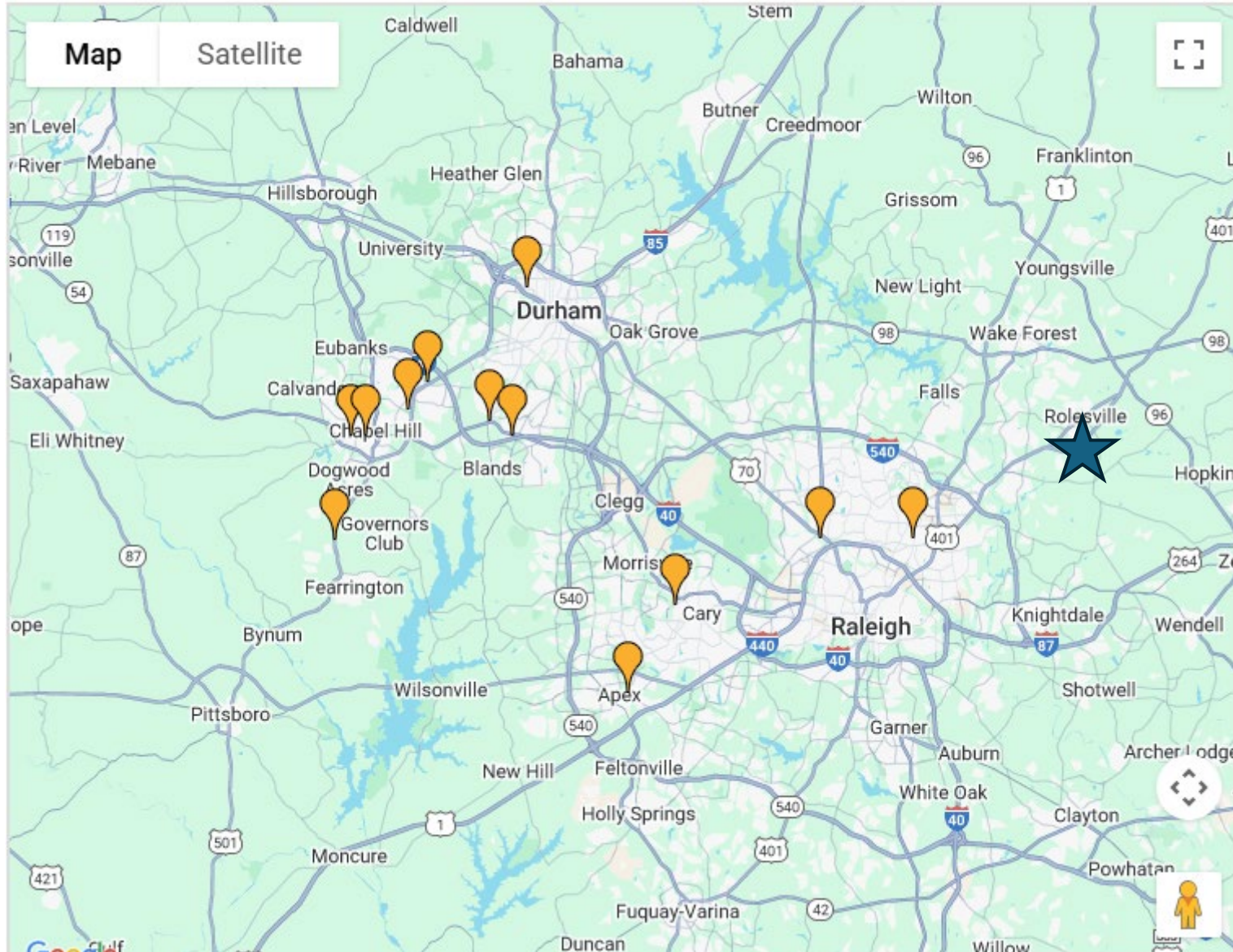


Neighborhood Meeting  
June 3, 2025  
REZ 25-02  
519 S. Main Street

# Chapel Hill Tire: Elevating Communities Through Automotive Excellence

Chapel Hill Tire isn't just a car care company. We're a community partner, committed to enhancing neighborhoods through thoughtful design and unwavering dedication to customer satisfaction. Our presence adds value, both economically and aesthetically, to every area we serve.





# Chapel Hill Tire Triangle Locations (Twelve currently)







# Enhancing Property Value and Aesthetics

## Premium Facilities

Our shops feature cutting-edge designs that elevate neighborhood aesthetics. We invest heavily in creating visually appealing storefronts that complement local architecture.

## Community-Centric Design Design

We collaborate with local architects to ensure our facilities reflect and enhance the unique character of each neighborhood we serve.

## Continuous Maintenance

Our properties receive regular upkeep, maintaining a pristine appearance that positively impacts surrounding property values.



