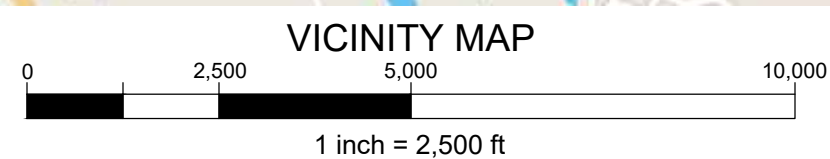
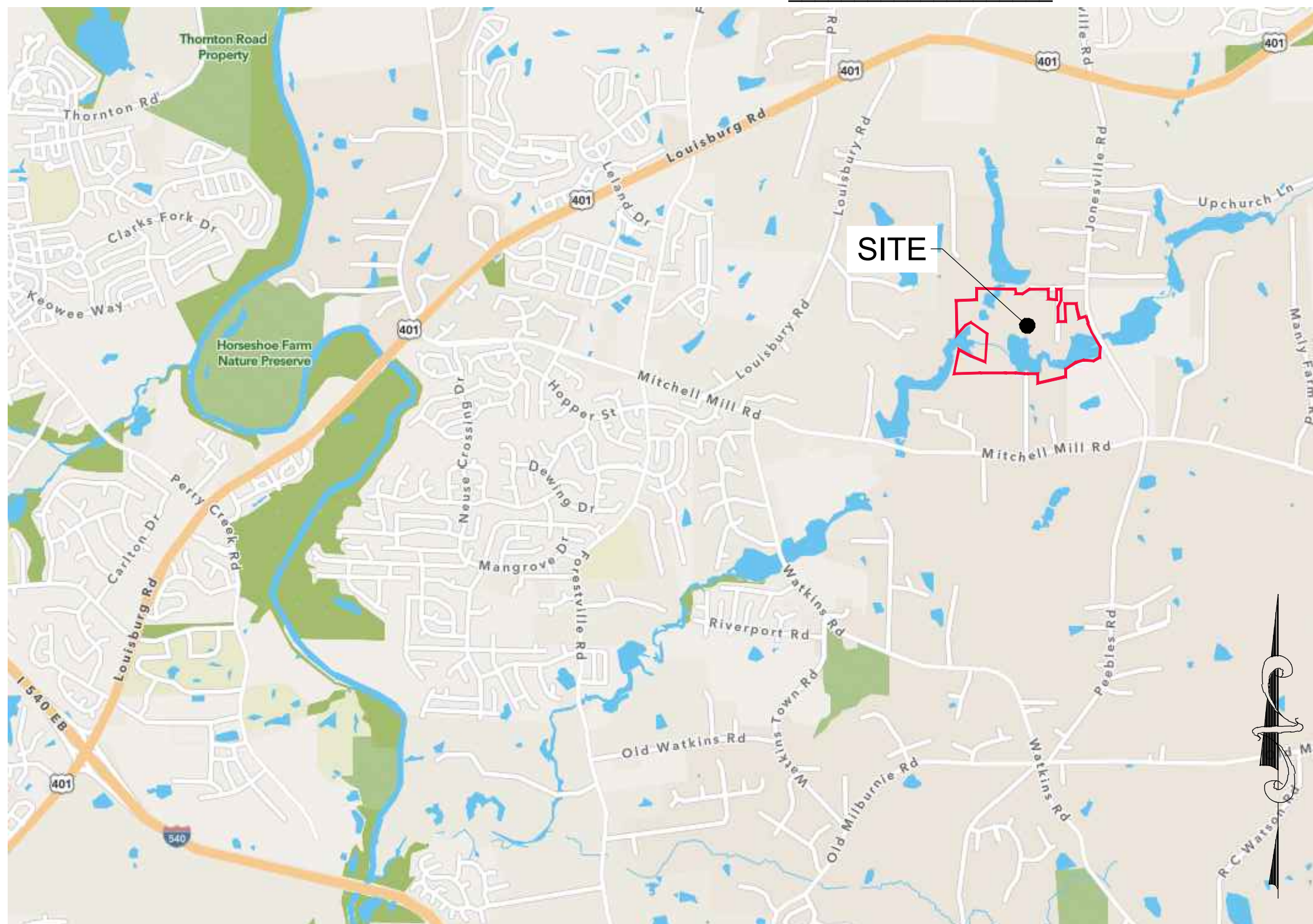


CONSTRUCTION DRAWINGS FOR HARRIS CREEK FARMS

TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

CASE NUMBER: CID-25-??

APPROVED BY THE TOWN OF ROLESVILLE



1. Update to CID-25-03

2. Provide signing and striping plans for subdivision.

3. Provide plan/profile sheets for the greenway.

4. We have noted that the lighting plan is pending. Please note that a lighting plan will be required for approval of the CID.

SITE DATA TABLE	
OWNER	KENNETH INVESTMENTS, LLC Contact: STEPHAN GEORGE 10030 GREEN LEVEL CHURCH RD, STE 802 CARY, NC 27519
ENGINEER	QUANTECH ENGINEERING BRYAN A. HARRIS, PE 15000 WESTON PARKWAY, STE. 174 CARY, NC 27513 PHONE: (919) 815-9987 EMAIL: BRYAN@QUANTECHENG.COM
DEVELOPER	THE CSC GROUP, LLC STEVE GEORGE 800 PARK OFFICES DRIVE, STE 372 RESEARCH TRIANGLE, NC 27709 PHONE: (919) 815-9987
ENVIRONMENTAL CONSULTANT	MORRIS & RITCHE ASSOCIATES 530 HINTON POND ROAD, SUITE 104 KNIGHTDALE, NC 27545
SURVEYOR	BATEMAN CIVIL SURVEY COMPANY JOSH DAVIDSON 2534 RELIANCE AVE APEX, NC 27539 PHONE: 919 557-1080 ext 109 josh@batemancivilsurvey.com
SITE ADDRESS	4928 UNIVERSAL DR WAKE FOREST, NC 27587-6356
PIN	1757277811, 1757471559, 1757383572, 1757384572, 1757385064, 1757375975, 1757375865, 1757375765, 1757375665, 1757375575, 1757375484, 1757375365, 1757375276, 1757376303, 1757378109, 1757378013, 1757368816
DEED BOOK / PAGE	019248 / 01884 (all parcels)
PLAT BOOK / PAGE	BM2007 / 01224
TOTAL SITE AREA:	94.99 AC
EXISTING ZONING:	RM-CZ
CURRENT USE:	RESIDENTIAL
PROPOSED USE	RESIDENTIAL-CLUSTER (MEDIUM DENSITY)
RIVER BASIN	NEUSE RIVER BASIN
SUB WATERSHED	NEUSE (UPPER) - 03020201
FEMA FIRM PANEL #:	3720175700K
RESIDENTIAL DENSITY CALCULATIONS (CLUSTER SUBDIVISION)	
MAXIMUM DENSITY ALLOWED:	5.0 UNITS / AC
PROPOSED DENSITY:	120 UNITS / 94.99 AC = 1.26 UNITS / AC
LOTS (CLUSTER)	
MINIMUM LOT WIDTH	42.0 FT
MINIMUM LOT AREA	6,000 SF
MINIMUM BUILDING SETBACKS:	FRONT: 20' REAR: 20' CORNER: 10' SIDE: 5'
OPENSOURCE (MEDIUM DENSITY, CLUSTER)	
OPEN SPACE (REQUIRED 12%)	11.40 AC
OPEN SPACE (PROPOSED)	63.31 AC
PASSIVE (REQUIRED)	5.70 AC
PASSIVE (PROPOSED)	55.75 AC
PASSIVE (NOT IN SCM OR ENVIRONMENTAL AREAS)	7.11 AC
ACTIVE (REQUIRED)	5.70 AC
ACTIVE (PROPOSED)	7.56 AC
ACTIVE SPACES (REQUIRED)	2 MEDIUM AREA (1.0 - 2.5 AC) 1 LARGE AREA (> 2.5 AC.)
ACTIVE SPACES (PROVIDED)	(2) MEDIUM AREAS Area 1 = (44,640 SF, 1.02 AC) Area 2 = (75,467 SF, 1.80 AC) (1) LARGE AREA Area 3 = (206,621 SF, 4.74 AC)
TREE SAVE SUMMARY (CLUSTER)	
EXISTING QUALIFIED TREES:	514 Total
REQUIRED TREES SAVE:	52 (10% of Total)
PROPOSED TREES SAVE:	267 (52% of Total)
STREET DATA	
STREET A	1,125 LF 50' R/W 35' BC - BC
STREET B	1,245 LF VARIABLE R/W 35' BC - BC
STREET C	2,360 LF 50' R/W 35' BC - BC
STREET D	705 LF 50' R/W 27' BC - BC
STREET E	370 LF 50' R/W 27' BC - BC
DEDICATED ROAD R.O.W.	7.64 ACRES

IMPERVIOUS AREA	
EXISTING GRAVEL ROADS	69,021 SF (1.58 AC)
PROPOSED ROADS	186,157 SF (4.27 AC)
PROPOSED PARKING LOTS	11,176 SF (0.26 AC)
PROPOSED SIDEWALKS	56,138 SF (1.29 AC)
PROPOSED GREENWAYS	65,664 SF (1.51 AC)
ALLOWABLE / LOTS	20% = 627,553 SF (19.00 AC) 319,890 SF (7.34 AC) = 507,663 SF (11.65 AC) 507,663 SF / 120 Lots = 4.230 SF / Lot

PARKING CALCULATIONS			
PRINCIPAL USES	MINIMUM REQ'D	MAX ALLOWED	PROPOSED SPACES
PARKS/PUBLIC RECREATION FACILITIES	3 PER GROSS ACRE PLUS 1 PER 1000 SF OF GROSS FLOOR AREA OF BUILDINGS 5.09 Ac * 3 = 15.26 0 SF of FLOOR = 0 SPACES ADA CALC'S 26-50 PARKING SPACES REQUIRE ONE VAN ACCESSIBLE AND ONE STANDARD	NO MAXIMUM	28 SPACES (INCLUDES 4 VAN ACCESSIBLE ADA SPACES)

PROJECT REZONING WAS SUBMITTED AUGUST 2022. THE PROPERTY'S RM-CZ ZONING DISTRICT IS THEREFORE SUBJECT TO LDO SECTION 3.1.B(3), 3.2.B(1) & TABLE 3.1.2. CLUSTER DEVELOPMENT STANDARDS FOR MINIMUM LOT AREA (SIZE), WIDTH, AND BUILDING SETBACKS IN EFFECT AS OF AUGUST 2022. SPECIFICALLY, THIS IS PRIOR TO THE APRIL 4, 2023 ADOPTION OF TEXT AMENDMENT TA-23-02 WHICH MODIFIED THESE CLUSTER DEVELOPMENT STANDARDS.

AGENCY CONTACTS

Town of Rolesville
Planning Department
502 Southtown Circle
Rolesville, NC 27511

Wake County
Watershed Management
Waverly F. Atkins Building
337 S. Salisbury St
Raleigh, NC 27601
Contact: Karen Pageau
Phone: (919) 796-8789
Email: karen.pageau@wakegov.com

City of Raleigh Public Utilities Dept.
One Exchange Plaza Suite 620
Raleigh, NC 27602
Phone: (919) 998-3245
Email: publicutilityinfo@raleighnc.gov

NCDDOT
Division 5, District 1 Office
4009 District Drive
Raleigh, NC 27607

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED
EROSION CONTROL SEC-
STORMWATER MGMT. SWF-
FLOOD STUDY SWF-
DATE _____

ENVIRONMENTAL CONSULTANT SIGNATURE

N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL
TOLL FREE 811 or (800)632-4949

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

Sheet Number	Sheet Title
1	Cover
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4	Existing Tree Survey
5	Tree Removal Plan
6	Tree Save Plan
7	Overall Site Plan
8	SITE PLAN SHEET 1 of 6
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14	SITE PLAN Data & Details
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16	Overall Erosion Control Plan
17	EC Plan Stage 1 Sheet 1 of 6
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33	Overall Grading & Drainage Plan
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73	Mitchell Waterline 37+50 to 50+00
74	Mitchell Waterline 50+00 to 62+50
75	Mitchell Waterline 62+50 to 75+00
76	Mitchell Waterline 75+00 to 84+00
77	Jonesville Rd Waterline 0+00 to 10+00
78	Jonesville Rd Waterline 10+00 to 20+00
79	Jonesville Rd Waterline 20+00 to 30+00

Developer
THE CSC GROUP
CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUNITY
10030 Green Level Church Rd, Suite 802 #149, Cary, NC 27519

Engineer
QUANTECH ENGINEERING
Firm # F-1517
15000 Weston Parkway
Cary, N.C. 27513
(919) 996-9455

Surveyor
BCSC Bateman Civil Survey Company
2524 Reliance Avenue
Apex, NC 27539
919-557-1080 ext 109
www.batemancivilsurvey.com

Jurisdiction / Municipality
Rolesville Town of Rolesville
502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517
PSP-24-05

Other Consultants

Sheet map:

Seal:
PROFESSIONAL ENGINEER
NORTH CAROLINA
SEAL
53676
BRYAN A. HARRIS

FINAL DRAWING - FOR REVIEW PURPOSES ONLY

Issued / Print Date: 2025-May-30 (17:00)
File Name: 1 Cover.dwg

Last Saved by: Tim Newsome
Drawn by: TAN

Project:
HARRIS CREEK FARMS
CID-25-??

Issued for: PROGRESS DRAWINGS
DO NOT USE FOR CONSTRUCTION

REVISIONS

No.	Date	Description
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Sheet Title:
COVER

Sheet #:
1

GENERAL NOTES:

- THE CONTRACTOR SHALL MARK THE LIMITS OF THE STREAM BUFFER AND WETLANDS WITH ORANGE TREE PROTECTION FENCE WITH APPROPRIATE SIGNAGE. TREE PROTECTION FENCE SHALL BE INSTALLED ALONG THE OUTER ZONE OF ANY NEUSE RIVER BUFFER OR CAPE FEAR BUFFER OR IF THERE IS ANY CONSTRUCTION WITHIN 50 FEET OF THE BUFFER EDGE. THIS MUST BE DONE PRIOR TO STARTING ANY CLEARING AND MUST BE DONE TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- IF THE DEVELOPER HAS RECEIVED APPROVAL TO WORK IN THE FIRST 20- FEET OF A STREAM BUFFER, THEN THE LAST 30 FOOT BOUNDARY SHALL BE MARKED IN THE AREA ADJACENT TO THIS WORK. OTHERWISE THE ENTIRE 50- FEET SHALL BE MARKED. THIS MARKING SHALL REMAIN IN PLACE UNTIL ALL ADJACENT DISTURBED AREAS HAVE BEEN COMPLETED AND STABILIZED.
- CONTRACTOR WILL INSTALL TEMPORARY DIVERSION DITCHES WHEN SETTING UP EROSION CONTROL MEASURES IN THE SAME LOCATION AS THE PERMANENT DITCHES (7 DAY GROUND COVER REQUIRED).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL LOCAL, COUNTY, OR STATE REQUIRED PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANYS (ELECTRIC, GAS, TELEPHONE, ETC.)
- THE CONTRACTOR SHALL BE AWARE OF ANY OVERHEAD POWER LINES AND SHALL TAKE ALL NECESSARY PRECAUTION TO ENSURE THAT PERSONNEL AND TRAFFIC ARE SAFE AT ALL TIMES.
- THE UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, CHARTED OR UNCHARTED, LOCATED OR UNLOCATED. ANY AND ALL WORK PERFORMED TO REPAIR UTILITIES DAMAGED BY THE UTILITY CONTRACTOR MUST MEET THE APPROVAL OF THE ASSOCIATED UTILITY COMPANY AND THE UTILITY CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY SUCH REPAIRS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLACEMENT OF A SUITABLE BACKFILL MATERIAL AND SHALL PLACE MATERIAL IN 12" LAYERS AND COMPACT AND FILL TO A 95% STANDARD PROCTOR.
- THE CONTRACTOR SHALL BE COGNIZANT OF THE EROSION CONTROL DEVICES FOR THIS PROJECT AND SHALL MAKE EVERY EFFORT TO ASSURE THAT ALL SUCH DEVICES ARE KEPT CLEAN AND IN APPROPRIATE WORKING ORDER. AFTER EACH STORM OR RAINFALL EVENT, ALL COLLECTED SEDIMENT SHALL BE REMOVED AND THE DEVICES RETURNED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL REIMBURSE ANY FINES, DUE TO EROSION CONTROL FAILURES, TO THE OWNER/DEVELOPER.
- THE CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL DURING ALL PHASES OF THIS CONSTRUCTION IN ACCORDANCE WITH NCDOT AND ALL MUNICIPALITY STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MOST CURRENT EDITION OF THE ORDINANCE.
- THE CONTRACTOR SHALL OBTAIN A LANE CLOSURE PERMIT (IF APPLICABLE) FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAFFIC LANE FROM THE PUBLIC WORKS DEPARTMENT-TRANSPORTATION OPERATION DIVISION AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT A STREET CUT PERMIT (IF APPLICABLE)
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB AND GUTTER, SIDEWALKS AND STREET TO EXISTING CONDITION OR BETTER.
- ANY CHANGES OR DEVIATIONS FROM THESE PLANS NO MATTER HOW MINOR SHALL BE DONE ONLY WITH THE EXPRESS "PRE-APPROVAL" OF THE PROJECT ENGINEER.
- IT IS REQUIRED BY THE STATE, THAT THE ENGINEER CERTIFY THE AS-BUILT CONDITIONS OF THE UTILITIES AFTER THEY HAVE BEEN CONSTRUCTED. IT IS THEREFORE NECESSARY THAT THE ENGINEER WITNESS AND MONITOR THE CONSTRUCTION PROCESS. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE ENGINEER, WITH AT LEAST 48 HOURS OF ADVANCE NOTICE OF WHEN THE CONSTRUCTION WILL TAKE PLACE SO THAT PROPER INSPECTIONS CAN BE MADE.
- ALL EROSION CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY
- TO PREVENT SHORT CIRCUITING OF SEDIMENT TRAPS, ALL TRAPS CALL FOR SILT FENCE FLOW DIVERSIONS PER TRAPS DETAIL.
- TEMPORARY DIVERSION DITCHES SHALL BE INSTALLED ALONG THE SIDES OF THE CLEARING AREA UNTIL SUCH TIME AS THE TYPICAL ROADWAY SECTION CAN BE ESTABLISHED.
- NO EROSION CONTROL MEASURES MAY BE REMOVED WITHOUT THE PRIOR APPROVAL OF BOTH THE PROJECT ENGINEER AND LOCAL INSPECTOR.
- THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY GROUND COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PERMANENT GROUNDCOVER WILL BE PROVIDED FOR ALL DISTURBED AREAS WITHIN 14 CALENDAR DAYS. (PER GENERAL STATUTE 113A-57 PARAGRAPH 2 & 3).
- NO DISTURBED AREA SHALL BE ALLOWED TO REMAIN UNPROTECTED AND MUST BE MULCHED AND SEEDED WITHIN 14 DAYS OF WHEN WORK WAS CONDUCTED.
- SEEDING OF THE SHOULDERS SHALL BE IN ACCORDANCE WITH THE EROSION CONTROL DETAIL SHEET WITH THESE PLANS.
- THE WATER LINES SHALL BE BURIED A MINIMUM OF 3' DEEP, FROM THE TOP OF THE FINISHED GROUND ELEVATION TO THE TOP OF THE PIPE THROUGH THE ENTIRE LENGTH OF THE PIPE.
- THE METER SETTERS SHALL BE PLACED AT LEAST SIX (6) FEET FROM THE PROPERTY LINE BETWEEN THE LOTS AND NO MORE THAN TEN (10) FEET FROM THE PROPERTY LINE BETWEEN THE LOTS. THE METER SETTERS SHALL BE LOCATED ONE (1) FOOT WITHIN THE RIGHT-OF-WAY NEAR THE LOT CORNER OF EACH LOT (UNLESS RESTRICTED BY SIDEWALK IN WHICH CASE WILL BE PLACED A REASONABLE DISTANCE FROM THE SIDEWALK BUT NO FURTHER THAN 6 FEET).
- EACH WATER LINE TAP SHALL BE INDIVIDUAL AND MADE A MINIMUM OF 12" APART.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY OF THE RADIUS CURVATURE, OR TWENTY (20) FEET FROM THE INTERSECTION OF RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT ENCRDACH ON THE MINIMUM CORNER CLEARANCE. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH THE ADA AND LOCAL STANDARD. WHERE SIDEWALK IS NOT REQUIRED ALONG THE PUBLIC ROW, CURB IS TO BE DEPRESSED AT ALL RAMP LOCATIONS. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, PARKED VEHICLE OR OTHER OBJECT.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS.
- EXISTING UNUSED UTILITY SERVICES SHALL BE ABANDONED AT MAIN AND REMOVED FROM THE ROW OR EASEMENT.
- ALL STRUCTURAL STORM WATER SCM'S SHALL BE LOCATED OUTSIDE OF NCDOT RIGHT OF WAYS. A PERMANENT PUBLIC DRAINAGE EASEMENT SHALL BE LOCATED OUTSIDE OF THE NCDOT RIGHT OF WAY(S) FOR ACCESS. NCDOT ASSUMES NO RESPONSIBILITY FOR THE OPERATION & MAINTENANCE OR LIABILITY OF THE STRUCTURAL STORMWATER SCM'S.
- ALL ROADWAY DITCHES MUST BE STABLE BEFORE THEY WILL BE TAKEN INTO THE STATE SYSTEM.
- LOTS DENOTED WITH AN ASTERISK (*) NEXT TO THE LOT NUMBER MEANS THERE IS A 100 YR FLOOD EASEMENT WHICH CONSISTS OF THE 100 YR FLOOD PLAIN (BACK WATER) PLUS 1' (OBTAINED FROM GIS ELEVATIONS) OR THE LOT HAS FLOOD HAZARD SOILS ON IT.
- BEFORE ACQUIRING A BUILDING PERMIT FOR LOTS MARKED BY AN * (ASTERISK) THE BUILDER MAY NEED TO OBTAIN A FLOOD HAZARD AREA INFORMATION. THE BUILDER'S ENGINEER, ARCHITECT AND/OR SURVEYOR (AS APPROPRIATE) MUST CERTIFY ON ANY PERMIT THAT ALL FLOOD HAZARD REQUIREMENTS ARE MET.
- THERE SHALL BE NO FILLING OR ERECTION OF PERMANENT STRUCTURES IN THE AREAS OF FLOOD HAZARD SOILS OR FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) 100 YEAR FLOOD ZONES UNTIL A FLOOD STUDY IS APPROVED.

SITE SPECIFIC NOTES:

- OVERALL TOPOGRAPHIC INFORMATION WAS TAKEN FROM WAKE COUNTY GIS. STREET SECTIONS AND LOCATION OF EXISTING PAVEMENT AND STRUCTURES PROVIDED BY THE SURVEYOR.
- BOUNDARY INFORMATION WAS TAKEN FROM INFORMATION PROVIDED BY THE SURVEYOR.
- ALL LOTS WILL BE SINGLE FAMILY RESIDENTIAL.
- LOCAL RESIDENTIAL STREET RIGHT-OF-WAY WIDTHS SHALL BE 50' AND HAVE 24' WIDE ASPHALT PAVEMENT SECTION WITH 30 INCH VALLEY CURB & GUTTER. COLLECTOR RESIDENTIAL STREETS SHALL HAVE 60' RIGHT-OF-WAY WIDTHS AND HAVE 30' ASPHALT PAVEMENT SECTION WITH 30" STANDARD CURB & GUTTER.
- CUL-DE-SACS SHALL HAVE A 50' RADIUS. ASPHALT PAVEMENT RADII WITHIN CUL-DE-SAC SHALL BE 35'.
- THERE ARE NO FEMA FLOOD BOUNDARIES ON THIS SITE ACCORDING TO CURRENT FIRM PANEL.
- 404/401 PERMITS WILL NOT BE NEEDED.

MA 22-08 REZONING CONDITIONS:

- THE SUBJECT PROPERTY SHALL BE DEVELOPED IN GENERAL COMPLIANCE WITH THE MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN DATED 01-01-24.
- THE DEVELOPMENT SHALL CONSIST OF MAXIMUMS OF 120 SINGLE FAMILY DETACHED DWELLING UNITS/LOTS AS DETAILED IN THE MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN DATED 01-01-24.
- SINGLE FAMILY DETACHED DWELLING UNIT FACADE ANTI-MONOTONY: IN ORDER TO PROMOTE VARIATION IN HOME APPEARANCE, NO SINGLE FAMILY FRONT FACADE SHALL BE DUPLICATED FOR THREE LOTS IN A ROW, OR DIRECTLY ACROSS THE STREET. FOR THE CORNER LOTS, THIS SHALL APPLY TO THE LOTS DIAGONALLY ACROSS THE INTERSECTION.
- ALL GARAGE DOORS SHALL EITHER CONTAIN WINDOWS OR CARRIAGE STYLE ADORNMENTS.
- SINGLE FAMILY DETACHED DWELLING UNITS SHALL:
 - BE A MINIMUM OF 1,500 HEATED SQUARE FEET.
 - HAVE CEMENTITIOUS SIDING THAT SHALL VARY IN TYPE AND COLOR WITH BRICK, SHAKES, BOARD AND BATTEN, OR STONE ACCENTS PROVIDED AS DECORATIVE FEATURES.
 - HAVE AT LEAST TWO TYPES OF FINISHES ON THE FRONT: LAP SIDING, MASONRY, SHAKES, AND BOARD BATTEN.
- A HOME OWNERS ASSOCIATION (HOA) SHALL BE CREATED AND ALL OPEN SPACES OBSERVED IN MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN DATED 01-01-24. SHALL BE OWNED AND MAINTAINED BY THE HOA.
- FOUNDATIONS: ALL FOUNDATIONS ARE TO BE MONOLITHIC POURED SLAB FOUNDATIONS. TOP OF SLABS SHALL BE ELEVATED A MINIMUM OF 18" ABOVE FINISHED GRADE FOR ALL DWELLING UNITS. ALL FOUNDATIONS SHALL BE TREATED WITH MASONRY ON THE FRONT AND STREET-FACING SIDES FOR A MINIMUM OF 10"
- RECREATIONAL AMENITIES: THE FOLLOWING RECREATIONAL AMENITIES SHALL BE CONSTRUCTED AS OBSERVED IN MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN DATED 01-01-24. PUBLIC GREENWAY (APPROXIMATELY 5,600 LINEAR FEET), PRIVATE MULTI-USE PATHS (APPROXIMATELY 410 LINEAR FEET), GAZEBOs, PLAYGROUNDS, AND A DOG PARK, AMENITIES SHALL BE BUILT PRIOR TO ISSUANCE OF THE BUILDING PERMIT FOR THE 70TH LOT.
- LANDSCAPING: AT LEAST 20 PERCENT (20%) OF ALL LANDSCAPING REQUIRED BY THE LDO, THAT DOES NOT ALREADY QUALIFY UNDER LDO 6.2, SHALL UTILIZE PLANT MATERIALS LISTED AS NATIVE POLLINATOR PLANTS BY THE NORTH CAROLINA WILDLIFE FEDERATION, WHERE EVERGREEN PLANTINGS OR STREET TREES ARE REQUIRED BY THE LDO, NATIVE POLLINATOR PLANTINGS SHALL NOT BE REQUIRED. SUCH PLANTINGS SHALL NOT BE REQUIRED. SUCH PLANTINGS SHALL BE CLEARLY SHOWN IN CONSTRUCTION DRAWINGS AND INSTALLED AS PART OF SUBDIVISION INFRASTRUCTURE. NOTHING HEREIN SHALL BE CONSTRUCTED TO LIMIT THE PLANT MATERIALS PERMITTED ON THE INDIVIDUAL RESIDENTIAL LOTS.
- SIDEWALK EASEMENT: THE DEVELOPMENT SHALL ATTEMPT TO PROCURE AN EASEMENT FROM THE OWNERS OF THOSE PROPERTIES WITH PINS: 1757-48-1376 AND 1757-38-8408 IN ORDER TO PROVIDE A 5' WIDE SIDEWALK RUNNING FROM THE DEVELOPMENT'S PROPOSED ACCESS TO JONESVILLE ROAD TO THE INTERSECTION WITH UNIVERSAL DRIVE. IF THE DEVELOPMENT PROCURES EASEMENTS FROM BOTH PROPERTY OWNERS, THE SIDEWALK SHALL BE LOCATED WITHIN SAID EASEMENTS AND CONSTRUCTED CONSISTENT WITH THE TOWN OF ROLESVILLE TRANSPORTATION PLAN, AND SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE ONE HUNDRETH (100TH) BUILDING PERMIT. IF THE DEVELOPMENT IS UNABLE TO PROCURE AN EASEMENT FROM EITHER OF THE PROPERTY OWNER PRIOR TO THE ISSUANCE OF THE FIRST (1ST) BUILDING PERMIT, THEN THE DEVELOPMENT SHALL PAY A FEE-IN-LIEU FOR THE SIDEWALK CONSTRUCTION TO THE TOWN OF ROLESVILLE. THE FEE-IN-LIEU SHALL BE PAID PRIOR TO THE ISSUANCE OF THE ONE HUNDRETH (100TH) BUILDING PERMIT.
- UNIVERSAL DRIVE: THE DEVELOPMENT SHALL ATTEMPT TO PROCURE A MINIMUM 20' WIDE ACCESS EASEMENT FROM THE OWNER OF THAT PROPERTY WITH PIN: 1757-38-8408 FOR VEHICULAR INGRESS AND EGRESS TO AND FROM GIDEON DRIVE AND JONESVILLE ROAD. THIS EASEMENT SHALL BE RECORDED WITH THE WAKE COUNTY REGISTRY. IF THE EASEMENT IS OBTAINED AND RECORDED, THE DEVELOPMENT SHALL PAVE THE EASEMENT AREA WITH A 20' WIDE ASPHALT SURFACE COAT OVER TOP OF THE EXISTING PRIVATE GRAVEL ACCESS DRIVE. THE PAVING SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE ONE HUNDRETH (100TH) BUILDING PERMIT.
- PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT FOR A DWELLING UNIT, THE DEVELOPMENT SHALL DONATE THIRTY FIVE THOUSAND DOLLARS AND NO CENTS (\$35,000.00) TO HOMES FOR HEROES.
- HISTORICAL MONUMENT: THE DEVELOPMENT SHALL DEDICATE A 10-FOOT BY 10-FOOT AREA LOCATED NEXT TO THE GAZEBO AND GREENWAY PARKING AREA ALONG JONESVILLE ROAD TO ALLOW THE TOWN OF ROLESVILLE TO PLACE A HISTORICAL MONUMENT RELATED TO THE JONESVILLE AREA.
- NAMING OF ROADS: PRIOR TO THE NAMING OF ANY PUBLIC ROADS WITHIN THE DEVELOPMENT, THE PROPERTY OWNER SHALL FORMALLY REQUEST SUGGESTED ROAD NAMES FROM JONESVILLE COMMUNITY CONNECT AND WILL SUBMIT THOSE SUGGESTED NAMES TO THE POST OFFICE FOR APPROVAL. IF THE NUMBER OF THOSE APPROVED NAMES ARE EQUAL OR GREATER THAN THE NUMBER OF PUBLIC STREETS WITHIN THE DEVELOPMENT, THE DEVELOPMENT SHALL EXCLUSIVELY USE THOSE APPROVED ROAD NAMES WITHIN THE DEVELOPMENT. IF THE NUMBER OF THOSE APPROVED NAMES IS LESS THAN THE NUMBER OF PUBLIC ROADS WITHIN THE DEVELOPMENT, THE DEVELOPMENT SHALL USE ALL OF THOSE APPROVED NAMES AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR NAMING THE REMAINING PUBLIC ROADS.
- BLASTING: THE PROPERTY OWNER SHALL COMPLY WITH ALL WAKE COUNTY AND NORTH CAROLINA REGULATIONS RELATED TO BLASTING. SEE 29 CFR 1926.900-909 & 13 NCAC 07F. 0703-.0712. ANY PERSON DETONATING EXPLOSIVES ON THE PROPERTY SHALL FIRST NOTIFY THE TOWN OF ROLESVILLE THAT A BLAST IS PLANNED. SUCH NOTIFICATION SHALL BE RECEIVED AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO THE PLANNED DETONATION AND SHALL GIVE THE TIME (WITHIN 30 MINUTES) OF THE PLANNED DETONATION AND THE LOCATION WHERE THE BLASTING IS TO BE DONE. THE PERSON DETONATING THE EXPLOSIVES SHALL GIVE AN EQUIVALENT NOTICE TO EACH PROPERTY OWNER THAT IS LOCATED WITHIN 1000 FEET OF THE PROPOSED BLASTING LOCATION. AT LEAST 60 DAYS PRIOR TO ANY BLASTING WITH EXPLOSIVE MATERIALS ON THE PROPERTY, THE PROPERTY OWNER WILL NOTIFY THE HOMEOWNERS WITHIN 1000 FEET OF THE PROPERTY OF THE EXPECTED BLASTING AND SHALL PROVIDE AN OPPORTUNITY FOR A PRE-BLASTING INSPECTION ("PBI") OF THE HOMEOWNER'S PROPERTY (INCLUDING STRUCTURES AND WELLS) TO ESTABLISH A BASELINE CONDITION OF THE HOMEOWNER'S PROPERTY. IF A NOTICED HOMEOWNER PROVIDES A WRITTEN ELECTION FOR A PBI AND PROVIDES REASONABLE ACCESS TO ITS PROPERTY AT REASONABLE TIMES, PROPERTY OWNER THROUGH ITS CONSULTANT ("BLASTING CONSULTANT") WILL CAUSE A PBI WITH REGARD TO SUCH HOMEOWNER'S PROPERTY TO BE PERFORMED PRIOR TO BLASTING ACTIVITIES. CONTACT INFORMATION FOR THE PURPOSE OF REPORTING DAMAGE CAUSED BY BLASTING SHALL BE PROVIDED. IF A PBI WAS PERFORMED AND THE HOMEOWNER PROVIDES NOTICE OF DAMAGE CAUSED BY BLASTING WITHIN 30 DAYS FOLLOWING BLASTING, THE PROPERTY OWNER SHALL CAUSE AN AFTER BLASTING INSPECTION ("ABI") TO BE PERFORMED AND IF A COMPARISON OF THE PBI TO THE ABI INDICATES THAT DAMAGE WAS CAUSED BY PROPERTY OWNER'S BASTING, IN THE REASONABLE OPINION OF THE BLASTING CONSULTANT, THE PROPERTY OWNER SHALL MAKE COMMERCIALY REASONABLE EFFORTS TO REPAIR SUCH DAMAGE WITHIN 180 DAYS OF FOLLOWING COMPLETION OF BLASTING ACTIVITIES ON THE PROPERTY. ALL BLASTING OPERATIONS SHALL BE COVERED IN SUCH MANNER AS TO PREVENT FRAGMENTS OF ROCK, GRAVEL, EARTH, TREES, OR OTHER SUBSTANCES OR MATERIALS FROM BEING THROWN AGAINST OR UPON LOTS, BUILDINGS, UTILITY LINES, OR ANY STREET OR HIGHWAY. WHENEVER BLASTING IS BEING CONDUCTED IN THE VICINITY OF GAS, ELECTRIC, WATER, FIRE ALARM, TELEPHONE, TELEGRAPH, OR STEAM UTILITIES, THE BLASTER SHALL NOTIFY THE APPROPRIATE REPRESENTATIVE OF SUCH UTILITIES AT LEAST 24 HOURS IN ADVANCE OF BLASTING SPECIFYING THE LOCATION AND INTENDED TIME OF SUCH BLASTING. HOURS OF DETONATION SHALL BE LIMITED AS PROVIDED BY THE ROLESVILLE TOWN CODE. PERSONS RESPONSIBLE FOR BLASTING OPERATIONS SHALL MAINTAIN A RECORD OF EACH BLAST. ALL ORIGINAL BLASTING RECORDS SHALL BE RETAINED BY THE PERSONS RESPONSIBLE FOR THE BLASTING OPERATIONS FOR AT LEAST FIVE YEARS FOLLOWING THE CESSATION OF THE BLASTING OPERATIONS AND SHALL BE AVAILABLE FOR INSPECTION BY THE FIRE MARSHAL UPON REQUEST.

Developer



10030 Green Level Church Rd, Suite 802 #149, Cary, NC 27519

Engineer

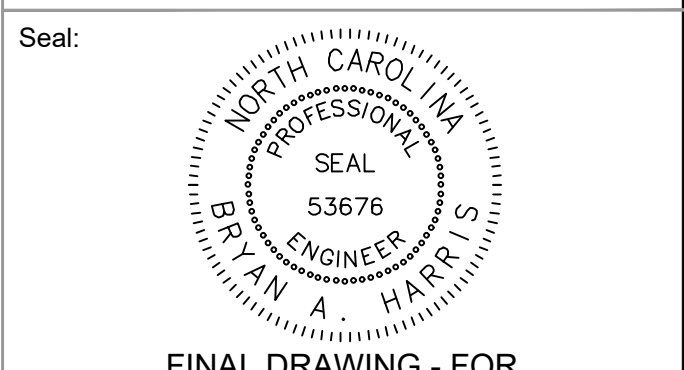
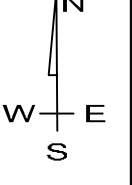


Other Consultants

Bateman Civil Survey Company
2524 Reliance Avenue
Apex, NC 27539
919-557-1080 ext 109
www.batemancivilsurvey.com

Town of Rolesville
502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517
PSP-24-05

Sheet map:



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Project

HARRIS CREEK FARMS
CID-25-??

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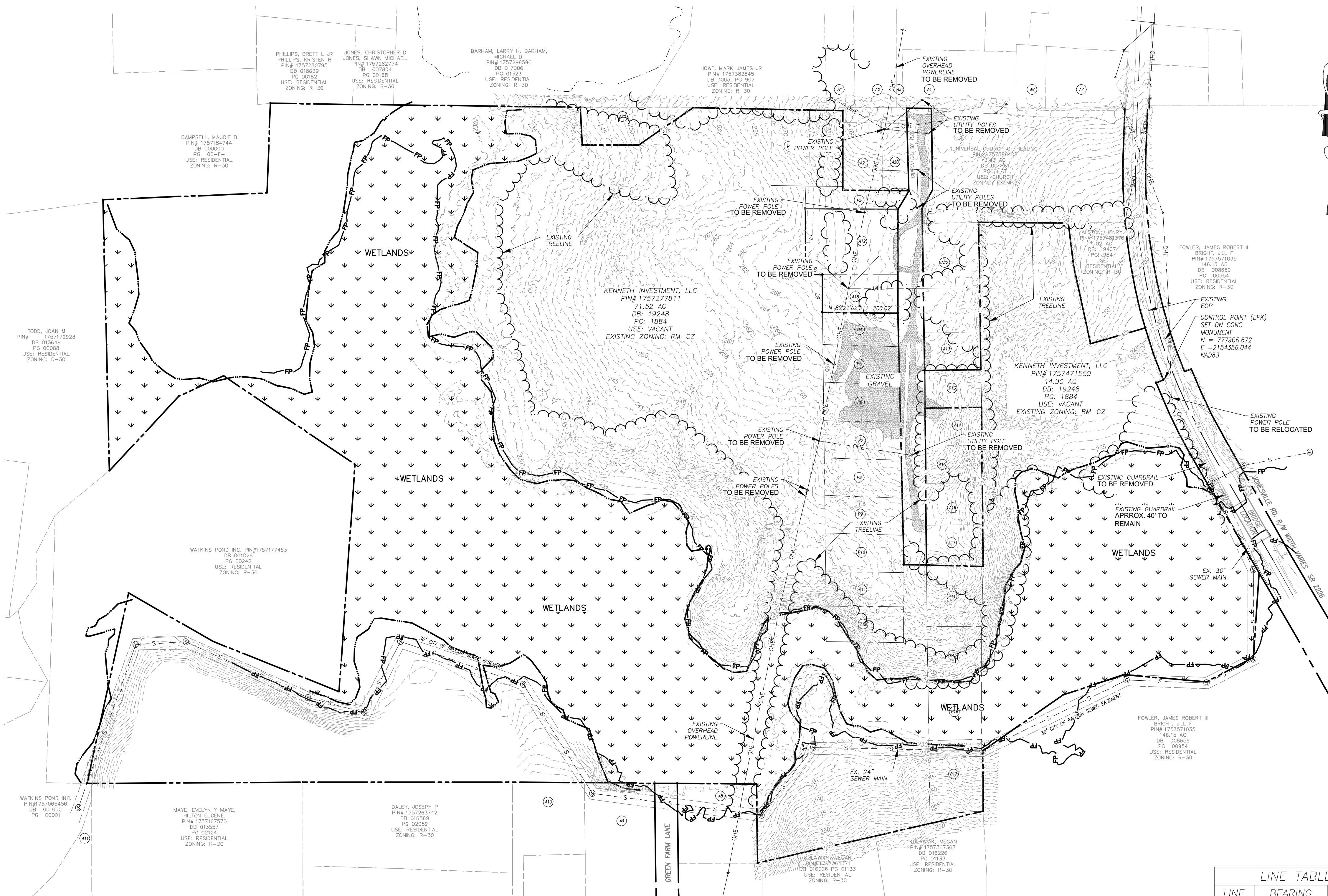
No.	Date	Description

Sheet Title:
NOTES

Sheet#:

2





EXISTING CONDITION NOTES:

- BOUNDARY TAKEN FROM SURVEY BY GIL CLARK SURVEYING, 2329 HODGE RD, KNIGHTDALE, NC 27545 - (919) 266-9732. DATED 07-28-2022
- TOPOGRAPHIC INFORMATION TAKEN FROM BATEMAN CIVIL SURVEY COMPANY, 2524 RELIANCE AVENUE, APEX NC 27539.
- THE SUBJECT PROPERTY HAS FEMA 100 YR-FLOODWAY PER FEMA MAP #0320175700K WITH AN EFFECTIVE DATE OF JULY 19, 2022.
- SITE IS LOCATED WITHIN THE NEUSE RIVER BASIN.
- THIS SITE HAS ACCESS TO WATER, SEWER AND ELECTRICAL UTILITY SERVICES.

Developer
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Engineer
QUANTECH ENGINEERING
 Firm # F-1517
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 (919) 996-9455

Surveyor
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Rolesville
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Other Consultants



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No.	Date	Description

Sheet Title:
OVERALL EXISTING CONDITIONS

Sheet #:
3

ADJACENT PROPERTIES

PLAN ID	PIN #	OWNER	DB/PG	USE	ZONING
A1	1757-38-4791	ROSARIO, MODESTO ESCARFULLER	19545 / 517	Residential	R-30
A2	1757-38-5884	CURTIS, HENDALL HEIRS	20-E / 3830	Residential	R-30
A3	1757-38-7858	GARCIA, SALVADOR	18610 / 2740	Residential	R-30
A4	1757-38-5884	FERRELL, CHARLES E & FERRELL, SHARON R	7662 / 727	Residential	R-30
A5	1757-38-8780	POWER ELVEN CONSTRUCTION, LLC	19349 / 1245	Residential	R-30
A6	1757-48-0701	HARTSFIELD, ROZELIA J HEIRS, HATTIE SMITH	10-E / 1220	Residential	R-30
A7	1757-48-1740	HARTSFIELD, ROZELIA J HEIRS, HATTIE SMITH	10-E / 1220	Residential	R-30
A8	1757-36-1783	BIRMINGHAM, JOHN DAVIS	3642 / 732	Residential	R-30
A9	1757-26-9620	CARPENTER, BOBBY RAY CARPENTER, ALBERTA L	19601 / 2199	Residential	R-30
A10	1757-26-6697	RIVERS, SUSAN MARSHALL	3406 / 539	Residential	R-30
A11	1757-16-4026	SOUTTER, SUSAN R SOUTTER, ROBERT QUENTIN	17592 / 381	Residential	R-30
A12	1757-38-7189	DUNN, JAMES WILLIAM HEIRS MONTAGE, BUNNIE DUNN	N/A	Vacant	R-30
A13	1757-38-7090	WW OVERTIME LLC	19202 / 2051	Vacant	R-30
A14	1757-37-7799	WHITLEY, CLEVELAND G HEIRS	N/A	Residential	R-30
A15	1757-37-7699	JARVIS, MARIE D CURTIS, HURLEY MAE	11946 / 1968	Vacant	R-30
A16	1757-37-8610	JARVIS, MYRON JARVIS, MARIE	9106 / 1133	Residential	R-30
A17	1757-37-7497	JARVIS, MARIE D CURTIS, HURLEY MAE	11946 / 1968	Residential	R-30
A18	1757-38-5155	HARRIS, OLLIE VIRGIN HEIRS HARRIS, LORINE B	98-E / 2613	Vacant	R-30
A19	1757-38-5249	CHEN, PING LI, FANXING	8518 / 367	Residential	R-30
A20	1757-27-7811	ROUSE, ELLEN CURTIS	19170 / 1070	Vacant	R-30
A21	1757-38-5562	QUIRINO, MARIA ESTELA	17501 / 945	Residential	R-30
A22	1757-28-9559	WILDER, THOMAS H III WILDER, MAGGIE	12-E / 3295	Residential	R-30

DEVELOPMENT OWNED PROPERTIES

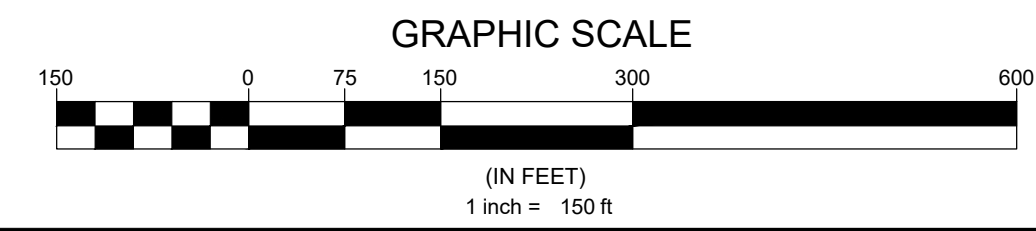
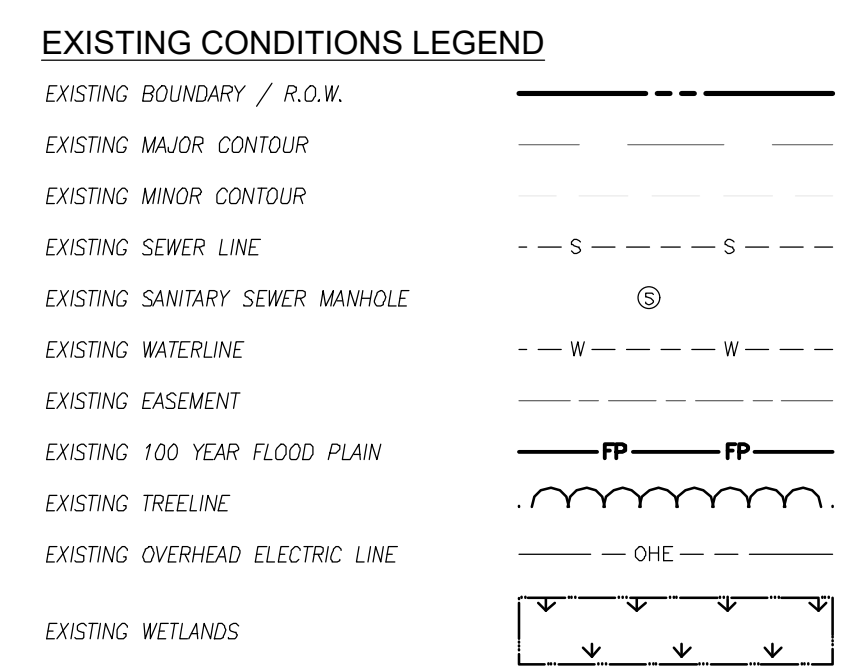
PLAN ID	PIN #	OWNER	DB/PG	USE	ZONING
P1	1757-38-3572	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P2	1757-38-4572	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P3	1757-38-5349	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P4	1757-38-5064	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P5	1757-37-5975	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P6	1757-37-5865	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P7	1757-37-5765	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P8	1757-37-5665	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P9	1757-37-5575	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P10	1757-37-5464	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P11	1757-37-5365	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P12	1757-37-5276	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P13	1757-37-7990	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P14	1757-37-8303	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P15	1757-37-8109	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P16	1757-37-8073	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ
P17	1757-36-8816	KENNETH INVESTMENT, LLC	19248 / 1884	Vacant	RM-CZ

LINE TABLE

LINE	BEARING	LENGTH
L1	N 68°36'32" E	20.00'
L2	N 89°33'15" W	60.01'
L3	S 02°47'46" E	100.00'
L4	S 89°47'46" E	150.00'
L5	N 55°18'54" E	174.59'
L6	S 31°00'37" W	57.95'
L7	S 00°09'07" E	175.02'
L8	N 89°21'02" E	45.00'
L9	S 00°09'07" E	100.01'
L10	S 88°57'37" W	150.00'
L11	N 00°53'13" W	100.00'
L12	N 88°57'37" E	150.00'
L13	S 06°57'52" W	113.70'
L14	N 73°55'50" E	149.95'

CURVE TABLE

CURVE	CHORD BEARING	CHORD DISTANCE	ARC LENGTH	RADIUS
C1	S 19°15'36" E	146.36'	146.42'	1462.39'
C2	S 25°28'26" E	211.09'	211.27'	1482.39'



5. Change this to Existing Conditions and Demolition Plan.

N.C. UNDERGROUND UTILITIES
 3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949
 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

NOTE:

- Where appropriate identified trees were approximately located by S&EC using a Trimble Geo XT and/or Geo XT7 hand-held GPS unit. As these GPS units do not provide survey grade accuracy this data should be considered approximate and used for planning purposes only. If an accurate location is required a North Carolina Professional Land Surveyor should be engaged. Engineers, designers and/or local ordinance(s) may require trees to be surveyed located by a NC Registered Professional Land Surveyor.
- The term "tree survey" as used herein is generic in nature and intended to describe the identification, measurement, and evaluation of trees under the direction of a registered forester/certified arborist as described and/or required by local development ordinance(s).
- At the current scale, not all tree location labels may be legible or show. Please refer to the CAD drawing of the locations provided to the site engineer.



