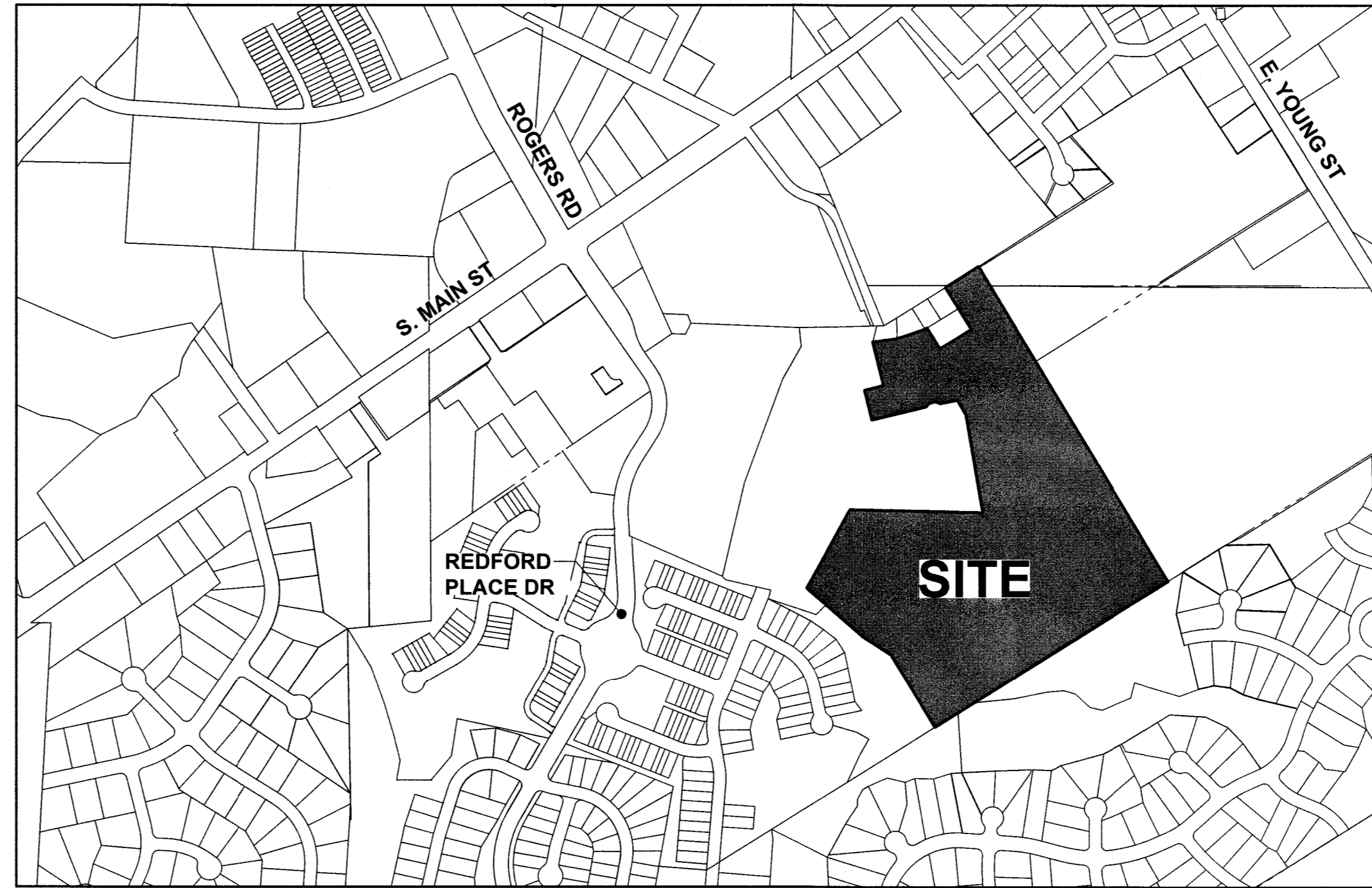


# PARKER RIDGE - PHASE 2 MAJOR SUBDIVISION FINAL PLAT

## FOR LENNAR CAROLINAS LLC



VICINITY MAP  
SCALE: 1" = 500'