# Example of new Chapel Hill Tire customer waiting area (Crabtree store in Raleigh)





Example of  
Chapel  
Hill Tire  
store with  
bays facing  
shopping  
center  
parking  
lot





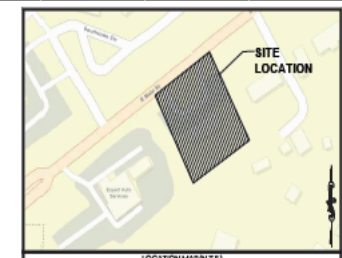
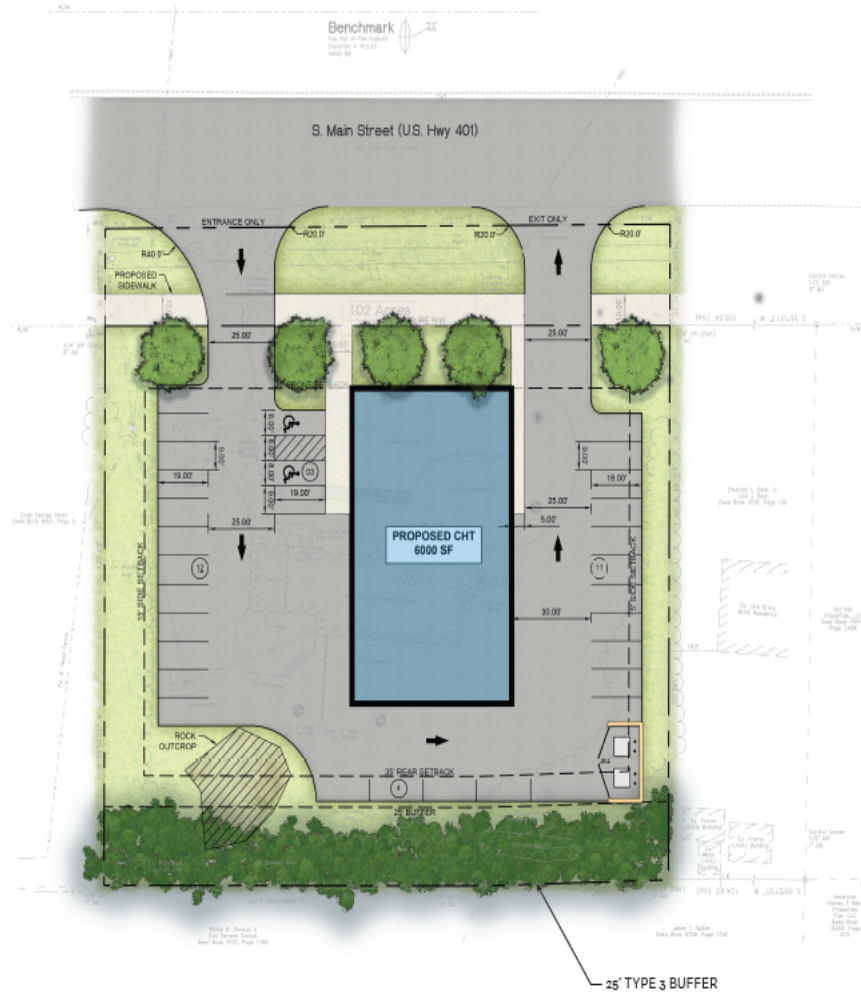


## Excellence in Operations

Recognition	Year	Significance
Best of Durham	2024	Top-rated auto service provider
Best of Chapel Hill	2024	Community favorite for automotive care
Triangle Business Journal Award	2024, 2023, 2021	Best Places to Work
Nextdoor	2024, 2023	Neighborhood Favorites in Chapel Hill, Carrboro, Apex, Durham



(  
519 S. Main  
Street Store  
(currently  
Greenway  
Beer and Wine)  
r



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	SETBACK LINE
---	---	1' CONCRETE CURB & GUTTER
---	---	CONCRETE SIDEWALK
---	---	STANDARD DUTY ASPHALT TREATMENT
---	---	CONCRETE PAVEMENT
---	---	PARKING COUNT

SITE DATA	
DEVELOPMENT:	CHapel Hill Tire, LLC
PARCEL ID#:	070607400
LOT / SIZE:	44,431.2 SF (1.02 ACRES)
ADDRESS:	519 S MAIN STREET
CITY:	ROULEVILLE
COUNTY:	WAKE
STATE:	NORTH CAROLINA
FRONT SETBACK:	25.0'
REAR SETBACK:	15.0'
REAR SETBACK:	35.0'
STREET:	30' STREETSCAPE BUFFER
ZONING CLASSIFICATION	
JURISDICTION:	ROULEVILLE
EXISTING ZONING:	OC-C2
EXISTING USE:	COMMERCIAL
PROPOSED USE:	COMMERCIAL
PARKING DATA	
PARKING REQUIREMENTS:	1 SPACES FOR EACH 200 SF
EXISTING PARKING:	10 SPACES (1 HC)
REQUIRED PARKING:	6000/200 = 30 SPACES
PROPOSED PARKING:	20 SPACES (2 HC)

NOTES	
1. THIS CONCEPT DRAWING HAS BEEN PREPARED BASED ON PROVIDED RECORDS AND SURVEY FROM MACK GAY ASSOCIATES, P.A.	
2. NC DOT TO REVIEW ALL ACCESS DRIVE LOCATIONS AND WORK WITHIN NC DOT RIGHT OF WAY. MODIFICATIONS TO, AND/OR REMOVAL OF, EXISTING DRIVES MAY BE REQUIRED.	



OWNER / DEVELOPER:	
DATE	08-27-25
CONCEPTUAL SITE PLAN	
PROJECT MANAGER	
DESIGNER	

CONCEPT PLAN	
CHapel Hill Tire 519 SOUTH MAIN STREET ROULEVILLE, NC	
GMC Project# 250825000000	

C-1.0