Legend

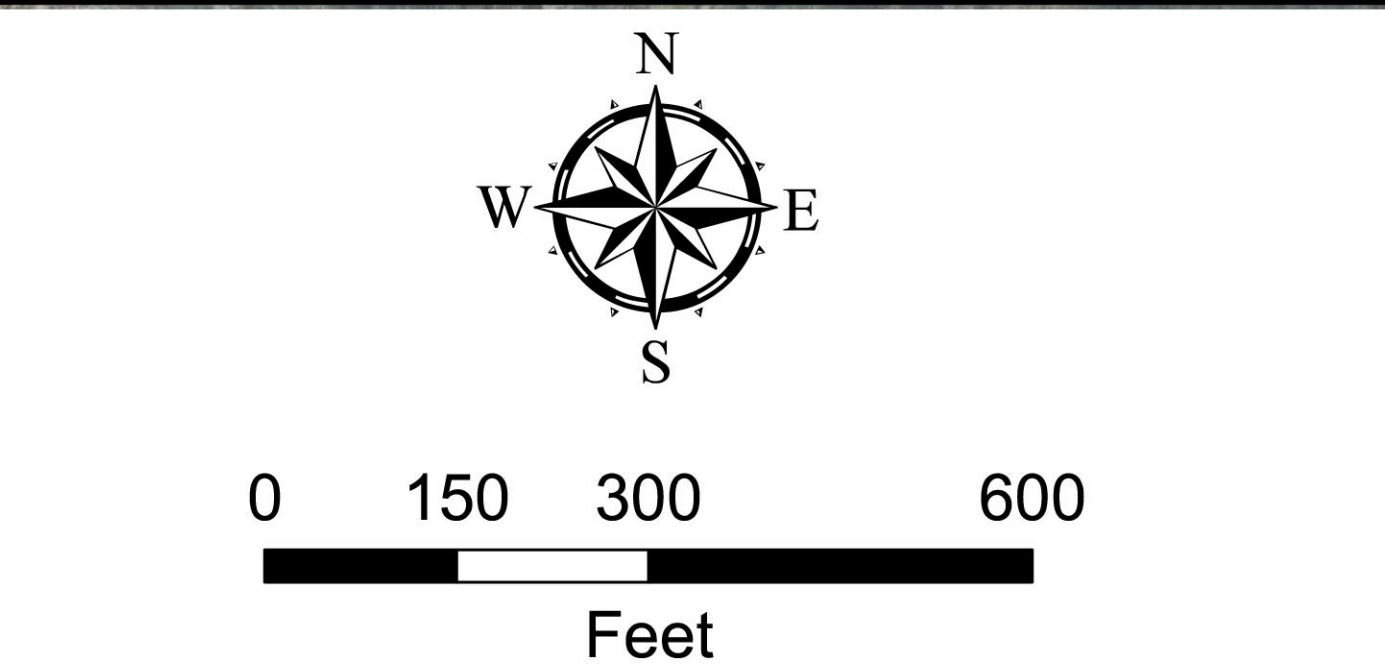
- Evaluation Area
- Deciduous Trees > 18" DBH; Evergreen Trees > 20" DBH

Project No.
16217.W1

Project Mgr.:
SB

Scale:
1" = 150'

09/30/2024



Town of Rolesville Tree Survey Sketch Map

Harris Tract

Source:
Aerials from NC One Maps

Soil & Environmental Consultants, Inc.
8412 Falls of Neuse Road, Suite 104, Raleigh, NC 27615 • Phone (919) 846-5900 • Fax (919) 846-9467
sandec.com

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PSP-24-05

Other Consultants

Sheet map:

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Project:
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 CID-25-??

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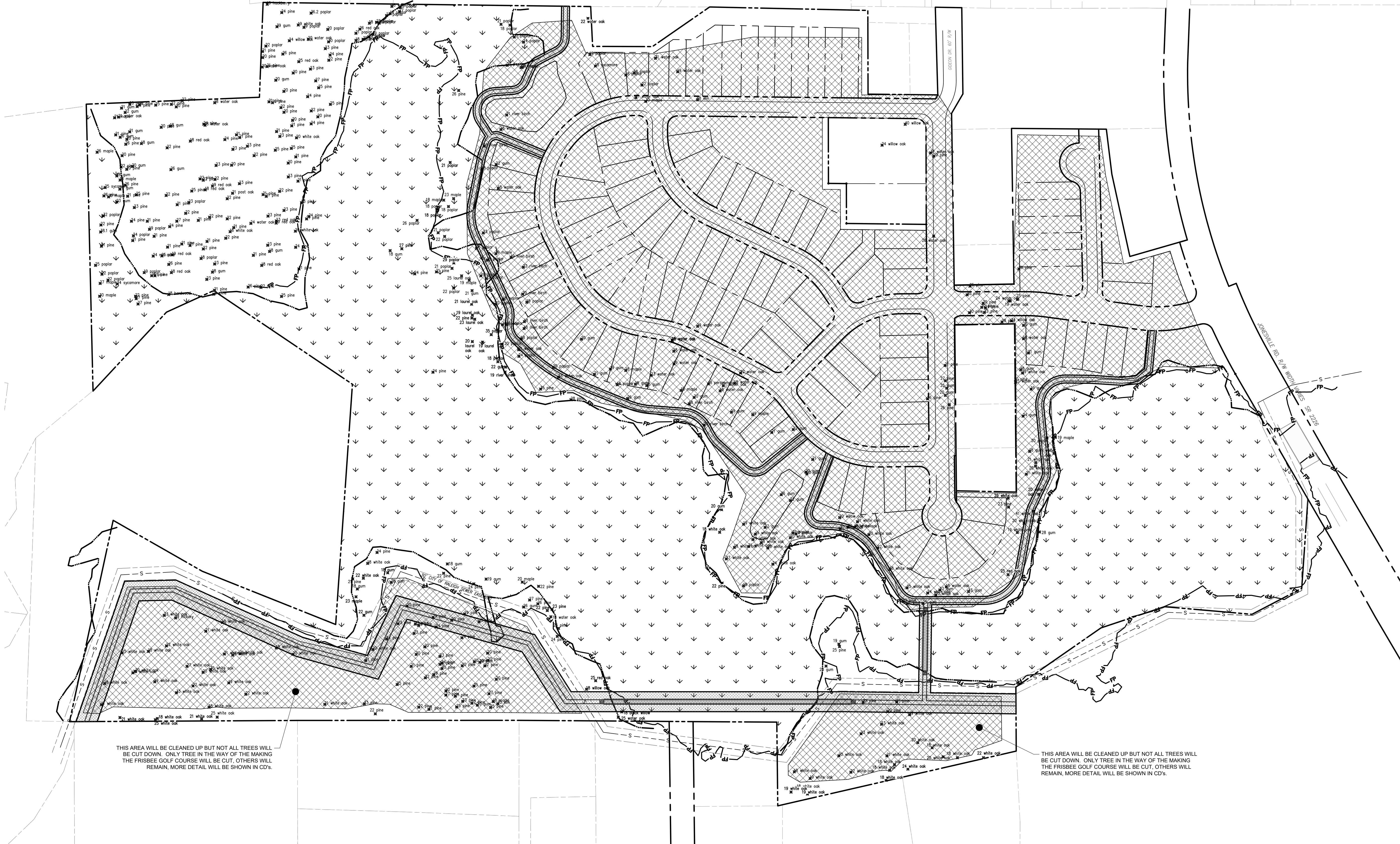
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Sheet Title:
EXISTING TREE SURVEY

Sheet #:
4

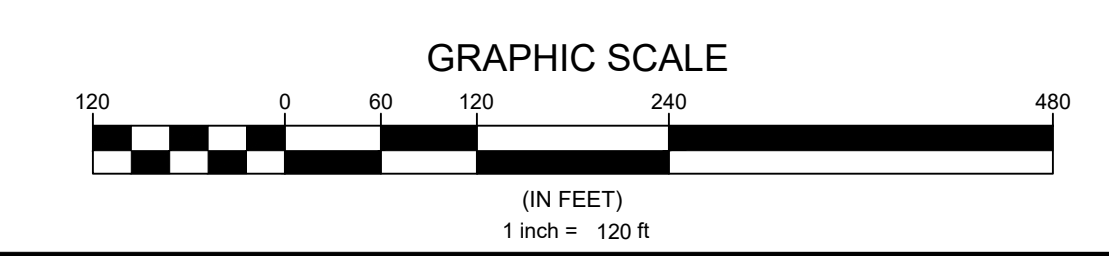
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A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

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TREE PLAN LEGEND

- EXISTING TREE
- AREAS TO BE REMOVED OF TREES



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Jurisdiction / Municipality

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Charlotte-Mecklenburg County
 Town of Rolesville
 502 Southtown Cir
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PSP-24-05

Other Consultants

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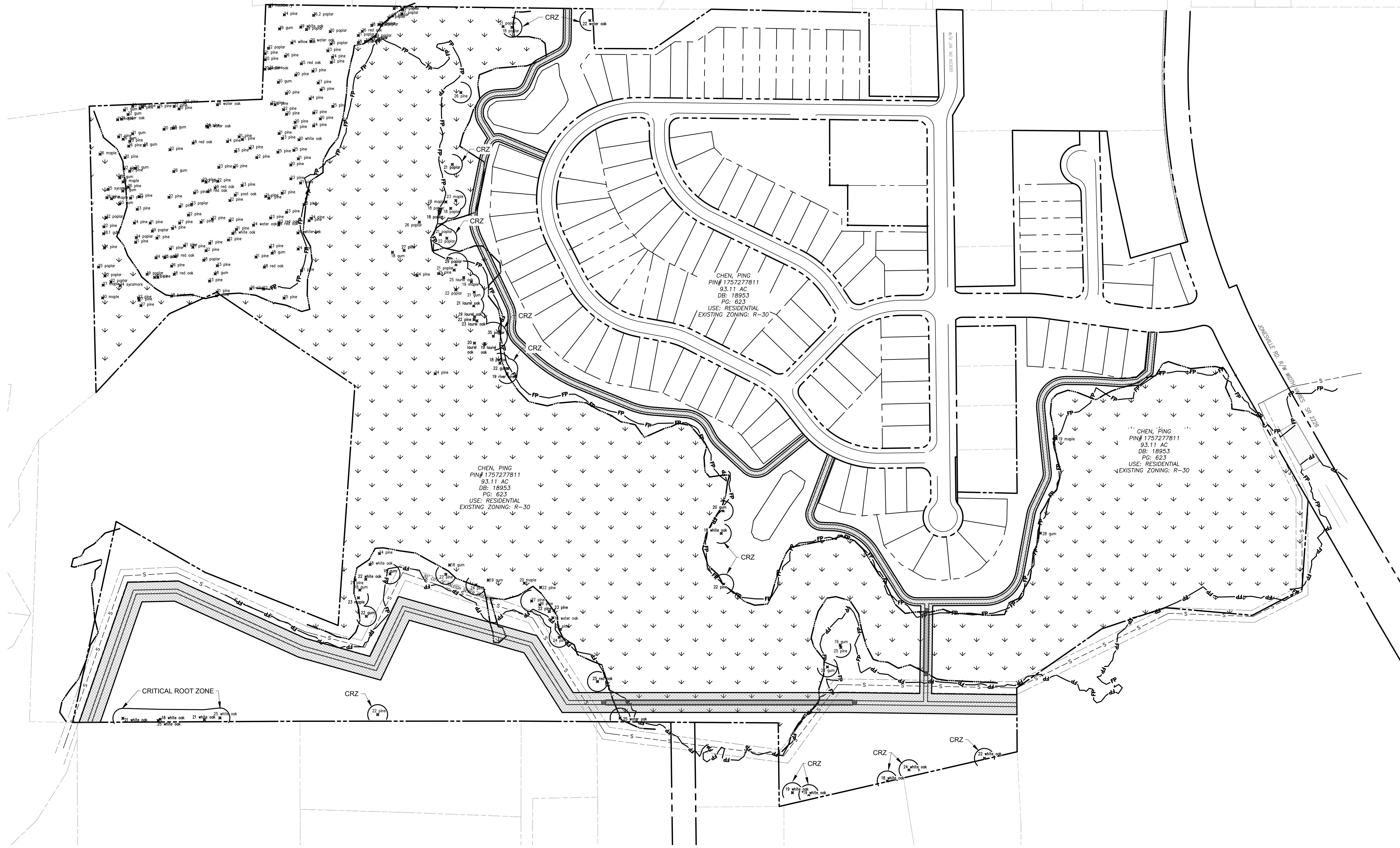
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Sheet Title:
TREE REMOVAL PLAN

Sheet #:
5

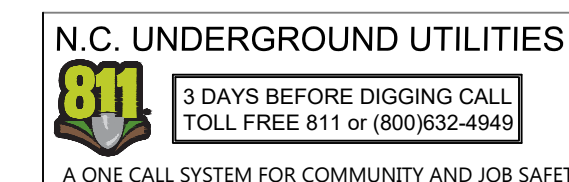
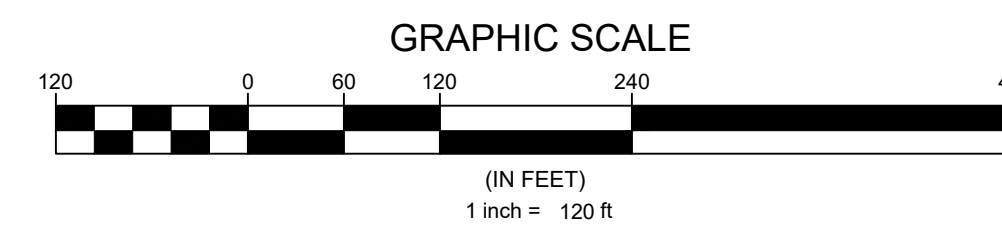
File Location: C:\Users\BryanHarris\Documents\Harris Creek Farm - Jonesville\Engineering\DWG\Construction\Plans\3 Overall Existing conditions.dwg



TREE SAVE NOTES:

1. QUALIFYING TREES TO BE SAVED ARE SHOWN WITH CRITICAL ROOT ZONES (CRZ) AND LABELED AS "CRZ".
2. THE AREA IN THE NORTH WEST PART OF THE TRACT TO THE WEST OF THE WETLANDS WILL NOT BE DISTURBED AND ALL TREES IN THIS AREA SHALL BE SAVED.
3. ADDITIONAL QUALIFYING TREES IN WETLANDS WILL BE SAVED IN THE WETLANDS.
4. ADDITIONAL QUALIFYING TREES MAY BE SAVED IN THE ACTIVE AREAS AT THE DISCRETION OF THE CONTRACTOR.

TREE SAVE SUMMARY	
EXISTING QUALIFIED TREES:	514 Total
REQUIRED TREE SAVE:	52 (10% of Total)
PROPOSED TREE SAVE:	267 (52% of Total)



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Engineer

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Jurisdiction / Municipality

Rolesville
Complete Communities. Superior Construction. 60+ Years
 Town of Rolesville
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Other Consultants

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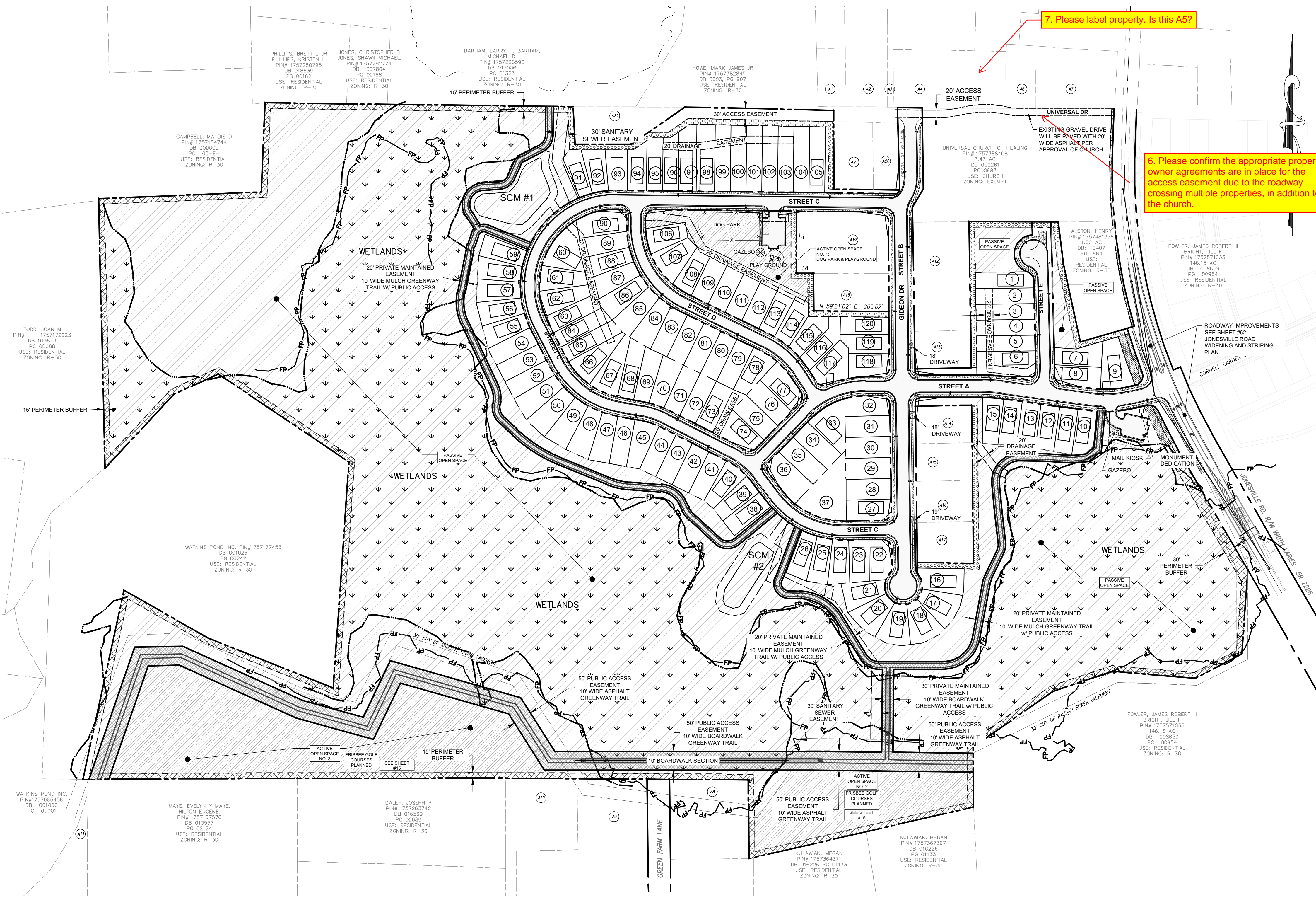
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Sheet Title:
TREE SAVE PLAN

Sheet #:
6

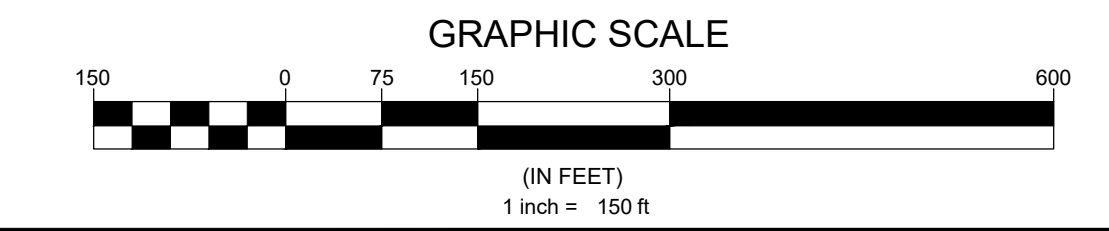
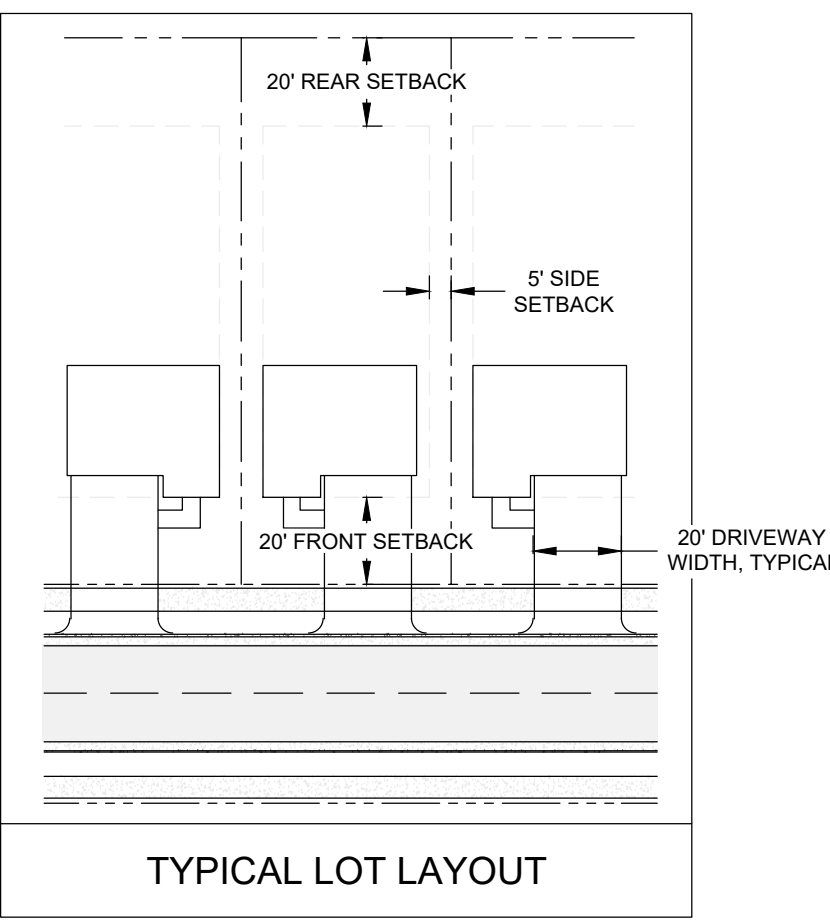


GENERAL SITE NOTES:
 1. SEE SHEET 14 FOR ROADWAY SECTIONS AND LINE & CURVE TABLES.

SITE DATA TABLE	
OWNER:	KENNETH INVESTMENTS, LLC Contact: STEPHAN GEORGE 10030 GREEN LEVEL CHURCH RD, STE 802 CARY, NC 27519
ENGINEER:	QUANTECH ENGINEERING BRYAN A. HARRIS, PE 15000 WESTON PARKWAY, STE. 174 CARY, NC 27513 PHONE: (919) 815-9987 EMAIL: BRYAN@QUANTECHENG.COM
DEVELOPER:	THE CSC GROUP, LLC 600 PARK OFFICES DRIVE, STE 372 RESEARCH TRIANGLE, NC 27709 PHONE: (919) 815-9987
ENVIRONMENTAL CONSULTANT:	MORRIS & RITCHIE ASSOCIATES 530 HINTON POND ROAD, SUITE 104 KNIGHTDALE, NC 27545
SURVEYOR:	BATEMAN CIVIL SURVEY COMPANY JOSH DAVIDSON 2524 RELIANCE AVE APEX, NC 27539 PHONE: 919-557-1080 ext 109 josh@batemancivilsurvey.com
SITE ADDRESS:	4928 UNIVERSAL DR WAKE FOREST, NC 27587-6356
PIN:	1757277811, 1757471559, 1757383572, 1757384572, 1757385054, 1757375975, 1757375965, 1757375765, 1757375665, 1757375575, 1757375464, 1757375365, 1757375276, 1757378303, 1757378109, 1757378013, 1757388816
DEED BOOK / PAGE:	019248 / 01884 (all parcels)
PLAT BOOK / PAGE:	BM2007 / 01224
TOTAL SITE AREA:	94.99 AC
EXISTING ZONING:	RM-CZ
CURRENT USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL-CLUSTER (MEDIUM DENSITY)
RIVER BASIN:	NEUSE RIVER BASIN
SUB WATERSHED:	NEUSE (UPPER) - 03020201
FEMA FIRM PANEL #:	3720175700K
RESIDENTIAL DENSITY CALCULATIONS (CLUSTER SUBDIVISION)	
MAXIMUM DENSITY ALLOWED:	5.0 UNITS / AC
PROPOSED DENSITY:	120 UNITS / 94.99 AC = 1.26 UNITS / AC
LOTS (CLUSTER)	
MINIMUM LOT WIDTH:	42.0 FT
MINIMUM LOT AREA:	6,000 SF
MINIMUM BUILDING SETBACKS:	FRONT: 20' REAR: 20' CORNER: 10' SIDE: 5'
OPENSAPCE (MEDIUM DENSITY, CLUSTER)	
OPEN SPACE (REQUIRED 12%):	11.40 AC
OPEN SPACE (PROPOSED):	63.31 AC
PASSIVE (REQUIRED):	5.70 AC
PASSIVE (PROPOSED):	55.75 AC
PASSIVE (NOT IN SCM OR ENVIRONMENTAL AREAS):	7.11 AC
ACTIVE (REQUIRED):	5.70 AC
ACTIVE (PROPOSED):	7.56 AC
ACTIVE SPACES (REQUIRED):	2 MEDIUM AREA (1.0 - 2.5 AC) 1 LARGE AREA (> 2.5 AC)
ACTIVE SPACES (PROVIDED):	(2) MEDIUM AREAS Area 1 = (44,640 SF, 1.02 AC) Area 2 = (78,487 SF, 1.80 AC) (1) LARGE AREA Area 3 = (206,621 SF, 4.74 AC)
TREE SAVE SUMMARY (CLUSTER)	
EXISTING QUALIFIED TREES:	514 Total
REQUIRED TREES SAVE:	52 (10% of Total)
PROPOSED TREES SAVE:	287 (52% of Total)
STREET DATA	
STREET A	1,125 LF 50' RW 35' BC - BC
STREET B	1,245 LF VARIABLE RW 35' BC - BC
STREET C	2,360 LF 50' RW 35' BC - BC
STREET D	705 LF 50' RW 27' BC - BC
STREET E	370 LF 50' RW 27' BC - BC
DEDICATED ROAD R.O.W.	7.64 ACRES

ADJACENT PROPERTIES					
PLAN ID	PIN #	OWNER	DB/PG	USE	ZONING
A1	1757-38-4791	ROSARIO, MODESTO ESCARFULLER	19545 / 517	Residential	R-30
A2	1757-38-5884	CURTIS, HENDALL HEIRS	20-E / 3830	Residential	R-30
A3	1757-38-7858	GARCIA, SALVADOR	18610 / 2740	Residential	R-30
A4	1757-38-5884	FERRELL, CHARLES E & FERRELL, SHARON R	7662 / 727	Residential	R-30
A5	1757-38-8780	POWER ELEVEN CONSTRUCTION, LLC	19349 / 1245	Residential	R-30
A6	1757-48-0701	HARTSFIELD, ROZELIA J HEIRS HATTIE SMITH	10-E / 1220	Residential	R-30
A7	1757-48-1740	HARTSFIELD, ROZELIA J HEIRS HATTIE SMITH	10-E / 1220	Residential	R-30
A8	1757-36-1783	BIRMINGHAM, JOHN DAVIS	3642 / 732	Residential	R-30
A9	1757-26-9620	CARPENTER, BOBBY RAY CARPENTER, ALBERTA L	19601 / 2199	Residential	R-30
A10	1757-26-6697	RIVERS, SUSAN MARSHALL	3406 / 539	Residential	R-30
A11	1757-16-4026	SOUTTER, SUSAN R SOUTTER, ROBERT QUENTIN	17592 / 381	Residential	R-30
A12	1757-38-7189	DUNN, JAMES WILLIAM HEIRS MONTAGUE, BUNNIE DUNN	N/A	Vacant	R-30
A13	1757-38-7090	WW OVERTIME LLC	19202 / 2051	Vacant	R-30
A14	1757-37-7799	WHITLEY, CLEVELAND G HEIRS	N/A	Residential	R-30
A15	1757-37-7699	JARVIS, MARIE D CURTIS, HURLEY MAE	11946 / 1968	Vacant	R-30
A16	1757-37-8610	JARVIS, MYRON JARVIS, MARIE	9106 / 1133	Residential	R-30
A17	1757-37-7497	JARVIS, MARIE D CURTIS, HURLEY MAE	11946 / 1968	Residential	R-30
A18	1757-38-5155	HARRIS, OLLIE VIRGIN HEIRS HARRIS, LORINE B	98-E / 2613	Vacant	R-30
A19	1757-38-5249	CHEN, PING LI FANXING	19823 / 2163	Residential	R-30
A20	1757-27-7811	ROUSE, ELLEN CURTIS	19170 / 1070	Vacant	R-30
A21	1757-38-5562	QUIRINO, MARIA ESTELA	17501 / 945	Residential	R-30
A22	1757-28-9559	WILDER, THOMAS H III WILDER, MAGGIE	12-E / 3295	Residential	R-30

SITE PLAN LEGEND	
PROPOSED R.O.W.	---
PROPOSED LOT LINE	---
PROPOSED BUILDING SETBACK	---
PROPOSED EASEMENT	---
PROPOSED OPEN SPACE PASSIVE	▨
PROPOSED OPEN SPACE ACTIVE	▩
PROPOSED GREENWAY	▬
PROPOSED 30' JONESVILLE RD STREETScape	▬
PROPOSED 15' BOUNDARY BUFFER CONSERVATION	▬
PROPOSED 15' BOUNDARY LANDSCAPE BUFFER	▬
PROPOSED 5' SIDEWALK	---
EXISTING BOUNDARY / R.O.W.	---
EXISTING EASEMENT	---
EXISTING 100 YEAR FLOOD PLAIN	FP
EXISTING WETLANDS	▾



N.C. UNDERGROUND UTILITIES
 3 DAYS BEFORE DIGGING CALL
 TOLL FREE 811 or (800)632-4949
 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

Developer
THE CSC GROUP
 10030 Green Level Church Rd, Suite 802 #149, Cary, NC 27519

Engineer
QUANTECH ENGINEERING
 Firm # F-1517
 15000 Weston Parkway
 Cary, N.C. 27513
 (919) 996-9455

Surveyor
BCSC Bateman Civil Survey Company
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 Apex, NC 27539
 919-557-1080 ext 109
 www.batemancivilsurvey.com

Jurisdiction / Municipality
Rolesville
 Town of Rolesville
 502 Southtown Cir
 Rolesville, NC 27571
 Phone: 919-554-6517
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Other Consultants

Sheet map:

Seal:

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Project:
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 CID-25-??

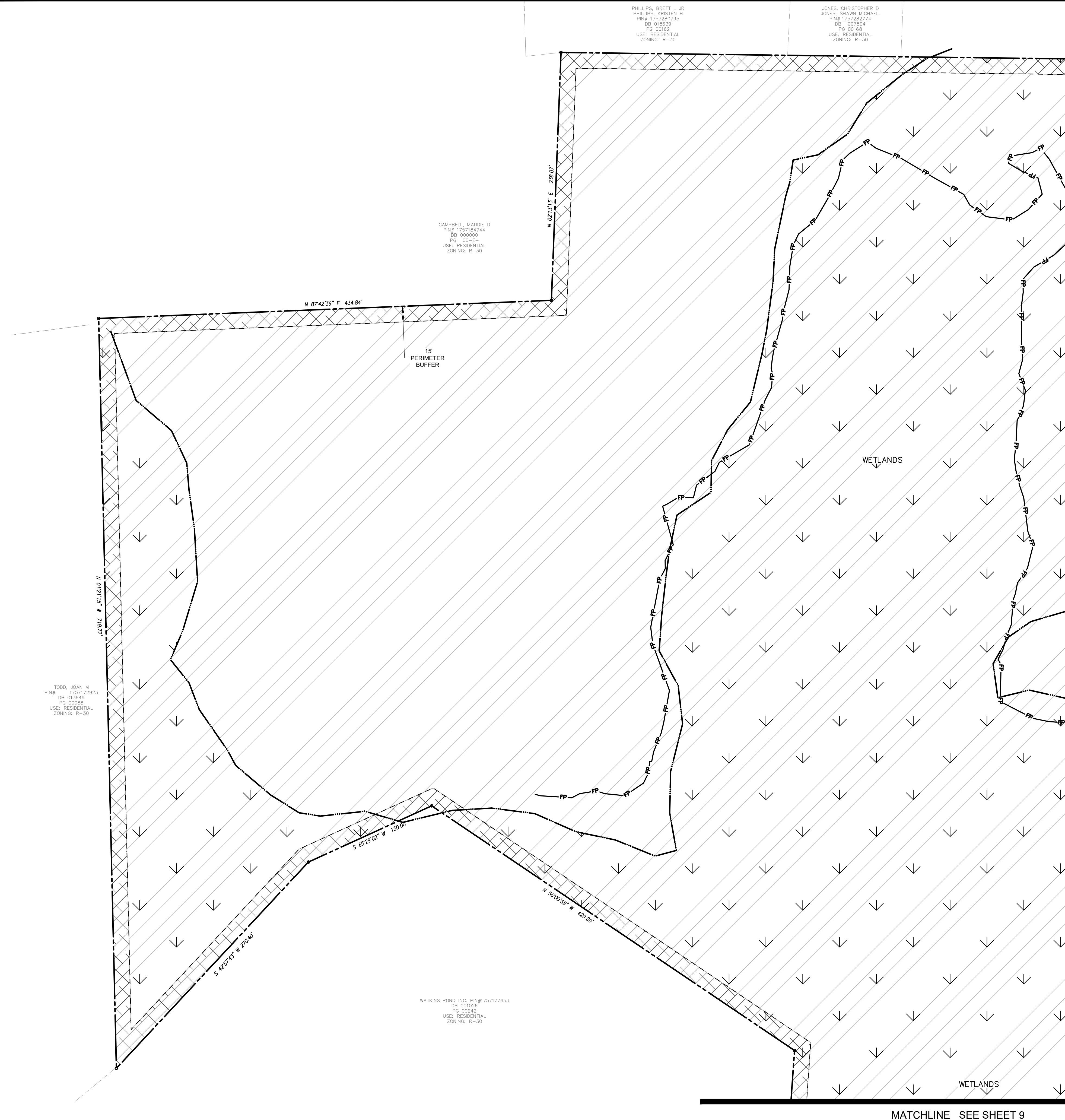
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REVISIONS		
No.	Date	Description

Sheet Title:
OVERALL SITE PLAN

Sheet#:
7

File Location: C:\Users\BryanHarris\Documents\Harris Creek Farm - Jonesville\Engineering - Documents\Harris Creek Farm - Jonesville\Engineering - DWG\Construction Plans\7 Overall Site Plan.dwg

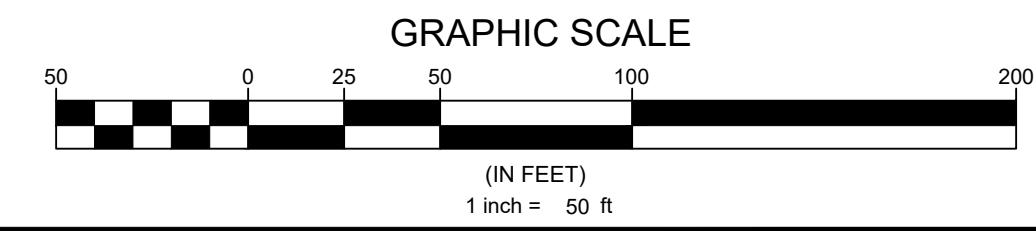


MATCHLINE SEE SHEET 10

MATCHLINE SEE SHEET 9

SITE PLAN LEGEND

PROPOSED R.O.W.	
PROPOSED LOT LINE	
PROPOSED LOT SETBACK	
PROPOSED EASEMENT	
PROPOSED OPEN SPACE PASSIVE	
PROPOSED OPEN SPACE ACTIVE	
PROPOSED GREENWAY	
PROPOSED 30' JONESVILLE RD STREETSCAPE	
PROPOSED 15' BOUNDARY BUFFER CONSERVATION	
PROPOSED 15' BOUNDARY LANDSCAPE BUFFER	
PROPOSED 5' SIDEWALK	
EXISTING BOUNDARY / R.O.W.	
EXISTING EASEMENT	
EXISTING 100 YEAR FLOOD PLAIN	
EXISTING WETLANDS	



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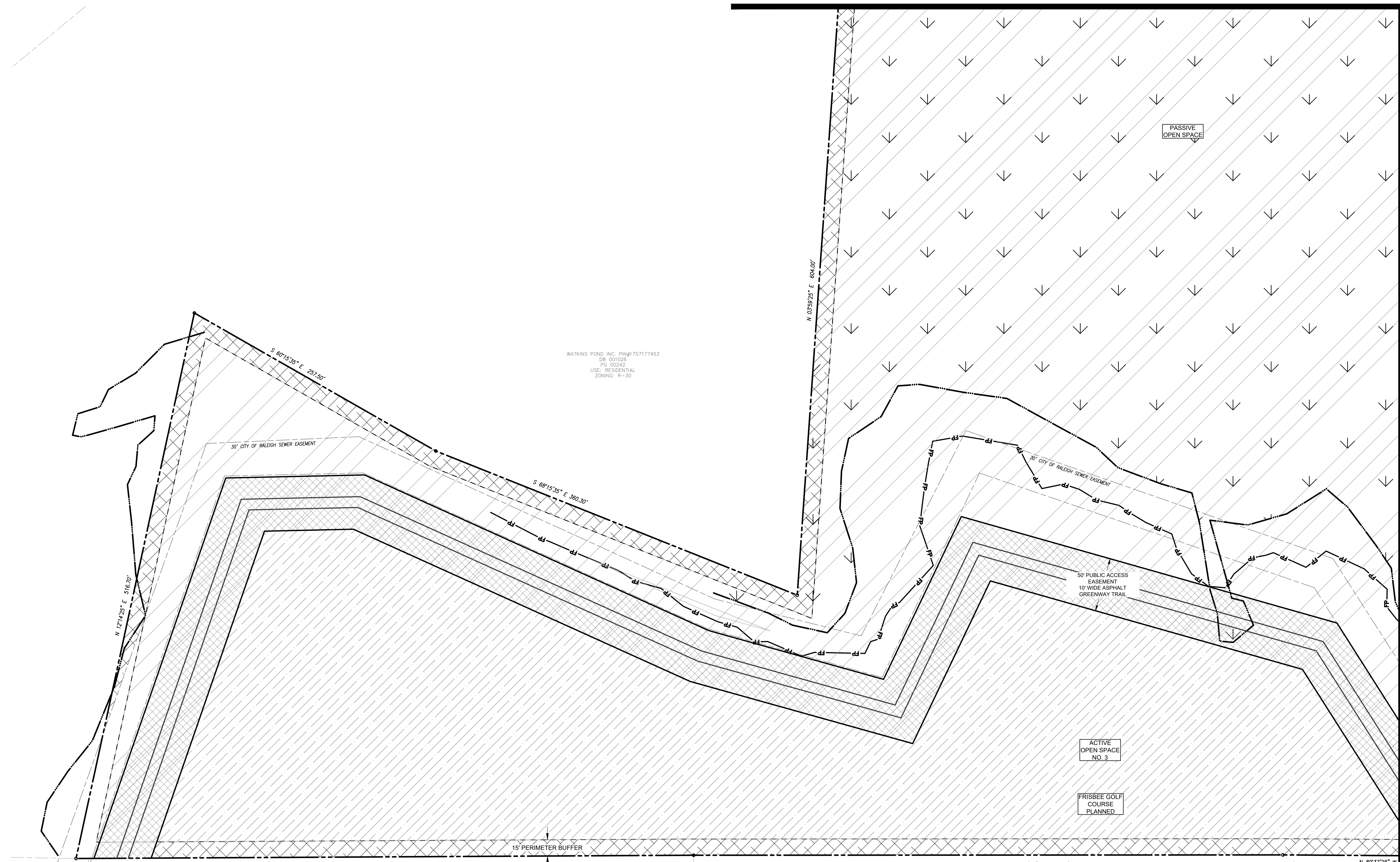
No.	Date	Description

Sheet Title:
SITE PLAN SHEET 1 OF 6

Sheet#:
8

MATCHLINE SEE SHEET 8

MATCHLINE SEE SHEET 11



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 DB 001026
 PG 00242
 USE: RESIDENTIAL
 ZONING: R-30

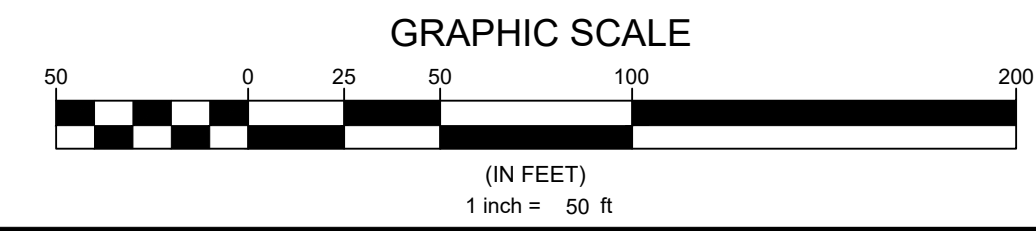
MAYE, EVELYN Y. MAYE,
 HILTON EUGENE
 PIN# 1757167570
 DB 013557
 PG 02124
 USE: RESIDENTIAL
 ZONING: R-30

DALEY, JOSEPH R.
 PIN# 1727263742
 DB 016569
 PG 02089
 USE: RESIDENTIAL
 ZONING: R-30

WATKINS POND INC.
 PIN#170253456
 DB #01000
 PG. 00001

SITE PLAN LEGEND

PROPOSED R.O.W.	
PROPOSED LOT LINE	
PROPOSED LOT SETBACK	
PROPOSED EASEMENT	
PROPOSED OPEN SPACE PASSIVE	
PROPOSED OPEN SPACE ACTIVE	
PROPOSED GREENWAY	
PROPOSED 30' JONESVILLE RD STREETSCAPE	
PROPOSED 15' BOUNDARY BUFFER CONSERVATION	
PROPOSED 15' BOUNDARY LANDSCAPE BUFFER	
PROPOSED 5' SIDEWALK	
EXISTING BOUNDARY / R.O.W.	
EXISTING EASEMENT	
EXISTING 100 YEAR FLOOD PLAIN	
EXISTING WETLANDS	



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Engineer

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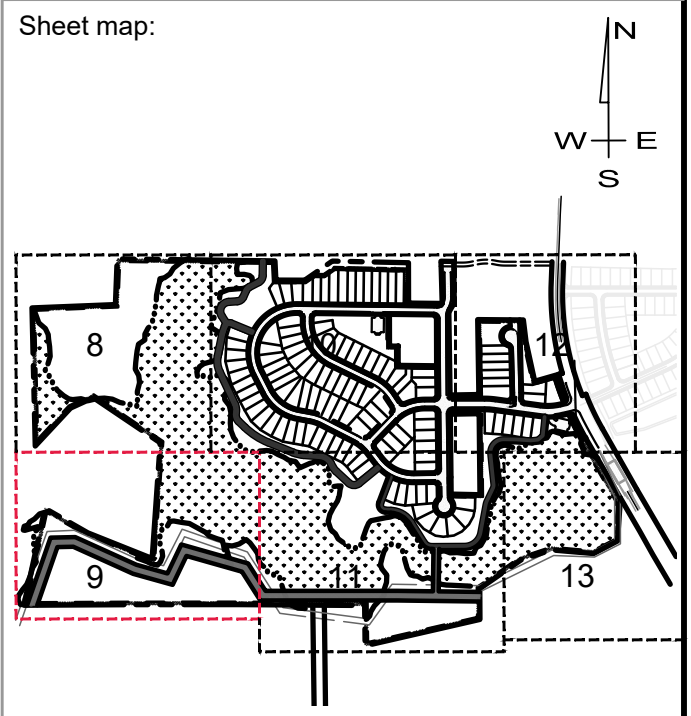
Surveyor

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 CID-25-??