### SITE DATA TABLE

Owner:	KL LB BUY 2 LLC 225 Liberty Street, Suite 4210 New York, NY 10281
Site Address:	201 Redford Place Drive 82 School St. Rolesville, NC 27571
PIN(S):	1768081589
Existing Zoning:	RM-CZ per MA-22-03
Town Application Ref.:	MA22-03, PSP23-02 & CID-23-06
Existing Lot Area:	1,237,480 Sq. Ft. (28.409 Ac.)
Single Family Lot Area:	417,775 Sq. Ft. (9.591 Ac.)
R/w Dedication:	147,587 Sq. Ft. (3.388 Ac.)
Homeowners Association Common Lot Area	Open Space #1: 523,599 Sq. Ft. (12.020 Ac.) Open Space #2: 43,451 Sq. Ft. (0.998 Ac.) Open Space #3: 105,068 Sq. Ft. (2.412 Ac.) Total: 672,118 Sq. Ft. (15.430 Ac.)
Remaining Area:	0 Sq. Ft. (0 Ac.)
Total Site Area:	1,237,480 Sq. Ft. (28.409 Ac.)
Number of Open Space Lots:	3
Number of Residential Lots:	78
Impervious Area Allowed Per Lot:	See Note #17 this sheet.
Single Family Setbacks (RM-CZ):	Front: 20' Side: 5' Corner Side: 10' Rear: 20'

### GENERAL NOTE

- The purpose of this plat is to dedicate right-of-way, easements, tree conservation areas and create new lots.
- No published horizontal survey monument found within 2,000 feet of this subject parcel(s).
- Areas calculated by coordinate geometry.
- All above ground and subsurface improvements are not necessarily shown hereon.
- All distances are horizontal ground distances.
- All bearings and coordinates are based on North Carolina State Plane Coordinate System (NAD 83, 2011 Adjustment).
- These Parcels may be subject to easements or rights of others that have not been disclosed on this plat.
- By graphic plotting only this property is located in Zone "X" (Areas determined to be outside of the 100-year flood plain), by the Federal Emergency Agency on Flood Insurance Rate Map, Community Panel No. 3720175800K and 3720176800K with an effective date of July 19, 2022, in Wake County, North Carolina. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.
- Boundary information shown hereon was prepared from an actual field survey and from existing records as referenced hereon.
- There was evidence of Wetlands and jurisdictional waters on the site. Wetland and streams shown hereon are based off preliminary jurisdictional determination completed by Soil & Environmental Consultants, PA, dated March 14, 2023.
- The subdivider shall file the approved final plat with the Register of Deeds of Wake County within sixty (60) days of the LDA of the Town of Rolesville approval; otherwise, such approval shall be null and void.
- All common area and open space lots are to be owned and maintained by the Property Owner's Association for this development.
- Declaration of Covenants, Conditions and Restrictions for Parker Ridge, has been recorded in Deed Book 19872, Page 610, in the Wake County Register of Deeds.
- Stormwater Control Measure (SCM) Access and Maintenance Easement: The Stormwater Control Measure (SCM) Access and Maintenance Easement is/are hereby dedicated over the Stormwater Best Management Practice (BMP) facility. The SCM Access and Maintenance Easement is/are considered to be private, with the sole responsibility of the Owner to provide for all required maintenance and operations as approved by the Town Manager until completed and accepted by the Town. Upon Town acceptance of the as-built drawings operations and maintenance of the SCM shall be the responsibility of the Parker Ridge Home Owners Association.
- Stormwater Control Measures to be maintained by Parker Ridge Owners Association, Inc. per stormwater Agreement recorded in DB 020021, PG 01415 in the Wake County Register of Deeds.
- Easements for storm drainage shown on the plat are not made to Wake County but are irrevocably made to the subsequent owners of any and all of the properties shown hereon for their use and benefit public acceptance. It shall be the responsibility of the property owners to maintain the drainage easements and any drainage structures therein, so as to maintain the integrity of the drainage system and ensure positive drainage. Easements may not be piped without receiving plan approval from Wake County.
- The maximum impervious surface allowed (MISA) is 2,500 square feet for detached single family lots.

