

FRAZIER FARM PARK

11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA, 27282

CONSTRUCTION DRAWINGS PHASE 1A

PROJECT NUMBER: 2020110039

DATE: DECEMBER 1, 2023

SITE DATA

OWNER:	TOWN OF ROLESVILLE 502 SOUTHTOWN CIRCLE ROLESVILLE, NORTH CAROLINA 27571
PREPARED BY:	MCADAMS COMPANY 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 919.361.5000 NANEKAR@MCADAMSCO.COM
PARCEL ID NUMBER:	1779076610
TOTAL SITE ACREAGE:	±116.56 AC
LAND AREA OF PARCEL:	±105.00 AC
SITE ACREAGE AS PART OF THIS DEVELOPMENT:	±8.00 AC
CURRENT ZONING:	RL
PROPOSED PARKING:	69 SPACES
CURRENT LAND USE:	VACANT
PROPOSED LAND USE:	PUBLIC RECREATION FACILITY
ADJOINING PROPERTY OWNERS:	PIN: 1779083669, 1779263965, 1779190357
DISTURBED AREA:	±8.50 AC
FEMA REGULATIONS:	
PRE-DEVELOPMENT IMPERVIOUS AREA:	0.14 AC
POST-DEVELOPMENT IMPERVIOUS AREA:	1.92 AC
WATERSHED(S):	NEUSE

A separate 16.1b encroachment will be needed for work on a C/A roadway.

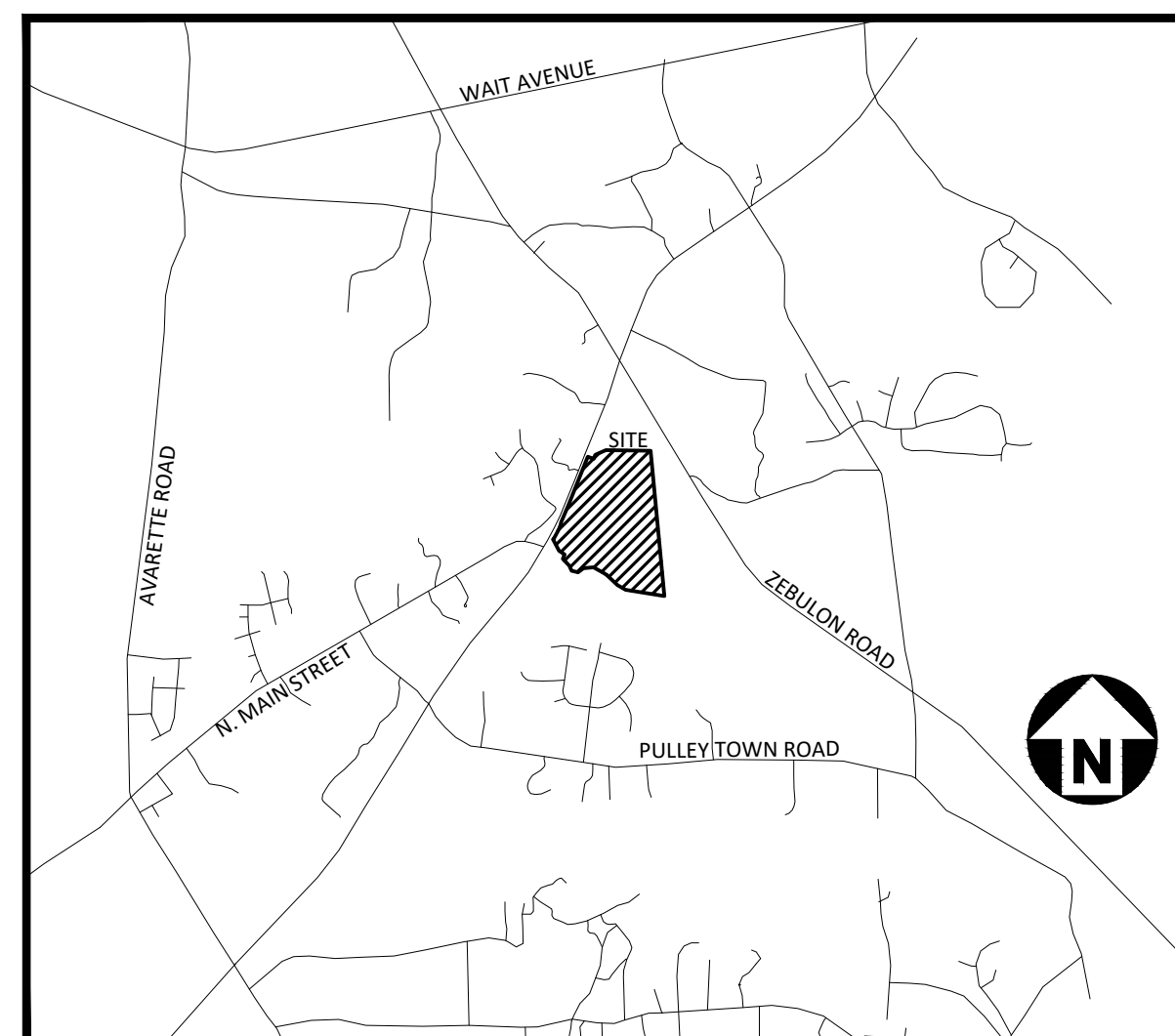
Town should sign driveway permit as the local jurisdiction (even though it is a town project) as well as the property owner.

TIA is scoped for 3 driveways, how many trips are proposed to use these two driveways until the 3rd is opened?

Provide a striping plan.

Provide ditch calcs.

Please update SIA to make the tables continuous & easier to read.



VICINITY MAP
N.T.S.



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SHEET INDEX

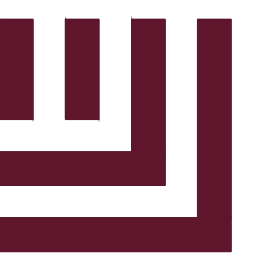
C1.00	EXISTING CONDITIONS
C1.01	EXISTING CONDITIONS
C1.10	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN 'AREA A'
C2.02	SITE PLAN 'AREA B'
C2.03	SITE PLAN 'AREA C'
C3.00	OVERALL GRADING & DRAINAGE PLAN
C3.01	GRADING & DRAINAGE PLAN: 'AREA A'
C3.02	GRADING & DRAINAGE PLAN: 'AREA B'
C3.03	GRADING & DRAINAGE PLAN: 'AREA C'
C5.00	PLAN AND PROFILE STREET "A", STA. 10+00 THRU STA. 22+95.10
C5.01	PLAN AND PROFILE STREET "B", STA. 10+00 THRU STA. 16+35
C6.00	EROSION CONTROL NOTES
C6.01	OVERALL EROSION CONTROL PLAN - STAGE 1
C6.02	OVERALL EROSION CONTROL PLAN - STAGE 2
C6.10	EROSION CONTROL DETAILS
C6.11	EROSION CONTROL DETAILS
C6.12	EROSION CONTROL DETAILS
C6.13	EROSION CONTROL DETAILS
C7.00	LOUISBURG RD WIDENING PLAN
C7.01	LOUISBURG RD WIDENING CROSS SECTIONS
C7.02	LOUISBURG RD WIDENING CROSS SECTIONS
C7.03	LOUISBURG RD WIDENING CROSS SECTIONS
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	STORM DRAINAGE & UTILITY DETAILS
C8.03	STORM DRAINAGE & UTILITY DETAILS

GENERAL NOTES:

- ANY STRUCTURE TO BE REMOVED SHALL REQUIRE A DEMOLITION PERMIT FROM BUILDING INSPECTIONS.

CID-23-05

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



MCADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919.361.5000
fax 919.361.2269
license number: C-0293, C-187

www.mcadamsco.com

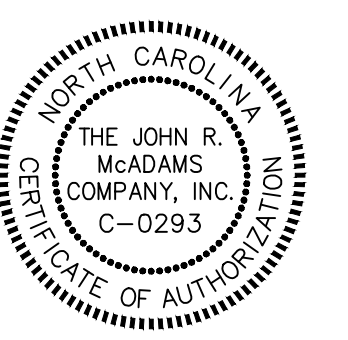
CONTACT

ERIC DOMONELL
domonell@mcadamsco.com
PHONE: 919.287.0765

CLIENT

TOWN OF ROLESVILLE
502 SOUTHTOWN CIRCLE
ROLESVILLE, NORTH CAROLINA 27571
PHONE: 919.554.6582

PROJECT DIRECTORY



REVISIONS

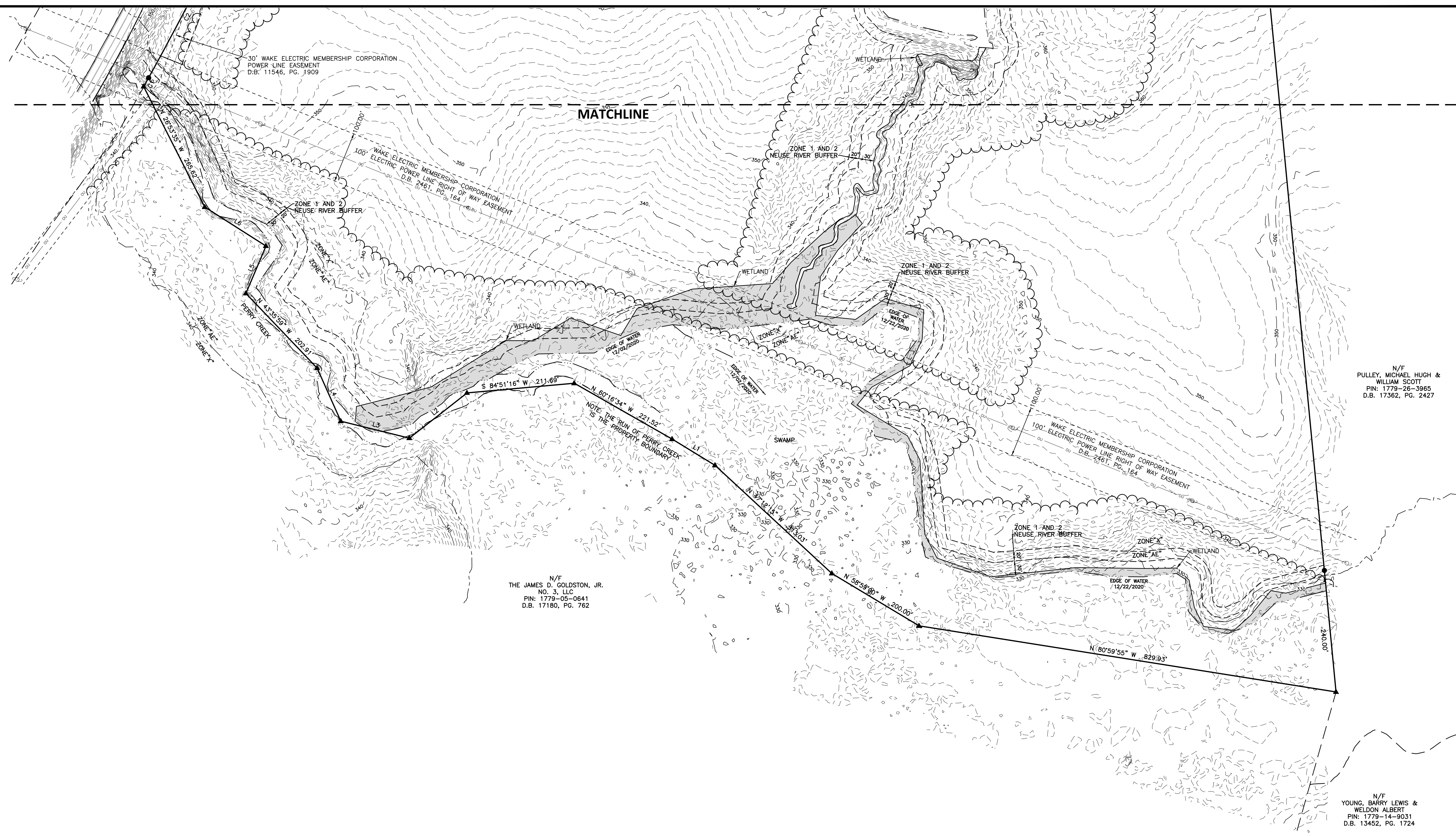
NO. DATE

CONSTRUCTION DRAWINGS FOR:

FRAZIER FARM PARK
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NC 27282
PROJECT NUMBER: 2020110039



NC GRID NAD 83 (2011)



MATCHLINE

30' WAKE ELECTRIC MEMBERSHIP CORPORATION
POWER LINE EASEMENT
D.B. 11546, PG. 1909

WAKE ELECTRIC MEMBERSHIP CORPORATION
ELECTRIC POWER LINE RIGHT OF WAY EASEMENT
D.B. 2461, PG. 164

WAKE ELECTRIC MEMBERSHIP CORPORATION
ELECTRIC POWER LINE RIGHT OF WAY EASEMENT
D.B. 2461, PG. 164

WAKE ELECTRIC MEMBERSHIP CORPORATION
ELECTRIC POWER LINE RIGHT OF WAY EASEMENT
D.B. 2461, PG. 164

WAKE ELECTRIC MEMBERSHIP CORPORATION
ELECTRIC POWER LINE RIGHT OF WAY EASEMENT
D.B. 2461, PG. 164

N/F
THE JAMES D. GOLDSTON, JR.
NO. 3, LLC
PIN: 1779-05-0641
D.B. 17180, PG. 762

N/F
PULLEY, MICHAEL HUGH &
WILLIAM SCOTT
PIN: 1779-26-3965
D.B. 17362, PG. 2427

N/F
YOUNG, BARRY LEWIS &
WELDON ALBERT
PIN: 1779-14-9031
D.B. 13452, PG. 1724

- LEGEND**
- — — — — PROPERTY BOUNDARY
 - — — — — ADJOINING PARCEL GIS SHAPEFILE
 - — — — — OVERHEAD UTILITY
 - — — — — UNDERGROUND TELEPHONE
 - — — — — STORM SEWER
 - — — — — WOODLINE
 - — — — — NEUSE RIVER BUFFER
 - — — — — FLOODPLAIN
 - — — — — CREEK BANK
 - — — — — TIE LINE
 - — — — — WETLAND
 - — — — — POWER EASEMENT
 - — — — — PERMANENT UTILITY EASEMENT
 - IRON PIPE/REBAR FOUND
 - IRON PIPE/REBAR SET
 - CONCRETE MONUMENT
 - ▲ CALCULATED POINT NOT FOUND OR SET
 - GEODETIC MONUMENT
 - ◆ TEMPORARY BENCHMARK
 - ⊙ LIGHT POLE
 - ⊙ UTILITY POLE
 - ⊙ TELEPHONE PEDESTAL
 - ⊙ OAK
 - ⊙ DOGWOOD
 - ⊙ PECAN

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	405.81'	20.00'	N 29°03'28" E	20.00'
C2	5724.30'	282.14'	N 27°38'45" E	282.12'
C3	1907.59'	320.51'	N 45°25'21" E	320.13'
C4	5900.00'	175.71'	S 26°19'02" W	175.70'
C5	6306.80'	39.71'	S 28°12'58" W	39.71'

LINE	BEARING	DISTANCE
L1	N 58°32'29" W	98.85'
L2	S 51°53'26" W	144.12'
L3	N 78°07'14" W	138.75'
L4	N 24°04'09" W	114.42'
L5	N 22°55'41" E	101.10'
L6	N 57°26'24" W	142.63'
L7	N 15°00'06" E	104.53'
L8	S 67°19'35" E	132.44'
L9	N 19°08'18" E	95.82'
L10	S 25°00'42" W	18.54'
L11	S 45°13'02" W	82.40'
L12	N 50°24'20" W	34.98'
L13	N 66°46'16" W	23.34'
L14	N 58°12'03" W	20.02'

SURVEY NOTES

- THIS EXISTING CONDITIONS SURVEY WAS COMPLETED ON APRIL 22, 2021.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC STATE PLANE GRID NAD 83 (2011).
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS NOTED OTHERWISE.
- AREA BY COORDINATE GEOMETRY.
- THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE, PORTIONS OF THE SOUTHERN PROPERTY BOUNDARY ALONG PERRY CREEK ARE IN ZONE AE (1% ANNUAL CHANCE FLOOD) PER FEMA FIRM MAP 3720177900K, MAP DATE MAY 2, 2006.
- ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD 88 DERIVED FROM NGS "PERRY CREEK". THE CONTOUR INTERVAL IS 1-FOOT.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

GPS METADATA

- CLASS OF SURVEY: A
- POSITIONAL ACCURACY: 0.06'
- TYPE OF GPS FIELD PROCEDURE: VRS
- DATES OF SURVEY: DECEMBER 10, 2020
- DATUM/EPOCH: NAD 83 (2011)
- PUBLISHED/FIXED-CONTROL USE: NCGS "GARY"
- GEOD MODEL: 12B
- COMBINED GRID FACTOR(S): 0.99993507
- UNITS: U.S. SURVEY FEET



I, E. MATTHEW CASH, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION; THAT THIS GROUND/AERIAL SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE REQUIREMENTS FOR A TOPOGRAPHIC/PLANIMETRIC SURVEY TO THE ACCURACY OF CLASS 3 AND VERTICAL ACCURACY WHEN APPLICABLE TO THE CLASS & STANDARD, AND THAT THE SURVEY WAS COMPLETED ON APRIL 22, 2021; AND ALL COORDINATES ARE BASED ON NAD 83 (2011) AND ALL ELEVATIONS ARE BASED ON NAVD 88.

E. MATTHEW CASH, PROFESSIONAL LAND SURVEYOR L-5045 APRIL 28, 2021

McADAMS
The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT
TOWN OF ROLESVILLE
502 SOUTHTOWN CIRCLE
ROLESVILLE, NC 27571

FRAZIER FARM PARK
EXISTING CONDITIONS SURVEY
11624 LOUISBURG ROAD
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

REVISIONS

NO.	DATE

PLAN INFORMATION

PROJECT NO.	2020110039
FILENAME	2020110039-C1
CHECKED BY	EMC
DRAWN BY	EMC
SCALE	1"=100'
DATE	04.22.2021

SHEET

EXISTING CONDITIONS

C1.00

M:\Projects\Towns\Rolesville\2020110039\Frazier Farm Park\02_Geomatics\Survey\Topographic\2020110039-C1.dwg, 4/28/2021 12:46:57 AM, Chh, Matthew



NC GRID NAD 83 (2011)

SURVEY NOTES

1. SEE SHEET C1.00 FOR SURVEY NOTES, GPS METADATA, AND SURVEYORS CERTIFICATION.

LINE	BEARING	DISTANCE
L1	N 58°32'29" W	98.85'
L2	S 51°53'26" W	144.12'
L3	N 76°07'14" W	138.75'
L4	N 24°04'09" W	114.42'
L5	N 22°55'41" E	101.10'
L6	N 57°26'24" W	142.63'
L7	N 15°00'06" E	104.53'
L8	S 67°19'35" E	132.44'
L9	N 19°08'18" E	95.82'
L10	S 25°00'42" W	18.54'
L11	S 45°13'02" W	82.40'
L12	N 50°24'20" W	34.98'
L13	N 66°48'16" W	23.34'
L14	N 56°12'03" W	20.02'

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	405.81'	20.00'	N 29°03'28" E	20.00'
C2	5724.30'	282.14'	N 27°38'45" E	282.12'
C3	1907.59'	320.51'	N 45°25'21" E	320.13'
C4	5900.00'	175.71'	S 28°19'02" W	175.70'
C5	6306.80'	39.71'	S 28°12'58" W	39.71'

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

- LEGEND**
- PROPERTY BOUNDARY
 - - - ADJOINING PARCEL GIS SHAPEFILE
 - OVERHEAD UTILITY
 - - - UNDERGROUND TELEPHONE
 - STORM SEWER
 - WOODLINE
 - NEUSE RIVER BUFFER
 - FLOODPLAIN
 - CREEK BANK
 - TIE LINE
 - WETLAND
 - POWER EASEMENT
 - PERMANENT UTILITY EASEMENT
 - IRON PIPE/REBAR FOUND
 - IRON PIPE/REBAR SET
 - CONCRETE MONUMENT
 - ▲ CALCULATED POINT NOT FOUND OR SET
 - ◆ GEODETIC MONUMENT
 - ◆ TEMPORARY BENCHMARK
 - LIGHT POLE
 - UTILITY POLE
 - TELEPHONE PEDESTAL
 - OAK
 - DOGWOOD
 - PECAN



McADAMS
The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919.361.5000
fax 919.361.2269
license number: C-0293, C-187

www.mcadamsco.com

CLIENT

TOWN OF ROLESVILLE
502 SOUTHTOWN CIRCLE
ROLESVILLE, NC 27751

FRAZIER FARM PARK
EXISTING CONDITIONS SURVEY
11624 LOUISBURG ROAD
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA



REVISIONS

NO.	DATE

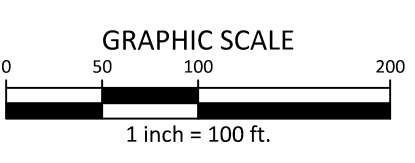
PLAN INFORMATION

PROJECT NO.	2020110039
FILENAME	2020110039-C1
CHECKED BY	EMC
DRAWN BY	EMC
SCALE	1"=100'
DATE	04.22.2021

EXISTING CONDITIONS

C1.01

M:\Projects\Towns\Rolesville\2020110039\Frazier Farm Park\102_Geomatics\Survey\Topo\2020110039-C1.dwg, 4/28/2021 12:40:59 AM, Chih, Matthew





McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-DM1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=100'
DATE 12.01.2023

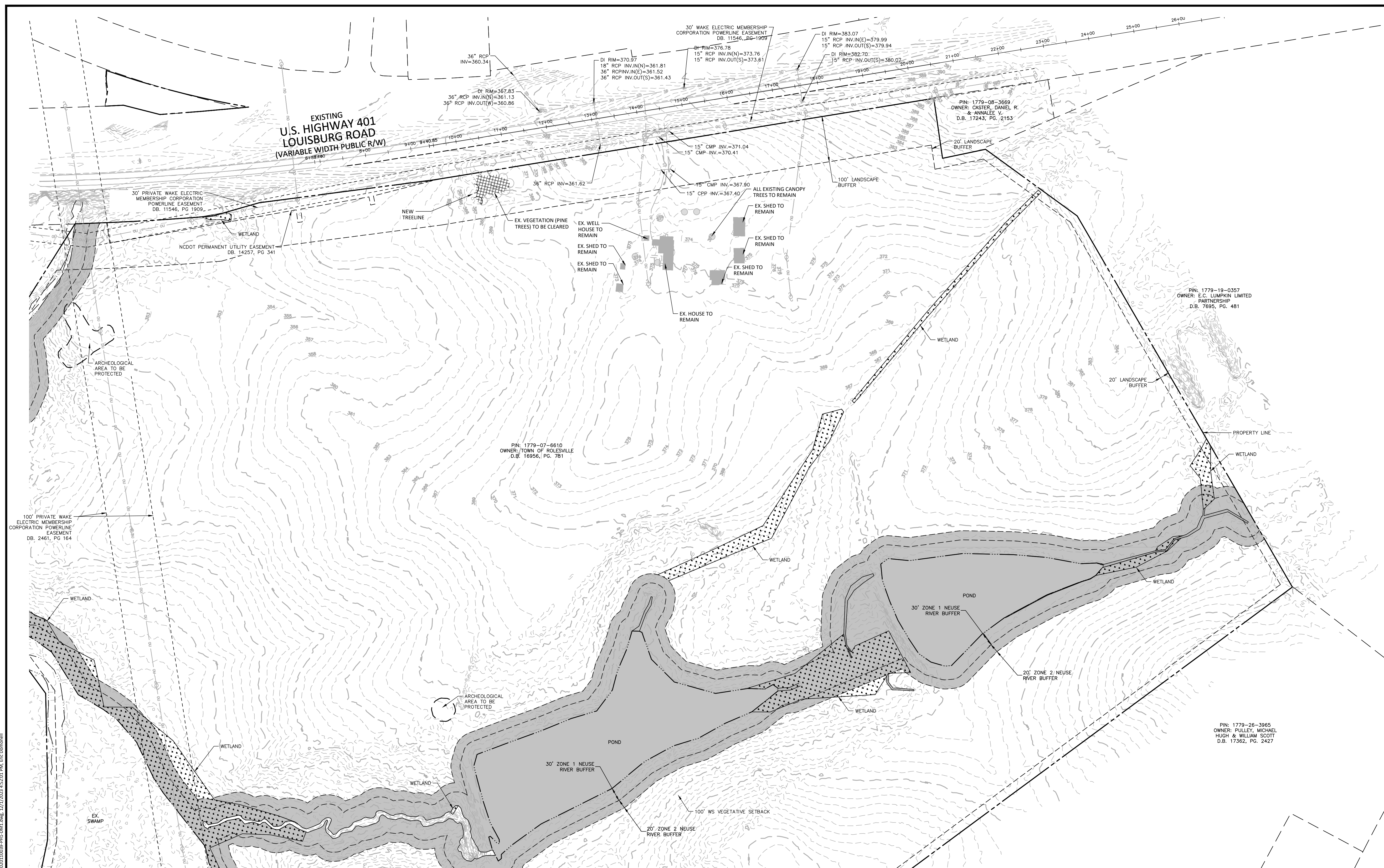
SHEET

OVERALL DEMOLITION PLAN

C1.10

CID-23-5

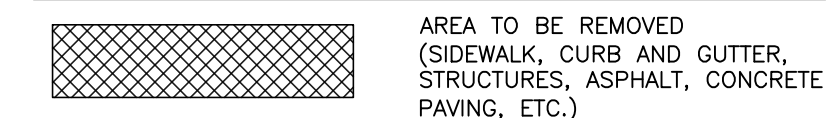
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



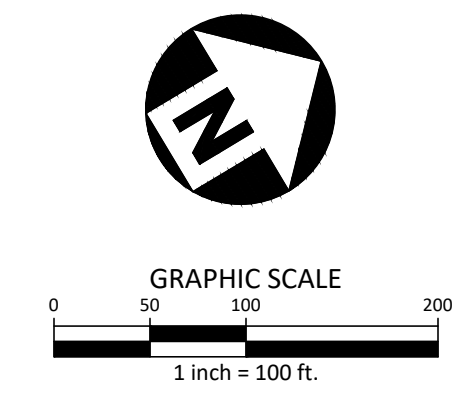
DEMOLITION NOTES

- UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND SPECIFICATIONS AND AS DIRECTED BY THE OWNER.
- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES. THESE FEES ARE TO BE INCLUDED WITH THE BID. THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
- THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
- CONTRACTOR SHALL COMPLETELY DEMOLISH ALL EXISTING IMPROVEMENTS NOTED FOR REMOVAL ON THE APPROVED DEMOLITION PLAN. THIS INCLUDES, AS NECESSARY, FOUNDATIONS AND OTHER APPURTENANCES LOCATED ON AND AROUND THE IMPROVEMENTS SUCH AS SIGNS, CURBS, PAVEMENT, SIDEWALKS, LIGHT POLE BASES, HYDRANTS, BOLLARDS, ETC. ALL REMOVED MATERIAL SHALL BE DISPOSED OF OFFSITE IN A LAWFUL MANNER OR RECYCLED. IF POSSIBLE, CONTRACTOR SHALL MAKE EVERY ATTEMPT TO RECYCLE ANY DEBRIS AND RUBBISH THAT IS RECYCLABLE.
- CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK. CONTRACTOR SHALL TAKE EXTRA PRECAUTIONS AND CARE TO PRESERVE TREES DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
- ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR TO FLAG ALL TREES SLATED FOR REMOVAL AND SEEK APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO DEMOLISHING.