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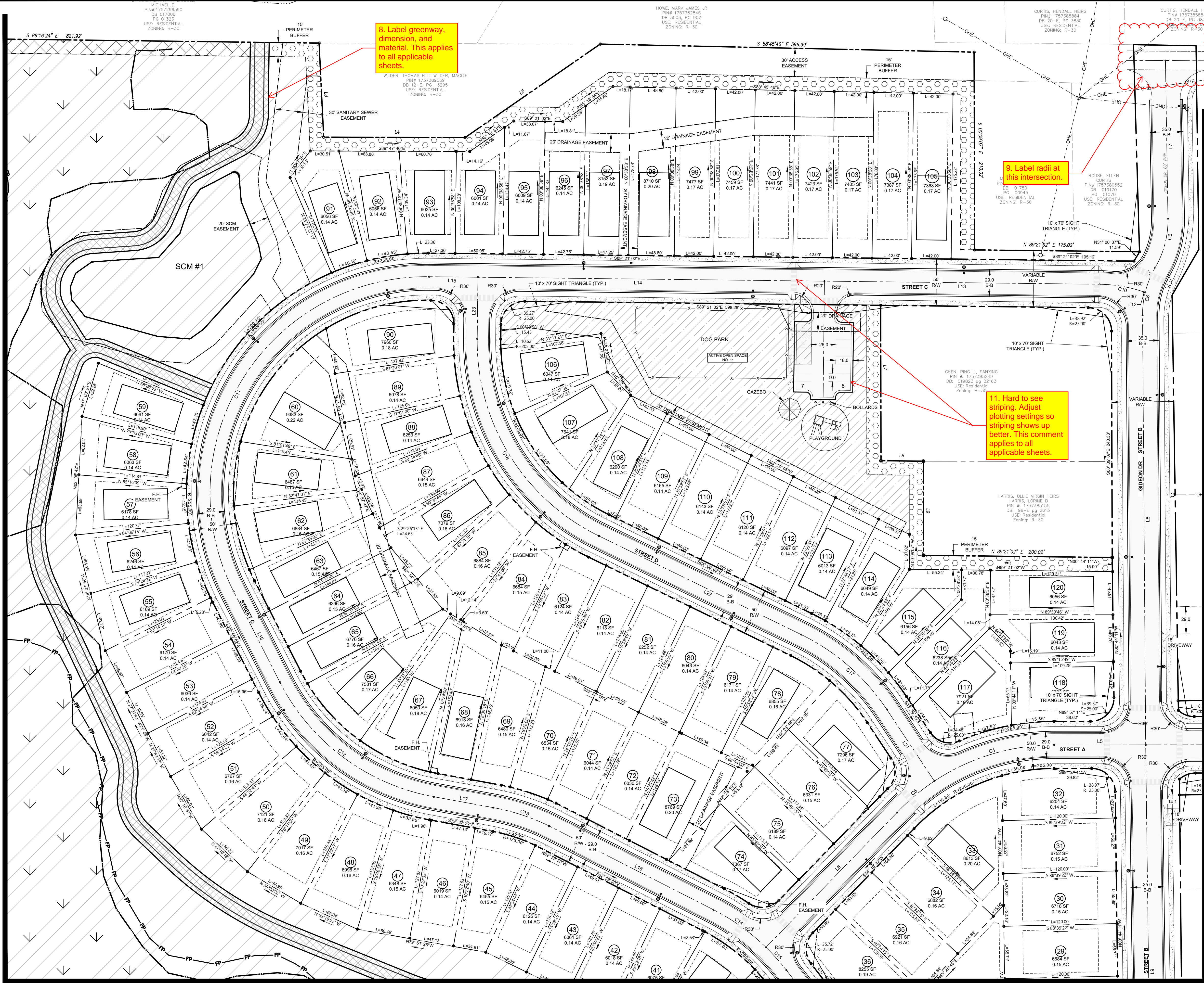
REVISIONS

No.	Date	Description

Sheet Title:
SITE PLAN SHEET 2 OF 6

Sheet#:
9

File Location: C:\Users\BryanHarris\Documents\Harris Creek Farm - Jonesville\Engineering\DWG\Construction\Plans\7 Overall Site Plan.dwg



8. Label greenway, dimension, and material. This applies to all applicable sheets.

9. Label radii at this intersection.

10. Please provide more detail for this connection and the paving of the gravel drive including but not limited to: dimensions of pavement on the site plan and a typical section with pavement details.

11. Hard to see striping. Adjust plotting settings so striping shows up better. This comment applies to all applicable sheets.

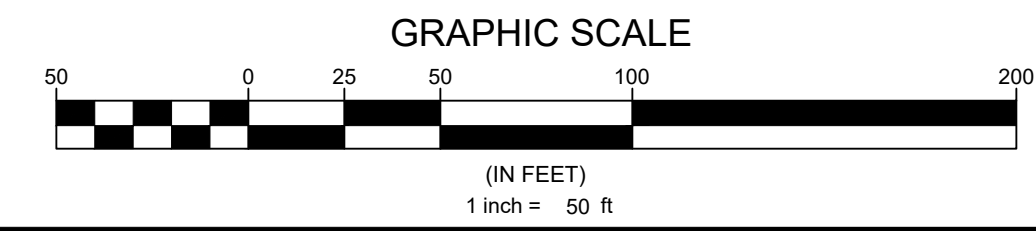
MATCHLINE SEE SHEET 8

MATCHLINE SEE SHEET 11

MATCHLINE SEE SHEET 12

SITE PLAN LEGEND

PROPOSED R.O.W.	---
PROPOSED LOT LINE	---
PROPOSED LOT SETBACK	---
PROPOSED EASEMENT	---
PROPOSED OPEN SPACE PASSIVE	▨
PROPOSED OPEN SPACE ACTIVE	▨
PROPOSED GREENWAY	▨
PROPOSED 30' JONESVILLE RD STREETSCAPE	▨
PROPOSED 15' BOUNDARY BUFFER CONSERVATION	▨
PROPOSED 15' BOUNDARY LANDSCAPE BUFFER	▨
PROPOSED 5' SIDEWALK	▨
EXISTING BOUNDARY / R.O.W.	---
EXISTING EASEMENT	---
EXISTING 100 YEAR FLOOD PLAIN	---
EXISTING WETLANDS	---



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Sheet map:

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CID-25-??

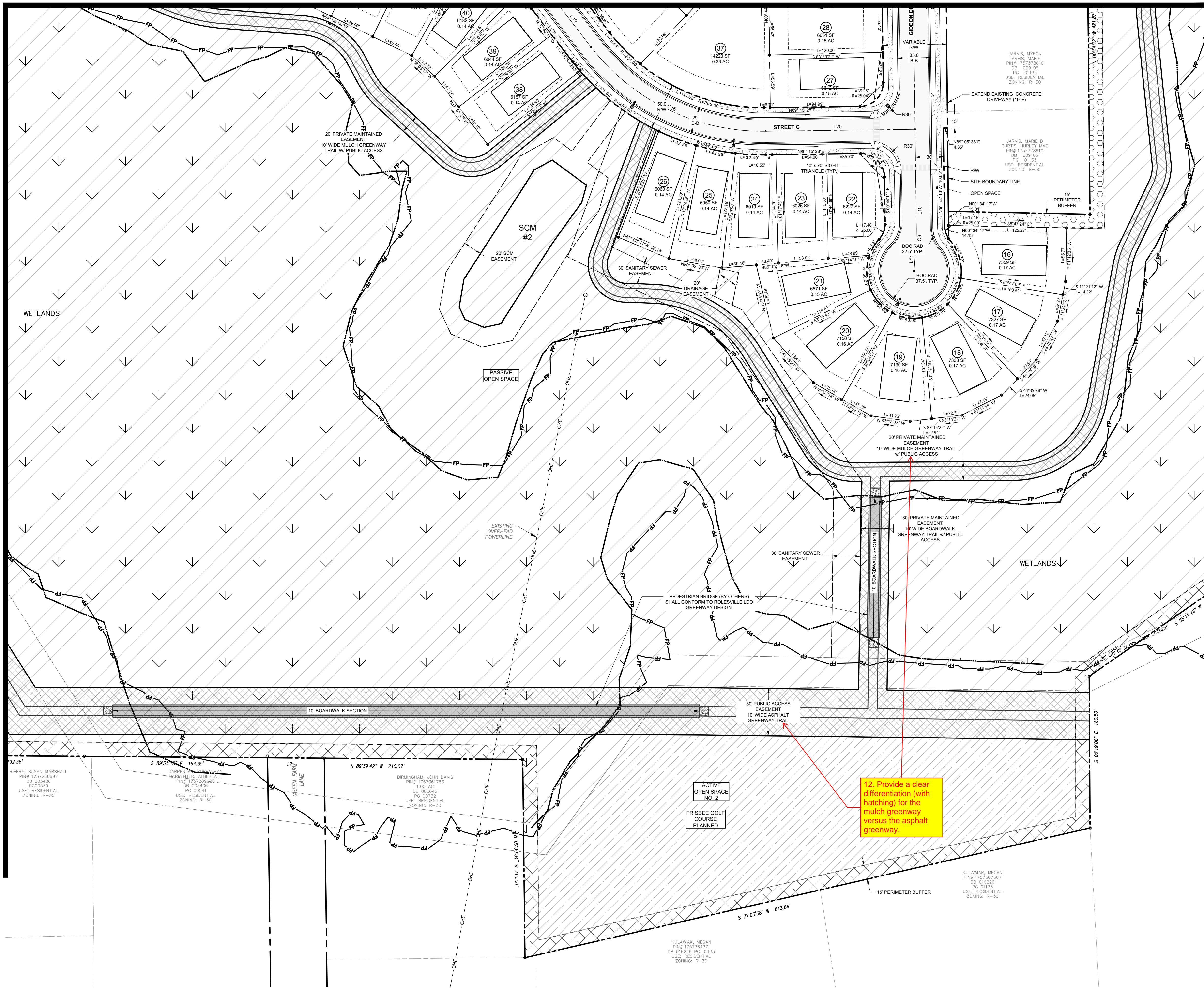
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No.	Date	Description

Sheet Title:
SITE PLAN SHEET 3 OF 6

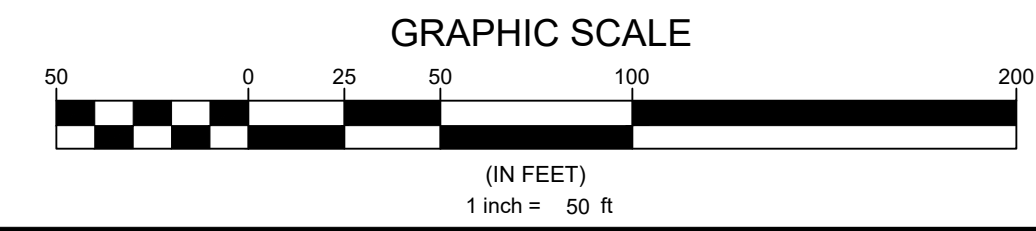
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10



SITE PLAN LEGEND

PROPOSED R.O.W.	
PROPOSED LOT LINE	
PROPOSED LOT SETBACK	
PROPOSED EASEMENT	
PROPOSED OPEN SPACE PASSIVE	
PROPOSED OPEN SPACE ACTIVE	
PROPOSED GREENWAY	
PROPOSED 30' JONESVILLE RD STREETSCAPE	
PROPOSED 15' BOUNDARY BUFFER CONSERVATION	
PROPOSED 15' BOUNDARY LANDSCAPE BUFFER	
PROPOSED 5' SIDEWALK	
EXISTING BOUNDARY / R.O.W.	
EXISTING EASEMENT	
EXISTING 100 YEAR FLOOD PLAIN	
EXISTING WETLANDS	

12. Provide a clear differentiation (with hatching) for the mulch greenway versus the asphalt greenway.



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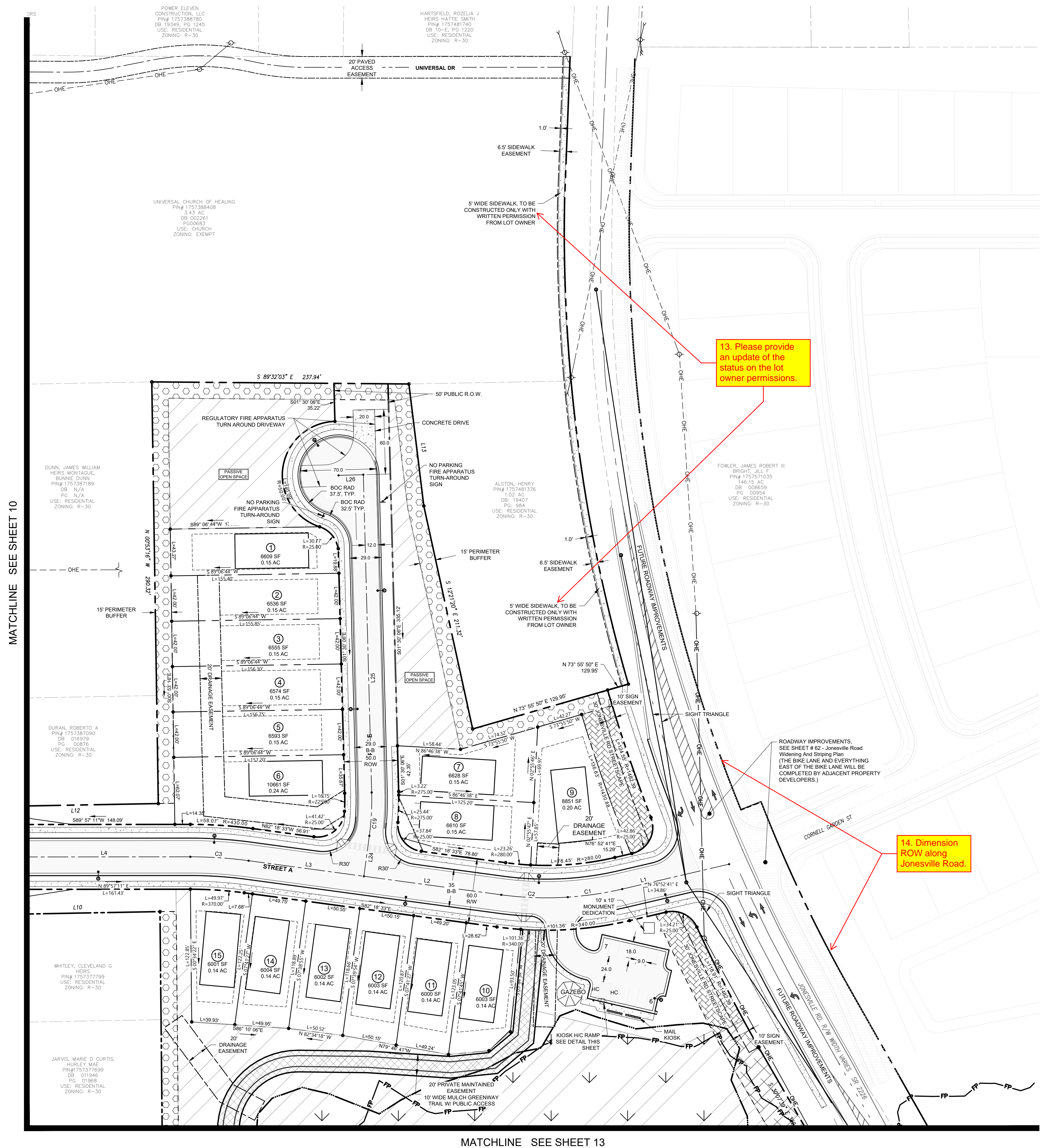
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No.	Date	Description

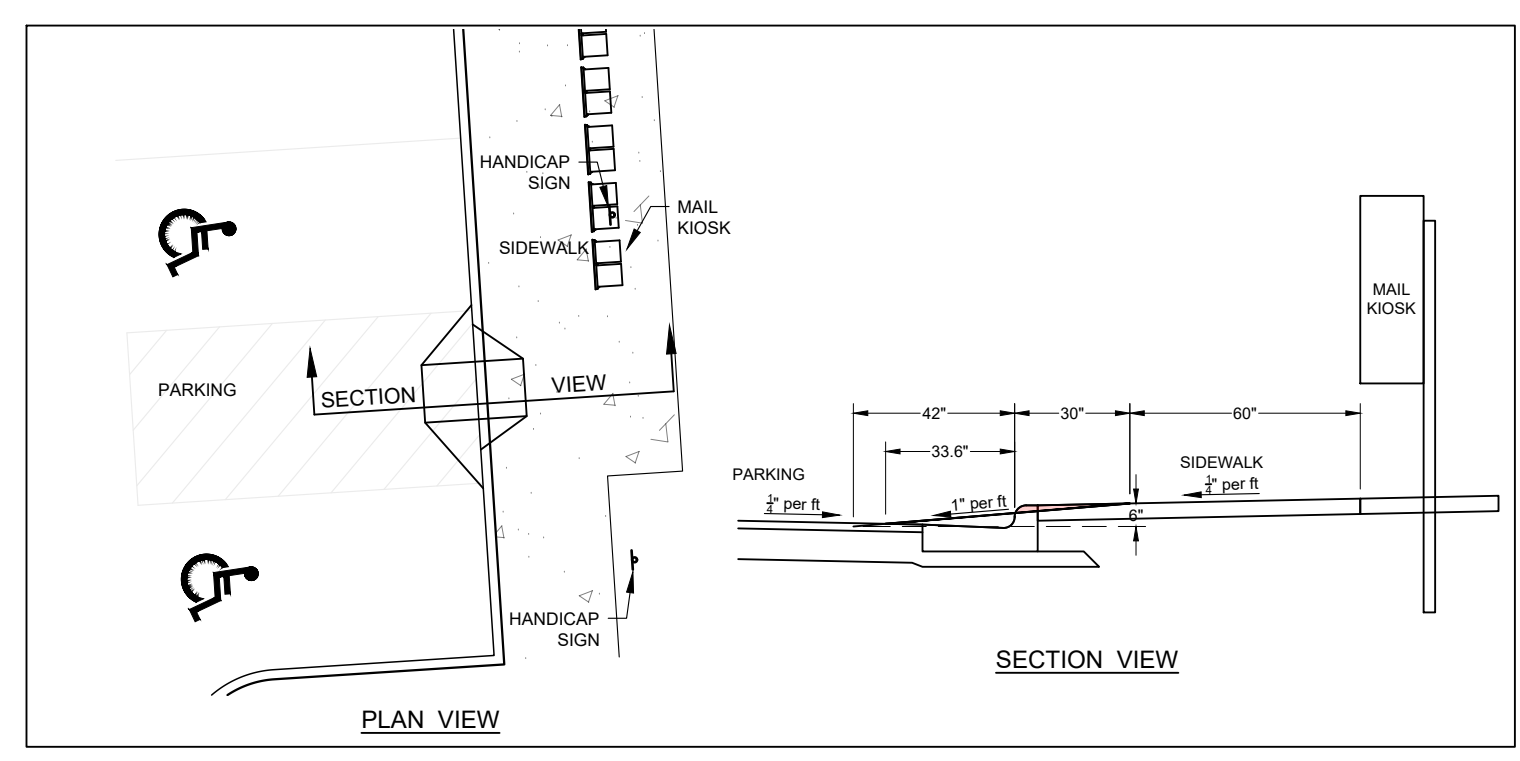
Sheet Title:
SITE PLAN SHEET 4 OF 6

Sheet#:
11

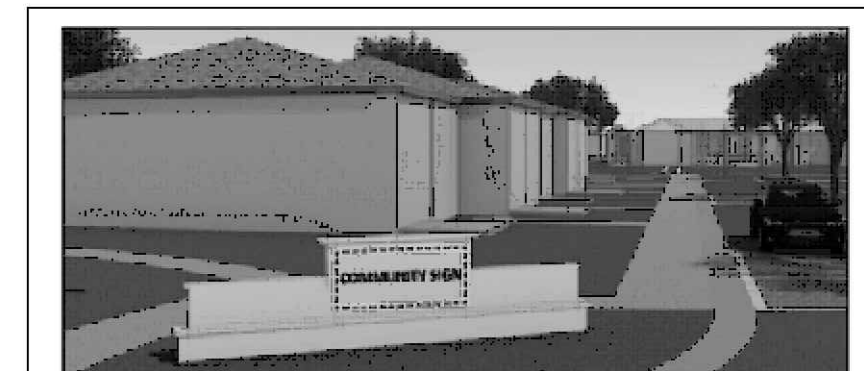


MATCHLINE SEE SHEET 10

MATCHLINE SEE SHEET 13

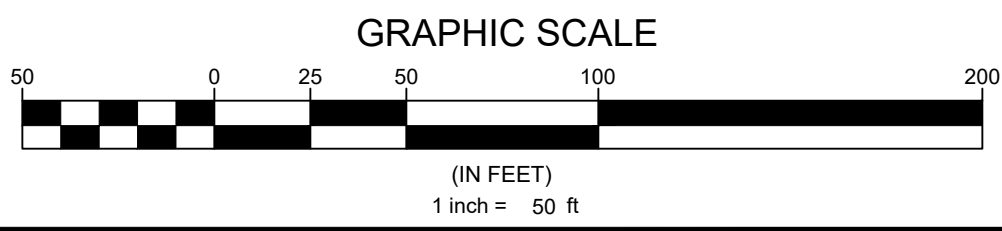


HANDICAP RAMP AT KIOSK DETAIL
NTS



Description	Sign
A freestanding ground sign identifying entry to a mixed-use district, neighborhood, or a residential subdivision. A sign permit is required.	Sign Width: Maximum 25', excluding support structures, columns or decorative features without a sign face. Sign Height: Maximum 10', including support structures, columns or other features including sign face. Sign Area: For projects/developments up to 5 acres, a maximum 50 square feet (single tenant) and 100 square feet (multi-tenant). For projects/developments 5 acres or greater, a maximum 300 square feet (single tenant) and 200 square feet (multi-tenant).
2 signs per entrance, maximum.	Approval for any right-of-way encroachment required by the owner of the right-of-way, consistent with Section 6.1.2.K.
Identifying signs may be placed on a subdivision wall or fence provided that no part of the wall or fence exceeds 6' in height.	

Proposed	Legend
PROPOSED R.O.W.	---
PROPOSED LOT LINE	---
PROPOSED LOT SETBACK	---
PROPOSED EASEMENT	---
PROPOSED OPEN SPACE PASSIVE	▨
PROPOSED OPEN SPACE ACTIVE	▩
PROPOSED GREENWAY	▧
PROPOSED 30' JONESVILLE RD STREETSCAPE	▦
PROPOSED 15' BOUNDARY BUFFER CONSERVATION	▤
PROPOSED 15' BOUNDARY LANDSCAPE BUFFER	▥
PROPOSED 5' SIDEWALK	▧
EXISTING BOUNDARY / R.O.W.	---
EXISTING EASEMENT	---
EXISTING 100 YEAR FLOOD PLAIN	FP
EXISTING WETLANDS	W



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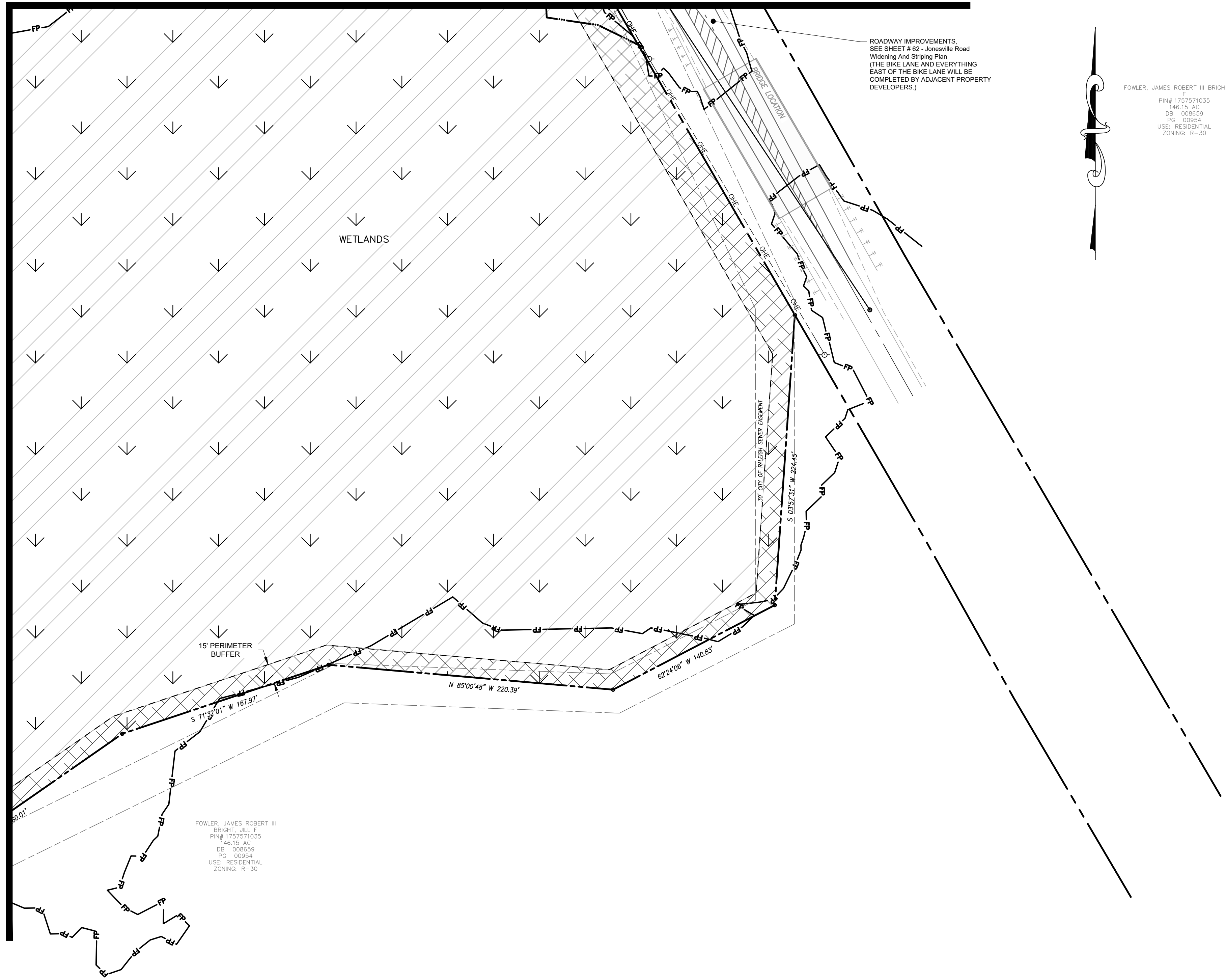
Sheet Title:
SITE PLAN SHEET 5 OF 6

Sheet#:
12

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MATCHLINE SEE SHEET 12

MATCHLINE SEE SHEET 11



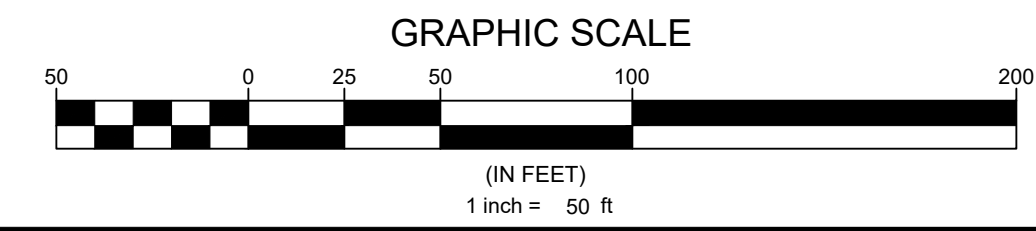
ROADWAY IMPROVEMENTS, SEE SHEET # 62 - Jonesville Road Watering And Striping Plan (THE BIKE LANE AND EVERYTHING EAST OF THE BIKE LANE WILL BE COMPLETED BY ADJACENT PROPERTY DEVELOPERS.)

FOWLER, JAMES ROBERT III BRIGHT, JLL
 F
 PIN# 1757571035
 146.15 AC
 DB: 008659
 PG: 00954
 USE: RESIDENTIAL
 ZONING: R-30

FOWLER, JAMES ROBERT III BRIGHT, JLL
 F
 PIN# 1757571035
 146.15 AC
 DB: 008659
 PG: 00954
 USE: RESIDENTIAL
 ZONING: R-30

SITE PLAN LEGEND

PROPOSED R.O.W.	
PROPOSED LOT LINE	
PROPOSED LOT SETBACK	
PROPOSED EASEMENT	
PROPOSED OPEN SPACE PASSIVE	
PROPOSED OPEN SPACE ACTIVE	
PROPOSED GREENWAY	
PROPOSED 30' JONESVILLE RD STREETSCAPE	
PROPOSED 15' BOUNDARY BUFFER CONSERVATION	
PROPOSED 15' BOUNDARY LANDSCAPE BUFFER	
PROPOSED 5' SIDEWALK	
EXISTING BOUNDARY / R.O.W.	
EXISTING EASEMENT	
EXISTING 100 YEAR FLOOD PLAIN	
EXISTING WETLANDS	



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Sheet Title:
SITE PLAN SHEET 6 OF 6

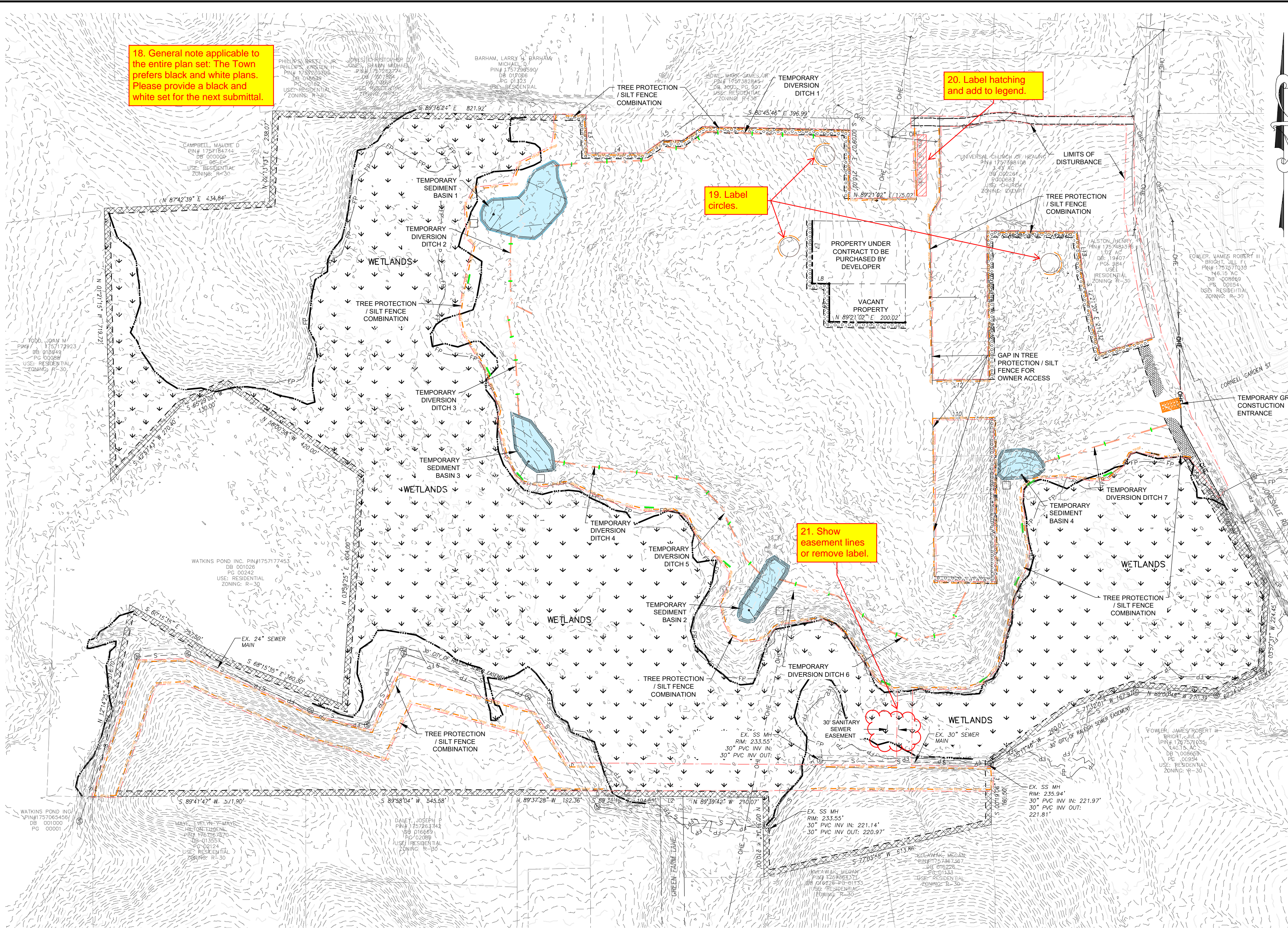
Sheet#:
13

18. General note applicable to the entire plan set. The Town prefers black and white plans. Please provide a black and white set for the next submittal.

20. Label hatching and add to legend.

19. Label circles.

21. Show easement lines or remove label.



WAKE COUNTY EROSION CONTROL SEQUENCE

1. Schedule a preconstruction conference with the Environmental Consultant. Obtain a land disturbing permit.
2. Install gravel construction pad, temporary diversions, silt fence, sediment basins or other measures as shown on the approved plan. Clear only as necessary to install these devices. Seed temporary diversions, berms and basins immediately after construction.
3. Call Environmental Consultant for an onsite inspection by the Environmental Consultant to obtain a Certificate of Compliance.
4. Begin clearing and grubbing. Maintain devices as needed. Rough grade site.
5. Install storm sewer, if shown, and protect inlets with block and gravel inlet controls, sediment traps or other approved measures as shown on the plan. Begin construction, building, etc.
6. Stabilize site as areas are brought up to finish grade with vegetation, paving, ditch linings, etc. Seed and mulch denuded areas per Ground Stabilization Time Frames.
7. When construction is complete and all areas are stabilized completely, call Environmental Consultant for an inspection.
8. If site is approved, remove temporary diversions, silt fence, sediment basins, etc., and seed out or stabilize any resulting bare areas. All remaining permanent erosion control devices, such as velocity dissipators, should now be installed.
9. When vegetation has become established, call for a final site inspection by the Environmental Consultant. Obtain a Certificate of Completion.

NPDES SELF INSPECTION PROGRAM

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10. NO DEBRIS SHALL BE TRACKED ONTO PUBLIC RIGHT OF WAY. IF THE SITUATION OCCURS WHERE MUD, ROCK AND DEBRIS IS TRACKED ONTO PAVEMENT, THE CONTRACTOR SHALL CLEAN THE PAVEMENT AND INSTALL ADDITIONAL MEASURES TO PREVENT THE FUTURE OCCURRENCE.
11. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND TREES, A CLEAN SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCES SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA AND SHALL BE INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.
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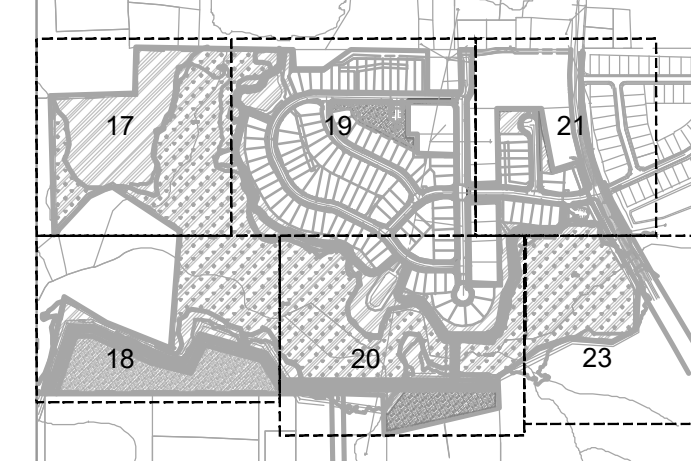
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 File Name: 16 Overall Erosion Control Plan.dwg

Last Saved by: Jthodge
 Drawn by: TAN

HARRIS CREEK FARMS
 CID-25-??

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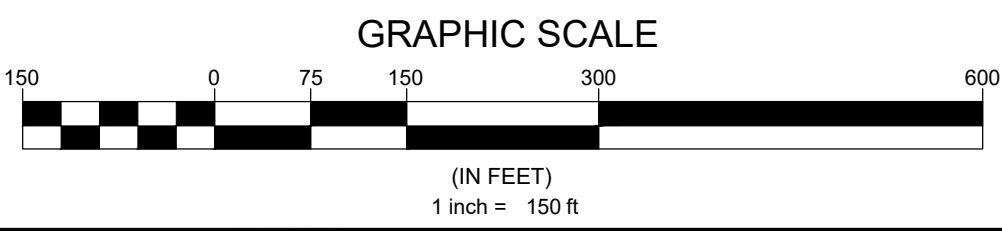
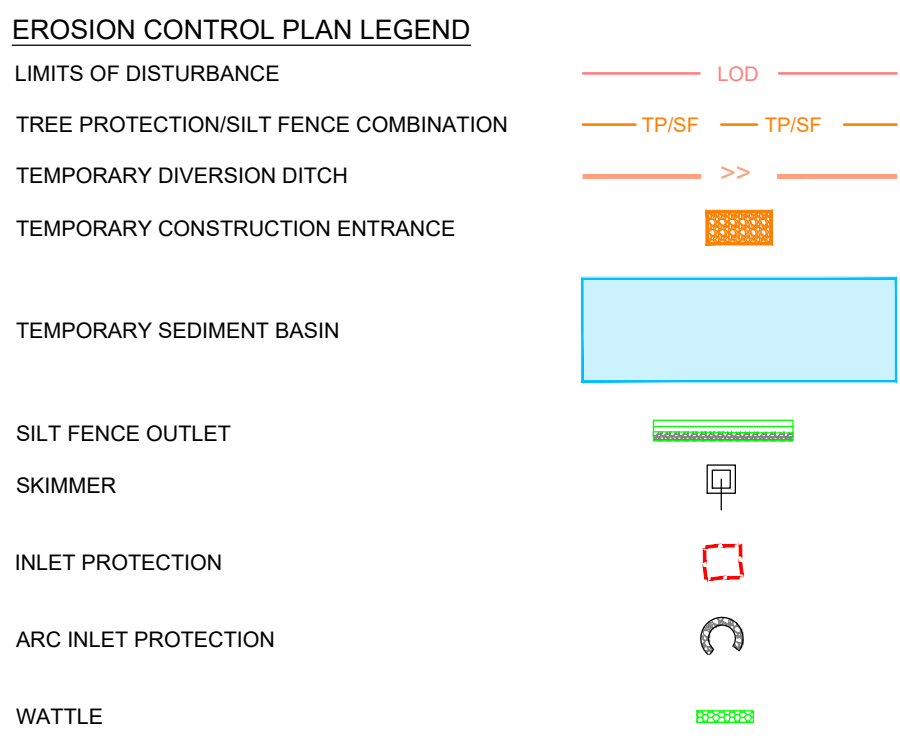
Sheet Title:
OVERALL EROSION CONTROL PLAN

Sheet #:
16

HARRIS CREEK									
SKIMMER BASIN TABLE									
Skimmer Basin #	Width (ft)	Length (ft)	Depth (ft)	Top Elevation	Outlet Elevation	Weir (ft)	Skimmer (in)	Orifice (in)	Dewatering Time (days)
BASIN 1	237	SEE PLANS	2	235	235	50	2.5	2.5	4
BASIN 2	SEE PLANS	SEE PLANS	3	237.5	234.5	33	2.5	2	4
BASIN 3	SEE PLANS	SEE PLANS	2	230	228	23	2.5	2	4
BASIN 4	SEE PLANS	SEE PLANS	2	235	233	25	2.5	2	4

HARRIS CREEK		
Location	MATERIAL	
	TEMPORARY	PERMANENT
TEMPORARY DITCH 1	NAG SC150BN	NAG SC150BN
TEMPORARY DITCH 2	STRAW AND NETTING	STRAW AND NETTING
TEMPORARY DITCH 3	STRAW AND NETTING	STRAW AND NETTING
TEMPORARY DITCH 4	NAG SC150BN	NAG SC150BN
TEMPORARY DITCH 5	STRAW AND NETTING	STRAW AND NETTING
TEMPORARY DITCH 6	NAG SC150BN	NAG SC150BN
TEMPORARY DITCH 7	STRAW AND NETTING	STRAW AND NETTING

DISTURBED AREA = 45.28 ACRES



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22. Is this supposed to be "perimeter"? Please revise (applies to all applicable sheets).

23. Reference details where applicable. Arc inlet protection is called "Horseshoe Inlet Protection" on detail.

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4. Begin clearing and grubbing. Maintain devices as needed. Rough grade site.
5. Install storm sewer, if shown, and protect inlets with block and gravel inlet controls, sediment traps or other approved measures as shown on the plan. Begin construction, building, etc.
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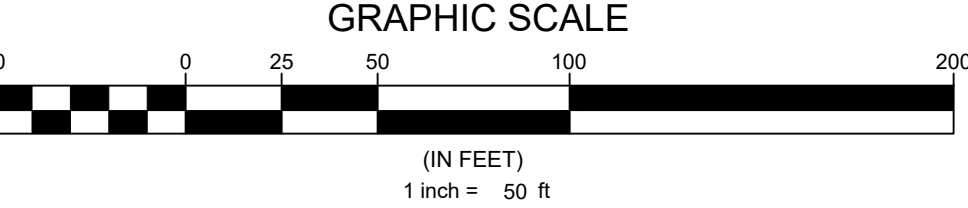
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LIMITS OF DISTURBANCE	---	LOD
TREE PROTECTION/SILT FENCE COMBINATION	---	TP/SF
TEMPORARY DIVERSION DITCH	---	TP/SF
TEMPORARY CONSTRUCTION ENTRANCE	---	---
TEMPORARY SEDIMENT BASIN	---	---
SILT FENCE OUTLET	---	---
SKIMMER	---	---
INLET PROTECTION	---	---
ARC INLET PROTECTION	---	---
WATTLE	---	---



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Last Saved by: Jthodge
Drawn by: TAN

Project:

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**EC PLAN STAGE
 1 SHEET 1 OF 6**

Sheet #:

17

File Location: C:\Users\BryanHarris\Documents\Harris Creek Farm - Jonesville\Engineering\DWG\Construction Plans\16 Overall Erosion Control Plan.dwg

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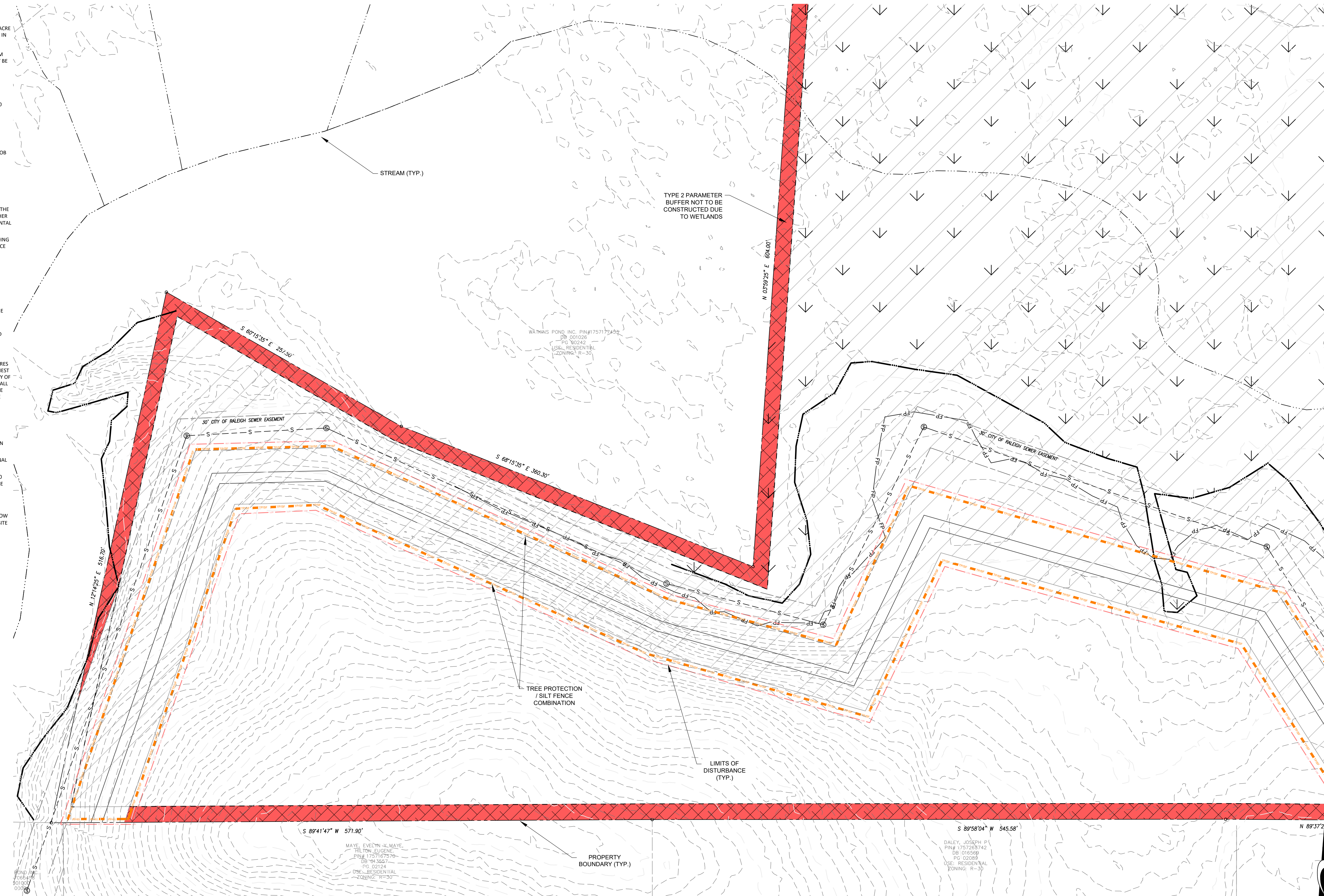
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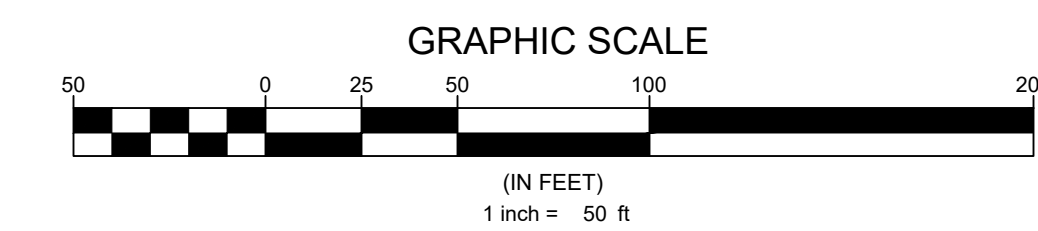
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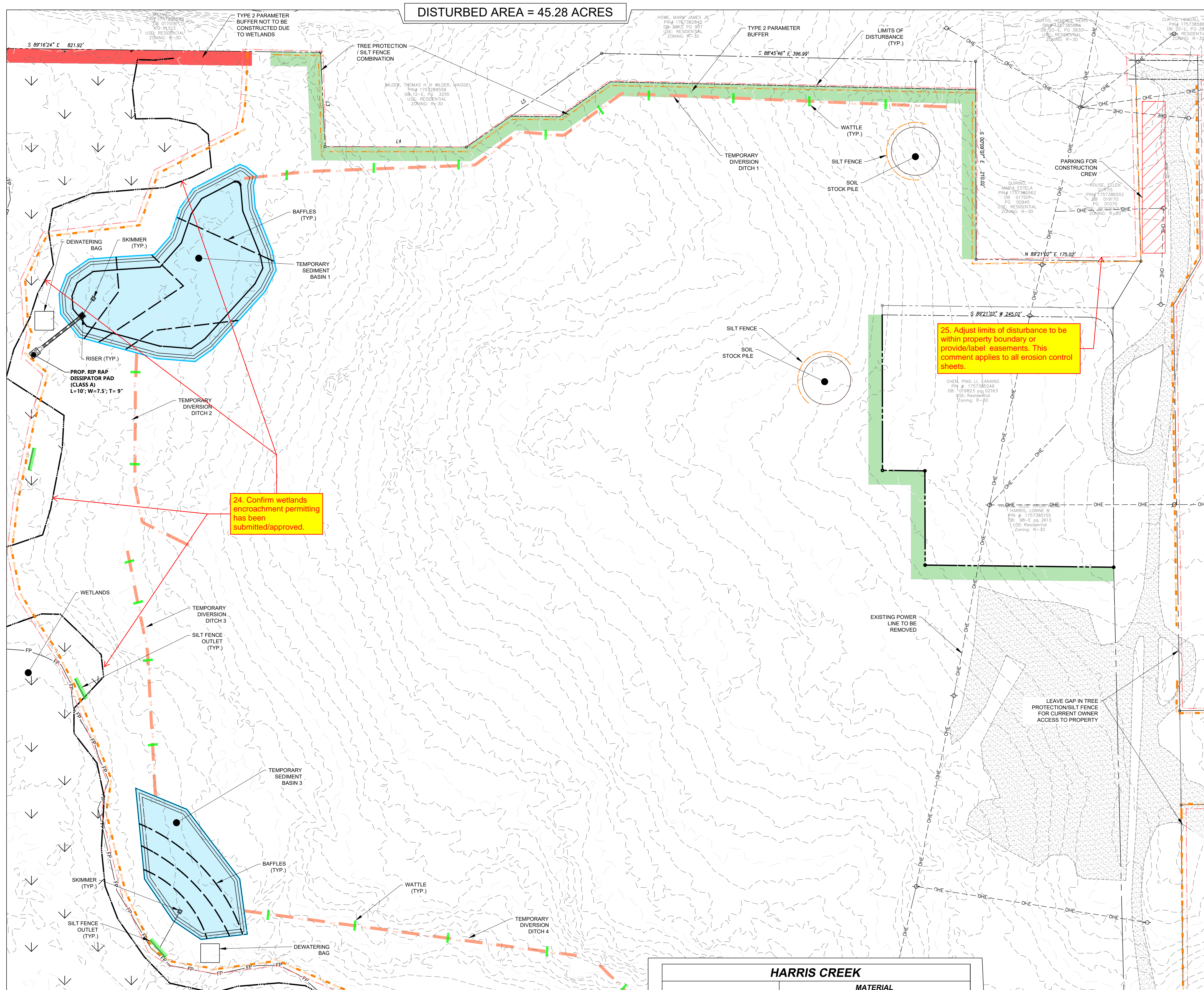
REVISIONS		
No.	Date	Description

Sheet Title:
EC PLAN STAGE 1 SHEET 2 OF 6

Sheet #:
18

File Location: C:\Users\BryanHarris\OneDrive\Engineering - Documents\Harris Creek Farm - Jonesville\Engineering - Documents\Construction Plans\16 Overall Erosion Control Plan.dwg

File Location: C:\Users\BryanHarris\OneDrive\Documents\Harris Creek Farm - Jonesville\Engineering\DWG\Construction Plans\16 Overall Erosion Control Plan.dwg



DISTURBED AREA = 45.28 ACRES

26. Limits of disturbance should be shown within the easement. Also, label easement.

25. Adjust limits of disturbance to be within property boundary or provide label easements. This comment applies to all erosion control sheets.