### MA 22-03 ZONING CONDITIONS

- The following uses shall be prohibited on the portion of the property zoned Residential High Density (the "RH Parcel"):
  - Live-Work Unit
  - Residential Care (ALF, ILF, CCF)
  - Telecommunications Tower
- The RH Parcel shall have a maximum of 120 townhouse dwellings.
- The following uses shall be prohibited on the portion of the property zoned Residential Medium Density (the "RM Parcel"):
  - Telecommunications Tower
- The RM Parcel shall have a maximum of 170 single-family detached dwellings.
- A single family detached home shall be developed and donated as part of Wounded Warrior Homes, Operation Coming Home, Operation Finally Home, or similar organization providing homes to veterans. Developer shall be entitled to a waiver of all Town of Rolesville permit fees for this home.
- The development shall include at least one pollinator garden. The pollinator garden shall be a landscaped garden in which at least seventy five percent (75%) of all plants, excluding grasses, are native milkweeds and other nectar-rich flowers.
- Perimeter buffers shall be provided as shown on the Concept plan. Type 3 and Type 4 perimeter buffers may include 6' fences instead of walls.
- All single family detached dwellings shall have the following features:
  - A 2 car garage;
  - All garage doors shall have windows;
  - Ground floor elevation at the front door shall be a minimum of 12" above average grade across the front facade of the house.
  - A minimum 24" stone or masonry water table along the front elevation along the front elevation of the house.
  - If masonry is not the predominant first floor finish, then the front elevation shall have 2 types of siding. For example, horizontal siding may be combined with shake/board and batten;
  - Roof pitches on the main roof will have a pitch between 9 on 12 and 12 on 12;
  - Roof materials shall be asphalt shingles, metal, copper or wood;
  - Minimum 12" front overhangs;
  - A covered stoop or porch of at least 20 sf and 5 ft deep;
  - All windows on front facades shall have shutters or window trim;
  - A minimum 64 sf rear patio;
  - At least one window on each side elevation;
  - No single family detached home shall be constructed with a front elevation or color palette that is identical to the home on either side of it or directly across from it, and
  - A varied color palette shall be used throughout the subdivision.
- All townhouse dwellings shall have the following features:
  - 1 or 2 car garage;
  - A minimum 24" stone or masonry water table along the front elevation;
  - If masonry is not the predominant first floor finish, then the front elevation shall have 2 types of siding. For example, horizontal siding may be combined with shake/board and batten;
  - Roof materials shall be asphalt shingles, metal, copper or wood;
  - Minimum 12" front overhangs;
  - A covered stoop or porch of at least 20 sf and 5 ft deep;
  - Shutters or window trim shall be provided on front facade windows;
  - A minimum 64 sf rear patio shall be provided on front loaded townhouses;