DEMOLITION LEGEND



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



M:\Projects\WOL_2020110039\Frazier Farm Park\04-Production\Engineering\Phase1A\CID\2020110039-PH1-DM1.dwg, 12/1/2023, 4:52:03 PM, Eric Donnell



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919.361.5000
fax 919.361.2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-OAS1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=100'
DATE 12.01.2023

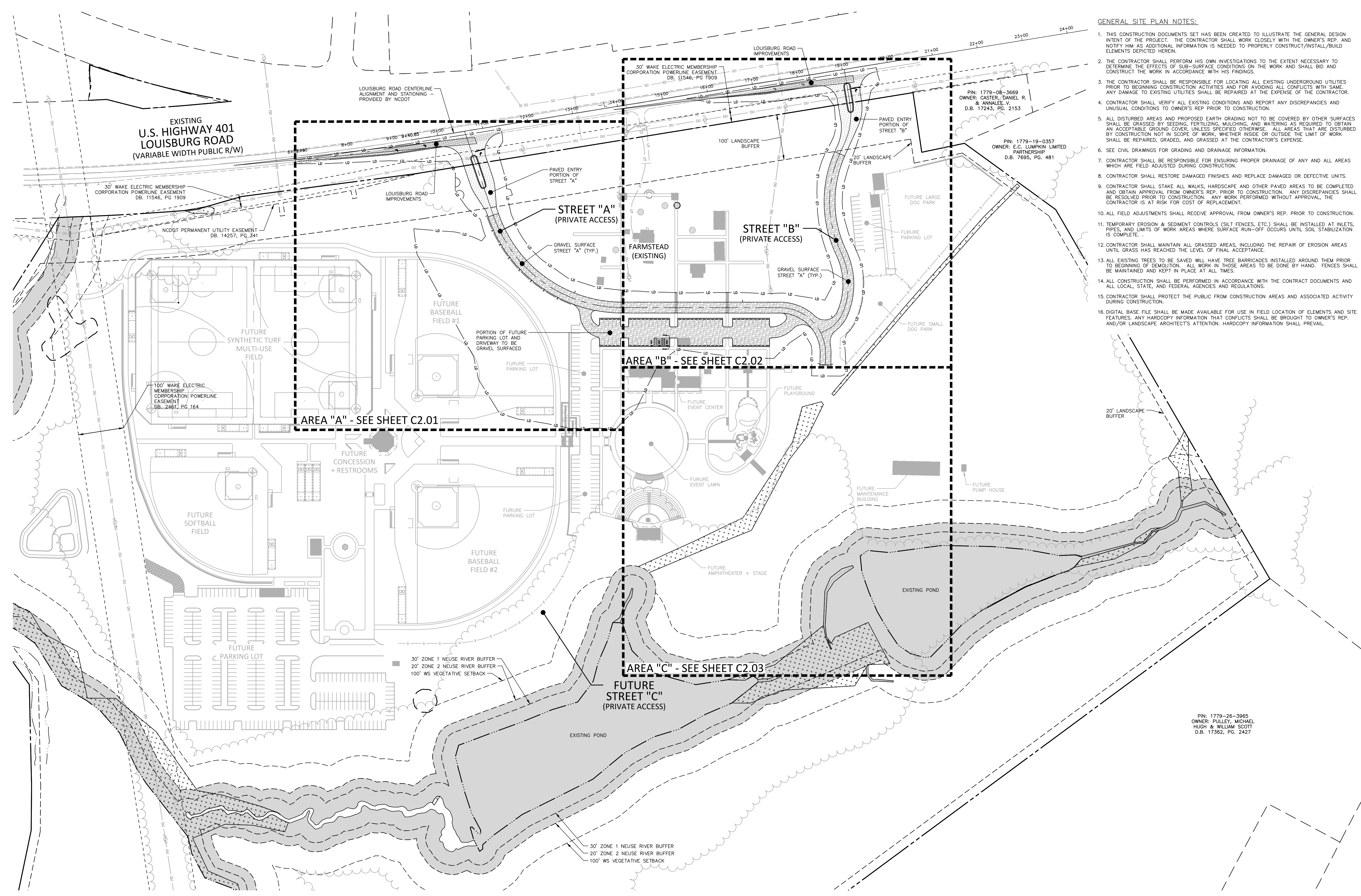
SHEET

OVERALL SITE PLAN
C2.00

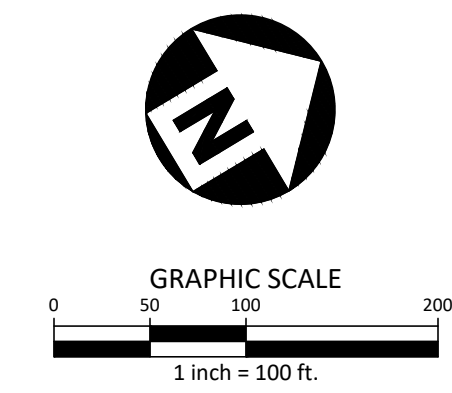
CID-23-5

GENERAL SITE PLAN NOTES:

1. THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.
2. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REP PRIOR TO CONSTRUCTION.
5. ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING, AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION NOT IN SCOPE OF WORK, WHETHER INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED, AND GRASSED AT THE CONTRACTOR'S EXPENSE.
6. SEE CIVIL DRAWINGS FOR GRADING AND DRAINAGE INFORMATION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
8. CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
9. CONTRACTOR SHALL STAKE ALL WALKS, HARDSCAPE AND OTHER PAVED AREAS TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION. ANY WORK PERFORMED WITHOUT APPROVAL, THE CONTRACTOR IS AT RISK FOR COST OF REPLACEMENT.
10. ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION.
11. TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, AND LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE.
12. CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
13. ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
14. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
15. CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.
16. DIGITAL BASE FILE SHALL BE MADE AVAILABLE FOR USE IN FIELD LOCATION OF ELEMENTS AND SITE FEATURES. ANY HANDCOPED INFORMATION THAT CONFLICTS SHALL BE BROUGHT TO OWNER'S REP. AND/OR LANDSCAPE ARCHITECT'S ATTENTION. HANDCOPED INFORMATION SHALL PREVAIL.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\WOL\2020110039\Frazier Farm Park\04-Production\Engineering\Phase1A\CID\2020110039-PH1-OAS1.dwg, 12/1/2023, 4:52:09 PM, Eric Donnell



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

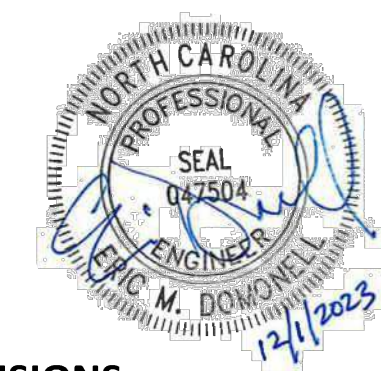
phone 919.361.5000
fax 919.361.2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

**FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA**



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-S1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=30'
DATE 12.01.2023

SHEET

SITE PLAN: AREA 'A'

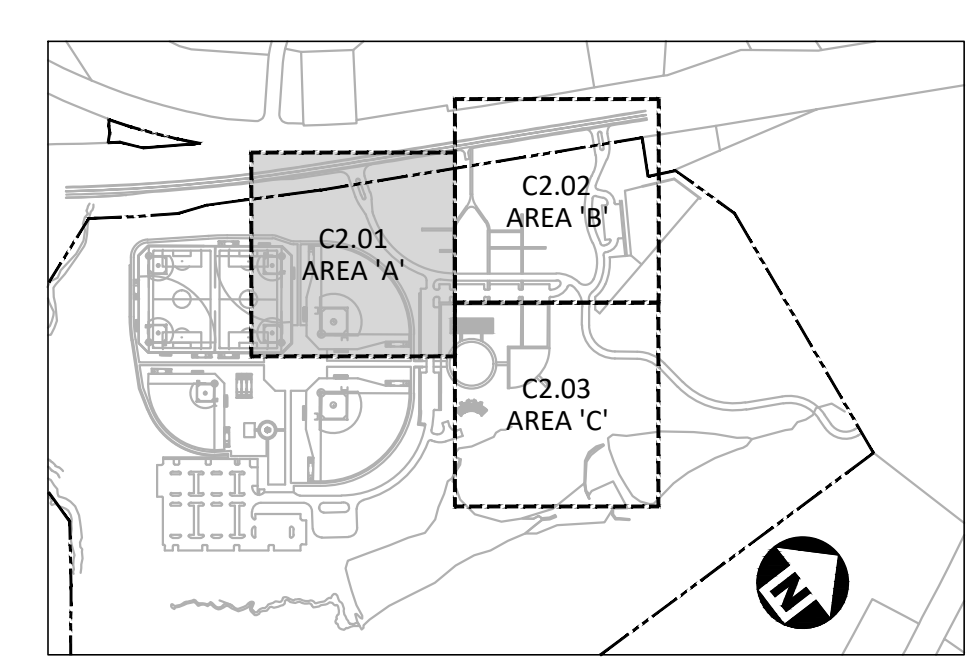
C2.01

SITE LEGEND

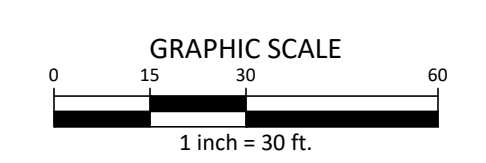
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	ABC TRAVEL SURFACE TO BE ASPHALT PAVED IN FUTURE PHASE
	US-401 PAVEMENT

GENERAL SITE PLAN NOTES:

1. THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.
2. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REP PRIOR TO CONSTRUCTION.
5. ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING, AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION NOT IN SCOPE OF WORK, WHETHER INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED, AND GRASSED AT THE CONTRACTOR'S EXPENSE.
6. SEE CIVIL DRAWINGS FOR GRADING AND DRAINAGE INFORMATION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
8. CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UTILITIES.
9. CONTRACTOR SHALL STAKE ALL WALKS, HARDSCAPE AND OTHER PAVED AREAS TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION. ANY WORK PERFORMED WITHOUT APPROVAL, THE CONTRACTOR IS AT RISK FOR COST OF REPLACEMENT.
10. ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION.
11. TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, AND LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE.
12. CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
13. ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
14. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
15. CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.
16. DIGITAL BASE FILE SHALL BE MADE AVAILABLE FOR USE IN FIELD LOCATION OF ELEMENTS AND SITE FEATURES. ANY HARD COPY INFORMATION THAT CONFLICTS SHALL BE BROUGHT TO OWNER'S REP. AND/OR LANDSCAPE ARCHITECT'S ATTENTION. HARD COPY INFORMATION SHALL PREVAIL.



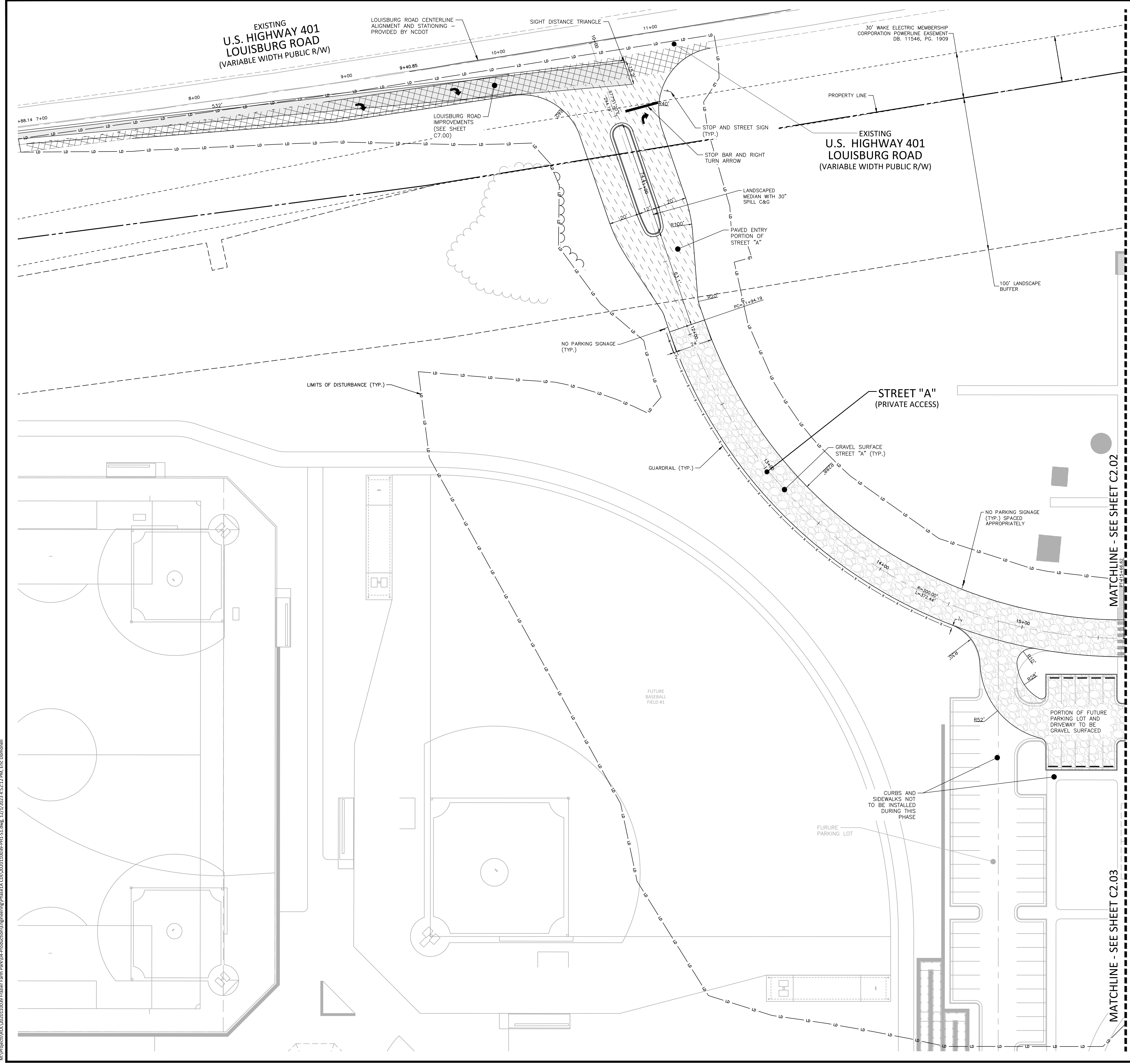
INDEX MAP
N.T.S.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

CID-23-5

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



M:\Projects\WOL\2020110039 Frazier Farm PH1A\04-Production\Engineering\Phase1A\CID\2020110039-PH1-S1.dwg, 12/7/2023 4:52:12 PM, Eric Bonaparte



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919.361.5000
fax 919.361.2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

**FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA**



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-S1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=30'
DATE 12.01.2023

SITE PLAN: AREA 'B'

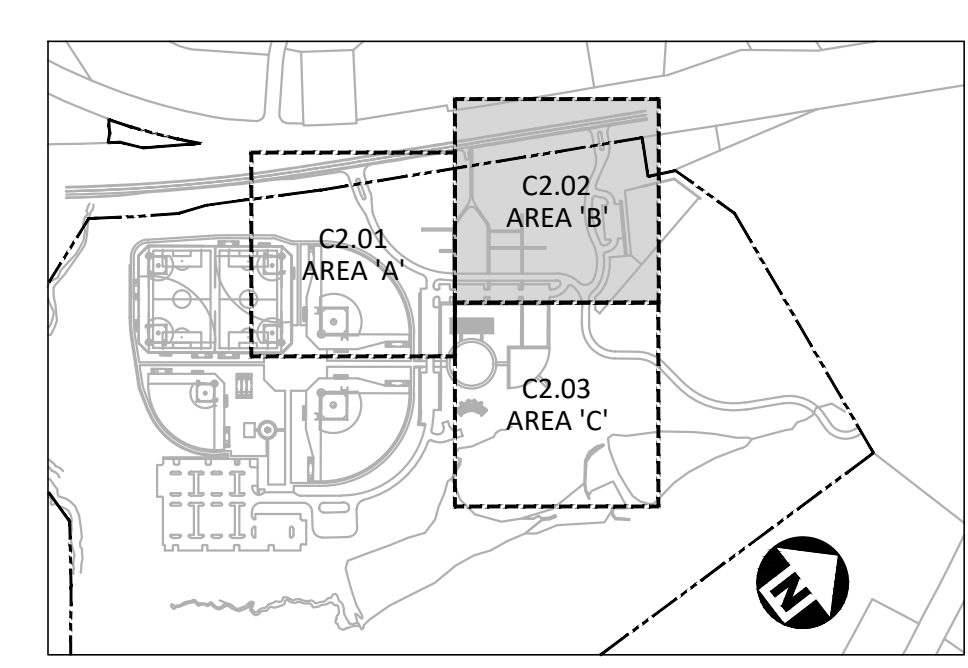
C2.02

SITE LEGEND

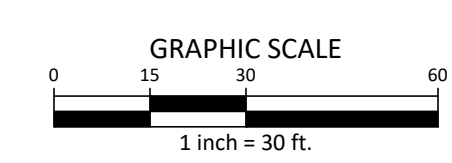
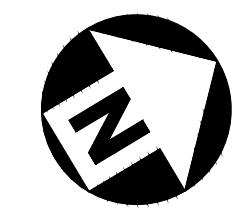
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	ABC TRAVEL SURFACE TO BE ASPHALT PAVEMENT IN FUTURE PHASE
	US-401 PAVEMENT

GENERAL SITE PLAN NOTES:

- THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.
- THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REP PRIOR TO CONSTRUCTION.
- ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING, AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION NOT IN SCOPE OF WORK, WHETHER INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED, AND GRASSED AT THE CONTRACTOR'S EXPENSE.
- SEE CIVIL DRAWINGS FOR GRADING AND DRAINAGE INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
- CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
- CONTRACTOR SHALL STAKE ALL WALKS, HARDSCAPE AND OTHER PAVED AREAS TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION. ANY WORK PERFORMED WITHOUT APPROVAL, THE CONTRACTOR IS AT RISK FOR COST OF REPLACEMENT.
- ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION.
- TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, AND LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE.
- CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
- ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
- CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.
- DIGITAL BASE FILE SHALL BE MADE AVAILABLE FOR USE IN FIELD LOCATION OF ELEMENTS AND SITE FEATURES. ANY HARD COPY INFORMATION THAT CONFLICTS SHALL BE BROUGHT TO OWNER'S REP. AND/OR LANDSCAPE ARCHITECT'S ATTENTION. HARD COPY INFORMATION SHALL PREVAIL.



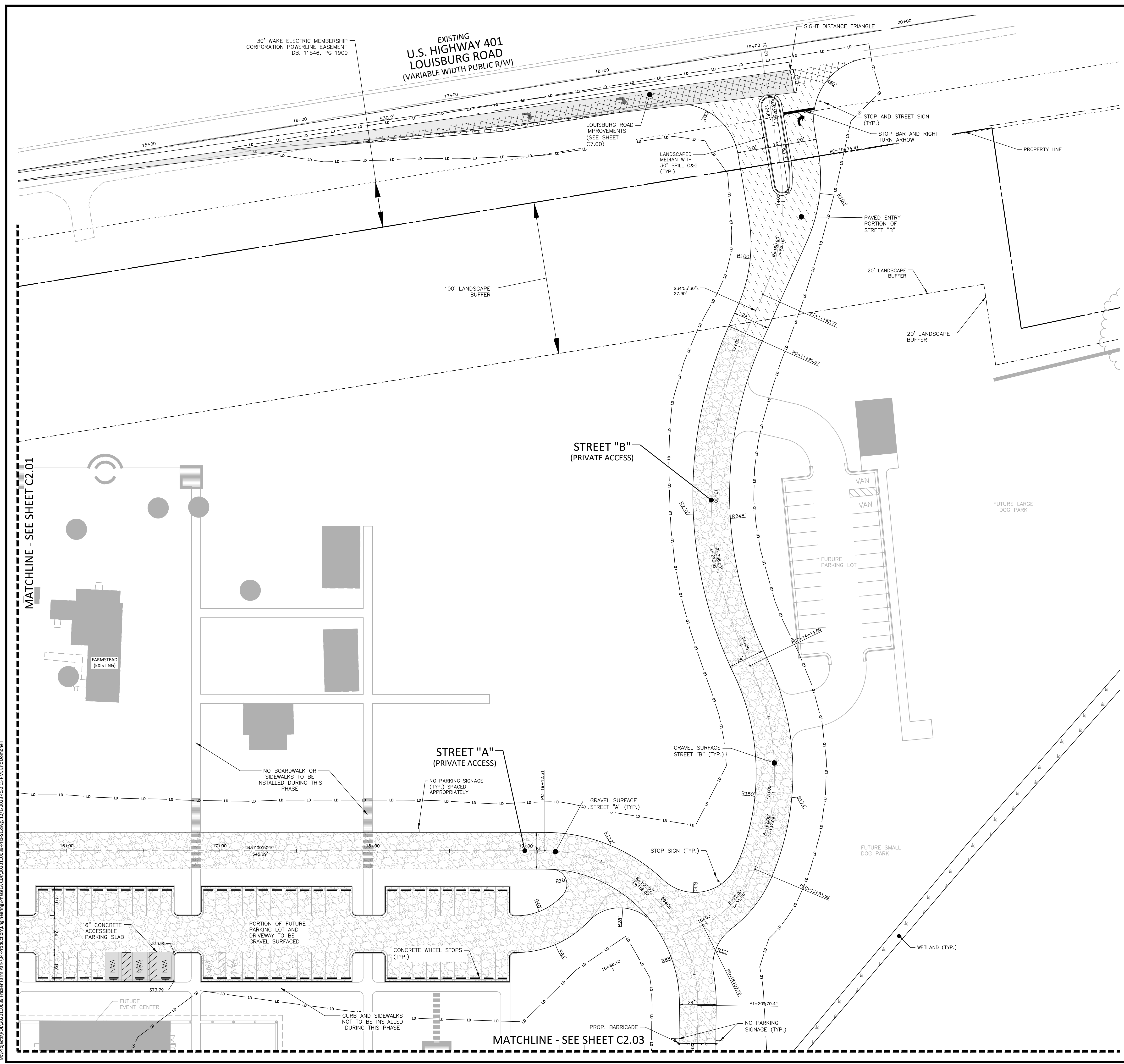
INDEX MAP
N.T.S.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

CID-23-5

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



MATCHLINE - SEE SHEET C2.01

MATCHLINE - SEE SHEET C2.03

M:\Projects\WOL\2020110039 Frazier Farm Park\04-Production\Engineering\Phase1A\CID\2020110039-PH1-S1.dwg, 12/1/2023 4:52:15 PM, Eric Dombrell



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

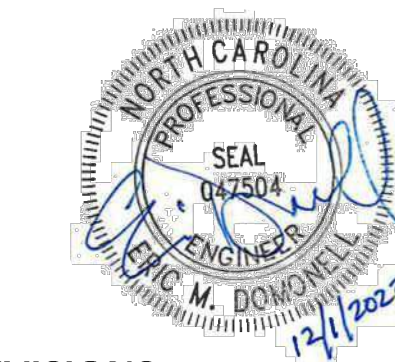
phone 919.361.5000
fax 919.361.2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

**FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA**



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-S1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=30'
DATE 12.01.2023

SHEET

SITE PLAN: AREA 'C'

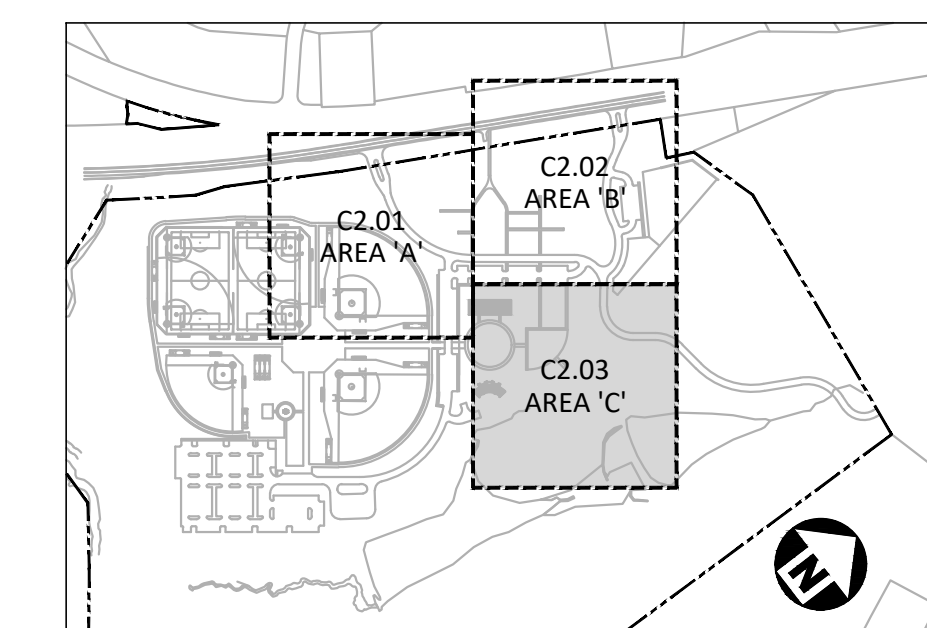
C2.03

SITE LEGEND

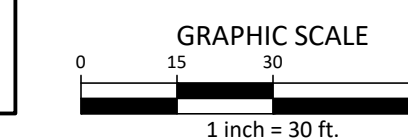
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	ABC TRAVEL SURFACE TO BE ASPHALT PAVED IN FUTURE PHASE
	US-401 PAVEMENT

GENERAL SITE PLAN NOTES:

1. THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.
2. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REP PRIOR TO CONSTRUCTION.
5. ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING, AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION NOT IN SCOPE OF WORK, WHETHER INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED, AND GRASSED AT THE CONTRACTOR'S EXPENSE.
6. SEE CIVIL DRAWINGS FOR GRADING AND DRAINAGE INFORMATION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
8. CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
9. CONTRACTOR SHALL STAKE ALL WALKS, HARDSCAPE AND OTHER PAVED AREAS TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION. ANY WORK PERFORMED WITHOUT APPROVAL, THE CONTRACTOR IS AT RISK FOR COST OF REPLACEMENT.
10. ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION.
11. TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, AND LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE.
12. CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
13. ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
14. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
15. CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.
16. DIGITAL BASE FILE SHALL BE MADE AVAILABLE FOR USE IN FIELD LOCATION OF ELEMENTS AND SITE FEATURES. ANY HARD COPY INFORMATION THAT CONFLICTS SHALL BE BROUGHT TO OWNER'S REP. AND/OR LANDSCAPE ARCHITECT'S ATTENTION. HARD COPY INFORMATION SHALL PREVAIL.



INDEX MAP
N.T.S.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

CID-23-5

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

MATCHLINE - SEE SHEET C2.02

LIMITS OF DISTURBANCE

FUTURE CONDITION - NOT TO BE BUILT PER THIS PHASE

FUTURE PLAYGROUND

FUTURE MAINTENANCE BUILDING

100' WS VEGETATIVE SETBACK

30' ZONE 1 NEUSE RIVER BUFFER

20' ZONE 2 NEUSE RIVER BUFFER

EXISTING POND

FUTURE EVENT CENTER

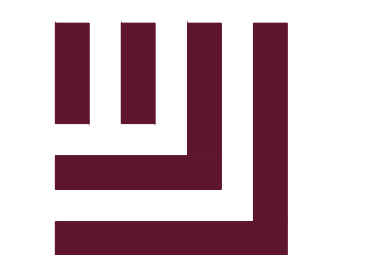
FUTURE EVENT LAWN

FUTURE AMPHITHEATER + STAGE

WETLAND

MATCHLINE - SEE SHEET C2.01

M:\Projects\WOL\2020110039 Frazier Farm PHA\04-Production\Engineering\Phase1A\CID\2020110039-PH1-S1.dwg, 12/7/2023 4:52:20 PM, Eric Bonaparte



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

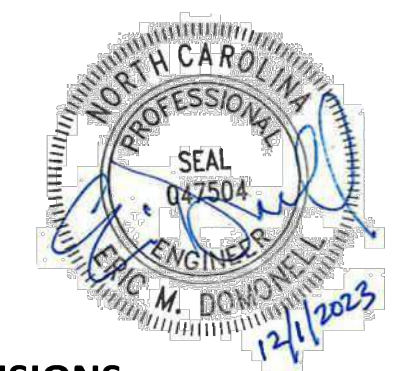
phone 919.361.5000
fax 919.361.2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 202011039-PH1-0A61
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=100'
DATE 12.01.2023

SHEET

OVERALL GRADING & DRAINAGE PLAN

C3.00

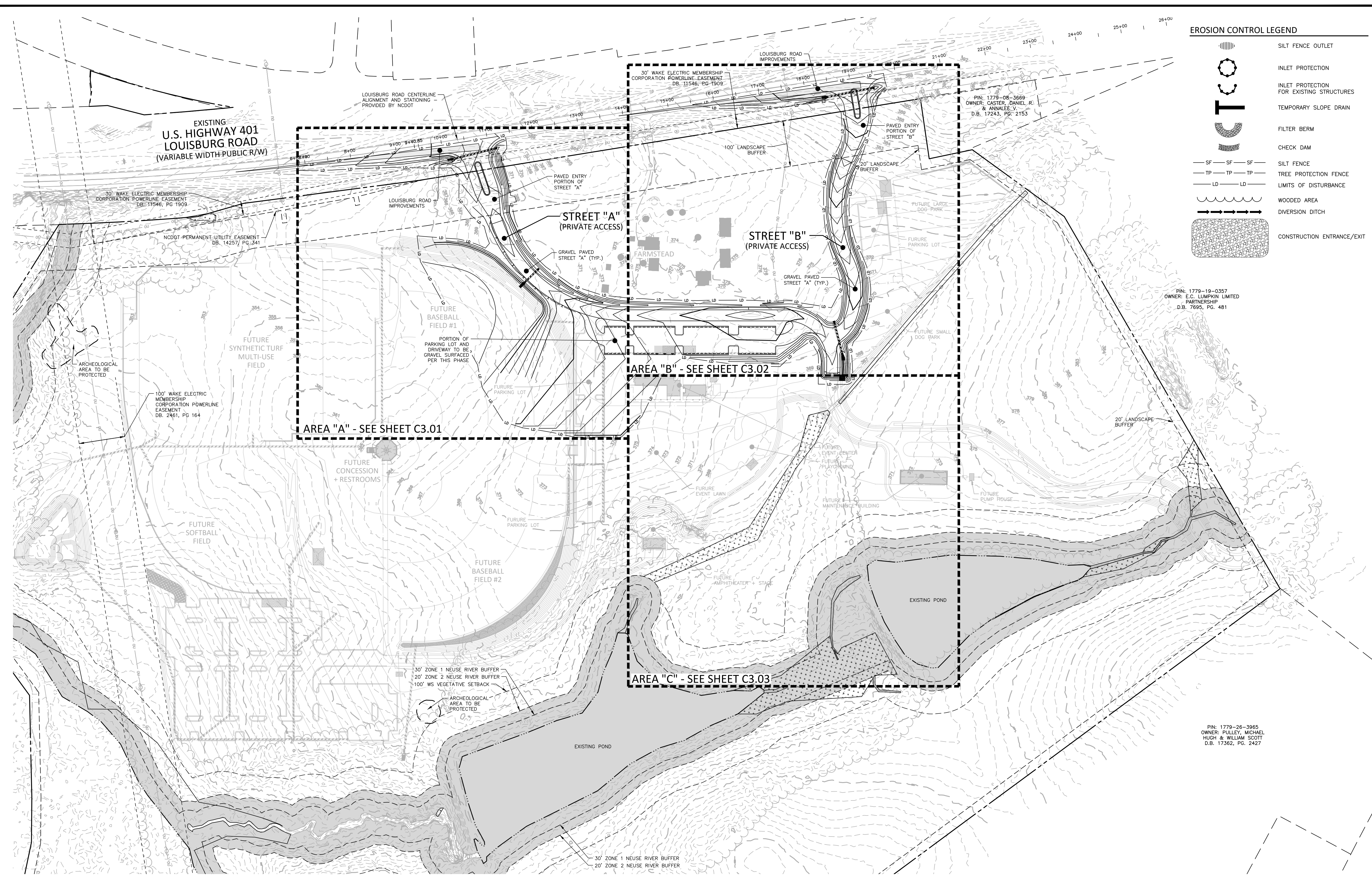
CID-23-5

EROSION CONTROL LEGEND

- SILT FENCE OUTLET
- INLET PROTECTION FOR EXISTING STRUCTURES
- TEMPORARY SLOPE DRAIN
- FILTER BERM
- CHECK DAM
- SILT FENCE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- DIVERSION DITCH
- CONSTRUCTION ENTRANCE/EXIT

