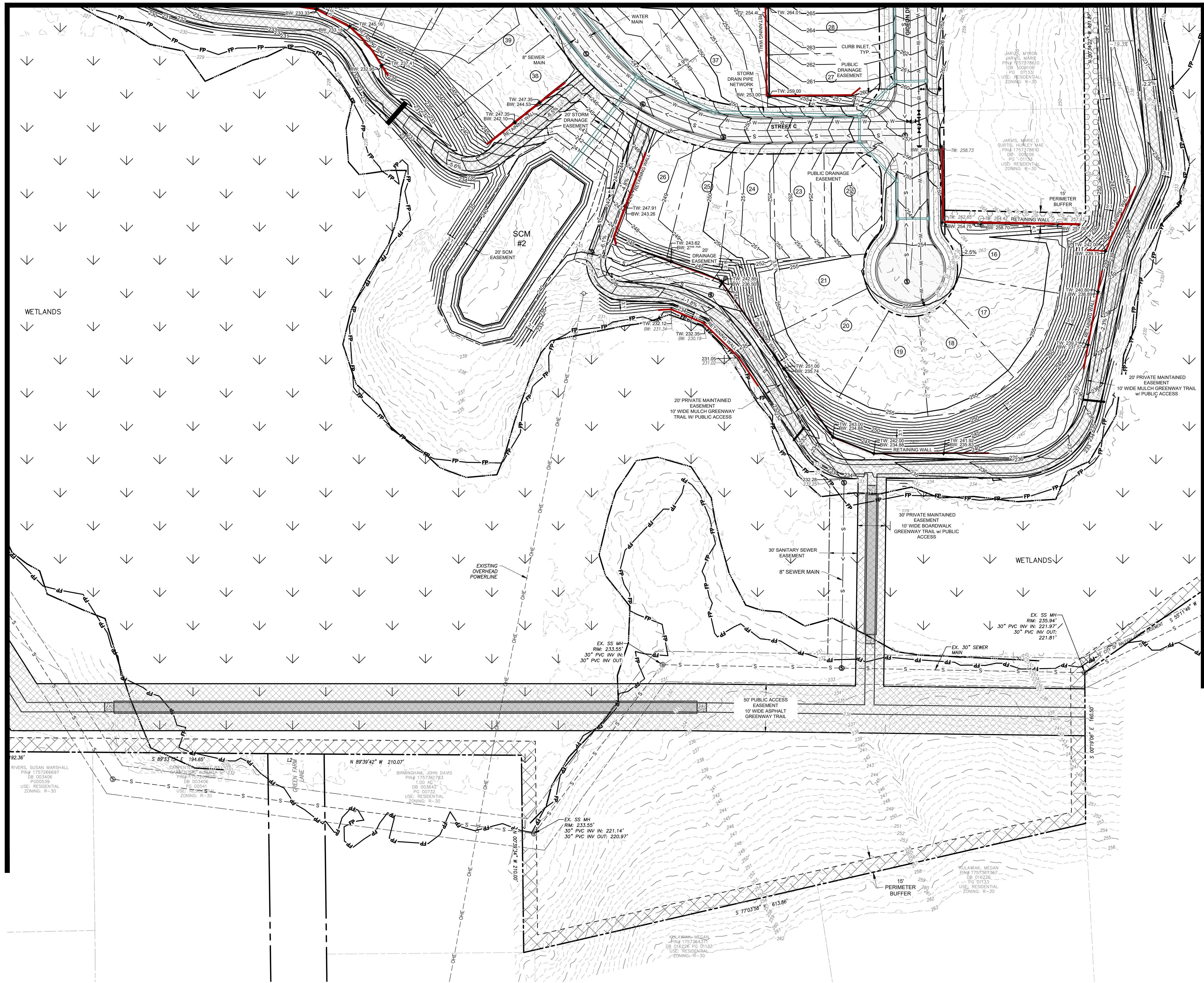
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GRADING &
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3 OF 6

Sheet #:

20



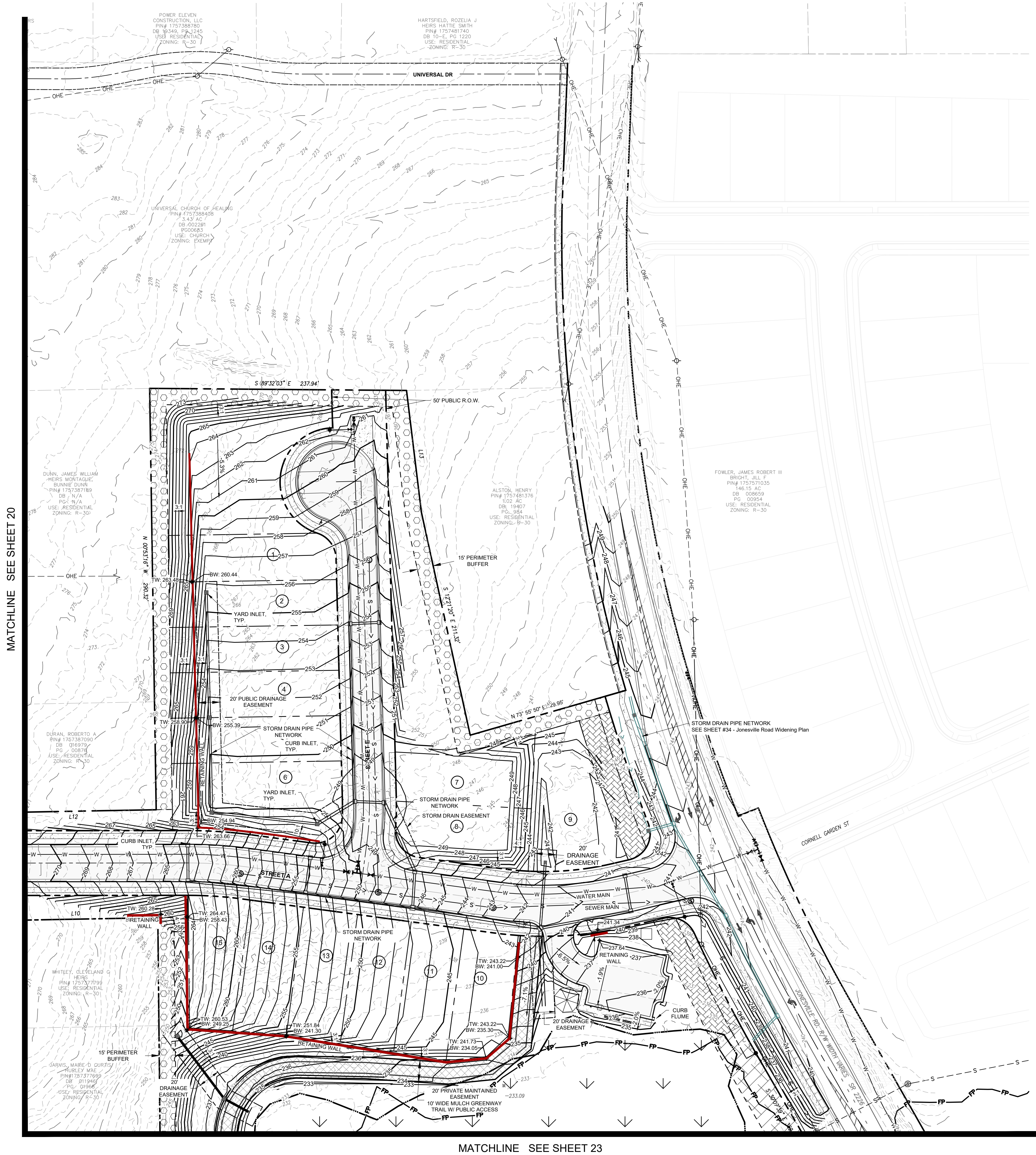
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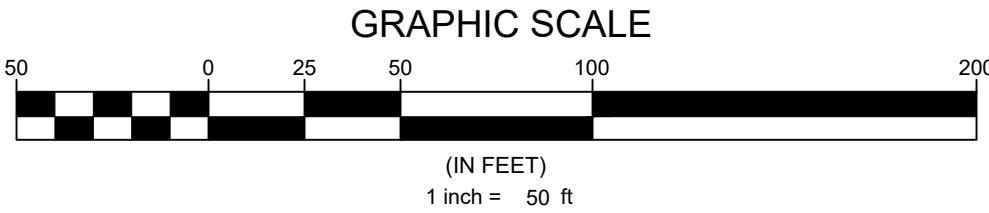
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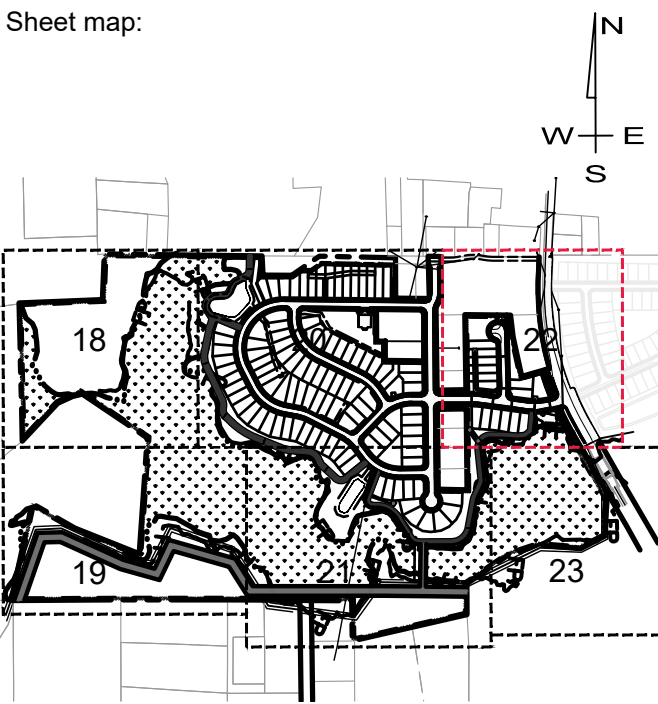
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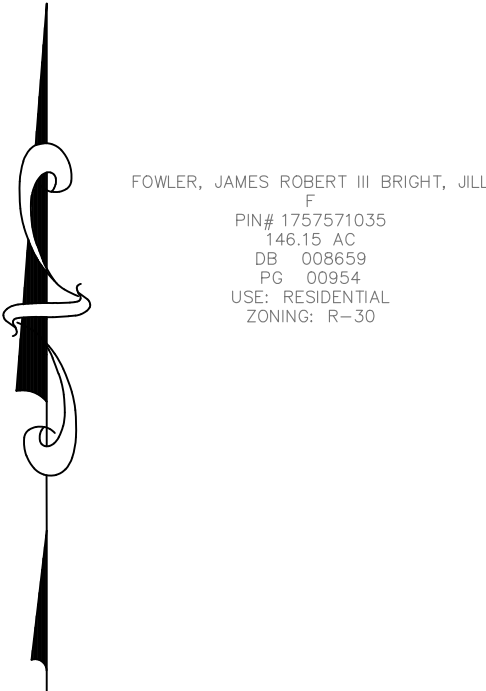
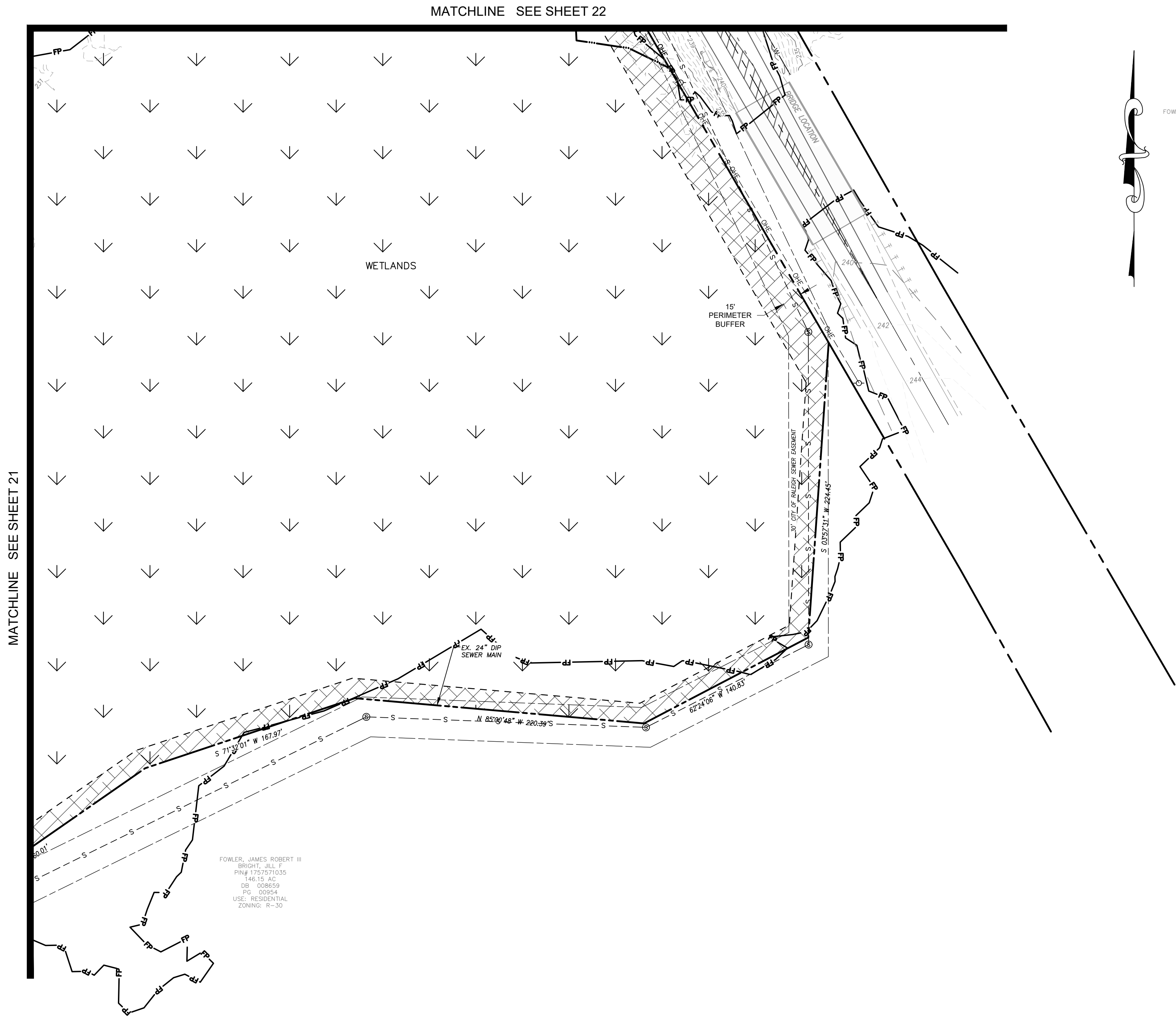
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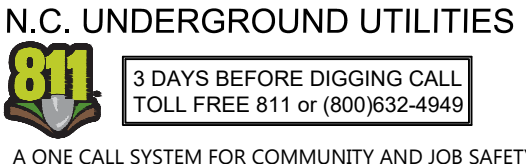
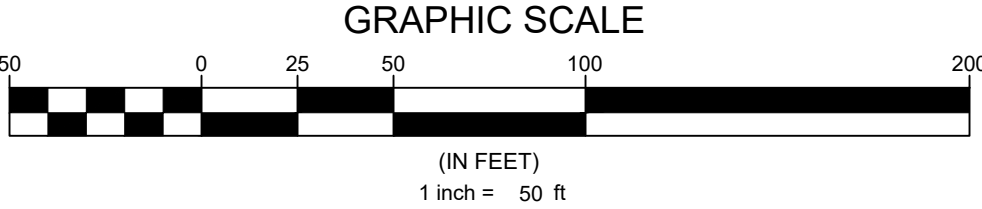
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| | |
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| EXISTING MINOR CONTOUR | - - - - - |
| PROPOSED MINOR CONTOUR | _____ |
| PROPOSED MAJOR CONTOUR | ===== |
| PROPOSED R.O.W. | — — — — — |
| PROPOSED LOT LINE | - - - - - |
| EXISTING SEWER LINE | — S — — — S — |
| PROPOSED SEWER LINE | — S — — — S — |
| EXISTING SEWER MANHOLE | ⊙ |
| PROPOSED SEWER LINE | — S — — — S — |
| PROPOSED SEWER MANHOLE | ⊙ |
| EXISTING WATER LINE | — W — — — W — |
| PROPOSED WATERLINE | — W — — — W — |
| PROPOSED GATE VALVE | ⋈ |
| EXISTING EASEMENT | --- |
| PROPOSED EASEMENT | --- |
| PROPOSED STORM WATER INLET | ⊠ |
| PROPOSED STORM PIPE | ===== |
| PROPOSED RETAINING WALL | ===== |



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Other Consultants

Sheet map:

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Project:

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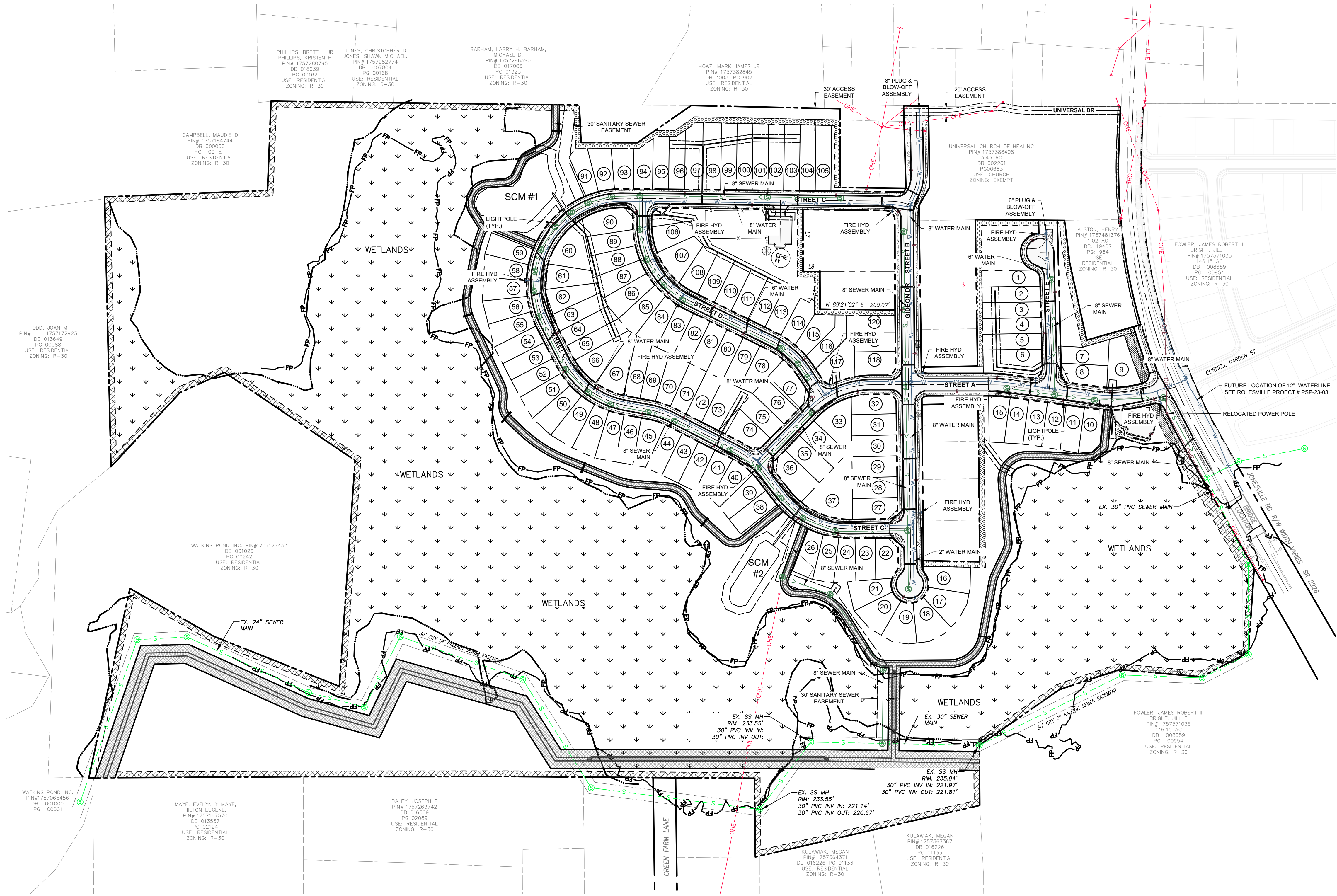
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Sheet Title: **GRADING & DRAINAGE PLAN SHEET 6 OF 6**

Sheet #:

23

File Location: C:\Users\Tim Newsome\Quantech\Quantech Engineering - Documents\Harris Creek Farm - Jonesville\Engineering - DWG\Construction Plans\24 Overall Utility Plan.dwg

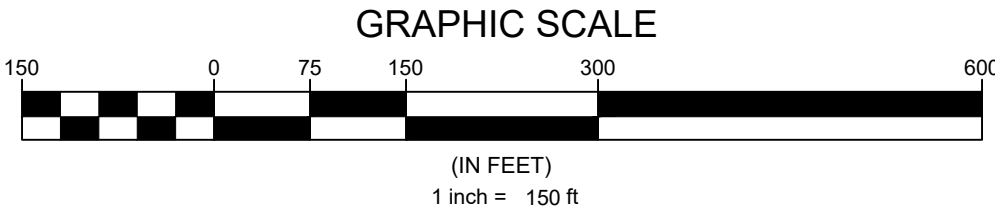


UTILITY PLAN LEGEND

| | |
|------------------------|-----|
| PROPOSED R.O.W. | --- |
| PROPOSED LOT LINE | --- |
| EXISTING SEWER LINE | --- |
| EXISTING SEWER MANHOLE | ⊙ |
| PROPOSED SEWER LINE | --- |
| PROPOSED SEWER MANHOLE | ⊙ |
| EXISTING WATER LINE | --- |
| PROPOSED WATERLINE | --- |
| PROPOSED FIRE HYDRANT | ⊙ |
| EXISTING EASEMENT | --- |
| PROPOSED EASEMENT | --- |
| LIGHT POLE | ⊙ |

CONDITION OF APPROVAL NOTE:

- A WATER MODEL IS REQUIRED TO BE COMPLETED BY THE PROJECT ENGINEER TO DEMONSTRATE THAT THE PROPOSED WATERLINE EXTENSION WILL PROVIDE ADEQUATE FIRE FLOW AND PRESSURE FOR THE PROPOSED DEVELOPMENT.