  - At least one window on each side elevation (excluding interior units);
  - No townhouse shall be painted a color that is identical to the home adjacent on either side of it, and
  - A varied color palette shall be used throughout the subdivision.

CURVE TABLE					CURVE TABLE					CURVE TABLE							
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.	NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.	NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.
C1	058'05"29"	300.00'	304.17'	N74°43'26"W	291.30'	C19	015°33'37"	335.00'	90.98'	N61°07'04"W	90.70'	C37	046°48'25"	9.69'	7.92'	N55°41'10"W	7.70'
C2	014°45'19"	300.00'	77.26'	S38°16'02"E	77.05'	C20	006°37'19"	335.00'	38.72'	N72°12'32"W	38.70'	C38	064°06'40"	40.00'	44.76'	S58°37'01"E	42.46'
C3	050°25'55"	335.00'	294.87'	N78°33'13"W	285.44'	C21	007°24'27"	360.00'	46.54'	N72°38'06"W	46.51'	C39	033°35'39"	40.00'	23.45'	S46°38'30"W	23.12'
C4	081°22'54"	11.50'	16.33'	N84°32'11"E	15.00'	C22	062°32'17"	50.65'	55.29'	S20°31'48"W	52.58'	C40	045°54'41"	40.00'	32.05'	S06°53'20"W	31.20'
C5	082°46'54"	16.50'	23.84'	S03°25'37"W	21.82'	C23	043°46'17"	74.90'	57.22'	N22°35'58"W	55.84'	C41	079°19'25"	60.00'	83.07'	N42°29'20"E	76.59'
C6	005°38'39"	330.00'	32.51'	N35°08'17"W	32.49'	C24	043°46'17"	64.90'	49.58'	N22°35'58"W	48.38'	C42	079°19'25"	40.00'	55.38'	N42°29'20"E	51.06'
C7	001°23'37"	330.00'	8.03'	N31°37'10"W	8.03'	C25	003°30'59"	270.00'	16.57'	N32°40'52"W	16.57'	C43	045°54'41"	60.00'	48.08'	S06°53'20"W	46.80'
C8	089°59'58"	16.50'	25.92'	N75°55'23"W	23.33'	C26	014°14'22"	270.00'	67.10'	N41°33'32"W	66.93'	C44	033°35'39"	60.00'	35.18'	S46°38'30"W	34.68'
C9	039°39'16"	29.82'	20.64'	S36°01'42"W	20.23'	C27	005°44'05"	270.00'	27.02'	N51°32'46"W	27.01'	C45	043°51'23"	65.00'	49.75'	S16°57'08"W	48.55'
C10	032°21'48"	45.00'	25.42'	N32°16'30"E	25.08'	C28	007°47'52"	270.00'	36.75'	N58°18'44"W	36.72'	C46	088°10'04"	45.00'	69.25'	N00°24'04"W	62.61'
C11	057°14'24"	45.00'	44.96'	N77°04'36"E	43.11'	C29	010°44'07"	270.00'	50.59'	N67°34'44"W	50.51'	C47	053°10'48"	40.00'	37.13'	N22°48'25"E	35.81'
C12	063°22'18"	45.00'	49.77'	S42°37'04"E	47.27'	C30	010°38'13"	270.00'	50.13'	N78°15'54"W	50.05'	C48	094°34'49"	50.00'	82.54'	N39°21'16"E	73.48'
C13	113°03'09"	45.00'	88.79'	S45°35'40"W	75.07'	C31	053°10'48"	60.00'	55.69'	N22°48'25"E	53.71'	C49	038°10'29"	75.00'	49.97'	S14°06'42"W	49.05'
C14	042°53'37"	29.50'	22.08'	N80°31'26"E	21.57'	C32	040°01'12"	40.00'	27.94'	S07°47'25"E	27.37'	C50	041°59'16"	50.00'	36.64'	N40°02'14"W	35.83'
C15	089°59'53"	16.50'	25.92'	N14°04'34"E	23.33'	C33	088°10'04"	65.00'	100.02'	N00°24'04"W	90.44'	C51	029°38'10"	50.00'	25.86'	N02°22'42"W	25.57'
C16	057°16'57"	270.00'	269.94'	N59°33'54"W	258.84'	C34	048°39'30"	45.00'	38.22'	S19°21'12"W	37.08'	C52	039°47'10"	50.00'	34.72'	N06°02'28"E	34.03'
C17	011°02'02"	270.00'	52.00'	S86°16'36"W	51.92'	C35	006°16'31"	20.00'	22.38'	S58°37'05"E	21.23'	C53	006°16'31"	335.00'	37.96'	S79°28'35"W	37.94'
C18	004°31'46"	270.00'	21.34'	S78°29'43"W	21.34'	C36	052°43'05"	29.68'	27.31'	N57°42'48"W	26.36'	C54	007°35'51"	45.00'	5.97'	S78°06'08"E	5.96'