PIN: 1779-19-0357
OWNER: E.C. LUMPKIN LIMITED PARTNERSHIP
D.B. 7695, PG. 481

PIN: 1779-26-3665
OWNER: PULLEY, MICHAEL HUGH & WILLIAM SCOTT
D.B. 17362, PG. 2427



GRADING LEGEND

- | | | | |
|--|------------------------------|----------|--|
| | FLARED END SECTION | + 250.60 | SPOT ELEVATION |
| | ENDWALL SECTION | | STORM DRAINAGE |
| | CATCH BASIN | | STORM SERVICE LINE |
| | DROP INLET | | ROOF DRAIN, 8" ADS
NON-PERFORATED TUBING OR
EQUAL 1.0% MIN. SLOPE 3' MIN.
COVER PVC SCHEDULE 40 IN
TRAFFIC AREAS |
| | STORM SERVICE INLET | | TREE PROTECTION FENCE |
| | STORM SERVICE ROOF-RAIN | | LIMITS OF DISTURBANCE |
| | JUNCTION BOX | | WOODED AREA |
| | DRAINAGE FLOW ARROW | | MAJOR CONTOUR |
| | LINE BREAK SYMBOL | | MINOR CONTOUR |
| | TOP & BOTTOM CURB ELEVATIONS | 250 | EXISTING MINOR CONTOUR |
| | TOP OF WALL ELEVATION | 252 | EASEMENT LINE |
| | BOTTOM OF WALL ELEVATION | 250 | |
| | TOP OF WALL ELEVATION | 252 | |
| | BOTTOM OF WALL ELEVATION | 252 | |
- (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)

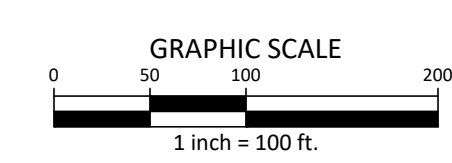
GRADING NOTES

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
3. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4849) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
4. A PRE-CONSTRUCTION CONFERENCE WILL BE HELD PRIOR TO ANY LAND DISTURBING ACTIVITY. AS DEEMED NECESSARY, THE OWNER, ENGINEER, CONTRACTOR, AND REPRESENTATIVES FROM NCDOT WILL BE INVITED TO ATTEND THE MEETING. FOR NCDOT REPRESENTATIVES, CONTACT DIVISION OF LAND QUALITY AT (910) 433-3300 PRIOR TO START OF CONSTRUCTION.
5. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
6. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
7. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES LESS THAN 4:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

STORM DRAINAGE NOTES:

1. ALL STORM DRAINAGE PIPES SHOWN SHALL BE CORRUGATED HDPE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ROLESVILLE STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
5. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
6. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
7. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
8. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\NC\202011039 Frazier Farm PH1\04-Production\Engineering\Phase1A_CID\202011039-PH1-0A61.dwg, 12/17/2023 4:52:31 PM, Eric Donohue



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

**FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA**



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-G1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=30'
DATE 12.01.2023

SHEET

**GRADING & DRAINAGE
PLAN: AREA 'A'**

C3.01

CID-23-5

GRADING LEGEND

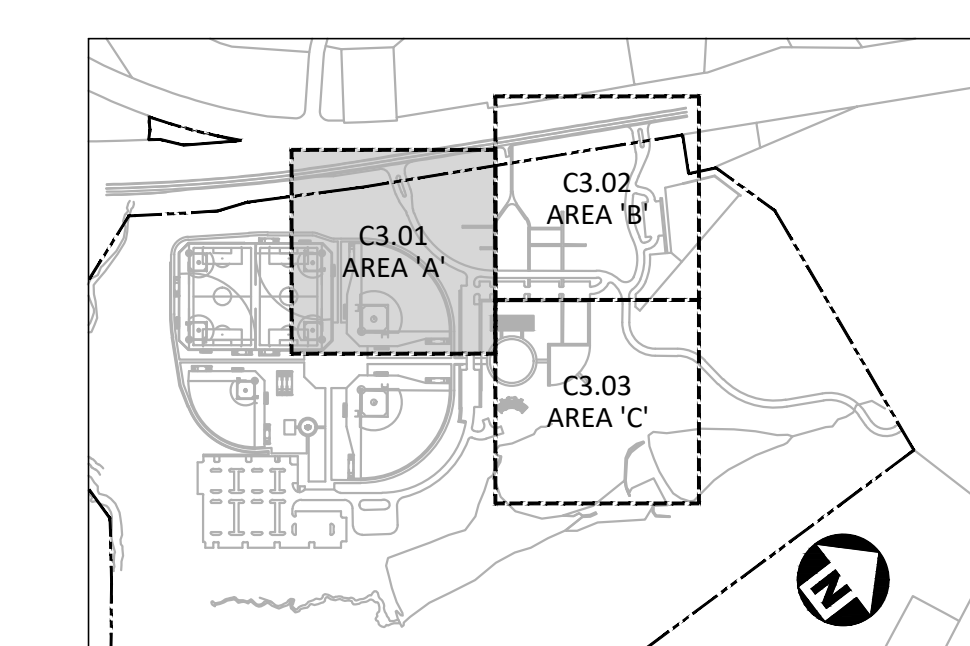
	FLARED END SECTION
	ENDWALL SECTION
	CATCH BASIN
	DROP INLET
	JUNCTION BOX
	DRAINAGE FLOW ARROW
	TOP & BOTTOM CURB ELEVATIONS
	SPOT ELEVATION
	STORM DRAINAGE
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	WOODED AREA
	MAJOR CONTOUR
	MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EASEMENT LINE
	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

GRADING NOTES

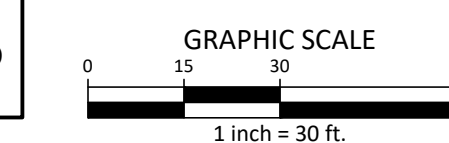
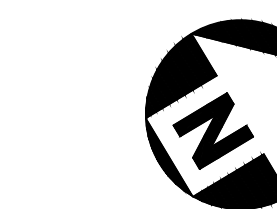
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD PRIOR TO ANY LAND DISTURBING ACTIVITY. AS DEEMED NECESSARY, THE OWNER, ENGINEER, CONTRACTOR, AND REPRESENTATIVES FROM NCDEQ WILL BE INVITED TO ATTEND THE MEETING. FOR NCDEQ REPRESENTATIVES, CONTACT DIVISION OF LAND QUALITY AT (910) 433-3300 PRIOR TO START OF CONSTRUCTION.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES LESS THAN 4:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

STORM DRAINAGE NOTES:

- ALL STORM DRAINAGE PIPES SHOWN SHALL BE CORRUGATED HDPE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ROLESVILLE STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B. FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.

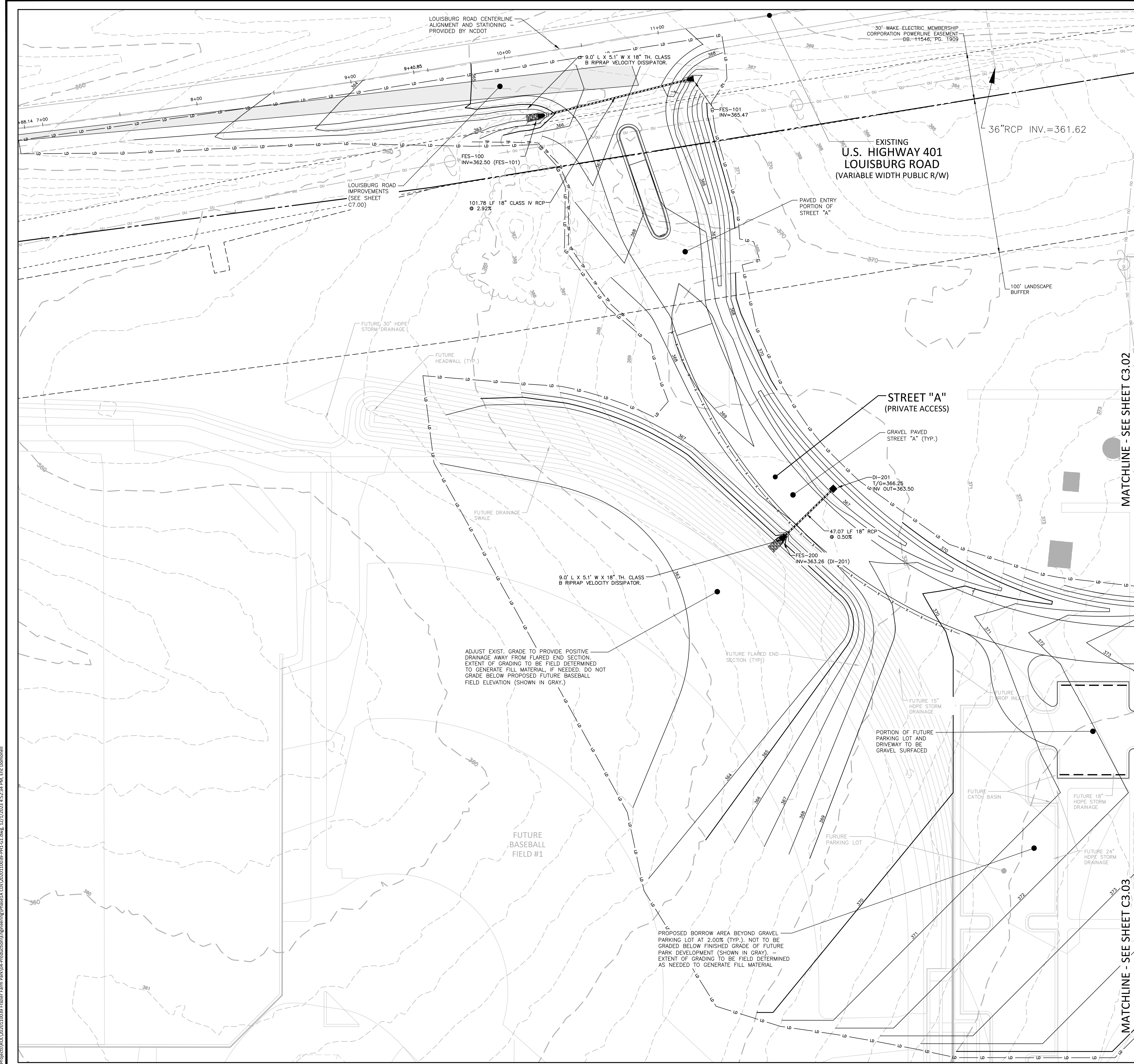


INDEX MAP
N.T.S.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



M:\Projects\WOL\2020110039 Frazier Farm PH1A\04-Production\Engineering\Phase1A_CD\2020110039-PH1-G1.dwg, 12/1/2023 4:52:34 PM, Eric Domonail



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-G1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=30'
DATE 12.01.2023

SHEET

GRADING & DRAINAGE
PLAN: AREA 'B'

C3.02

CID-23-5

GRADING LEGEND

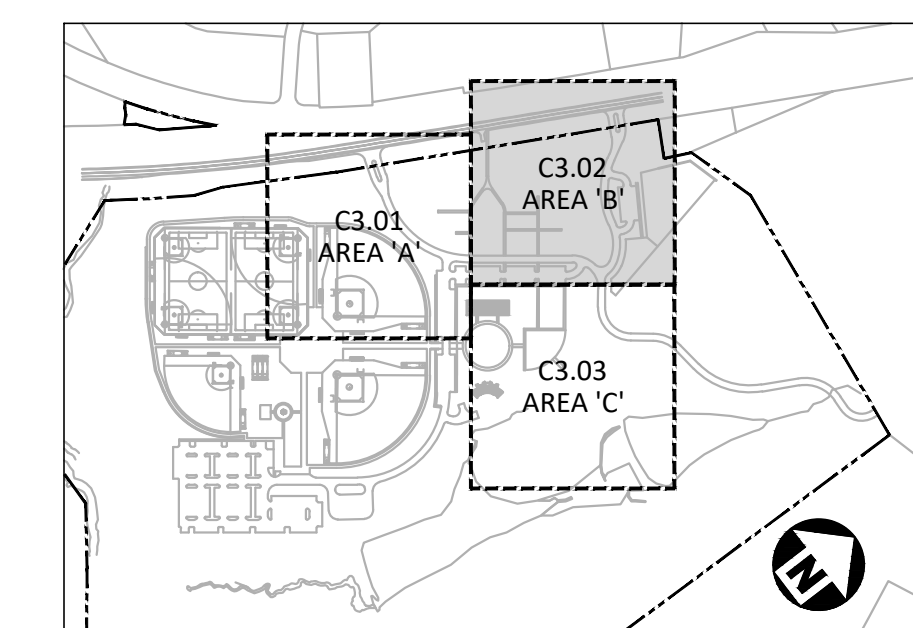
- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- TOP & BOTTOM CURB ELEVATIONS
- SPOT ELEVATION
- STORM DRAINAGE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA
(2% MAX. SLOPE IN ALL DIRECTIONS)

GRADING NOTES

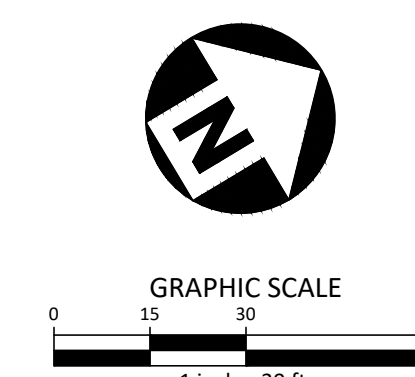
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION; FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD PRIOR TO ANY LAND DISTURBING ACTIVITY. AS DEEMED NECESSARY, THE OWNER, ENGINEER, CONTRACTOR, AND REPRESENTATIVES FROM NCDEQ WILL BE INVITED TO ATTEND THE MEETING. FOR NCDEQ REPRESENTATIVES, CONTACT DIVISION OF LAND QUALITY AT (910) 433-3300 PRIOR TO START OF CONSTRUCTION.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES LESS THAN 4:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

STORM DRAINAGE NOTES:

- ALL STORM DRAINAGE PIPES SHOWN SHALL BE CORRUGATED HDPE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ROLESVILLE STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B. FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.



INDEX MAP
N.T.S.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



MATCHLINE - SEE SHEET C3.03

MATCHLINE - SEE SHEET C3.01

M:\Projects\WOL\2020110039 Frazier Farm PH1A\04-Production\Engineering\Phase1A_CD\2020110039-PH1-G1.dwg, 12/1/2023 4:52:37 PM, Eric Domonell



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

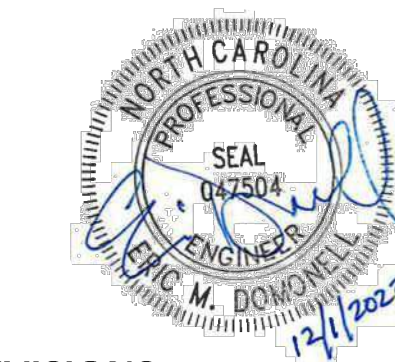
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

**FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA**



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-G1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=30'
DATE 12.01.2023

SHEET

**GRADING & DRAINAGE
PLAN: AREA 'C'**

C3.03

CID-23-5

GRADING LEGEND

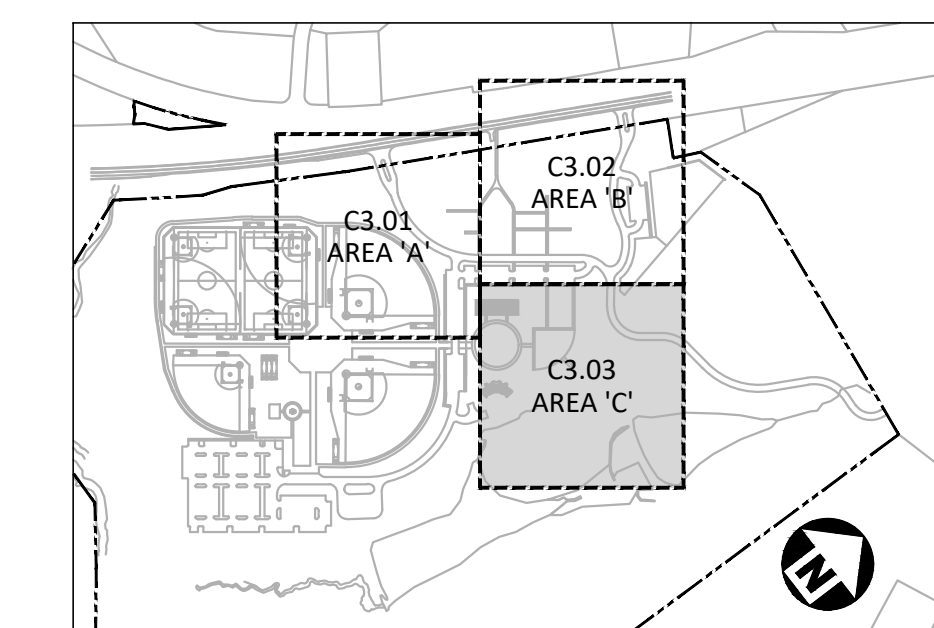
	FLARED END SECTION
	ENDWALL SECTION
	CATCH BASIN
	DROP INLET
	JUNCTION BOX
	DRAINAGE FLOW ARROW
	TOP & BOTTOM CURB ELEVATIONS
	SPOT ELEVATION
	STORM DRAINAGE
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	WOODED AREA
	MAJOR CONTOUR
	MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EASEMENT LINE
	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

GRADING NOTES

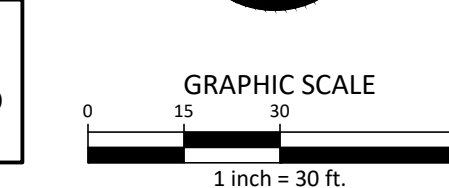
1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
3. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
4. A PRE-CONSTRUCTION CONFERENCE WILL BE HELD PRIOR TO ANY LAND DISTURBING ACTIVITY. AS DEEMED NECESSARY, THE OWNER, ENGINEER, CONTRACTOR, AND REPRESENTATIVES FROM NCDEQ WILL BE INVITED TO ATTEND THE MEETING. FOR NCDEQ REPRESENTATIVES, CONTACT DIVISION OF LAND QUALITY AT (910) 433-3300 PRIOR TO START OF CONSTRUCTION.
5. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
6. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
7. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES LESS THAN 4:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

STORM DRAINAGE NOTES:

1. ALL STORM DRAINAGE PIPES SHOWN SHALL BE CORRUGATED HDPE UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ROLESVILLE STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B. FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
5. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
6. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
7. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
8. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.



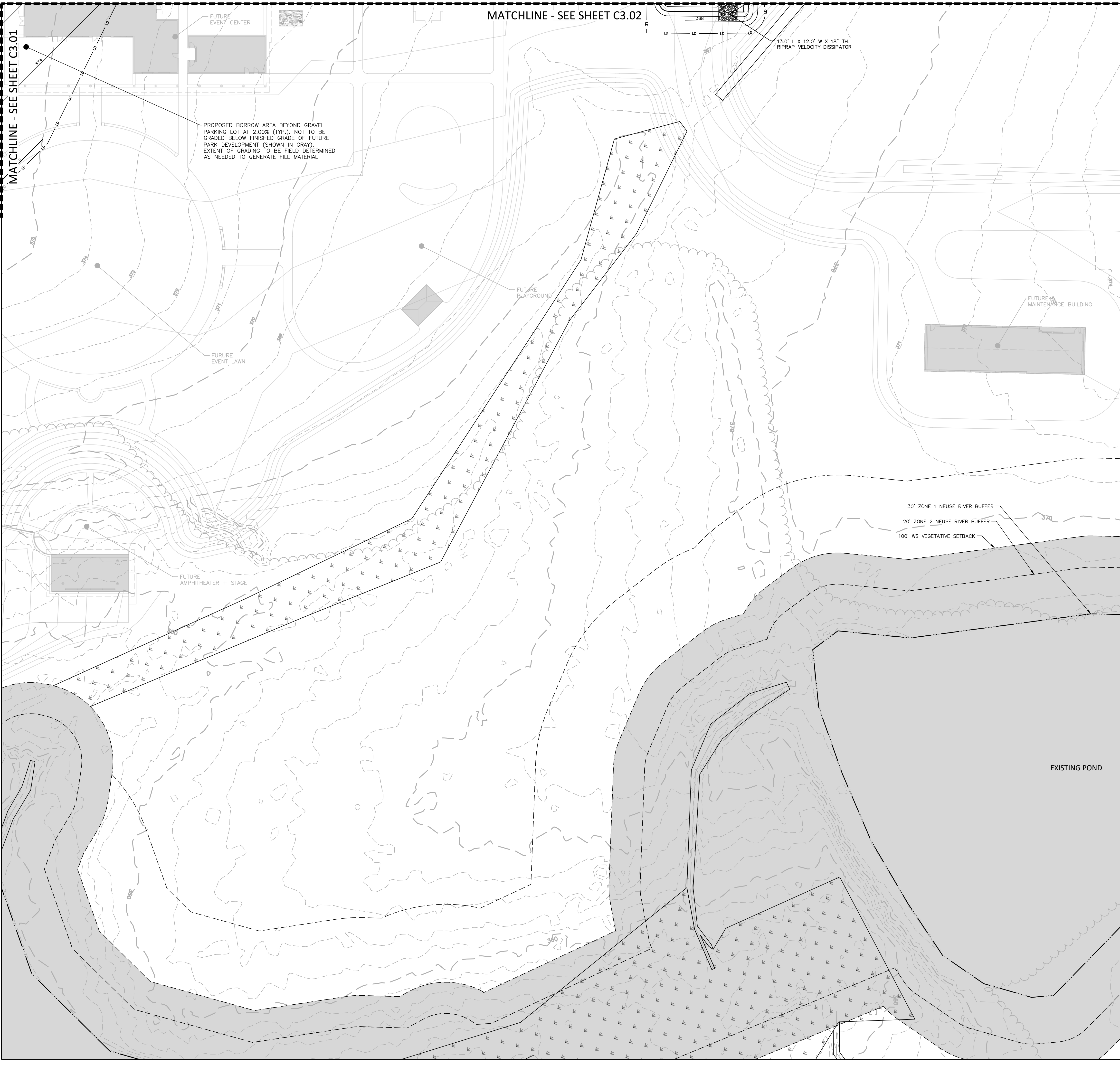
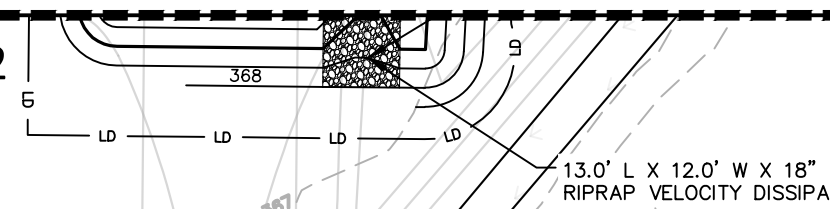
INDEX MAP
N.T.S.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

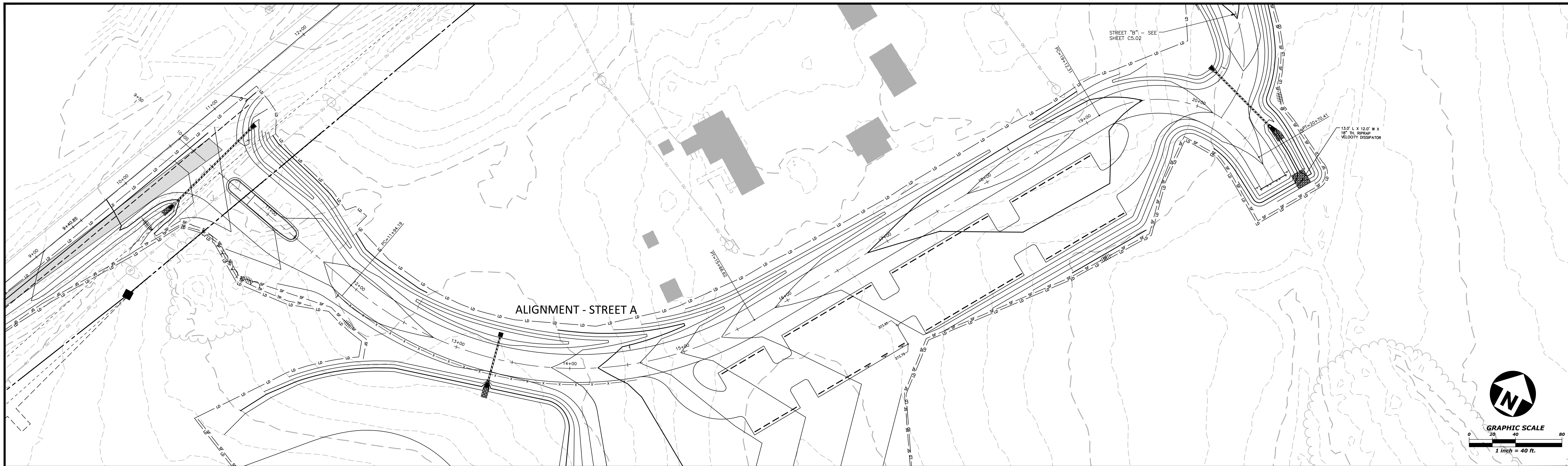
MATCHLINE - SEE SHEET C3.02



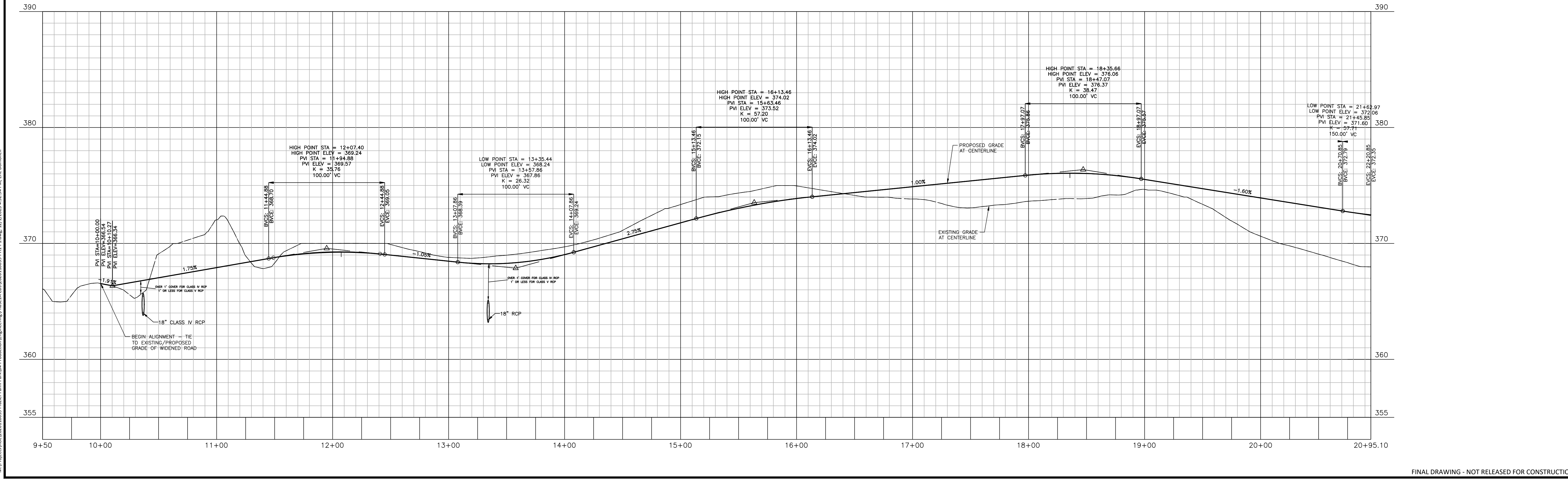
PROPOSED BORROW AREA BEYOND GRAVEL PARKING LOT AT 2.00% (TYP.), NOT TO BE GRADED BELOW FINISHED GRADE OF FUTURE PARK DEVELOPMENT (SHOWN IN GRAY). EXTENT OF GRADING TO BE FIELD DETERMINED AS NEEDED TO GENERATE FILL MATERIAL

MATCHLINE - SEE SHEET C3.01

M:\Projects\WOL_2020110039_Frazier Farm PH1-G1-Production\Engineering\Phase1A_CD\2020110039-PH1-G1.dwg, 12/1/2023 4:52:44 PM, Eric Domonail



ALIGNMENT - STREET A



M:\Projects\BOL\2020110039\Frazier Farm Park\104-Production\Engineering\Phase1A\CD\2020110039-PH1-1.dwg, 12/1/2023 4:52:54 PM, EIC, Donnell

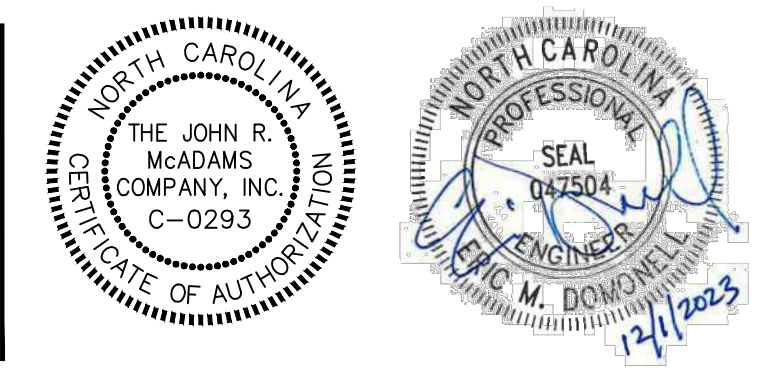
FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