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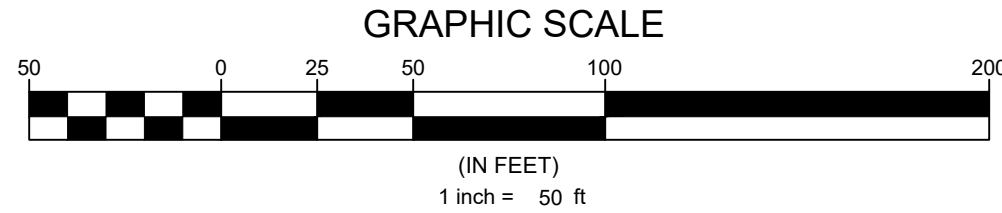
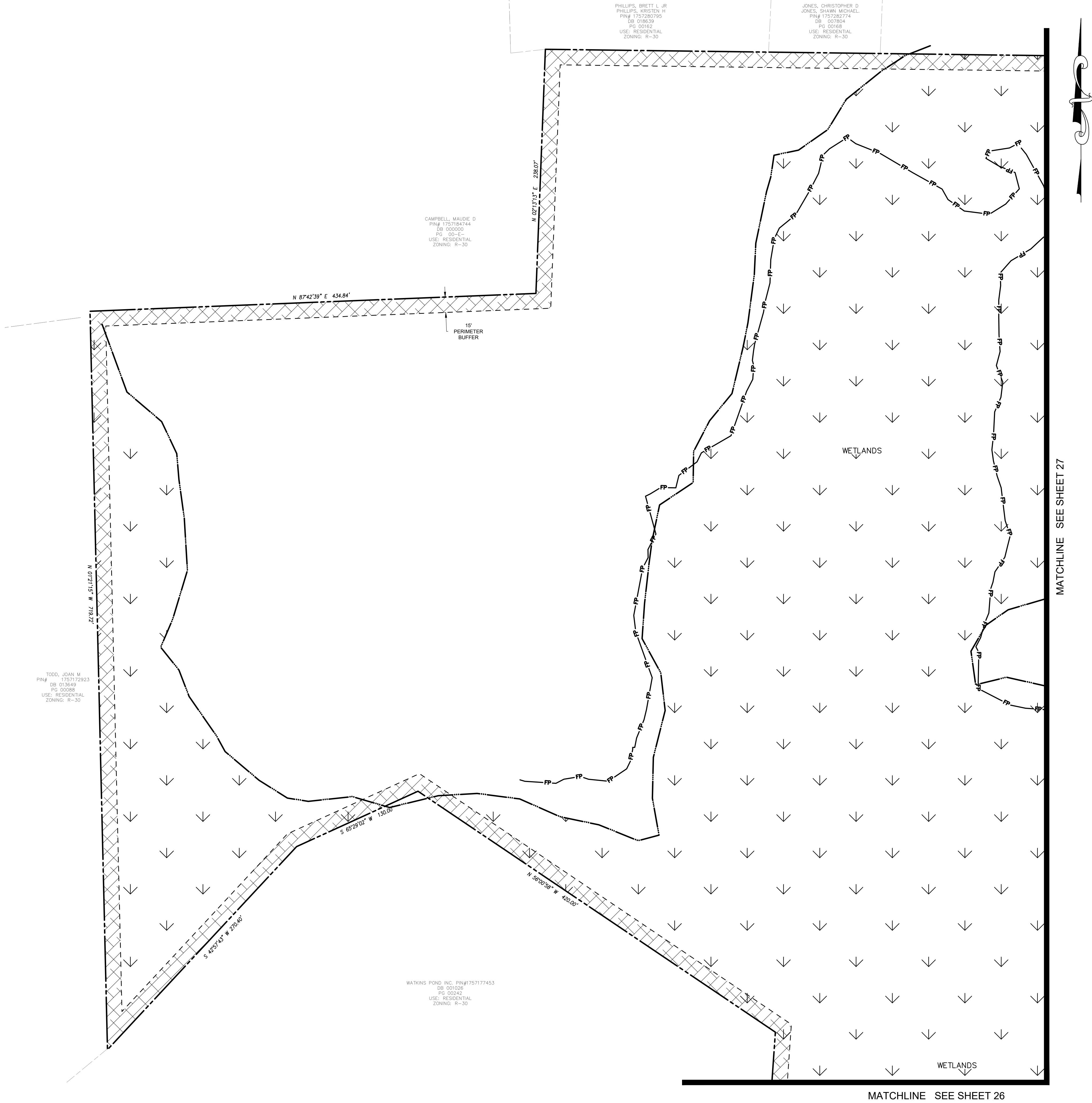
Sheet Title:

OVERALL UTILITY PLAN

Sheet #:

24

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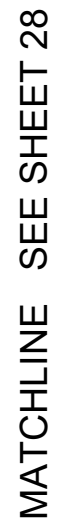
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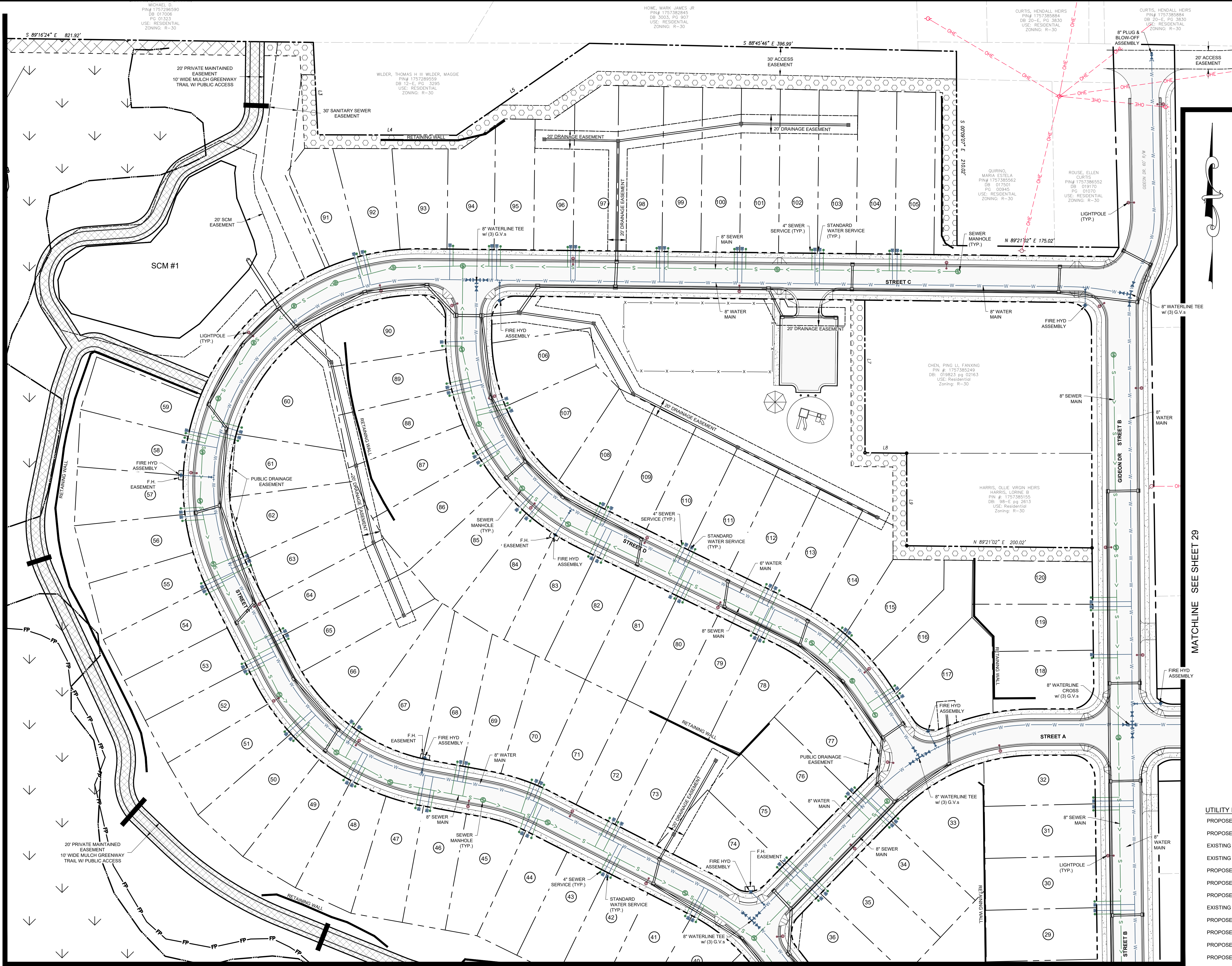
UTILITY PLAN SHEET 1 OF 6

Sheet #:

25

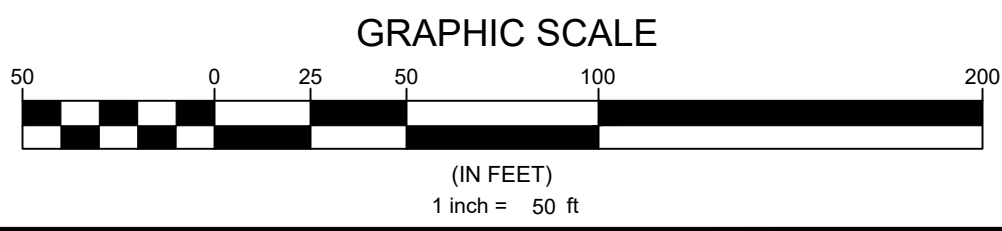


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UTILITY PLAN LEGEND

| | |
|-------------------------|---------|
| PROPOSED R.O.W. | --- |
| PROPOSED LOT LINE | --- |
| EXISTING SEWER LINE | ---S--- |
| EXISTING SEWER MANHOLE | ⊙ |
| PROPOSED SEWER LINE | —S—> |
| PROPOSED SEWER MANHOLE | ⊙ |
| PROPOSED SEWER CLEANOUT | —S— |
| EXISTING WATER LINE | ---W--- |
| PROPOSED WATER LINE | —W— |
| PROPOSED WATER SERVICE | —W— |
| PROPOSED GATE VALVE | ⌞ |
| PROPOSED FIRE HYDRANT | ⊕ |
| EXISTING EASEMENT | --- |
| PROPOSED EASEMENT | --- |
| LIGHT POLE | ⊙ |



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Sheet Title:

**UTILITY PLAN
SHEET 3 OF 6**

Sheet #:

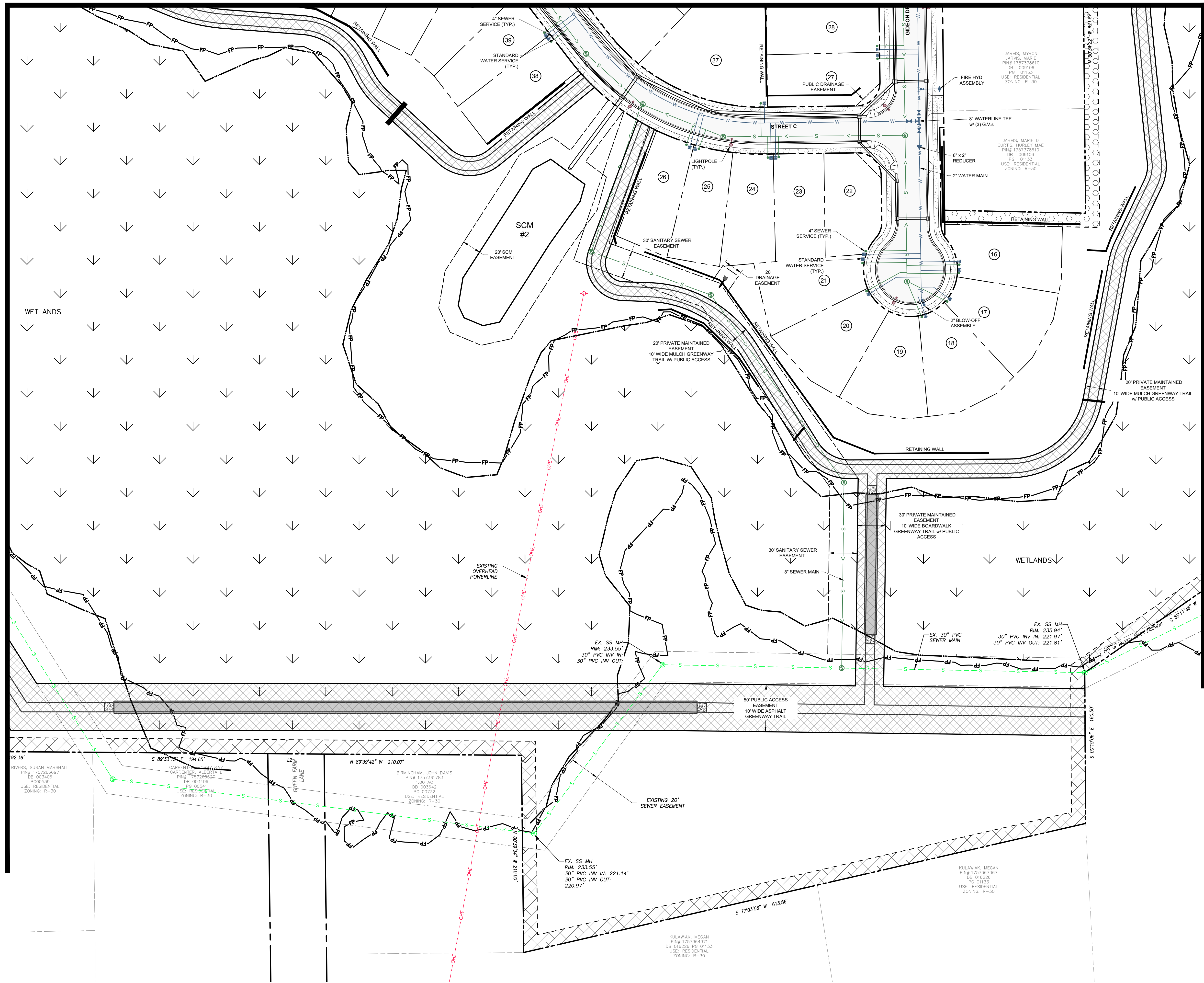
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MATCHLINE SEE SHEET 26

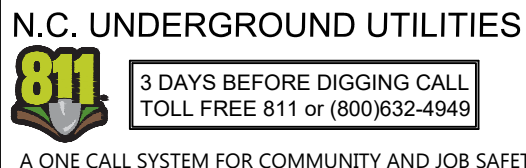
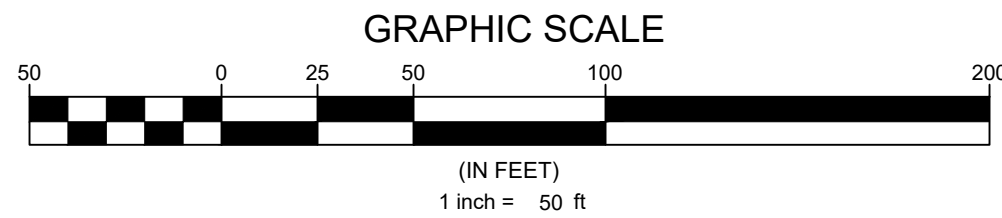
MATCHLINE SEE SHEET 27

MATCHLINE SEE SHEET 30



UTILITY PLAN LEGEND

| | |
|-------------------------|--|
| PROPOSED R.O.W. | |
| PROPOSED LOT LINE | |
| EXISTING SEWER LINE | |
| EXISTING SEWER MANHOLE | |
| PROPOSED SEWER LINE | |
| PROPOSED SEWER MANHOLE | |
| PROPOSED SEWER CLEANOUT | |
| EXISTING WATER LINE | |
| PROPOSED WATER LINE | |
| PROPOSED WATER SERVICE | |
| PROPOSED GATE VALVE | |
| PROPOSED FIRE HYDRANT | |
| EXISTING EASEMENT | |
| PROPOSED EASEMENT | |
| LIGHT POLE | |



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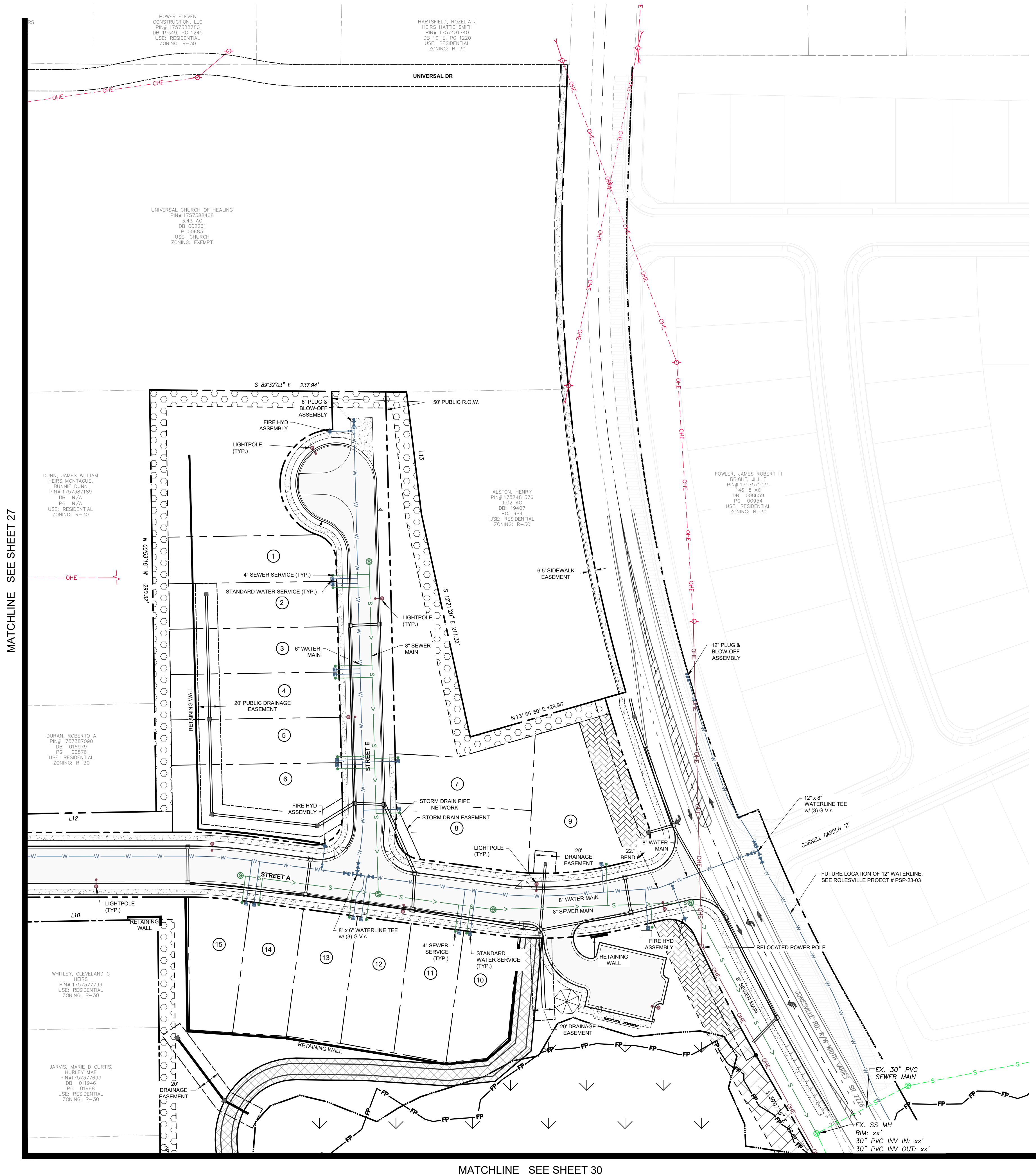
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UTILITY PLAN SHEET 4 OF 6

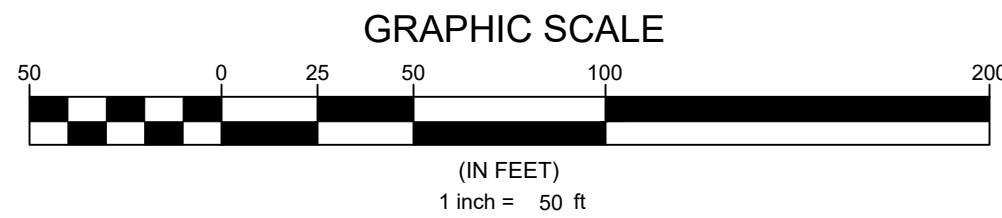
Sheet#:

28



MATCHLINE SEE SHEET 27

MATCHLINE SEE SHEET 30



UTILITY PLAN LEGEND

| | |
|-------------------------|--|
| PROPOSED R.O.W. | |
| PROPOSED LOT LINE | |
| EXISTING SEWER LINE | |
| EXISTING SEWER MANHOLE | |
| PROPOSED SEWER LINE | |
| PROPOSED SEWER MANHOLE | |
| PROPOSED SEWER CLEANOUT | |
| EXISTING WATER LINE | |
| PROPOSED WATERLINE | |
| PROPOSED WATER SERVICE | |
| PROPOSED GATE VALVE | |
| PROPOSED FIRE HYDRANT | |
| EXISTING EASEMENT | |
| PROPOSED EASEMENT | |
| LIGHT POLE | |



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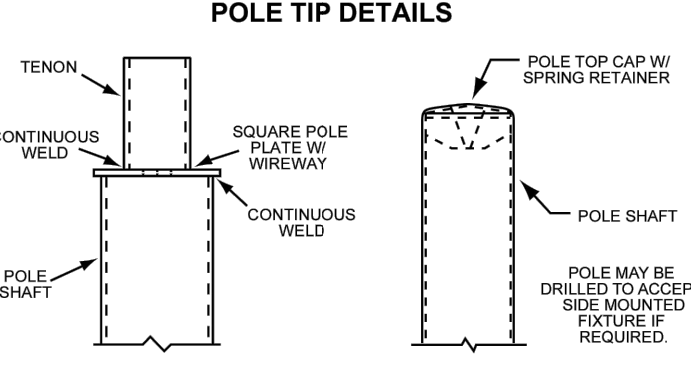
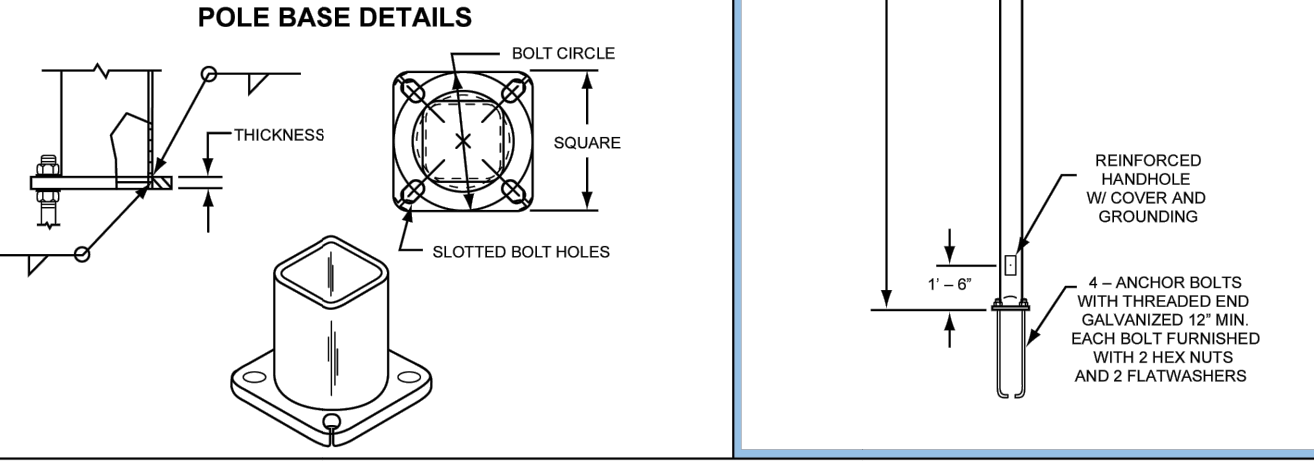
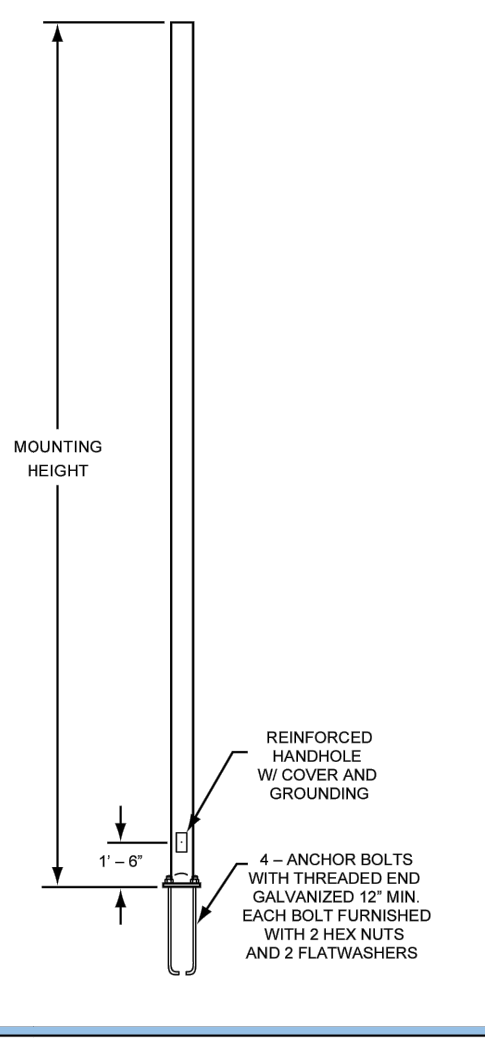
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UTILITY PLAN
SHEET 5 OF 6

Sheet #:


29

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|  | | CATALOG NUMBER: | |
| | | JOB NAME: | |
| | | CUSTOMER NAME: | |
| | | NOTES: | |
| | | TYPE: | |
| | | DATE: | |

| FEATURES AND SPECIFICATIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| AREA LIGHTING POLES SQUARE STRAIGHT STEEL POLES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| ORDERING INFORMATION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <table border="1"> <thead> <tr> <th rowspan="2">Nominal Mounting Height (ft)</th> <th rowspan="2">Catalog Number</th> <th colspan="2">Shaft</th> <th colspan="2">Pole Base</th> <th colspan="4">Maximum Loading</th> </tr> <tr> <th>Base O.D. (in)</th> <th>Wall Thk. (ga)</th> <th>Gross Weight (lbs)</th> <th>Bolt Circle Range*</th> <th>Plate Thk. (in)</th> <th>Plate Thk. (in)</th> <th>90MPH EPA (ft)</th> <th>100MPH EPA (ft)</th> <th>110MPH EPA (ft)</th> <th>120MPH EPA (ft)</th> </tr> </thead> <tbody> <tr> <td>12</td> <td>SSS12411BZ</td> <td>4.00</td> <td>11</td> <td>90</td> <td>8 to 11</td> <td>8.0</td> <td>0.75</td> <td>23.0</td> <td>18.2</td> <td>14.6</td> <td>11.7</td> </tr> <tr> <td>14</td> <td>SSS14411BZ</td> <td>4.00</td> <td>11</td> <td>105</td> <td>8 to 11</td> <td>8.0</td> <td>0.75</td> <td>18.7</td> <td>14.5</td> <td>11.5</td> <td>9.1</td> </tr> <tr> <td>16</td> <td>SSS16411BZ</td> <td>4.00</td> <td>11</td> <td>120</td> <td>8 to 11</td> <td>8.0</td> <td>0.75</td> <td>15.1</td> <td>11.5</td> <td>8.9</td> <td>6.9</td> </tr> <tr> <td>18</td> <td>SSS18411BZ</td> <td>4.00</td> <td>11</td> <td>135</td> <td>8 to 11</td> <td>8.0</td> <td>0.75</td> <td>12.2</td> <td>9.1</td> <td>6.8</td> <td>5.1</td> </tr> <tr> <td>20</td> <td>SSS20411BZ</td> <td>4.00</td> <td>11</td> <td>150</td> <td>8 to 11</td> <td>8.0</td> <td>0.75</td> <td>9.5</td> <td>6.9</td> <td>4.9</td> <td>3.4</td> </tr> <tr> <td>20</td> <td>SSS20507BZ</td> <td>5.00</td> <td>7</td> <td>250</td> <td>9 to 11</td> <td>11.0</td> <td>1.00</td> <td>30.5</td> <td>23.7</td> <td>18.6</td> <td>14.7</td> </tr> <tr> <td>20</td> <td>SSS20511BZ</td> <td>5.00</td> <td>11</td> <td>180</td> <td>9 to 11</td> <td>11.0</td> <td>0.75</td> <td>20.0</td> <td>14.9</td> <td>11.5</td> <td>8.8</td> </tr> </tbody> </table> | Nominal Mounting Height (ft) | Catalog Number | Shaft | | Pole Base | | Maximum Loading | | | | Base O.D. (in) | Wall Thk. (ga) | Gross Weight (lbs) | Bolt Circle Range* | Plate Thk. (in) | Plate Thk. (in) | 90MPH EPA (ft) | 100MPH EPA (ft) | 110MPH EPA (ft) | 120MPH EPA (ft) | 12 | SSS12411BZ | 4.00 | 11 | 90 | 8 to 11 | 8.0 | 0.75 | 23.0 | 18.2 | 14.6 | 11.7 | 14 | SSS14411BZ | 4.00 | 11 | 105 | 8 to 11 | 8.0 | 0.75 | 18.7 | 14.5 | 11.5 | 9.1 | 16 | SSS16411BZ | 4.00 | 11 | 120 | 8 to 11 | 8.0 | 0.75 | 15.1 | 11.5 | 8.9 | 6.9 | 18 | SSS18411BZ | 4.00 | 11 | 135 | 8 to 11 | 8.0 | 0.75 | 12.2 | 9.1 | 6.8 | 5.1 | 20 | SSS20411BZ | 4.00 | 11 | 150 | 8 to 11 | 8.0 | 0.75 | 9.5 | 6.9 | 4.9 | 3.4 | 20 | SSS20507BZ | 5.00 | 7 | 250 | 9 to 11 | 11.0 | 1.00 | 30.5 | 23.7 | 18.6 | 14.7 | 20 | SSS20511BZ | 5.00 | 11 | 180 | 9 to 11 | 11.0 | 0.75 | 20.0 | 14.9 | 11.5 | 8.8 | <p>*Consult Factory for Specific Bolt Circle Measurements.</p> <p>Continued →</p> |
| Nominal Mounting Height (ft) | | | Catalog Number | Shaft | | Pole Base | | Maximum Loading | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | Base O.D. (in) | Wall Thk. (ga) | | Gross Weight (lbs) | Bolt Circle Range* | Plate Thk. (in) | Plate Thk. (in) | 90MPH EPA (ft) | 100MPH EPA (ft) | 110MPH EPA (ft) | 120MPH EPA (ft) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 12 | SSS12411BZ | 4.00 | 11 | 90 | 8 to 11 | 8.0 | 0.75 | 23.0 | 18.2 | 14.6 | 11.7 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 14 | SSS14411BZ | 4.00 | 11 | 105 | 8 to 11 | 8.0 | 0.75 | 18.7 | 14.5 | 11.5 | 9.1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 16 | SSS16411BZ | 4.00 | 11 | 120 | 8 to 11 | 8.0 | 0.75 | 15.1 | 11.5 | 8.9 | 6.9 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 18 | SSS18411BZ | 4.00 | 11 | 135 | 8 to 11 | 8.0 | 0.75 | 12.2 | 9.1 | 6.8 | 5.1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 20 | SSS20411BZ | 4.00 | 11 | 150 | 8 to 11 | 8.0 | 0.75 | 9.5 | 6.9 | 4.9 | 3.4 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 20 | SSS20507BZ | 5.00 | 7 | 250 | 9 to 11 | 11.0 | 1.00 | 30.5 | 23.7 | 18.6 | 14.7 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 20 | SSS20511BZ | 5.00 | 11 | 180 | 9 to 11 | 11.0 | 0.75 | 20.0 | 14.9 | 11.5 | 8.8 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

Actual performance can vary depending on operating conditions. Specifications are subject to change without notice.

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 800-849-8485 | FAX: 336-227-0110 | www.atlaslightingproducts.com

| | | | |
|---|--|--|--|
|  | | AREA LIGHTING POLES SQUARE STRAIGHT STEEL POLES | |
| | | | |


| ORDERING INFORMATION CONTINUED | | | | | | | | | | | |
|--------------------------------|----------------|----------------|----------------|--------------------|--------------------|-----------------|-----------------|----------------|-----------------|-----------------|-----------------|
| Nominal Mounting Height (ft) | Catalog Number | Shaft | | Pole Base | | Maximum Loading | | | | | |
| | | Base O.D. (in) | Wall Thk. (ga) | Gross Weight (lbs) | Bolt Circle Range* | Plate Thk. (in) | Plate Thk. (in) | 90MPH EPA (ft) | 100MPH EPA (ft) | 110MPH EPA (ft) | 120MPH EPA (ft) |
| 25 | SSS25411BZ | 4.00 | 11 | 188 | 8 to 11 | 8.0 | 0.75 | 9.3 | 6.4 | 4.3 | 2.6 |
| 25 | SSS25407BZ | 4.00 | 7 | 250 | 8 to 11 | 8.0 | 0.75 | 11.2 | 8.0 | 5.5 | 3.7 |
| 25 | SSS25511BZ | 5.00 | 11 | 225 | 9 to 11 | 11.0 | 1.00 | 16.0 | 11.4 | 8.0 | 5.6 |
| 25 | SSS25507BZ | 5.00 | 7 | 313 | 9 to 11 | 11.0 | 1.00 | 34.0 | 26.2 | 20.0 | 15.9 |
| 30 | SSS30407BZ | 4.00 | 7 | 300 | 8 to 11 | 8.25 | 0.75 | 6.5 | 3.7 | 1.8 | 0.3 |
| 30 | SSS30507BZ | 5.00 | 7 | 375 | 9 to 11 | 11.0 | 1.00 | 24.1 | 17.5 | 13.0 | 9.4 |
| 30 | SSS30607BZ | 6.00 | 7 | 462 | 12 | 12.5 | 1.00 | 34.3 | 25.8 | 19.4 | 14.6 |
| 35 | SSS35607BZ | 6.00 | 7 | 539 | 12 | 12.5 | 1.00 | 24.8 | 17.7 | 12.2 | 8.4 |

*Consult Factory for Specific Bolt Circle Measurements.

| ORDERING INFORMATION | | | | | | | | | | | | |
|----------------------------------|--|--|---|--|--|---|----|---|---|---|----|---|
| S | S | S | 20 | - | 4 | - | 11 | - | T | - | BZ | 3 |
| SHAPE S = Square R = Round | STRUCTURE S = Steel A = Aluminum C = Concrete F = Fiberglass | HEIGHT (FT)* 18 = 18 ft 20 = 20 ft 25 = 25 ft 30 = 30 ft *Other sizes available | DIAMETER/ WIDTH (IN)* 4 = 4 in 5 = 5 in 6 = 6 in *Other sizes available | TENON DETAIL T = Welded Blank = None | COLOR* BZ = Bronze W = White S = Anodized Silver B = Black | DRILL PATTERN 1 = 1 2 = 2 @ 90° 3 = 2 @ 180° 4 = 3 @ 90° 5 = 4 @ 90° 6 = Drop Mount | | | | | | |

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| | | |
|--|--|--|
|  | | Project Information Job Name |
| 500-SPTABZ Square Pole Tenon Adapter - Up to 4 @ 90° | | Type Square Pole Tenon Adapter - Up to 4 @ 90° |
| | | Catalog Number 500-SPTABZ |
| | | Approved by |

SPECIFICATIONS:

Construction:
 Die Cast Aluminum
 Removable Top Bracket Cover Included
 (3) Sides have Removable Hole Plugs Installed

Mounting:
 Mounting Cleat(s) Included w/ SLP Fixture(s)
 Bracket is Pre-drilled for Mounting up to (4) Fixtures

Weight:
 4.19 lbs. / 1.9 kg.

Overall Height:
 10.25" (26.035 cm)

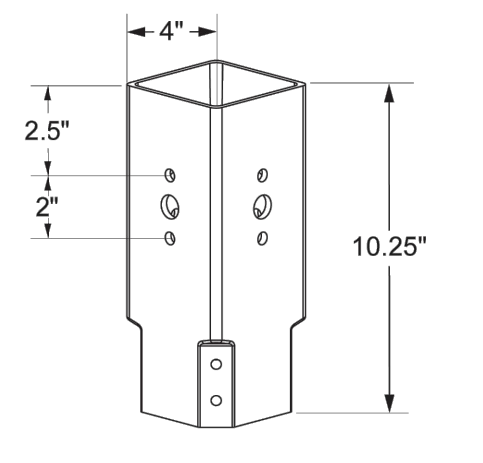
Overall Width:
 4" (10.16 cm)

Overall Depth:
 4" (10.16 cm)

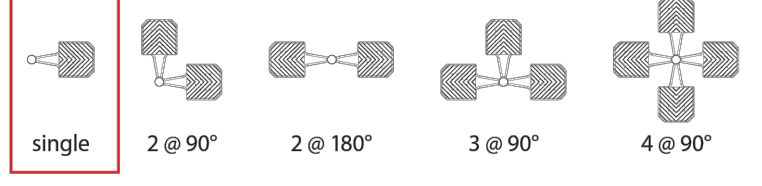
ORDERING INFORMATION:

| CATALOG # | DESCRIPTION | FINISH |
|------------|---------------------------|--------|
| 500-SPTABZ | For Square Poles w/ Tenon | Bronze |

DIMENSIONS:







FIXTURE CONFIGURATIONS:



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Made in the USA of US and imported parts. Meets Buy American requirements within the ARRA.

| | | |
|---|---|---|
|  | | Eagle Series |
| 2nd Generation LED Site Lighter | | |
|  |  |  |
| Project Information Job Name | | |
| Fixture Type Eagle Series | | |
| Catalog Number SLPM | | |
| Approved by | | |

SPECIFICATIONS:

Construction:
 Designed for commercial and industrial applications, providing cooler operating temperatures, brighter light and longer LED life. The die cast aluminum housing utilizes external airflow fins allow for greater heat dissipation. The easy access driver compartment is a thermally independent compartment, separate from LED generated heat, for cooler operation and longer drive life.

Optics:
 Atlas Site Lighter Pro fixtures utilize precision engineered individual lenses for maximum light intensity. The lens is made of optical grade polycarbonate. Advanced one piece optic board engineered for maximum light intensity. Types II, III, V and Forward Throw distributions are available. Types II, III and Forward Throw optics are rotatable allowing for optimal placement of the fixtures on the perimeter of any layout.

Mounting:
 The easy mount bracket makes installation on any style pole quick and easy. Tenon and other mounting accessories also available. For round poles 500-SLPMRPA is required.

Thermal Management:
 Atlas Site Lighter Pro fixtures are designed as a complete system to optimize LED life and light output. The thermal stacking heat removal technology extracts heat from within the housing moving it away from LEDs and components. The lower temperatures result in long LED life (200,000+ hrs) and component life and also allows for higher light output.

Listings:
 Luminaire is certified to UL/cUL Standards for Wet Locations
 *The following qualify for DesignLights Consortium Premium:
 SLP6L (All colors/options), SLP6L9L (All colors/options), SLP112L (All colors/options), SLP118L (All colors/options), SLP2M24L (All colors/options), all other luminaires are DesignLights Consortium qualified. All are eligible for rebates from DLC member utilities.

AC Input:
 120/208/240/277/347/480 V

Driver:
 Constant current, 120-277 VAC, 50-60 Hz
 High Efficiency - min. 88%
 Off-State Power: 0 Watts
 0-10 V Dimming

LEDs:
 Available in 3000K, 4000K, 4500K and 5000K, CCT
 Epoxy Guard™ protective conformal coated boards

Reduced Glare:
 Positioning of the LED modules within the housing result in light directed to desired locations and reduces offensive light.

Testing:
 Atlas LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 & LM-80.

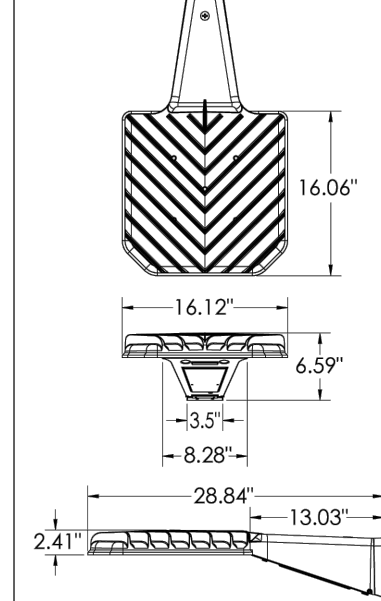
Warranty: Five-year limited warranty

LED Life Span Based Upon LM-80 Test Results

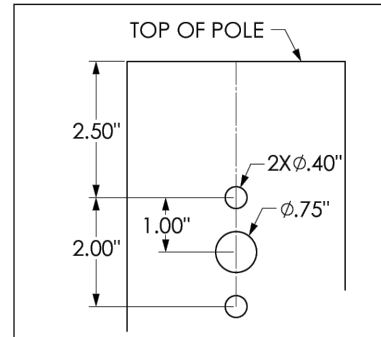
Rebates and Incentives are available in many areas. Contact an Atlas Representative for more information.




DIMENSIONS:
 Weight: 21 lbs.
 EPA: 0.61



DRILL PATTERN:







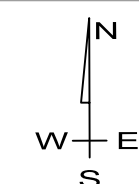

For round poles 500-SLPMRPA is required.

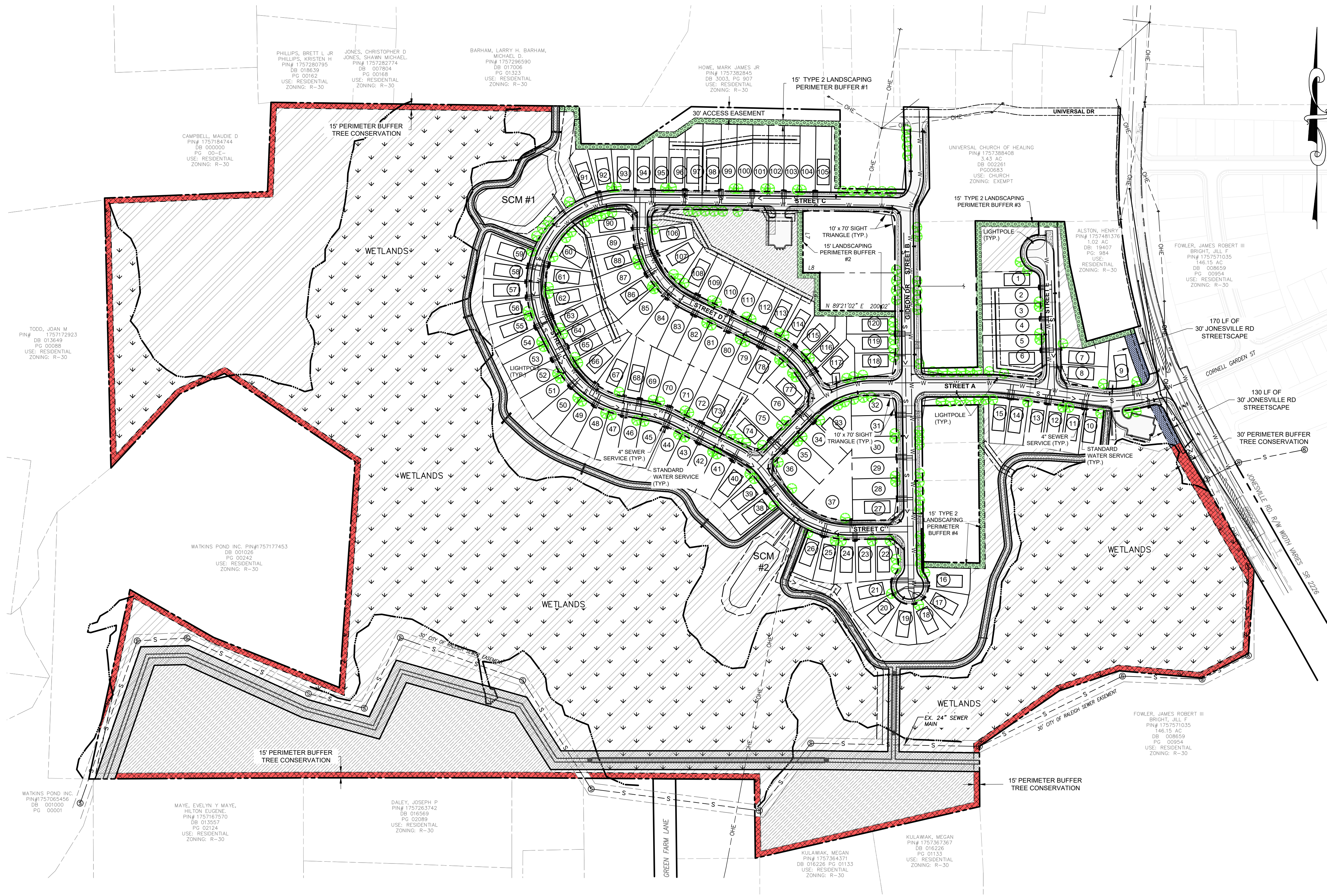
| | | | |
|---|---|--|--|
|  | | Eagle Series | 2nd Generation LED Site Lighter |
| ORDERING INFORMATION | | | |
| SLPM | 6L | T3 | 4K |
| PRODUCT SERIES SLPM = 2nd Generation Site Lighter Pro | LUMEN PACKAGE 6L = 6,000 Lumens 9L = 9,000 Lumens 12L = 12,000 Lumens 18L = 18,000 Lumens 24L = 24,000 Lumens 30L = 30,000 Lumens 36L = 36,000 Lumens 43L = 43,000 Lumens | DISTRIBUTION T2 = Type 2 T3 = Type 3 T5 = Type 5 FT = Forward Throw T2L = Type 2 Rotated Left T3L = Type 3 Rotated Left FTL = Forward Throw Rotated Left T2R = Type 2 Rotated Right T3R = Type 3 Rotated Right FTR = Forward Throw Rotated Right | COLOR TEMP. 3K = 3000K 4K = 4000K 45K = 4500K 5K = 5000K |
| | | VOLTAGE Blank = 120-277 4 = 347/480 | COLOR RENDERING Blank = 70CRI |
| | | | FIXTURE COLOR Blank = Bronze BK = Black SL = Silver WT = White |

| LUMEN PACKAGE | DISTRIBUTION | CRI | 3000K CCT | 4000K CCT | 4500K CCT | 5000K CCT | WATTAGE |
|---------------|--------------|-----|-----------|-----------|-----------|-----------|---------|
| 6L | T2 | 70 | 5908 | 153 | 6067 | 159 | 6152 |
| | T3 | 70 | 5824 | 151 | 5981 | 155 | 6065 |
| | FT | 70 | 5712 | 148 | 5866 | 152 | 5948 |
| | T5 | 70 | 5848 | 152 | 6005 | 156 | 6090 |
| | T2 | 70 | 9155 | 159 | 9401 | 163 | 9442 |
| 9L | T2 | 70 | 9082 | 158 | 9326 | 162 | 9366 |
| | FT | 70 | 8866 | 154 | 9104 | 158 | 9232 |
| | T5 | 70 | 9085 | 158 | 9330 | 162 | 9370 |
| | T2 | 70 | 12030 | 160 | 12354 | 164 | 12407 |
| | T3 | 70 | 11900 | 159 | 12220 | 163 | 12272 |
| 12L | FT | 70 | 11670 | 156 | 11984 | 160 | 12035 |
| | T5 | 70 | 11950 | 159 | 12271 | 164 | 12324 |
| | T2 | 70 | 17840 | 155 | 18320 | 159 | 18398 |
| | T3 | 70 | 17810 | 155 | 18289 | 159 | 18367 |
| | FT | 70 | 17340 | 151 | 17806 | 155 | 17883 |
| 18L | T5 | 70 | 17820 | 155 | 18299 | 159 | 18378 |
| | T2 | 70 | 23640 | 148 | 24276 | 152 | 24380 |
| | T3 | 70 | 23620 | 148 | 24255 | 152 | 24359 |
| | FT | 70 | 23030 | 144 | 23650 | 148 | 23751 |
| | T5 | 70 | 23660 | 148 | 24296 | 152 | 24401 |
| 24L | T2 | 70 | 29450 | 140 | 30242 | 144 | 30372 |
| | T3 | 70 | 29440 | 140 | 30232 | 144 | 30361 |
| | FT | 70 | 28750 | 137 | 29523 | 141 | 29650 |
| | T5 | 70 | 29470 | 141 | 30263 | 144 | 30392 |
| | T2 | 70 | 35260 | 133 | 36208 | 137 | 36364 |
| 30L | T3 | 70 | 35220 | 133 | 36167 | 137 | 36322 |
| | FT | 70 | 34490 | 131 | 35418 | 134 | 35570 |
| | T5 | 70 | 35200 | 133 | 36167 | 137 | 36302 |
| | T2 | 70 | 42200 | 121 | 43335 | 124 | 43521 |
| | T3 | 70 | 41940 | 120 | 43068 | 124 | 43253 |
| 43L | FT | 70 | 41300 | 118 | 42411 | 122 | 42593 |
| | T5 | 70 | 41970 | 120 | 43099 | 124 | 43284 |

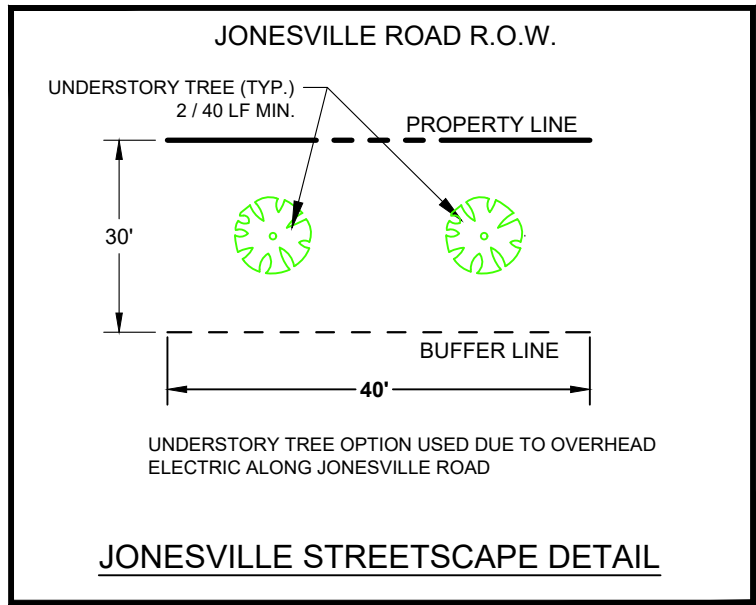
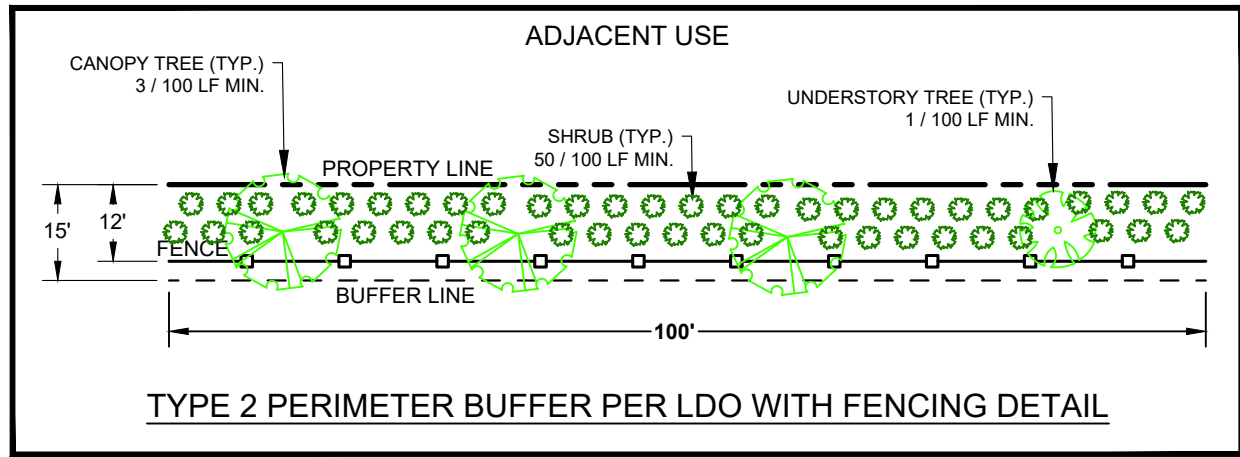
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The majority of Atlas Lighting Products are assembled in USA facilities by an American Workforce utilizing both Domestic and Foreign components. Meets Buy American requirements within the ARRA.