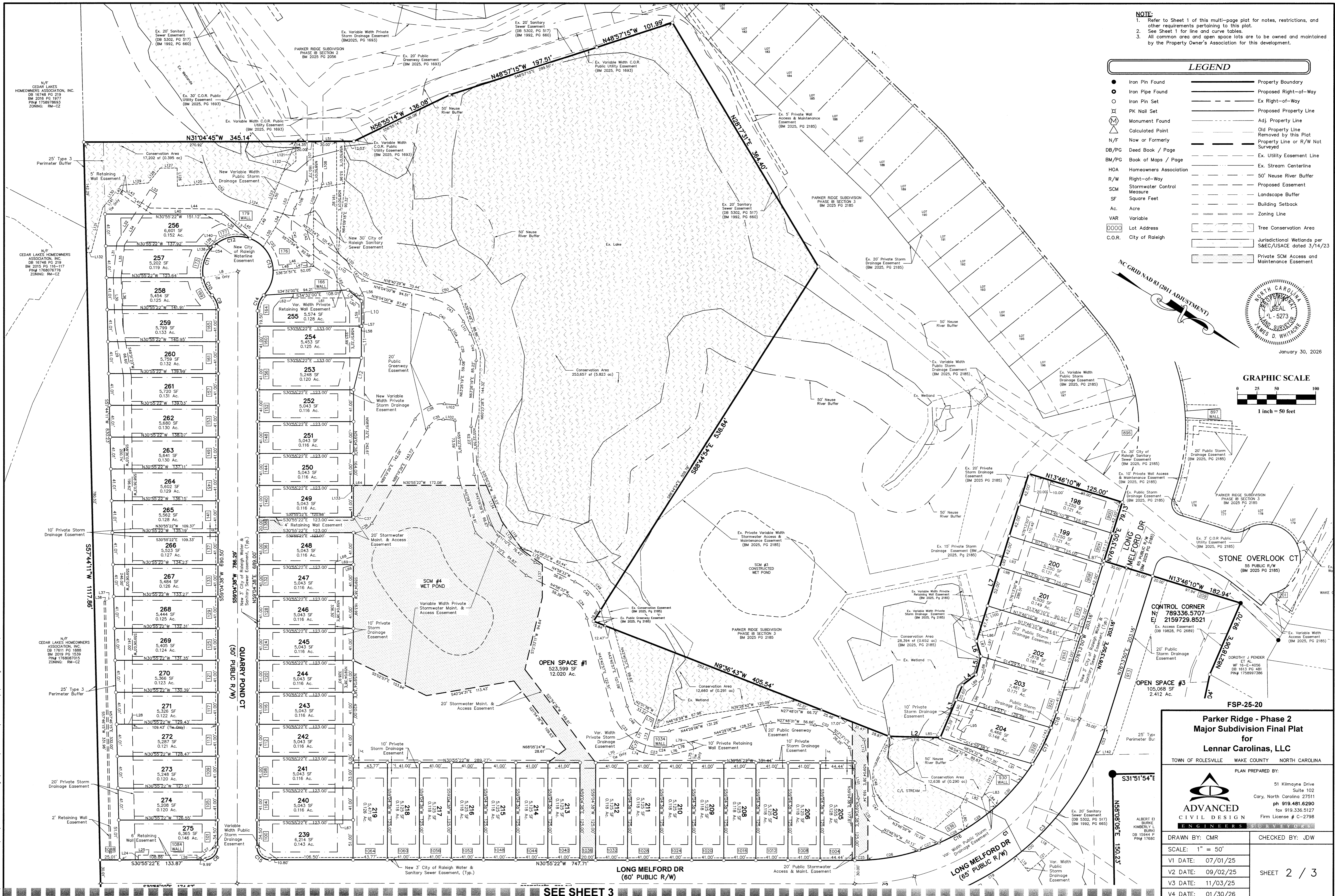
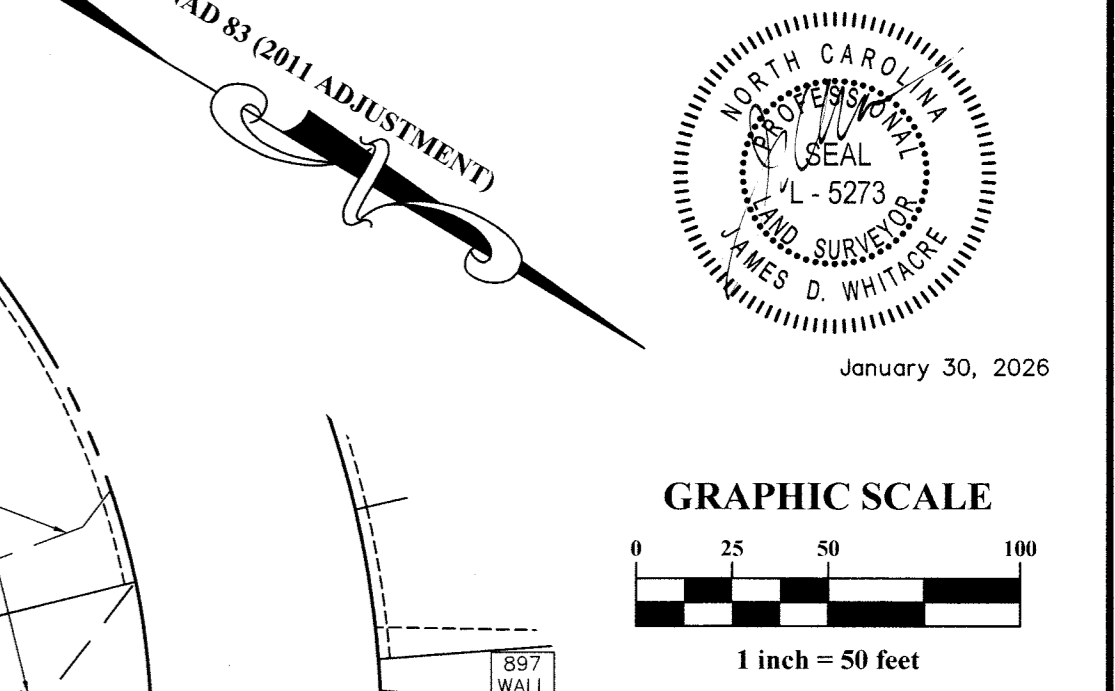
LINE TABLE		LINE TABLE		LINE TABLE		LINE TABLE		LINE TABLE		LINE TABLE		LINE TABLE		LINE TABLE		LINE TABLE	
LINE	DISTANCE	BEARING	LINE	DISTANCE	BEARING	LINE	DISTANCE	BEARING	LINE	DISTANCE	BEARING	LINE	DISTANCE	BEARING	LINE	DISTANCE	BEARING
L1	9.77'	N58°08'06"E	L23	15.00'	S59°04'38"W	L43	42.22'	N02°25'39"E	L64	18.54'	N31°01'24"W	L85	2.41'	S81°52'23"W	L106	38.95'	N82°09'03"E
L2	65.67'	N29°34'01"W	L24	12.00'	N59°04'38"E	L44	87.93'	N29°58'23"W	L65	33.30'	S73°59'40"W	L86	17.95'	S76°13'50"W	L107	49.84'	N59°16'20"E
L3	72.98'	N81°52'23"E	L25	6.00'	S59°04'38"W	L45	53.86'	N03°59'54"E	L66	13.74'	S48°09'25"E	L87	39.24'	S43°45'53"W	L108	54.00'	N59°16'20"E
L4	21.95'	N68°36'34"W	L26	75.08'	N30°55'22"W	L46	35.82'	N36°31'51"W	L67	10.00'	S30°55'22"E	L88	29.15'	S73°46'43"W	L109	43.00'	N82°09'03"E
L5	24.35'	S73°46'43"W	L27	6.00'	N59°04'38"E	L47	6.00'	S53°28'09"W	L68	24.21'	S48°09'25"E	L89	26.16'	N68°36'34"W	L110	65.19'	N02°22'42"W
L6	20.30'	S42°57'56"W	L28	32.59'	S66°30'41"E	L48	43.87'	N36°31'51"W	L69	10.47'	S59°04'38"W	L90	60.26'	S78°49'39"W	L111	18.18'	N29°50'41"E
L7	225.47'	S76°13'50"W	L29	10.00'	N30°55'22"W	L49	44.00'	N89°58'43"W	L70	46.68'	S54°17'20"E	L91	108.21'	N06°04'32"E	L112	72.48'	N49°23'50"E
L8	45.00'	S41°32'36"E	L30	66.47'	S49°31'37"W	L50	94.11'	S81°32'11"W	L71	48.05'	N87°23'12"E	L92	15.00'	S76°13'50"E	L113	43.69'	S72°01'36"E
L9	22.51'	N08°47'28"E	L31	62.38'	S57°07'23"W	L51	62.18'	N31°04'45"W	L72	10.00'	S07°26'48"E	L93	20.01'	S15°10'27"E	L114	52.75'	S07°56'09"E