The John R. McAdams Company, Inc.
621 Hillsborough Street
Suite 500
Raleigh, NC 27603
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT
TOWN OF ROLESVILLE
502 SOUTHTOWN CIRCLE
ROLESVILLE, NC 27571
PHONE: 919. 554. 6582

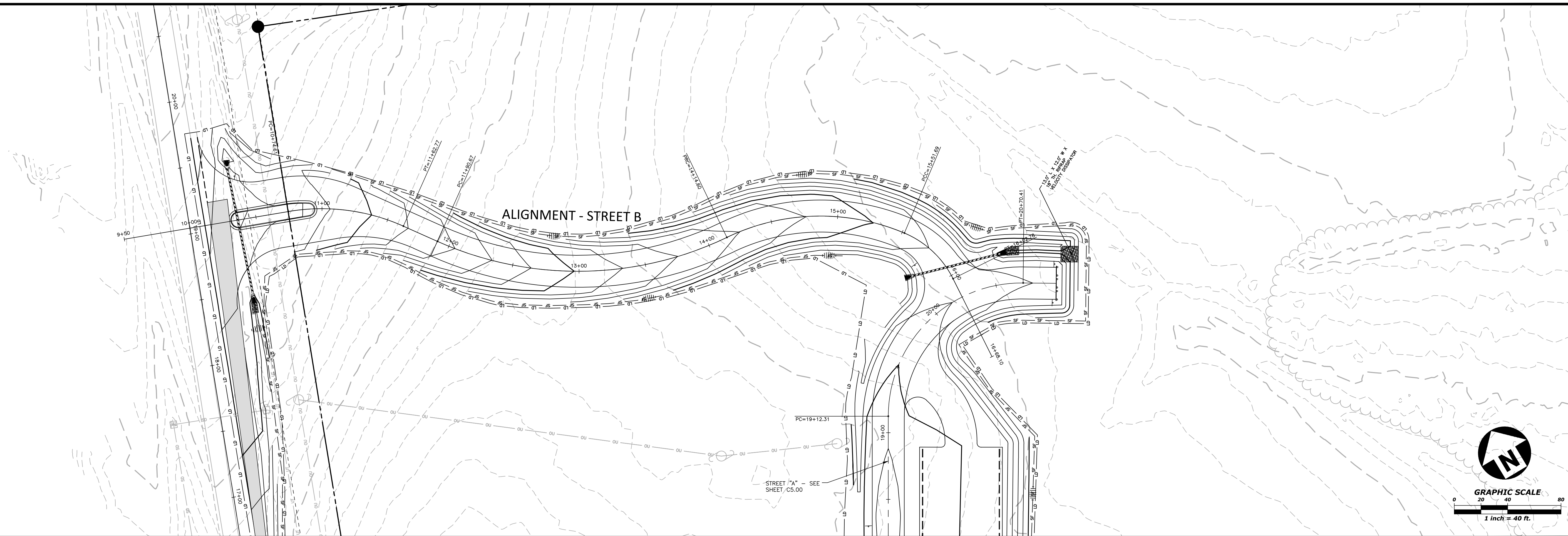
REVISIONS
NO. DATE



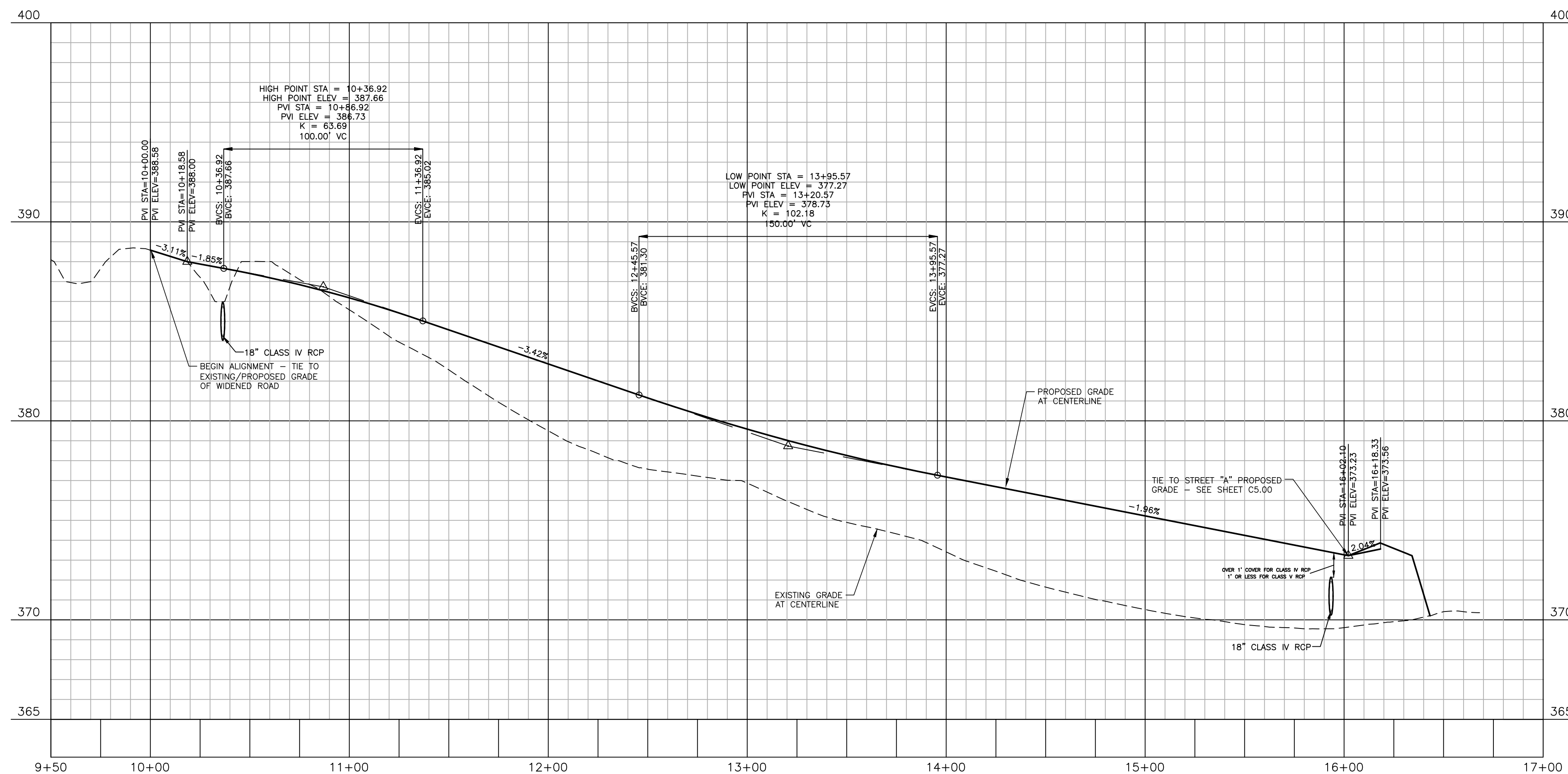
FRAZIER FARM PARK
CONSTRUCTION DRAWINGS - PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA

PLAN INFORMATION
PROJECT NO. 2020110039
FILENAME 2020110039-PH1-P1
CHECKED BY EMD
DRAWN BY SME
SCALE H:1"=40' / V:1"=4'
DATE 12.01.2023

PLAN AND PROFILE
STREET "A", STA. 10+00 THRU STA. 20+95.10
C5.00



ALIGNMENT - STREET B



FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

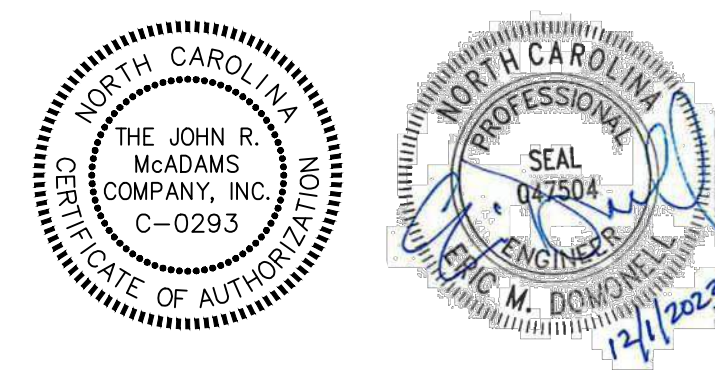
M:\Projects\BOL\2020110039\Frazer Farm Park\Production\Engineering\Phase1A\CD\2020110039-PH1-P1.dwg, 12/1/2023 4:52:56 PM, EIC, Donnell



The John R. McAdams Company, Inc.
621 Hillsborough Street
Suite 500
Raleigh, NC 27603
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT
TOWN OF ROLESVILLE
502 SOUTHTOWN CIRCLE
ROLESVILLE, NC 27571
PHONE: 919. 554. 6582

REVISIONS
NO. DATE



FRAZIER FARM PARK
CONSTRUCTION DRAWINGS - PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA

PLAN INFORMATION
PROJECT NO. 2020110039
FILENAME 2020110039-PH1-P1
CHECKED BY EMD
DRAWN BY SME
SCALE H:1"=40' / V:1"=4'
DATE 12.01.2023

PLAN AND PROFILE
STREET "B", STA. 10+00 THRU STA. 16+35

C5.01



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

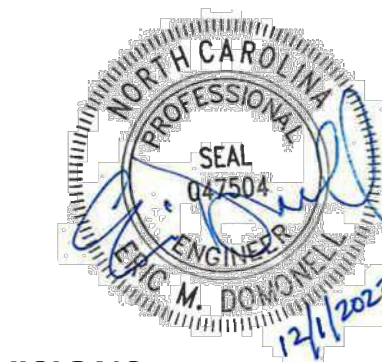
phone 919.361.5000
fax 919.361.2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-EC1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=100'
DATE 12.01.2023

SHEET

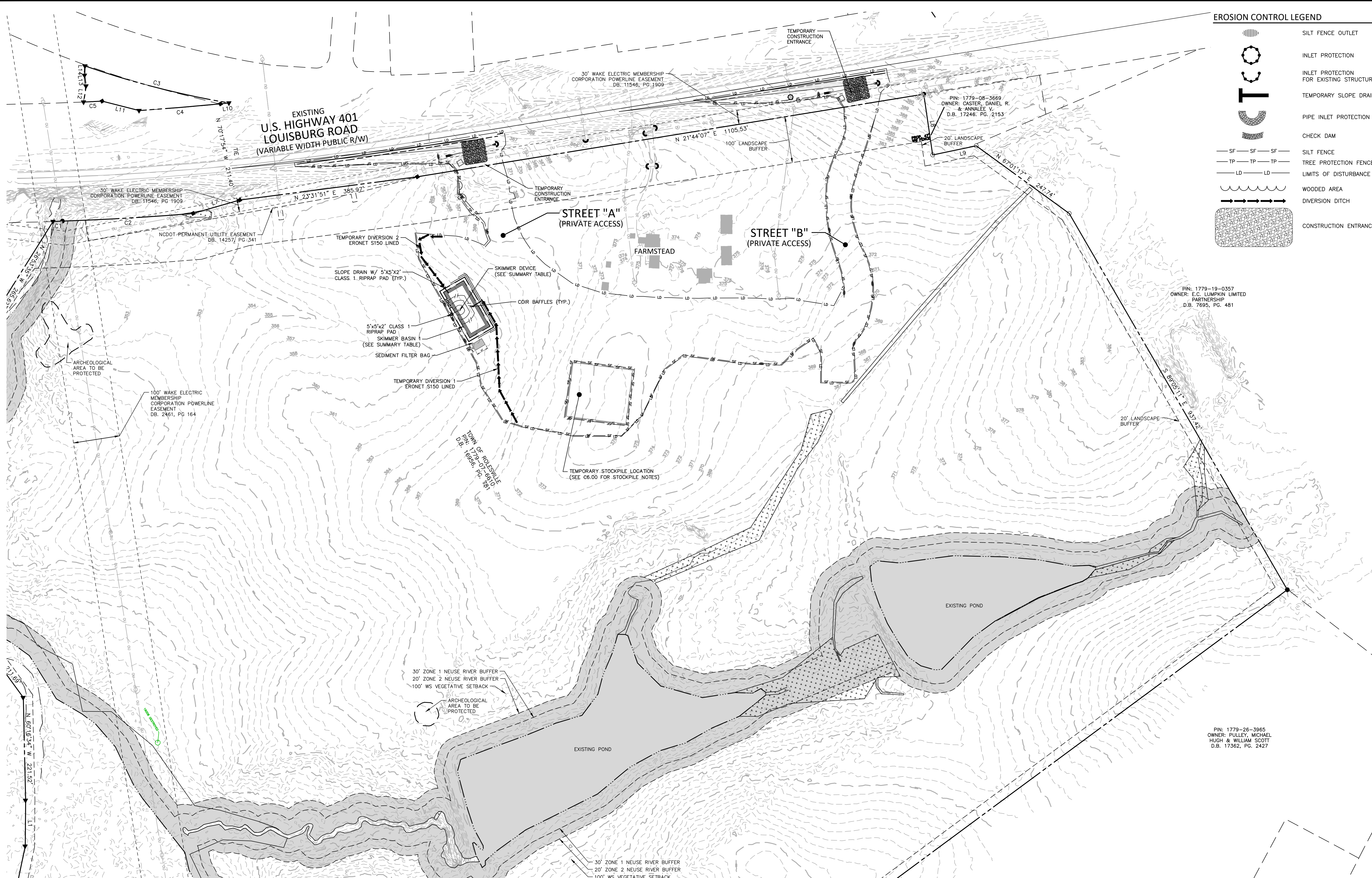
OVERALL EROSION CONTROL PLAN-STAGE I

C6.01

CID-23-5

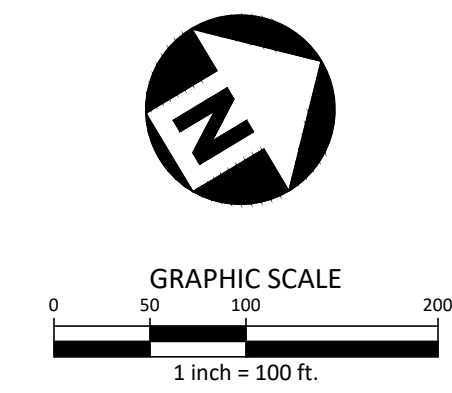
EROSION CONTROL LEGEND

- SILT FENCE OUTLET
- INLET PROTECTION FOR EXISTING STRUCTURES
- TEMPORARY SLOPE DRAIN
- PIPE INLET PROTECTION
- CHECK DAM
- SILT FENCE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- DIVERSION DITCH
- CONSTRUCTION ENTRANCE/EXIT



SEDIMENT BASIN SUMMARY TABLE				
ID	BOTTOM LENGTH X WIDTH	SPILLWAY LENGTH	SKIMMER AND ORIFICE SIZE	SIDESLOPES
SB-1	100' X 37'	15'	2" SKIMMER W/ 1.4" ORIFICE	2:1

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\WOL\2020110039 Frazier Farm Park\04-Production\Engineering\Phase1A\CID-23-5\2020110039-PH1-EC1.dwg, 12/17/2023 4:53:12 PM, Eric Donnell



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

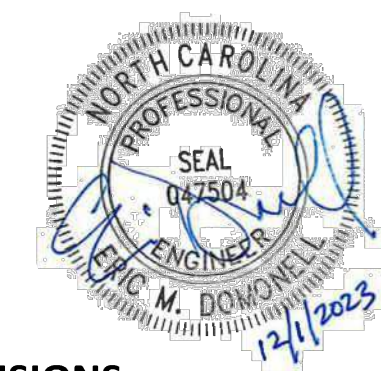
phone 919.361.5000
fax 919.361.2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-EC2
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=100'
DATE 12.01.2023

SHEET

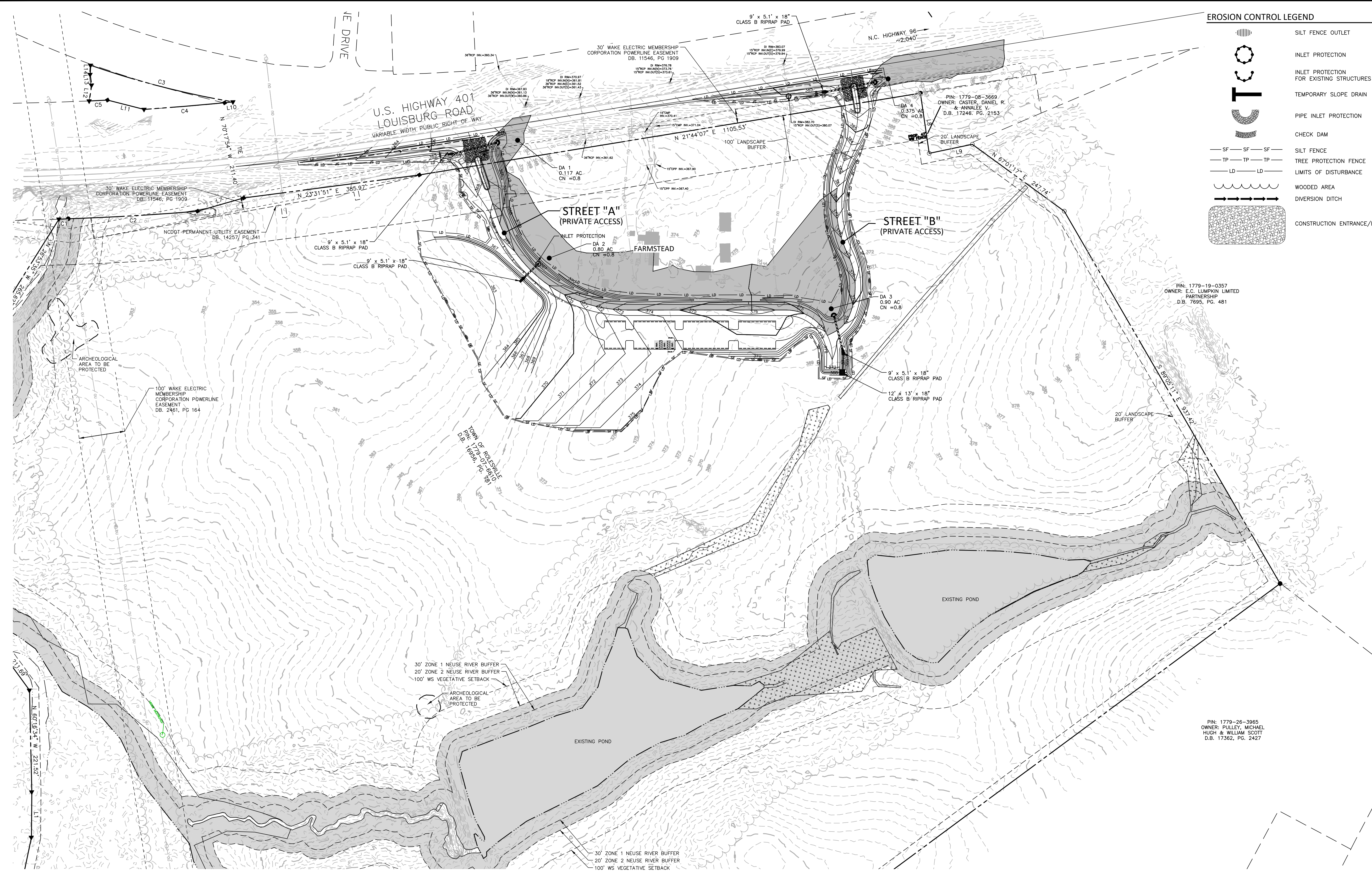
OVERALL EROSION CONTROL PLAN-STAGE II

C6.02

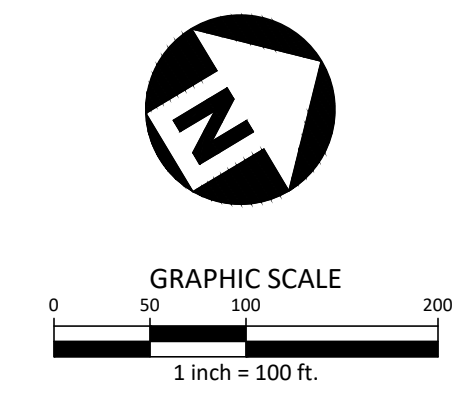
CID-23-5

EROSION CONTROL LEGEND

- SILT FENCE OUTLET
- INLET PROTECTION
- INLET PROTECTION FOR EXISTING STRUCTURES
- TEMPORARY SLOPE DRAIN
- PIPE INLET PROTECTION
- CHECK DAM
- SILT FENCE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- DIVERSION DITCH
- CONSTRUCTION ENTRANCE/EXIT



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\WOL_2020110039 Frazier Farm Park\04-Production\Engineering\Phase1A\CID-23-5.dwg, 12/17/2023 4:53:23 PM, Eric Donnell



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-ECN3
CHECKED BY EMD
DRAWN BY SME
SCALE N/A
DATE 12.01.2023

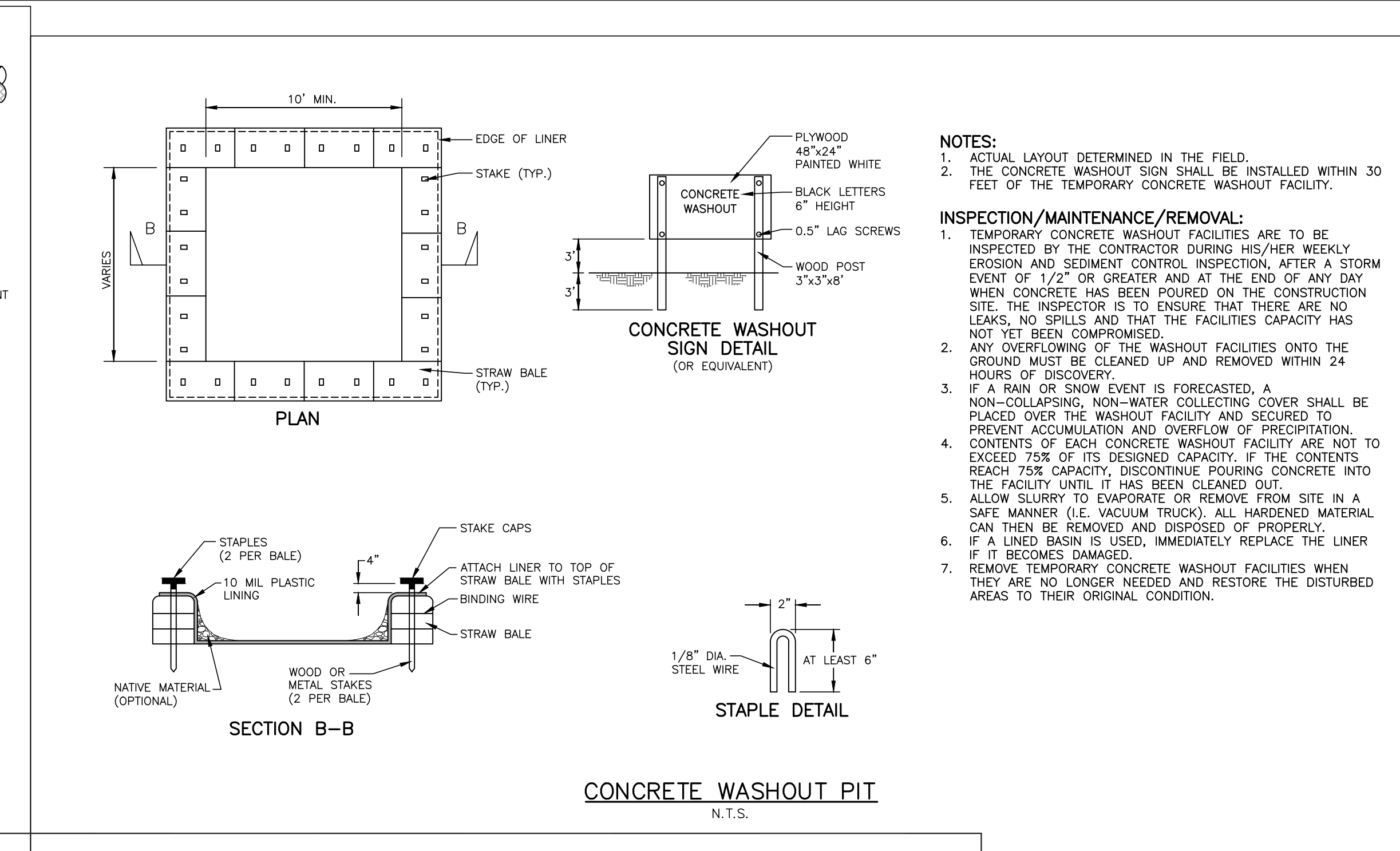
SHEET

EROSION CONTROL
DETAILS

C6.10

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING DESIGN AND CONSTRUCTION STANDARDS CID-235

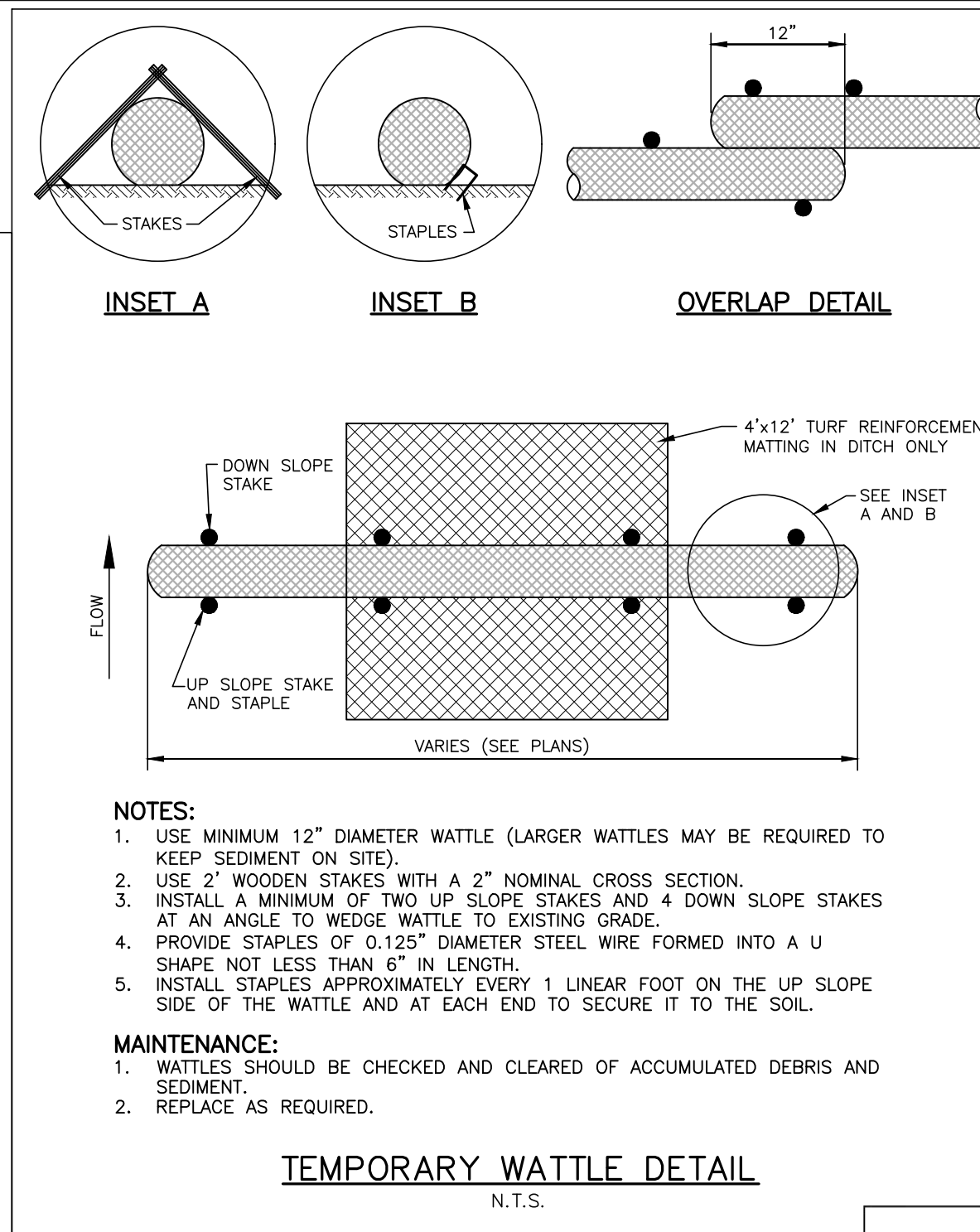
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



- NOTES: 1. ACTUAL LAYOUT DETERMINED IN THE FIELD. 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

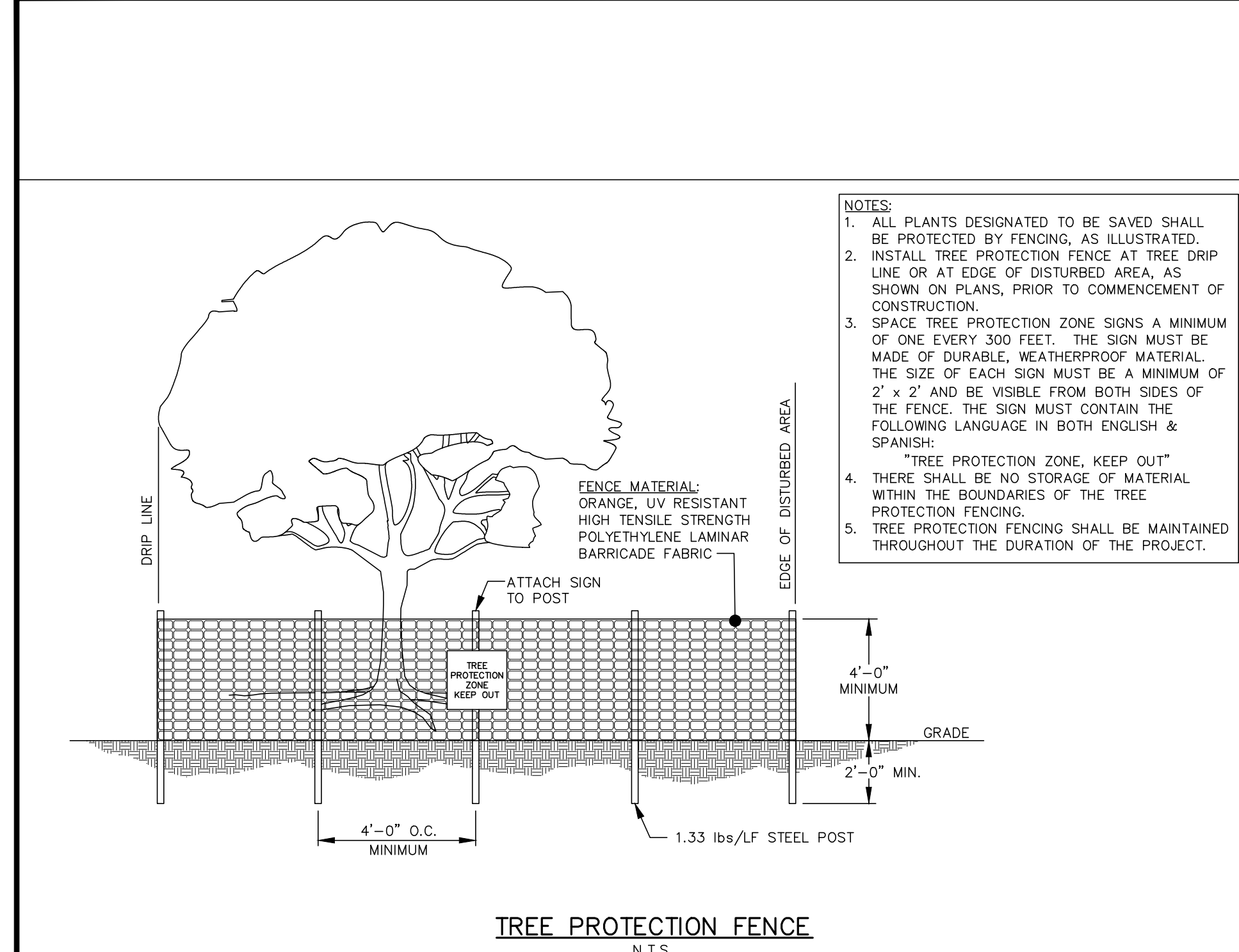
INSPECTION/MAINTENANCE/REMOVAL:

- 1. TEMPORARY CONCRETE WASHOUT FACILITIES ARE TO BE INSPECTED BY THE CONTRACTOR DURING HIS/HER WEEKLY EROSION AND SEDIMENT CONTROL INSPECTION, AFTER A STORM EVENT OF 1/2" OR GREATER AND AT THE END OF ANY DAY WHEN CONCRETE HAS BEEN POURED ON THE CONSTRUCTION SITE. THE INSPECTOR IS TO ENSURE THAT THERE ARE NO LEAKS, NO SPILLS AND THAT THE FACILITIES CAPACITY HAS NOT YET BEEN COMPROMISED. 2. ANY OVERFLOWING OF THE WASHOUT FACILITIES ONTO THE GROUND MUST BE CLEANED UP AND REMOVED WITHIN 24 HOURS OF DISCOVERY. 3. IF A RAIN OR SNOW EVENT IS FORECASTED, A NON-COLLAPSING, NON-WATER COLLECTING COVER SHALL BE PLACED OVER THE WASHOUT FACILITY AND SECURED TO PREVENT ACCUMULATION AND OVERFLOW OF PRECIPITATION. CONTENTS OF EACH CONCRETE WASHOUT FACILITY ARE NOT TO EXCEED 75% OF ITS DESIGNED CAPACITY. IF THE CONTENTS REACH 75% CAPACITY, DISCONTINUE POURING CONCRETE INTO THE FACILITY UNTIL IT HAS BEEN CLEANED OUT. 4. ALLOW SLURRY TO EVAPORATE OR REMOVE FROM SITE IN A SAFE MANNER (I.E. VACUUM TRUCK). ALL HARDENED MATERIAL CAN THEN BE REMOVED AND DISPOSED OF PROPERLY. 5. IF A LINED BASIN IS USED, IMMEDIATELY REPLACE THE LINER IF IT BECOMES DAMAGED. 6. REMOVE TEMPORARY CONCRETE WASHOUT FACILITIES WHEN THEY ARE NO LONGER NEEDED AND RESTORE THE DISTURBED AREAS TO THEIR ORIGINAL CONDITION.