| | |
|---|--|
| Developer  THE CSC GROUP CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUNITY 10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519 | |
| Engineer  QUANTECH ENGINEERING INNOVATIVE SOLUTIONS ENGINEERING THE FUTURE Firm # F-1517 15000 Weston Parkway Cary, N.C. 27513 (919) 996-9455 | |
| Surveyor  BATEMAN CIVIL SURVEY COMPANY 2524 Reliance Avenue Apex, NC 27539 919-557-1080 ext 109 www.batemancivilsurvey.com | |
| Jurisdiction / Municipality  Rolesville Town of Rolesville 502 Southtown Cir Rolesville, NC 27571 Phone: 919-554-6517 PSP-24-05 | |
| Other Consultants | |
| Sheet map:  | |
| Seal:  | |
| FINAL DRAWING - FOR REVIEW PURPOSES ONLY | |
| Issued / Print Date: 2025-April-30 (09:20) File Name: 24 Overall Utility Plan.dwg | |
| Last Saved by: Tim Newsome Drawn by: TAN | |
| Project: | |
| HARRIS CREEK FARMS | |
| Issued for: PRELIMINARY PLANS DO NOT USE FOR CONSTRUCTION | |
| REVISIONS | |
| No. | Date Description |
| 1 | 11/08/24 Town of Rolesville Planning Dept. comments |
| 2 | 02/07/25 Town of Rolesville Planning Dept. comments |
| 3 | 04/30/25 Lot lines changed due to recent survey or wetlands Location |
| Sheet Title: | |
| UTILITY DETAILS | |
| Sheet #: | |



| TREE / SHRUB LIST | | | | | | |
|---|-----------------------|--------------------|-----------|-----------|-----------------------------|---|
| Common Name | Scientific Name | Type | Height | Width | Light | Comments |
| Trident Maple | Acer buergerianum | Decid - Canopy | 30' - 40' | 25' - 35' | full-sun / part-sun / Shade | Green, turns red in Fall / Heat-tolerant / pH 5.6 - 6.5 |
| Yellow Buckeye | Aesculus flava | Decid - Canopy | 45' | 50' | full-sun / part-sun / Shade | Green, turns yellow in Fall / Heat-tolerant / pH 5.6 - 6.5 |
| Yellowwood | Cladrastis kentukea | Decid - Canopy | 35' | 40' | part-sun | white flowers, fragrant, pendulous, blooms in late spring or early summer and often blooms only every 2-3 years |
| 'Jane' Saucer Magnolia | Magnolia 'Jane' | Decid - Understory | 8' - 15' | 15' | full-sun / part-sun / Shade | Flowers purple |
| Devilwood | Osmanthus americanus | Decid - Understory | 12' - 20' | 8' - 12' | full-sun / part-sun / Shade | |
| Persian Parrotia | Parrotia persica | Decid - Understory | 30' | 30' | full-sun / part-sun / Shade | Flowers Orange |
| Arizona Cypress | Cupressus arizonica | Evergreen | 30' - 40' | 15' - 20' | full-sun | Will thin with competition; subject to canker and not long-lived; can become more open with age |
| 'James Swan' Holly | Ilex 'James Swan' | Evergreen | 20' - 30' | 10' - 18' | full-sun / part-sun / Shade | A dense form with large, dark green, evergreen leaves |
| Hearts-a-Burstin | Euonymus americanus | Shrub | 4' - 6' | 3' - 4' | full-sun / part-sun / Shade | green w/ red flowering; Prefers well-drained soils; very pH- and soil-adaptable |
| Leaf Butterfly Bush | Buddleia alternifolia | Shrub | 10' - 20' | 10' - 20' | full-sun | green w/ purple flowering; preferring loose, loamy soil; |
| Clethra, Pepperbush | Clethra alnifolia | Shrub | 4' - 8' | 4' - 6' | full-sun / part-sun / Shade | green w/ white flowering; very adaptable; salt tolerant; easy to grow; forms suckering colonies |
| Shade trees shall be a minimum of 3" caliper and 10' tall at time of planting | | | | | | |
| Understory trees shall be a minimum of 1.5" caliper for single stem and 6' tall for both single and multi-stemmed trees at time of planting | | | | | | |
| Evergreen shall be a minimum of 1.5" caliper for single stem and 6' tall for both single and multi-stemmed trees at time of planting | | | | | | |
| Shrubs shall be a minimum of 18" tall at time of planting | | | | | | |



PERIMETER BUFFER DETAILS
NTS

LANDSCAPING NOTES:

- TREES SHALL NOT BE PLANTED BETWEEN THE CURB AND SIDEWALK (A GRASS STRIP IS REQUIRED). STREET TREES MAY BE INSTALLED IN A LINEAR FASHION OR IN CLUSTERS OR GROUPINGS OF LARGER AND/OR SMALL TREES IN COMBINATION WITH ASSOCIATED PLANTINGS TO ENHANCE THE VISUAL APPEARANCE OF THE STREETScape AND VIEWS FROM THE ADJACENT PROPERTIES.
- EACH LARGE CANOPY TREE IN THE STREETScape SHALL BE PROVIDED WITH AT LEAST THREE HUNDRED AND FIFTY (350) SQUARE FEET OF PERVIOUS GROUND AREA FOR ROOT GROWTH. ANY PLANTING AREA BOUNDED BY AN IMPERVIOUS SURFACE SHALL BE AT LEAST 10 FEET WIDE. ALL SLOPES STEEPER THAN (2) TO ONE (1) SHALL BE STABILIZED WITH PERMANENT SLOPE RETENTION DEVICES OR A SUITABLE COMBINATION OF PLANTINGS AND RETENTION DEVICES.
- JONESVILLE LANDSCAPE TYPE 2 BUFFER WILL COUNT TOWARDS THE STREETScape REQUIREMENTS.

PLANTING REQUIREMENTS:

THE PERIMETER BUFFER SHALL HAVE

- (3) CANOPY TREES / 100 LF
- (1) UNDERSTORY TREE / 100 LF
- (50) SHRUBS / 100 LF

THE STREETScape FOR JONESVILLE ROAD SHALL HAVE

- (2) UNDERSTORY TREES / 40 LF

THE STREETScape FOR ALL INTERNAL SUBDIVISION ROADS SHALL HAVE

- (1) TREE / 60 LF EACH SIDE OF ROAD

PLANTING CALCULATIONS

| | |
|---|---|
| JONESVILLE STREETScape | 300 LF / 40 = 7.5 x (2) = 15 UNDERSTORY TREES |
| PERIMETER BUFFER (REQUIRED / AREA) | |
| #1 | 1,170 LF / 100 = 11.7 x (3) = 36 CANOPY TREES 1,170 LF / 100 = 11.7 x (1) = 12 UNDERSTORY TREES 1,170 LF / 100 = 11.7 x (50) = 585 SHRUBS |
| #2 | 560 LF / 100 = 5.6 x (3) = 17 CANOPY TREES 560 LF / 100 = 5.6 x (1) = 6 UNDERSTORY TREES 560 LF / 100 = 5.6 x (50) = 280 SHRUBS |
| #3 | 1,220 LF / 100 = 12.2 x (3) = 37 CANOPY TREES 1,220 LF / 100 = 12.2 x (1) = 13 UNDERSTORY TREES 1,220 LF / 100 = 12.2 x (50) = 610 SHRUBS |
| #4 | 830 LF / 100 = 8.3 x (3) = 25 CANOPY TREES 830 LF / 100 = 8.3 x (1) = 9 UNDERSTORY TREES 830 LF / 100 = 8.3 x (50) = 415 SHRUBS |
| PERIMETER BUFFER TOTALS (REQUIRED) | 115 CANOPY TREES 40 UNDERSTORY TREES 1,890 SHRUBS |
| PERIMETER BUFFER TOTALS (PROPOSED) | 115 CANOPY TREES 40 UNDERSTORY TREES 1,890 SHRUBS |
| INTERNAL ROAD STREETScape (REQUIRED / STREET) | |
| * STREET A | 1,125 LF / 60 = 18.75 x (1) = 19 19 / SIDE = 38 CANOPY TREES (OR 76 UNDERSTORY TREES) |
| STREET B | 1,245 LF / 60 = 20.75 x (1) = 21 21 / SIDE = 42 CANOPY TREES (OR 84 UNDERSTORY TREES) |
| STREET C | 2,360 LF / 60 = 39.33 x (1) = 40 40 / SIDE = 80 CANOPY TREES (OR 160 UNDERSTORY TREES) |
| STREET D | 705 LF / 60 = 11.75 x (1) = 12 12 / SIDE = 24 CANOPY TREES (OR 48 UNDERSTORY TREES) |
| STREET E | 370 LF / 60 = 6.17 x (1) = 7 7 / SIDE = 14 CANOPY TREES (OR 28 UNDERSTORY TREES) |
| INTERNAL ROAD TOTALS (REQUIRED) | 198 TREES |
| INTERNAL ROAD TOTALS (PROPOSED) | 198 TREES |

* STREET "A" FROM JONESVILLE ROAD TO THE INTERSECTION OF STREET "B" (GIDEON DR.) IS A COLLECTOR ROAD AND WILL HAVE A 15' WIDE STREETScape. THE REMAINDER OF STREET "A" AND ALL OTHER INTERNAL ROADS ARE LOCAL ROADS AND WILL HAVE A 10' WIDE STREETScape.

LANDSCAPING PLAN LEGEND

| | |
|--------------------------------------|-----|
| EXISTING BOUNDARY | --- |
| PROPOSED R.O.W. | --- |
| PERIMETER BUFFER LINE | --- |
| PERIMETER BUFFER TREE CONSERVATION | --- |
| PERIMETER BUFFER LANDSCAPING PER LDO | --- |
| CANOPY TREE | --- |
| UNDERSTORY TREE | --- |
| SHRUB | --- |
| LIGHT POLE | --- |
| PASSIVE OPEN SPACE | --- |
| ACTIVE OPEN SPACE | --- |

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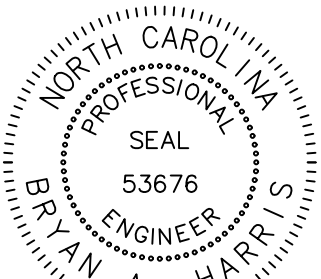
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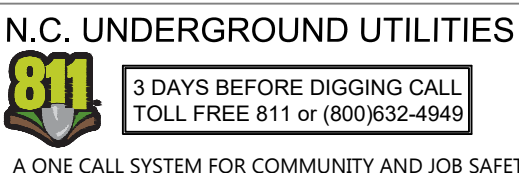
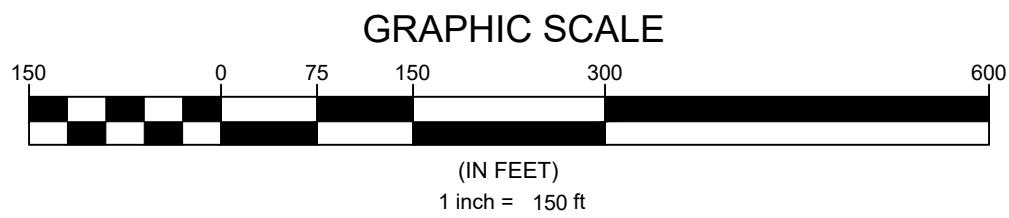
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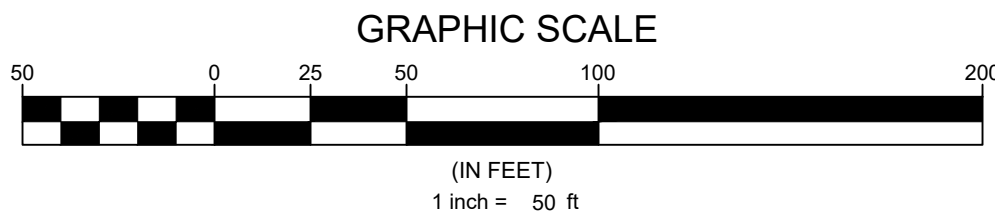
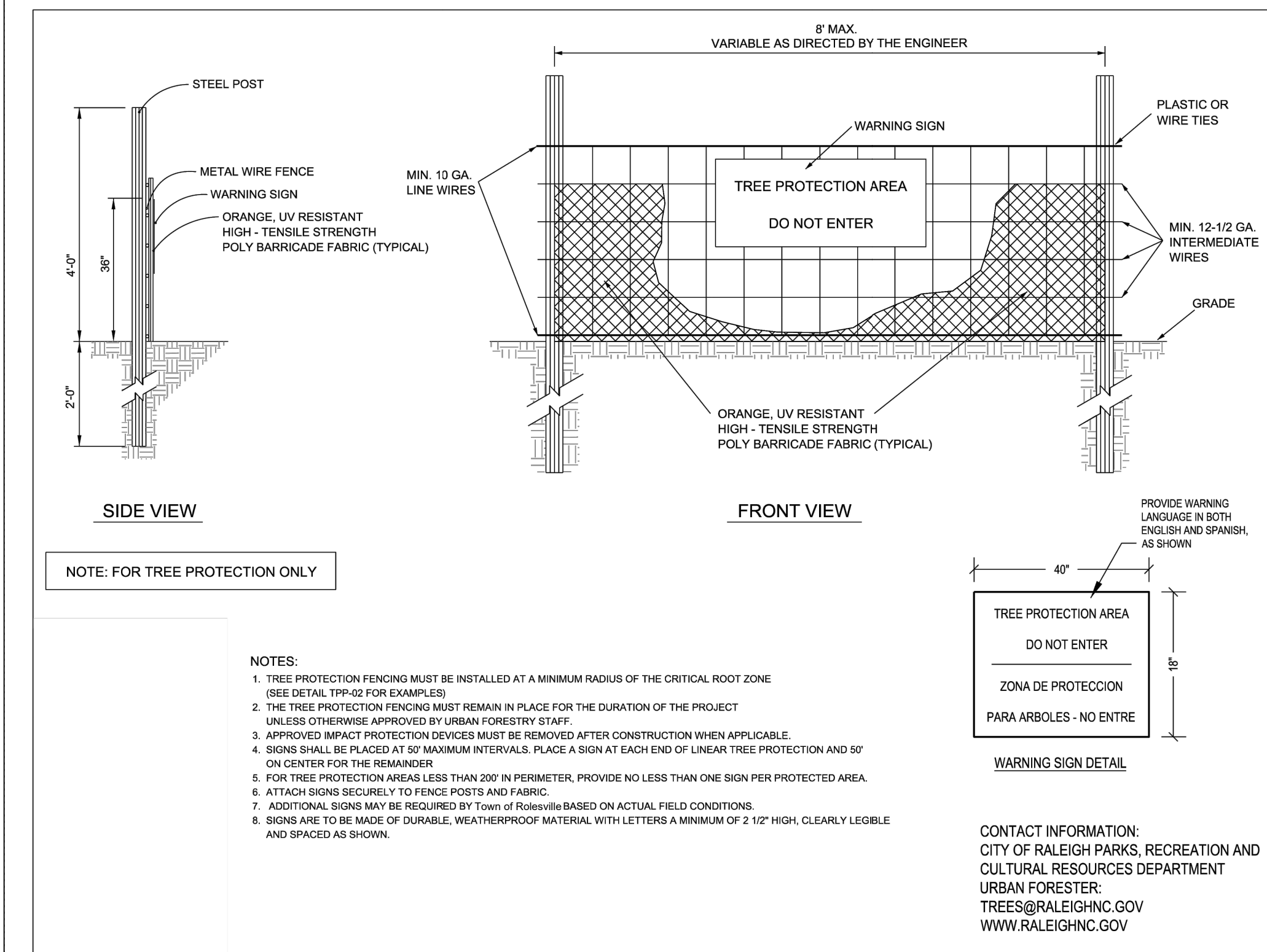
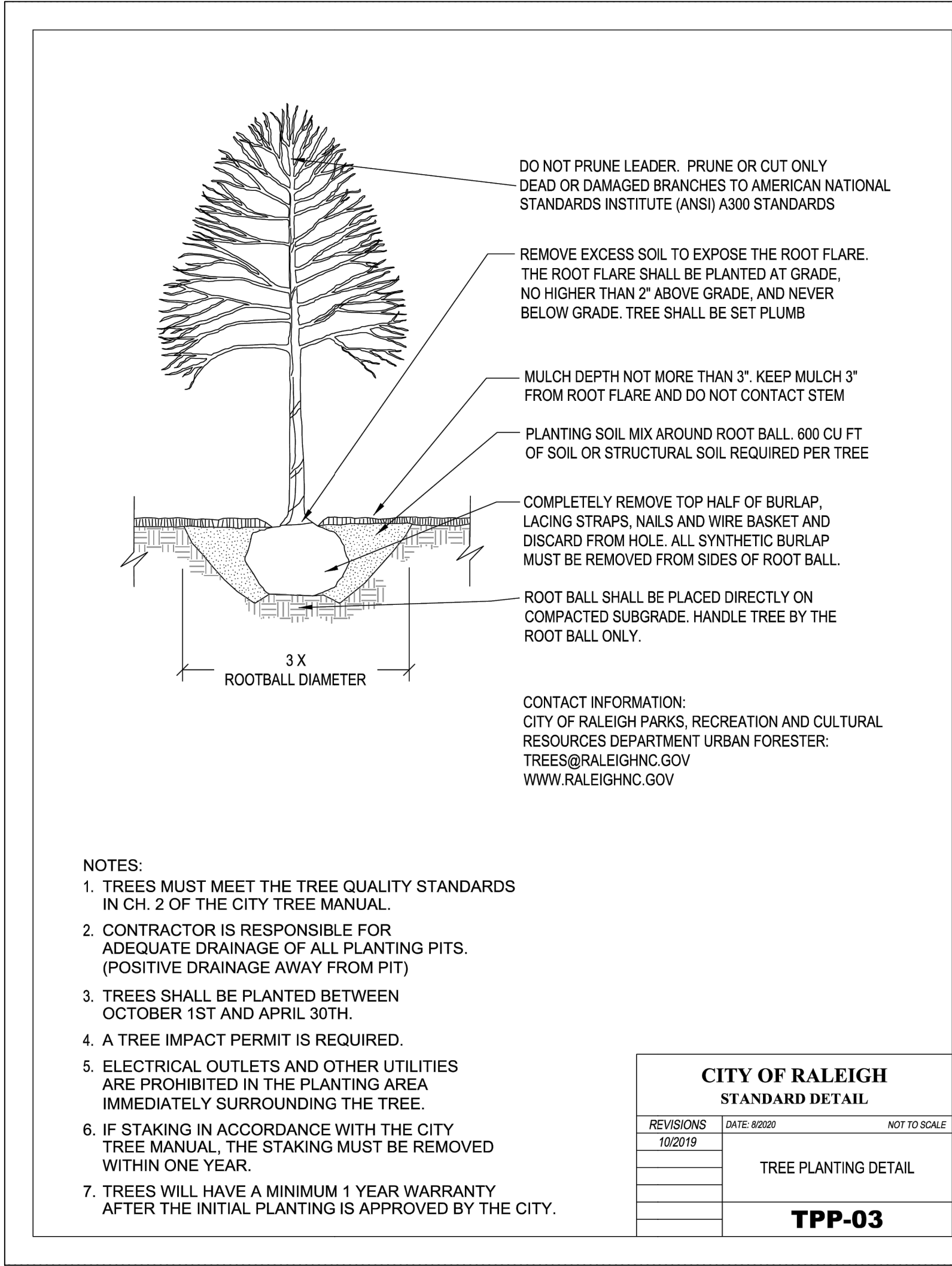
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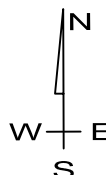


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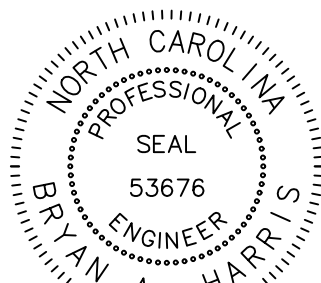
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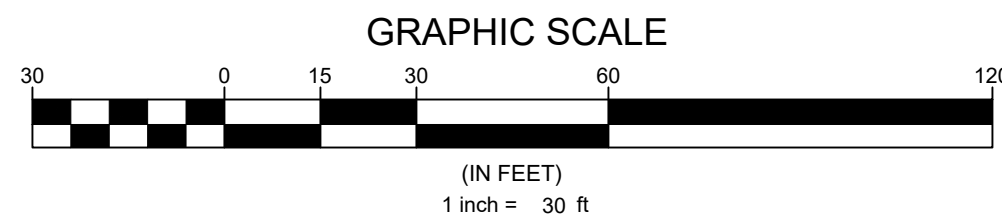
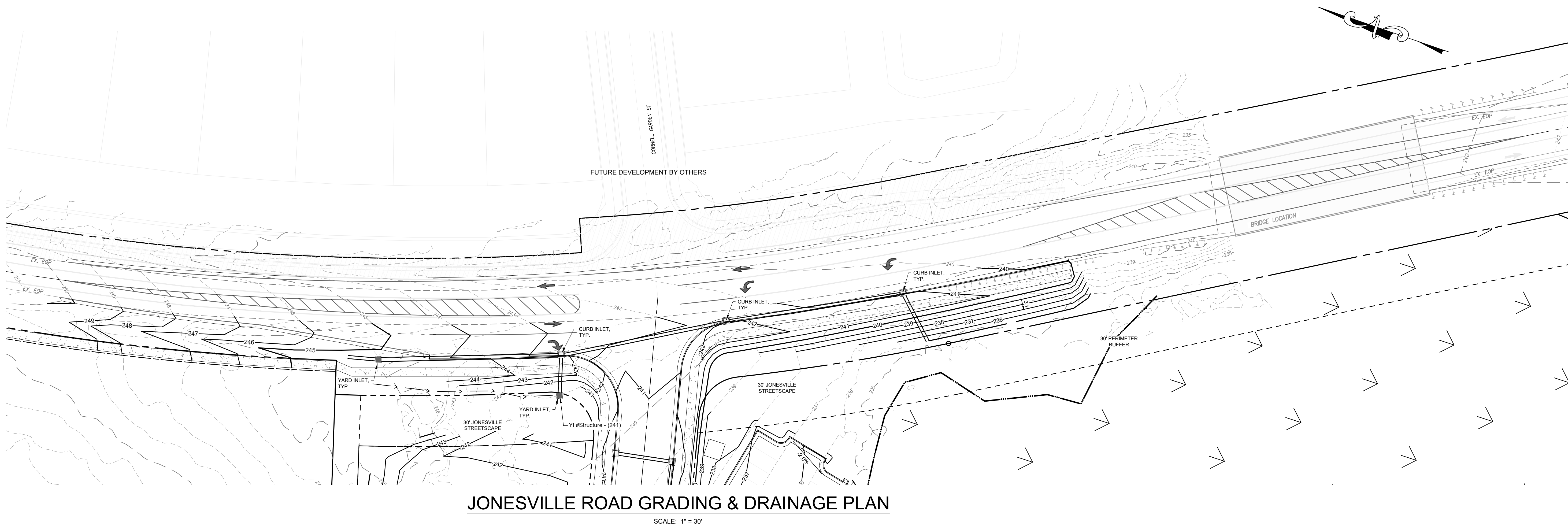
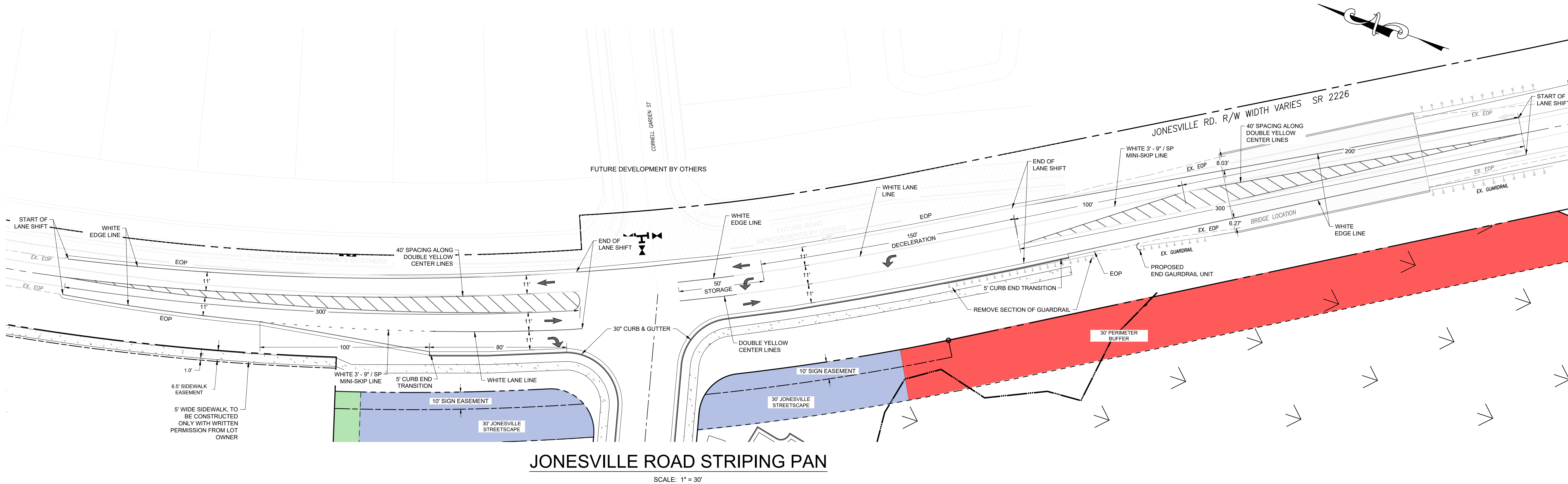
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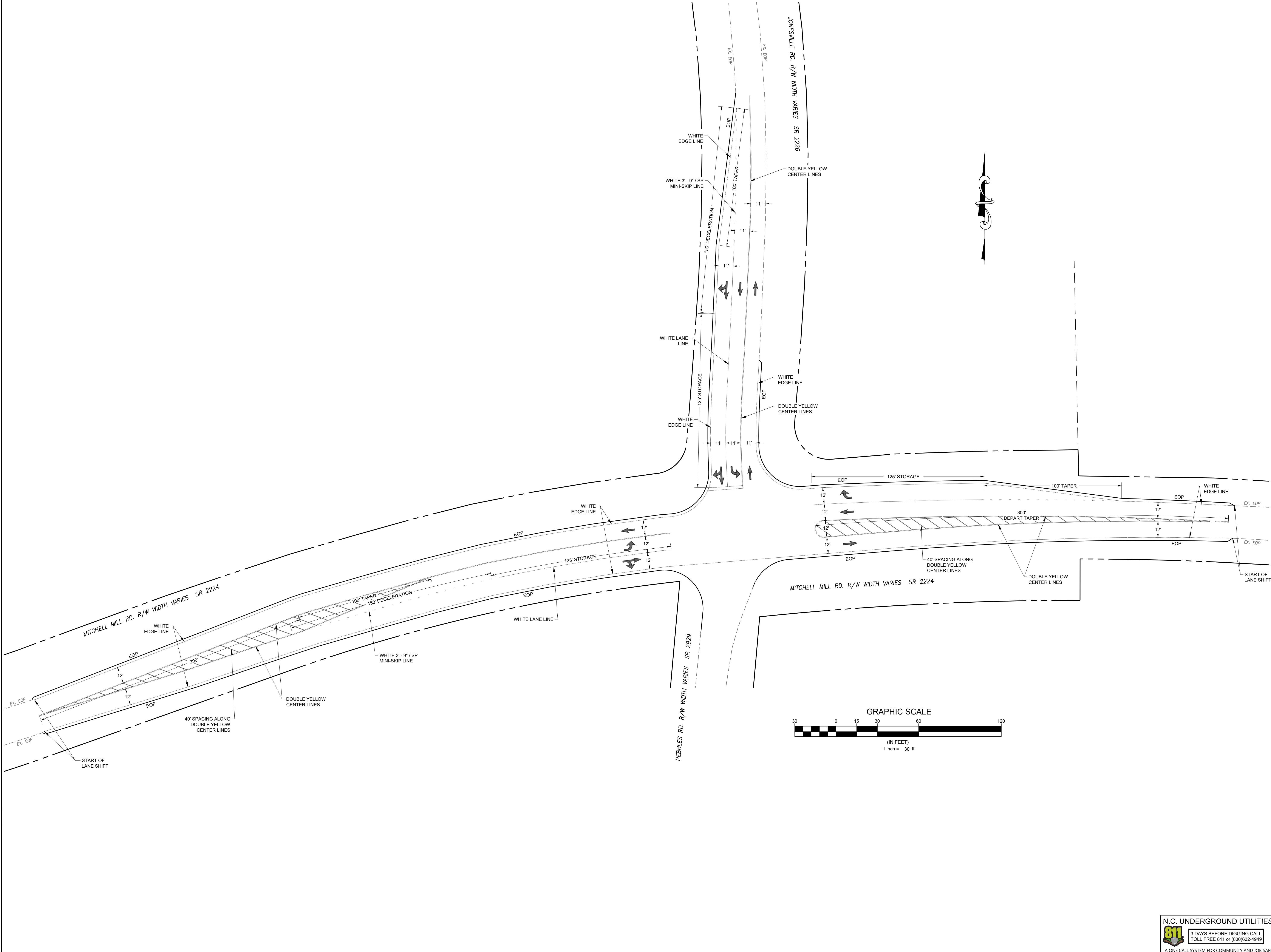
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JONESVILLE ROAD WIDENING PLAN