L10	32.00'	S59°04'38"W	L32	45.28'	S64°54'43"W	L52	68.93'	N40°49'14"W	L73	45.13'	S75°59'25"W	L94	56.73'	S87°09'34"W	L115	32.67'	S86°38'40"W
L11	41.00'	S59°04'38"W	L33	79.71'	N89°05'44"W	L53	28.84'	N81°32'11"E	L74	19.30'	N14°00'35"W	L95	10.00'	N02°25'39"E	L116	59.63'	N29°34'01"W
L12	42.20'	N72°47'03"E	L34	10.00'	N00°59'08"E	L54	20.23'	S86°57'39"W	L75	17.74'	S66°59'28"E	L96	55.77'	S87°09'34"W	L117	44.86'	N87°48'01"E
L13	46.33'	N11°46'24"E	L35	77.39'	N89°05'44"W	L55	29.90'	S89°01'31"E	L76	24.89'	N44°29'06"W	L97	159.29'	N76°13'50"E	L118	16.16'	N76°38'14"E
L14	15.00'	S45°38'11"E	L36	42.28'	S64°54'43"W	L56	23.73'	S04°35'13"W	L77	10.00'	N89°17'11"E	L98	20.00'	S13°02'18"E	L119	39.52'	S23°34'44"W
L15	15.00'	N45°38'11"W	L37	61.01'	S57°07'23"W	L57	34.35'	S59°05'18"W	L78	24.89'	S44°29'06"E	L99	48.12'	S46°42'00"E	L120	34.37'	N12°26'23"E
L16	10.00'	N44°21'49"E	L38	12.11'	N61°05'17"W	L58	5.00'	S30°54'42"E	L79	10.00'	S45°30'54"W	L100	41.07'	N46°42'00"W	L121	25.20'	S58°55'15"W
L17	22.29'	N80°29'06"W	L39	2.00'	S32°13'45"E	L59	63.75'	S59°05'18"W	L80	30.56'	N48°30'56"E	L101	65.00'	N49°23'50"E	L122	20.77'	N70°38'51"E
L18	25.45'	N03°17'42"E	L40	66.65'	N02°47'49"W	L60	14.84'	S04°35'13"W	L81	20.02'	S85°19'05"W	L102	15.03'	S26°33'49"E	L123	52.48'	S81°32'11"W
L19	25.00'	N21°06'08"E	L41	66.42'	N30°55'22"W	L61	72.32'	S30°55'22"E	L82	20.60'	S12°40'01"E	L103	16.00'	N26°33'41"W	L124	43.87'	N13°51'09"W
L20	15.00'	N59°04'38"E	L42	48.67'	N02°25'39"E	L62	5.96'	S59°04'38"W	L83	5.85'	S87°48'01"W	L104	18.18'	N29°50'41"E	L125	46.26'	N35°37'41"W
L21	10.00'	S30°55'22"E	L43	5.00'	N87°34'21"W	L63	52.11'	N33°39'19"E	L84	22.25'	N17°03'13"E	L105	68.52'	N02°49'38"E	L126	23.24'	N57°59'13"E