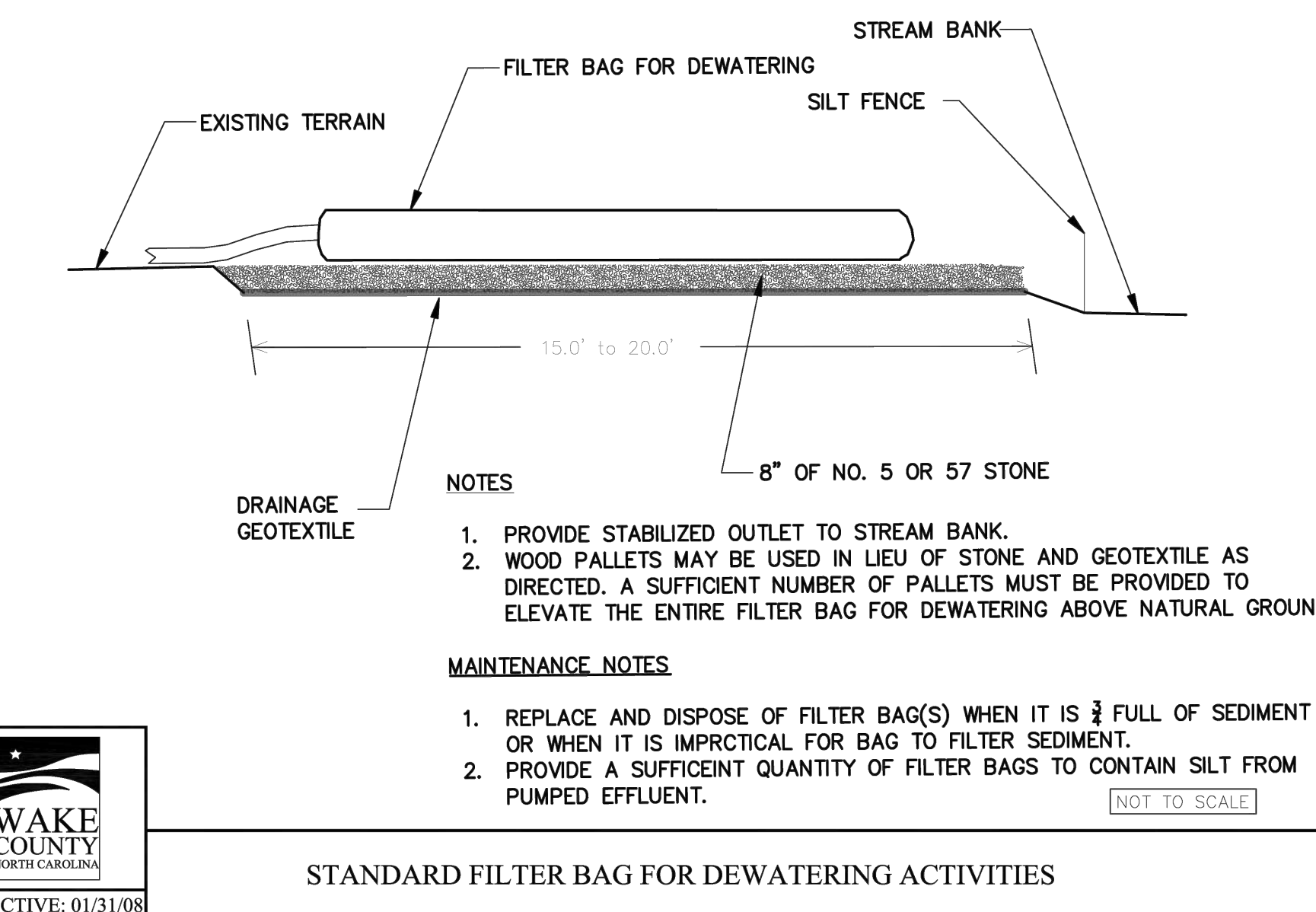
- NOTES: 1. USE MINIMUM 12" DIAMETER WATTLE (LARGER WATTLES MAY BE REQUIRED TO KEEP SEDIMENT ON SITE). 2. USE 2" WOODEN STAKES WITH A 2" NOMINAL CROSS SECTION. 3. INSTALL A MINIMUM OF TWO UP SLOPE STAKES AND 4 DOWN SLOPE STAKES AT AN ANGLE TO WEDGE WATTLE TO EXISTING GRADE. 4. PROVIDE STAPLES OF 0.125" DIAMETER STEEL WIRE FORMED INTO A U SHAPE NOT LESS THAN 6" IN LENGTH. 5. INSTALL STAPLES APPROXIMATELY EVERY 1 LINEAR FOOT ON THE UP SLOPE SIDE OF THE WATTLE AND AT EACH END TO SECURE IT TO THE SOIL.

- MAINTENANCE: 1. WATTLES SHOULD BE CHECKED AND CLEARED OF ACCUMULATED DEBRIS AND SEDIMENT. 2. REPLACE AS REQUIRED.



- NOTES: 1. ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED. 2. INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION. 3. SPACE TREE PROTECTION ZONE SIGNS A MINIMUM OF ONE EVERY 300 FEET. THE SIGN MUST BE MADE OF DURABLE, WEATHERPROOF MATERIAL. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION ZONE, KEEP OUT" 4. THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING. 5. TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

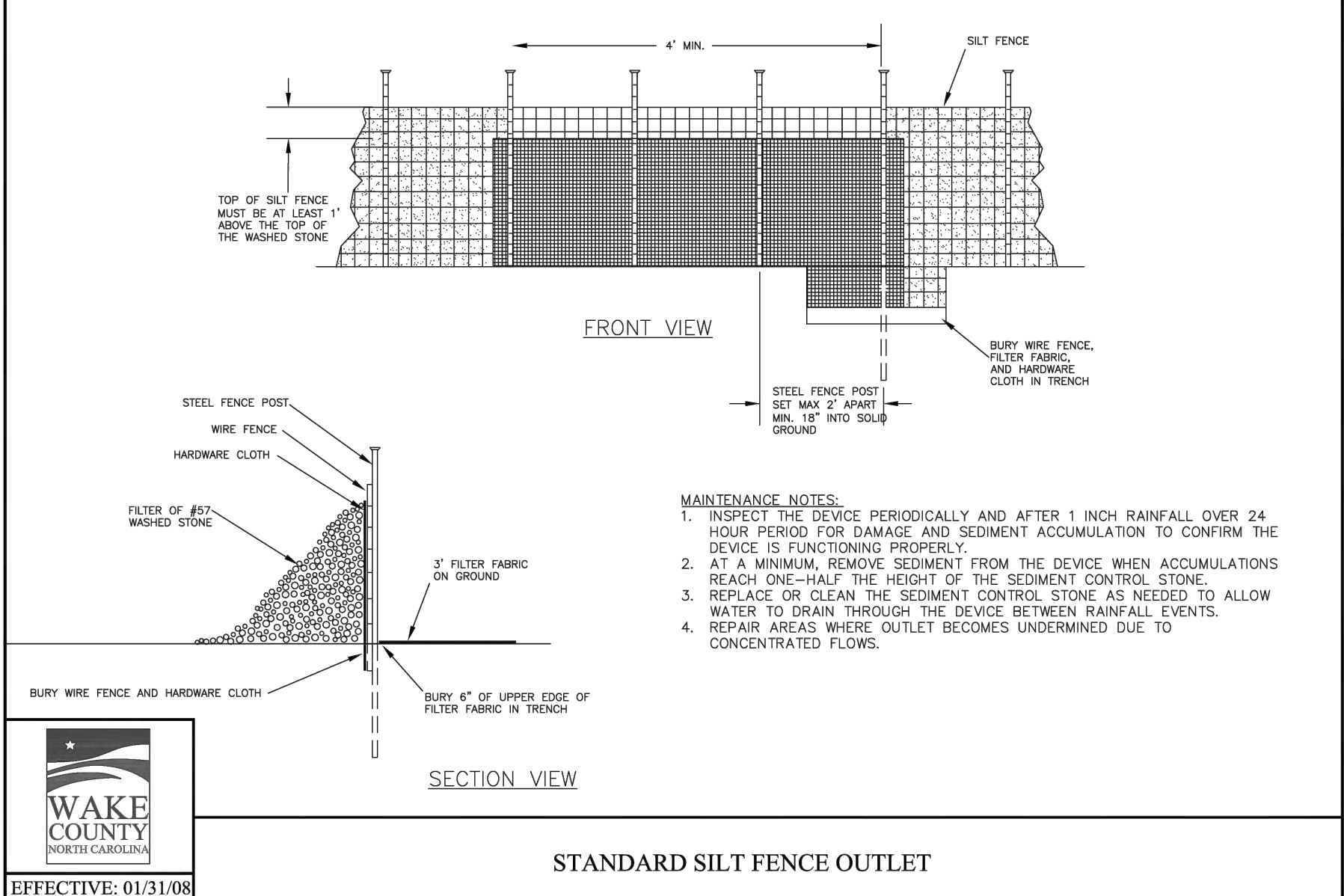
TREE PROTECTION FENCE N.T.S.



- NOTES: 1. PROVIDE STABILIZED OUTLET TO STREAM BANK. 2. WOOD PALLETS MAY BE USED IN LIEU OF STONE AND GEOTEXTILE AS DIRECTED. A SUFFICIENT NUMBER OF PALLETS MUST BE PROVIDED TO ELEVATE THE ENTIRE FILTER BAG FOR DEWATERING ABOVE NATURAL GROUND.

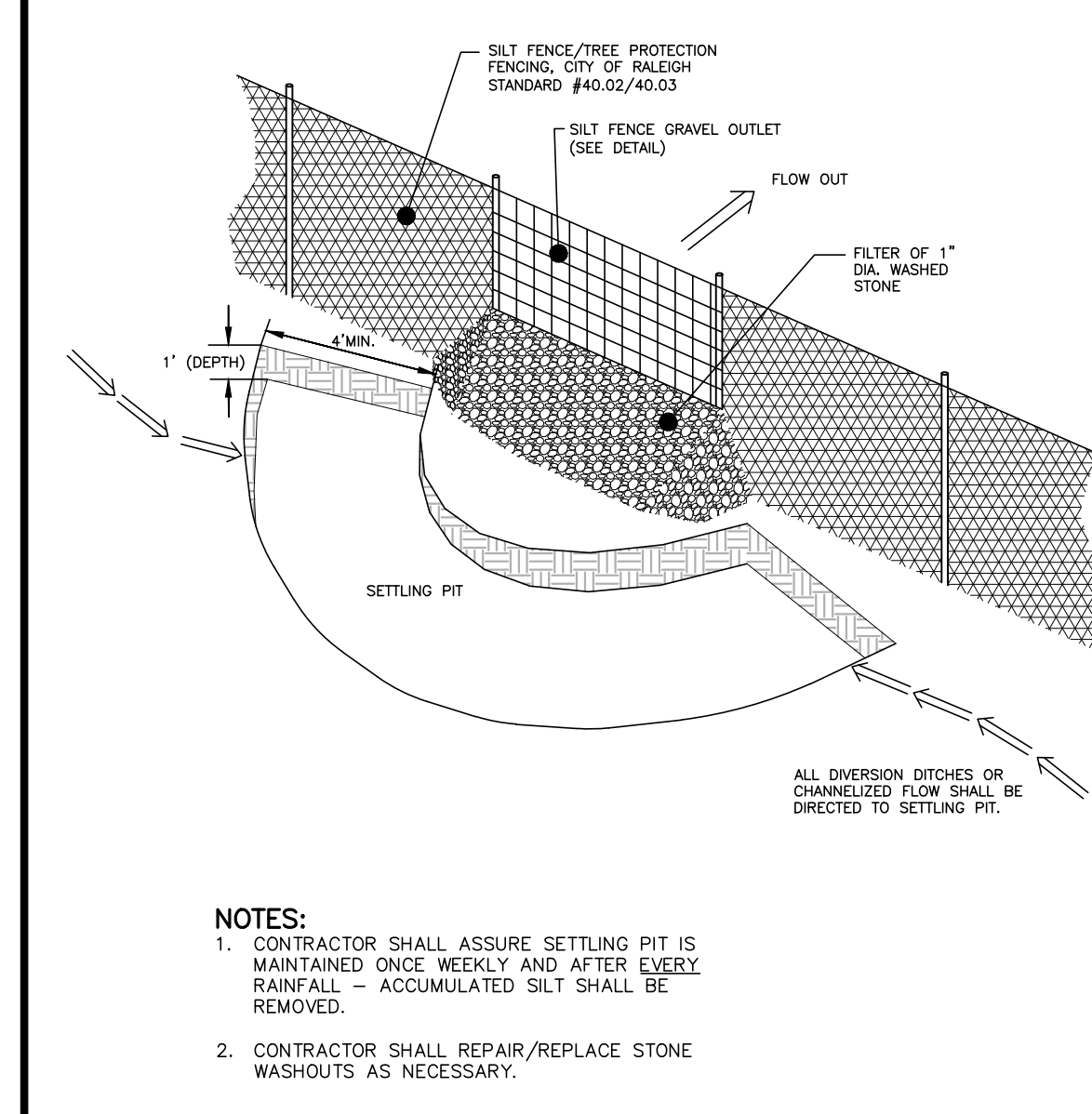
- MAINTENANCE NOTES: 1. REPLACE AND DISPOSE OF FILTER BAG(S) WHEN IT IS 3/4 FULL OF SEDIMENT OR WHEN IT IS IMPRACTICAL FOR BAG TO FILTER SEDIMENT. 2. PROVIDE A SUFFICIENT QUANTITY OF FILTER BAGS TO CONTAIN SILT FROM PUMPED EFFLUENT.

STANDARD FILTER BAG FOR DEWATERING ACTIVITIES NOT TO SCALE



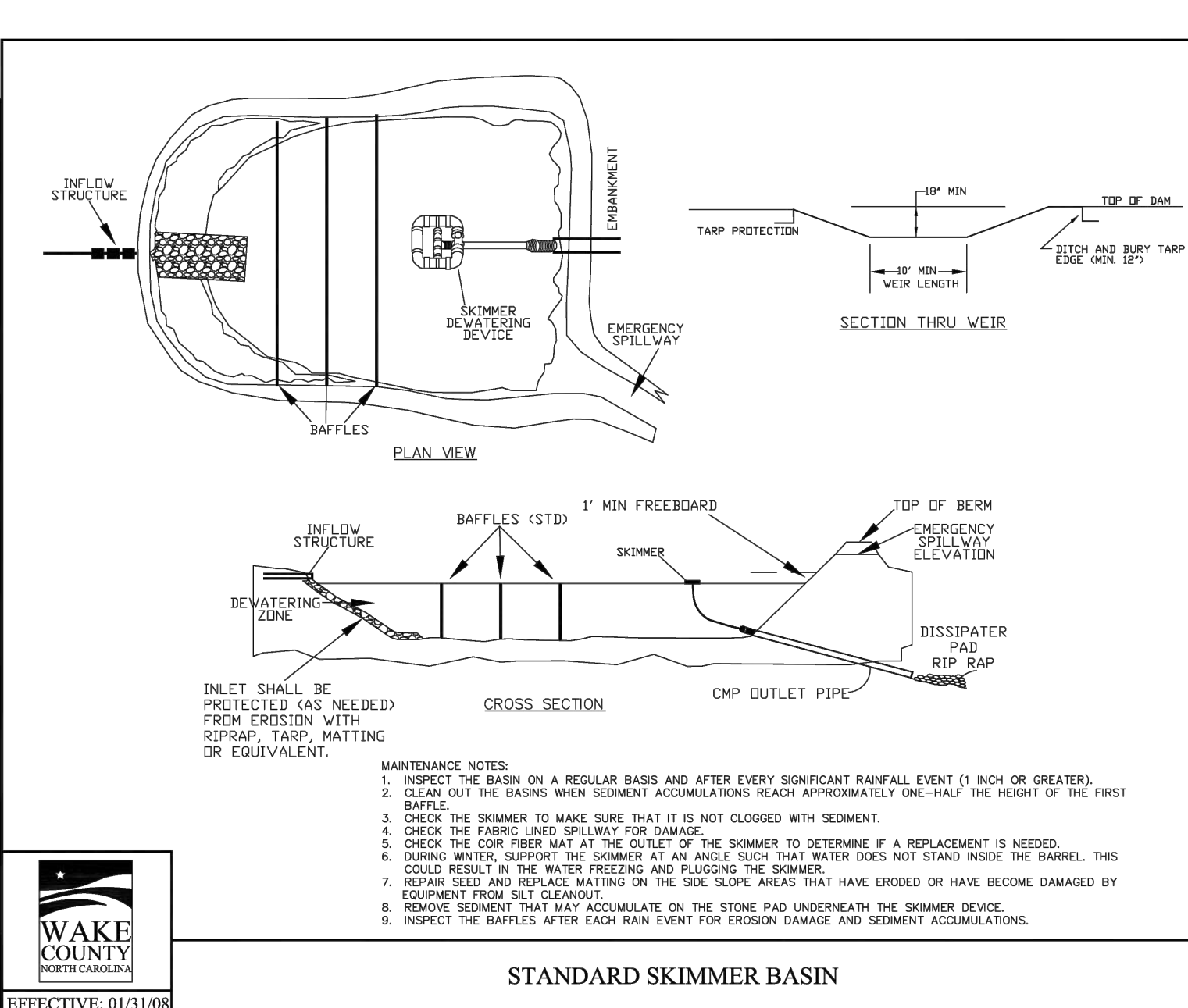
- MAINTENANCE NOTES: 1. INSPECT THE DEVICE PERIODICALLY AND AFTER 1 INCH RAINFALL OVER 24 HOUR PERIOD FOR DAMAGE AND SEDIMENT ACCUMULATION TO CONFIRM THE DEVICE IS FUNCTIONING PROPERLY. 2. AT A MINIMUM, REMOVE SEDIMENT FROM THE DEVICE WHEN ACCUMULATIONS REACH ONE-HALF THE HEIGHT OF THE SEDIMENT CONTROL STONE. 3. REPLACE OR CLEAN THE SEDIMENT CONTROL STONE AS NEEDED TO ALLOW WATER TO DRAIN THROUGH THE DEVICE BETWEEN RAINFALL EVENTS. 4. REPAIR AREAS WHERE OUTLET BECOMES UNDERMINED DUE TO CONCENTRATED FLOWS.

STANDARD SILT FENCE OUTLET



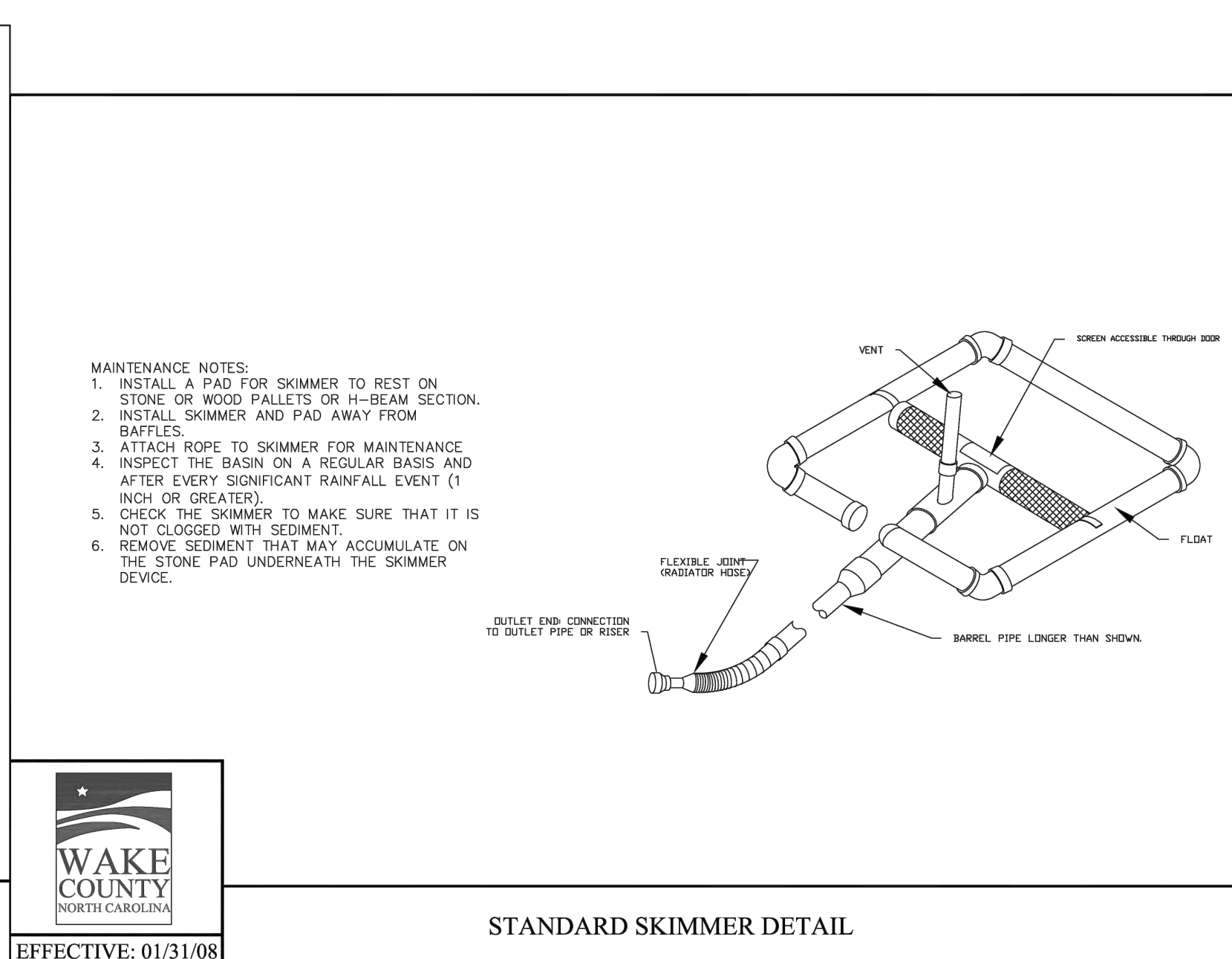
- NOTES: 1. CONTRACTOR SHALL ASSURE SETTLING PIT IS MAINTAINED ONCE WEEKLY AND AFTER EVERY RAINFALL - ACCUMULATED SILT SHALL BE REMOVED. 2. CONTRACTOR SHALL REPAIR/REPLACE STONE WASHOUTS AS NECESSARY.

SILT FENCE OUTLET SETTLING PIT N.T.S.



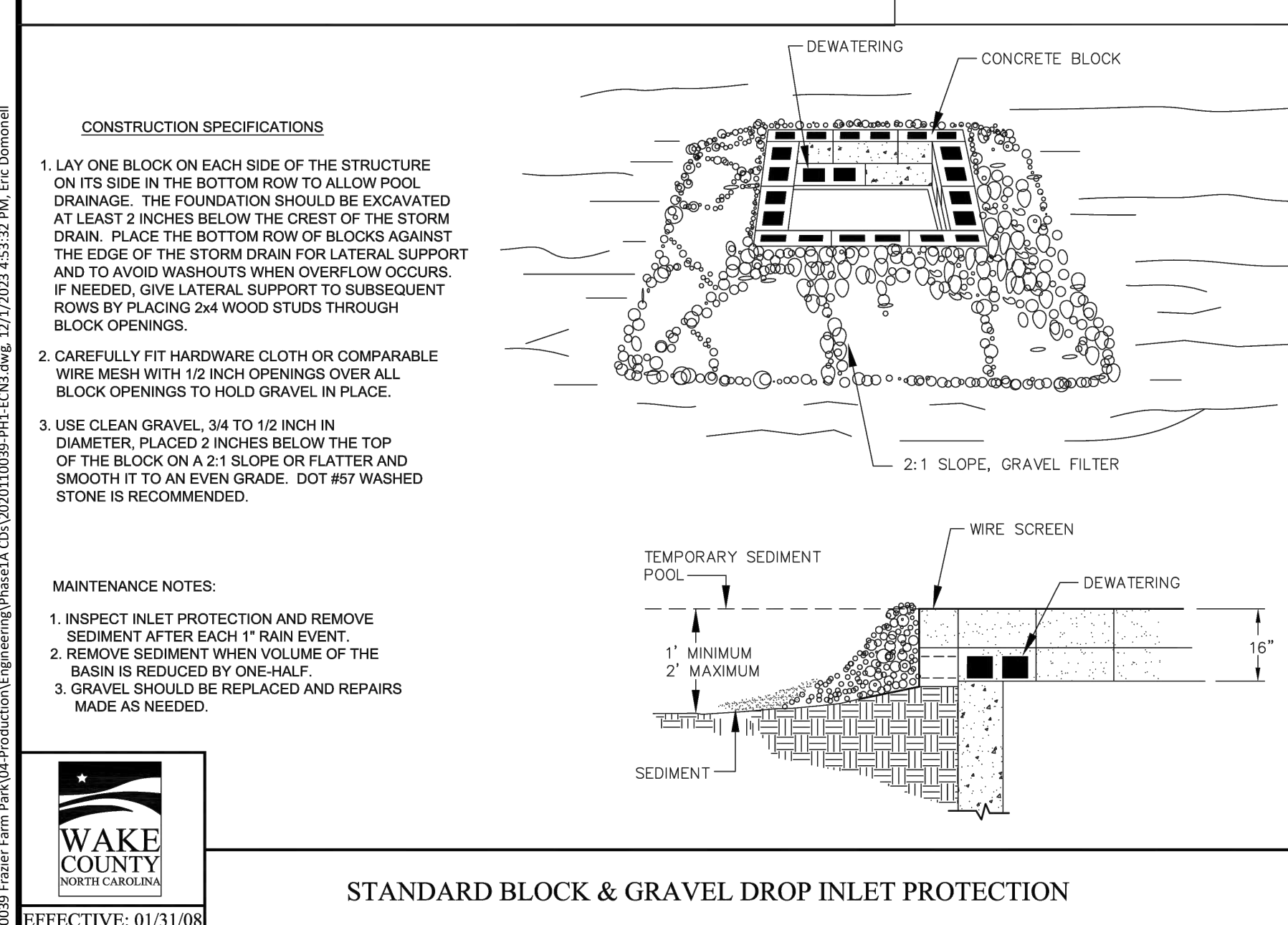
- MAINTENANCE NOTES: 1. INSPECT THE BASIN ON A REGULAR BASIS AND AFTER EVERY SIGNIFICANT RAINFALL EVENT (1 INCH OR GREATER). 2. CLEAN OUT THE BASIN WHEN SEDIMENT ACCUMULATIONS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FIRST BAFFLE. 3. CHECK THE SKIMMER TO MAKE SURE THAT IT IS NOT CLOGGED WITH SEDIMENT. 4. CHECK THE FABRIC END SPILLWAY FOR DAMAGE. 5. CHECK THE CORR FIBER MAT AT THE OUTLET OF THE SKIMMER TO DETERMINE IF A REPLACEMENT IS NEEDED. 6. DURING WINTER, SUPPORT THE SKIMMER AT AN ANGLE SUCH THAT WATER DOES NOT STAND INSIDE THE BARREL. THIS COULD RESULT IN ICE WATER FREEZING AND PLUGGING THE SKIMMER. 7. REPAIR SEED AND REPLACE MATTING ON THE SIDE SLOPE AREAS THAT HAVE ERODED OR HAVE BECOME DAMAGED BY EQUIPMENT FROM OIL CLEANSING. 8. REMOVE SEDIMENT THAT MAY ACCUMULATE ON THE STONE PAD UNDERNEATH THE SKIMMER DEVICE. 9. INSPECT THE BAFFLES AFTER EACH RAIN EVENT FOR EROSION DAMAGE AND SEDIMENT ACCUMULATIONS.