24. Confirm wetlands encroachment permitting has been submitted/approved.

- EROSION CONTROL PLAN LEGEND**
- LIMITS OF DISTURBANCE: --- LOD ---
 - TREE PROTECTION/SILT FENCE COMBINATION: --- TP/SF --- TP/SF ---
 - TEMPORARY DIVERSION DITCH: --->>>---
 - TEMPORARY CONSTRUCTION ENTRANCE: [Symbol]
 - TEMPORARY SEDIMENT BASIN: [Symbol]
 - SILT FENCE OUTLET: [Symbol]
 - SKIMMER: [Symbol]
 - INLET PROTECTION: [Symbol]
 - ARC INLET PROTECTION: [Symbol]
 - WATTLE: [Symbol]

- WAKE COUNTY EROSION CONTROL SEQUENCE**
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 - Begin clearing and grubbing. Maintain berms as needed. Rough grade site.
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- EFFECTIVE OCTOBER 1, 2010, PERSONS CONDUCTING LAND-DISTURBING ACTIVITY LARGER THAN ONE ACRE MUST INSPECT THEIR PROJECT AFTER EACH PHASE OF THE PROJECT, AND DOCUMENT THE INSPECTION IN WRITING. EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO, SEDIMENTATION CONTROL BASINS, SEDIMENTATION TRAPS, ROCK DAMS, TEMPORARY DIVERSIONS, TEMPORARY SLOPE DRAINS, SEDIMENT FENCE OR BARRIERS, ALL FORMS OF INLET PROTECTION, STORM DRAINAGE FACILITIES, ENERGY DISSIPATORS, AND STABILIZATION METHODS OF OPEN CHANNELS MUST BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY, LANDOWNER, OR THEIR AGENT. THE SELF-INSPECTION REPORTING FORM IS AVAILABLE AS PDF FROM THE LAND QUALITY WEB SITE: <http://www.wakecountync.gov/development/erosion-control/forms>
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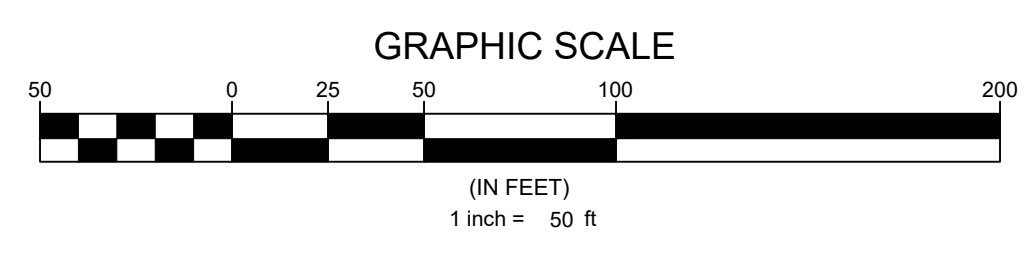
- EROSION CONTROL NOTES**
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HARRIS CREEK									
SKIMMER BASIN TABLE									
Skimmer Basin #	Width (ft)	Length (ft)	Depth (ft)	Top Elevation	Outlet Elevation	Weir (ft)	Skimmer (in)	Offset (in)	Dewatering Time (days)
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Location	MATERIAL	
	TEMPORARY	PERMANENT
TEMPORARY DITCH 1	NAG SC150BN	NAG SC150BN
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TEMPORARY DITCH 3	STRAW AND NETTING	STRAW AND NETTING
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TEMPORARY DITCH 5	STRAW AND NETTING	STRAW AND NETTING
TEMPORARY DITCH 6	NAG SC150BN	NAG SC150BN
TEMPORARY DITCH 7	STRAW AND NETTING	STRAW AND NETTING



Developer
THE CSC GROUP
 10030 Green Level Church Rd, Suite 802 #149, Cary, NC 27519

Engineer
QUANTECH ENGINEERING
 Firm # F-1517
 15000 Weston Parkway
 Cary, N.C. 27513
 (919) 996-9455

Surveyor
BCSC Bateman Civil Survey Company
 2524 Reliance Avenue
 Apex, NC 27539
 919-557-1080 ext 109
www.batemancivilsurvey.com

Jurisdiction / Municipality
 Town of Rolesville
 502 Southtown Cir
 Rolesville, NC 27571
 Phone: 919-554-6517
PSP-24-05

Other Consultants

Sheet map:

Seal:

Issued / Print Date: 2025-May-30 (17:15)
 File Name: 16 Overall Erosion Control Plan.dwg

Last Saved by: Jthodge
 Drawn by: TAN

Project:
HARRIS CREEK FARMS
 CID-25-??

Issued for:
PROGRESS DRAWINGS DO NOT USE FOR CONSTRUCTION

REVISIONS

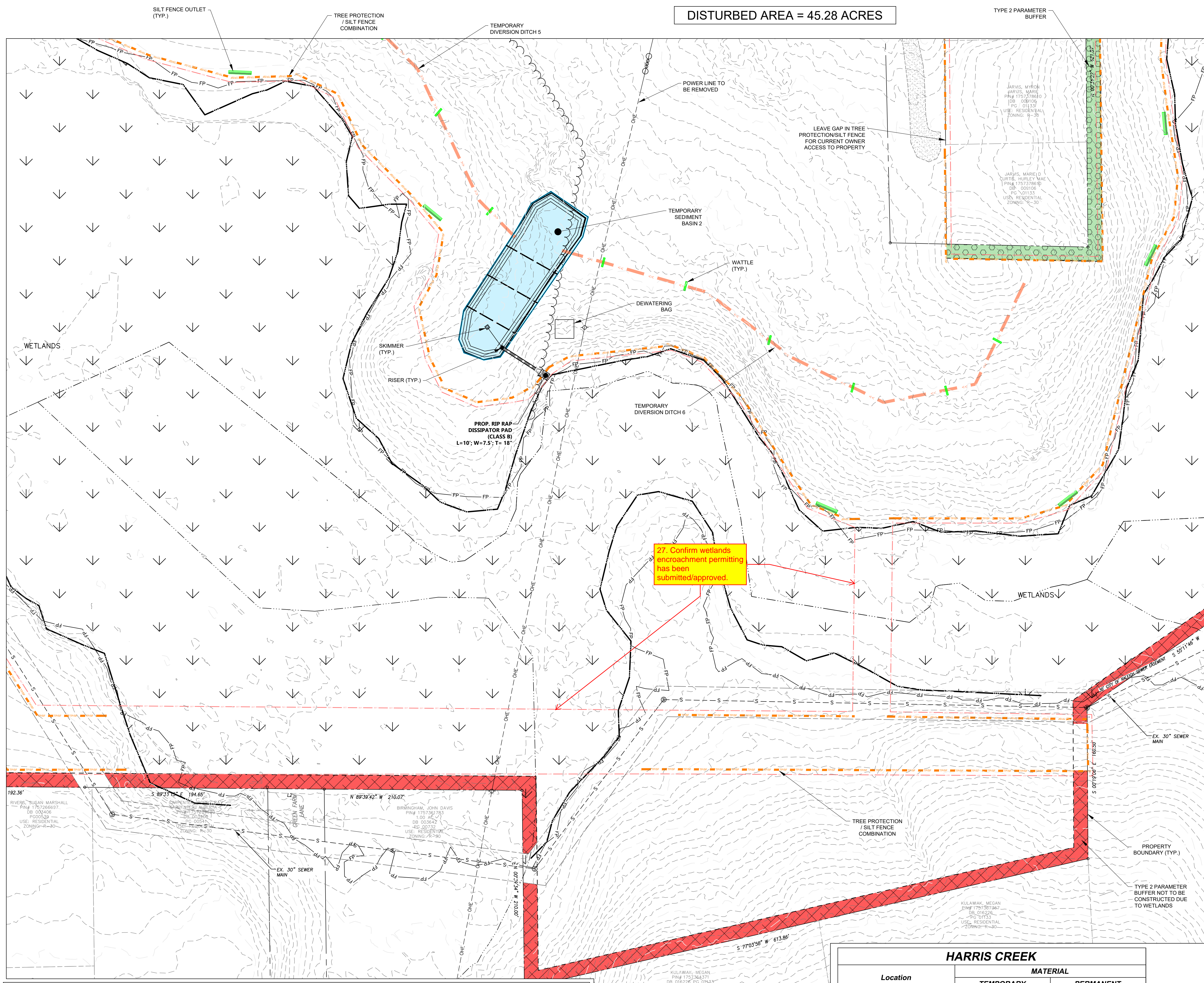
No.	Date	Description

Sheet Title:
EC PLAN STAGE 1 SHEET 3 OF 6

Sheet #:
19

N.C. UNDERGROUND UTILITIES
 3 DAYS BEFORE DIGGING CALL
 TOLL FREE 811 or (800)632-4949
 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

File Location: C:\Users\BryanHarris\Documents\Harris Creek Farm - Jonesville\Engineering\DWG\Construction\Plans\16 Overall Erosion Control Plan.dwg



DISTURBED AREA = 45.28 ACRES

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EROSION CONTROL PLAN LEGEND

LIMITS OF DISTURBANCE

TREE PROTECTION/SILT FENCE COMBINATION

TEMPORARY DIVERSION DITCH

TEMPORARY CONSTRUCTION ENTRANCE

TEMPORARY SEDIMENT BASIN

SILT FENCE OUTLET

SKIMMER

INLET PROTECTION

ARC INLET PROTECTION

WATTLE

GRAPHIC SCALE

(IN FEET)

1 inch = 50 ft

N.C. UNDERGROUND UTILITIES

811

3 DAYS BEFORE DIGGING CALL
TOLL FREE 811 OR 800/632-4949

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

HARRIS CREEK

SKIMMER BASIN TABLE

Skimmer Basin #	Width (ft)	Length (ft)	Depth (ft)	Top Elevation	Outlet Elevation	Weir (ft)	Skimmer (in)	Orifice (in)	Dewatering Time (days)
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HARRIS CREEK

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TEMPORARY DITCH 5	STRAW AND NETTING	STRAW AND NETTING
TEMPORARY DITCH 6	NAG SC150BN	NAG SC150BN
TEMPORARY DITCH 7	STRAW AND NETTING	STRAW AND NETTING

Developer
THE CSC GROUP
CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUNITY
10030 Green Level Church Rd, Suite 802 #149, Cary, NC 27519

Engineer
QUANTECH ENGINEERING
INNOVATIVE SOLUTIONS • PROGRESSING THE FUTURE
Firm # F-1517
15000 Weston Parkway
Cary, N.C. 27513
(919) 996-9455

Surveyor
BCSC Bateman Civil Survey Company
2524 Reliance Avenue
Apex, NC 27539
919-557-1080 ext 109
www.batemancivilsurvey.com

Jurisdiction / Municipality
Rolesville
Town of Rolesville
502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517
PSP-24-05

Other Consultants

Sheet map:

Seal:

Issued / Print Date: 2025-May-30 (17:16)
File Name: 16 Overall Erosion Control Plan.dwg

Last Saved by: Jthodge
Drawn by: TAN

Project:
HARRIS CREEK FARMS
CID-25-??

Issued for:
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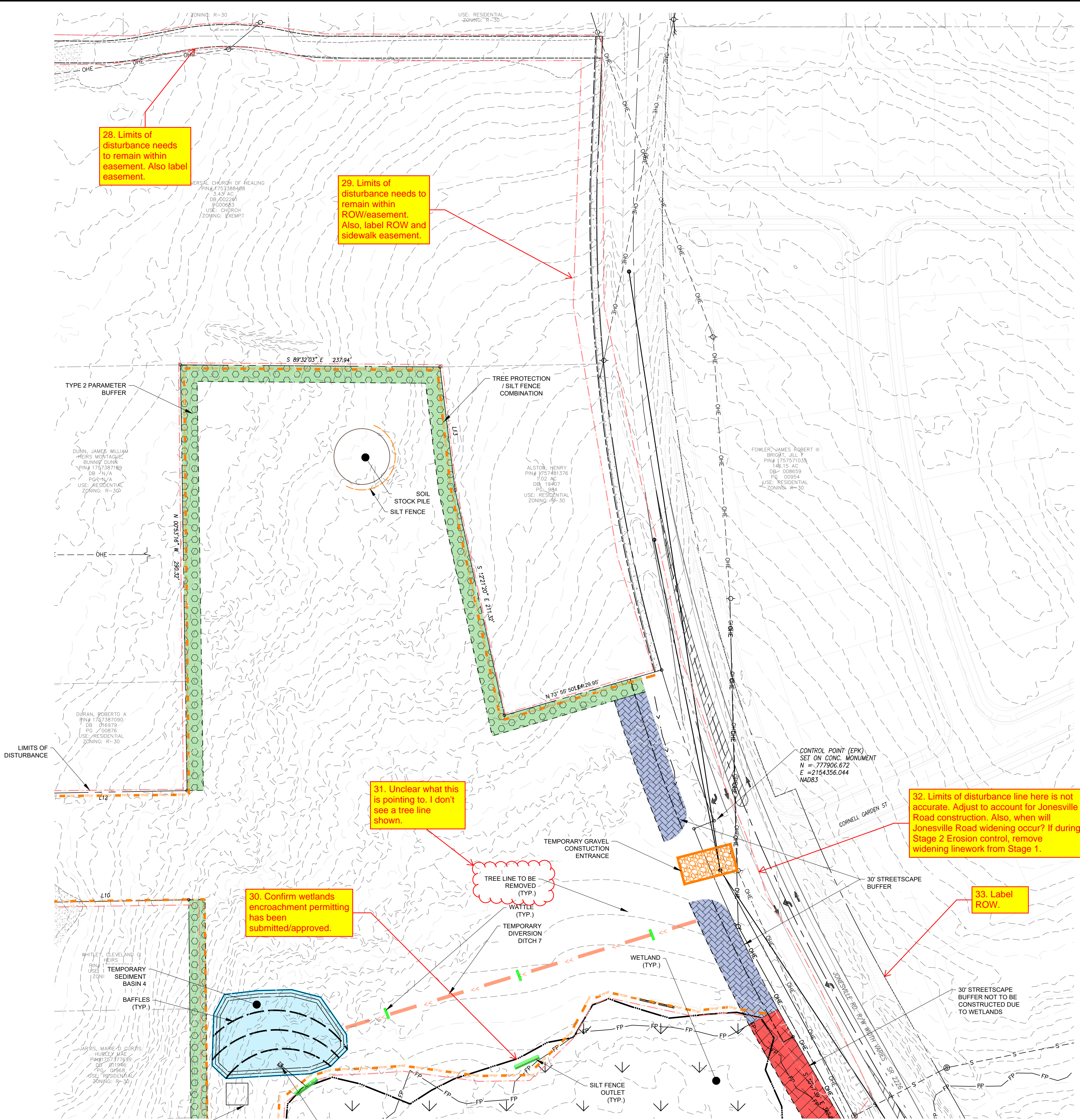
REVISIONS

No.	Date	Description

Sheet Title:
EC PLAN STAGE 1 SHEET 4 OF 6

Sheet #:
20

File Location: C:\Users\BryanHarris\Documents\Harris Creek Farm - Jonesville\Engineering - Documents\Harris Creek Farm - Jonesville\Engineering - DWG\Construction Plans\16 Overall Erosion Control Plan.dwg



28. Limits of disturbance needs to remain within easement. Also label easement.

29. Limits of disturbance needs to remain within ROW/easement. Also, label ROW and sidewalk easement.

31. Unclear what this is pointing to. I don't see a tree line shown.

30. Confirm wetlands encroachment permitting has been submitted/approved.

32. Limits of disturbance line here is not accurate. Adjust to account for Jonesville Road construction. Also, when will Jonesville Road widening occur? If during Stage 2 Erosion control, remove widening linework from Stage 1.

33. Label ROW.

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11. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND TREES, A CLEAN SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA AND SHALL BE INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.
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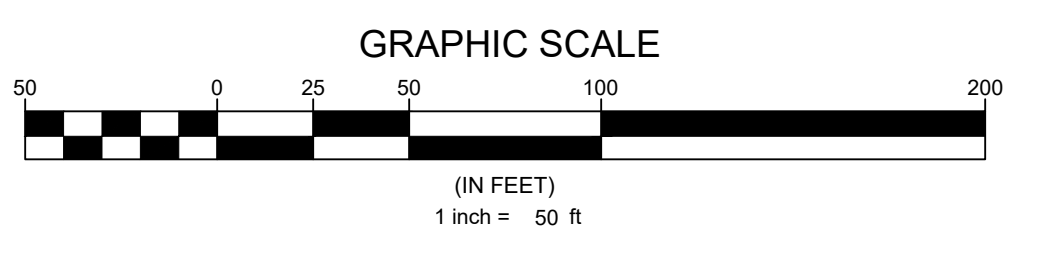
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EROSION CONTROL PLAN LEGEND

- LIMITS OF DISTURBANCE --- LOD --- LOD
- TREE PROTECTION/SILT FENCE COMBINATION --- TP/SF --- TP/SF
- TEMPORARY DIVERSION DITCH --- >> --- >>
- TEMPORARY CONSTRUCTION ENTRANCE --- [Pattern] --- [Pattern]
- TEMPORARY SEDIMENT BASIN
- SILT FENCE OUTLET --- [Pattern] --- [Pattern]
- SKIMMER
- INLET PROTECTION
- ARC INLET PROTECTION --- [Pattern] --- [Pattern]
- WATTLE --- [Pattern] --- [Pattern]

DISTURBED AREA = 45.28 ACRES



Location	MATERIAL	
	TEMPORARY	PERMANENT
TEMPORARY DITCH 1	NAG SC150BN	NAG SC150BN
TEMPORARY DITCH 2	STRAW AND NETTING	STRAW AND NETTING
TEMPORARY DITCH 3	STRAW AND NETTING	STRAW AND NETTING
TEMPORARY DITCH 4	NAG SC150BN	NAG SC150BN
TEMPORARY DITCH 5	STRAW AND NETTING	STRAW AND NETTING
TEMPORARY DITCH 6	NAG SC150BN	NAG SC150BN
TEMPORARY DITCH 7	STRAW AND NETTING	STRAW AND NETTING

HARRIS CREEK									
SKIMMER BASIN TABLE									
Skimmer Basin #	Width (ft)	Length (ft)	Depth (ft)	Top Elevation	Outlet Elevation	Weir (ft)	Skimmer (in)	Orifice (in)	Dewatering Time (days)
BASIN 1	SEE PLANS	SEE PLANS	2	237	235	50	2.5	2.5	4
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 10030 Green Level Church Rd, Suite 802 #149, Cary, NC 27519

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Sheet map:

Seal:

Issued / Print Date: 2025-May-30 (17:18)
 File Name: 16 Overall Erosion Control Plan.dwg

Last Saved by: Jthodge
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HARRIS CREEK FARMS
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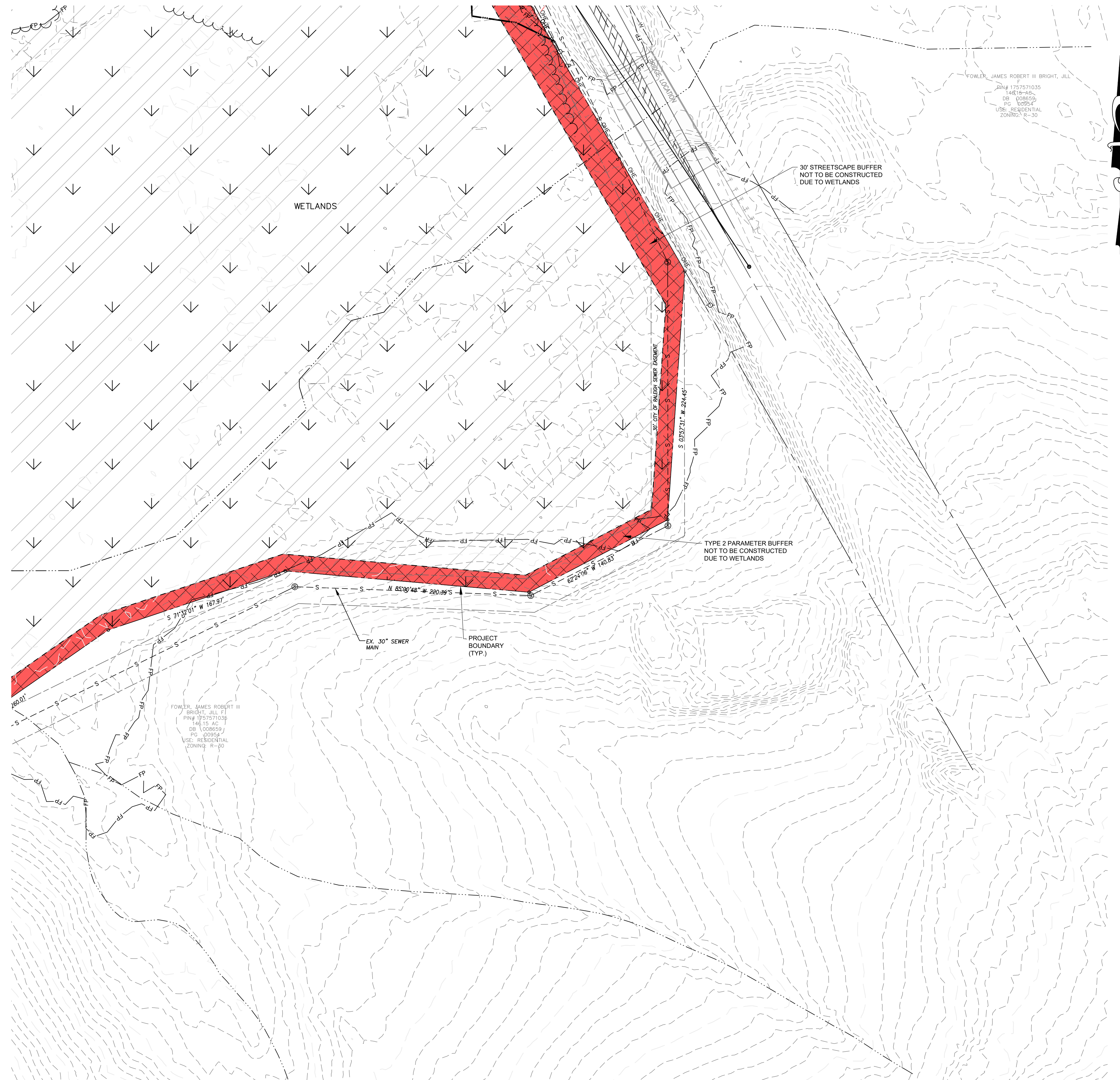
REVISIONS

No.	Date	Description

Sheet Title:
EC PLAN STAGE 1 SHEET 5 OF 6

Sheet #:
21

File Location: C:\Users\BryanHarris\OneDrive\Engineering - Documents\Harris Creek Farm - Jonesville\Engineering\DWG\Construction Plans\16 Overall Erosion Control Plan.dwg



WAKE COUNTY EROSION CONTROL SEQUENCE

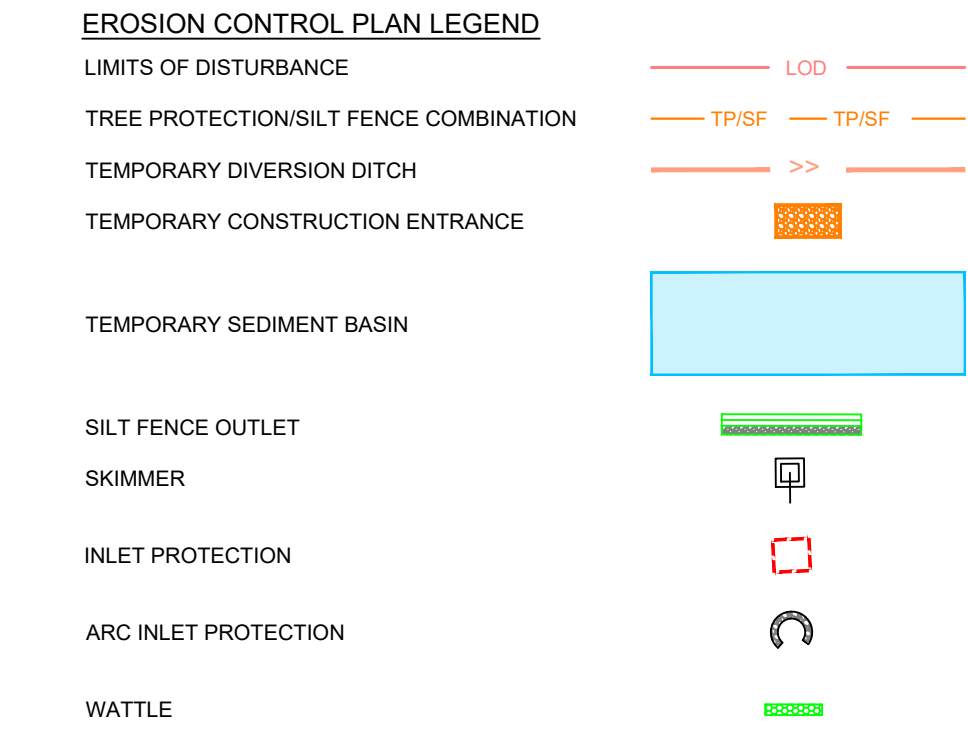
- Schedule a preconstruction conference with the Environmental Consultant. Obtain a land disturbing permit.
- Install gravel construction pad, temporary diversions, silt fence, sediment basins or other measures as shown on the approved plan. Clear only as necessary to install these devices. Seed temporary diversions, berms and basins immediately after construction.
- Call Environmental Consultant for an onsite inspection by the Environmental Consultant to obtain a Certificate of Compliance.
- Begin clearing and grubbing. Maintain devices as needed. Rough grade site.
- Install storm sewer, if shown, and protect inlets with block and gravel inlet controls, sediment traps or other approved measures as shown on the plan. Begin construction, building, etc.
- Stabilize site as areas are brought up to finish grade with vegetation, paving, ditch linings, etc. Seed and mulch denuded areas per Ground Stabilization Time Frames.
- When construction is complete and all areas are stabilized completely, call Environmental Consultant for an inspection.
- If site is approved, remove temporary diversions, silt fence, sediment basins, etc., and seed out or stabilize any resulting bare areas. All remaining permanent erosion control devices, such as velocity dissipators, should now be installed.
- When vegetation has become established, call for a final site inspection by the Environmental Consultant. Obtain a Certificate of Completion.

NPDES SELF INSPECTION PROGRAM

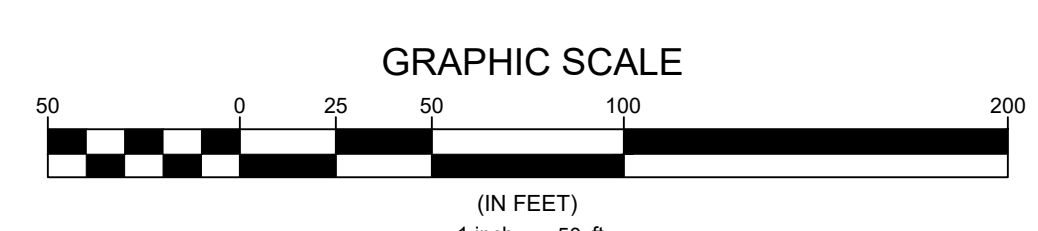
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2. IN ADDITION TO THE INSPECTIONS BY THE CONTRACTOR, THE OWNER, THE FINANCIALLY RESPONSIBLE PARTY, OR THEIR AGENT MUST CONDUCT INSPECTIONS IN ACCORDANCE WITH THE STATE OF NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY CONSTRUCTION GENERAL PERMIT NCG 010000 SELF-INSPECTION PROGRAM AND REPORTING REQUIREMENTS TO MONITOR AND MAINTAIN A RAIN GAUGE, RECORDS, PERMIT, AND S&E PLAN ON SITE.

- EROSION CONTROL NOTES**
- TREE PROTECTION FENCE LINE ALSO INCLUDE THE LIMITS OF DISTURBANCE FOR THAT SECTION.
 - A COPY OF THE APPROVED EROSION CONTROL PLAN AND PERMIT PLACARD MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
 - ALL CONSTRUCTION SHALL CONFORM TO THE LATEST NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL AND WAKE COUNTY STANDARDS, SPECIFICATIONS AND DETAILS.
 - THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
 - FAILURE TO FOLLOW THE APPROVED PLAN, CONSTRUCTION SEQUENCE, AND DETAILS COULD SUBJECT THE CONTRACTOR AND/OR THE FINANCIALLY RESPONSIBLE PARTY TO FINES AND PENALTIES ISSUED BY EITHER THE WAKE COUNTY EROSION CONTROL DIVISION OR NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY.
 - EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR SHALL CALL FOR AN INSPECTION BY WAKE COUNTY EROSION CONTROL ONCE INITIAL MEASURES ARE IN PLACE. (SEE CONSTRUCTION SEQUENCES)
 - CONTRACTOR SHALL INSPECT ALL SEDIMENT/EROSION CONTROL DEVICES WEEKLY AND AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF OF THE CAPACITY OF THE DEVICE. SEE NPDES SELF INSPECTION PROGRAM NOTES.
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DISTURBED AREA = 45.28 ACRES



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SKIMMER BASIN TABLE									
Skimmer Basin #	Width (ft)	Length (ft)	Depth (ft)	Top Elevation	Outlet Elevation	Weir (ft)	Skimmer (in)	Orifice (in)	Dewatering Time (days)
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HARRIS CREEK		
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	TEMPORARY	PERMANENT
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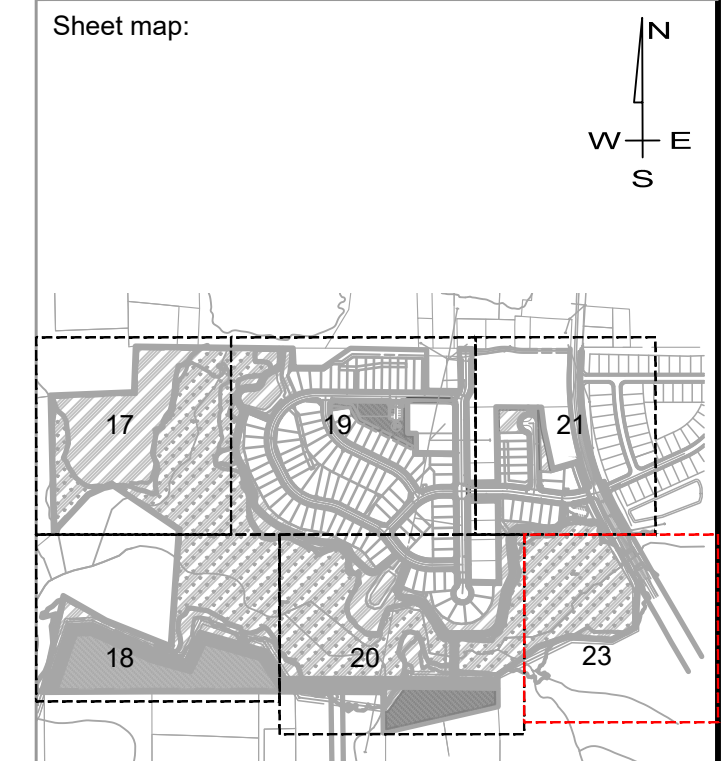
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Other Consultants



Seal:

 NORTH CAROLINA
 PROFESSIONAL ENGINEER
 SEAL
 53676
 BRYAN A. HARRIS

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Last Saved by: Jthodge
 Drawn by: TAN

Project:
HARRIS CREEK FARMS
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Sheet Title:
EC PLAN STAGE 1 SHEET 6 OF 6

Sheet #:
22

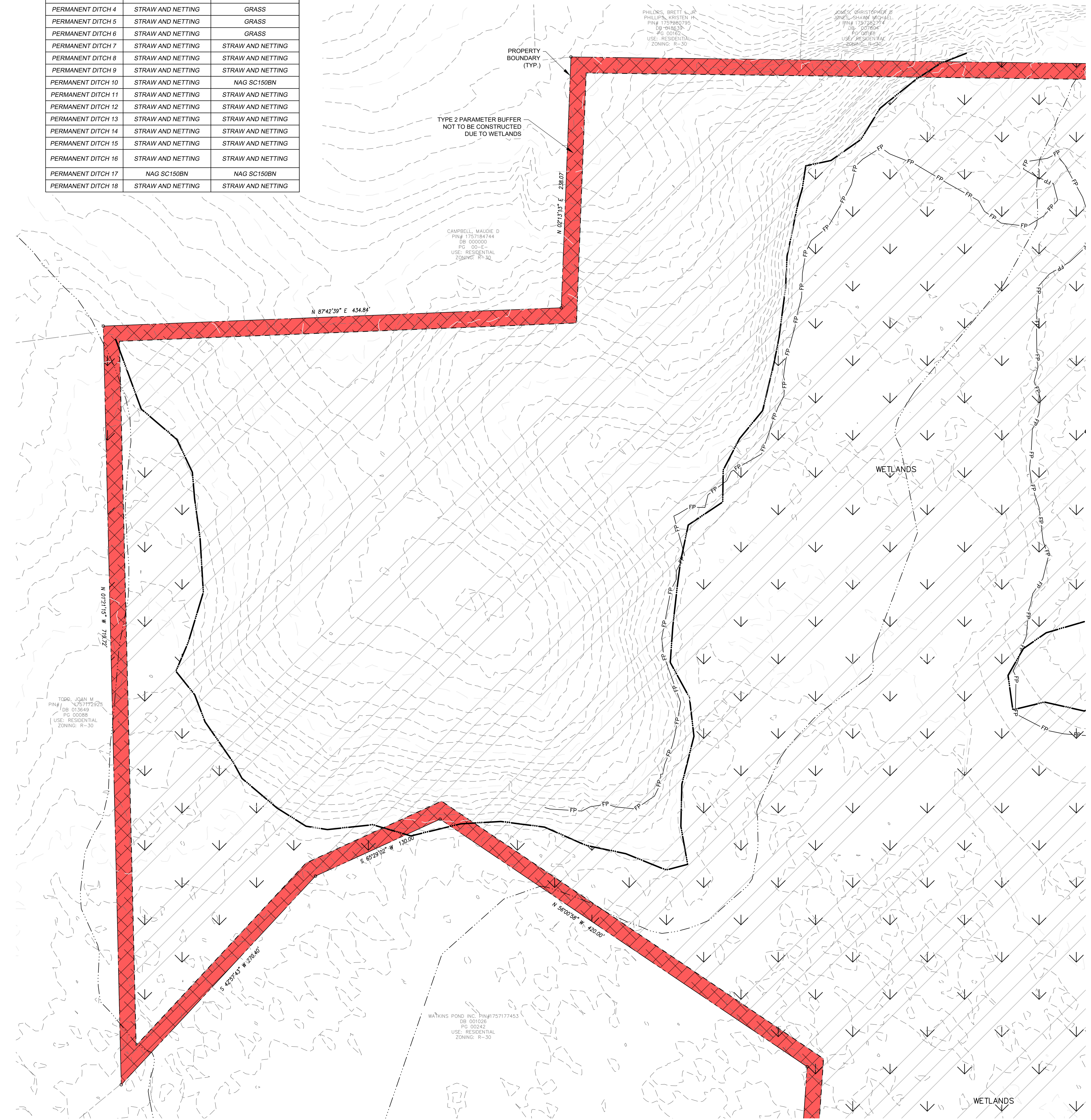
N.C. UNDERGROUND UTILITIES

 3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949
 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

Location	MATERIAL	
	TEMPORARY	PERMANENT
	PERMANENT DITCH 1	NAG SC150BN
PERMANENT DITCH 2	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 3	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 4	STRAW AND NETTING	GRASS
PERMANENT DITCH 5	STRAW AND NETTING	GRASS
PERMANENT DITCH 6	STRAW AND NETTING	GRASS
PERMANENT DITCH 7	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 8	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 9	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 10	STRAW AND NETTING	NAG SC150BN
PERMANENT DITCH 11	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 12	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 13	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 14	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 15	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 16	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 17	NAG SC150BN	NAG SC150BN
PERMANENT DITCH 18	STRAW AND NETTING	STRAW AND NETTING

BASIN 3 AND 4 ARE PULLED BETWEEN STAGE 1 AND 2. SEE SHEET 32 FOR BASIN REMOVAL SEQUENCE

SKIMMER BASIN TABLE									
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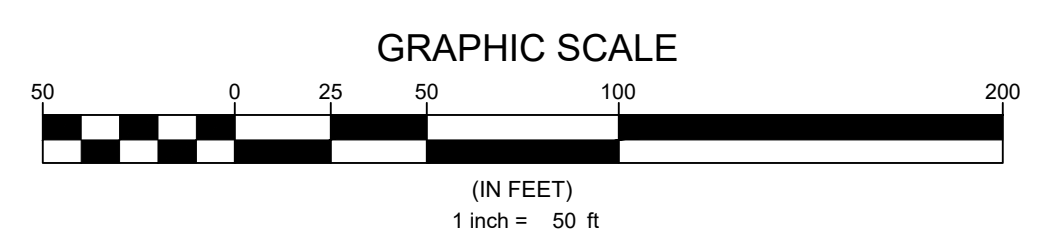
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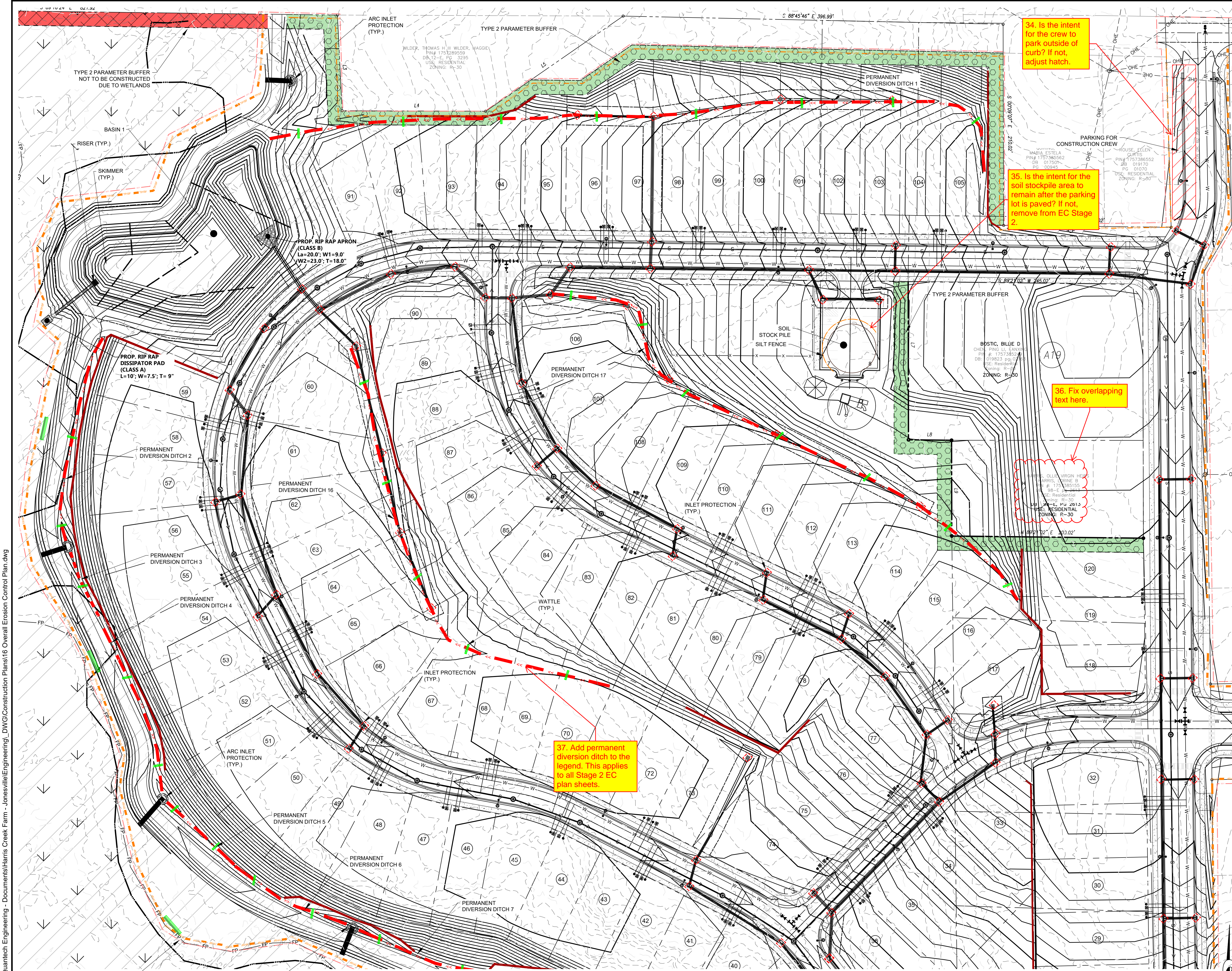
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No.	Date	Description

Sheet Title:
EC PLAN STAGE 2 SHEET 1 OF 6

Sheet #:
23





WAKE COUNTY EROSION CONTROL SEQUENCE

- Schedule a preconstruction conference with the Environmental Consultant. Obtain a land disturbing permit.
- Install gravel construction pad, temporary diversions, silt fence, sediment basins or other measures as shown on the approved plan. Clear only as necessary to install these devices. Seed temporary diversions, berms and basins immediately after construction.
- Call Environmental Consultant for an onsite inspection by the Environmental Consultant to obtain a Certificate of Compliance.
- Begin clearing and grubbing. Maintain berms as needed. Rough grade site.
- Install storm sewer, if shown, and protect inlets with block and gravel inlet controls, sediment traps or other approved measures as shown on the plan. Begin construction, building, etc.
- Stabilize site as areas are brought up to finish grade with vegetation, paving, ditch linings, etc. Seed and mulch denuded areas per Ground Stabilization Time Frames.
- When construction is complete and all areas are stabilized completely, call Environmental Consultant for an inspection.
- If site is removed, remove temporary diversions, silt fence, sediment basins, etc., and seed out or stabilize any resulting bare areas. All remaining permanent erosion control devices, such as velocity dissipators, should now be installed.
- When vegetation has become established, call for a final site inspection by the Environmental Consultant. Obtain a Certificate of Completion.

- NPDES SELF INSPECTION PROGRAM**
- EFFECTIVE OCTOBER 1, 2010, PERSONS CONDUCTING LAND-DISTURBING ACTIVITY LARGER THAN ONE ACRE MUST INSPECT THEIR PROJECT AFTER EACH PHASE OF THE PROJECT, AND DOCUMENT THE INSPECTION IN WRITING. EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO, SEDIMENTATION CONTROL BASINS, SEDIMENTATION TRAPS, ROCK DAMS, TEMPORARY DIVERSIONS, TEMPORARY SLOPE GRASSING, SEDIMENT FENCE OR BARRIERS, ALL FORMS OF INLET PROTECTION, STORM DRAINAGE FACILITIES, ENERGY DISSIPATORS, AND STABILIZATION METHODS OF OPEN CHANNELS MUST BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY, LANDOWNER, OR THEIR AGENT. THE SELF-INSPECTION REPORTING FORM IS AVAILABLE AS PDF FROM THE LAND QUALITY WEBSITE: <https://deq.nc.gov/about/divisions/energy-mineral-land-resources/erosion-sediment-control/forms>
 - IN ADDITION TO THE INSPECTIONS BY THE CONTRACTOR, THE OWNER, THE FINANCIALLY RESPONSIBLE PARTY, OR THEIR AGENT MUST CONDUCT INSPECTIONS IN ACCORDANCE WITH THE STATE OF NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY CONSTRUCTION GENERAL PERMIT NCGS 030000 SELF-INSPECTION PROGRAM AND REPORTING REQUIREMENTS TO MONITOR AND MAINTAIN A RAIN GAUGE, RECORDS, PERMIT, AND S&E PLAN ON SITE.

- EROSION CONTROL NOTES**
- TREE PROTECTION FENCE LINE ALSO INCLUDE THE LIMITS OF DISTURBANCE FOR THAT SECTION.
 - A COPY OF THE APPROVED EROSION CONTROL PLAN AND PERMIT PLACARD MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
 - ALL CONSTRUCTION SHALL CONFORM TO THE LATEST NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL AND WAKE COUNTY STANDARDS, SPECIFICATIONS AND DETAILS.
 - THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
 - FAILURE TO FOLLOW THE APPROVED PLAN, CONSTRUCTION SEQUENCE, AND DETAILS COULD SUBJECT THE CONTRACTOR AND/OR THE FINANCIALLY RESPONSIBLE PARTY TO FINES AND PENALTIES ISSUED BY EITHER THE WAKE COUNTY EROSION CONTROL DIVISION OR NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY.
 - EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR SHALL CALL FOR AN INSPECTION BY WAKE COUNTY EROSION CONTROL ONCE INITIAL MEASURES ARE IN PLACE. (SEE CONSTRUCTION SEQUENCES)
 - CONTRACTOR SHALL INSPECT ALL SEDIMENT/EROSION CONTROL DEVICES WEEKLY AND AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF OF THE CAPACITY OF THE DEVICE. SEE NPDES SELF INSPECTION PROGRAM NOTES.
 - ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
 - DISTURBANCE OUTSIDE OF THE SITE PROPERTY LIMITS OR PUBLIC RIGHT-OF-WAY SHALL ONLY BE AS ALLOWED BY SIGNED GRADING AGREEMENTS AND/OR EASEMENTS BETWEEN THE DEVELOPER AND THE OFFSITE PROPERTY OWNER.
 - NO DEBRIS SHALL BE TRACKED ONTO PUBLIC RIGHT OF WAY. IF THE SITUATION OCCURS WHERE MUD, ROCK AND DEBRIS IS TRACKED ONTO PAVEMENT, THE CONTRACTOR SHALL CLEAN THE PAVEMENT AND INSTALL ADDITIONAL MEASURES TO PREVENT THE FUTURE OCCURRENCE.
 - PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND TREES, A CLEAN SHARP VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA AND SHALL BE INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.
 - PROVIDE INLET PROTECTION AROUND ALL SITE STORM INLETS. PROTECT OPEN PIPES UNDER CONSTRUCTION WITH EITHER PLYWOOD OR WITH MESH AND GRAVEL WEIERS. RUNOFF SHALL NOT BE ALLOWED IN ANY OPEN TRENCH.
 - CONTRACTOR WILL FIELD LOCATE SILT FENCE OUTLETS AT LOW POINTS IN SILT FENCE AS REQUIRED TO PROVIDE RELIEF FROM CONCENTRATED FLOWS AND PONDING. APPROXIMATE LOCATIONS ARE SHOWN ON EROSION CONTROL PLANS.
 - TEMPORARY DIVERSIONS SHALL BE MAINTAINED DAILY BY CONTRACTOR SO THAT THEY ARE FUNCTIONAL AT THE END OF EACH WORKDAY AND WHEN STOPPING WORK FOR RAIN.
 - CONTRACTOR SHALL SEED AND STABILIZE ALL STEEP SLOPES (GREATER THAN 2H:1V) WITHIN 7 DAYS, 10 DAYS FOR MODERATE SLOPES (3H:1V OR GREATER) AND WITHIN 14 CALENDAR DAYS EVERYWHERE ELSE (STATE LAW 2009-486).