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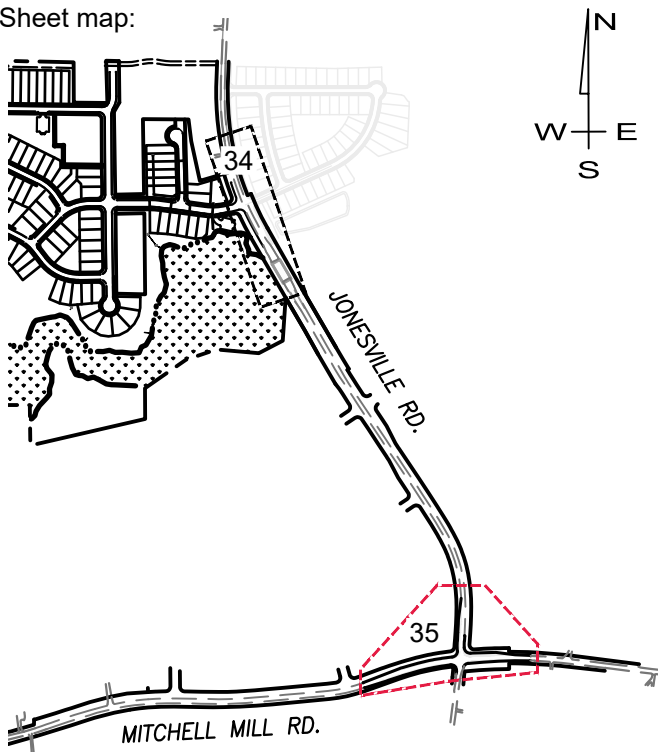
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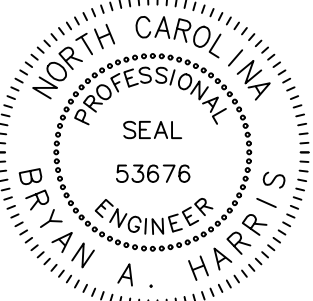
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MITCHELL MILL STRIPING PLAN

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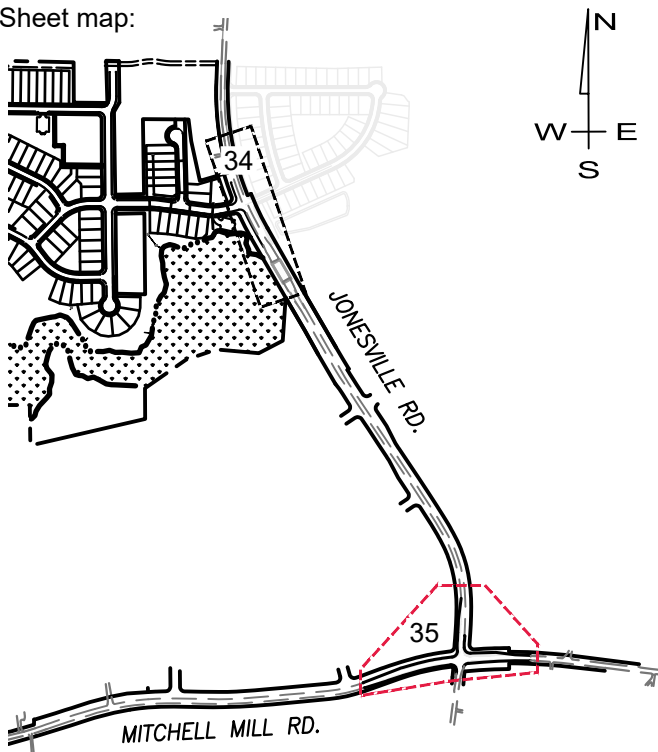
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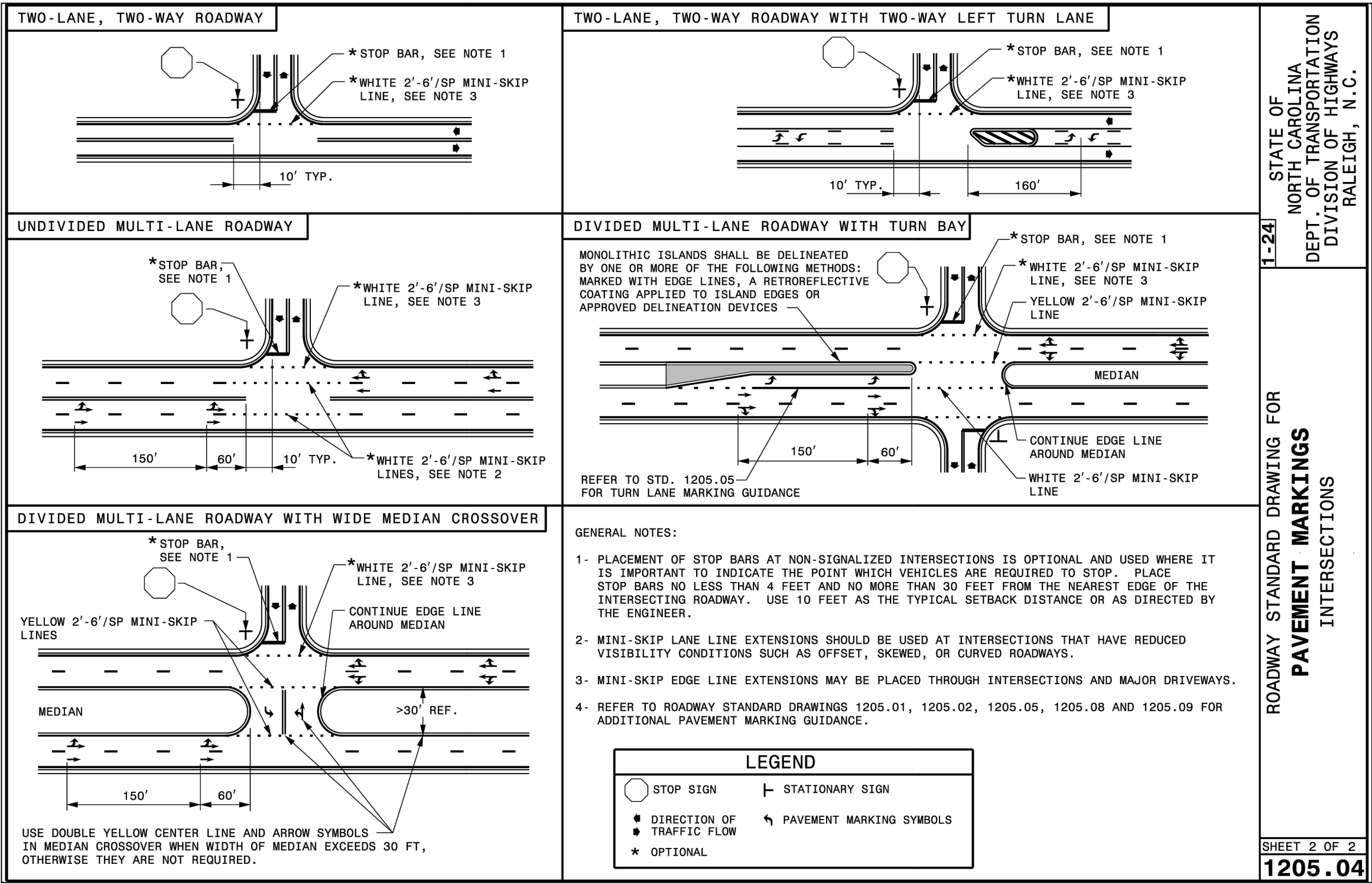
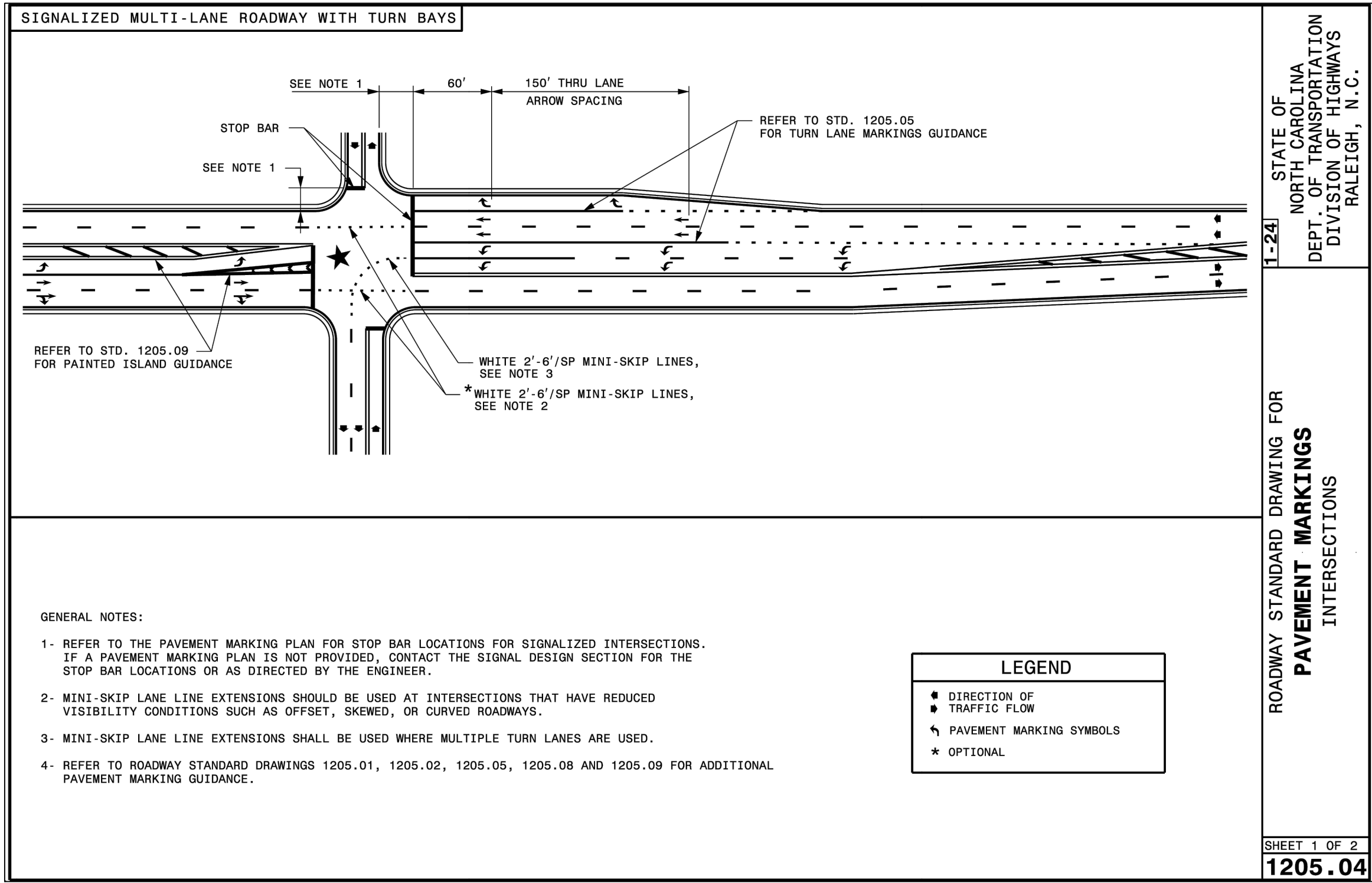
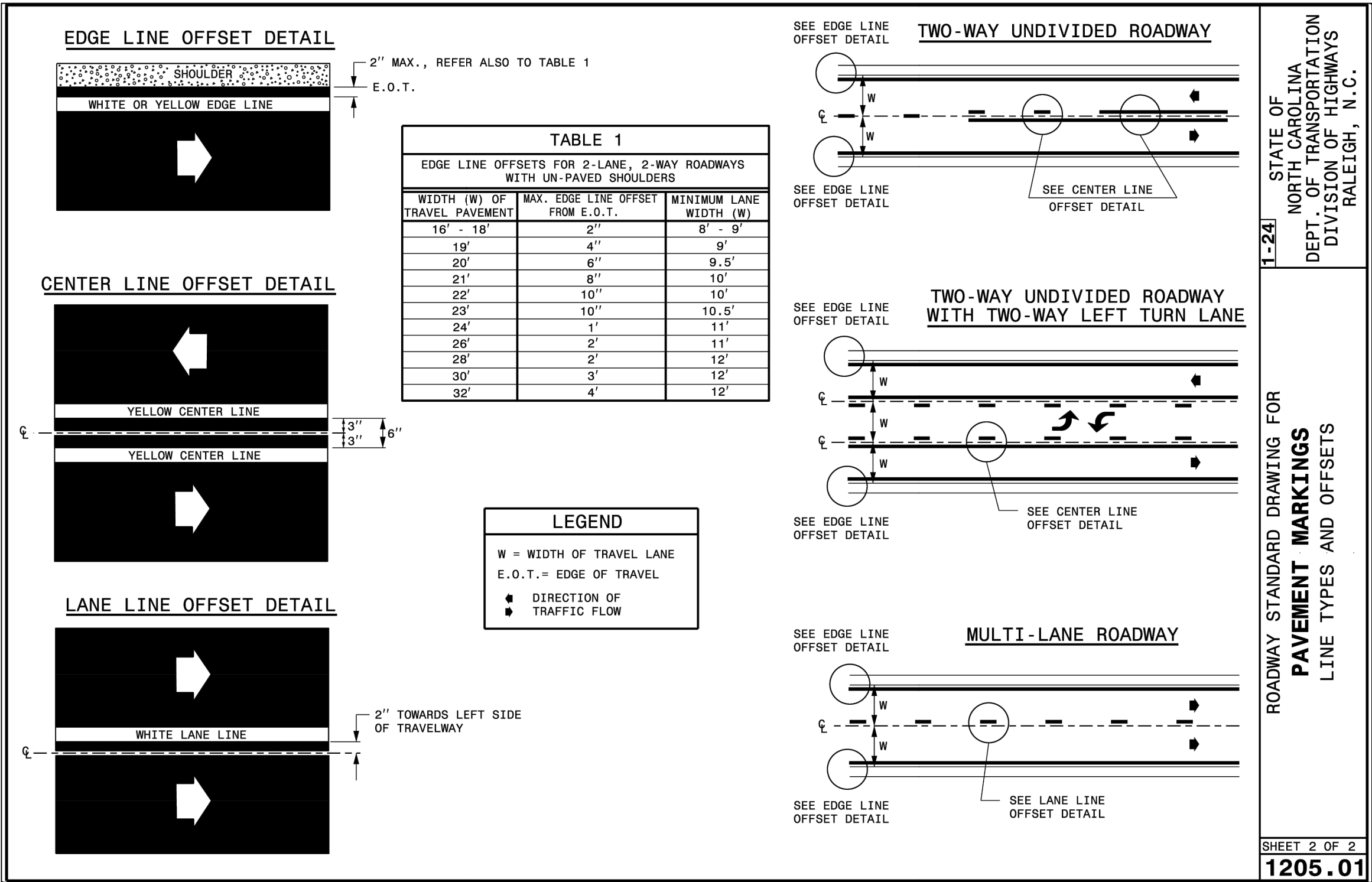
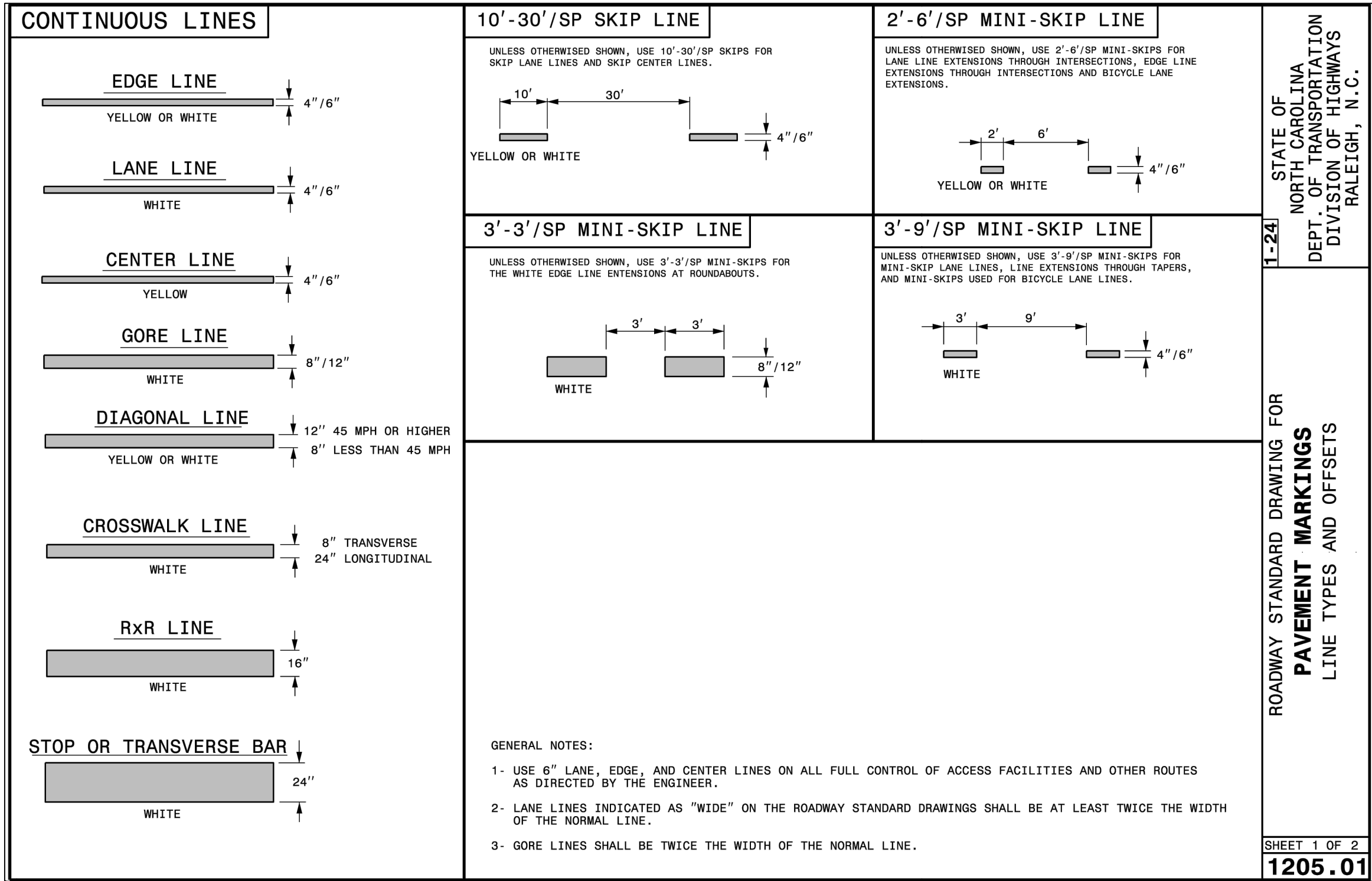
MITCHELL MILL GRADING PLAN

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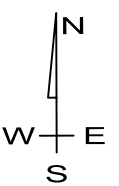


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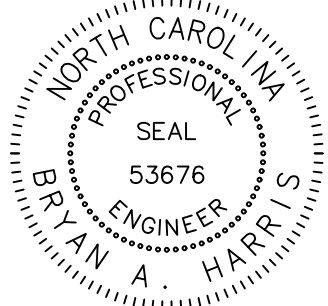
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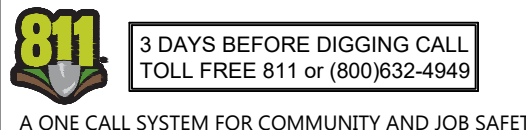
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Sheet Title: **ROAD
WIDENING &
STRIPING
DETAILS**