STANDARD SKIMMER BASIN



- MAINTENANCE NOTES: 1. INSTALL A PAD FOR SKIMMER TO REST ON STONE OR WOOD PALLETS OR H-BEAM SECTION. 2. INSTALL SKIMMER AND PAD AWAY FROM BAFFLES. 3. ATTACH ROPE TO SKIMMER FOR MAINTENANCE. 4. INSPECT THE BASIN ON A REGULAR BASIS AND AFTER EVERY SIGNIFICANT RAINFALL EVENT (1 INCH OR GREATER). 5. CHECK THE SKIMMER TO MAKE SURE THAT IT IS NOT CLOGGED WITH SEDIMENT. 6. REMOVE SEDIMENT THAT MAY ACCUMULATE ON THE STONE PAD UNDERNEATH THE SKIMMER DEVICE.

STANDARD SKIMMER DETAIL

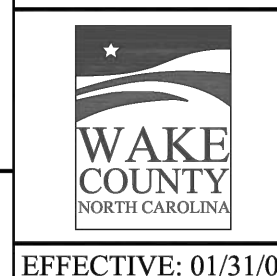
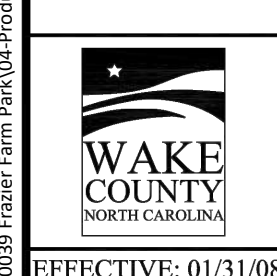


- CONSTRUCTION SPECIFICATIONS: 1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE IN THE BOTTOM ROW TO ALLOW POOL DRAINAGE. THE FOUNDATION SHOULD BE EXCAVATED AT LEAST 2 INCHES BELOW THE CREST OF THE STORM DRAIN. PLACE THE BOTTOM ROW OF BLOCKS AGAINST THE EDGE OF THE STORM DRAIN FOR LATERAL SUPPORT AND TO AVOID WASHOUTS WHEN OVERFLOW OCCURS. IF NEEDED, GIVE LATERAL SUPPORT TO SUBSEQUENT ROWS BY PLACING 2x4 WOOD STUDS THROUGH BLOCK OPENINGS. 2. CAREFULLY FIT HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2 INCH OPENINGS OVER ALL BLOCK OPENINGS TO HOLD GRAVEL IN PLACE. 3. USE CLEAN GRAVEL 3/4 TO 1/2 INCH IN DIAMETER, PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER AND SMOOTH IT TO AN EVEN GRADE. DOT #57 WASHED STONE IS RECOMMENDED.

- MAINTENANCE NOTES: 1. INSPECT INLET PROTECTION AND REMOVE SEDIMENT AFTER EACH 1" RAIN EVENT. 2. REMOVE SEDIMENT WHEN VOLUME OF THE BASIN IS REDUCED BY ONE-HALF. 3. GRAVEL SHOULD BE REPLACED AND REPAIRS MADE AS NEEDED.

STANDARD BLOCK & GRAVEL DROP INLET PROTECTION

M:\Projects\WOL\2020110039 Frazier Farm Park\04-Production\Engineering\Phase1A\CID\2020110039-PH1-ECN3.dwg, 12/1/2023, 4:58:37 PM, Eric Donnell





McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 2020110039-PH1-RW1
CHECKED BY EMD
DRAWN BY SME
SCALE 1"=40'
DATE 12.01.2023

SHEET

LOUISBURG RD
WIDENING PLAN

C7.00

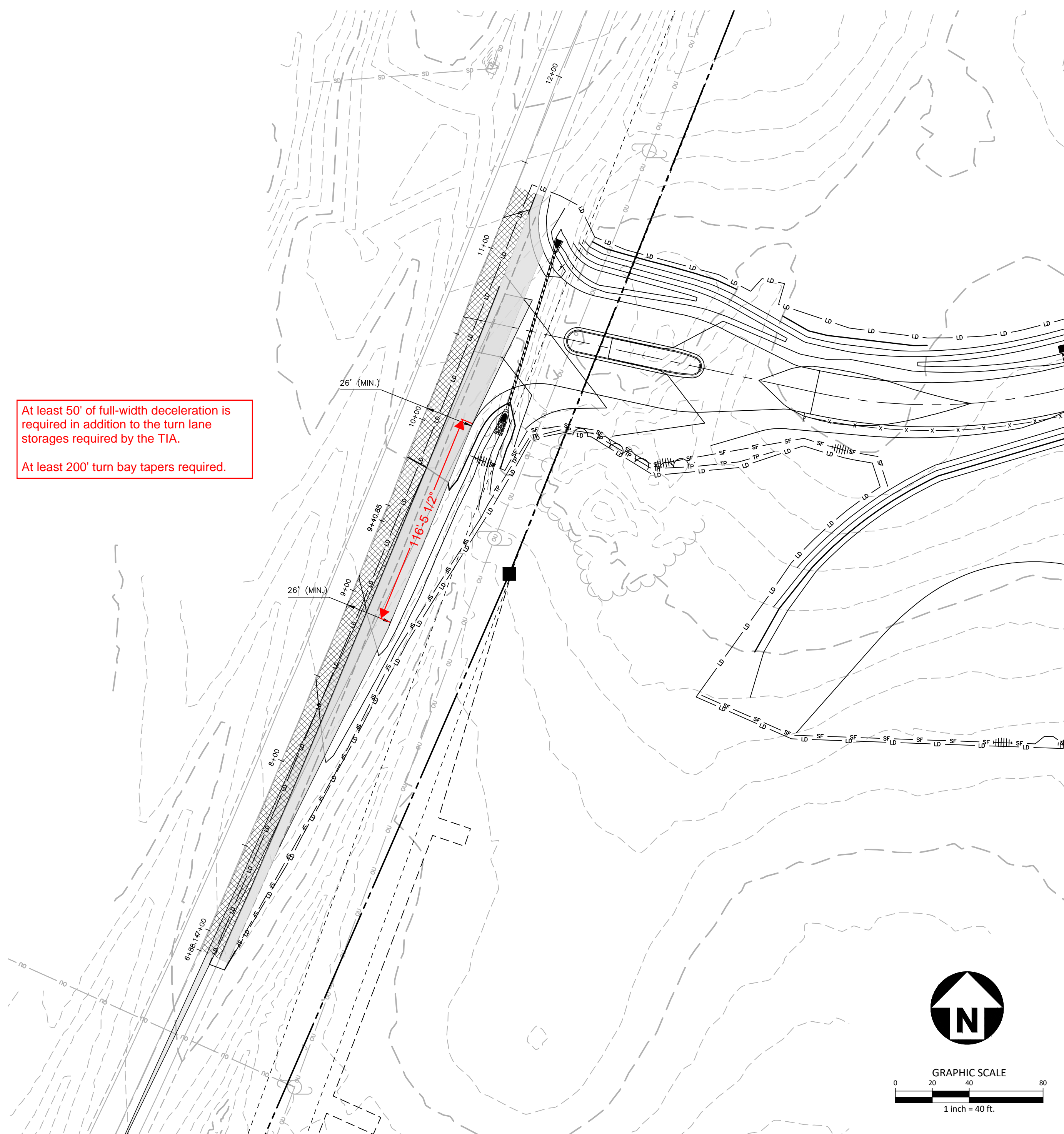
CID-23-5

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

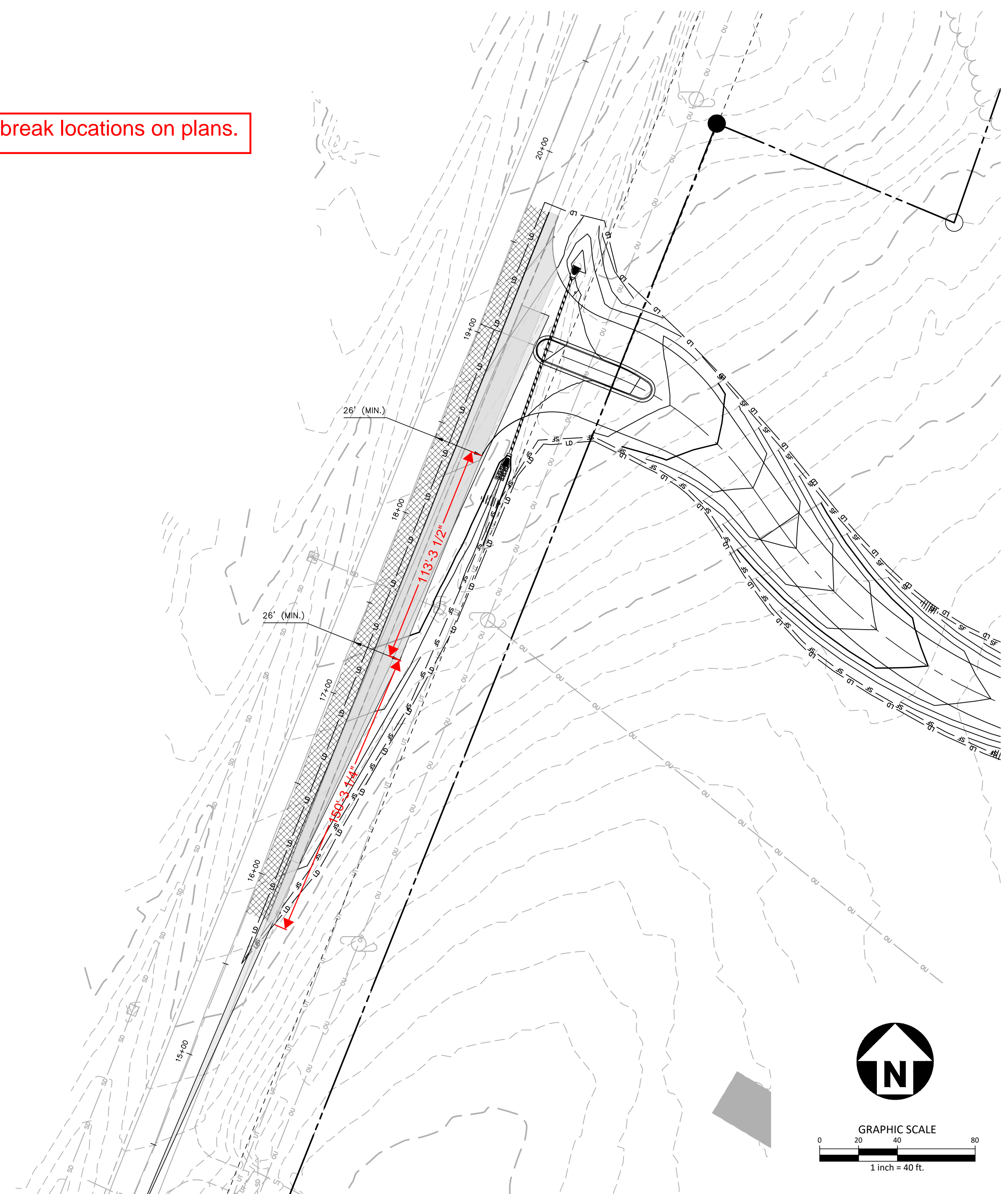
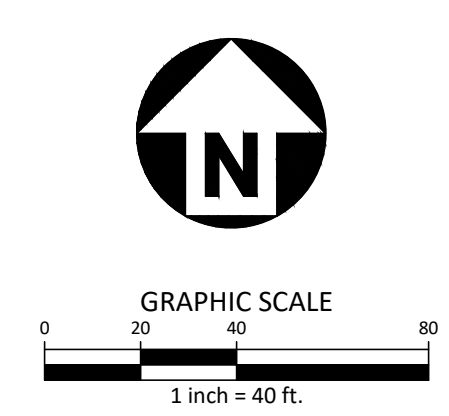
Label C/A break locations on plans.

At least 50' of full-width deceleration is required in addition to the turn lane storages required by the TIA.
At least 200' turn bay tapers required.

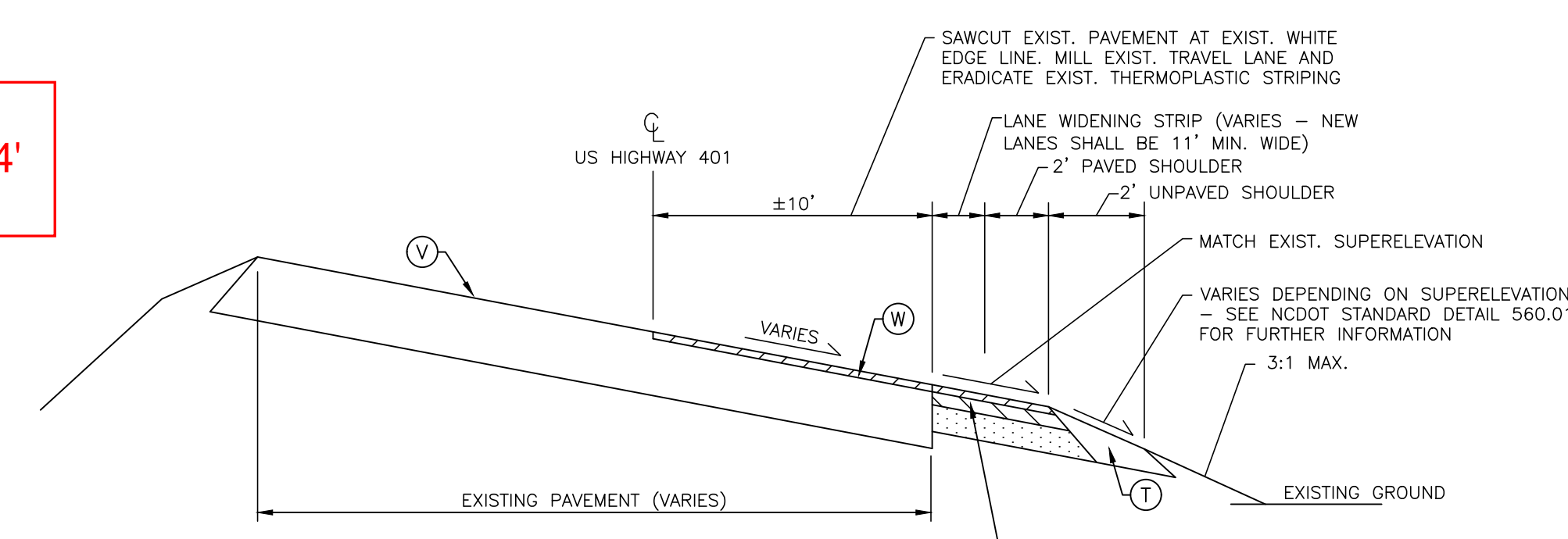
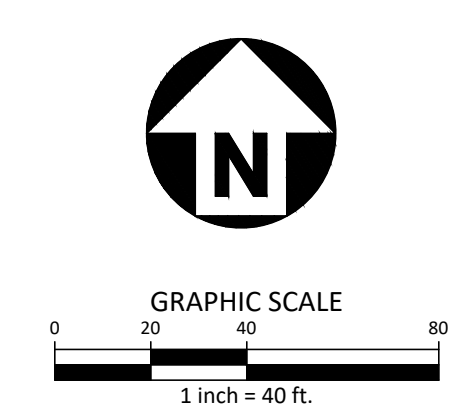
Minimum paved shoulder width for this classification of road is 4'



PARK ENTRANCE "A"



PARK ENTRANCE "B"



TYPICAL SECTION NO. 1
US HIGHWAY 401 / LOUISBURG RD
STA. 6+88 TO 11+36
STA. 15+78 TO 19+71

- Ⓒ SEE SHEET C8.00 FOR PAVEMENT SECTION
- Ⓓ COMPACTED EARTH
- Ⓔ WEDGING/OVERLAY (MIN. 1 1/2" S9.5C)
- Ⓕ EXISTING ROADWAY - SUPERELEVATION GRADE AND DIRECTION VARY