OFFSITE SPOIL NOTE:

- IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THE DISTURBED AREA FOR THE SPOILED/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A SEPARATE LAND-DISTURBANCE PERMIT.

EROSION CONTROL PLAN LEGEND

LIMITS OF DISTURBANCE	---	---	---
TREE PROTECTION/SILT FENCE COMBINATION	---	---	---
TEMPORARY DIVERSION DITCH	---	---	---
TEMPORARY CONSTRUCTION ENTRANCE	---	---	---
TEMPORARY SEDIMENT BASIN	---	---	---
SILT FENCE OUTLET	---	---	---
SKIMMER	---	---	---
INLET PROTECTION	---	---	---
ARC INLET PROTECTION	---	---	---
WATTLE	---	---	---

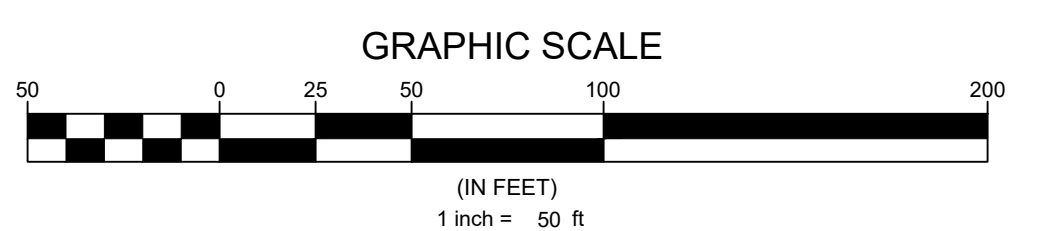
HARRIS CREEK MATERIAL

Location	MATERIAL	
	TEMPORARY	PERMANENT
PERMANENT DITCH 1	NAG SC150BN	NAG SC150BN
PERMANENT DITCH 2	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 3	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 4	STRAW AND NETTING	GRASS
PERMANENT DITCH 5	STRAW AND NETTING	GRASS
PERMANENT DITCH 6	STRAW AND NETTING	GRASS
PERMANENT DITCH 7	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 8	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 9	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 10	STRAW AND NETTING	NAG SC150BN
PERMANENT DITCH 11	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 12	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 13	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 14	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 15	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 16	STRAW AND NETTING	STRAW AND NETTING
PERMANENT DITCH 17	NAG SC150BN	NAG SC150BN
PERMANENT DITCH 18	STRAW AND NETTING	STRAW AND NETTING

HARRIS CREEK SKIMMER BASIN TABLE

Skimmer Basin #	Width (ft)	Length (ft)	Depth (ft)	Top Elevation	Outlet Elevation	Weir (ft)	Skimmer (in)	Orifice (in)	Dewatering Time (days)
BASIN 1	SEE PLANS	SEE PLANS	2	237	235	50	2.5	2.5	4
BASIN 2	SEE PLANS	SEE PLANS	3	237.5	234.5	33	2.5	2	4
BASIN 3	SEE PLANS	SEE PLANS	2	230	228	23	2.5	2	4
BASIN 4	SEE PLANS	SEE PLANS	2	235	233	25	2.5	2	4

DISTURBED AREA = 45.28 ACRES



Developer
THE CSC GROUP
 10030 Green Level Church Rd, Suite 802 #149, Cary, NC 27519

Engineer
QUANTECH ENGINEERING
 Firm # F-1517
 15000 Weston Parkway
 Cary, N.C. 27513
 (919) 996-9455

Surveyor
BCSC
 Bateman Civil Survey Company
 2524 Reliance Avenue
 Apex, NC 27539
 919-557-1080 ext 109
www.batemancivilsurvey.com

Jurisdiction / Municipality
Rolesville
 Town of Rolesville
 502 Southtown Cir
 Rolesville, NC 27571
 Phone: 919-554-6517
 PSP-24-05

Other Consultants

Sheet map:

Seal:

Issued / Print Date: 2025-May-30 (17:23)
 File Name: 16 Overall Erosion Control Plan.dwg

Last Saved by: Jthodge
 Drawn by: TAN

Project:
HARRIS CREEK FARMS
 CID-25-??

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Sheet Title:
EC PLAN STAGE 2 SHEET 3 OF 6

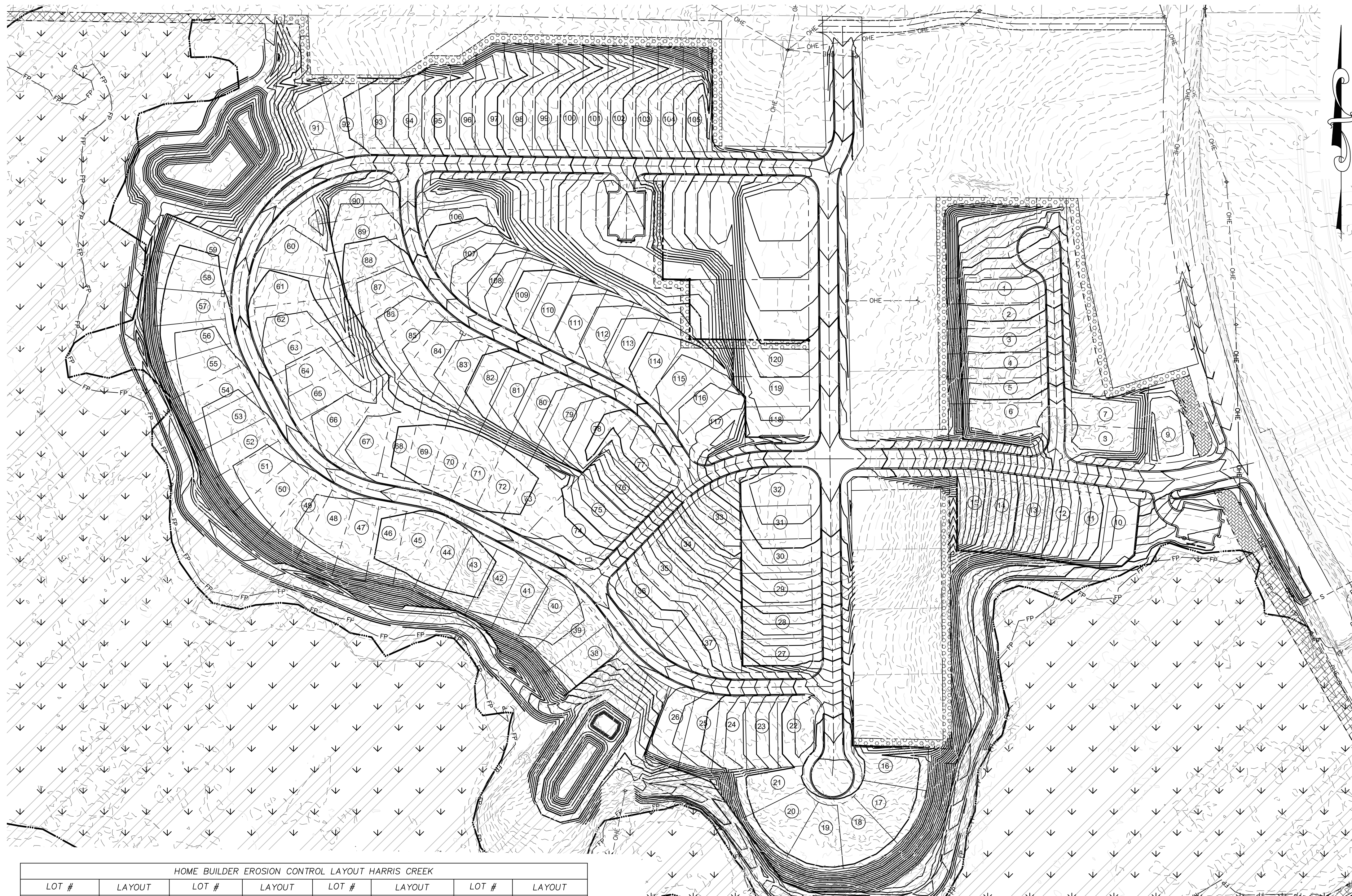
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25

File Location: C:\Users\Bryan.Harris\Documents\Harris Creek Farm - Jonesville\Engineering\DWG\Construction\Plans\16 Overall Erosion Control Plan.dwg

N.C. UNDERGROUND UTILITIES
 3 DAYS BEFORE DIGGING CALL
 TOLL FREE 811 or (800)632-4949
 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

BASIN 3 AND 4 ARE PULLED BETWEEN STAGE 1 AND 2. SEE SHEET 32 FOR BASIN REMOVAL SEQUENCE

File Location: C:\Users\BryanHarris\Documents\Quantech Engineering - Documents\Harris Creek Farm - Jonesville\Engineering - DWG\Construction Plans\16 Overall Erosion Control Plan.dwg



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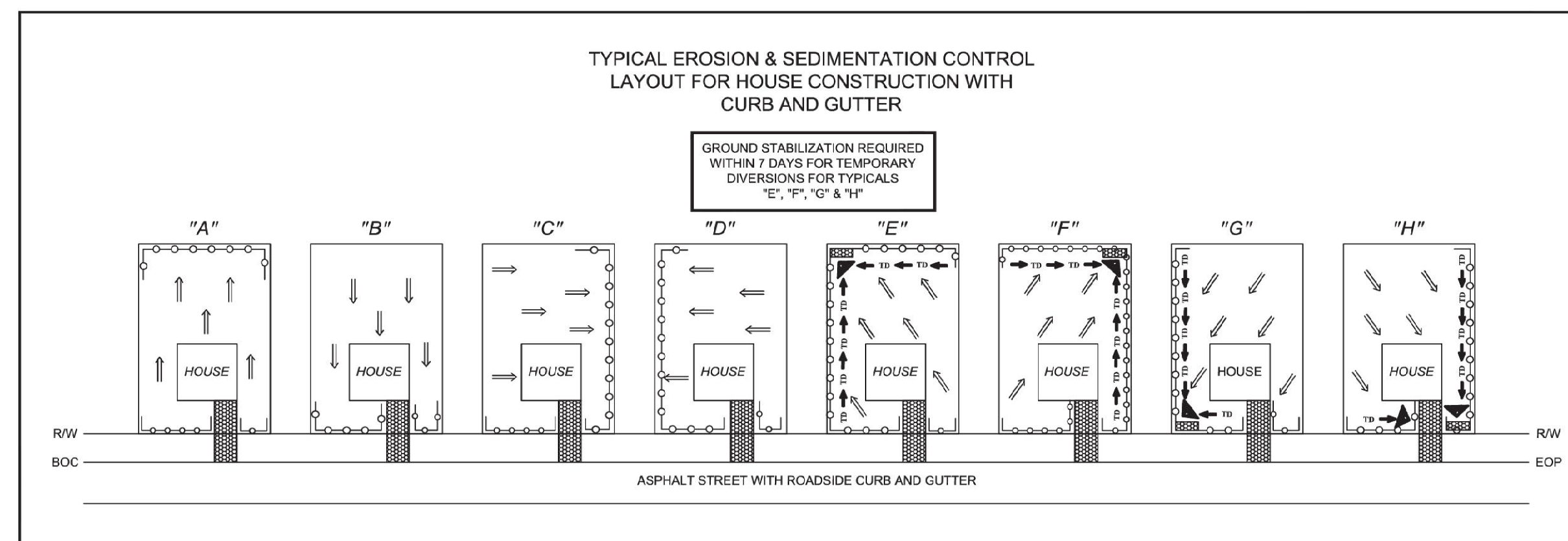
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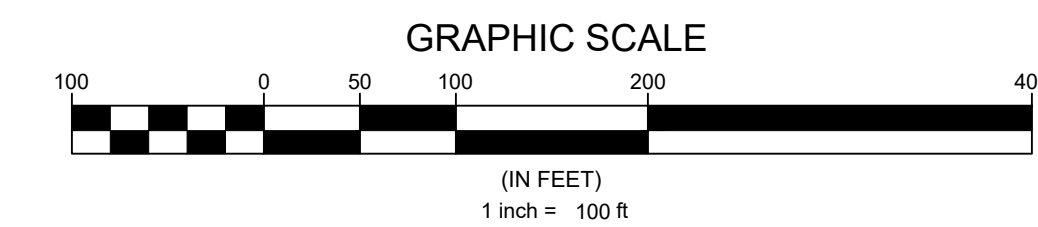
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HOME BUILDER EROSION CONTROL LAYOUT HARRIS CREEK							
LOT #	LAYOUT	LOT #	LAYOUT	LOT #	LAYOUT	LOT #	LAYOUT
1	G	31	E	61	E&G	91	E&G
2	G	32	E	62	E&G	92	E&G
3	G	33	C	63	E&G	93	E&G
4	G	34	C	64	E&G	94	E&G
5	G	35	C	65	E&G	95	E&G
6	G	36	C	66	E&G	96	E&G
7	E	37	C	67	E&G	97	E&G
8	F	38	E&G	68	E&G	98	E&G
9	G	39	E&G	69	E&G	99	E&G
10	E&G	40	E&G	70	A&B	100	E&G
11	E&G	41	E&G	71	A&B	101	E&G
12	E&G	42	E&G	72	F&H	102	E&G
13	E&G	43	E&G	73	F&H	103	E&G
14	E&G	44	E&G	74	D	104	E&G
15	E&G	45	H&F	75	E	105	E&G
16	E	46	H&F	76	E	106	E&G
17	A	47	H&F	77	E	107	E&G
18	A	48	H&F	78	F&H	108	E&G
19	A	49	H&F	79	F&H	109	E&G
20	A	50	H&F	80	F&H	110	E&G
21	F	51	H&F	81	F&H	111	E&G
22	F&H	52	H&F	82	F&H	112	E&G
23	F&H	53	H&F	83	F&H	113	E&G
24	F&H	54	H&F	84	F&H	114	E&G
25	F&H	55	H&F	85	F&H	115	E&G
26	F&H	56	H&F	86	F&H	116	E&G
27	E	57	H&F	87	F&H	117	D
28	E	58	H&F	88	F&H	118	D
29	E	59	H&F	89	F&H	119	E&G
30	E	60	H	90	F&H	120	E&G



EROSION CONTROL PLAN LEGEND

- LIMITS OF DISTURBANCE: --- LOD ---
- TREE PROTECTION/SILT FENCE COMBINATION: --- TPISF --- TPISF ---
- TEMPORARY DIVERSION DITCH: --- >> ---
- TEMPORARY CONSTRUCTION ENTRANCE: [Symbol]
- TEMPORARY SEDIMENT BASIN: [Symbol]
- SILT FENCE OUTLET: [Symbol]
- SKIMMER: [Symbol]
- INLET PROTECTION: [Symbol]
- ARC INLET PROTECTION: [Symbol]
- WATTLE: [Symbol]



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Developer
THE CSC GROUP
 CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUNITY
 10030 Green Level Church Rd, Suite 802 #149, Cary, NC 27519

Engineer

 Firm # F-1517
 15000 Weston Parkway
 Cary, N.C. 27513
 (919) 996-9455

Surveyor

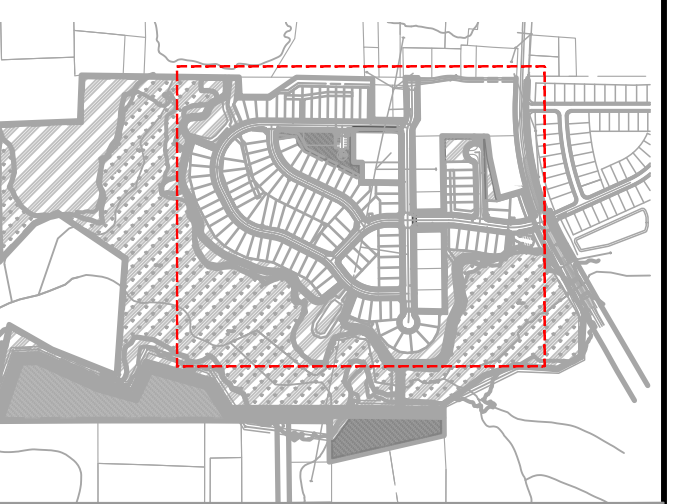
 Bateman Civil Survey Company
 2524 Reliance Avenue
 Apex, NC 27539
 919-557-1080 ext 109
www.batemancivilsurvey.com

Jurisdiction / Municipality

 Town of Rolesville
 502 Southtown Cir
 Rolesville, NC 27571
 Phone: 919-554-6517
PSP-24-05

Other Consultants

Sheet map:



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 Drawn by: TAN

Project:

HARRIS CREEK FARMS
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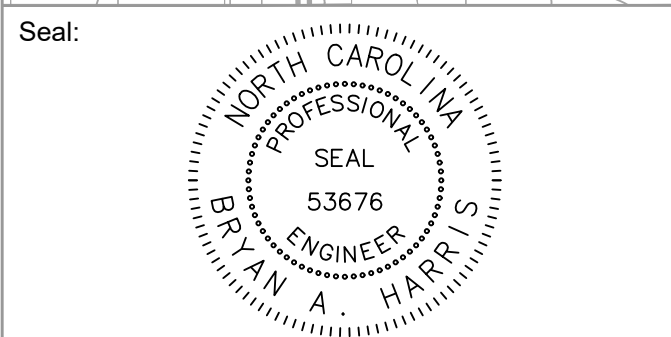
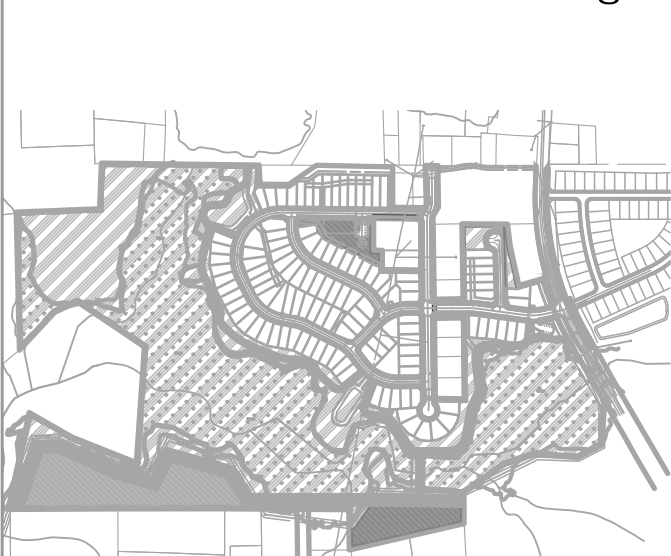
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REVISIONS
 No. Date Description

Sheet Title:
EC HOMEBUILDER PLAN

Sheet #:

29



CONSTRUCTION ACTIVITY	SCHEDULE CONSIDERATION
CONSTRUCTION ACCESS: Construction entrance, construction routes, equipment parking areas.	First land-disturbing activity. Stabilize bare areas immediately with gravel and temporary vegetation as construction takes place.
SEDIMENT TRAPS AND BARRIERS: Basin traps, sediment fences, and outlet protection.	Install principal basins after construction site is accessed. Install additional traps and barriers as needed during grading.
RUNOFF CONTROL: Diversion, perimeter dikes, water bars, and outlet protection.	Install key practices after principal sediment traps and before land grading. Install additional runoff-control measures during grading.
RUNOFF CONVEYANCE SYSTEM: Stabilize streambanks, storm drains, channels, inlet and outlet protection, and slope drains.	Where necessary, stabilize streambanks as early as possible. Install principal runoff conveyance system with runoff-control measures. Install remainder of system after grading.
LANDING CLEARING AND GRADING: Site preparation- cutting, filling and grading, sediment traps, barriers, diversions, drains, and surface roughening.	Begin major clearing and grading AFTER principal sediment and key runoff-control measures are installed. Clear borrow and disposal areas only as needed. Install additional control measures as grading progresses. Mark trees and buffer areas for preservation.
SURFACE STABILIZATION: Temporary and permanent seeding, mulching, sodding and riprap.	Apply temporary or permanent stabilization measures immediately on all disturbed areas where work is delayed or complete.
BUILDING CONSTRUCTION: Buildings, utilities, and paving.	Install necessary additional erosion and sedimentation control practices as work takes place.
LANDSCAPE AND FINAL STABILIZATION: Topsoiling, trees and shrubs, permanent seeding, mulching, sodding, and riprap.	Last construction phase: Stabilize all open areas, including borrow and spoil areas. Remove and stabilize all temporary control areas.

NOTE: The above are the main aspects of a typical construction sequence in general terms. A detailed Construction Sequence should be site specific based on your project and site needs. As a minimum, the construction sequence schedule should show the following:

- The erosion and sedimentation control practices to be installed.
- Principal development activities.
- What measures should be in place before other activities are begun, and
- Compatibility with the general construction schedule of the contract.

Many timely construction techniques can reduce the erosion potential of a site, such as (1) shaping earthen fills daily to prevent overflows and (2) constructing temporary diversions ahead of anticipated storms. These types of activities cannot be put on the construction sequence schedule, but should be used whenever possible.

DATE:	PAGE:
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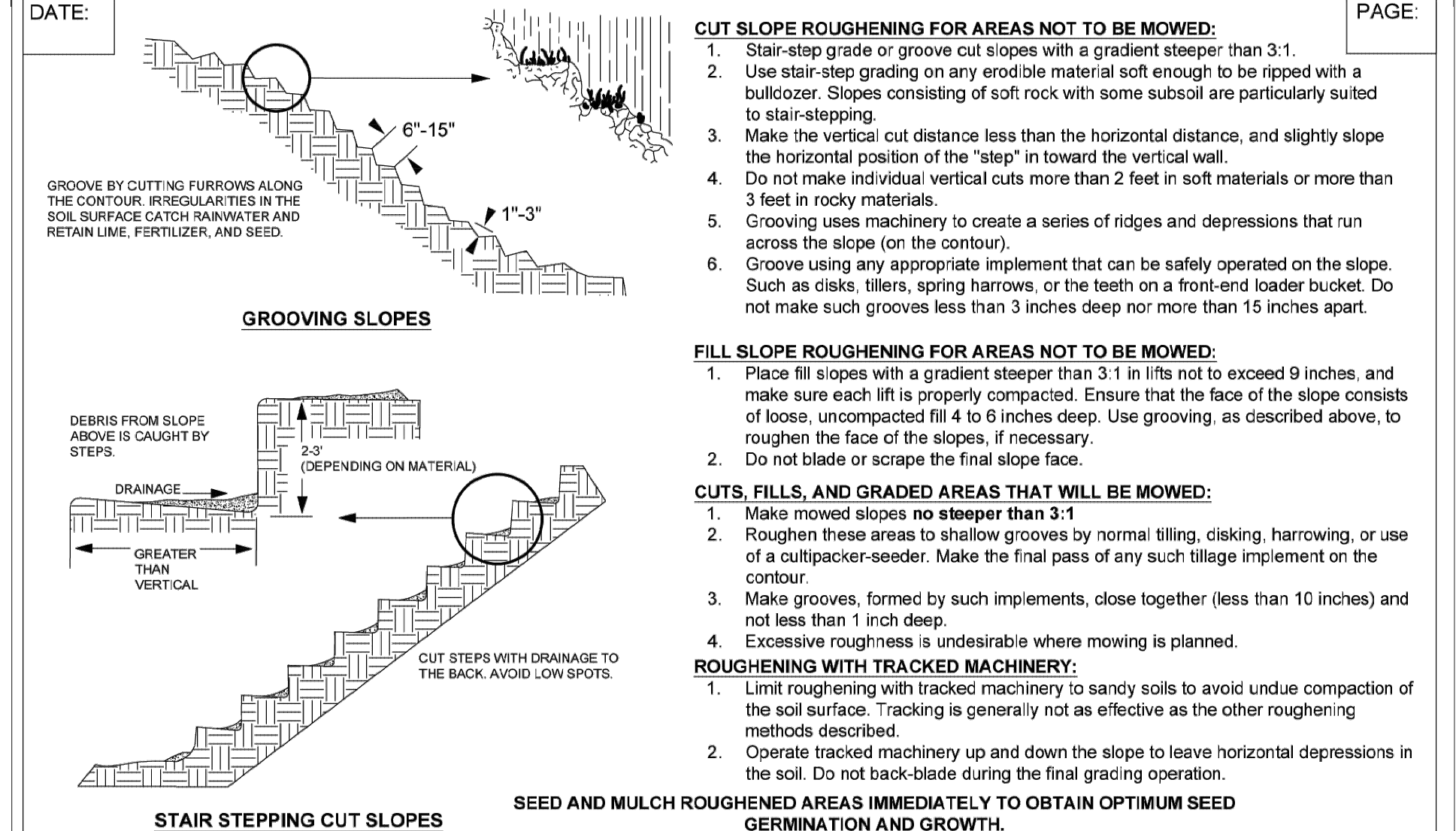
SPACING GUIDE FOR SLOPE BREAKS		
	SLOPE	SPACING (FT)
Steep Slopes	2:1	20
	3:1	35
	4:1	45
Long Slopes	15-25%	50
	10-15%	80
	6-10%	125
	3-6%	200
	<3%	300

Use slope breaks, such as diversions, wattles, or benches, as appropriate, to reduce the length of cut-and-fill slope to limit sheet and rill erosion and prevent gullying.

MAINTENANCE:

- Periodically check all graded areas and the supporting erosion and sedimentation control practices, especially after heavy rainfalls.
- Promptly remove all sediment from diversions and other water-disposal practices.
- If washouts or breaks occur, repair immediately.
- Prompt maintenance of small eroded areas before they become significant gullies is an essential part of an effective erosion and sedimentation control plan.

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PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts: If no daily rain gauge observations are made during weekend or holiday periods, and no individual day rainfall information is recorded, record the cumulative rain measurements for those on attendance days (note this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-measuring device approved by the Division.
(2) E&S Measures	At least once per 7 calendar days and within 24 hours of a rain event 2.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance records for the measures. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outlets (SDCO)	At least once per 7 calendar days and within 24 hours of a rain event 2.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event 2.0 inch in 24 hours	1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Stream or wetland on-site or off-site (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event 2.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part II, Section 6, Item (2)(f) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading/land stabilization/ E&S measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover. 2. Documentation that the required ground stabilization measures have been provided with the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&S Plan Documentation

The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&S measure has been installed	Initial and date each E&S measure on a copy of the approved E&S plan or complete, date and sign an inspection report that lists each E&S measure shown on the approved E&S plan. This documentation is required upon the initial installation of the E&S measure or if the E&S measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&S plan.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&S measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&S measures.	Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&S plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

(a) This General Permit as well as the Certificate of Coverage, after it is received.

(b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the E&S plan and all inspection records shall be maintained for a period of three years after project completion and made available upon request. (40 CFR 122.414)

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

(a) Visible sediment deposition in a stream or wetland.

(b) Oil spills if:

- They are 25 gallons or more,
- They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or
- They are within 100 feet of surface waters (regardless of volume).

(c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.

(d) Anticipated bypasses and unanticipated bypasses.

(e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in stream or wetland	• Within 24 hours , in oral or electronic notification. • Within 7 calendar days , a report that contains a description of the stream and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per item 1(b) (c) above	• Within 24 hours , in oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release. • A report at least ten days before the date of the bypass, if possible. • The report shall include an evaluation of the anticipated quality and effect of the bypass. • Within 7 calendar days , in oral or electronic notification. • Within 7 calendar days , a report that includes an evaluation of the quality and effect of the bypass. • Within 24 hours , in oral or electronic notification. • Within 7 calendar days , a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact date and time, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue, and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. (40 CFR 122.41(b)(8)). • Division staff may waive the requirement for a written report on a case-by-case basis.

3. Documentation to be Retained for Three Years

All data used to complete the E&S plan and all inspection records shall be maintained for a period of three years after project completion and made available upon request. (40 CFR 122.414)



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PART II, SECTION 6, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&S plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(b) and (d) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices.
- Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Site Area Description	Required Ground Stabilization Timeframes	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	Stabilize within this many calendar days after ceasing land disturbance	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed -7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones
(d) Slopes 3:1 to 4:1	14	-10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
• Temporary grass seed covered with straw or other mulches and tackifiers	• Permanent grass seed covered with straw or other mulches and tackifiers
• Hydroseeding	• Geotextile fabrics such as permanent soil reinforcement matting
• Rolled erosion control products with or without temporary grass seed	• Hydroseeding
• Appropriately applied straw or other mulch	• Shrubs or other permanent plantings covered with mulch
• Plastic sheeting	• Uniform and evenly distributed ground cover sufficient to restrain erosion
	• Structural methods such as concrete, asphalt or retaining walls
	• Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids; store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

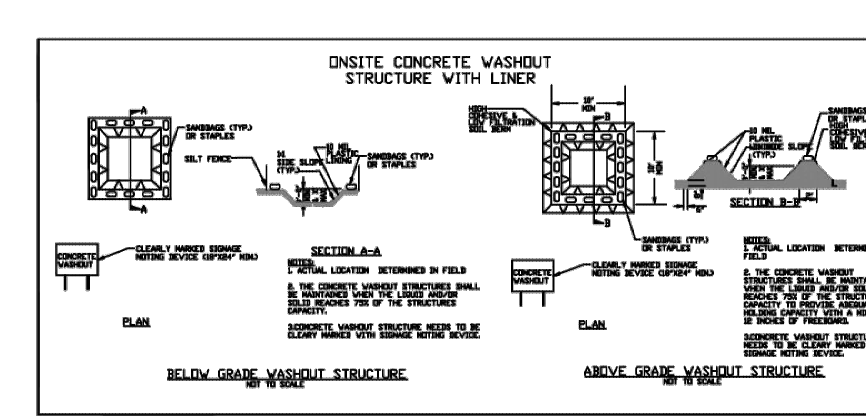
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soap, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind slit fence or place on a gravel pad and surround with sand bags.
- Provide shading or anchoring of portable toilets during periods of high winds or high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with slit fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable store access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Locate washout containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials on-site.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.



NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19

DATE: _____ PAGE: _____

TEMPORARY SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING

Seeding Mixture Species	Rate (lb/acre)
Rye (grain)	120
Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50

Crit annual lespedeza when duration of temporary cover is not to extend beyond June.

Seeding Dates
Mountains—Above 2500 feet: Feb. 15 - May 15
Below 2500 feet: Feb. 1 - May 1
Piedmont—Jan. 1 - May 1
Coastal Plain—Dec. 1 - Apr. 15

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance
Re-fertilize if growth is not fully adequate. Re-seed, re-fertilize and mulch immediately following erosion or other damage.

TEMPORARY SEEDING RECOMMENDATIONS FOR SUMMER

Seeding Mixture Species	Rate (lb/acre)
German millet	40
Rye (grain)	120

In the Piedmont and Mountains, a small-stemmed *Sudangrass* may be substituted at a rate of 50 lb/acre.

Seeding Dates
Mountains—May 15 - Aug. 15
Piedmont—May 1 - Aug. 15
Coastal Plain—Apr. 15 - Aug. 15

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance
Re-fertilize if growth is not fully adequate. Re-seed, re-fertilize and mulch immediately following erosion or other damage.

SEED BED PREPARATION:
LIMING—Apply lime according to soil test recommendations. If the pH (acidity) of the soil is not known, an application of ground agricultural limestone at the rate of 1-1½ tons/acre on coarse-textured soils and 2-3 tons/acre on fine-textured soils is usually sufficient. Apply limestone uniformly and incorporate into the top 4-6 inches of soil. If a hydraulic seeder is used, do not mix seed and fertilizer more than 30 minutes before application.

FERTILIZER—Base application rates on soil tests. When these are not possible, apply a 10-10-10 grade fertilizer at 700 - 1,000 lb/acre. Both fertilizer and lime should be incorporated into the top 4-6 inches of soil. If a hydraulic seeder is used, do not mix seed and fertilizer more than 30 minutes before application.

SURFACE ROUGHENING—If recent tillage operations have resulted in a loose surface additional roughening may not be required, except to break up large clods. If rainfall causes the surface to become sealed or crusted, loosen it just prior to seeding by raking, harrowing, or other suitable methods for fine grading. The finished grade shall be a smooth even soil surface with a loosen uniform fine texture. All ridges and depressions shall be removed and filled to provide the approved surface drainage. Planting is to be done immediately after finished grades are obtained and seeded preparation is completed.

DEQ **TEMPORARY SEEDING** Effective Date: 9/1/2023
In accordance with the 2013 Design Manual Updates

DATE: _____ PAGE: _____

NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING

SEEDING MIXTURE Species	Rate
Centipede	5 lbs/acre
Indian Woodrats	1.5-2.5 lbs/acre*
Virginia Wild Rye	4-6 lbs/acre

*Depending upon mix with other species. See table 6.11.d from Chapter 6 of the NC Erosion and Sediment Control Planning and Design Manual.

Seeding Dates
Coastal or Eastern Piedmont for Centipede—Sept. 1 - May 1
Coastal and Piedmont for Indian Woodrats and Virginia Wild Rye—Feb 15 - April 1
Mountains for Indian Woodrats and Virginia Wild Rye—March 1 - May 15

Maintenance:
Significant maintenance may be required to obtain desired cover.

NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR SUMMER

SEEDING MIXTURE Species	Rate
Indian Woodrats	1.5-2.5 lbs/acre*
Virginia Wild Rye	4-6 lbs/acre*

*Depending upon mix with other species. See table 6.11.d from Chapter 6 of the NC Erosion and Sediment Control Planning and Design Manual.

Seeding Dates
Mountains - Hard Fescue—Aug 1 - June 1
Mountains - Switchgrass, Indian Grass, Big Bluestem—Dec 1 - April 15
Piedmont and Coastal - Switchgrass, Indian Grass, Big Bluestem—Dec 1 - April 1
Coastal - Indian Woodrats and Virginia Wild Rye—Sept 1 - Nov 1

Maintenance:
Hard Fescue is not recommended for slopes > 5%. Prefers shade.

SEED BED PREPARATION:
LIMING—Apply lime according to soil test recommendations. If the pH (acidity) of the soil is not known, an application of ground agricultural limestone at the rate of 1 to 1½ tons/acre on coarse-textured soils and 2-3 tons/acre on fine-textured soils is usually sufficient. Apply limestone uniformly and incorporate into the top 4-6 inches of soil. Soils with a pH of 6 or higher need not be limed.

FERTILIZER—Base application rates on soil tests. When these are not possible, apply a 10-10-10 grade fertilizer at 700-1,000 lb/acre. Both fertilizer and lime should be incorporated into the top 4-6 inches of soil. If a hydraulic seeder is used, do not mix seed and fertilizer more than 30 minutes before application.

SURFACE ROUGHENING—If recent tillage operations have resulted in a loose surface additional roughening may not be required, except to break up large clods. If rainfall causes the surface to become sealed or crusted, loosen it just prior to seeding by raking, harrowing, or other suitable methods for fine grading. The finished grade shall be a smooth even soil surface with a loosen uniform fine texture. All ridges and depressions shall be removed and filled to provide the approved surface drainage. Planting is to be done immediately after finished grades are obtained and seeded preparation is completed.

NETS AND MATS
Permanent seeding, sodding or other means of stabilization are required when all construction work is completed according to the NPDES (limb) frame table.
1. A North Carolina Department of Agriculture soils test (or equal) is highly recommended to be obtained for all areas to be seeded, sodded or planted.
2. Use a seeding mix that will produce fast-growing nurse crops and includes non-invasive species that will eventually provide a permanent groundcover. Soil blankets may be used in lieu of nurse crops.
3. Mat, bank or strip mat, as needed to stabilize seeded areas until root establishment. Mulch must cover at least 80% of the soil surface.
4. Ground cover shall be maintained until permanent vegetation is established and stable against accelerated erosion.

DEQ **PERMANENT SEEDING** Effective Date: 9/1/2023
In accordance with the 2013 Design Manual Updates

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Mulching Materials and Application Rates

Material	Rate Per Acre	Quality	Notes
Organic Mulches			
Straw	1-2 tons	Dry, unchopped, unweathered, avoid weeds.	Should come from wheat or oats, spread by hand or machine; must be tacked.
Wood Chips	5-6 tons	Air dry	Treat with 12 lbs nitrogen/acre. Apply with mulch blower, chip handler, or by hand. Not for use in the turf.
Wood Fiber	0.5-1 tons		Also referred to as wood cellulose. May be hydroseeded. Do not use in soil, dry weather!
Bank	35 cubic yards	Air dry, shredded or hammer-milled, or by hand. Do not use asphalt tack.	Apply with mulch blower, chip handler, or by hand. Not for use in the turf.
Com Stalks	4-6 tons	Cut or shredded to 4-6 inch lengths.	Apply with mulch blower or by hand. Not for use in the turf.
Sesbania lespedeza seed-bearing stems	1-3 tons	Green or dry; should contain mature seed.	Green or dry; should contain mature seed.

NETS AND MATS
Jute net
Cover area
Withstands waterflow. Best when used with organic mulch.
Fiberglass net
Cover area
Withstands waterflow. Best when used with organic mulch.
Excelsior (wood fiber net)
Cover area
Withstands waterflow.

Chemical Stabilizers**
Aquafilm Acrospray
Carpac AK, Petroweb SB
Terra Tack Coat 500
Genesac 743 M-145
Follow Manufacturer's specifications.
Not beneficial to plant growth.
**Use of these names does not imply endorsement of product.

Notes:
1. Select material based on site and practice requirements, availability of material, labor and equipment.
2. Before mulching, complete grading, install sediment control practices, and prepare the seedbed. Apply seed before mulching except when seed is applied as part of a hydroseeded slurry containing wood fiber mulch or a hydroseeded slurry is applied over straw.
3. After spreading, no more than 25% of the ground surface should be visible.
4. In hydroseeding operation a green eye, added to the slurry, assures a uniform application.
5. Straw mulch must be anchored immediately after spreading.
6. A macro-drain implement designed to punch mulch into the soil or a mulch anchoring tool provides maximum erosion control with straw. A regular farm disk, weighed and set nearly straight, may substitute, but will not do a job comparable to the mulch anchoring tool. The disk should not be sharp enough to cut the straw. These methods are limited to slopes no steeper than 3:1, where erosion control operates safely.
7. Application of liquid mulch binders and soilbinders should be heaviest at the edges of areas and at crests of ridges and banks, to resist winds. Binder should be applied uniformly to the rest of the area. Binders may be applied after mulch is spread, or may be sprayed into the mulch as it is being blown onto the soil. Applying straw and binder together is the most effective method.
8. Enriched asphalt should be applied at 10 gallons per square yard (10 gal/100 sq. ft.). However, applications cause straw to "bond" over ruts. Use Rapid setting (RS) or CRS designated asphalt in traffic areas to prevent uncured asphalt from being pried up on shoes and causing damage to high clothes, etc.
9. Synthetic binders may be used as recommended by the manufacturer.
10. Lightweight plastic, cotton, jute, wire or paper mats may be stapled over the mulch according to the manufacturer's recommendations. For small areas where other methods cannot be used, peg and twine anchoring can be used. Drive 8-10 inch wooden pegs to within 3 inches of the soil surface, every 4 feet in all directions. Stakes can be driven before or after straw is spread. Secure mulch by stretching wire between pegs in a cross-cross-within-a-square pattern. Turn twice two or more times around each peg.
11. Rye Grass may be used to anchor mulch in fall plantings, and German Millet in spring. Broadcast at 15 lb/acre before applying mulch.
CHEMICAL MULCHES
1. May be effective for soil stabilization if used between May 1 and June 15, or Sept. 15 and Oct. 15, provided that they are used on slopes no steeper than 4:1, and that proper seedbed preparation has been accomplished, including surface roughening where required.
2. Chemical mulches cannot be used to bind other mulches, or with wood fiber in a hydroseeded slurry at any time. Follow the manufacturer's recommendations for application.
FIBERGLASS ROVING
1. Spread roving uniformly over the area at a rate of 0.25 to 0.35 lb/ft². Anchor with asphalt immediately after application, at a rate of 0.25 to 0.35 gal/ft².
2. As a chemical lining, and at other sites of concentrated flow, the roving mat must be further anchored to prevent undermining.
3. It may be secured with stakes placed at intervals no greater than 10 feet along the drainageway, and anchored throughout its width, but not more than 10 feet apart.
4. As an option to staking, the roving can be buried to a depth of 5 inches at the upgrade end and at intervals of 50 feet along the length of the channel.
NETS AND MATS
1. Nets are generally provide little moisture conservation benefits and only limited erosion protection. Therefore, typically use in conjunction with an organic mulch such as straw.
2. Except when wood fiber slurry is used, netting should always be installed over the mulch. Wood fiber may be sprayed on top of an installed net.
3. Mats, including "excelsior" (wood fiber) blankets, are considered protective mulches and may be used alone.
4. Place the matting in firm contact with the soil, and staple securely.

DEQ **MULCHING** Effective Date: 9/1/2023
In accordance with the 2013 Design Manual Updates

Developer

THE CSC GROUP
CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUNITY
10030 Green Level Church Rd, Suite 800 #149, Cary, NC 27519

Engineer

QUANTECH ENGINEERING
INNOVATIVE SOLUTIONS TO CHALLENGING PROBLEMS
Firm # F-1517
15000 Weston Parkway
Cary, N.C. 27513
(919) 996-9455

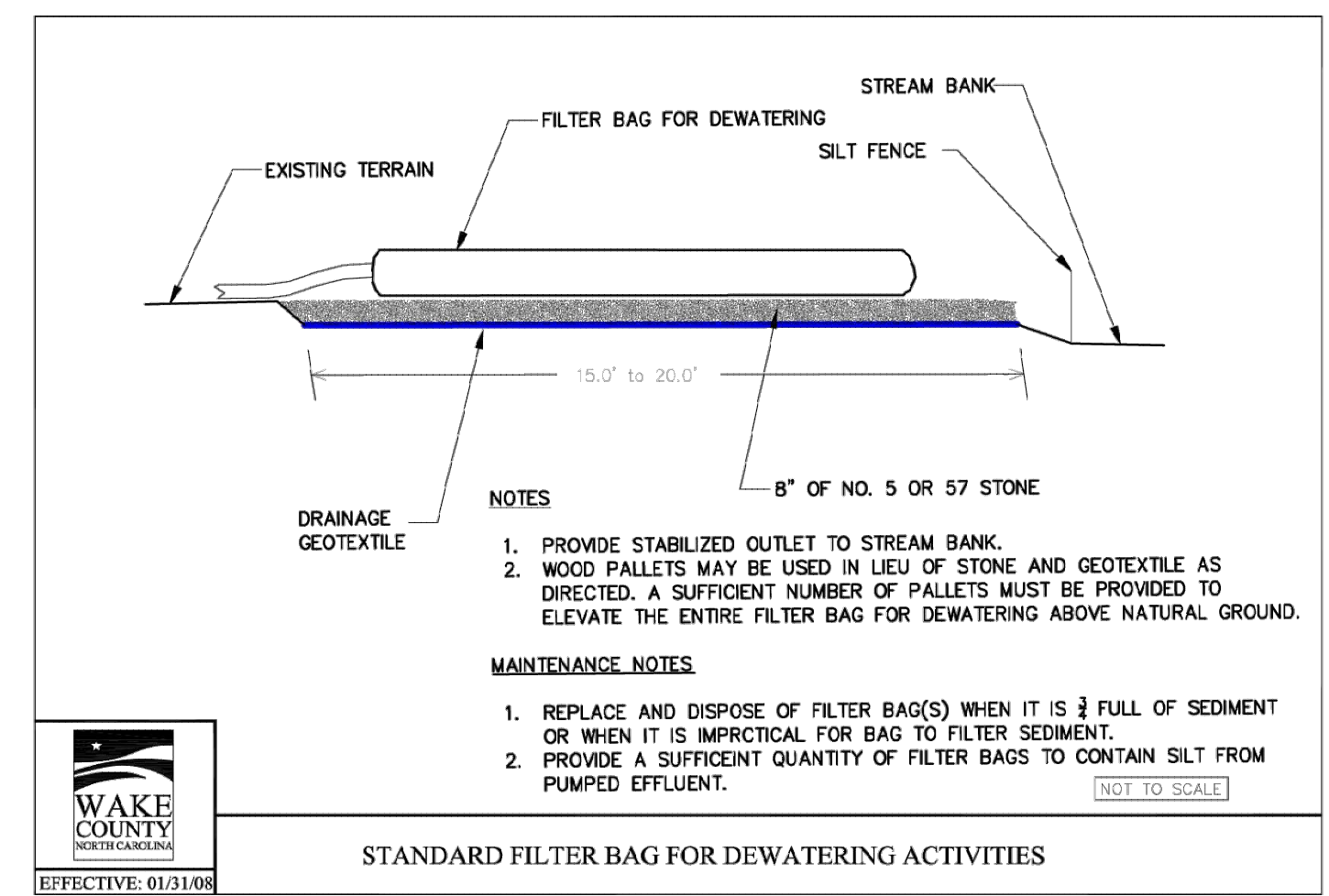
Surveyor

BCSC Bateman Civil Survey Company
2524 Reliance Avenue
Apex, NC 27539
919-557-1080 ext. 109
www.batemancivilsurvey.com

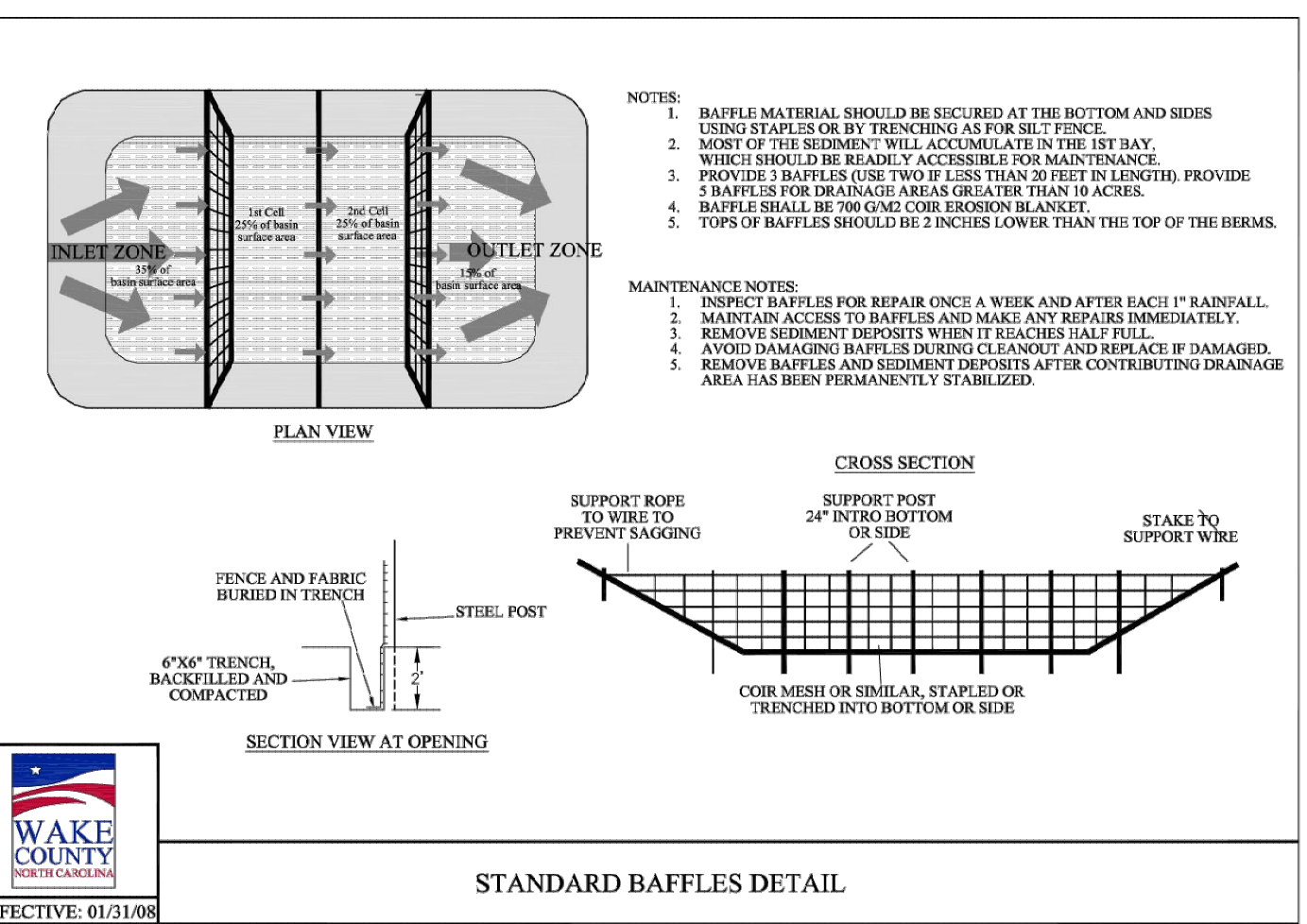
Jurisdiction / Municipality

Town of Rolesville
502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517
PSP-24-05