### Lot Addressing

Lot # 198	900 Long Melford Drive	SFD	Lot # 226	1025 Long Melford Drive	SFD	Lot # 254	160 Quarry Pond Court	SFD
Lot # 199	904 Long Melford Drive	SFD	Lot # 227	1029 Long Melford Drive	SFD	Lot # 255	164 Quarry Pond Court	SFD
Lot # 200	908 Long Melford Drive	SFD	Lot # 228	1033 Long Melford Drive	SFD	Lot # 256	177 Quarry Pond Court	SFD
Lot # 201	912 Long Melford Drive	SFD	Lot # 229	1037 Long Melford Drive	SFD	Lot # 257	173 Quarry Pond Court	SFD
Lot # 202	916 Long Melford Drive	SFD	Lot # 230	1041 Long Melford Drive</				

**NOTE:**  
1. Refer to Sheet 1 of this multi-page plat for notes, restrictions, and other requirements pertaining to this plat.  
2. See Sheet 1 for line and curve tables.  
3. All common area and open space lots are to be owned and maintained by the Property Owner's Association for this development.

LEGEND			
●	Iron Pin Found	—	Property Boundary
○	Iron Pipe Found	—	Proposed Right-of-Way
○	Iron Pin Set	—	Ex Right-of-Way
⊗	PK Nail Set	—	Proposed Property Line
⊕	Monument Found	—	Adj Property Line
⊖	Calculated Point	—	Old Property Line Removed by this Plat
N/F	Now or Formerly	—	Property Line or R/W Not Surveyed
DB/PG	Deed Book / Page	—	Ex. Utility Easement Line
BM/PG	Book of Maps / Page	—	Ex. Stream Centerline
HOA	Homeowners Association	—	50' Neuse River Buffer
R/W	Right-of-Way	—	Proposed Easement
SCM	Stormwater Control Measure	—	Landscape Buffer
SF	Square Feet	—	Building Setback
Ac.	Acre	—	Zoning Line
VAR	Variable	—	Tree Conservation Area
0000	Lot Address	—	Jurisdictional Wetlands per S&EC/USACE dated 3/14/23
C.O.R.	City of Raleigh	—	Private SCM Access and Maintenance Easement



SEE SHEET 3

**Parker Ridge - Phase 2  
Major Subdivision Final Plat  
for  
Lennar Carolinas, LLC**

TOWN OF ROLESVILLE WAKE COUNTY NORTH CAROLINA

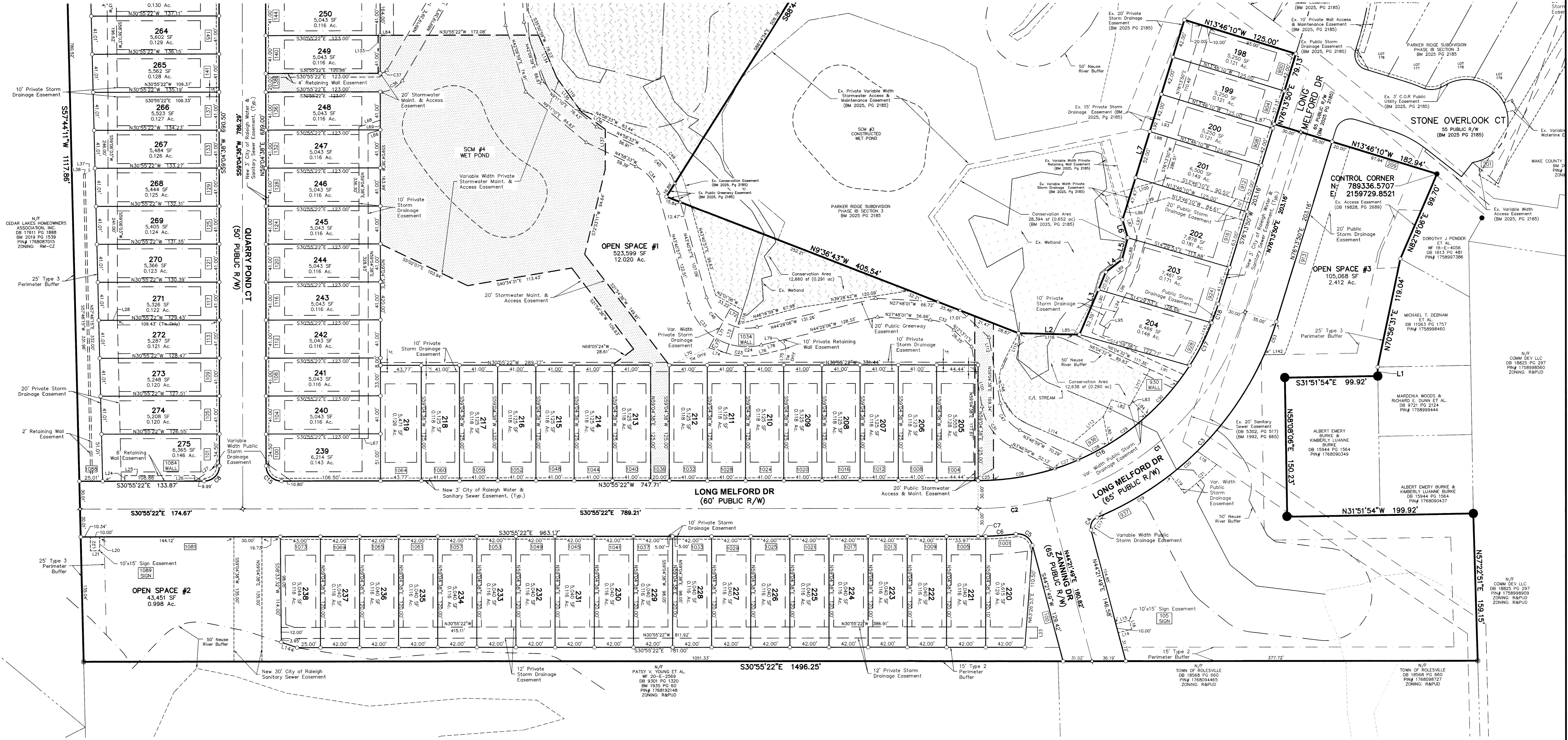
PLAN PREPARED BY:

**ADVANCED CIVIL DESIGN ENGINEERS**  
15 Kilmayne Drive  
Suite 102  
Cary, North Carolina 27511  
ph 919.481.6290  
fax 919.336.5127  
Firm License # C-2798

ALBERT E. BURKE  
ENGINEER  
No. 15944 P  
Exp. 12/31/2026

DRAWN BY: CMR	CHECKED BY: JDW
SCALE: 1" = 50'	
V1 DATE: 07/01/25	
V2 DATE: 09/02/25	SHEET 2 / 3
V3 DATE: 11/03/25	
V4 DATE: 01/30/26	

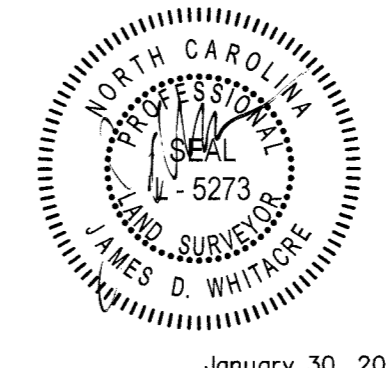
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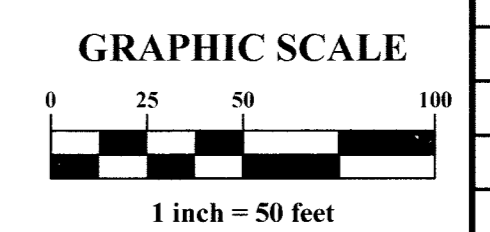
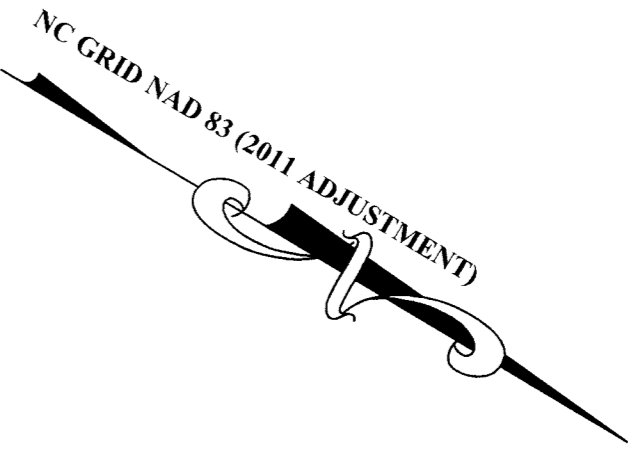
NOTE:  
1. Refer to Sheet 1 of this multi-page plat for notes, restrictions, and other requirements pertaining to this plat.  
2. See Sheet 1 for line and curve tables.  
3. All common area and open space lots are to be owned and maintained by the Property Owner's Association for this development.

LEGEND

Table with 2 columns: Symbol and Description. Includes items like Iron Pin Found, Property Boundary, Proposed Right-of-Way, and various easements.



January 30, 2026



Project information including FSP-25-20, Parker Ridge - Phase 2 Major Subdivision Final Plat for Lennar Carolinas, LLC, and drawing details like 'DRAWN BY: CMR' and 'CHECKED BY: JDW'.