PAVEMENT MARKING LEGEND

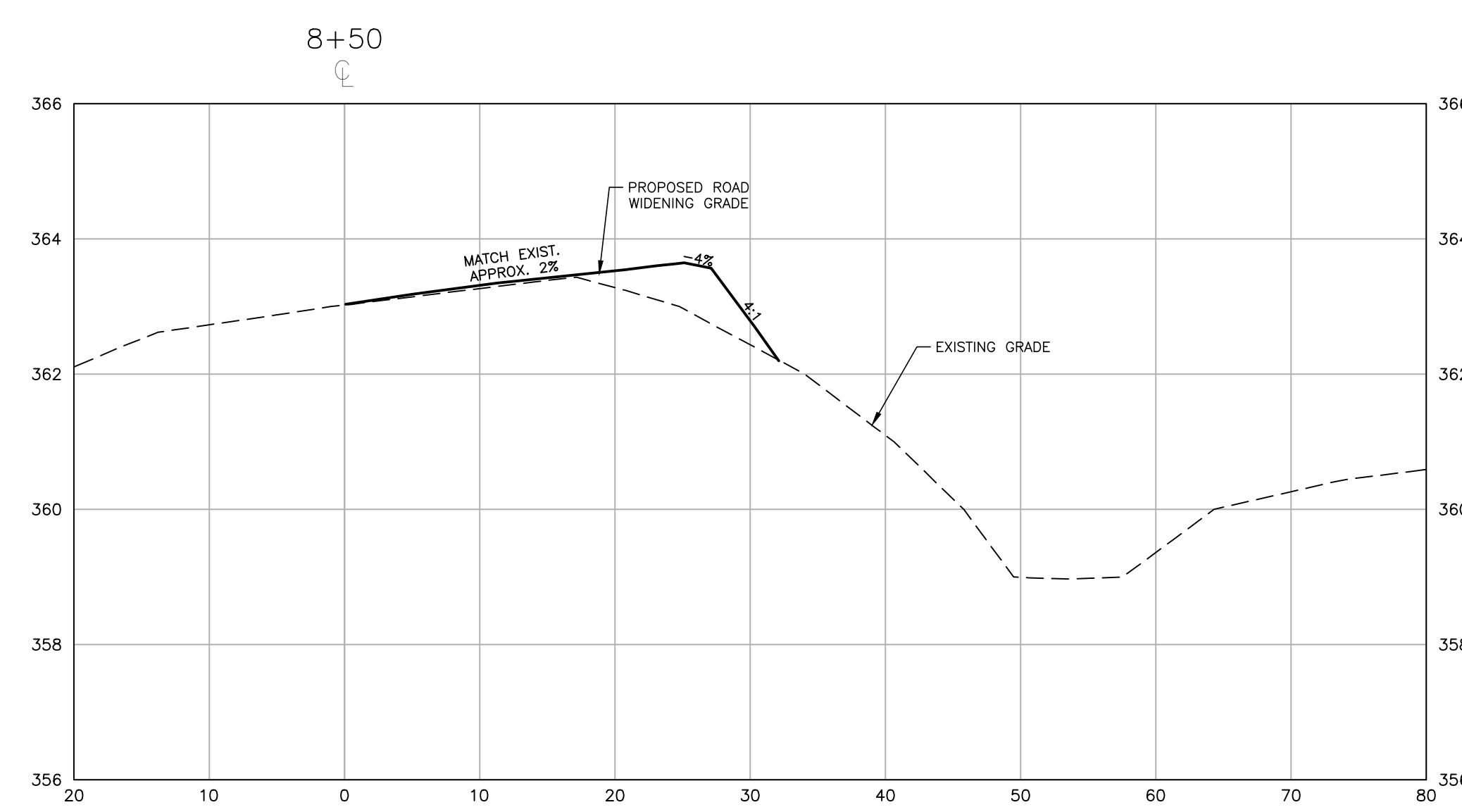
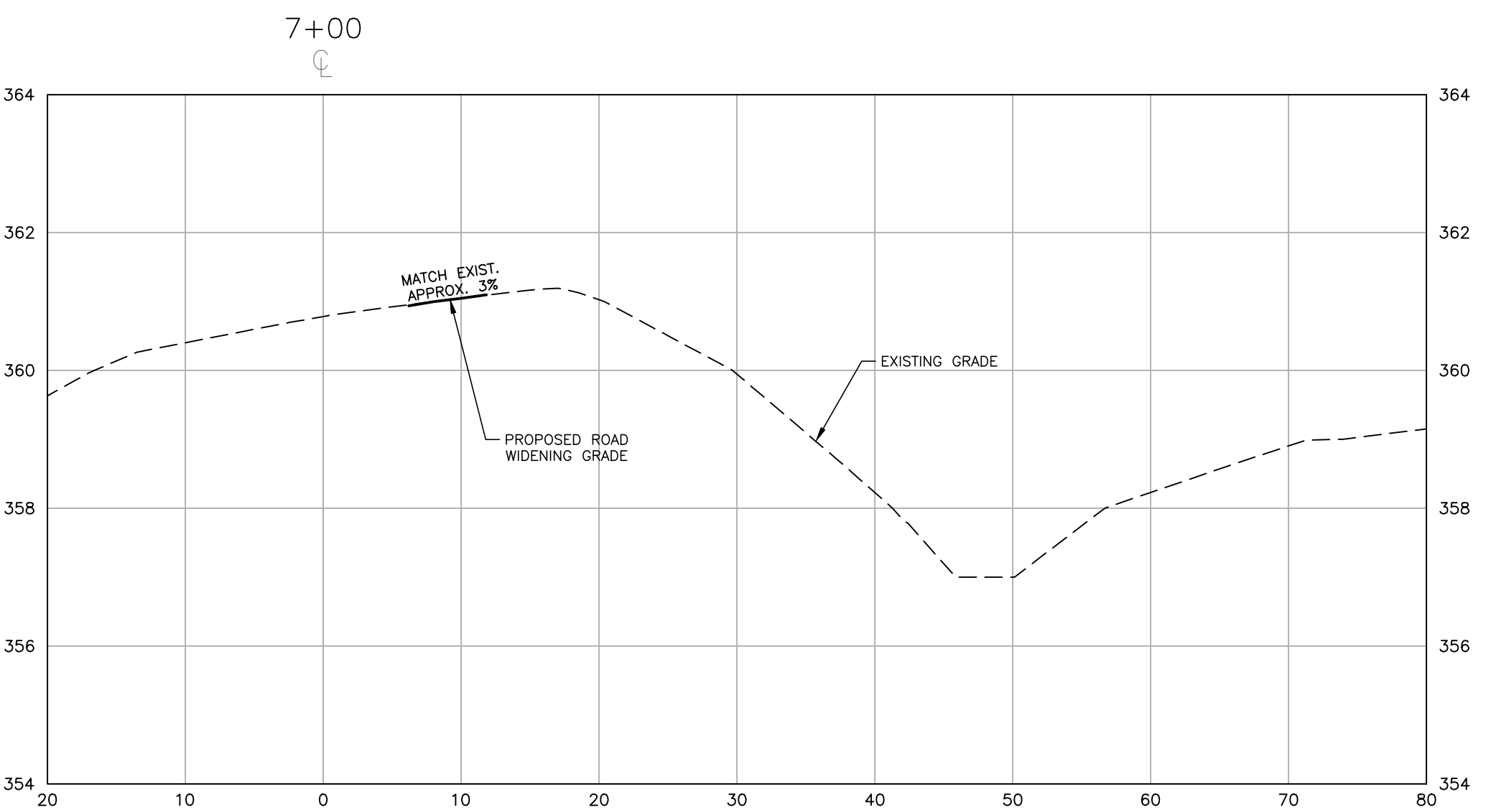
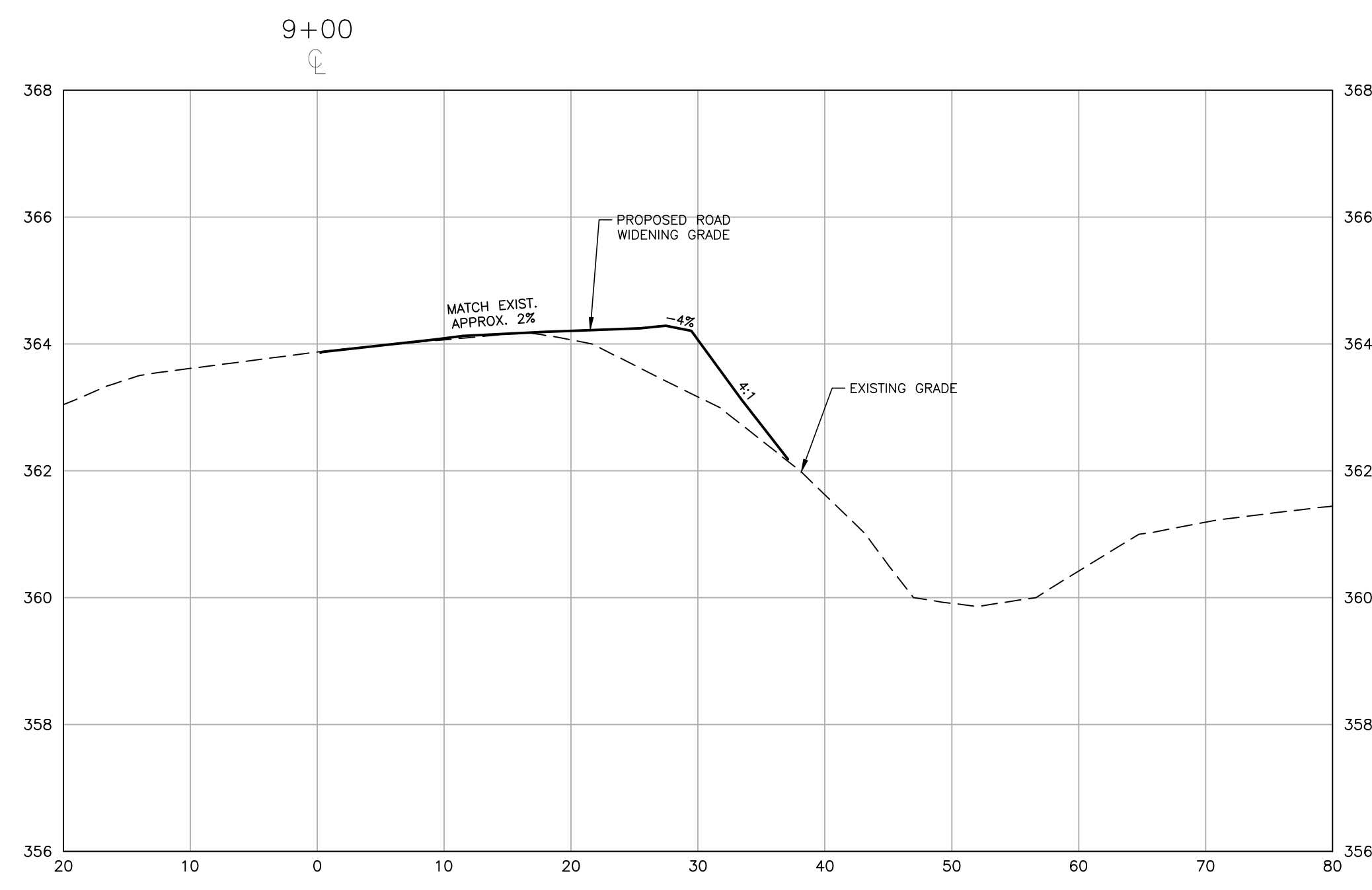
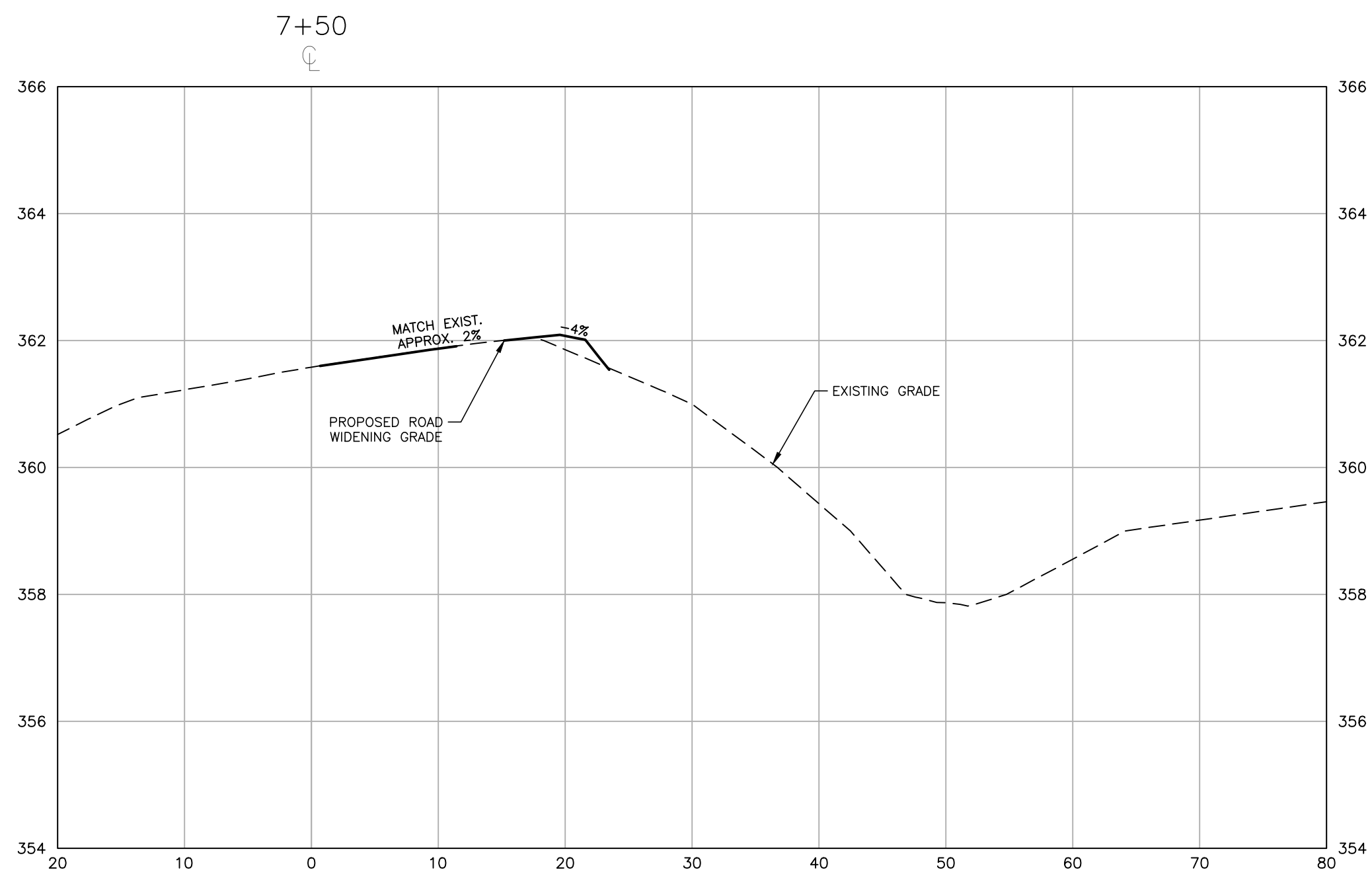
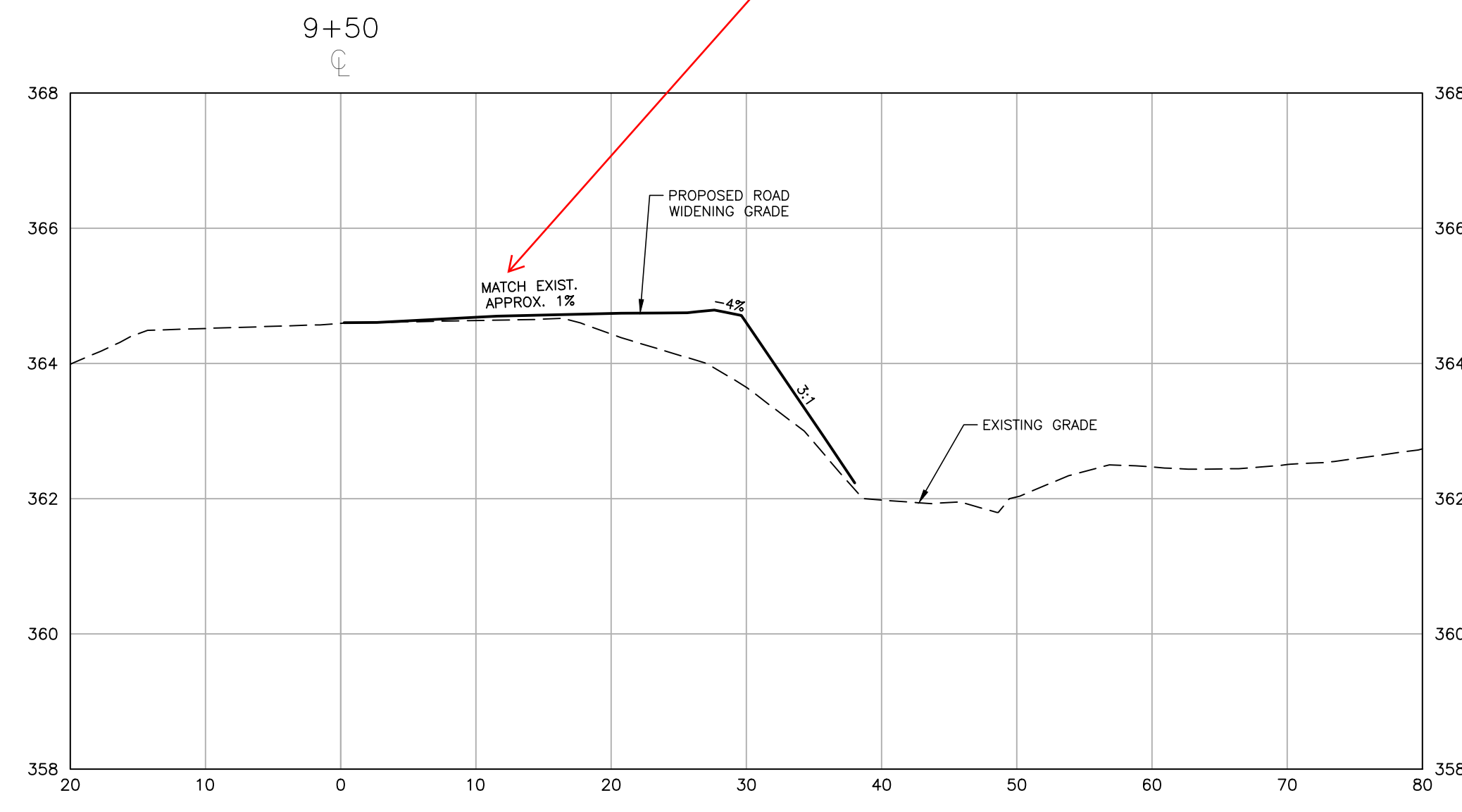
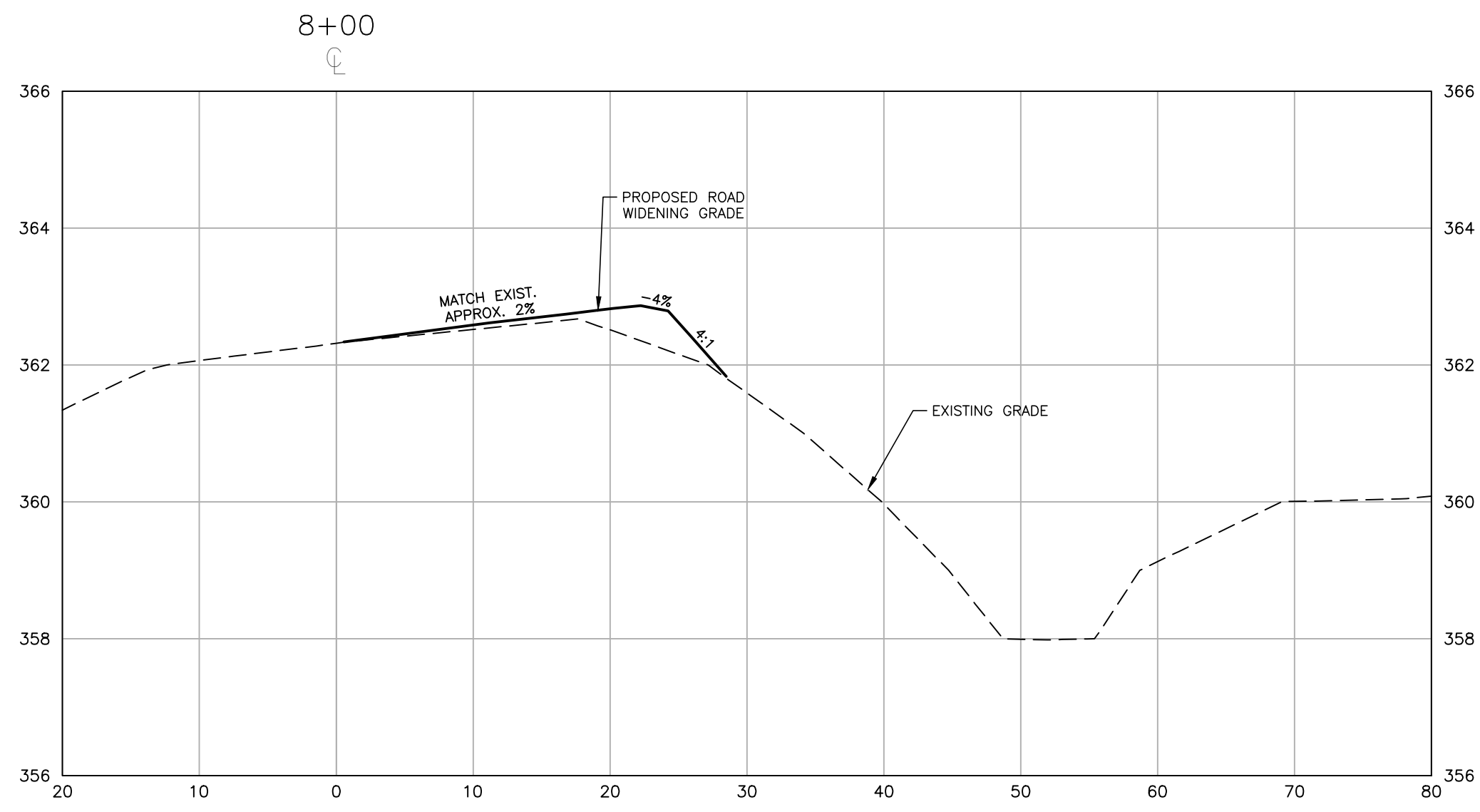
LANE LINES/MARKINGS	ARROWS/CHARACTERS
T1 16" WHITE LINE, RAILROAD CROSSBAR	UA LEFT TURN ARROW
T2 24" WHITE STOPBAR	UB RIGHT TURN ARROW
T3 24" WHITE CROSSWALK LINE (HIGH VISIBILITY)	UC STRAIGHT ARROW
T4 4" WHITE RUMBLE STRIP	UD COMBINATION STRAIGHT/LEFT TURN ARROW
T5 4" YELLOW RUMBLE STRIP	UE COMBINATION STRAIGHT/RIGHT TURN ARROW
T6 6" WHITE EDGELINE	UF COMBINATION LEFT/RIGHT ARROW
T7 6" YELLOW EDGELINE	UG COMBINATION LEFT/STRAIGHT/RIGHT ARROW
T8 4" WHITE MINISKIP (2' - 6' SP.)	UH HANDICAP PARKING
T9 4" YELLOW MINISKIP (2' - 6' SP.)	UI ALPHANUMERIC CHARACTER
T10 12" WHITE MINISKIP (3' - 3' SP.) (ROUNDBABOUTS ONLY)	UJ BICYCLE STRAIGHT ARROW
T11 6" WHITE MINISKIP (2' - 6' SP.)	UL BICYCLE CHARACTER
T12 6" YELLOW MINISKIP (2' - 6' SP.)	UM 12" YIELD LINE TRIANGLE
T13 8" WHITE MINISKIP (3' - 9' SP.)	UN 24" YIELD LINE TRIANGLE
T14 12" WHITE MINISKIP (3' - 9' SP.)	UO BICYCLE LEFT ARROW
T15 6" YELLOW SINGLE CENTER	UP MERGE ARROW
T16 6" YELLOW DOUBLE CENTER	UQ RAMP ARROW SYMBOL
T17 8" WHITE MINISKIP (3' - 3' SP.) (ROUNDBABOUTS ONLY)	UR SHARROW
TA 4" WHITE EDGELINE	US BICYCLE LOOP DETECTOR
TB 4" YELLOW EDGELINE	UT U-TURN ARROW
TC 4" WHITE SKIP (10' - 30' SP.)	UU FISH-HOOK STRAIGHT ARROW
TD 4" WHITE MINISKIP (3' - 9' SP.)	UV FISH-HOOK STRAIGHT/LEFT ARROW
TE 4" WHITE SOLID LANE LINE	UW FISH-HOOK STRAIGHT/RIGHT ARROW
TF 4" YELLOW SKIP (10' - 30' SP.)	UX FISH-HOOK LEFT/RIGHT ARROW
TH 4" YELLOW SINGLE CENTER	UY FISH-HOOK LEFT/STRAIGHT/RIGHT ARROW
TI 4" YELLOW DOUBLE CENTER	UZ FISH-HOOK W/CIRCLE STRAIGHT ARROW
TJ 6" WHITE SKIP (10' - 30' SP.)	WA FISH-HOOK W/CIRCLE LEFT ARROW
TK 6" WHITE MINISKIP (3' - 9' SP.)	WB FISH-HOOK W/CIRCLE STRAIGHT/LEFT ARROW
TL 6" WHITE SOLID LANE LINE	WC FISH-HOOK W/CIRCLE LEFT/STRAIGHT/RIGHT ARROW
TM 6" YELLOW SKIP (10' - 30' SP.)	
TN 8" WHITE GORELINE	
TO 8" WHITE DIAGONAL	
TP 8" YELLOW DIAGONAL	
TQ 8" WHITE CROSSWALK LINE	
TR 8" WHITE SOLID LANE LINE	
TS 12" WHITE GORELINE	
TT 12" WHITE SOLID LANE LINE	
TU 12" WHITE DIAGONAL (45MPH OR GREATER)	
TV 12" YELLOW DIAGONAL (45MPH OR GREATER)	

ROAD WIDENING LEGEND	
	NEW FULL DEPTH PAVEMENT
	MILLING LIMITS

NOTE:
ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND ARE TO BE PLACED PER NCDOT STANDARDS (REFERENCE NCDOT DETAILS (1205.01-1205.12)

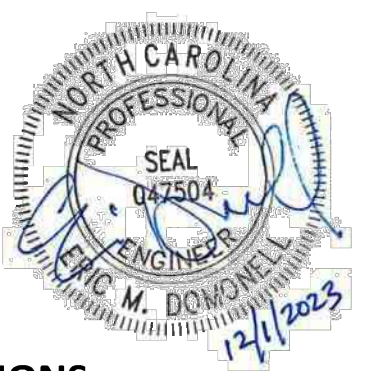
M:\Projects\WOL\2020110039 Frazier Farm PH1A\04-Production\Engineering\Phase1A\CID\2020110039-PH1-RW1.dwg, 12/1/2023, 4:53:54 PM, Eric Donnell

General XSC note: label R/W, EOP, EEOP, EOTL



CLIENT
NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS

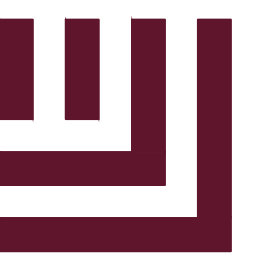
NO.	DATE

PLAN INFORMATION

PROJECT NO.	202011039
FILENAME	2020110039-PH1-RW2
CHECKED BY	EMD
DRAWN BY	SME
SCALE	H:1"=10' / V:1"=2'
DATE	12.01.2023

SHEET
LOUISBURG RD
WIDENING
CROSS SECTIONS
C7.01

M:\Projects\WOL\2020110039\Frazier Farm Park\04-Production\Engineering\Phase1A\CD\2020110039-PH1-RW2.dwg, 12/1/2023, 4:54:07 PM, Eric Domoneil



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

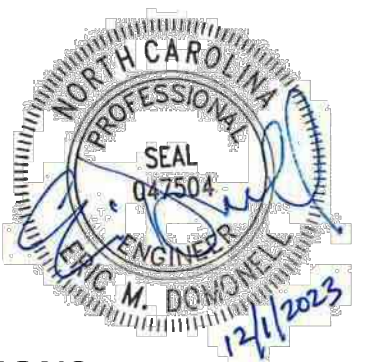
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

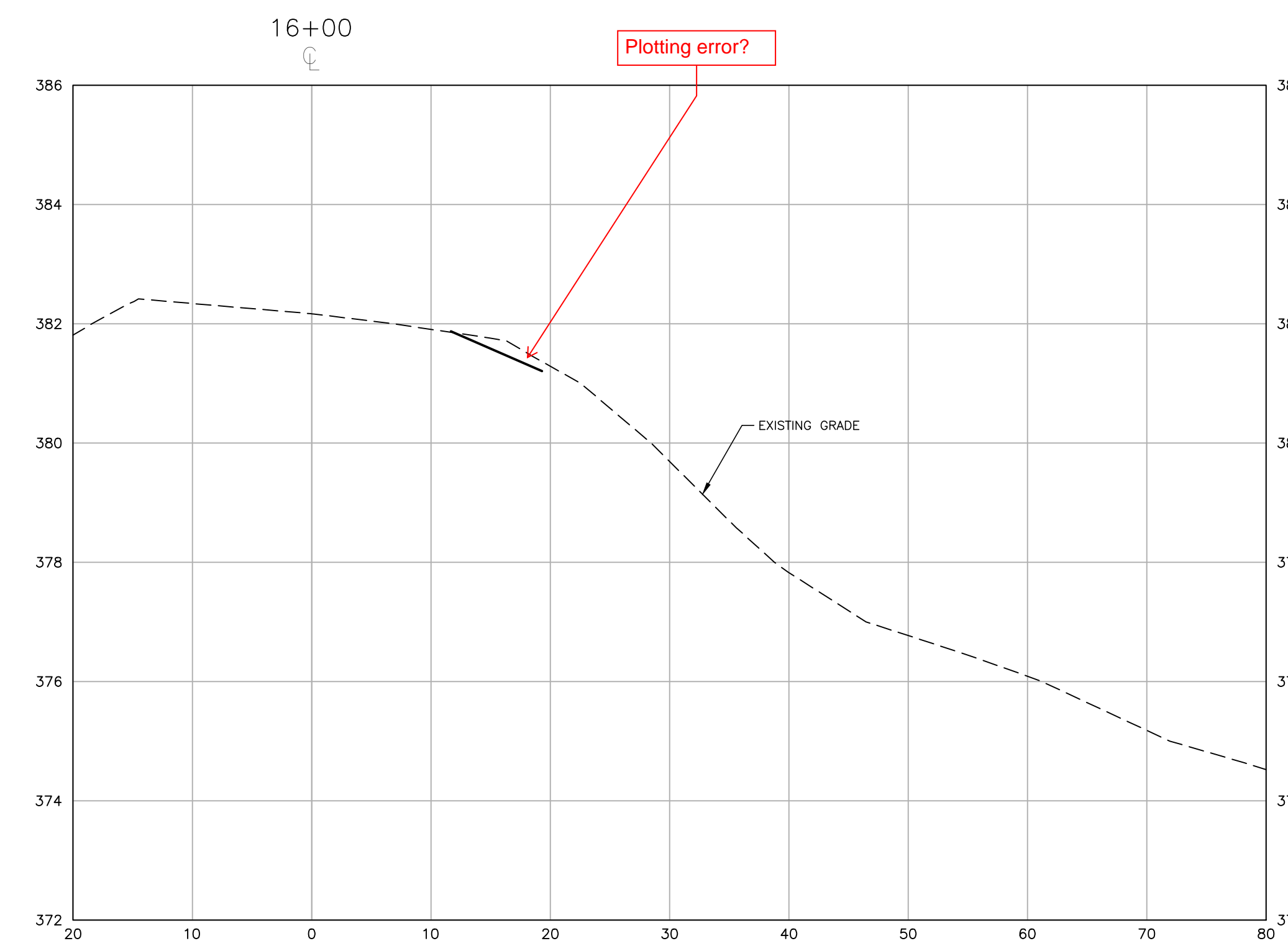
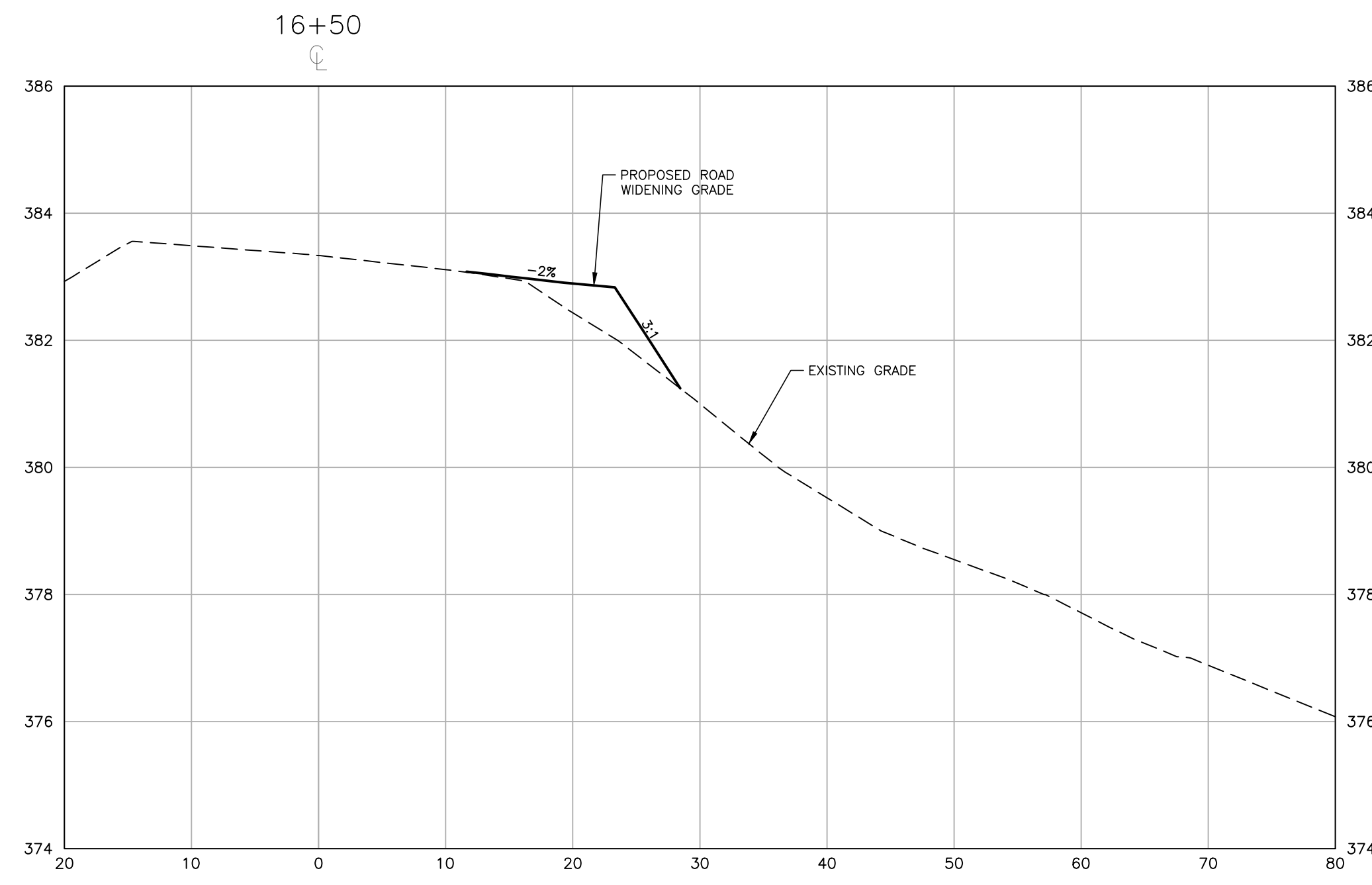
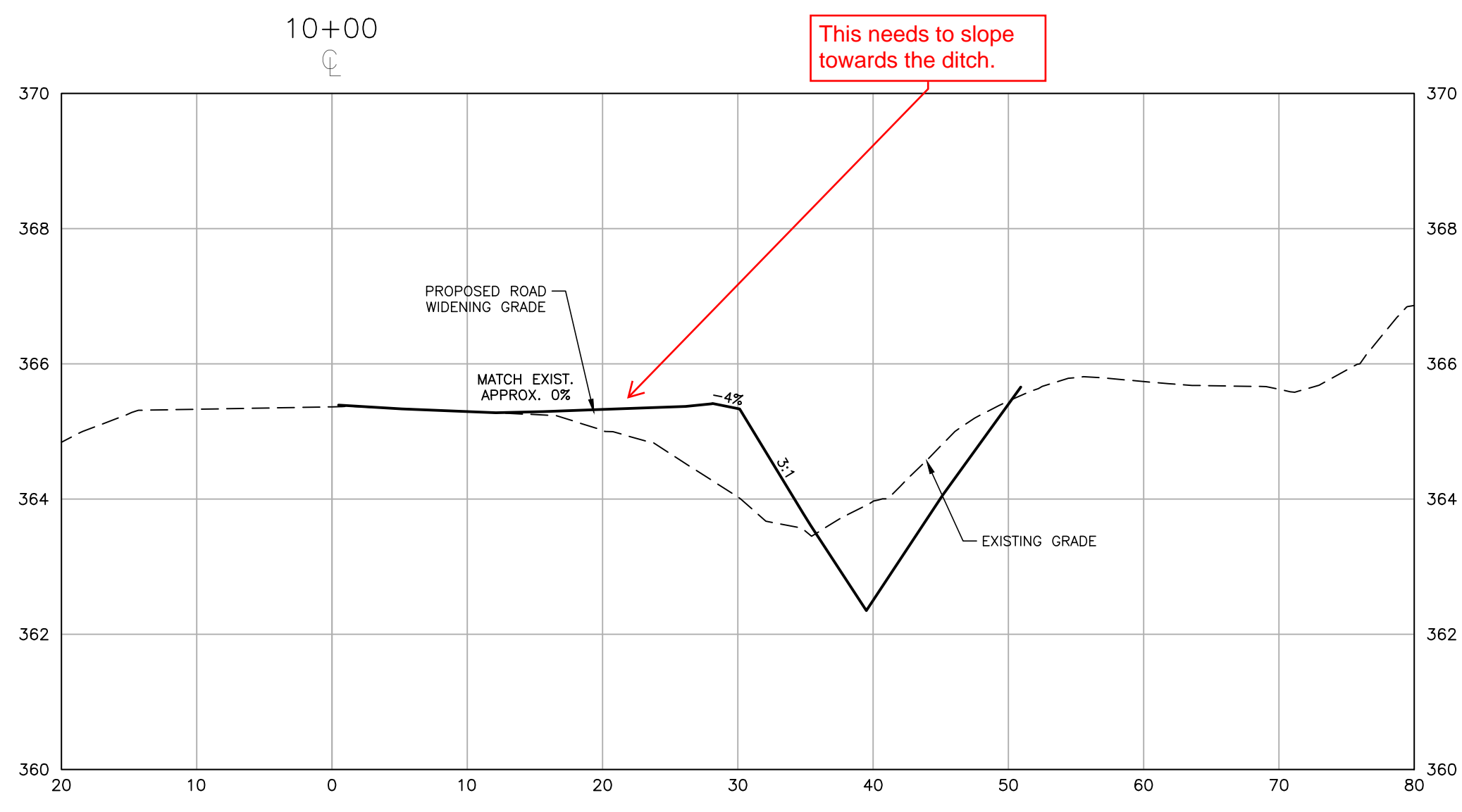
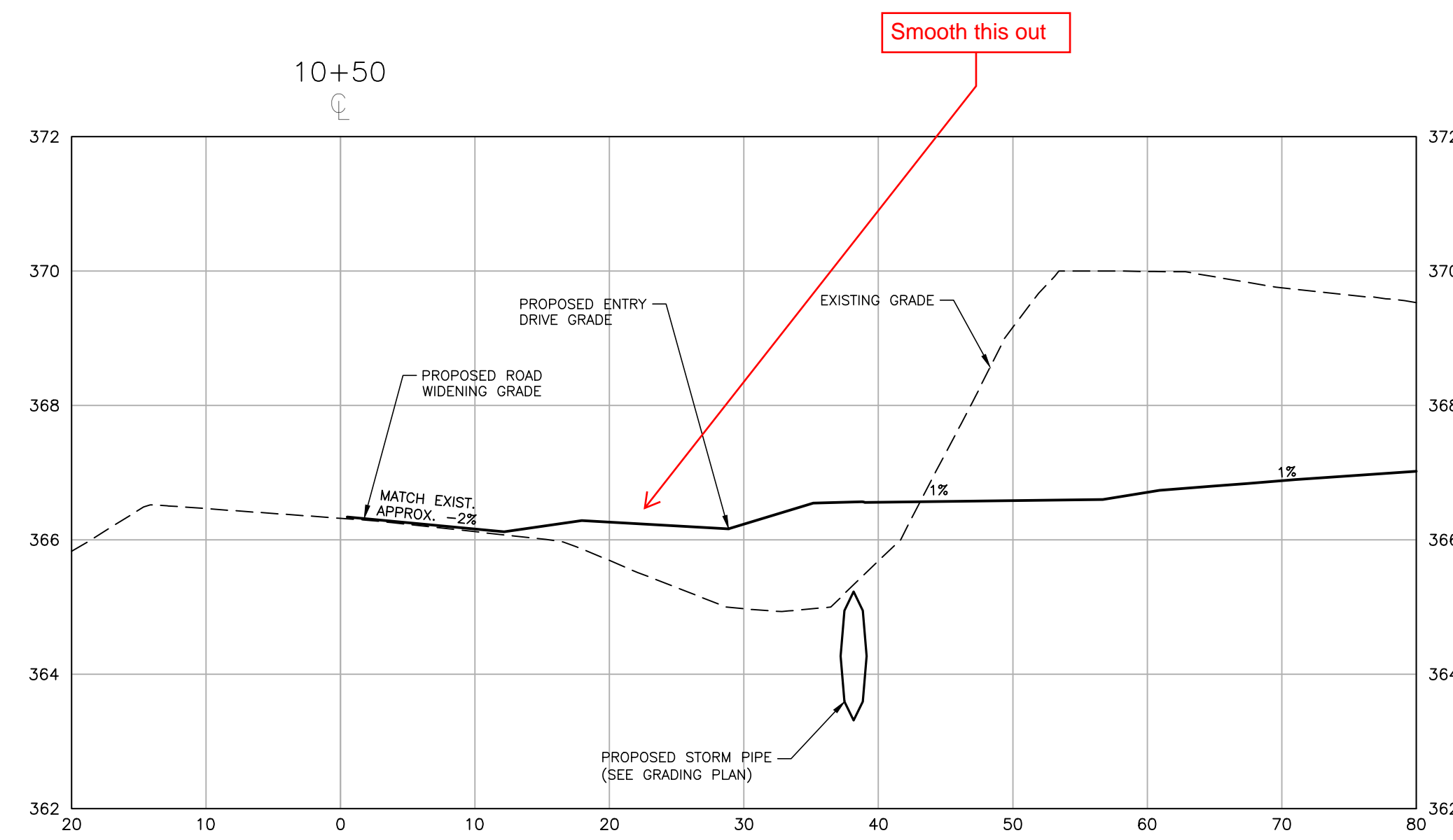
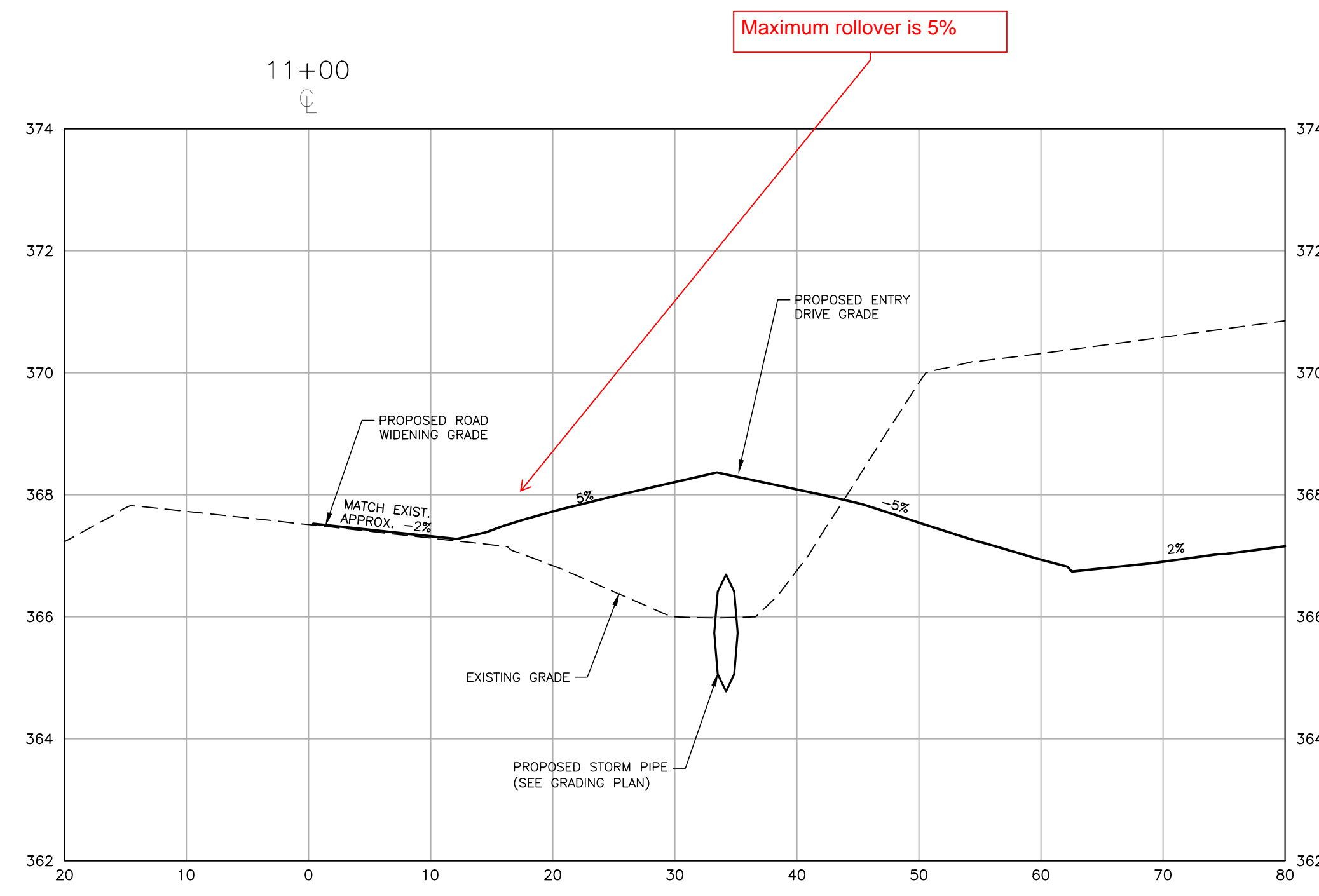
PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 202011039-PH1-RW2
CHECKED BY EMD
DRAWN BY SME
SCALE H:1"=10' / V:1"=2'
DATE 12.01.2023