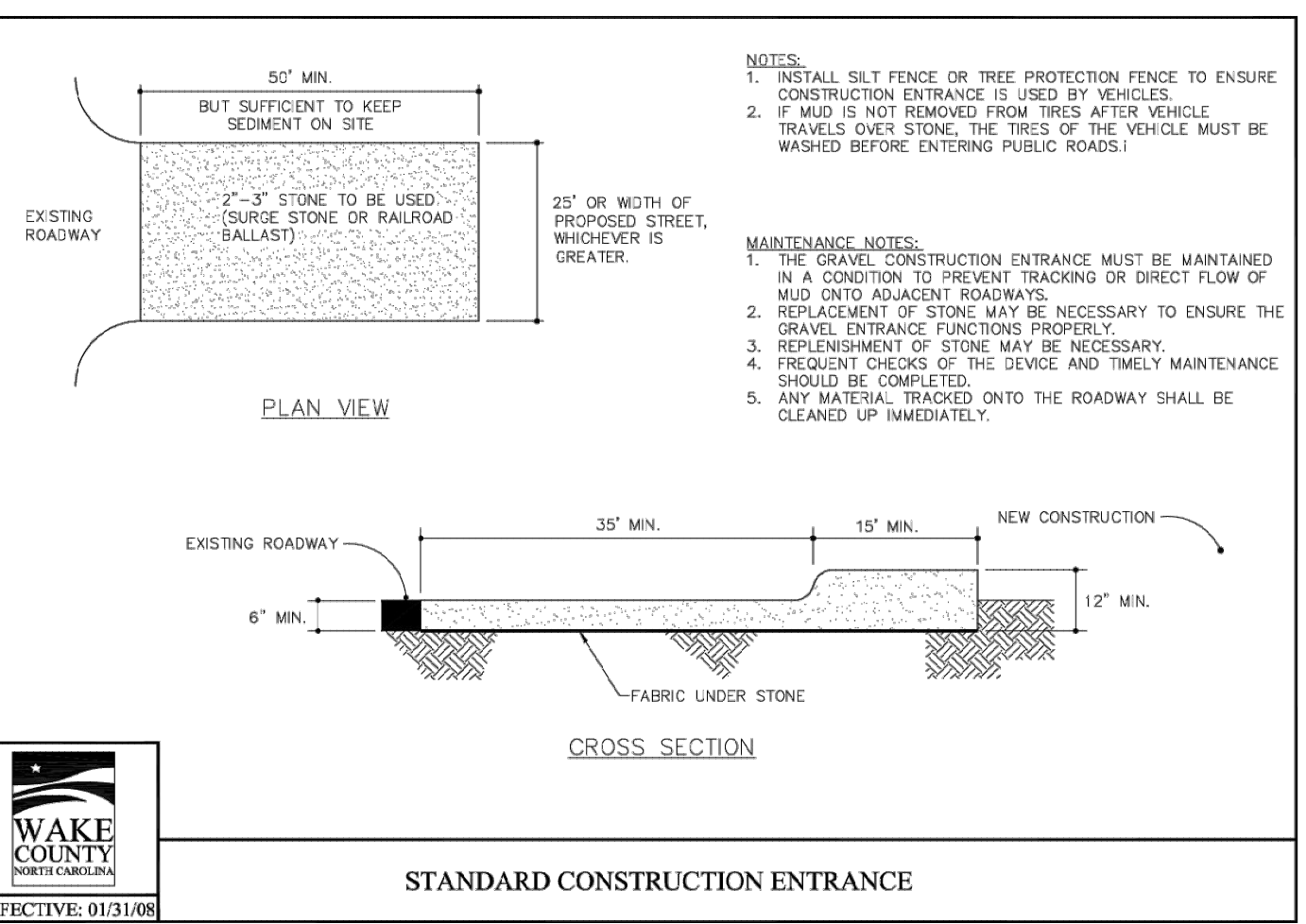
Other Consultants



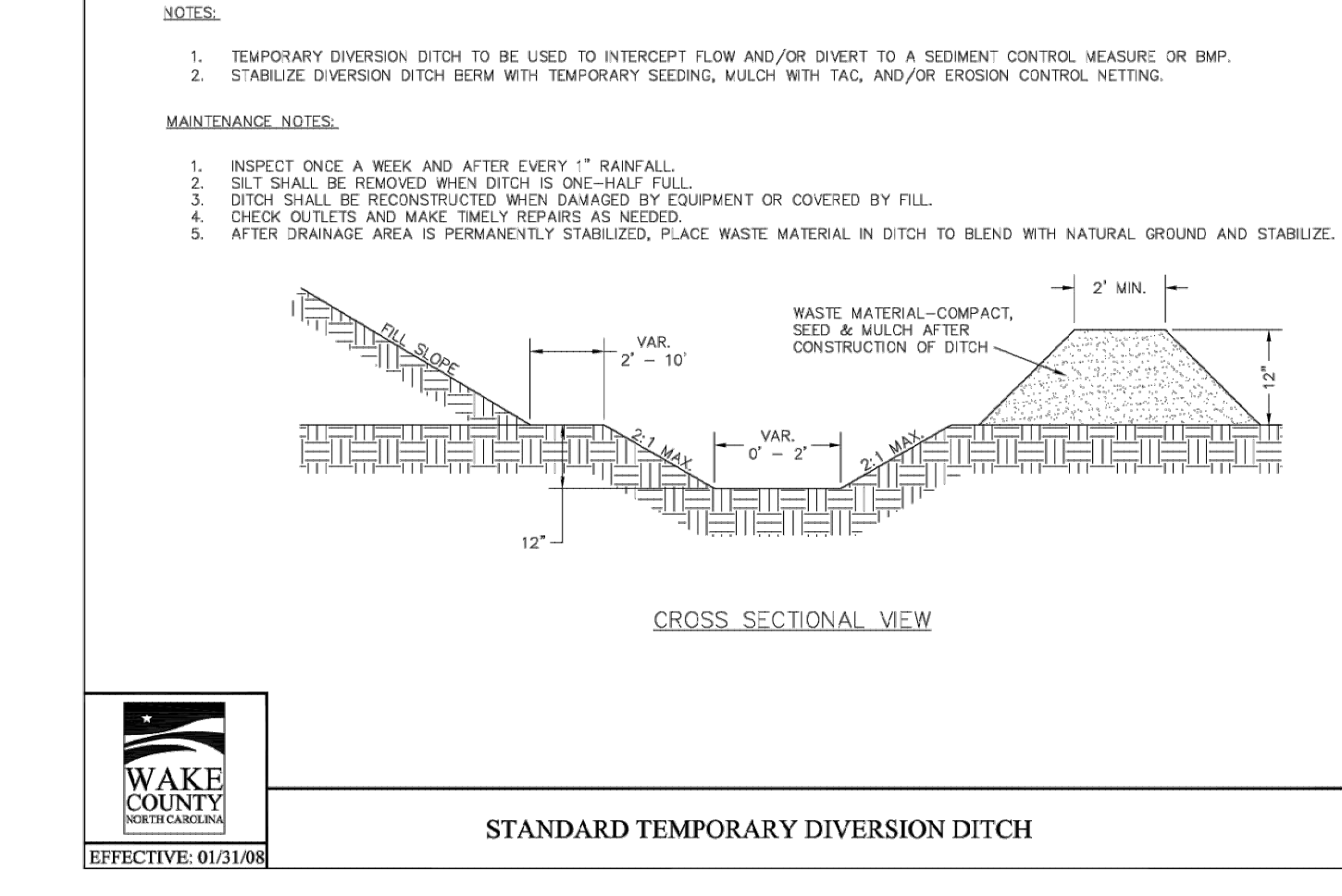
WAKE COUNTY **STANDARD FILTER BAG FOR DEWATERING ACTIVITIES** Effective Date: 01/31/08



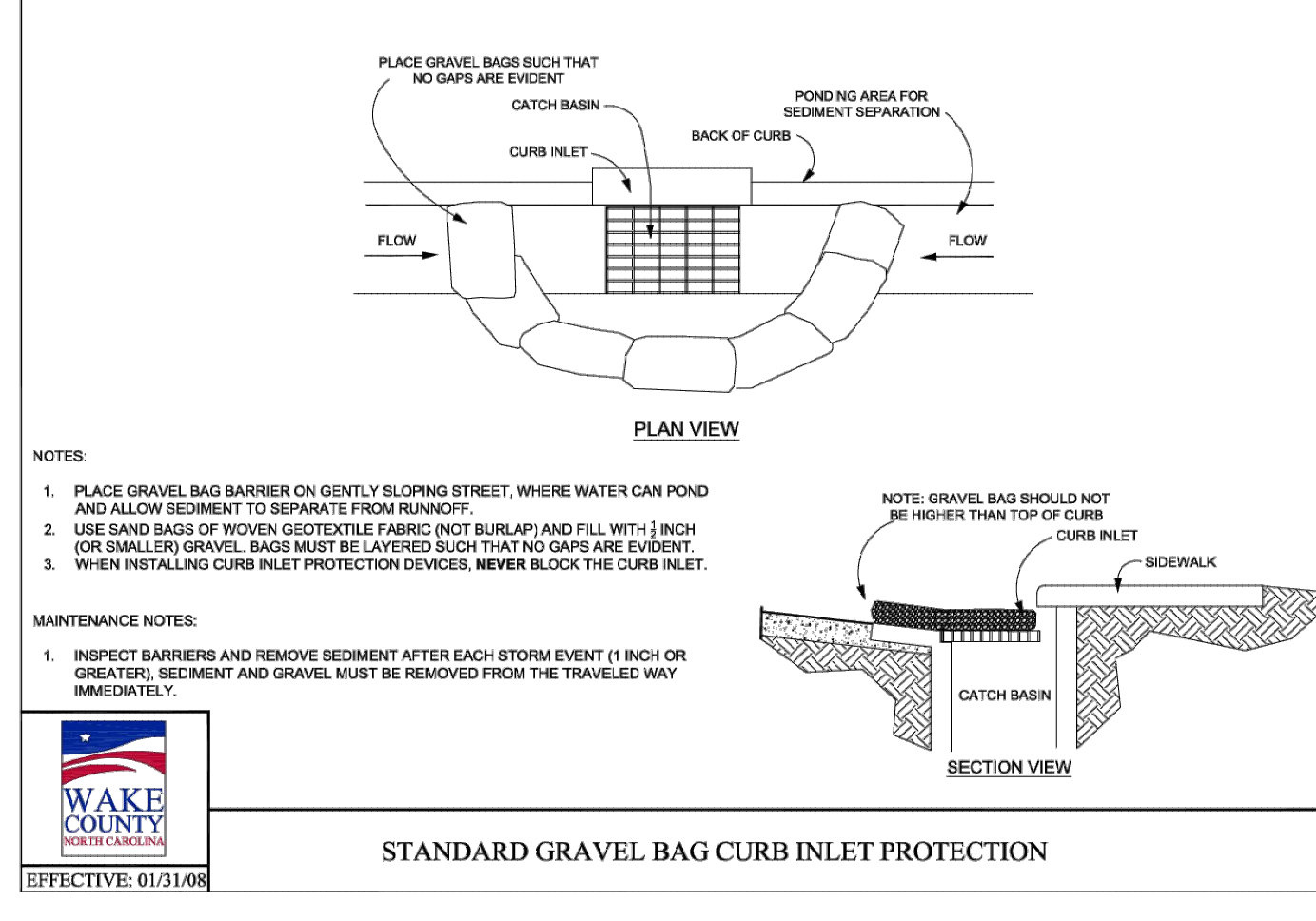
WAKE COUNTY **STANDARD Baffles Detail** Effective Date: 01/31/08



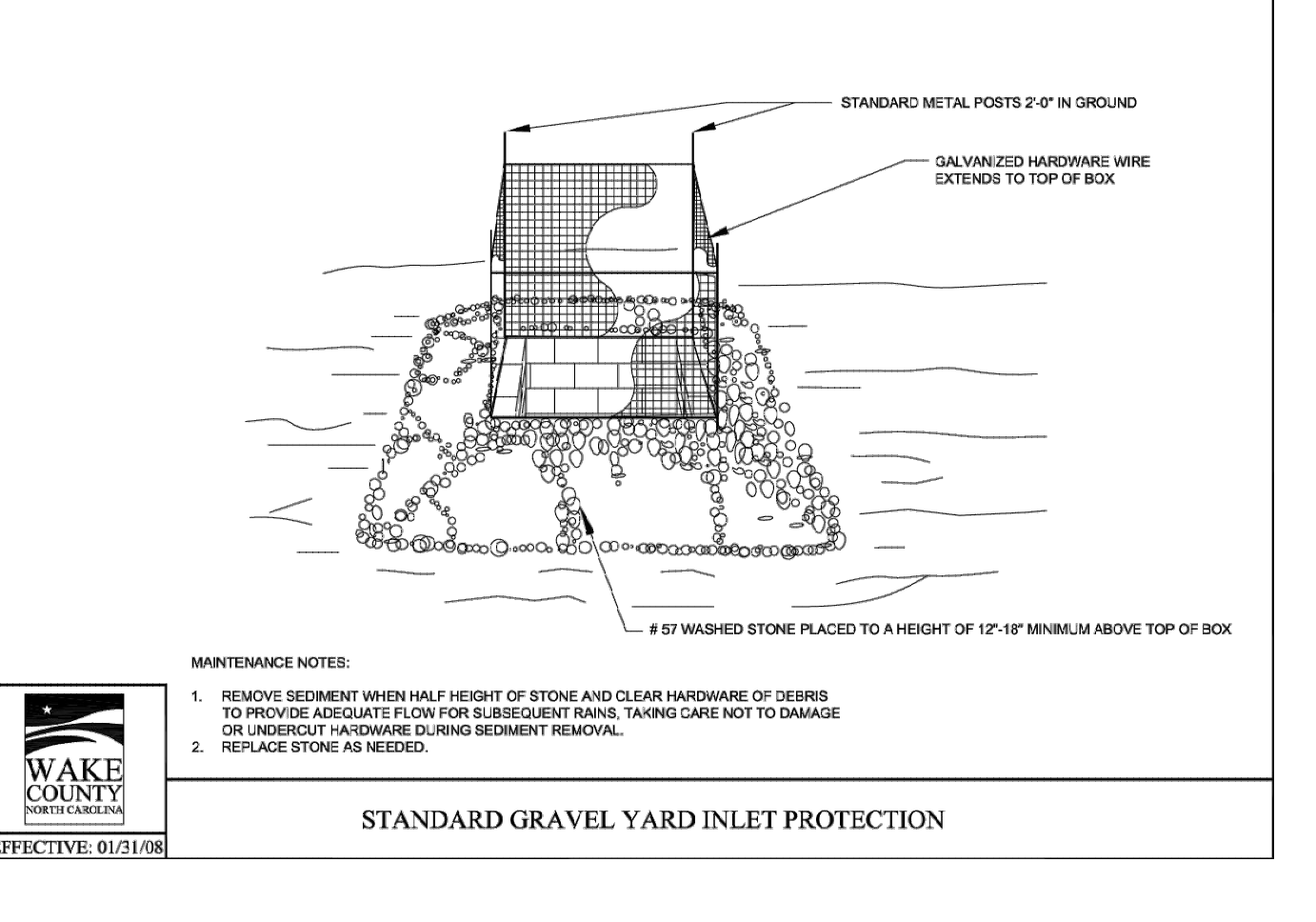
WAKE COUNTY **STANDARD CONSTRUCTION ENTRANCE** Effective Date: 01/31/08



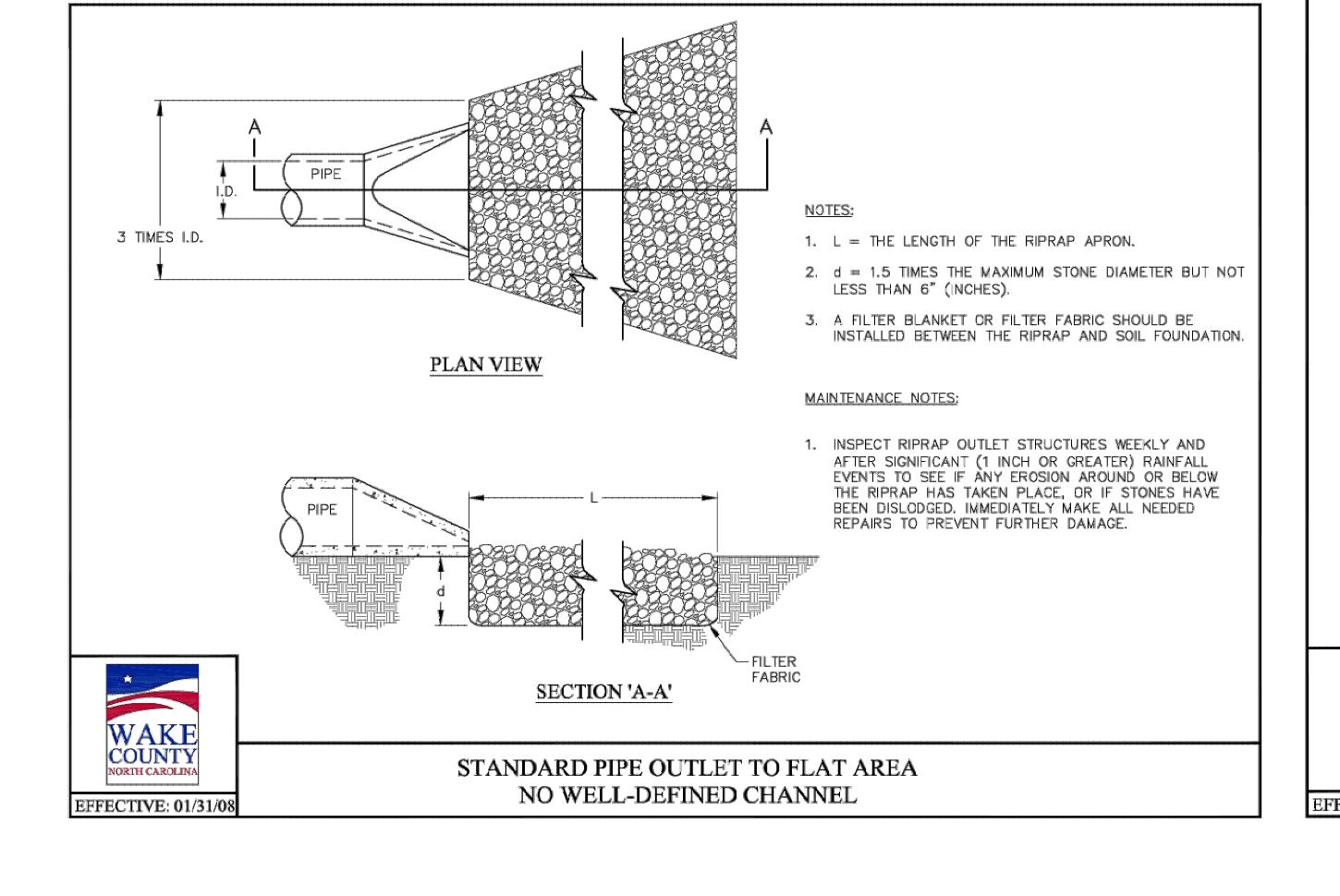
WAKE COUNTY **STANDARD TEMPORARY DIVERSION DITCH** Effective Date: 01/31/08



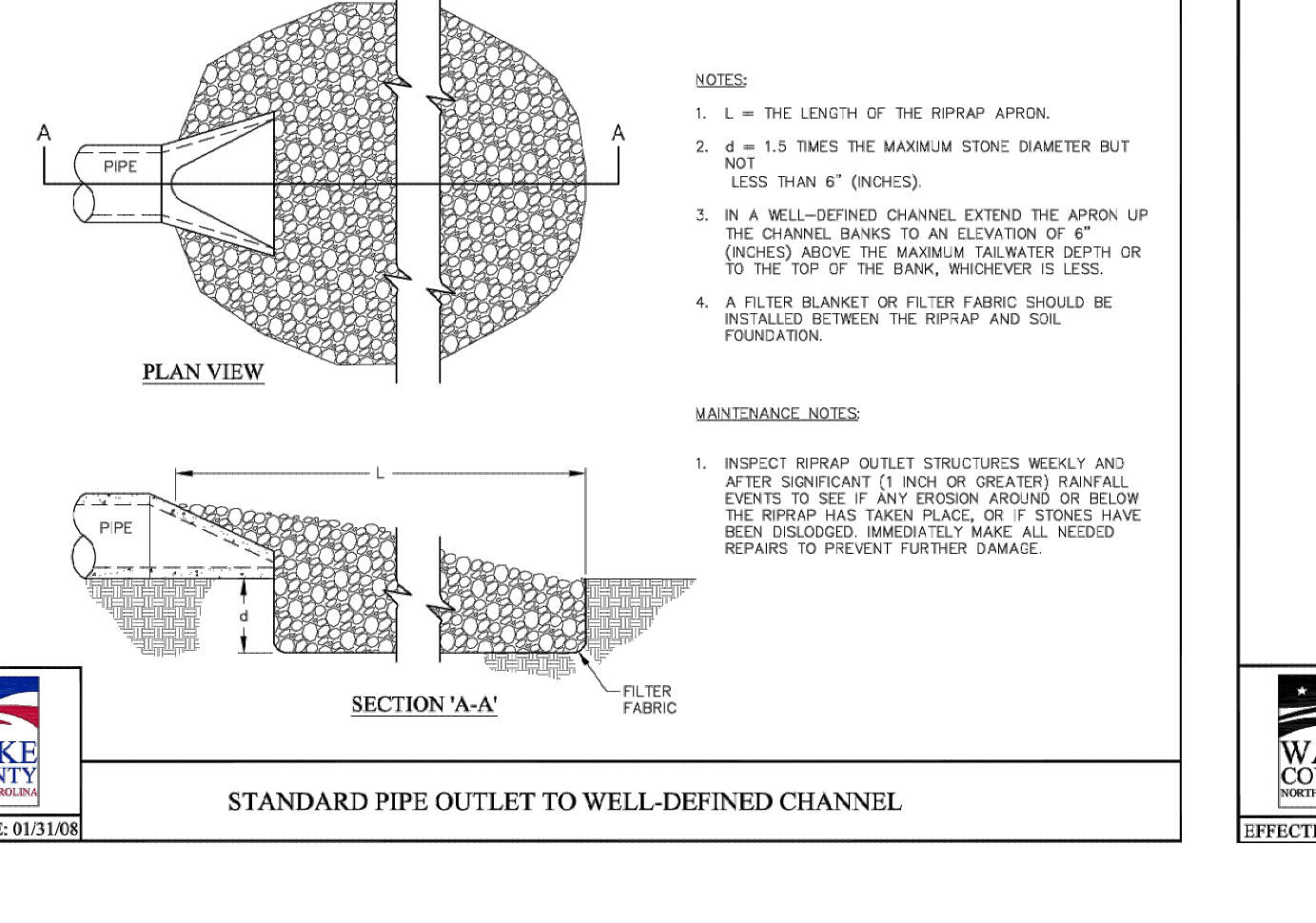
WAKE COUNTY **STANDARD GRAVEL BAG CURB INLET PROTECTION** Effective Date: 01/31/08



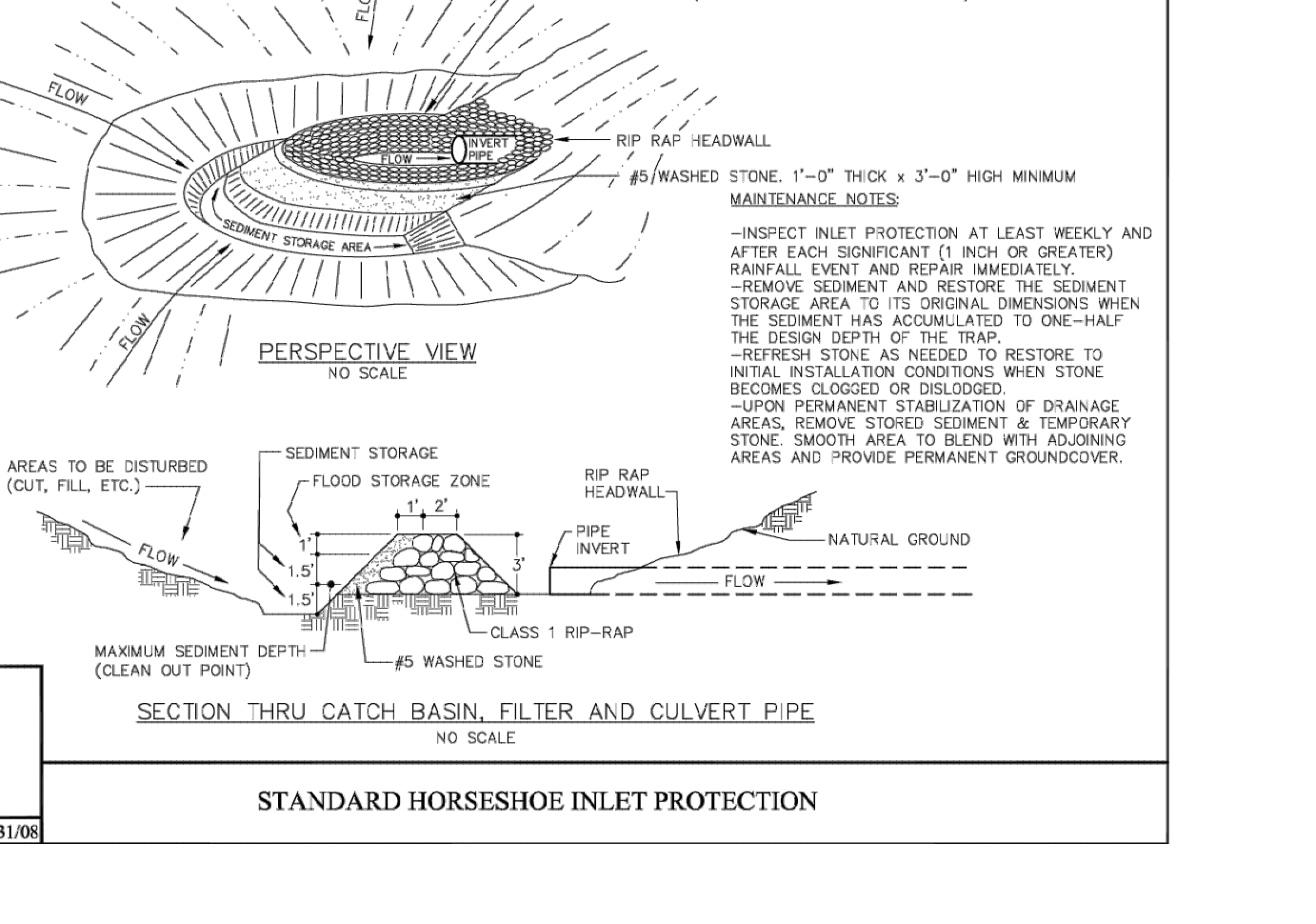
WAKE COUNTY **STANDARD GRAVEL YARD INLET PROTECTION** Effective Date: 01/31/08



WAKE COUNTY **STANDARD PIPE OUTLET TO FLAT AREA NO WELL-DEFINED CHANNEL** Effective Date: 01/31/08



WAKE COUNTY **STANDARD PIPE OUTLET TO WELL-DEFINED CHANNEL** Effective Date: 01/31/08



WAKE COUNTY **STANDARD HORSESHOE INLET PROTECTION** Effective Date: 01/31/08

Sheet map:

Seal:

North Carolina Professional Engineer
SEAL
53676
BRYAN A. HARRIS

Issued / Print Date: 2025-May-30 (17:32)
File Name: 16 Overall Erosion Control Plan.dwg

Last Saved by: Jthodge
Drawn by: TAN

Project:

HARRIS CREEK FARMS
CID-25-??

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Sheet Title:

EROSION CONTROL DETAILS

Sheet #:

31

N.C. UNDERGROUND UTILITIES
811
3 DAYS BEFORE DIGGING CALL
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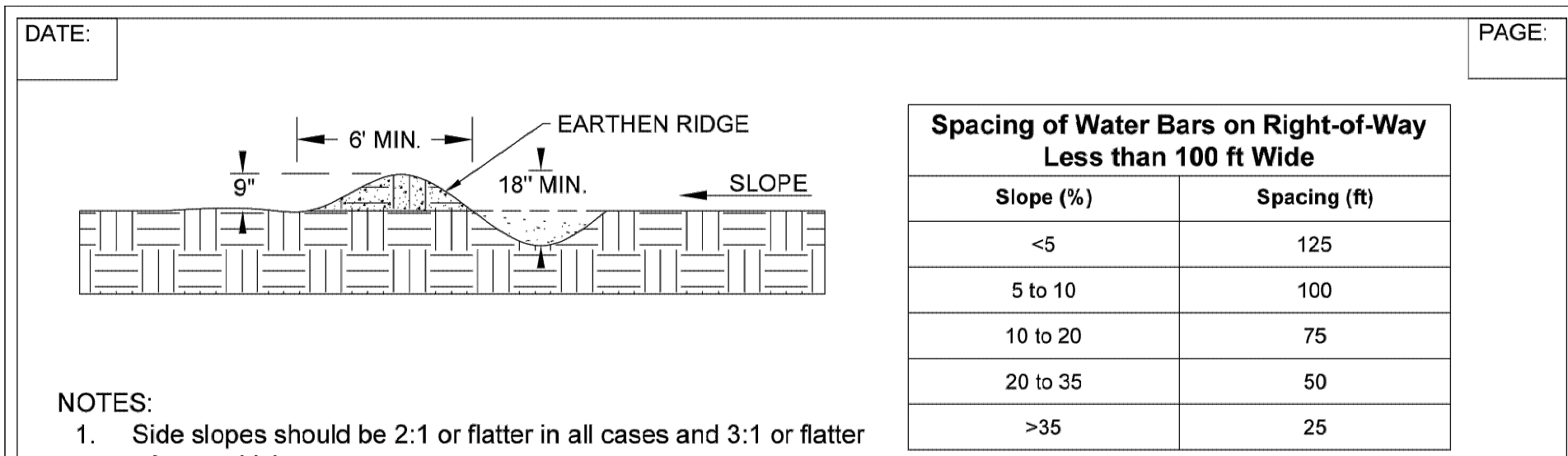
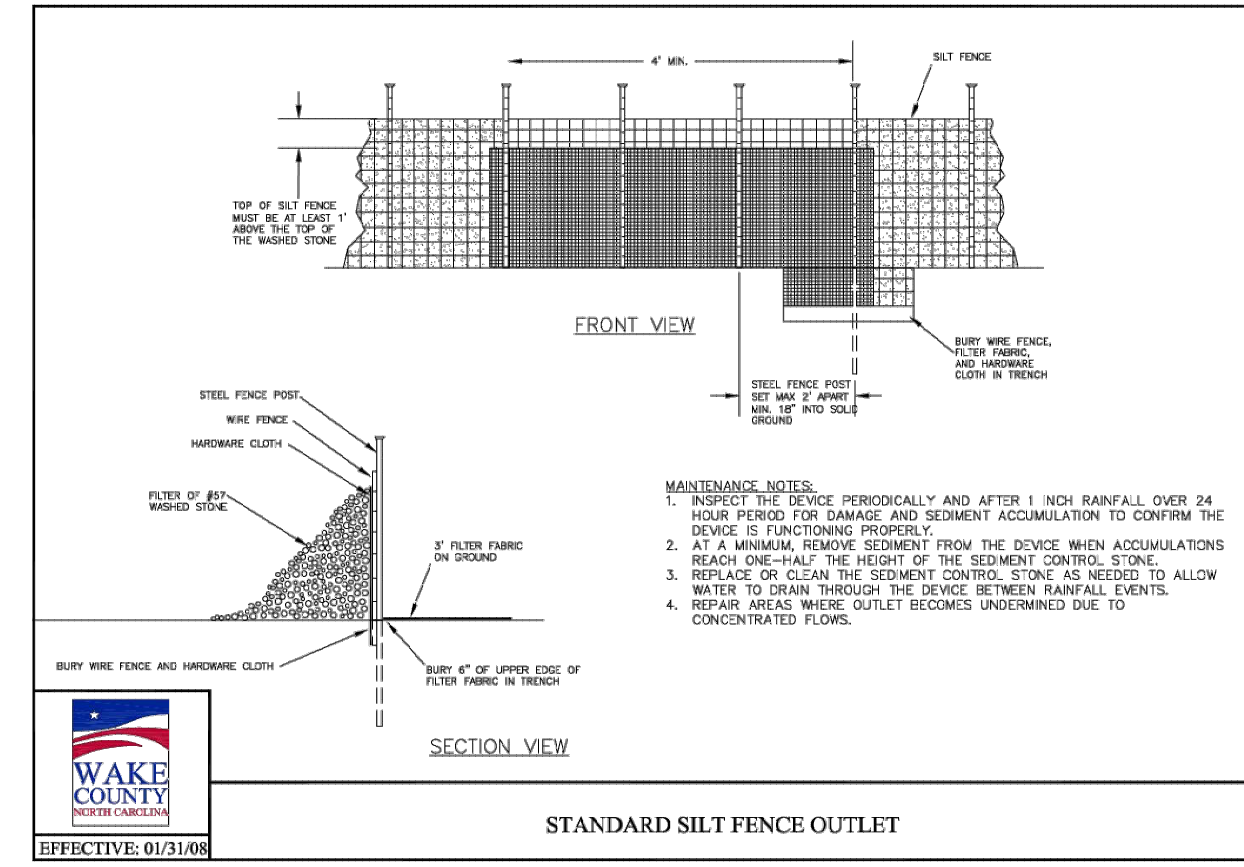
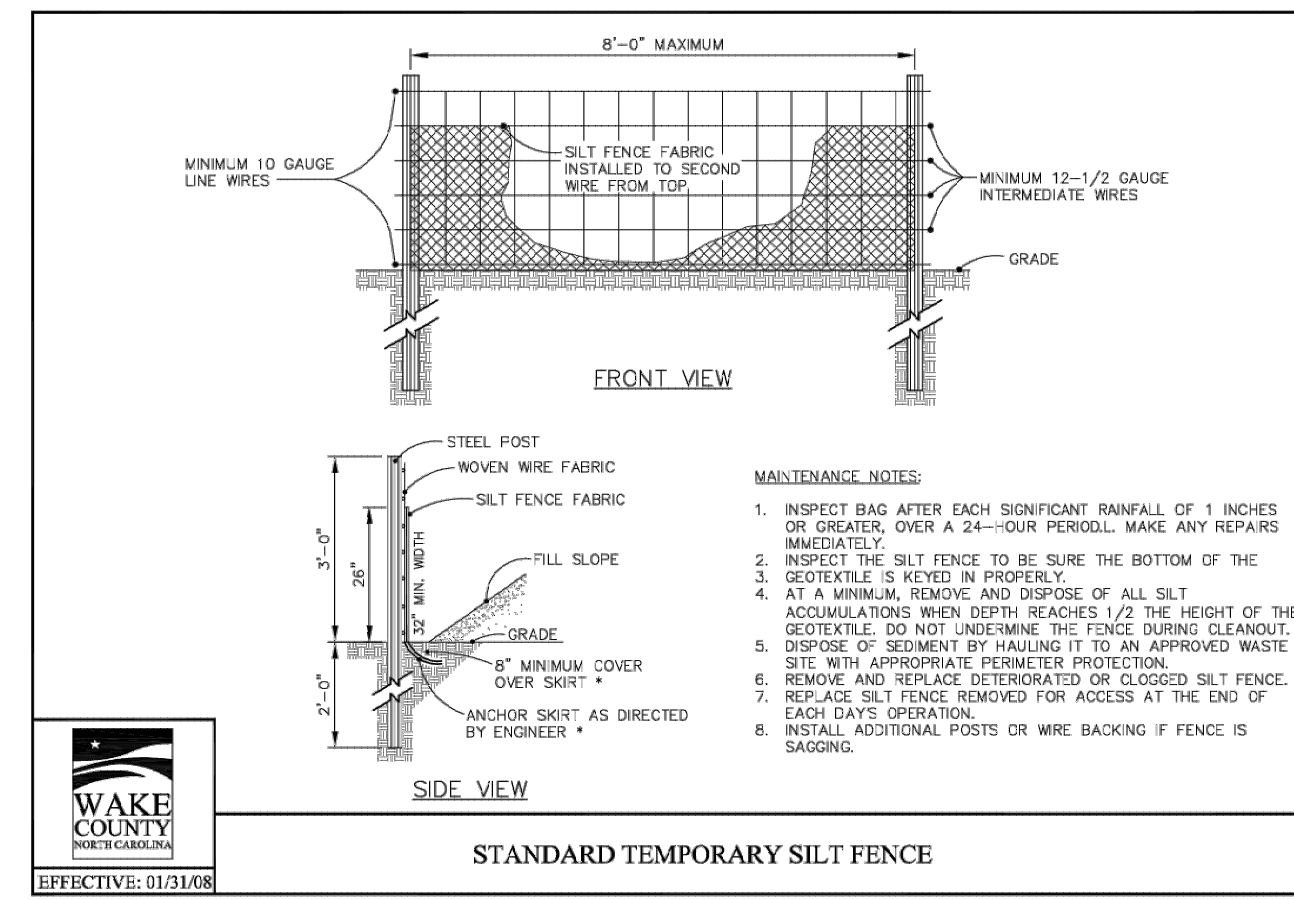
Design Criteria		Design Criteria	
Drainage Area:	5 acres or less	Channel Design	
Dike Design		Channel Design	
Side Slope:	2:1 or flatter	Shape:	Parabolic, Trapezoidal, or V-Shaped
	3:1 or flatter where vehicles must cross	Side Slope:	2:1 or flatter
Width:	2.0 ft minimum		3:1 or flatter where vehicles must cross
Height:	1.5 ft minimum	Stabilization:	Based on velocity of reaches
Freeboard:	0.5 ft minimum		
Settlement:	10% of total fill height minimum		

- NOTES:
- Remove and properly dispose of all trees, brush, stumps, and other objectionable material. Fill and compact all ditches and gullies that will be crossed by machinery to natural ground level or above.
 - Disk the base of the dike before placing fill.
 - Ensure that the constructed cross section meets all design requirements.
 - Compact the dike by tracking with construction equipment.
 - Divert all sediment laden water into a temporary sediment trap or sediment basin. Runoff from undisturbed areas should empty into an outlet protection device such as a level spreader or riprap outlet structure unless well stabilized natural outlets exist.
 - Ensure that the top of the dike is not lower at any point than the design elevation plus the specified settlement after it has been compacted.
 - Leave sufficient area along the dike to permit machine re-grading and cleanup.
 - Immediately seed and mulch the dike after its construction, and stabilize the flow portion in accordance with design requirements.
- Maintenance:
- Inspect diversion dikes at least weekly and after each rainfall of 1.0 inch or greater.
 - Immediately remove sediment from the flow area and repair the dike.
 - Check outlets, and make timely repairs as needed to avoid gully formation.
 - When area above the temporary diversion dike is permanently stabilized, remove the dike, and fill and stabilize the channel to blend with the natural surface.

DESIGN CRITERIA Effective Date: 9/1/2023
In accordance with the 2013 Design Manual Updates

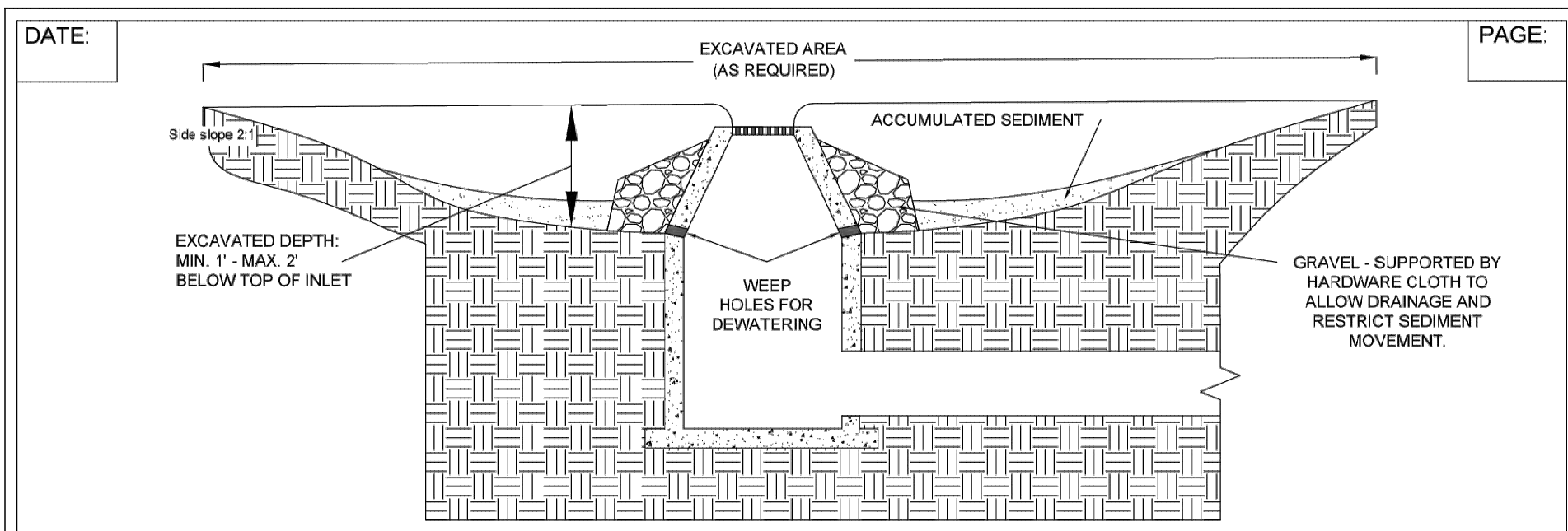
Required Wake County Basin Removal Sequence

- Schedule a site meeting with the Environmental Consultant to determine if a basin can be removed. Install silt fencing or other temporary erosion control measures as needed prior to removal of the basin.
- Contact NCDEQ – Raleigh Regional Office (919) 791-4200 to determine the Division of Energy, Mineral and Land Resources contact person to receive dewatering notifications. **At least 10 days prior to beginning dewatering activity**, send Email to NCDEQ-DEMLR contact person and copy Environmental Consultant that met you onsite. The email should include: E&SC Jurisdiction; Wake County, Wake County Project; Name, Number, and Location (city/town), Environmental Consultant Name, and address the following: a) Reason for conversion, b) Basin #, c) Dewatering method, and d) all other necessary info from Part II, Section G, Item 4 of the NCG01. **(Keep email for your NPDES monitoring documentation)**
- After receiving positive confirmation from NCDEQ-DEMLR that you may remove the basin OR on ≥ Day 11, whichever is sooner. Remove Basin(s) and associated temporary diversion ditches. If pipes need to be extended, perform this operation at this time. Fine grade area in preparation for seeding.
- Perform seeded preparation, seed, mulch and anchor any resulting bare areas immediately.
- Install velocity dissipators and/or level spreaders as required on the Erosion Control Plan.
- When site is fully stabilized, call Environmental Consultant for approval of removing remaining temporary erosion control measures and advice on when site can be issued a Certificate of Completion. Note: A meeting should also be scheduled with the Environmental Consultant to determine when a basin may be converted for stormwater use. Some municipalities may also require this.