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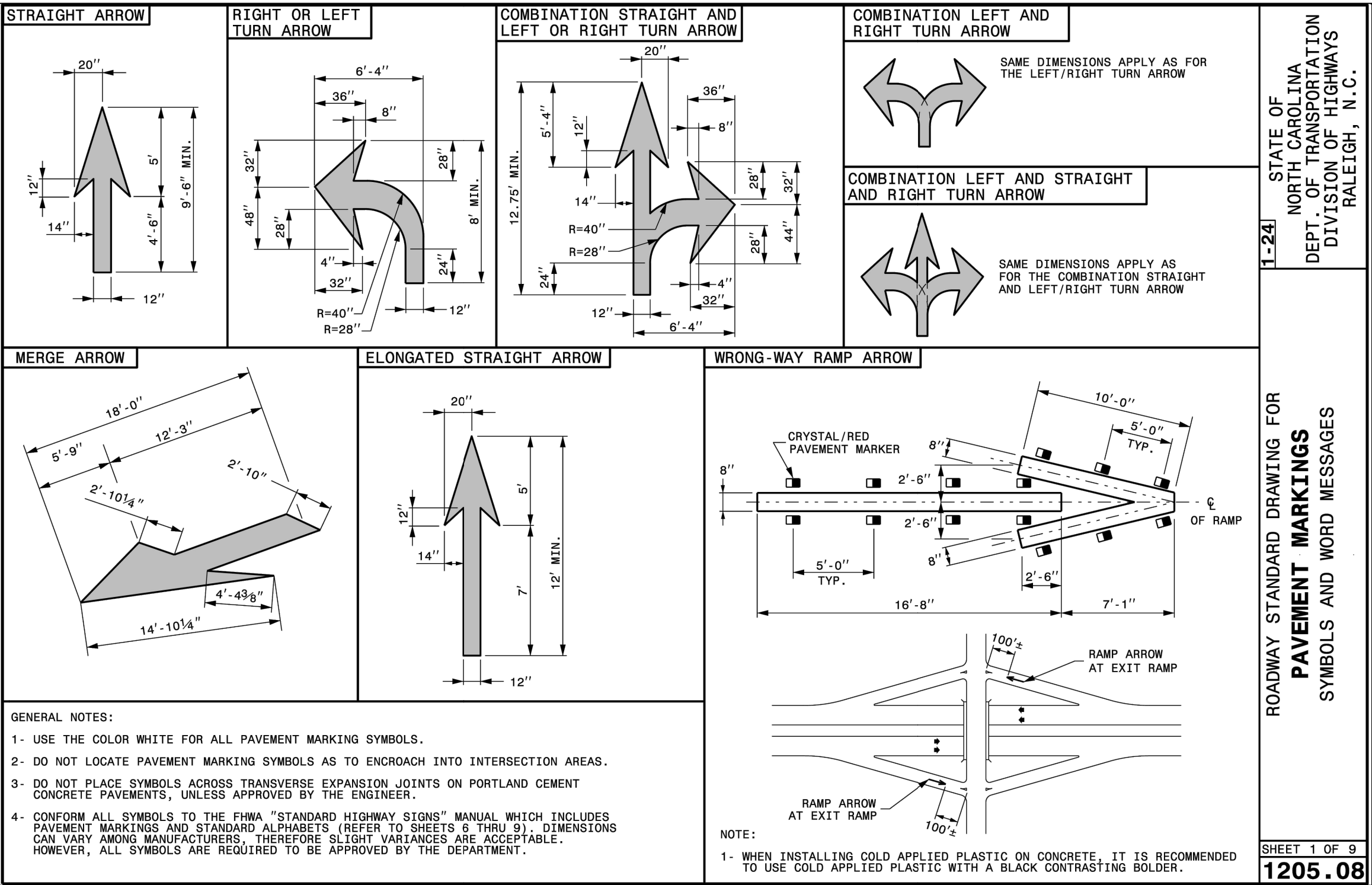
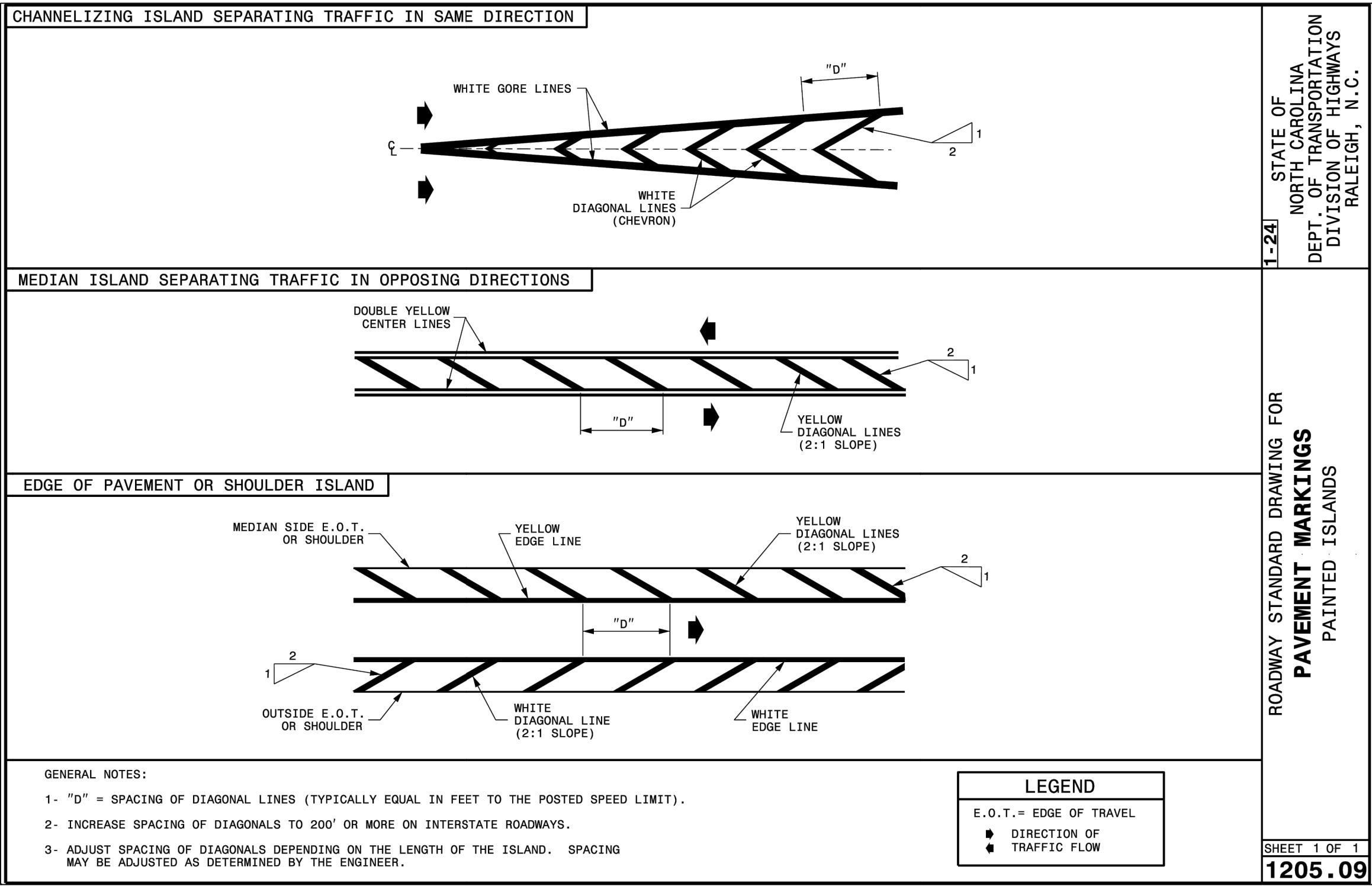
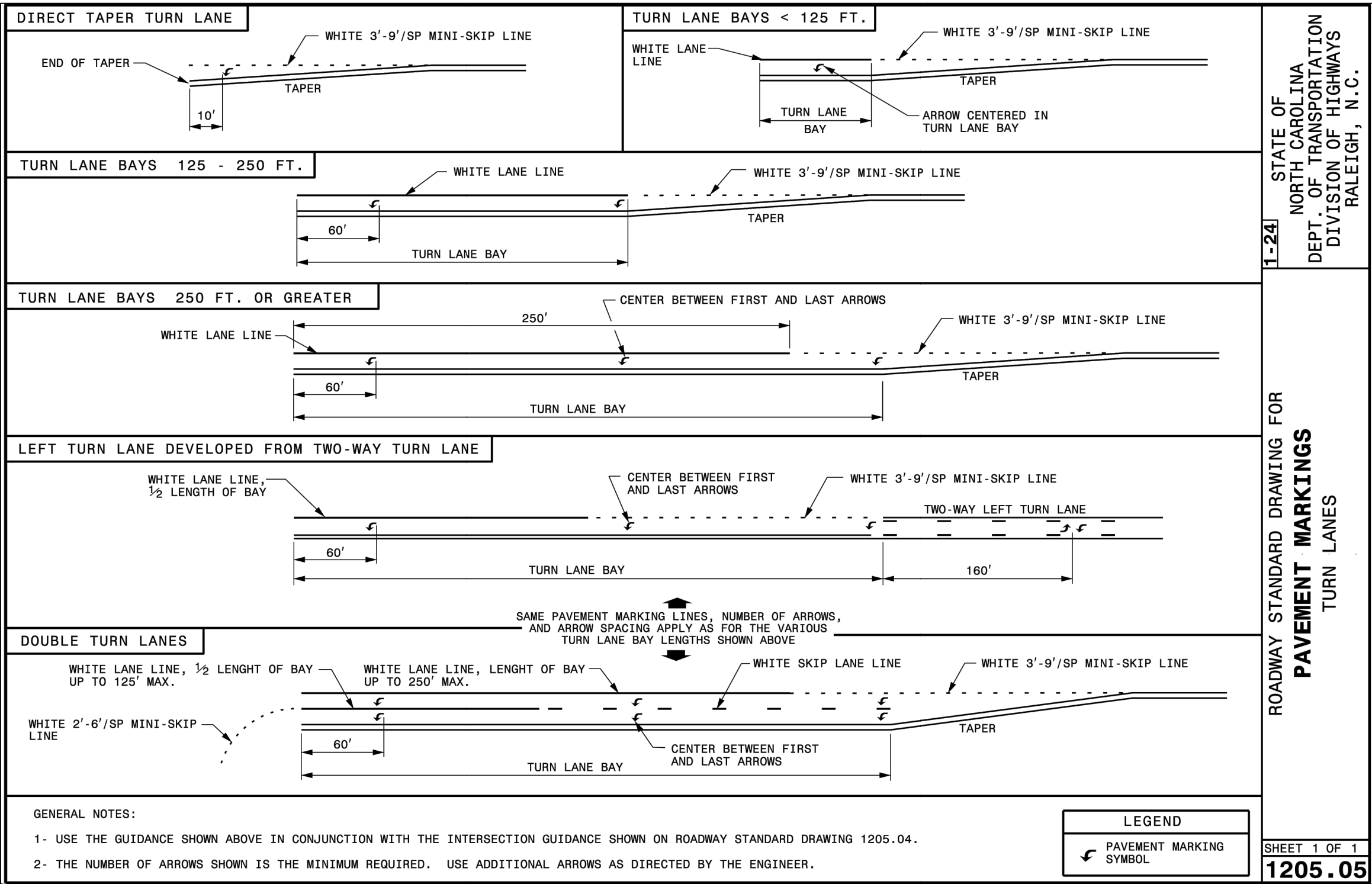
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GENERAL NOTES:

1- MARKERS ARE GENERALLY NOT REQUIRED ALONG EDGE LINES EXCEPT IF DESIGNATED IN THE PLANS OR DIRECTED BY THE ENGINEER. WHEN THEY ARE REQUIRED, SPACE THEM ON 20 FT., CENTERS, AND OFFSET 2 INCHES FROM THE EDGE LINE ON THE TRAFFIC SIDE.

2- PLACE CRYSTAL/RED MARKERS AT INTERSECTIONS AND INTERCHANGES WHERE WRONG-WAY MOVEMENTS ARE POSSIBLE. POSITION THE RED SIDE OF THE MARKER TO FACE "WRONG-WAY" TRAFFIC. WHEN USED, PLACE CRYSTAL/RED MARKERS ALONG THE ENTIRE LENGTH OF THE PROJECT.

3- DO NOT PLACE PAVEMENT MARKERS CLOSER THAN 3 INCHES TO A PAVEMENT CONSTRUCTION JOINT (AS FEASIBLE), EXCEPT WHEN PLACED BETWEEN DOUBLE YELLOW CENTER LINES, AND ALONG YELLOW SKIP LINES ON TWO-LANE, TWO-WAY ROADWAYS WHERE PASSING IS ALLOWED IN BOTH DIRECTIONS.

4- DO NOT PLACE PAVEMENT MARKERS DIRECTLY ON PAVEMENT MARKING LINES.

5- PLACE PAVEMENT MARKERS USED IN CONJUNCTION WITH DOUBLE YELLOW CENTER LINES MID-WAY BETWEEN THE LINES. PROVIDE A GAP BETWEEN THE LINES AND THE MARKER TO REDUCE OVERSPRAYING THE MARKER DURING REPAINTING OPERATIONS.

6- MARKERS ARE NOT REQUIRED ALONG MINI-SKIP LINES IN TAPERS.

| PAVEMENT MARKER SPACING CHART | |
|--|------------------------|
| TYPE OF PAVEMENT MARKING | TYPICAL SPACING (FT) |
| SKIP LINES AND CENTER LINES ALONG THRU LANES- ALONG TANGENT SECTIONS AND HORIZONTAL CURVES LESS THAN 6° HORIZONTAL CURVES ≥ 6° | 80 |
| | 40 |
| | 24 |
| | 40 |
| | 20 |
| TURN LANES- MINI-SKIP LINES | 24 |
| SKIP LINES | 40 |
| SOLID LINES | 20 |
| CENTER LINES | 40 |
| MINI-SKIP LINES AT LANE DROP APPROACHES | 24 |
| TWO-WAY RAMP CENTER LINES | 40 |
| GORE LINES | 20 |
| PAINTED ISLANDS- WHITE | 20 |
| YELLOW | 40 |
| RAISED MEDIAN ISLANDS | 40 |
| WRONG WAY RAMP ARROW | 5 |
| TAPERS | 40 |
| NARROW BRIDGES- EDGE LINE | 20 |
| CENTER LINE | 40 |
| ONE LANE BRIDGES- EDGE LINE | 20 |
| WORK ZONE APPLICATIONS | |
| 2-LANE, 2-WAY ON-SITE DIVERSION | 20 FT. FOR CENTER LINE |
| ALL OTHER DIVERSIONS | ½ NORMAL SPACING |

1-24

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ROADWAY STANDARD DRAWING FOR
RAISED PAVEMENT MARKERS
INSTALLATION SPACING

SHEET 1 OF 3
1250.01

10'-30'/SP SKIP LINE

3'-9'/SP MINI-SKIP LINE

LEGEND

CRYSTAL/RED PAVEMENT MARKER

YELLOW/YELLOW PAVEMENT MARKER

DIRECTION OF TRAFFIC FLOW

GORE LINES

YELLOW CENTER LINES

DETAIL OF PAVEMENT MARKER PLACEMENT

SNOWPLOWABLE RAISED PAVEMENT MARKERS

RAISED REFLECTIVE PAVEMENT MARKERS

1-24

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ROADWAY STANDARD DRAWING FOR
RAISED PAVEMENT MARKERS
INSTALLATION SPACING

SHEET 2 OF 3
1250.01

AUXILIARY TURN LANES

YELLOW PAINTED ISLANDS

WHITE PAINTED ISLANDS

LEGEND

DIRECTION OF TRAFFIC FLOW

CRYSTAL/RED PAVEMENT MARKER

YELLOW/YELLOW PAVEMENT MARKER

PAVEMENT MARKING SYMBOL

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ROADWAY STANDARD DRAWING FOR
RAISED PAVEMENT MARKERS
INSTALLATION SPACING

SHEET 3 OF 3
1250.01

TYPICAL PAVEMENT MARKER

TOP VIEW

FRONT VIEW

SIDE VIEW

LENS A

LENS B

YELLOW CRYSTAL CRYSTAL

YELLOW RED CRYSTAL

GENERAL NOTES:

1- USE A MINIMUM OF 2 SQUARE INCHES FOR THE AREA OF EACH REFLECTIVE LENS.

2- FOR A COMPLETE LISTING OF PAVEMENT MARKERS AND ADHESIVES ACCEPTABLE FOR USE IN NORTH CAROLINA CONTACT THE NCDOT SIGNING AND DELINEATION UNIT.

LEGEND

DIRECTION OF TRAFFIC FLOW

1-24

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ROADWAY STANDARD DRAWING FOR
RAISED PAVEMENT MARKERS
PERMANENT AND TEMPORARY

SHEET 1 OF 1
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(919) 996-9455

Surveyor

Jurisdiction / Municipality

Town of Rolesville

502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517

PSP-24-05

Other Consultants

Sheet map:

Seal:

STATE OF NORTH CAROLINA
PROFESSIONAL SEAL
53676
BRYAN A. HAIR
ENGINEER

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HARRIS CREEK FARMS

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| 1 | 11/08/24 | Town of Rolesville Planning Dept. comments |
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| 3 | 04/30/25 | Lot lines changed due to recent survey or wetlands Location |

Sheet Title:

ROAD
WIDENING &
STRIPING
DETAILS

Sheet #:

39

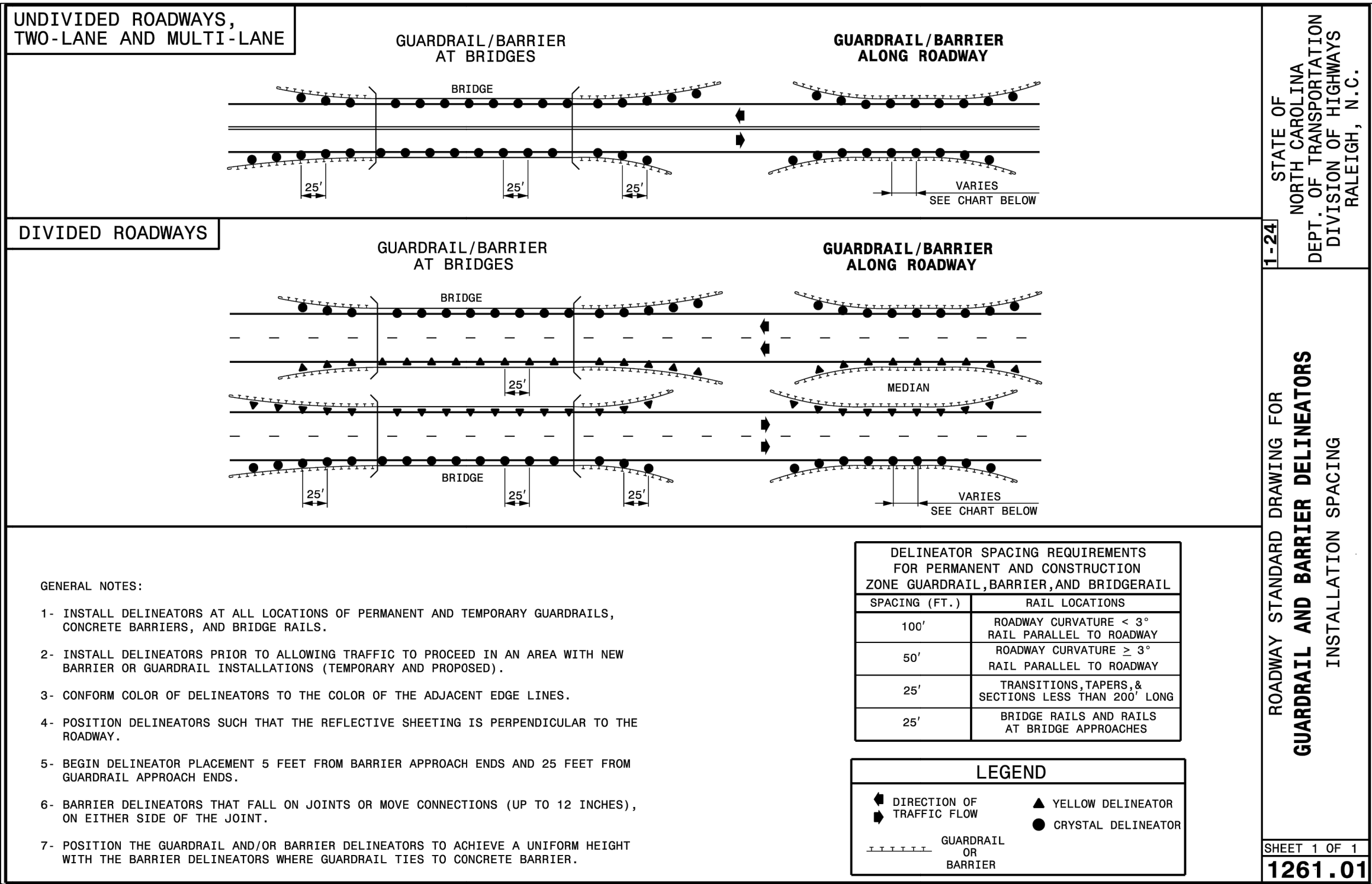
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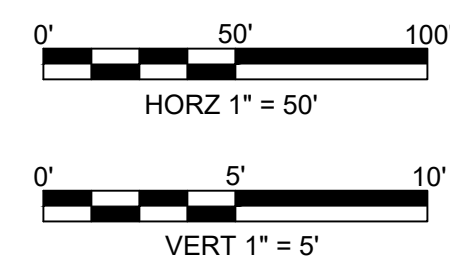
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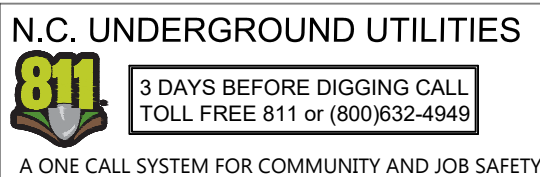
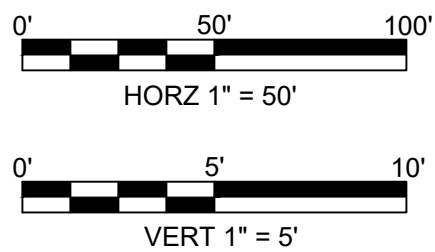
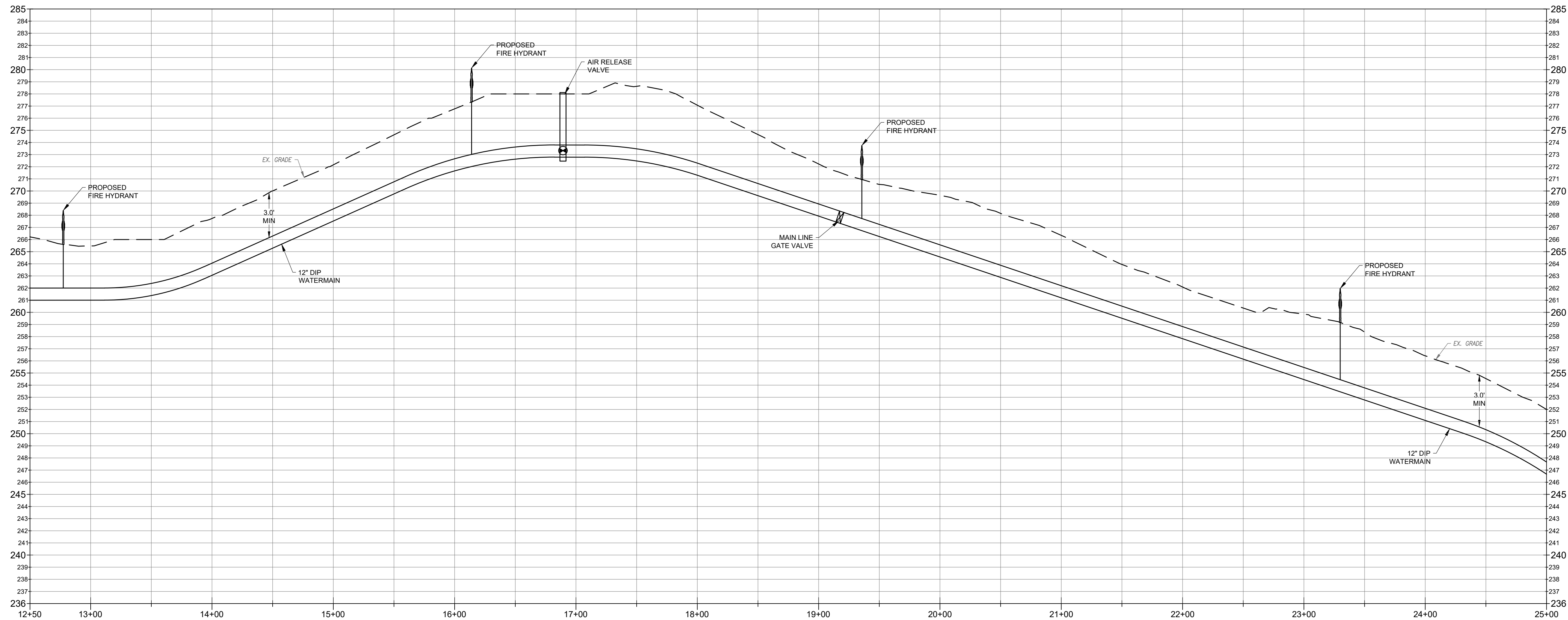
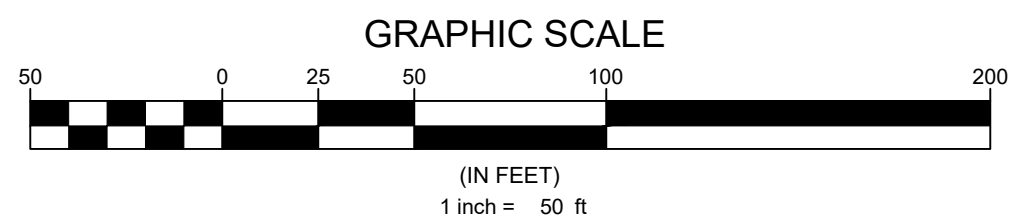
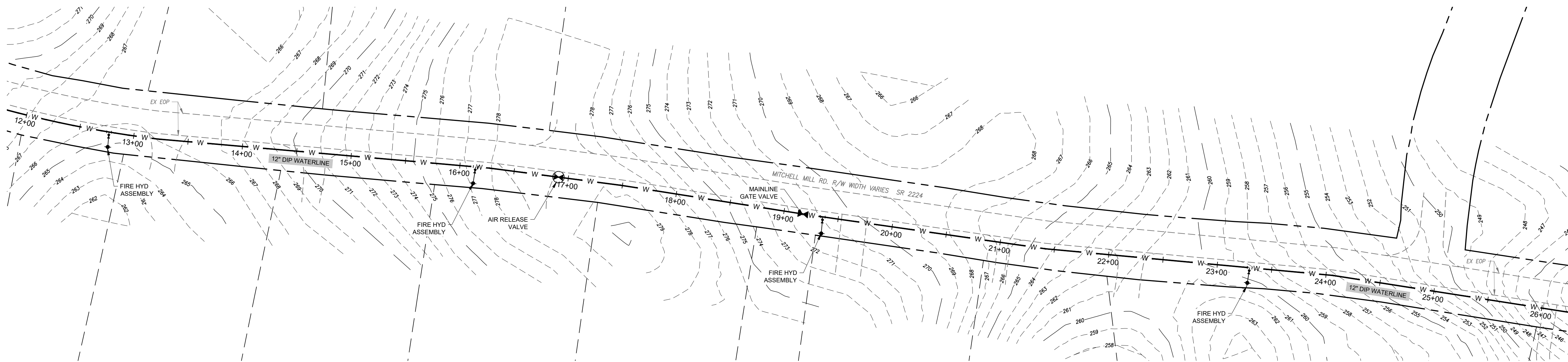
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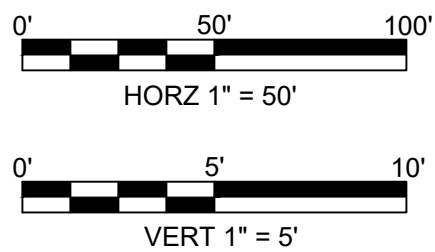
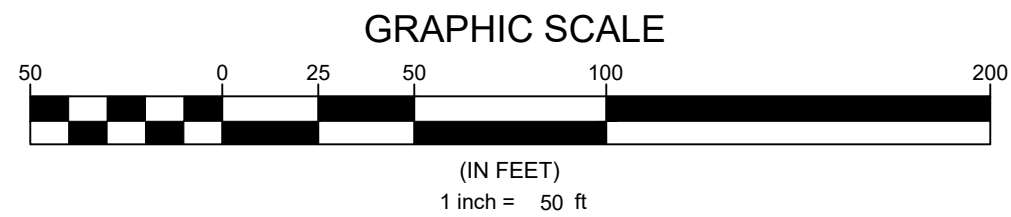
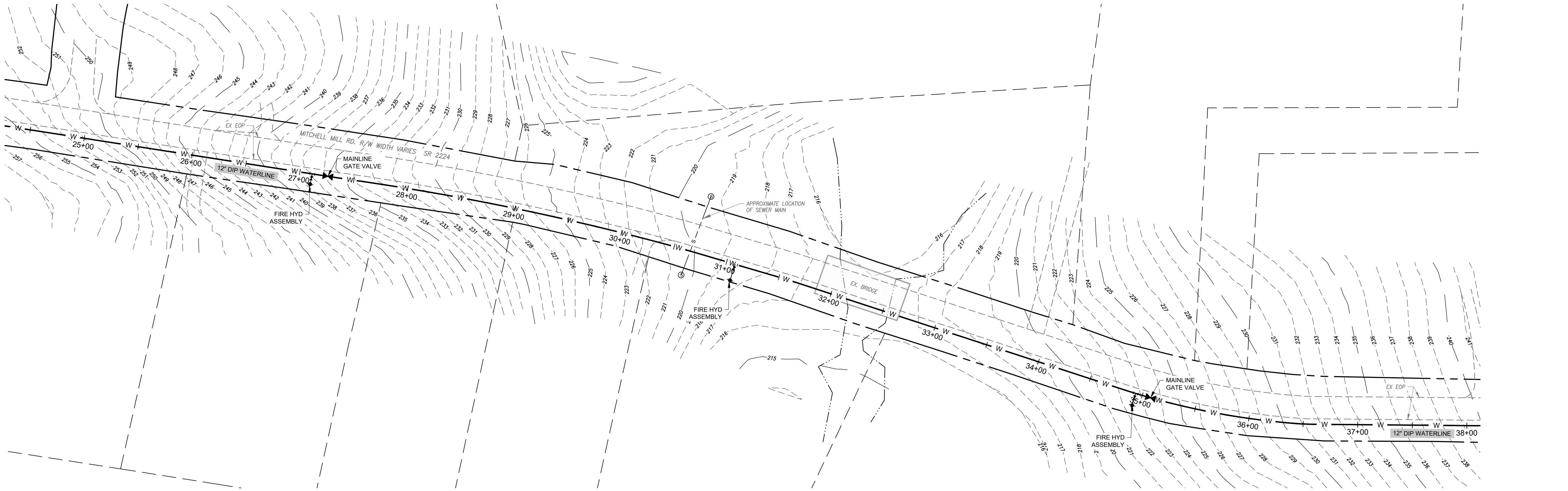
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**MITCHELL WATERLINE
12+50 TO 25+00**