SHEET

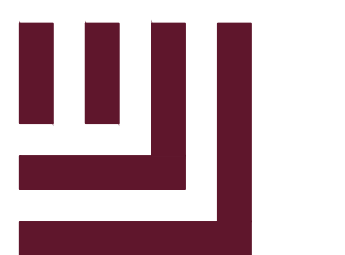
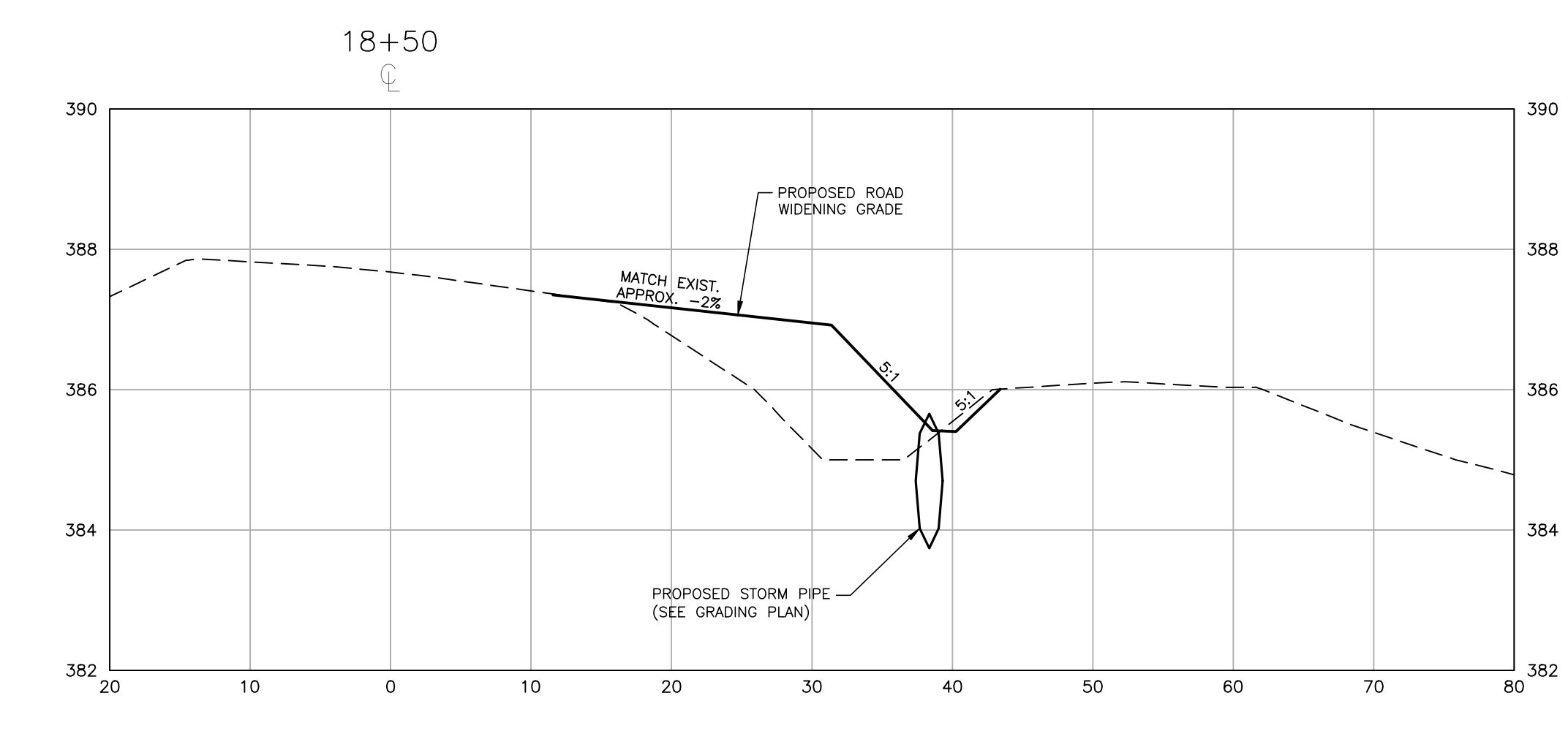
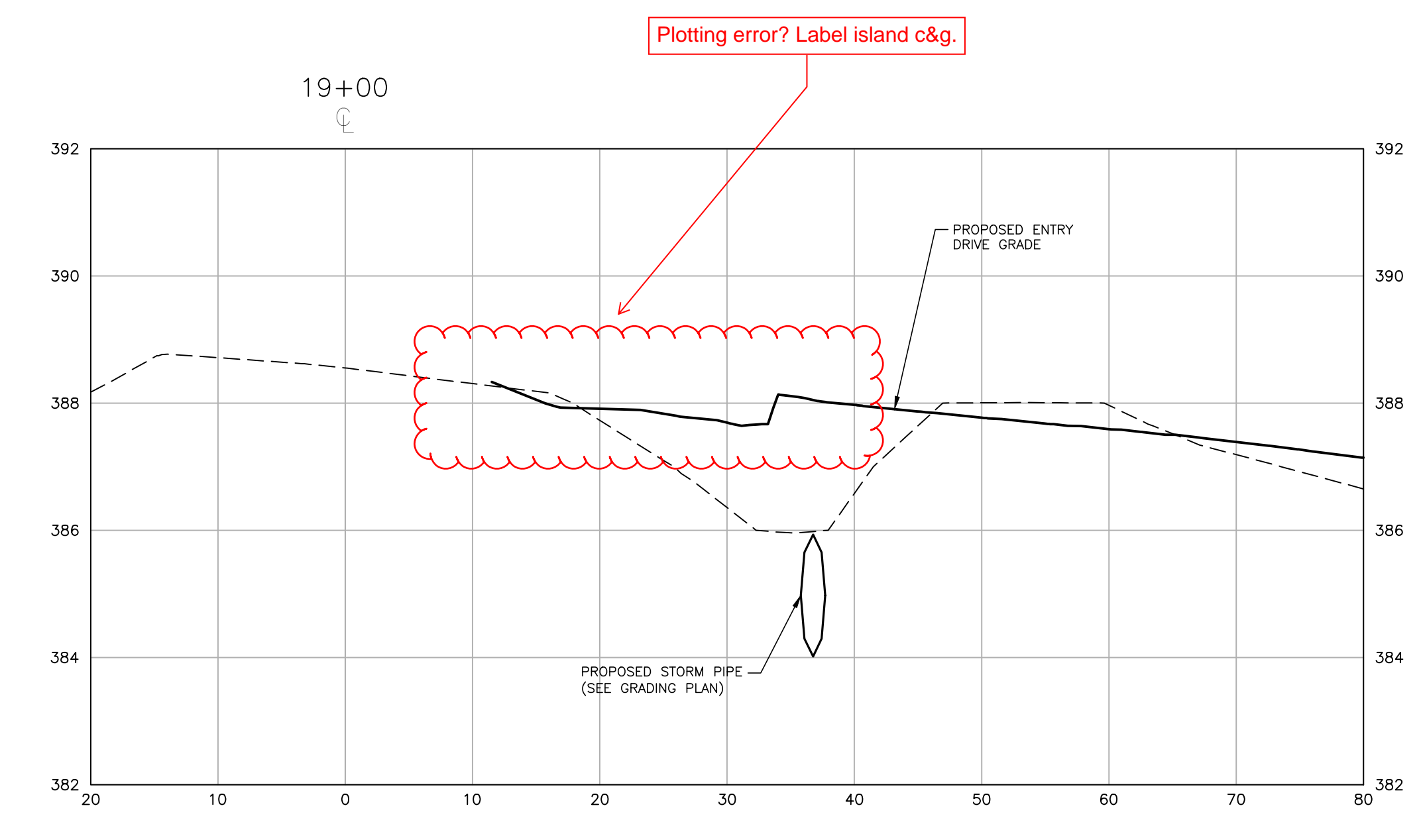
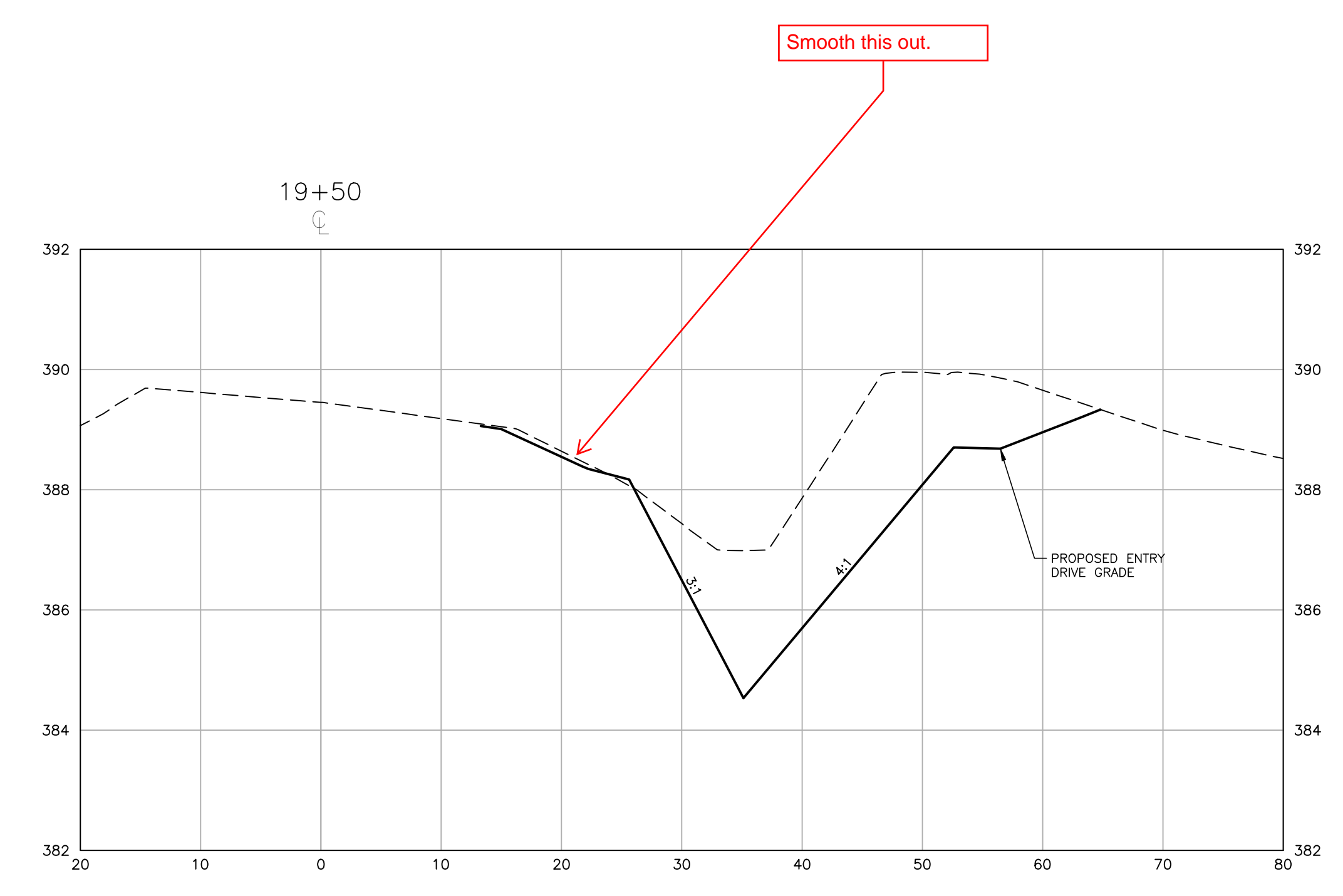
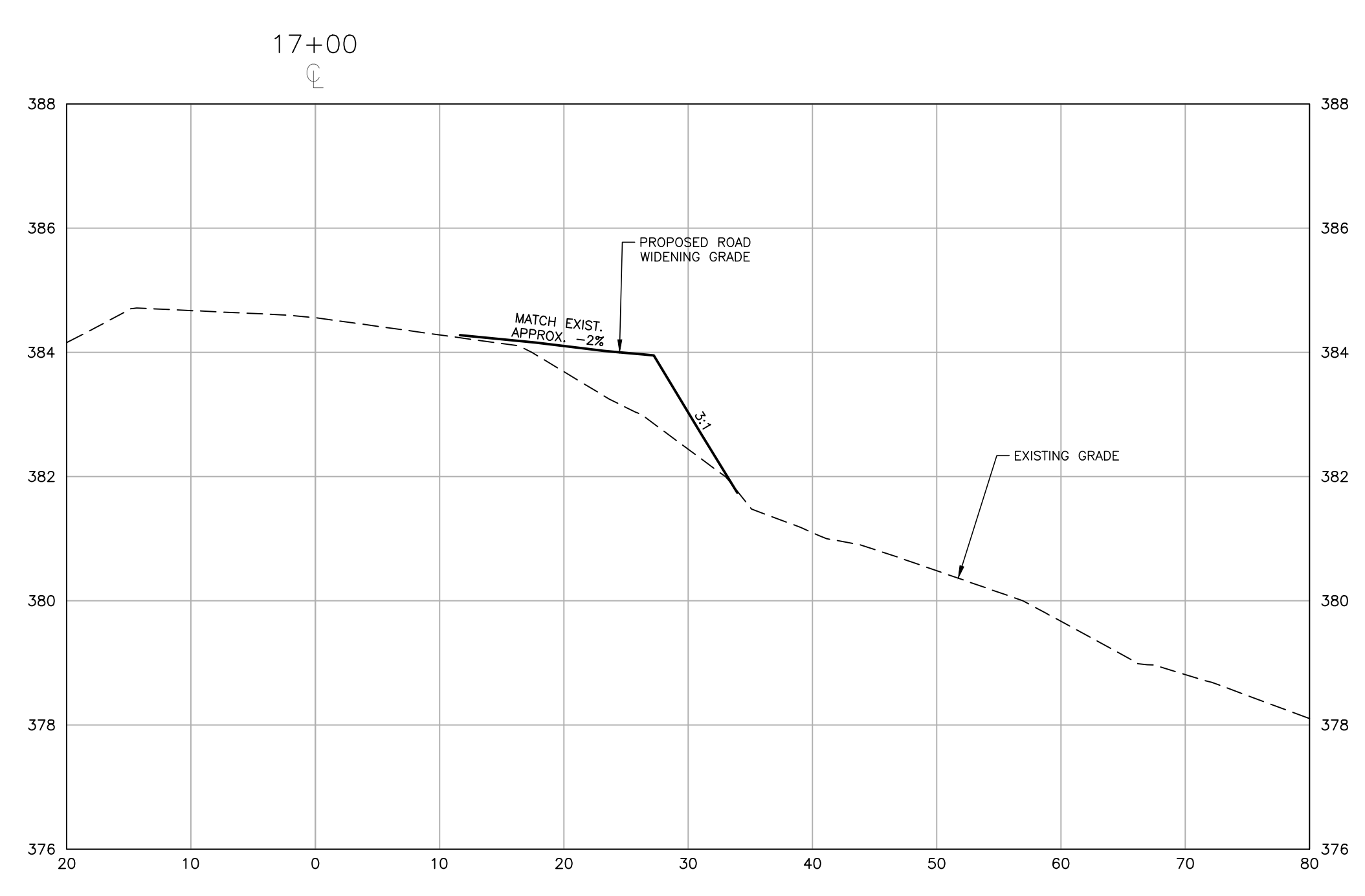
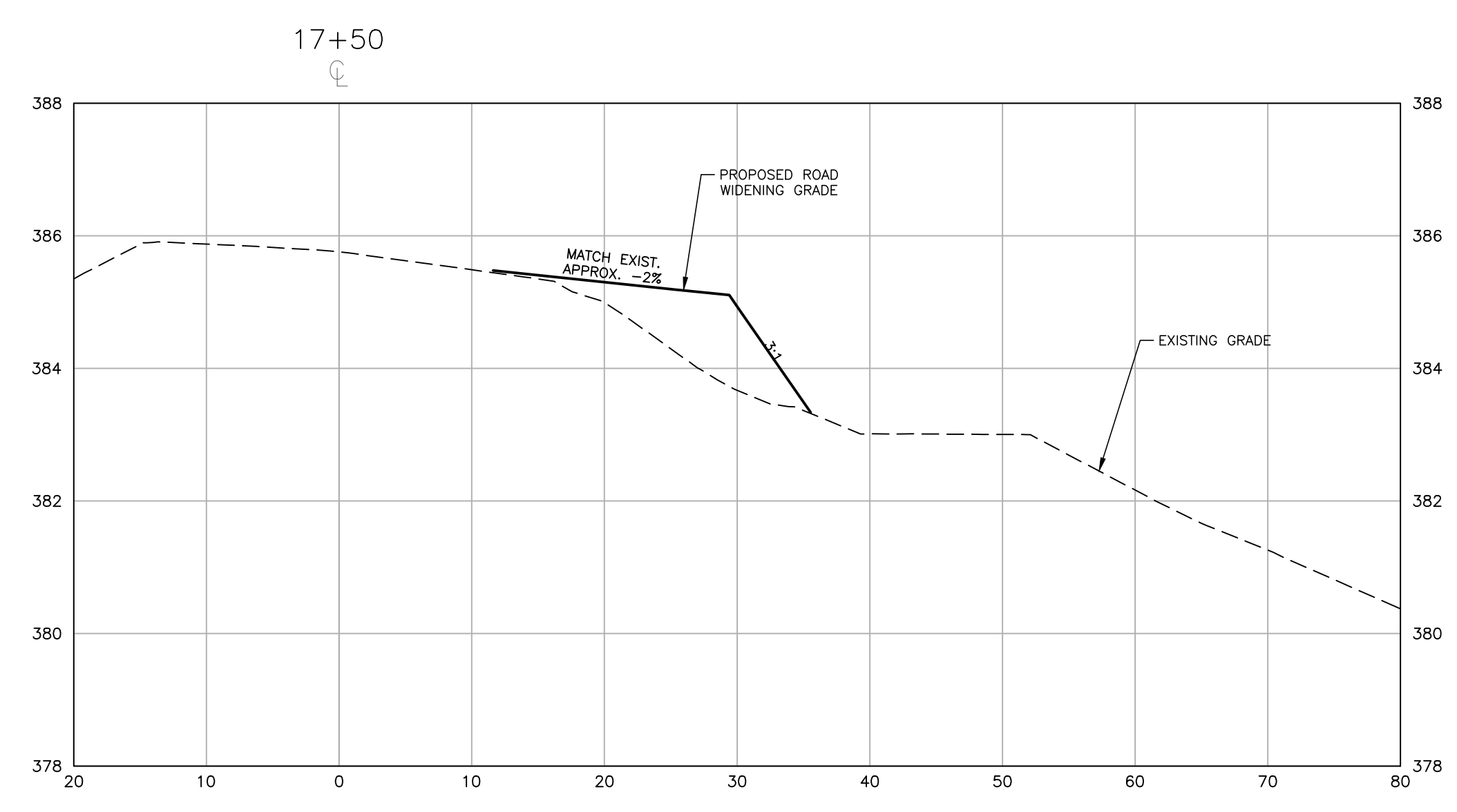
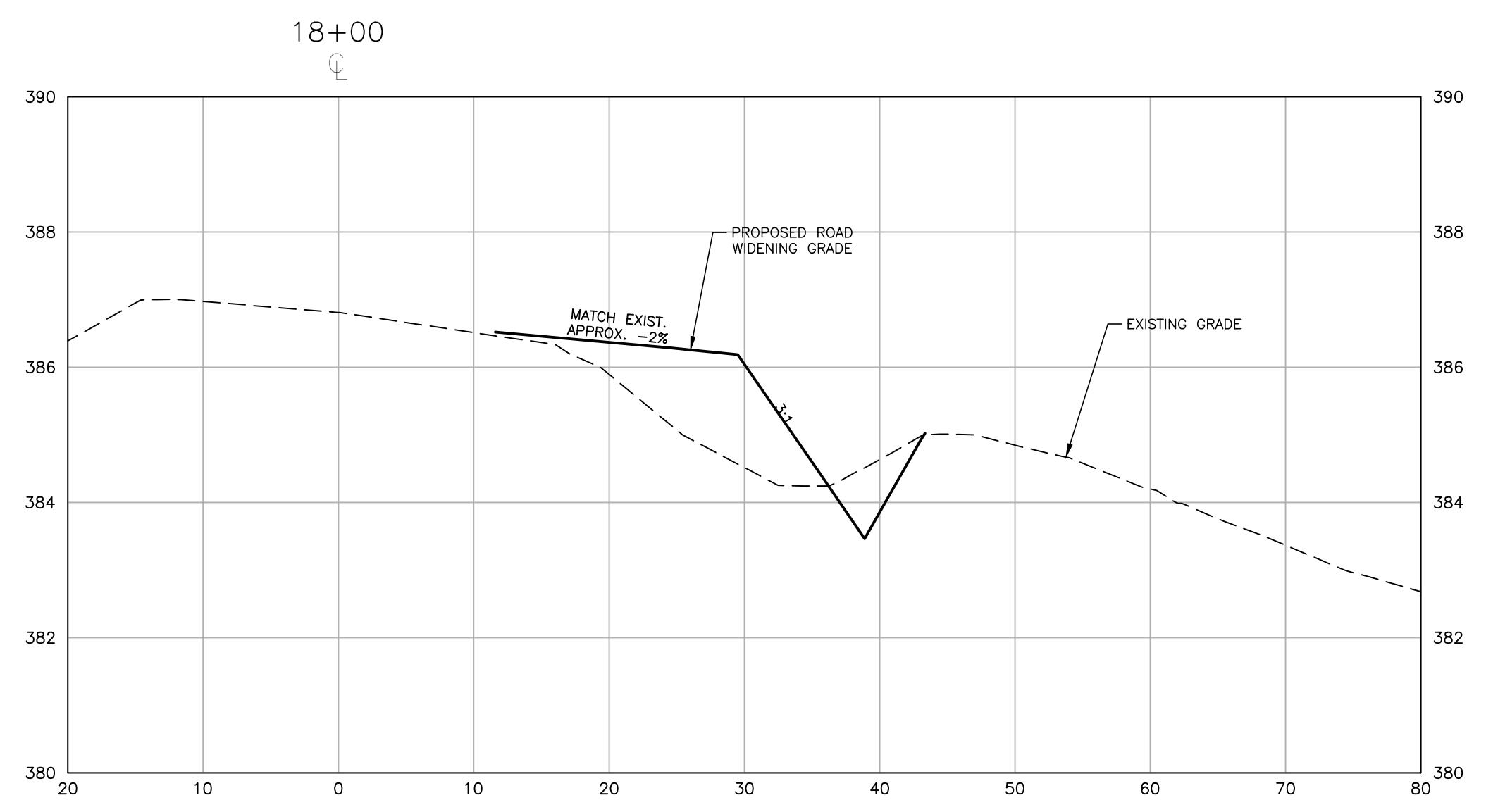
**LOUISBURG RD
WIDENING
CROSS SECTIONS**

C7.02



M:\Projects\WOL\202011039\Frazier Farm PH1A\04-Production\Engineering\Phase1A\CID\202011039-PH1-RW2.dwg, 12/1/2023, 4:54:09 PM, Eric Donnell

Provide a cross-section that accurately shows driveway grade for northern driveway.



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

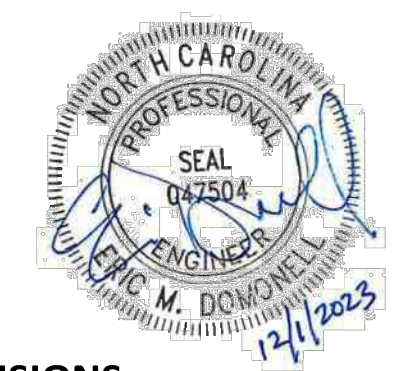
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293

www.mcadamsco.com

CLIENT

NAME: TOWN OF ROLESVILLE
ADDRESS: 502 SOUTHTOWN CIRCLE
ADDRESS: ROLESVILLE NC 27571
PHONE: 919.554.6582

FRAZIER FARM PARK
CONSTRUCTION DRAWINGS
PHASE 1A
11624 LOUISBURG ROAD
ROLESVILLE, NORTH CAROLINA



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. 202011039
FILENAME 202011039-PH1-RW2
CHECKED BY EMD
DRAWN BY SME
SCALE H:1"=10' / V:1"=2'
DATE 12.01.2023

SHEET

LOUISBURG RD
WIDENING
CROSS SECTIONS
C7.03

CID-23-5

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\WOL\202011039\Frazier Farm PH1A\04-Production\Engineering\Phase1A\CAD\202011039-PH1-RW2.dwg, 12/1/2023, 4:54:10 PM, Eric Donnell