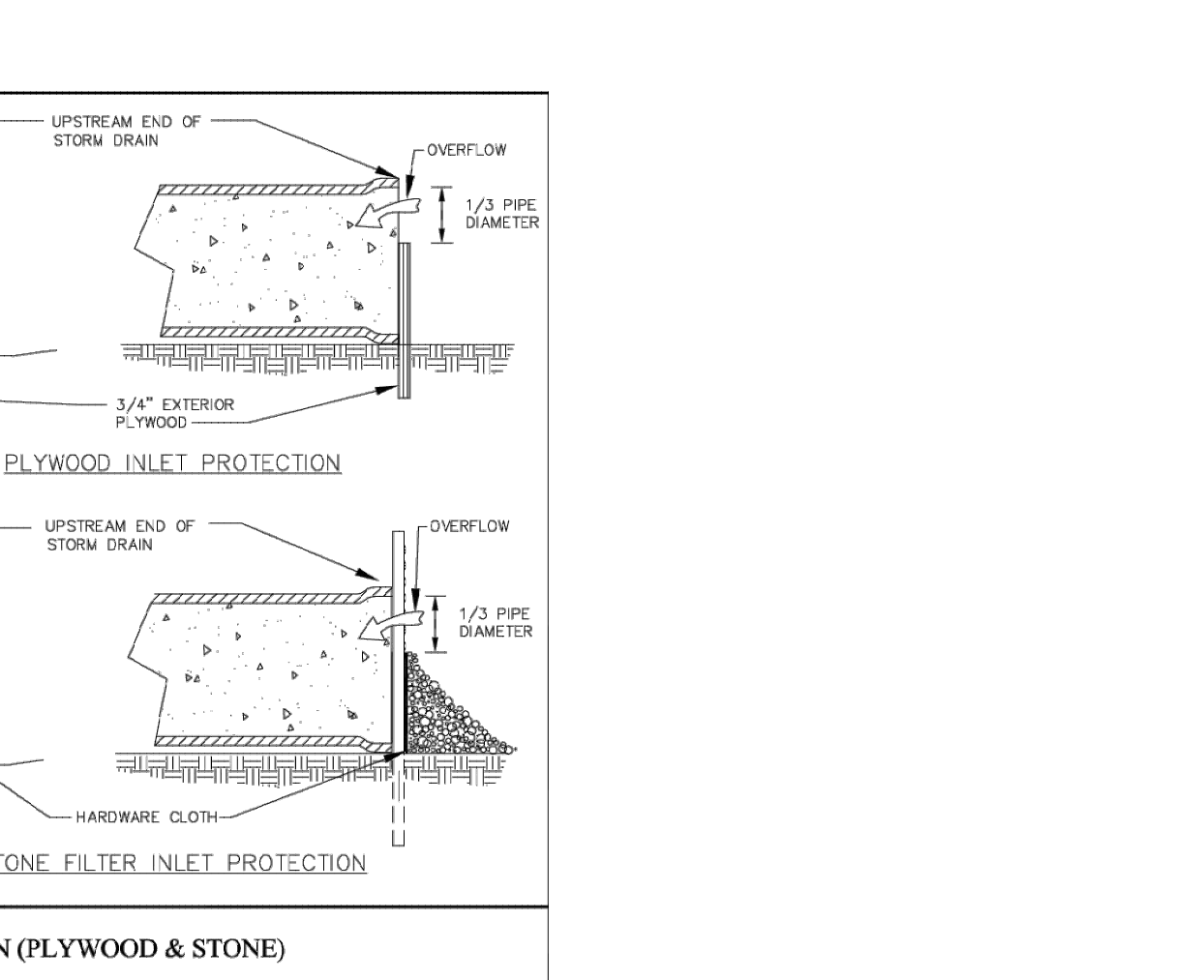
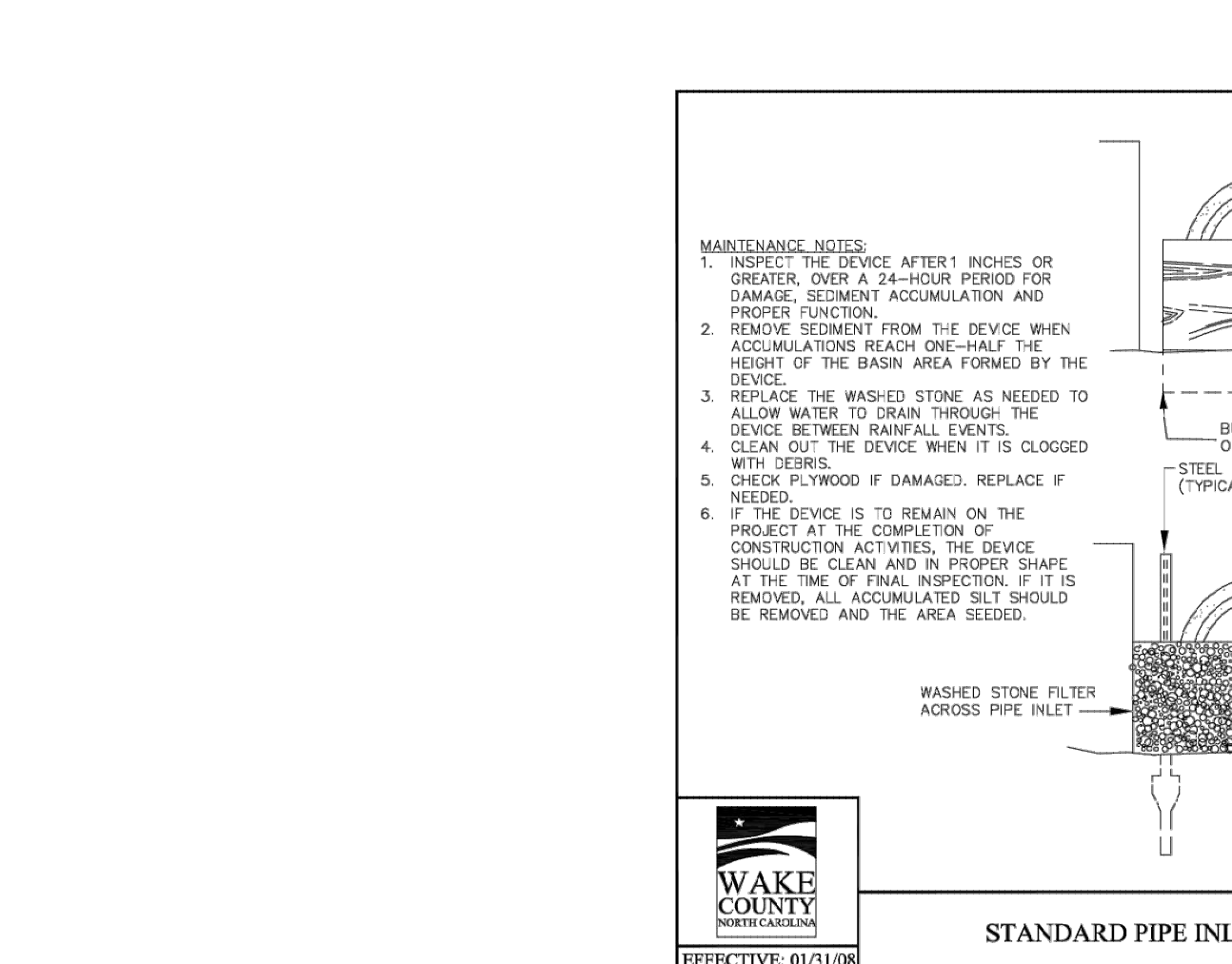
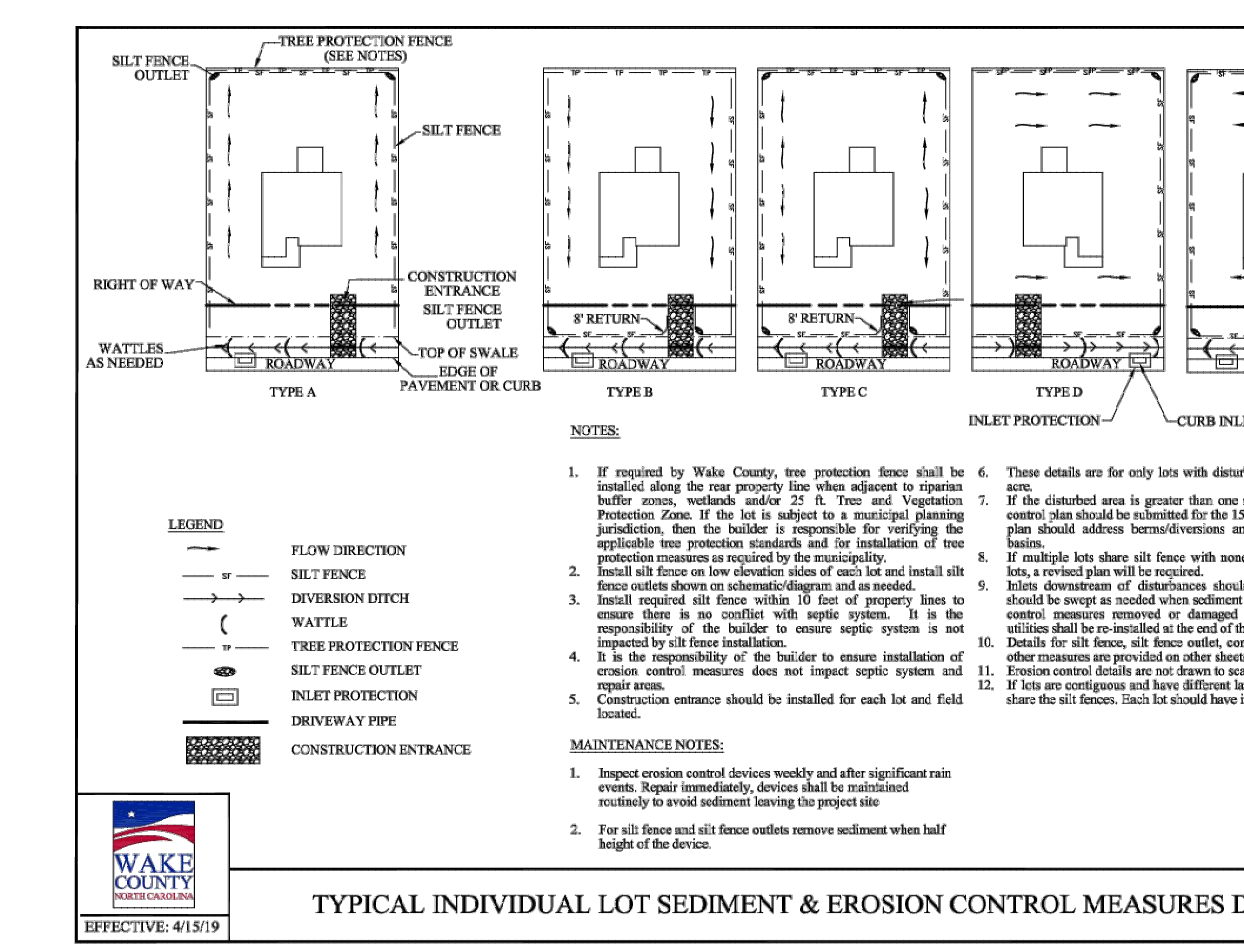
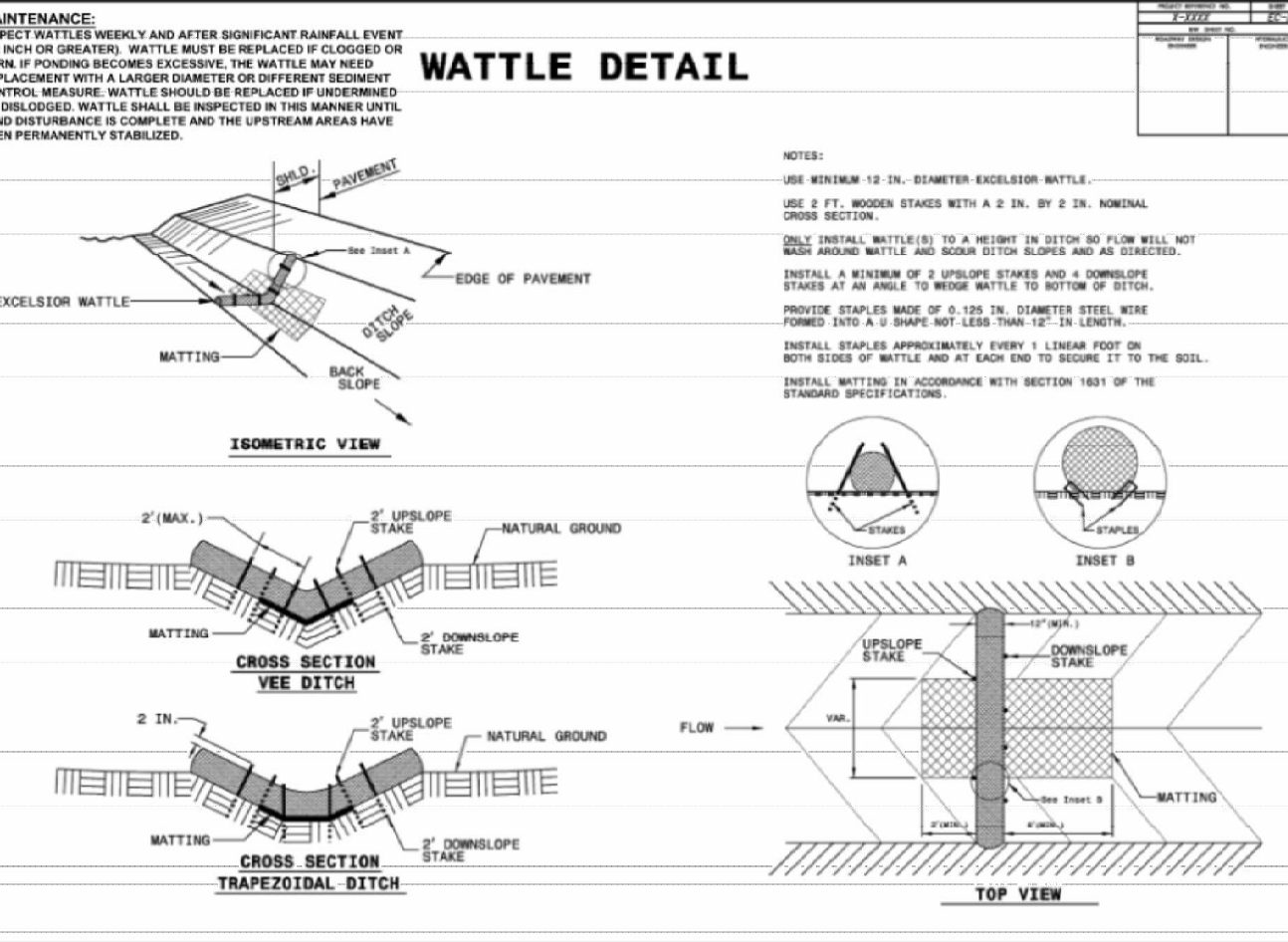
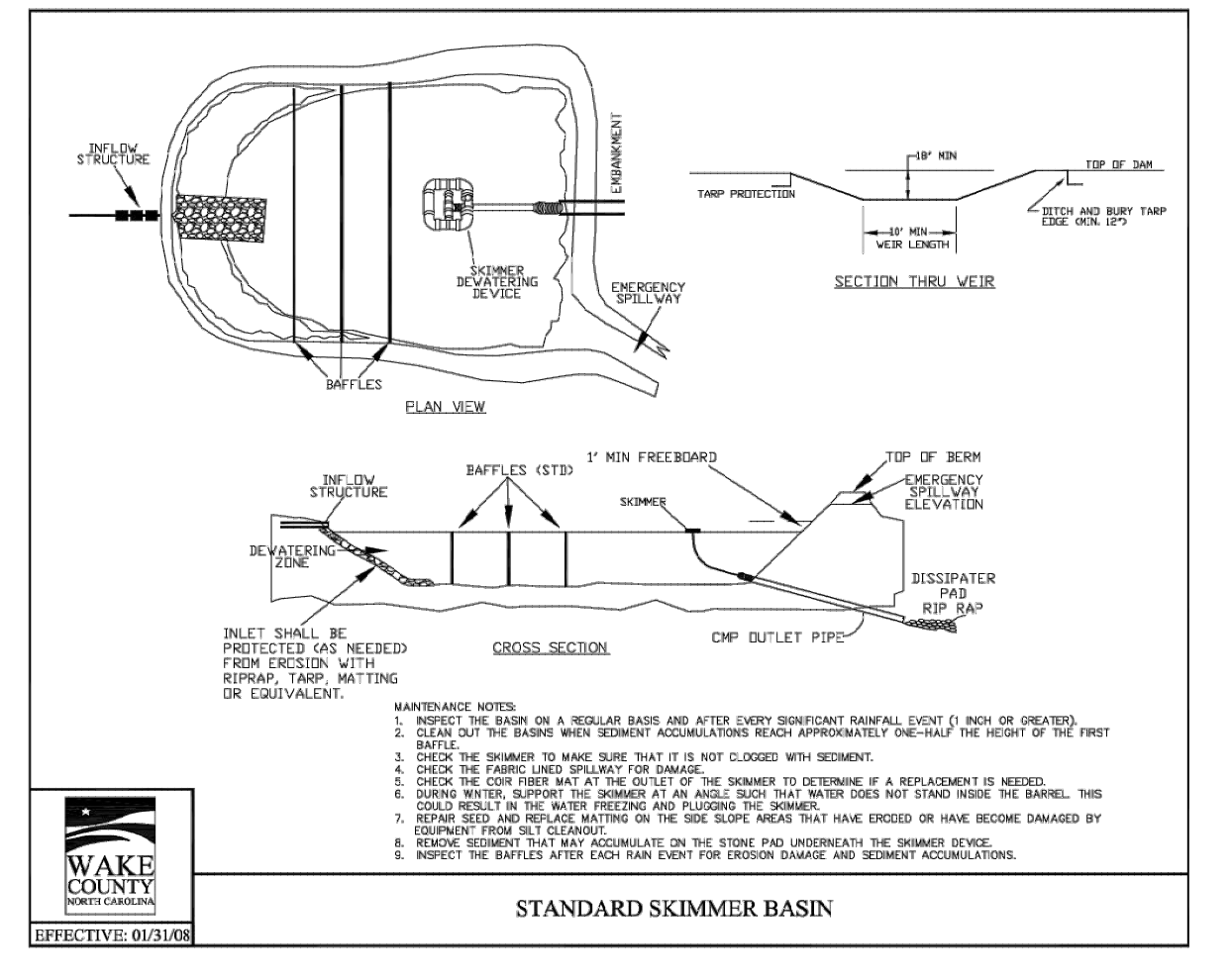
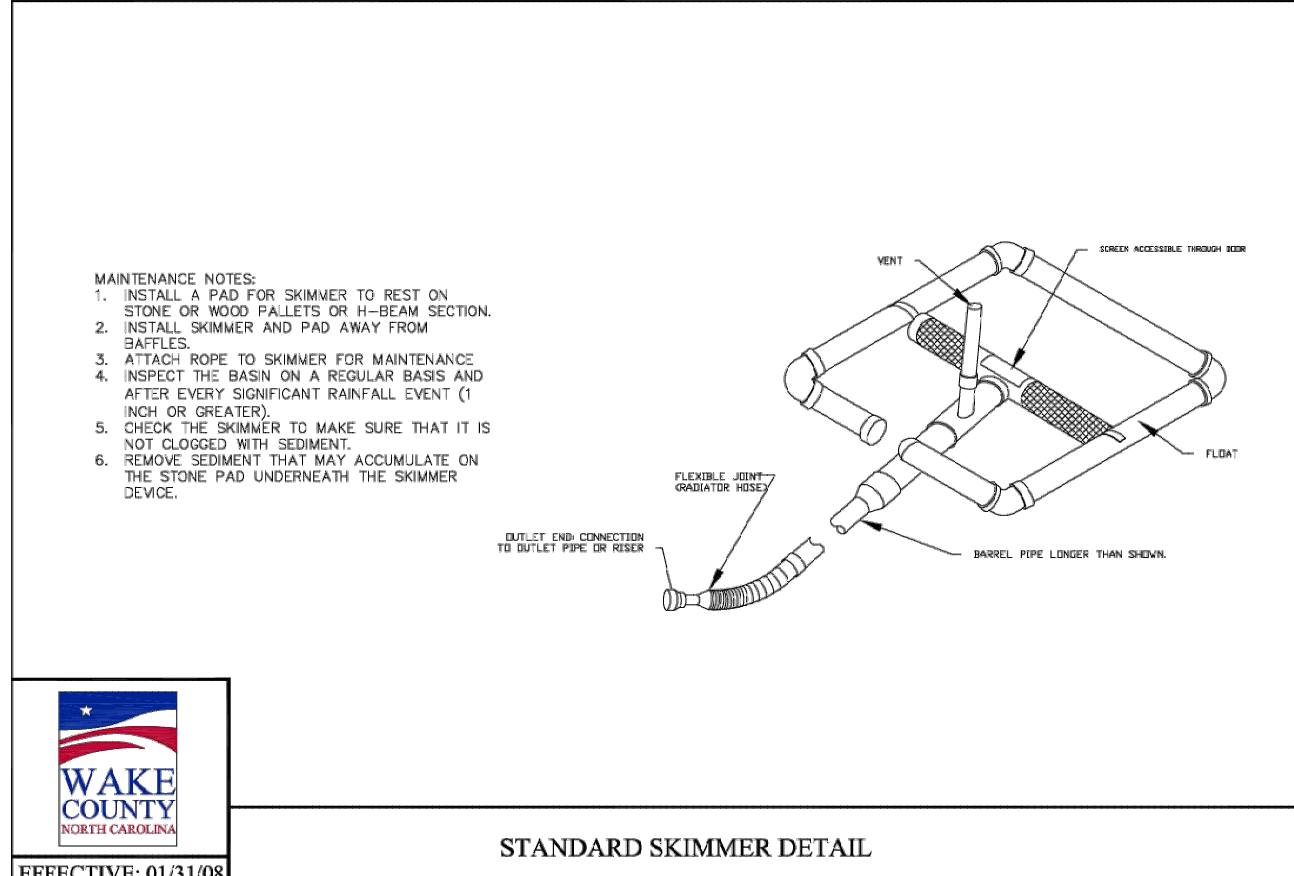


- NOTES:
- Side slopes should be 2:1 or flatter in all cases and 3:1 or flatter where vehicles cross.
 - Diversions should have stable outlets, either natural or constructed. Site spacing may need to be adjusted for field conditions to use the most suitable areas for water disposal.
 - Install the diversion as soon as the right-of-way has been cleared and graded.
 - Disk the base for the constructed ridge before placing fill.
 - Track the ridge to compact it to the design cross section.
 - Locate the outlet on an undisturbed area. Adjust field spacing on the diversion to use the most stable outlet areas. When natural areas are not deemed satisfactory, provide outlet protection.
 - Immediately seed and mulch the portions of the diversions not subject to construction traffic. Areas to be crossed by vehicles should be stabilized with gravel.
- MAINTENANCE:
- Inspect all measures at least weekly and after each rainfall of 1.0 inch or greater. Inspect diversions for wear and repair immediately.
 - Immediately remove sediment from the flow area, and repair the dike.
 - Check outlet areas, and make timely repairs as needed.
 - Once permanent road drainage is established and the area above the temporary right-of-way diversions are permanently stabilized, removed the dike, fill the channel to blend with the natural ground and appropriately stabilize all disturbed areas.

RIGHT-OF-WAY DIVERSIONS (WATER BARS) Effective Date: 9/1/2023
In accordance with the 2013 Design Manual Updates



EXCAVATED DROP INLET PROTECTION (TEMPORARY) Effective Date: 9/1/2023
In accordance with the 2013 Design Manual Updates



Developer
THE CSC GROUP
CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUNITY
10030 Green Level Church Rd, Suite 802 #149, Cary, NC 27519

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Jurisdiction / Municipality
Town of Rolesville
502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517

Rolesville
PSP-24-05

Other Consultants

Sheet map:

Seal:
NORTH CAROLINA PROFESSIONAL SEAL
53676
ENGINEER
BYLAN A. HARRIS

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File Name: 16 Overall Erosion Control Plan.dwg

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CID-25-??

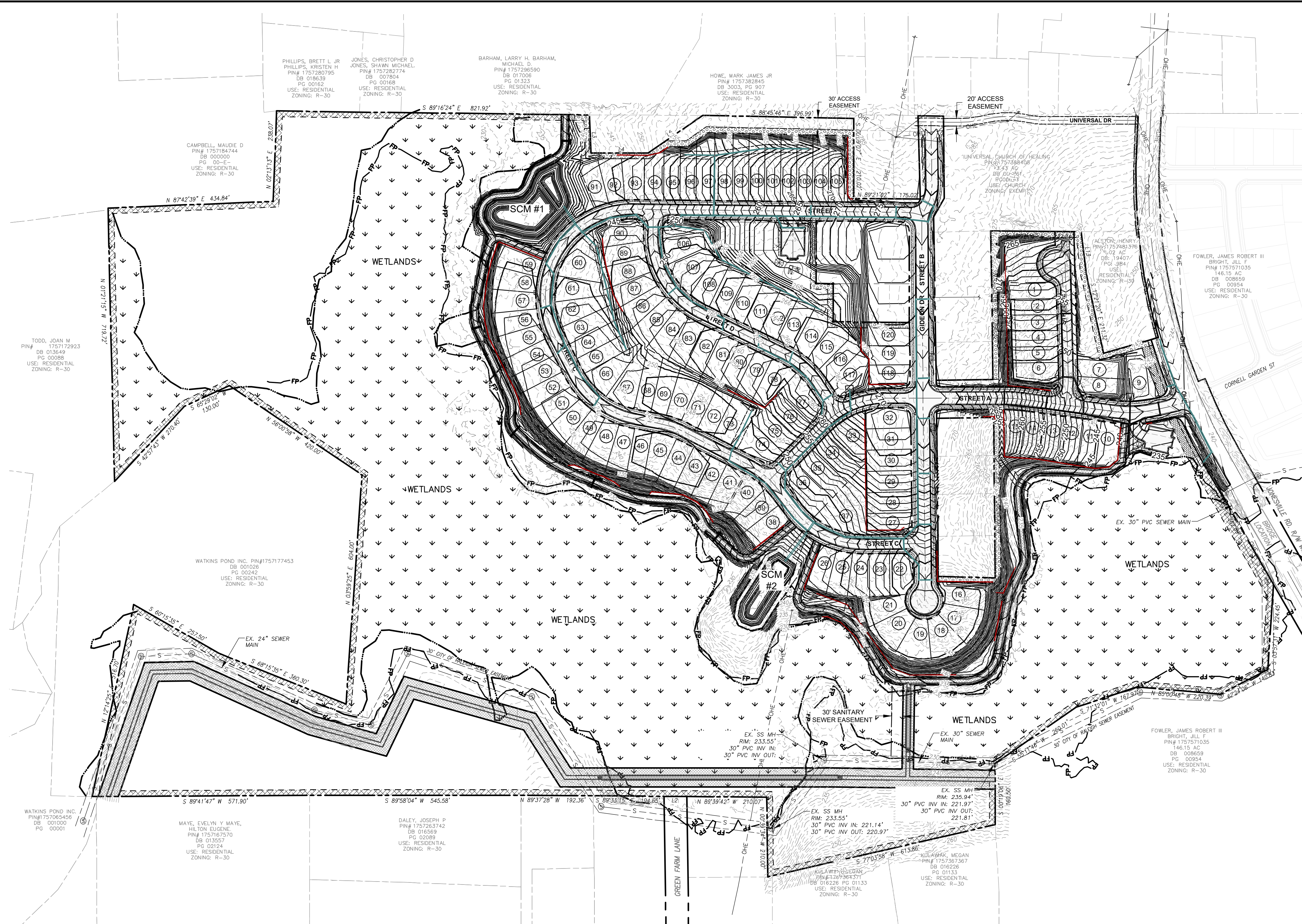
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No.	Date	Description

Sheet Title:
32 EC DETAILS

Sheet #:



39. Fix legend, Sheet 37 appears twice.

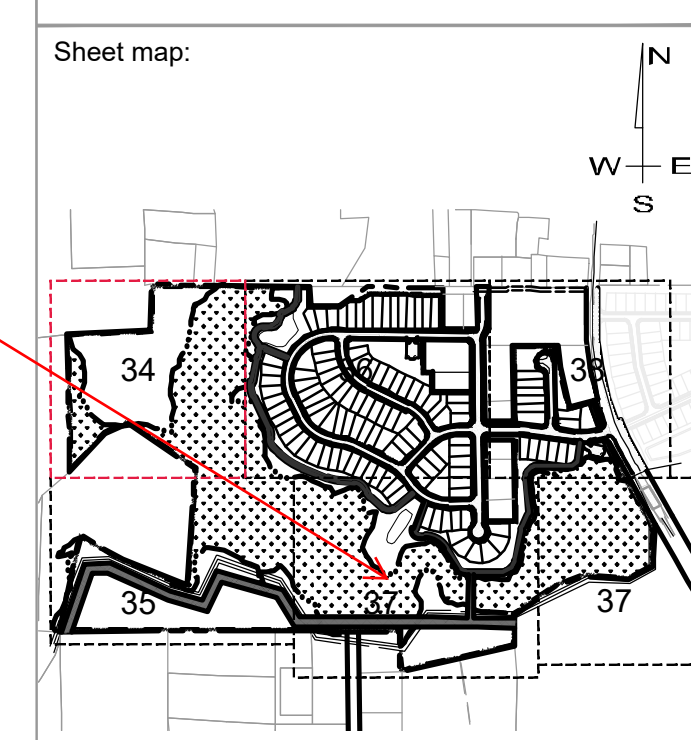
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No.	Date	Description

Sheet Title:

OVERALL GRADING & DRAINAGE PLAN

Sheet #:

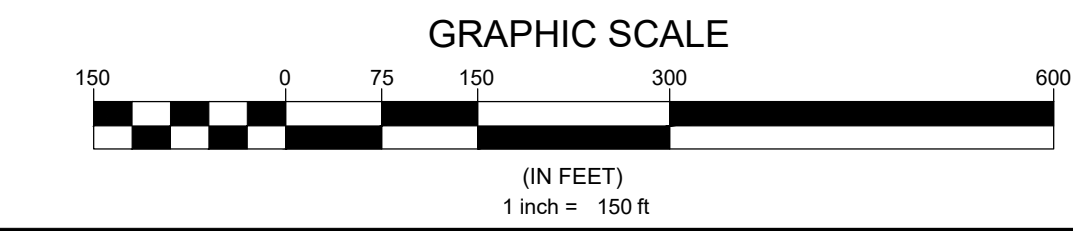
33

GRADING AND STORMWATER PLAN NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROLESVILLE STANDARDS AND SPECIFICATIONS.
- ALL PERMITS SHALL BE OBTAINED FROM THE CITY OF ROLESVILLE, WAKE COUNTY, NCDOT, NCDEQ-DWR, AND USACE AS APPLICABLE PRIOR TO BEGINNING CONSTRUCTION. A COPY OF ALL PERMITS SHALL BE SUBMITTED TO THE TOWN OF ROLESVILLE FOR THEIR RECORDS.
- SCMS SHALL BE DESIGNED TO CONTROL AND TREAT THE DIFFERENCE IN STORMWATER RUNOFF VOLUME LEAVING THE PROJECT SITE BETWEEN THE PRE- AND POST- DEVELOPMENT CONDITIONS FOR, AT A MINIMUM, THE 1-YEAR, 24-HOUR STORM.
- SCMS SHALL BE DESIGNED TO HAVE A MINIMUM OF 85% AVERAGE ANNUAL REMOVAL FOR TOTAL SUSPENDED SOLIDS.
- ALL SCMS ASSOCIATED WITH THIS PROJECT WILL REQUIRE MAINTENANCE EASEMENTS AND AN OPERATION AND MAINTENANCE AGREEMENT TO BE NOTED ON THE FINAL PLAT. ALL OF THESE ITEMS WILL NEED TO BE RECORDED WITH THE COUNTY REGISTER OF DEEDS.
- AT THE START OF GRADING INVOLVING THE LOWERING OF THE EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THIS CUT FARTHEST AWAY FROM THE TREE TRUNK.
- NO STORAGE OF MATERIALS, DUMPING OF WASTE MATERIALS, FILL, OR PARKING OF EQUIPMENT SHALL BE ALLOWED WITHIN THE ROOT PROTECTION ZONE, AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE ROOT PROTECTION ZONE.
- PRIOR TO BEGINNING CONSTRUCTION OF THE SCM(S), A PRECONSTRUCTION MEETING SHALL BE SCHEDULED WITH CITY STORMWATER IN ACCORDANCE WITH THE STANDARD PUBLIC WORKS' STORMWATER NOTE ON THE PLANS. THIS MEETING SHOULD BE SEPARATE FROM THE ENGINEERING INSPECTIONS' PRECONSTRUCTION MEETING AND SCHEDULING IT IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER/ENGINEER. THE MEETING MUST BE ATTENDED BY THE PROJECT CONTRACTOR RESPONSIBLE FOR SCM CONSTRUCTION, THE BMP CERTIFYING ENGINEER (BCE) WHO HAS BEEN SECURED TO PROVIDE THE AS-BUILT CERTIFICATION, AND THE GEOTECHNICAL ENGINEER (REQUIRED WHEN EARTHEN DAMS INVOLVED). WATER/SEWER PERMITS WILL NOT BE ISSUED OR WHEN SUCH PERMITS ARE NOT REQUIRED, FINAL CONSTRUCTION DRAWING APPROVAL WILL NOT BE GRANTED UNTIL THIS MEETING HAS BEEN SCHEDULED.
- THE ACCESS SHALL HAVE A MAXIMUM CENTERLINE GRADE AND CROSS-SLOPE OF FIFTEEN PERCENT (15%) AND TEN PERCENT (10%) RESPECTIVELY.
- THE SLOPES MAY BE 2:1 BELOW THE PERMANENT PONDING ELEVATION INSIDE THE SCM ONLY. EVERYWHERE ELSE THE SLOPES MUST BE 3:1 OR FLATTER.
- RETAINING WALLS AND ASSOCIATED DRAINAGE TO BE DESIGNED BY OTHERS. CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN FOR REVIEW AND APPROVAL BY THE TOWN INSPECTIONS DEPARTMENT.

GRADING PLAN LEGEND

EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	- - - - -
PROPOSED MINOR CONTOUR	---
PROPOSED MAJOR CONTOUR	---
PROPOSED BOUNDARY	---
PROPOSED R.O.W.	---
EXISTING SEWER LINE	- - S - - - -
EXISTING SEWER MANHOLE	⊙
PROPOSED SEWER LINE	- - S - - - -
PROPOSED SEWER MANHOLE	⊙
EXISTING WATER LINE	- - W - - - -
PROPOSED WATERLINE	- - W - - - -
EXISTING EASEMENT	---
PROPOSED EASEMENT	---
PROPOSED STORM WATER INLET	*
PROPOSED STORM PIPE	---
PROPOSED RETAINING WALL	---

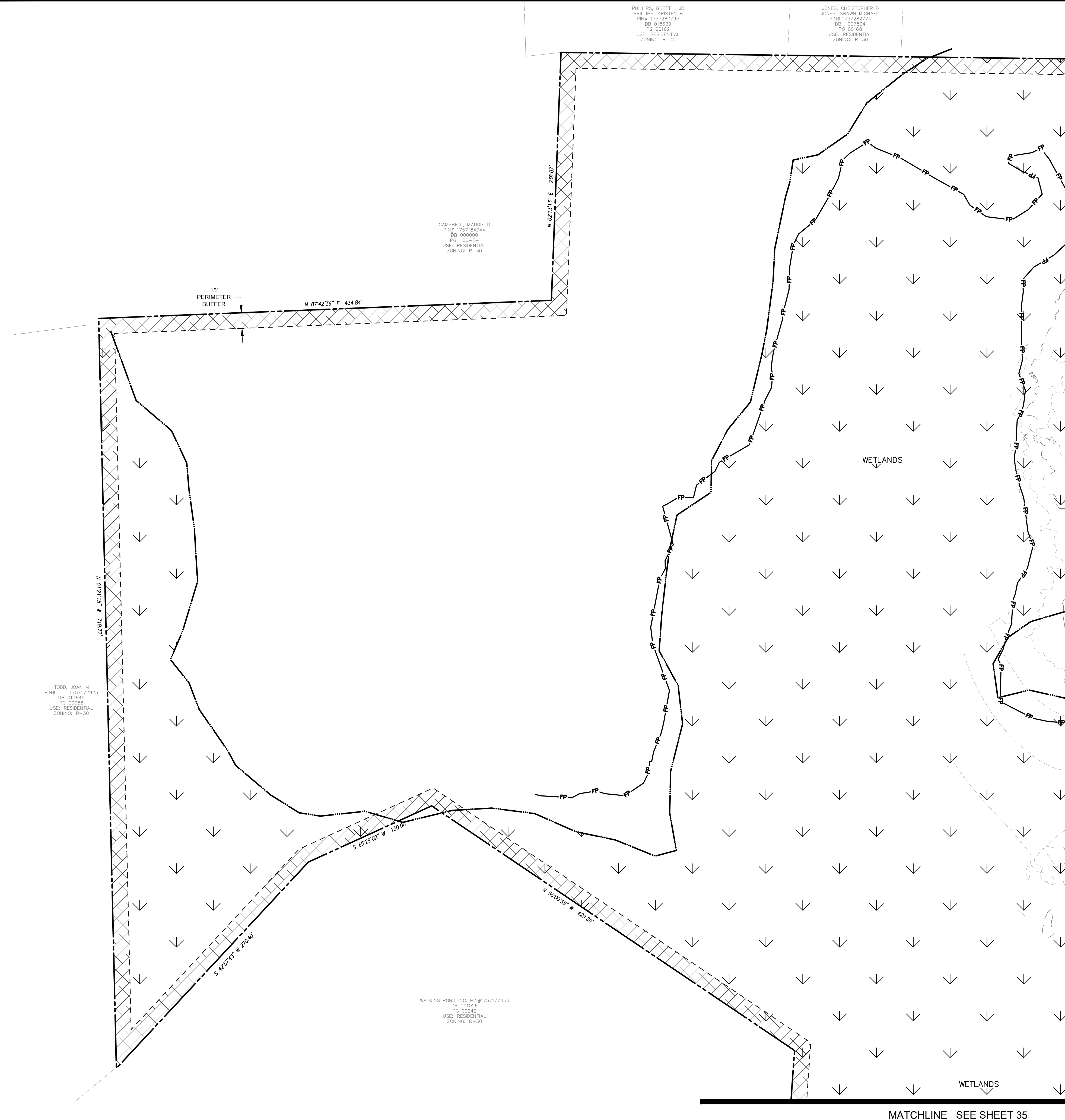


N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL
 TOLL FREE 811 or (800)632-4949

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

File Location: C:\Users\BryanHarris\Documents\Harris Creek Farm - Jonesville\Engineering - Documents\Harris Creek Farm - Jonesville\Engineering - Documents\Construction Plans\33 Overall Grading & Drainage Plan.dwg

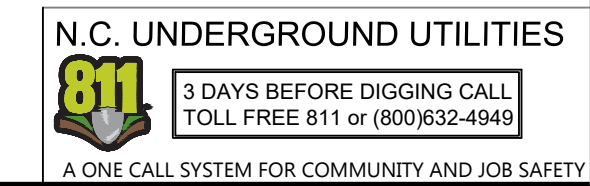
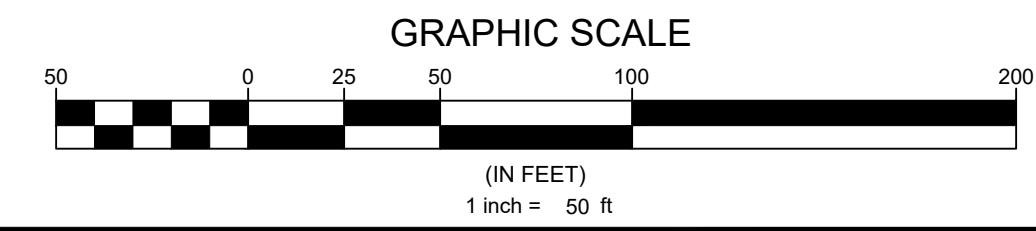


MATCHLINE SEE SHEET 36

MATCHLINE SEE SHEET 35

GRADING PLAN LEGEND

EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	- - - - -
PROPOSED MINOR CONTOUR	— — — — —
PROPOSED MAJOR CONTOUR	— — — — —
PROPOSED R.O.W.	— — — — —
PROPOSED LOT LINE	— — — — —
EXISTING SEWER LINE	— S — S —
EXISTING SEWER MANHOLE	⊙
PROPOSED SEWER LINE	— S — S —
PROPOSED SEWER MANHOLE	⊙
EXISTING WATER LINE	— W — W —
PROPOSED WATERLINE	— W — W —
PROPOSED GATE VALVE	⊕
EXISTING EASEMENT	— — — — —
PROPOSED EASEMENT	— — — — —
PROPOSED STORM WATER INLET	⊠
PROPOSED STORM PIPE	— — — — —
PROPOSED RETAINING WALL	— — — — —



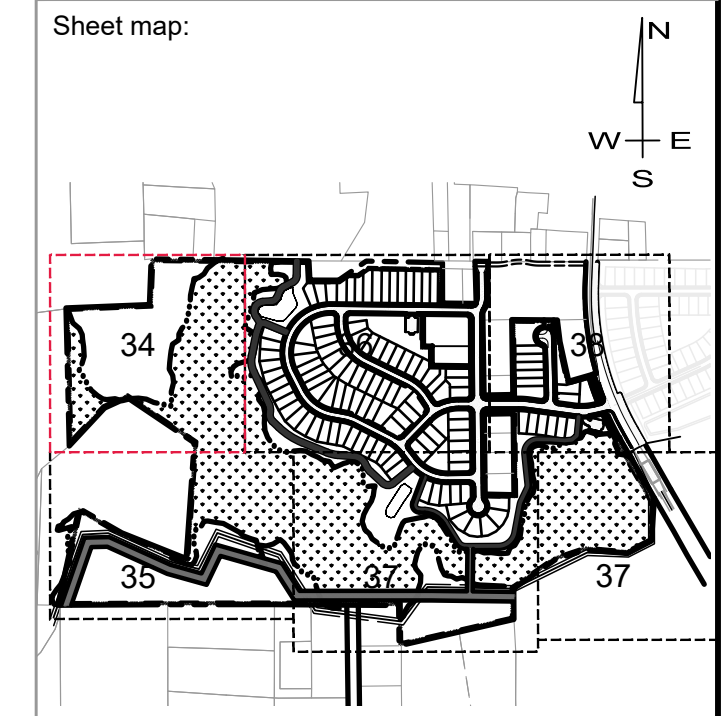
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PSP-24-05

Other Consultants



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 Drawn by: TAN

Project:
HARRIS CREEK FARMS
 CID-25-??

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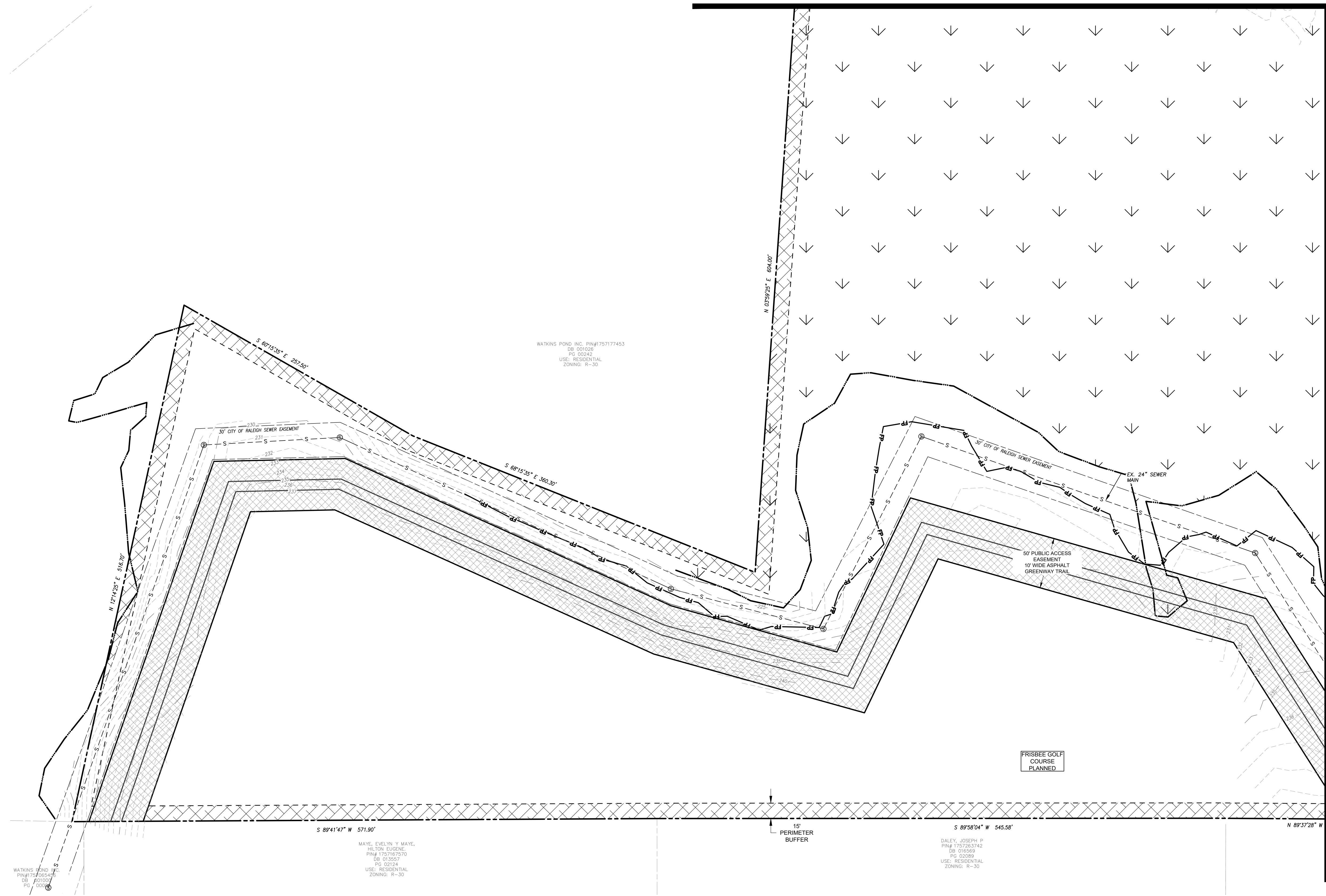
No.	Date	Description

Sheet Title:
GRADING & DRAINAGE PLAN SHEET 1 OF 6

Sheet #:
34

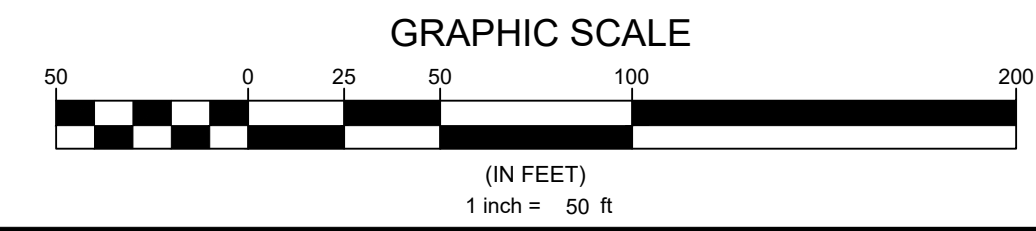
MATCHLINE SEE SHEET 36

MATCHLINE SEE SHEET 37



GRADING PLAN LEGEND

EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	- - - - -
PROPOSED MINOR CONTOUR	---
PROPOSED MAJOR CONTOUR	---
PROPOSED R.O.W.	---
PROPOSED LOT LINE	---
EXISTING SEWER LINE	--- S --- S ---
EXISTING SEWER MANHOLE	⊙
PROPOSED SEWER LINE	--- S --- S ---
PROPOSED SEWER MANHOLE	⊙
EXISTING WATER LINE	--- W --- W ---
PROPOSED WATERLINE	--- W --- W ---
PROPOSED GATE VALVE	⊕
EXISTING EASEMENT	---
PROPOSED EASEMENT	---
PROPOSED STORM WATER INLET	⊠
PROPOSED STORM PIPE	---
PROPOSED RETAINING WALL	---



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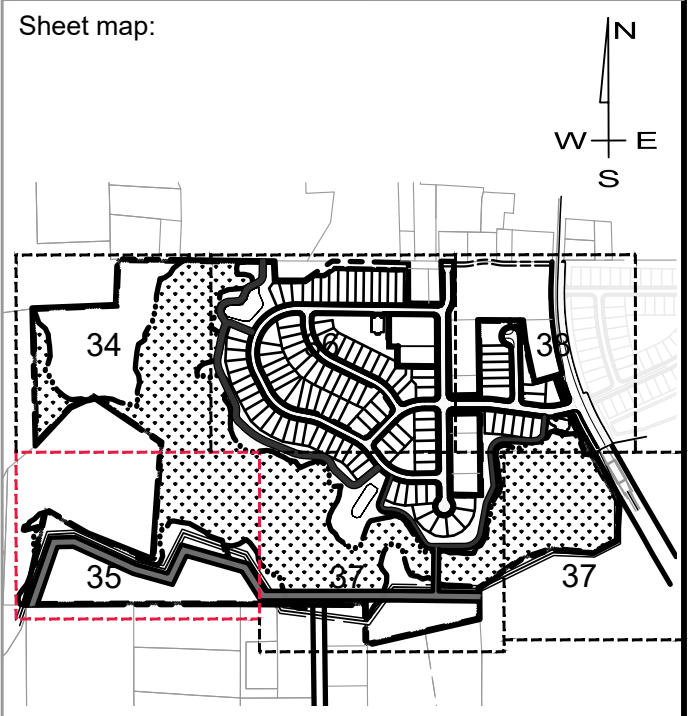
Developer
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 CONtribute to the success of local community
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Project:

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No.	Date	Description

Sheet Title:

GRADING & DRAINAGE PLAN SHEET 2 OF 6

Sheet #:

35

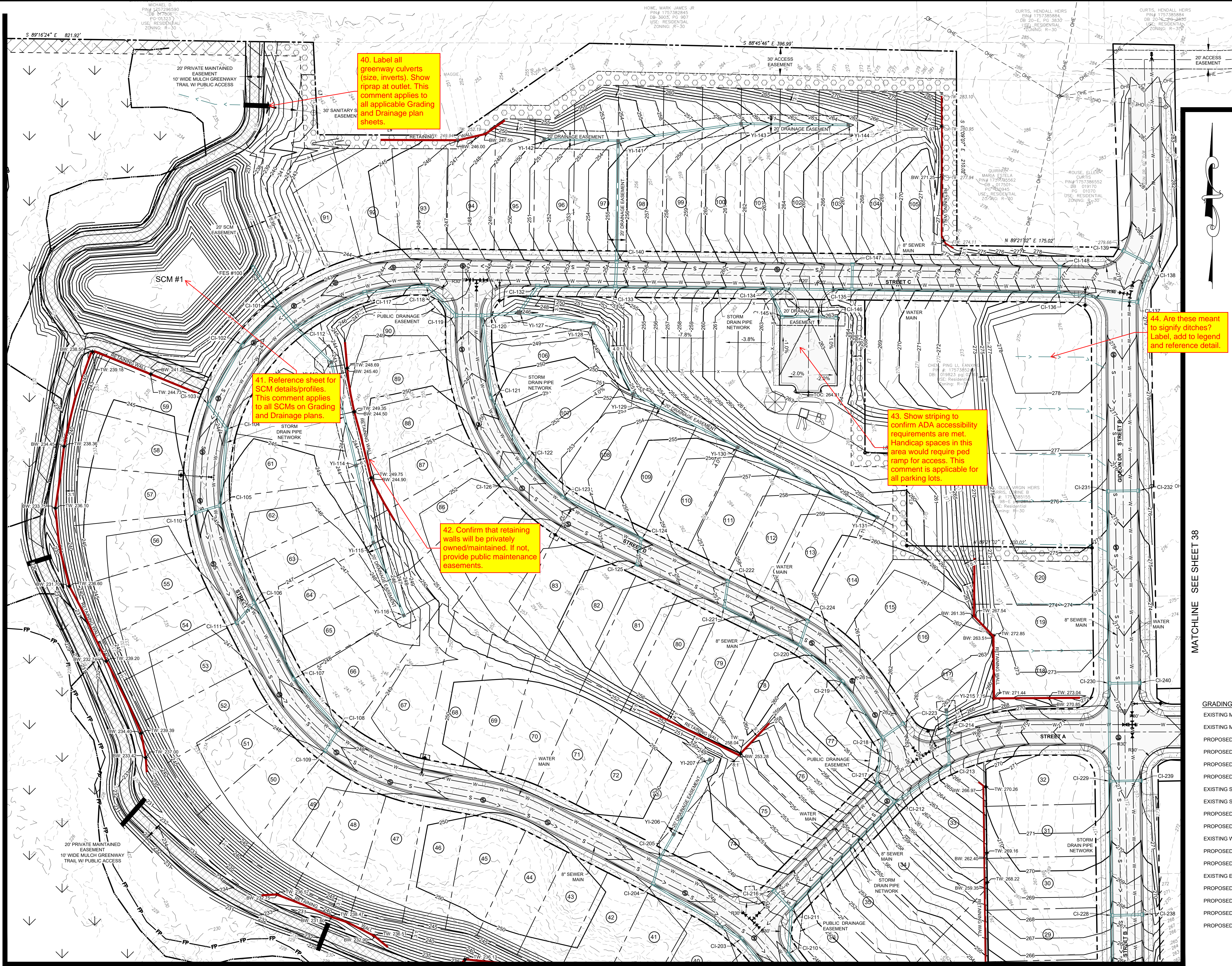
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MATCHLINE SEE SHEET 34

MATCHLINE SEE SHEET 38

MATCHLINE SEE SHEET 37



40. Label all greenway culverts (size, inverts). Show riprap at outlet. This comment applies to all applicable Grading and Drainage plan sheets.