Sheet #:

42

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Sheet map:

N
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 S

Seal:

NORTH CAROLINA
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SEAL
 53676
ENGINEER
RYAN A. HARR

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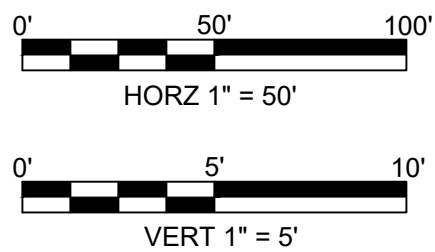
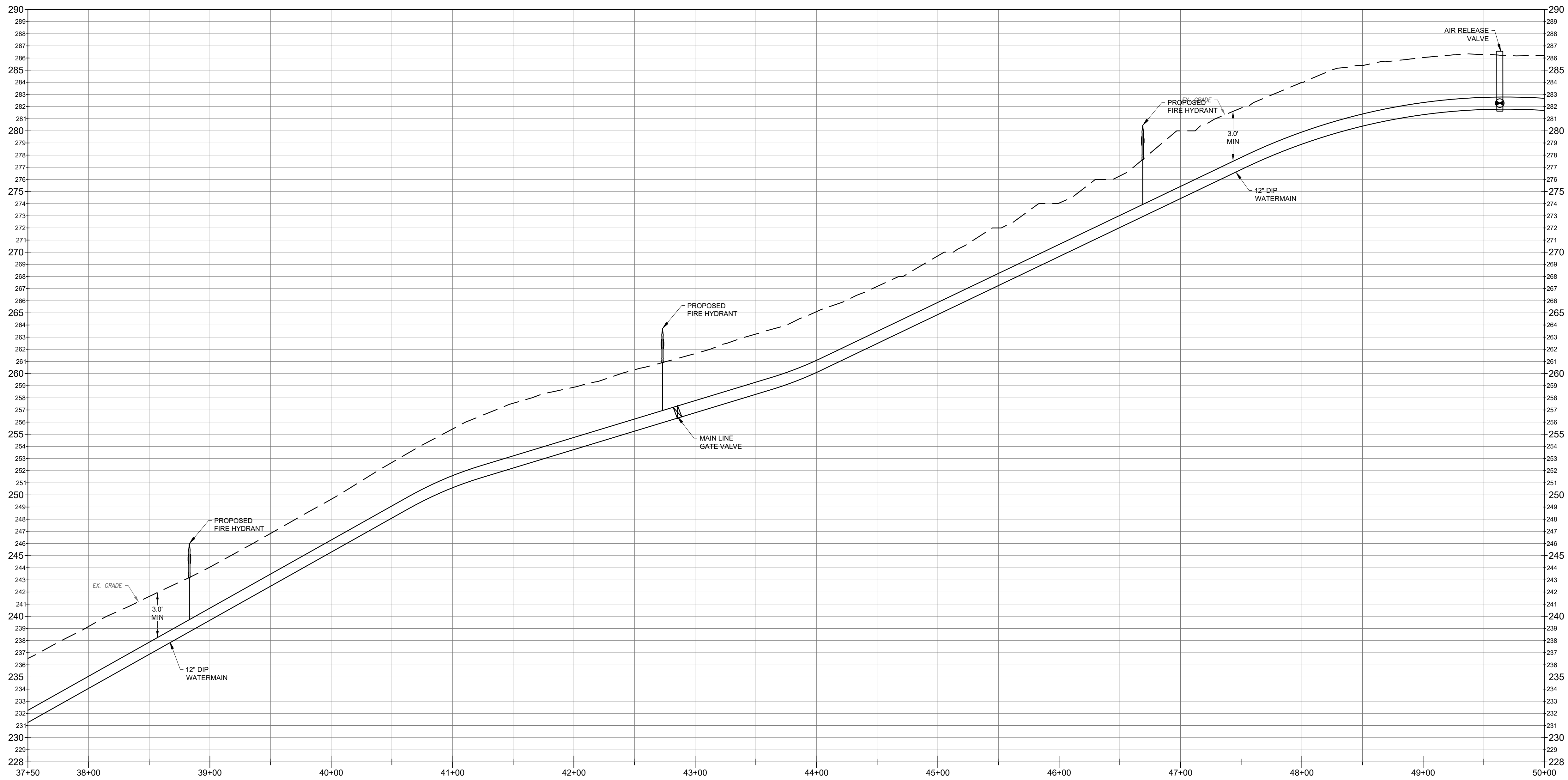
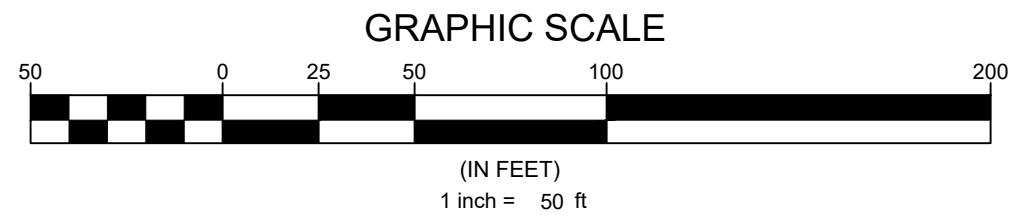
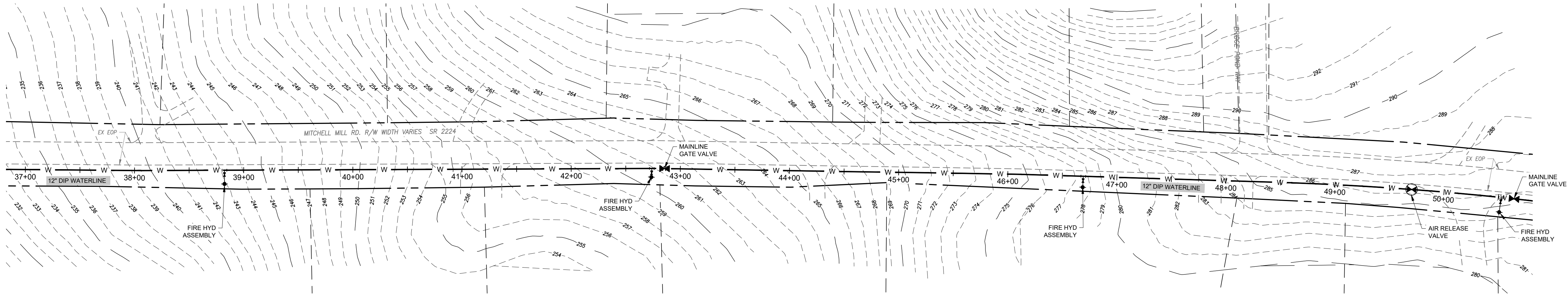
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MITCHELL WATERLINE 25+00 TO 37+50

Sheet #:

43

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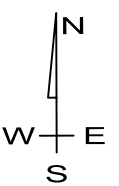
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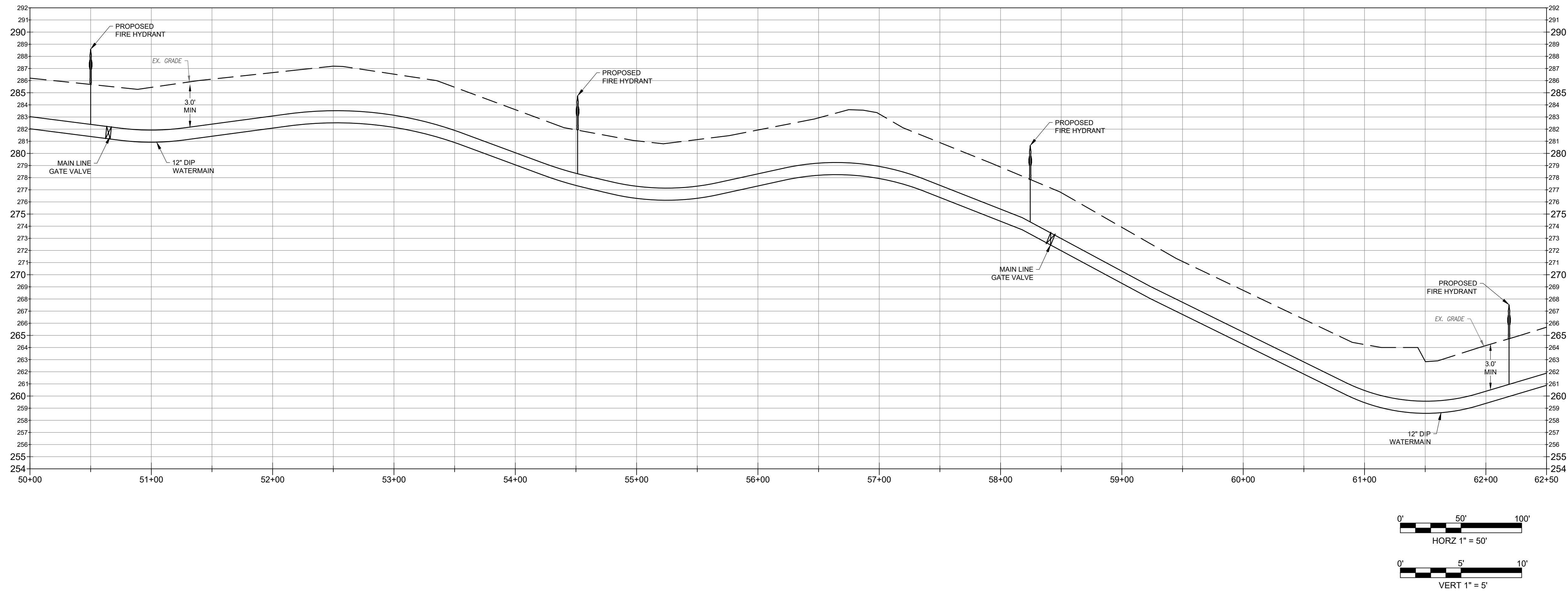
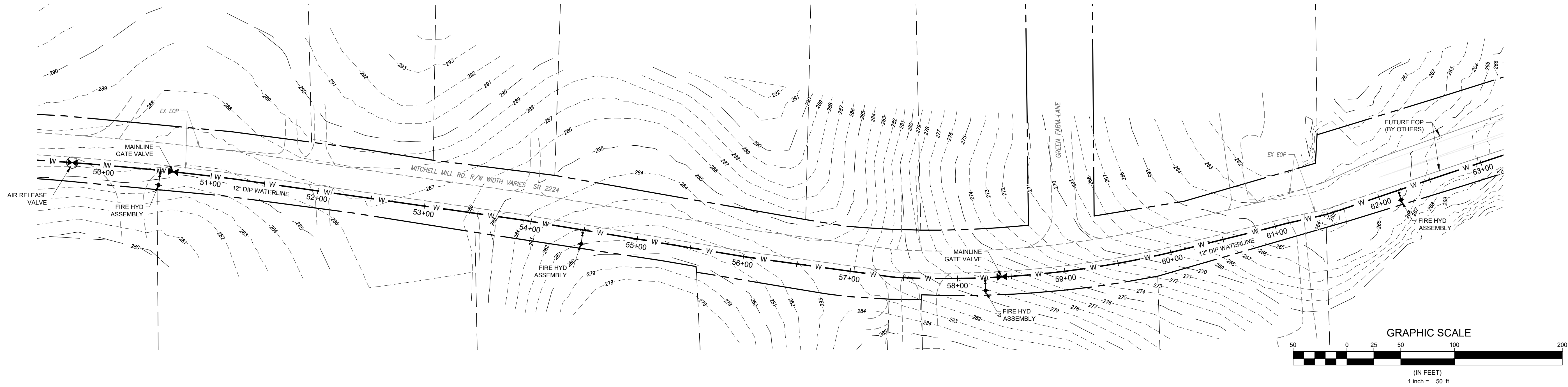
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**MITCHELL
WATERLINE
37+50 TO 50+00**

Sheet #:

44

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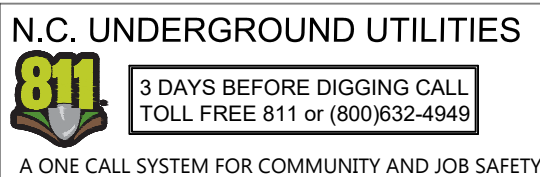
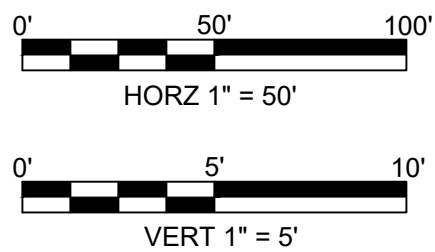
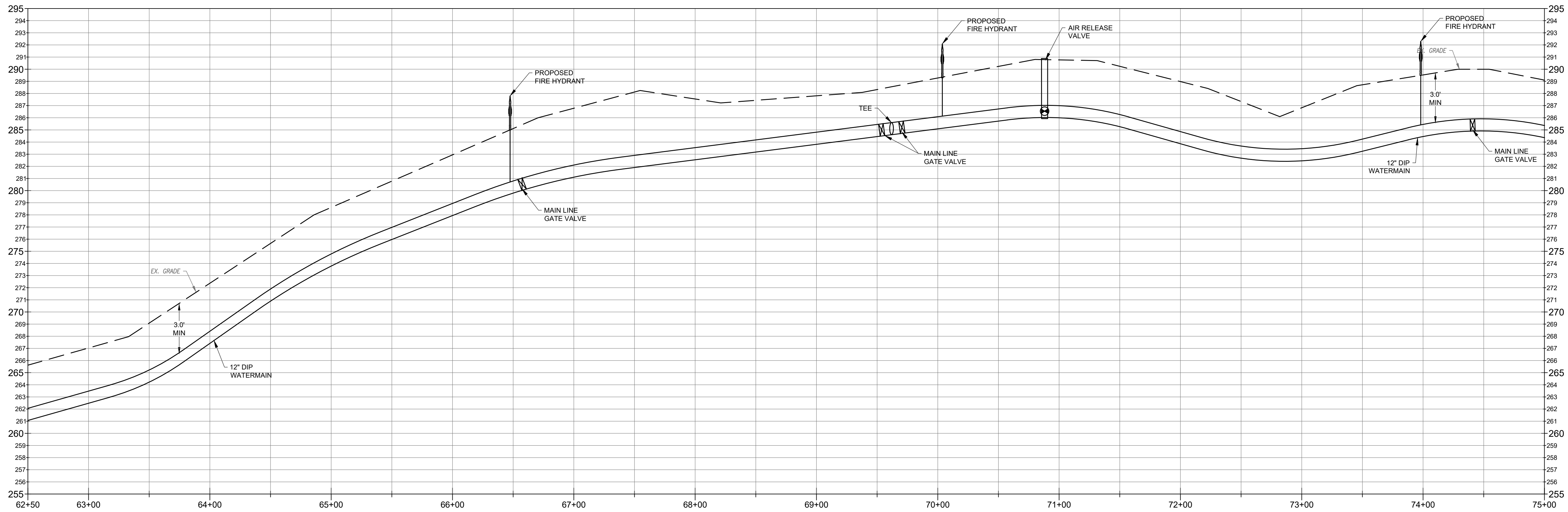
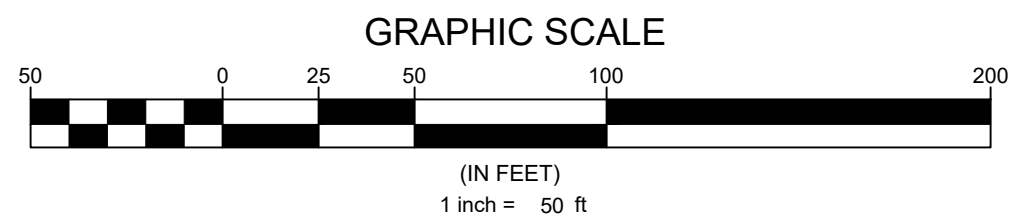
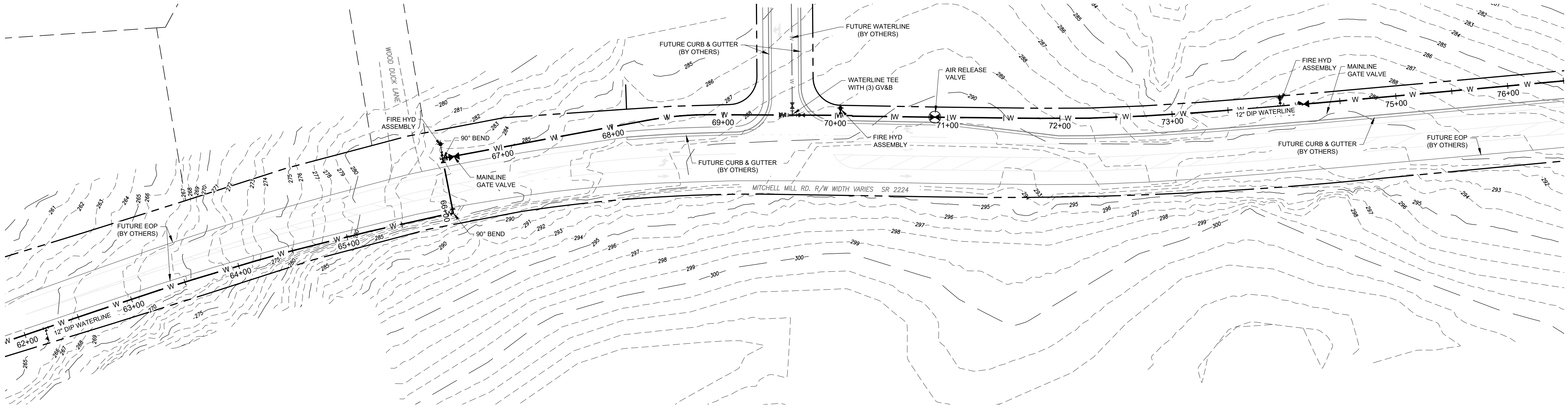
MITCHELL WATERLINE 50+00 TO 62+50

Sheet #:

45

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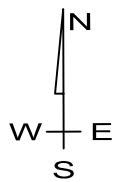
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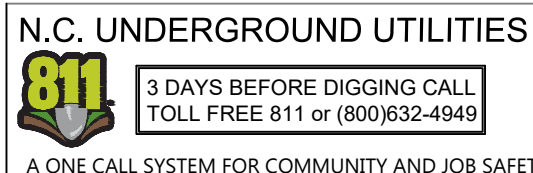
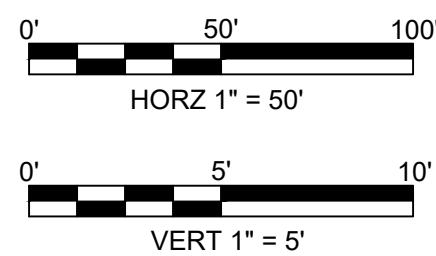
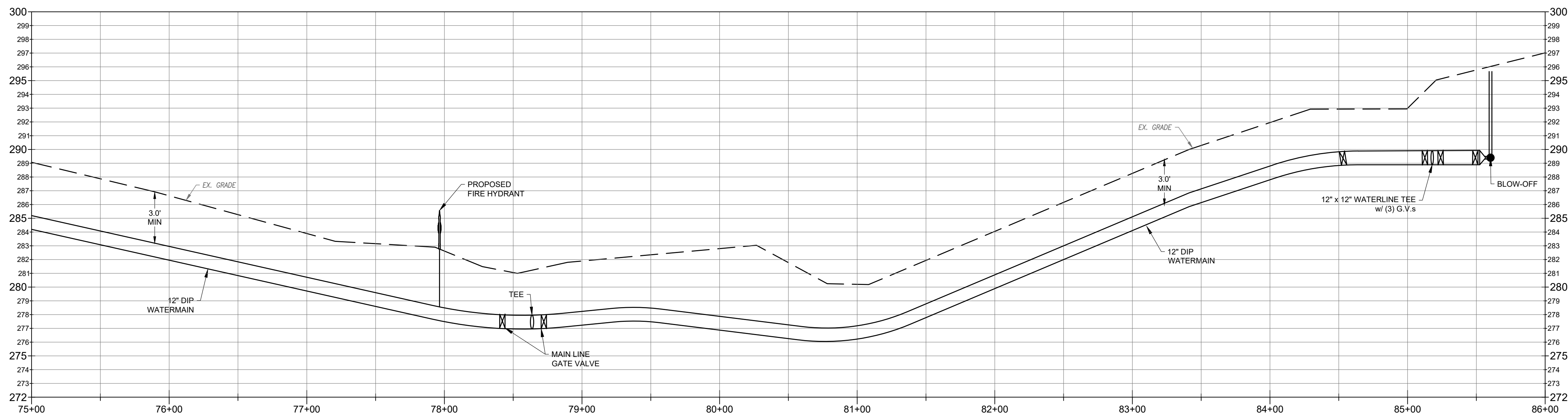
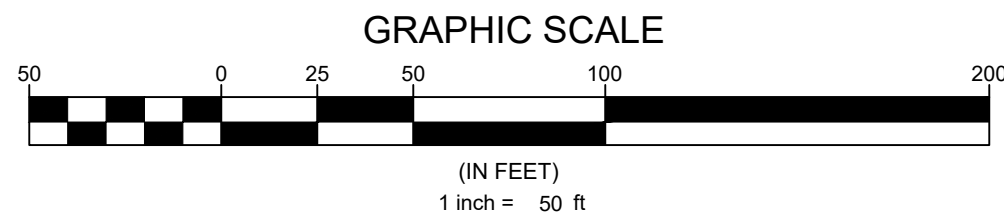
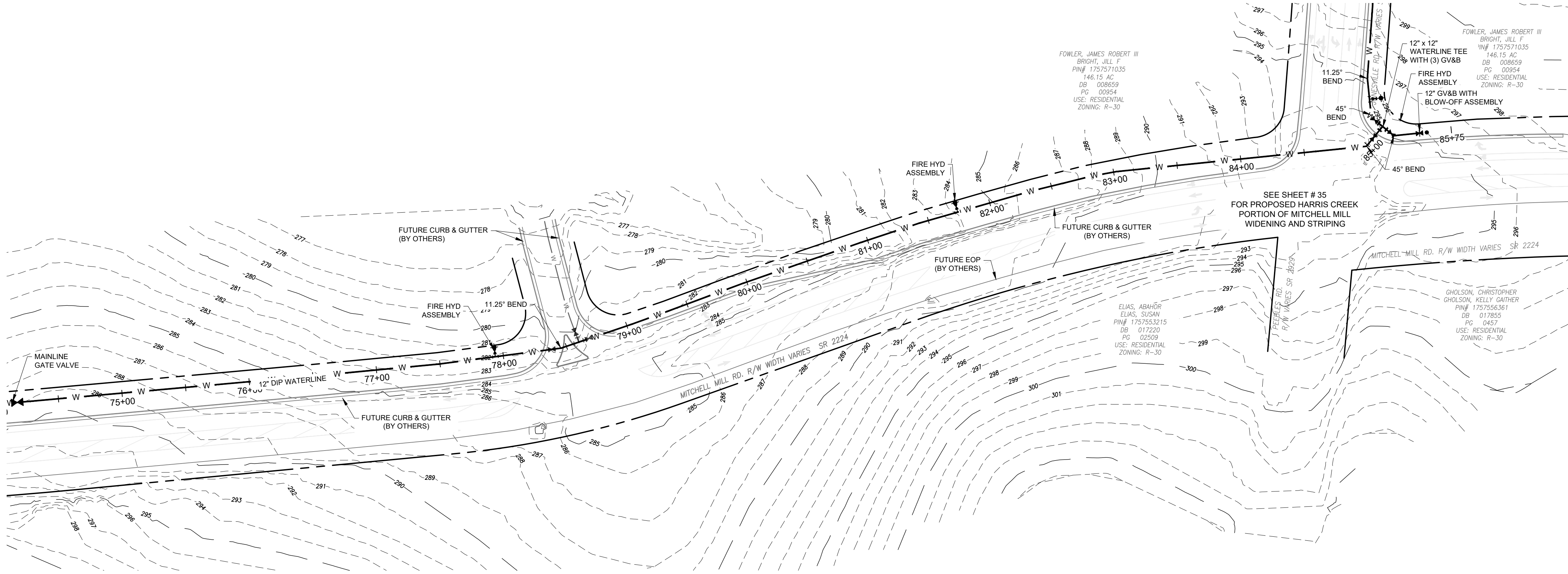
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**MITCHELL
WATERLINE
62+50 TO 75+00**


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46

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Rolesville

Greater Rolesville Area Chamber of Commerce

Town of Rolesville

502 Southtown Cir


Rolesville, NC 27571

Phone: 919-554-6517

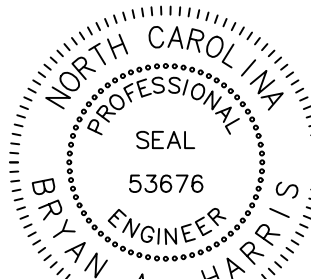
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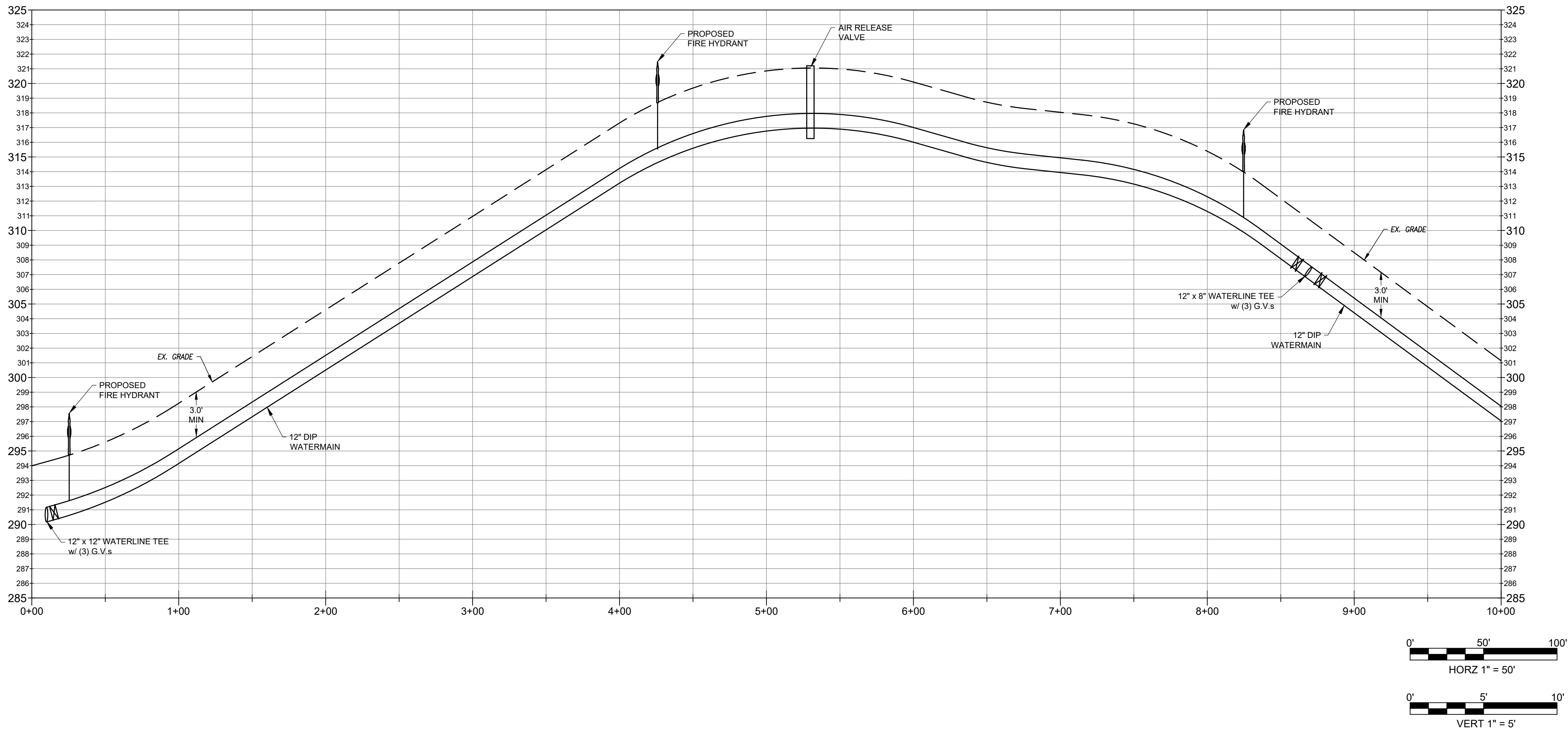
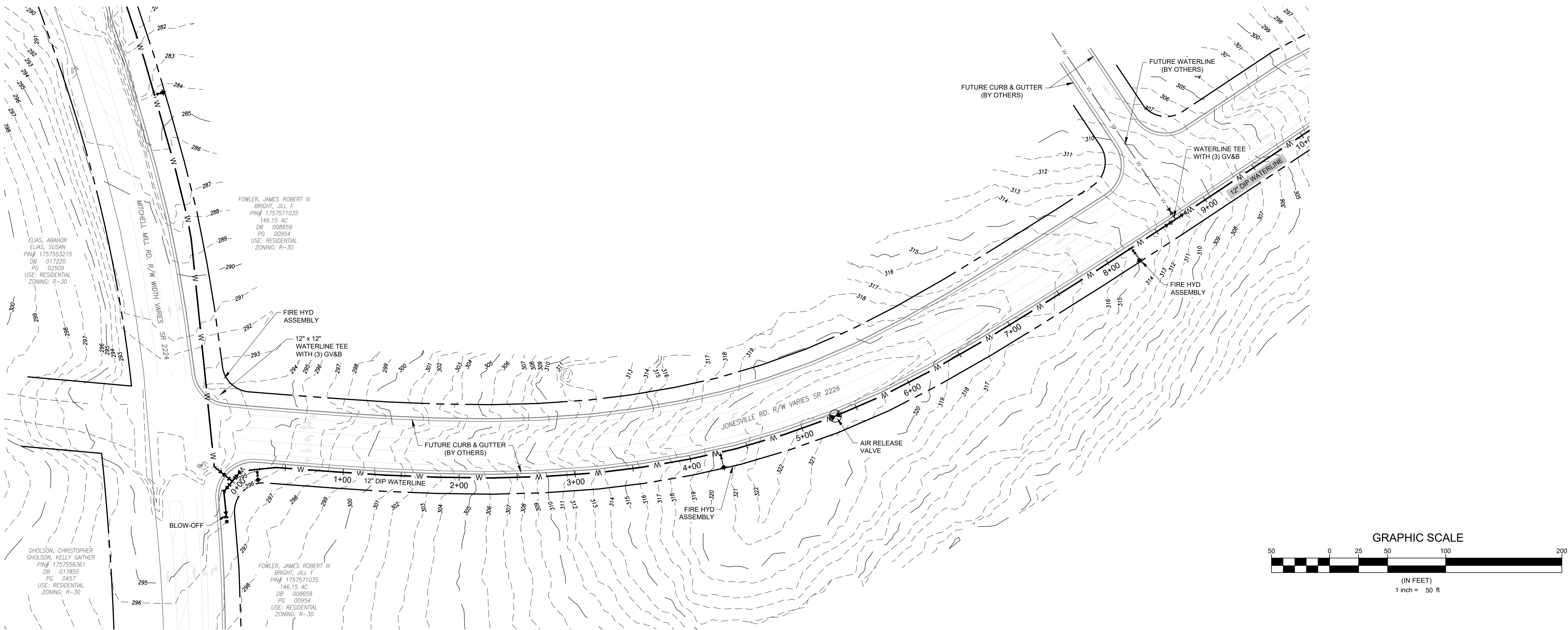
MITCHELL WATERLINE

75+00 TO 84+00

Sheet #:

47

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**JONESVILLE RD
WATERLINE
0+00 TO 10+00**

Sheet #:

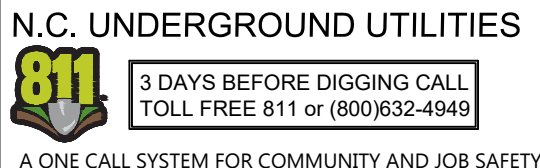
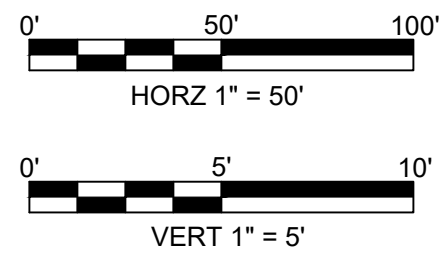
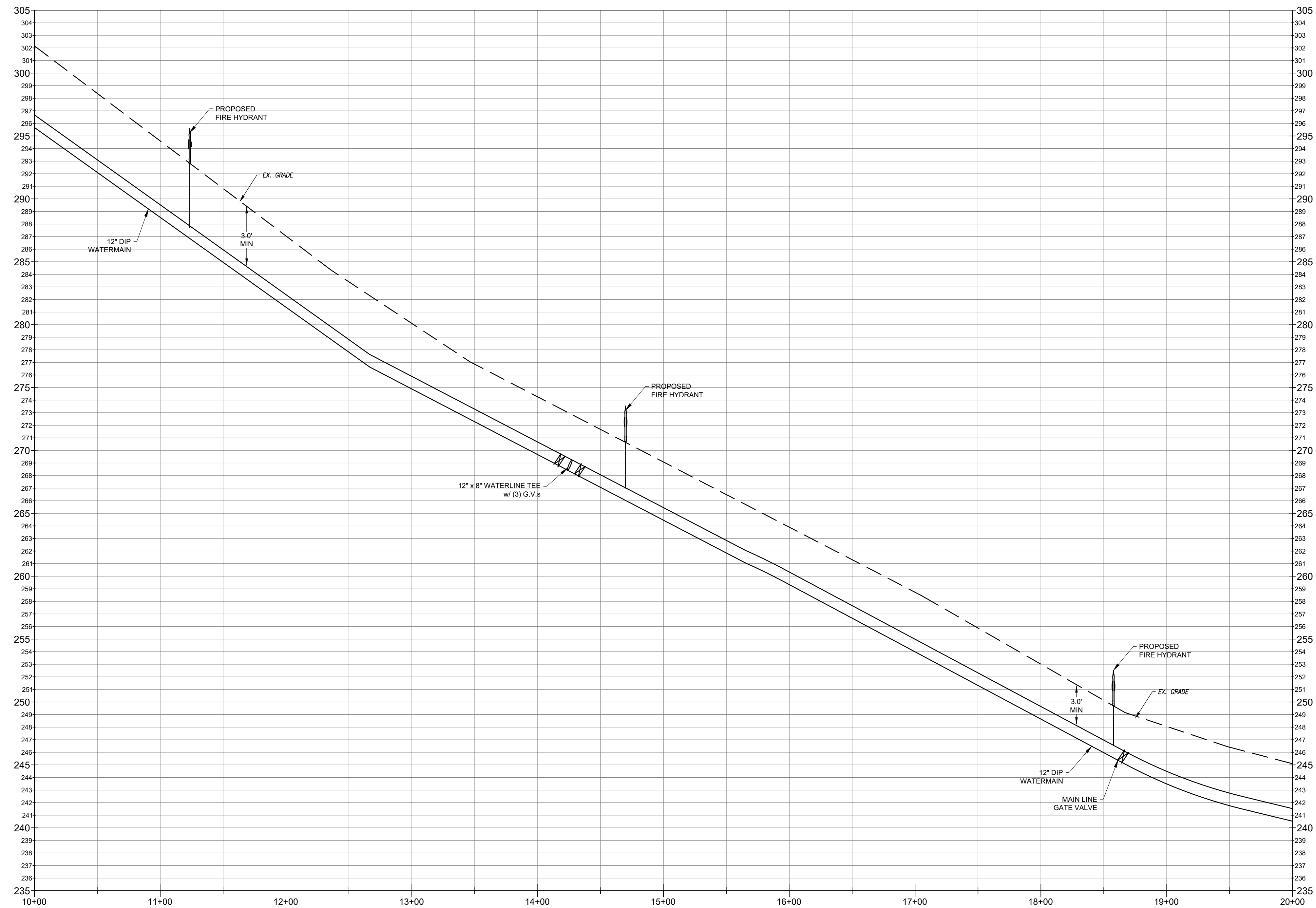
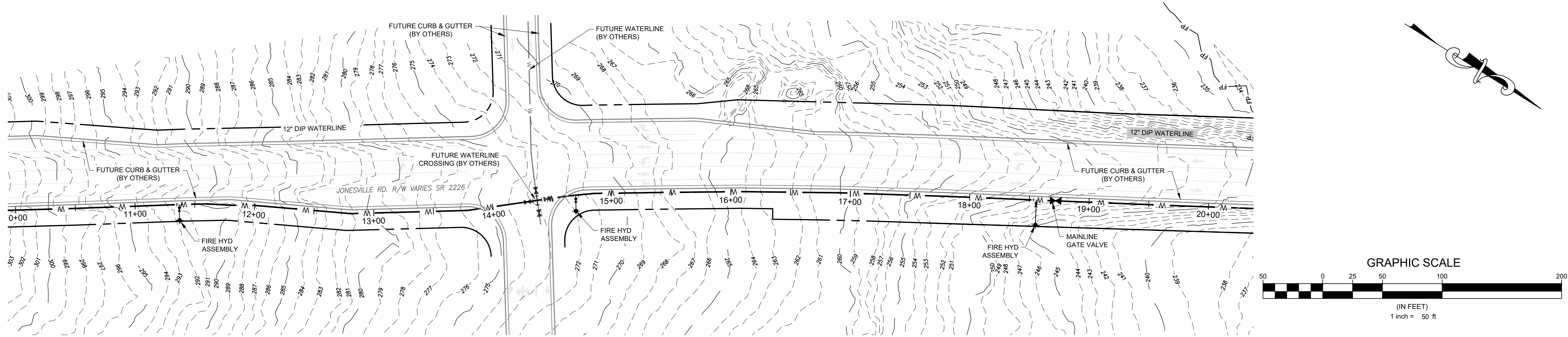
48

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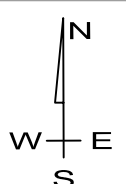
Surveyor

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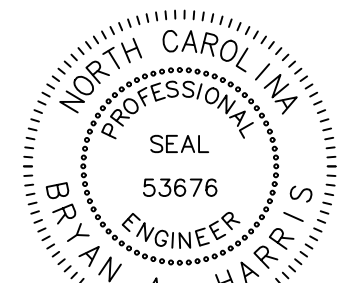


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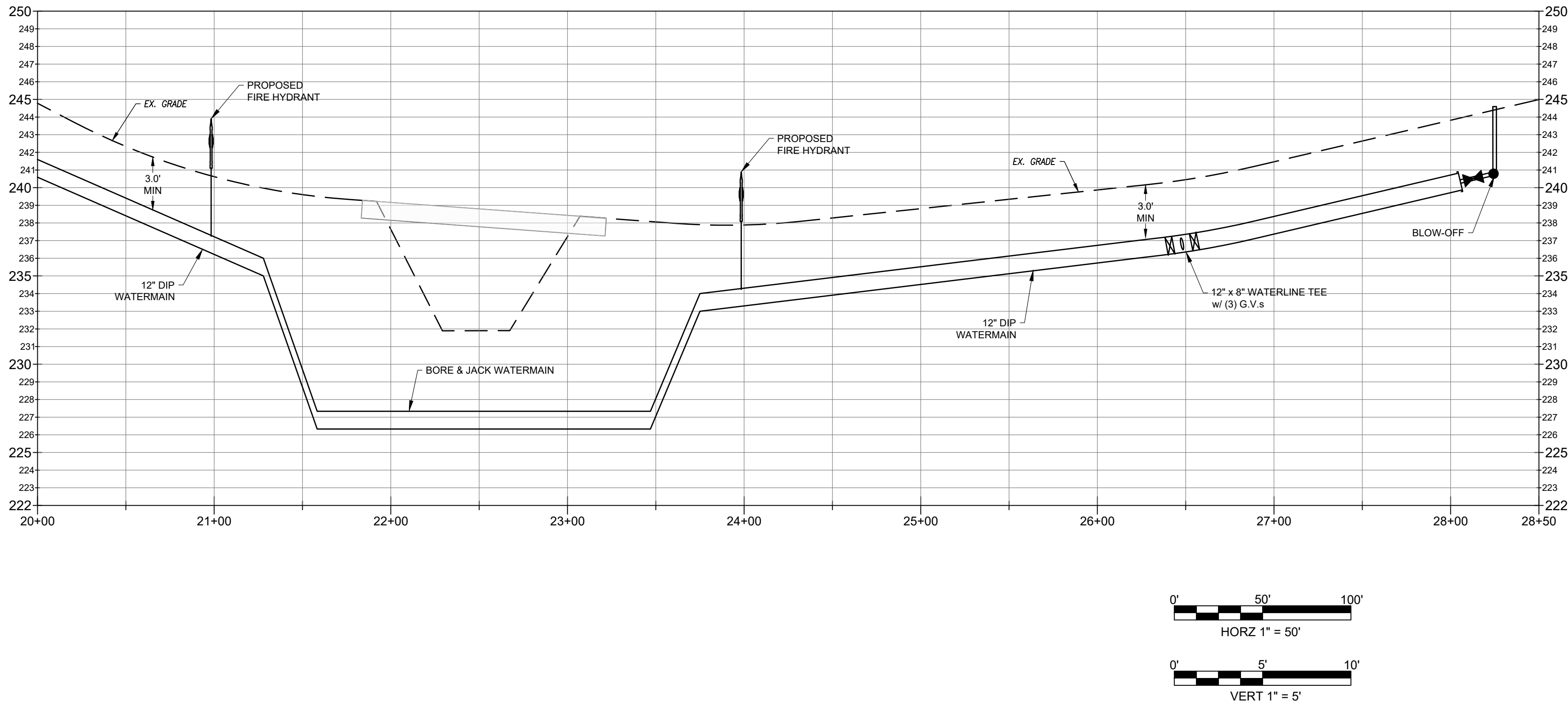
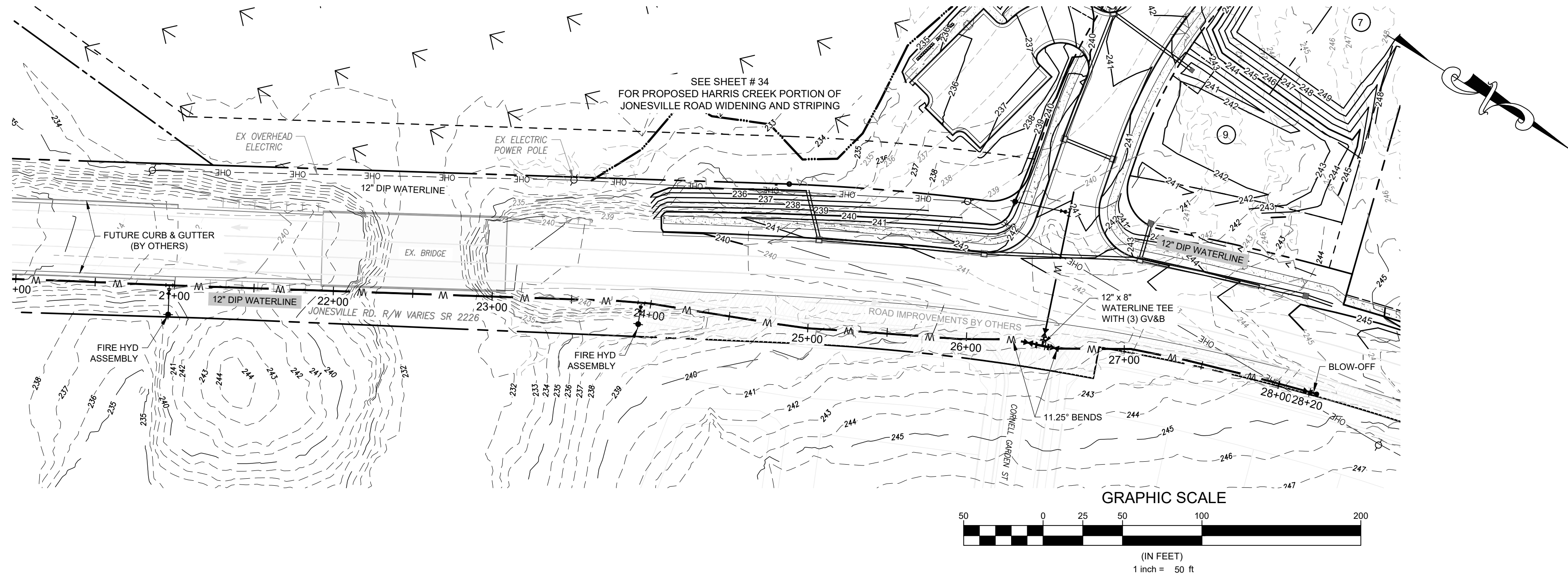
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JONESVILLE RD
WATERLINE
10+00 TO 20+00

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49

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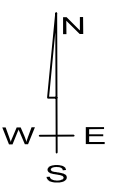


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WATERLINE
20+00 TO 30+00**

Sheet #:

50

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