41. Reference sheet for SCM details/profiles. This comment applies to all SCMs on Grading and Drainage plans.

42. Confirm that retaining walls will be privately owned/maintained. If not, provide public maintenance easements.

43. Show striping to confirm ADA accessibility requirements are met. Handicap spaces in this area would require ped ramp for access. This comment is applicable for all parking lots.

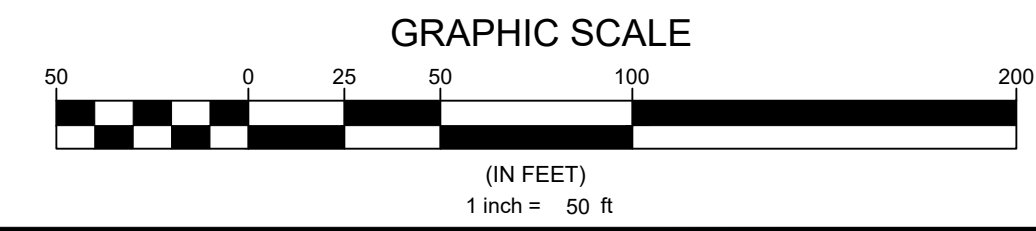
44. Are these meant to signify ditches? Label, add to legend and reference detail.

45. Add rim and invert information to all catch basins, yard inlets, etc. This comment applies to all grading and drainage plan sheets.

46. Add drainage pipe labels (length, size, material, slope). This comment applies to all grading and drainage plan sheets.

GRADING PLAN LEGEND

EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	- - - - -
PROPOSED MINOR CONTOUR	---
PROPOSED MAJOR CONTOUR	- - - - -
PROPOSED R.O.W.	---
PROPOSED LOT LINE	- - - - -
EXISTING SEWER LINE	--- S --- S
EXISTING SEWER MANHOLE	⊙
PROPOSED SEWER LINE	---
PROPOSED SEWER MANHOLE	⊙
EXISTING WATER LINE	--- W --- W
PROPOSED WATERLINE	---
PROPOSED GATE VALVE	⊕
EXISTING EASEMENT	---
PROPOSED EASEMENT	---
PROPOSED STORM WATER INLET	⊕
PROPOSED STORM PIPE	---
PROPOSED RETAINING WALL	---



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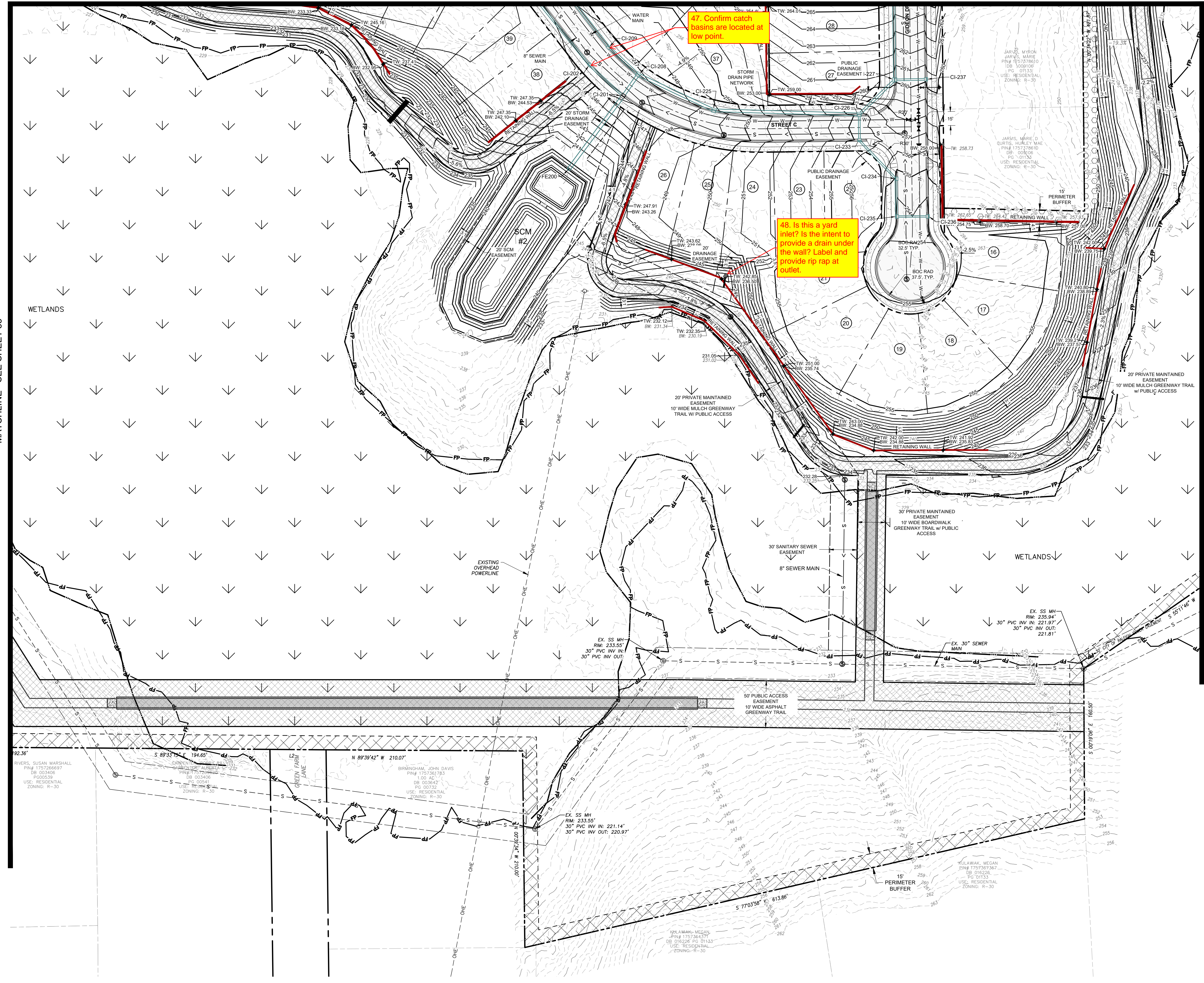
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Sheet Title: **GRADING & DRAINAGE PLAN SHEET 3 OF 6**

Sheet #:

36

MATCHLINE SEE SHEET 36



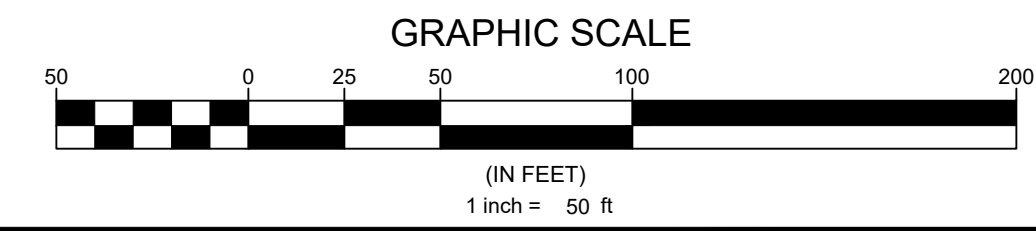
49. Show where the Matchline to Sheet 38 starts.

MATCHLINE SEE SHEET 35

MATCHLINE SEE SHEET 37

GRADING PLAN LEGEND

EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	- - - - -
PROPOSED MINOR CONTOUR	---
PROPOSED MAJOR CONTOUR	---
PROPOSED R.O.W.	---
PROPOSED LOT LINE	---
EXISTING SEWER LINE	--- S --- S
EXISTING SEWER MANHOLE	⊙
PROPOSED SEWER LINE	---
PROPOSED SEWER MANHOLE	⊙
EXISTING WATER LINE	--- W --- W
PROPOSED WATERLINE	---
PROPOSED GATE VALVE	⊕
EXISTING EASEMENT	---
PROPOSED EASEMENT	---
PROPOSED STORM WATER INLET	⊕
PROPOSED STORM PIPE	---
PROPOSED RETAINING WALL	---



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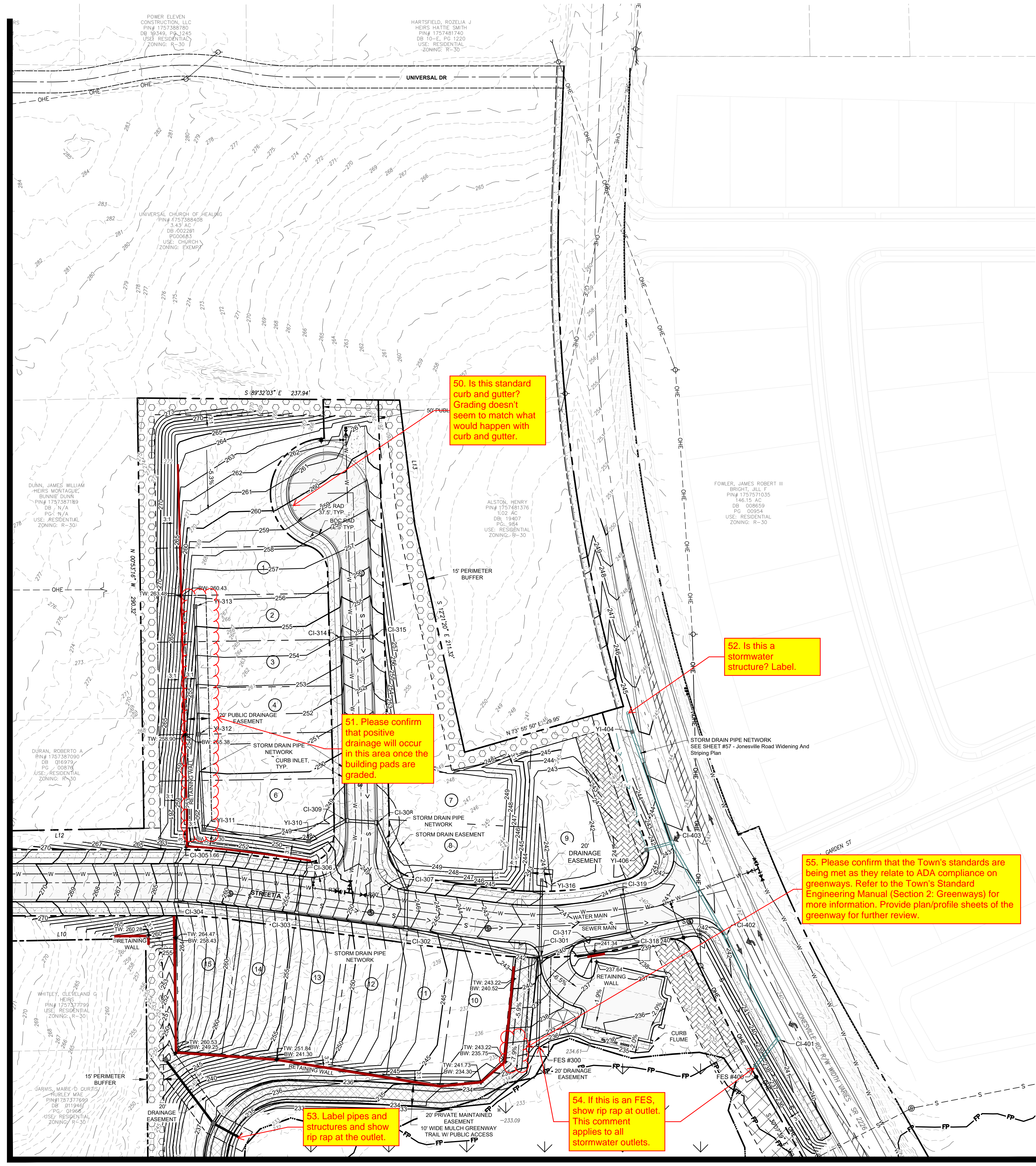
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No.	Description

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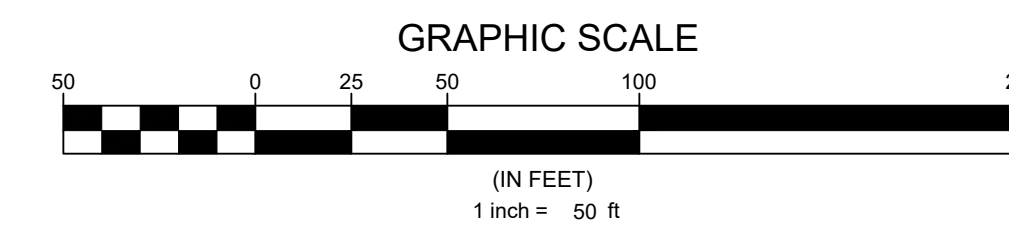
Sheet#:
37

MATCHLINE SEE SHEET 36



MATCHLINE SEE SHEET 37

56. Should be Sheet 39



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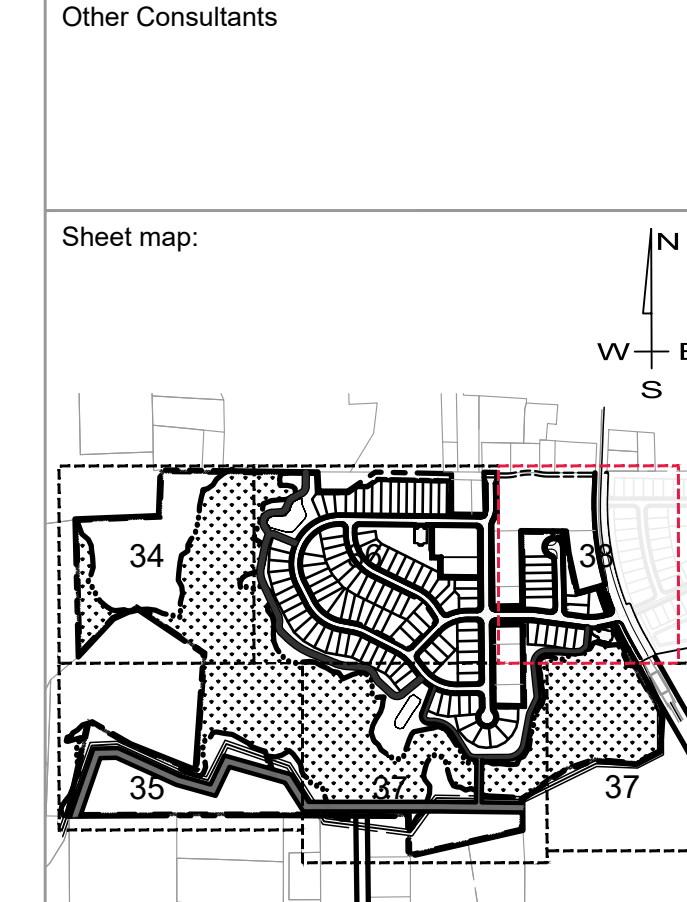
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Sheet Title:

GRADING & DRAINAGE PLAN SHEET 5 OF 6

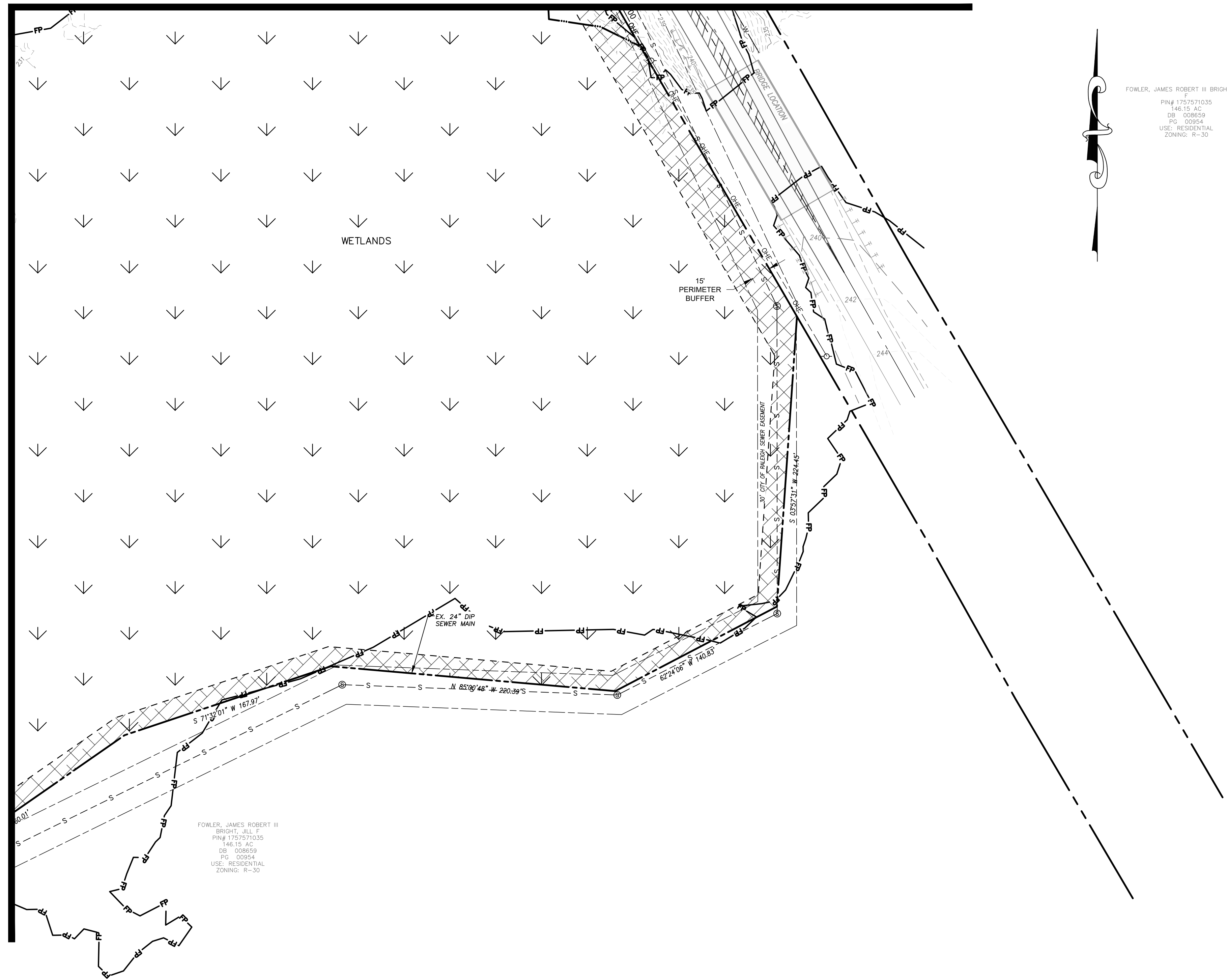
Sheet #:

38

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MATCHLINE SEE SHEET 38

MATCHLINE SEE SHEET 37



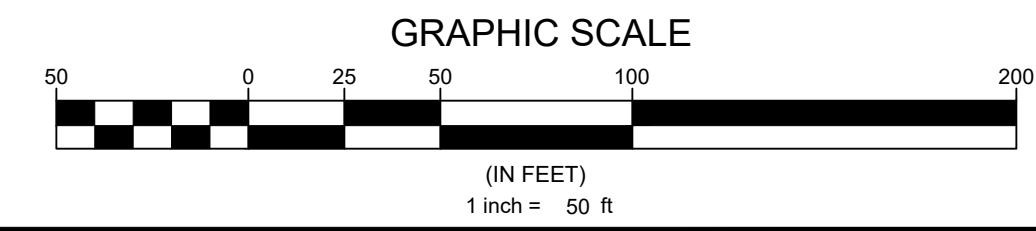
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 PIN# 1757571035
 146.15 AC
 DB: 008659
 PG: 00054
 USE: RESIDENTIAL
 ZONING: R-30

FOWLER, JAMES ROBERT III
 BRIGHT, JILL
 PIN# 1757571035
 146.15 AC
 DB: 008659
 PG: 00054
 USE: RESIDENTIAL
 ZONING: R-30

GRADING PLAN LEGEND

EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	----
PROPOSED MINOR CONTOUR	_____
PROPOSED MAJOR CONTOUR	_____
PROPOSED R.O.W.	_____
PROPOSED LOT LINE	-----
EXISTING SEWER LINE	--- S --- S ---
EXISTING SEWER MANHOLE	⊙
PROPOSED SEWER LINE	--- S --->
PROPOSED SEWER MANHOLE	⊙
EXISTING WATER LINE	--- W --- W ---
PROPOSED WATERLINE	--- W --- W ---
PROPOSED GATE VALVE	⊕
EXISTING EASEMENT	----
PROPOSED EASEMENT	----
PROPOSED STORM WATER INLET	⊠
PROPOSED STORM PIPE	====
PROPOSED RETAINING WALL	=====

57. Should be sheet 39



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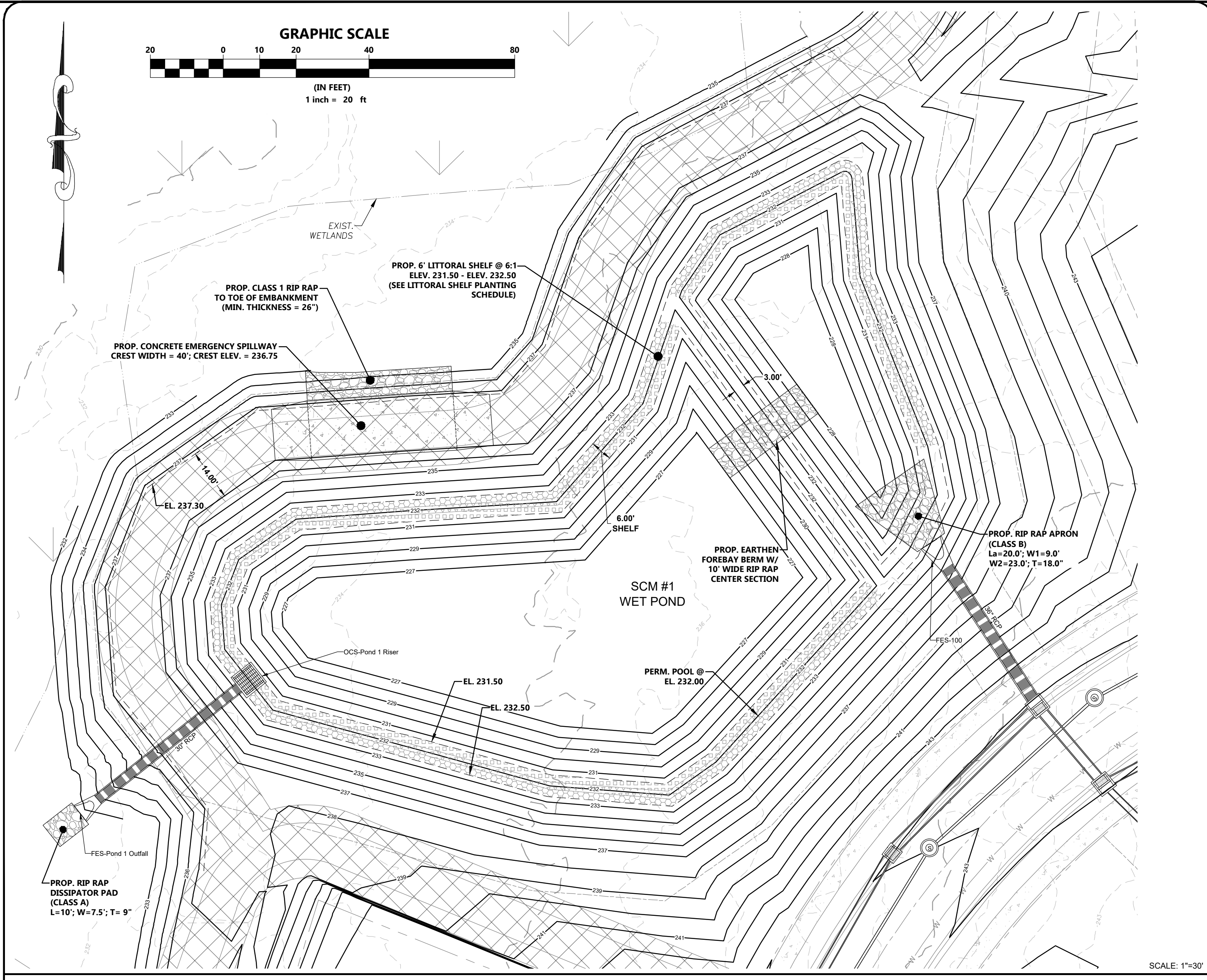
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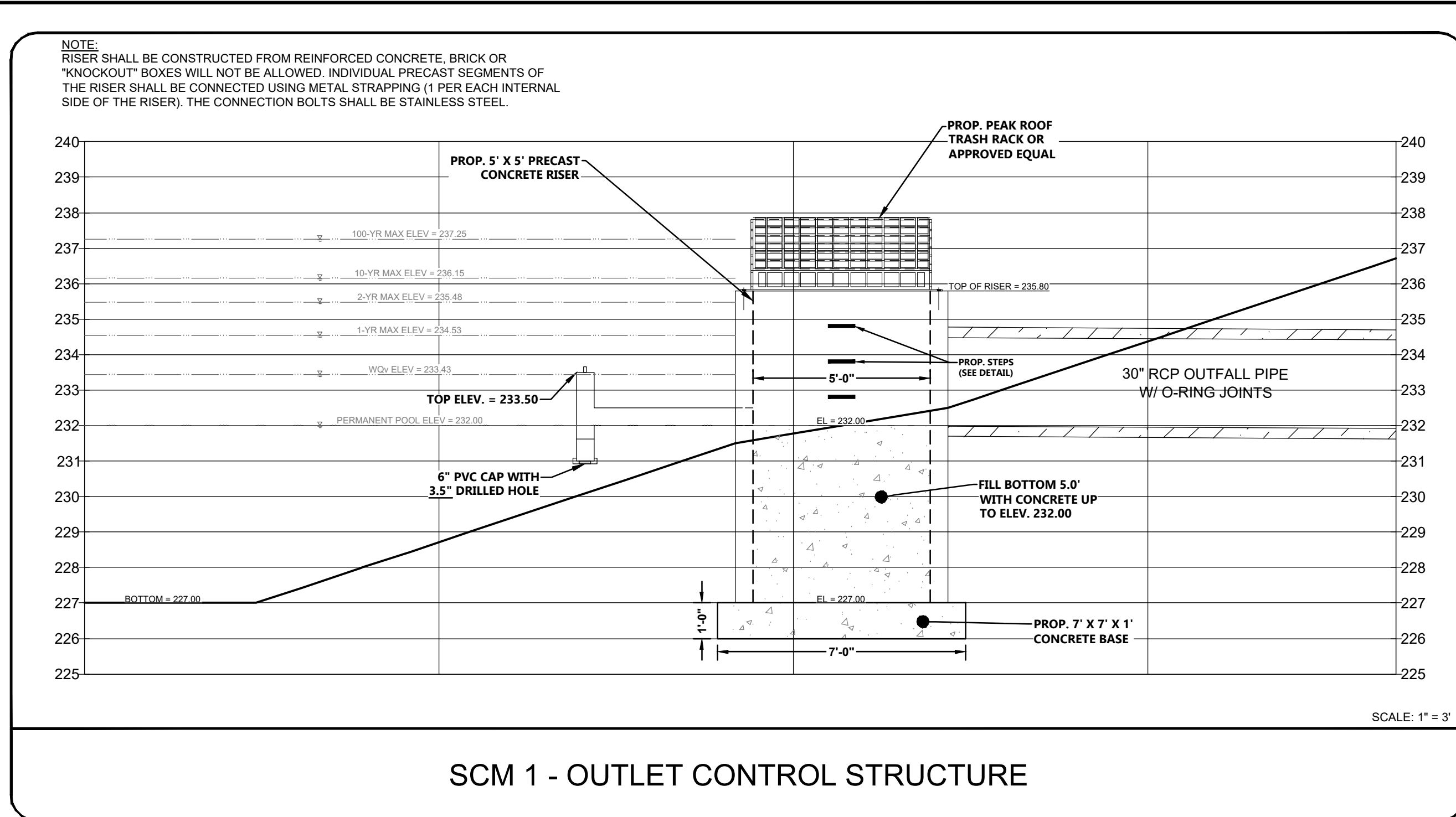
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Sheet Title: **GRADING & DRAINAGE PLAN SHEET**
6 OF 6

Sheet #: **37**



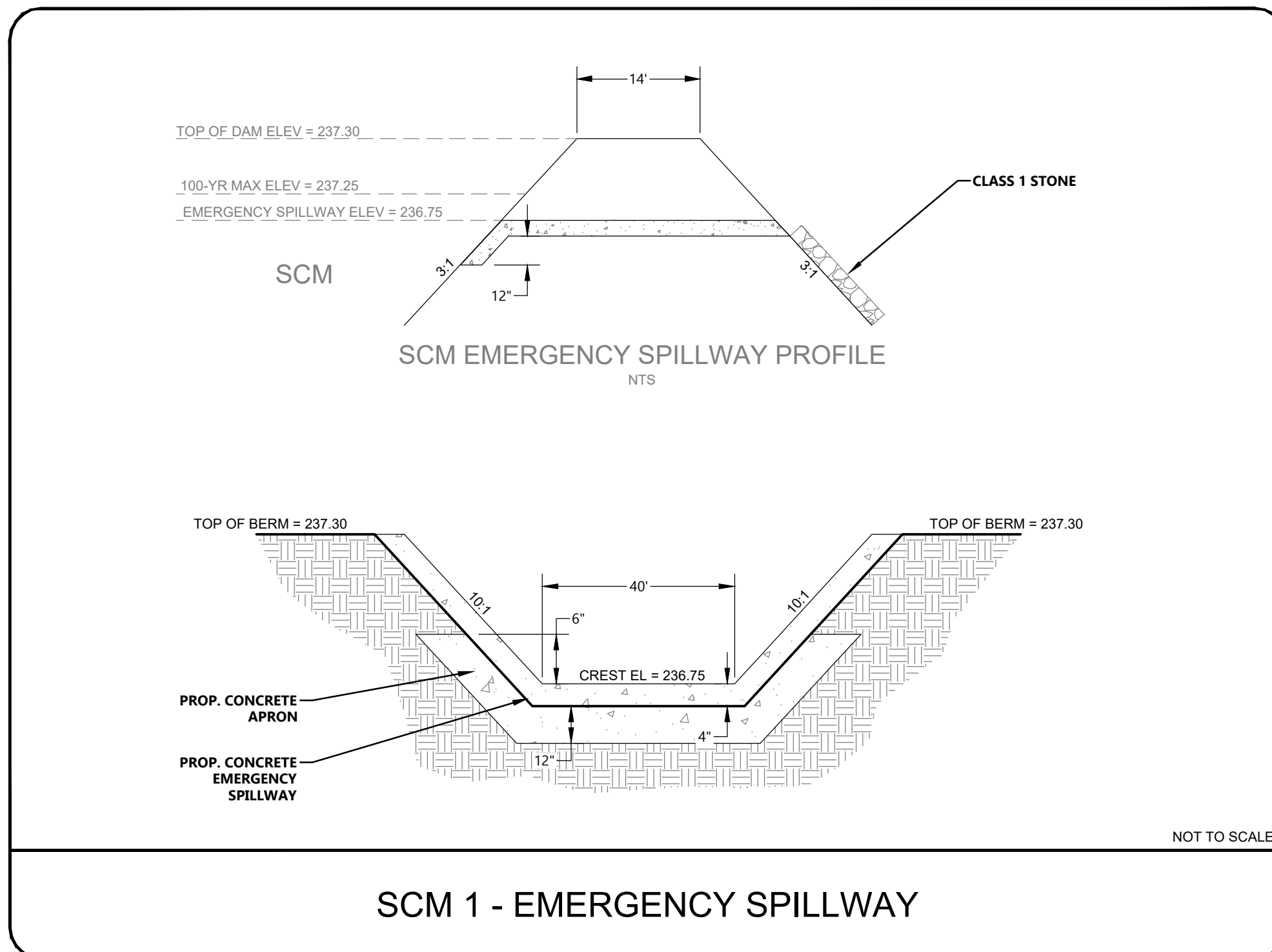
SCM 1 - WET POND PLAN VIEW



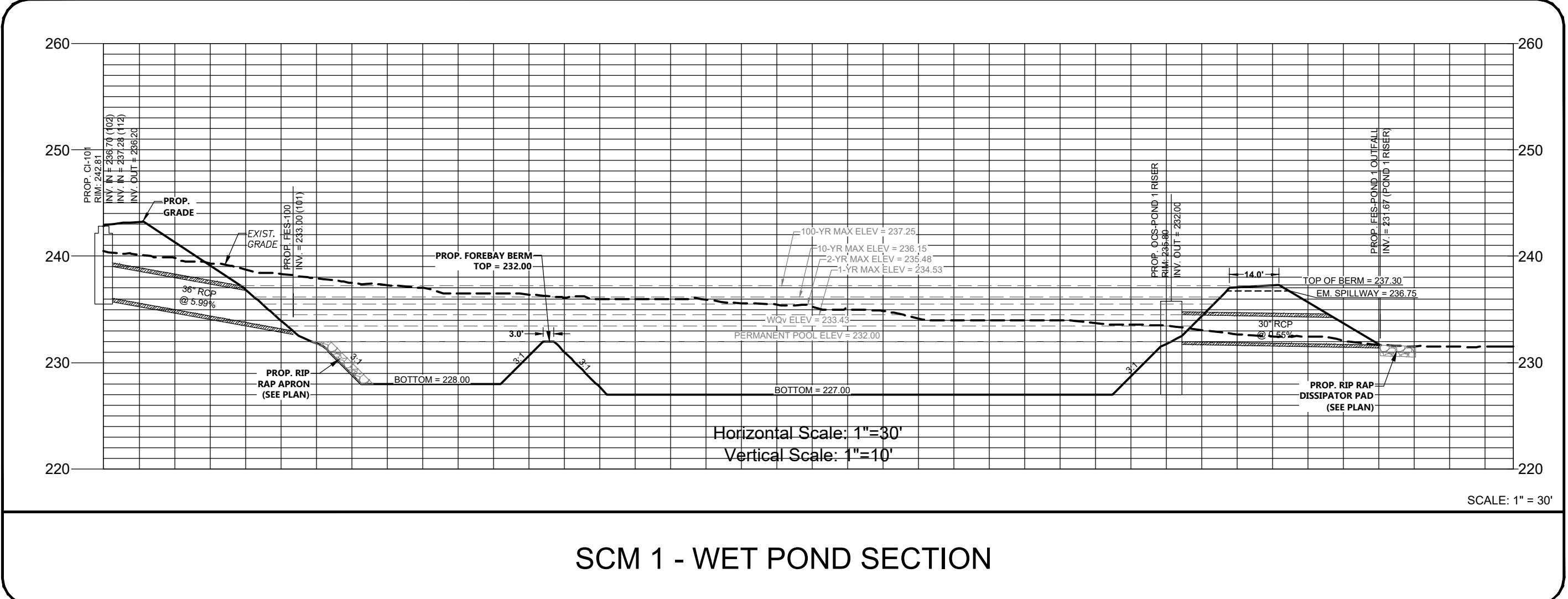
SCM 1 - OUTLET CONTROL STRUCTURE

LITTORAL SHELF PLANTING SCHEDULE

ELEV. RANGE	SHELF AREA	SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SPACING
231.50 - 231.83	1,020 sf		ASCLEPIAS INCARNATA	SWAMP MILKWEED	255	24"-36" O.C.
231.83 - 232.17	1,042 sf		CAREX TENERA	QUILL SEDGE	265	24"-36" O.C.
232.17 - 232.50	1,063 sf		CHELONE GLABRA	WHITE TURTLEHEAD	270	24"-36" O.C.



SCM 1 - EMERGENCY SPILLWAY



SCM 1 - WET POND SECTION

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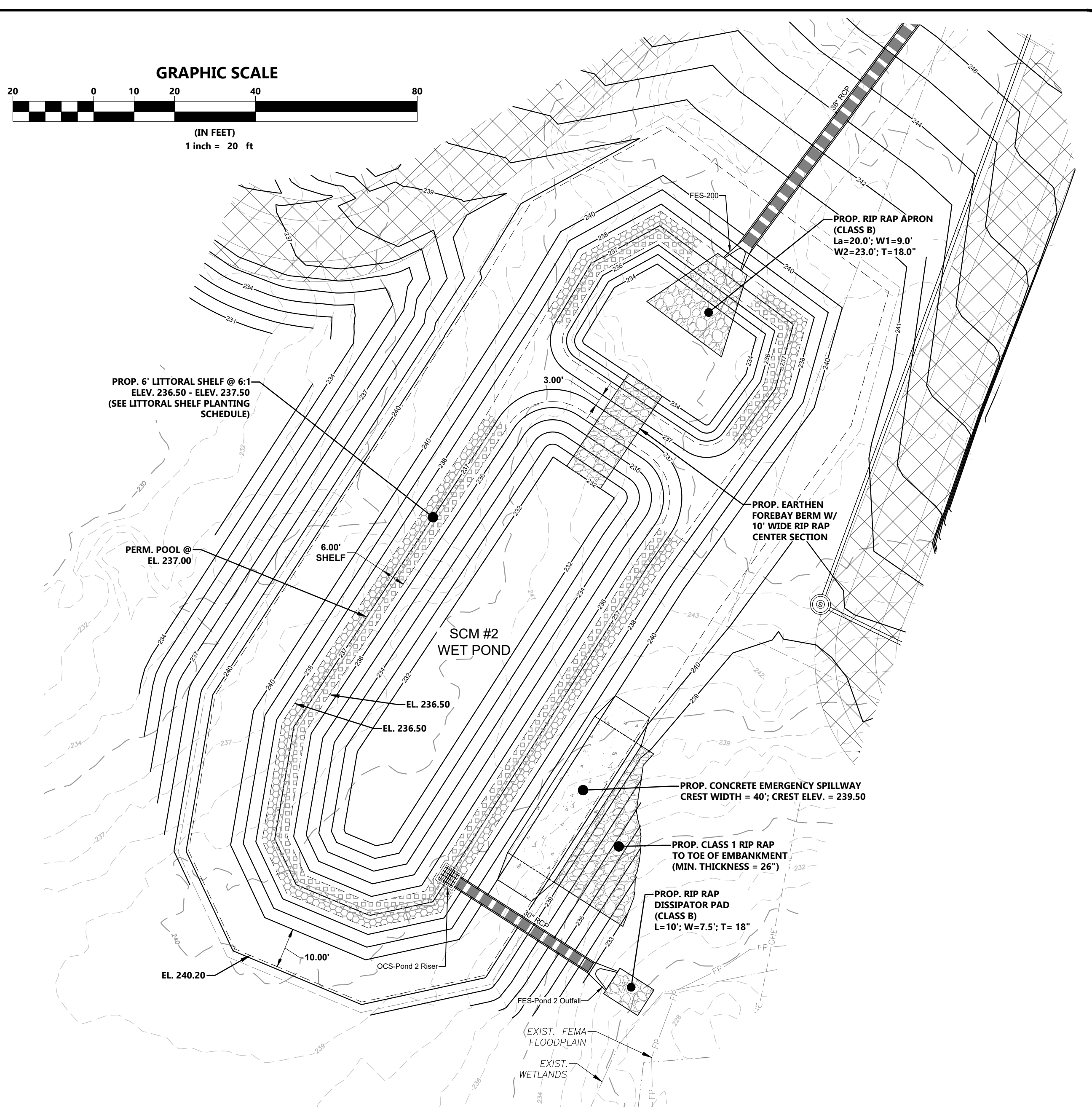
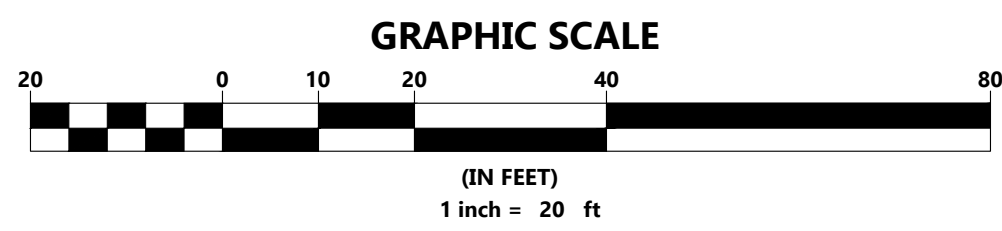
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Sheet Title:
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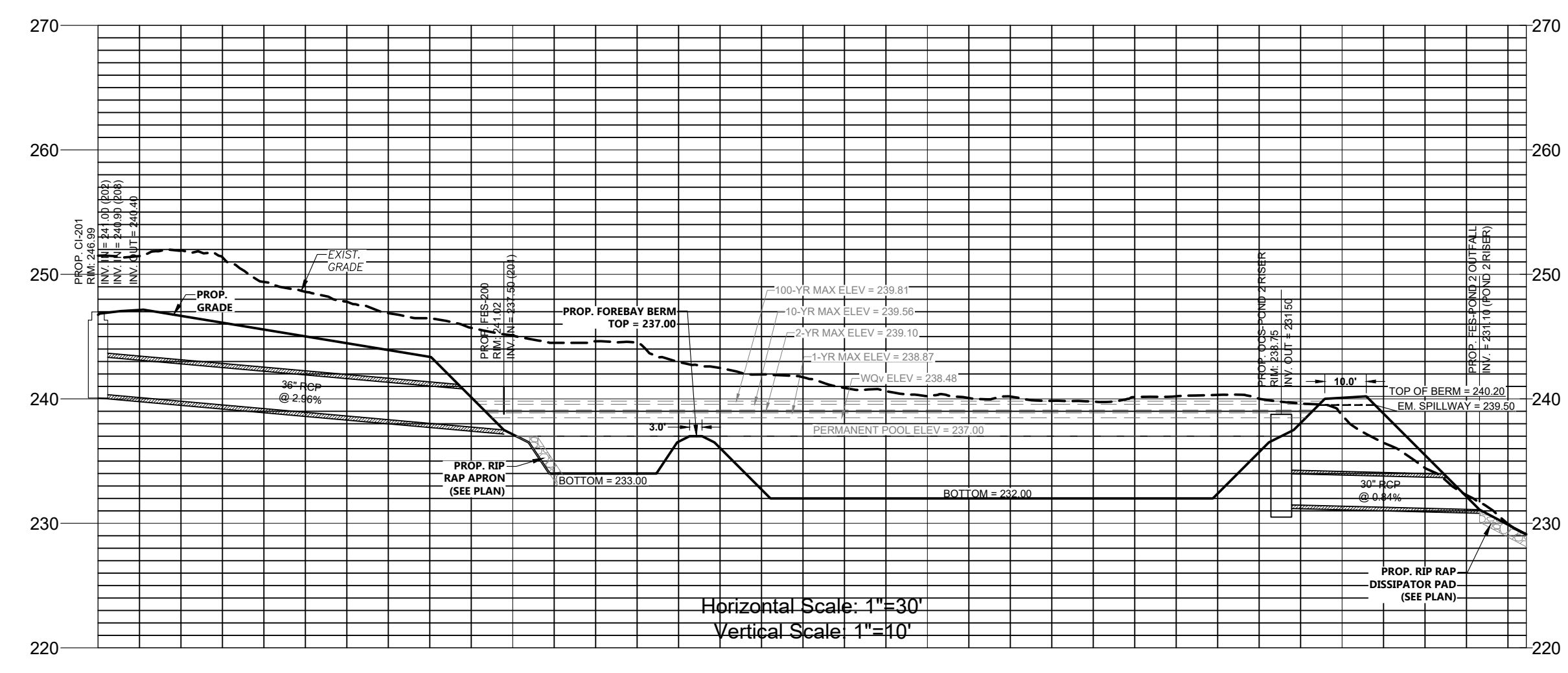
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SCM 2 - WET POND PLAN VIEW

SCALE: 1"=30'



SCM 2 - WET POND SECTION

SCALE: 1" = 30'

LITTORAL SHELF PLANTING SCHEDULE						
ELEV. RANGE	SHELF AREA	SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SPACING
236.50 - 236.83	696 sf	[Symbol]	ASCLEPIAS INCARNATA	SWAMP MILKWEED	175	24"-36" O.C.
236.83 - 237.17	723 sf	[Symbol]	CAREX TENERA	QUILL SEDGE	185	24"-36" O.C.
237.17 - 237.50	750 sf	[Symbol]	CHELONE GLABRA	WHITE TURTLEHEAD	190	24"-36" O.C.

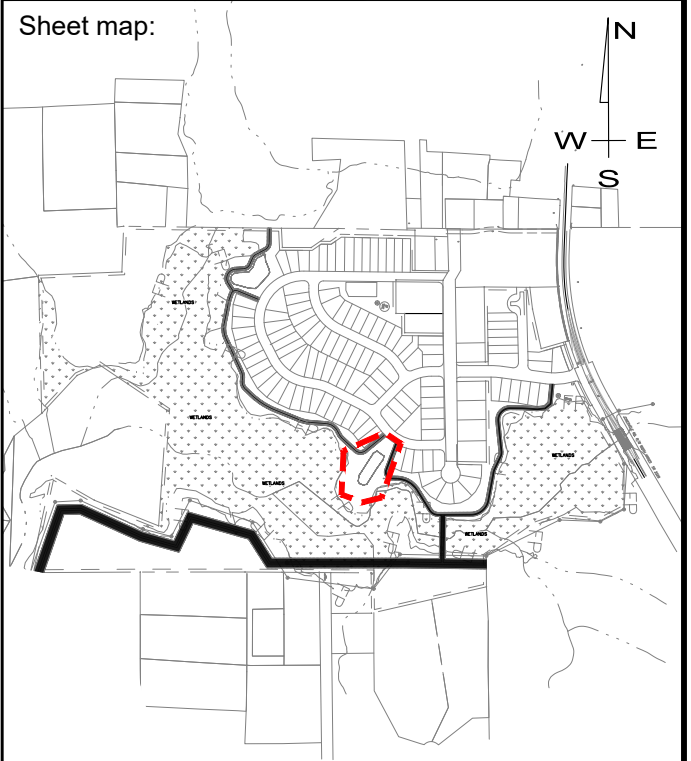
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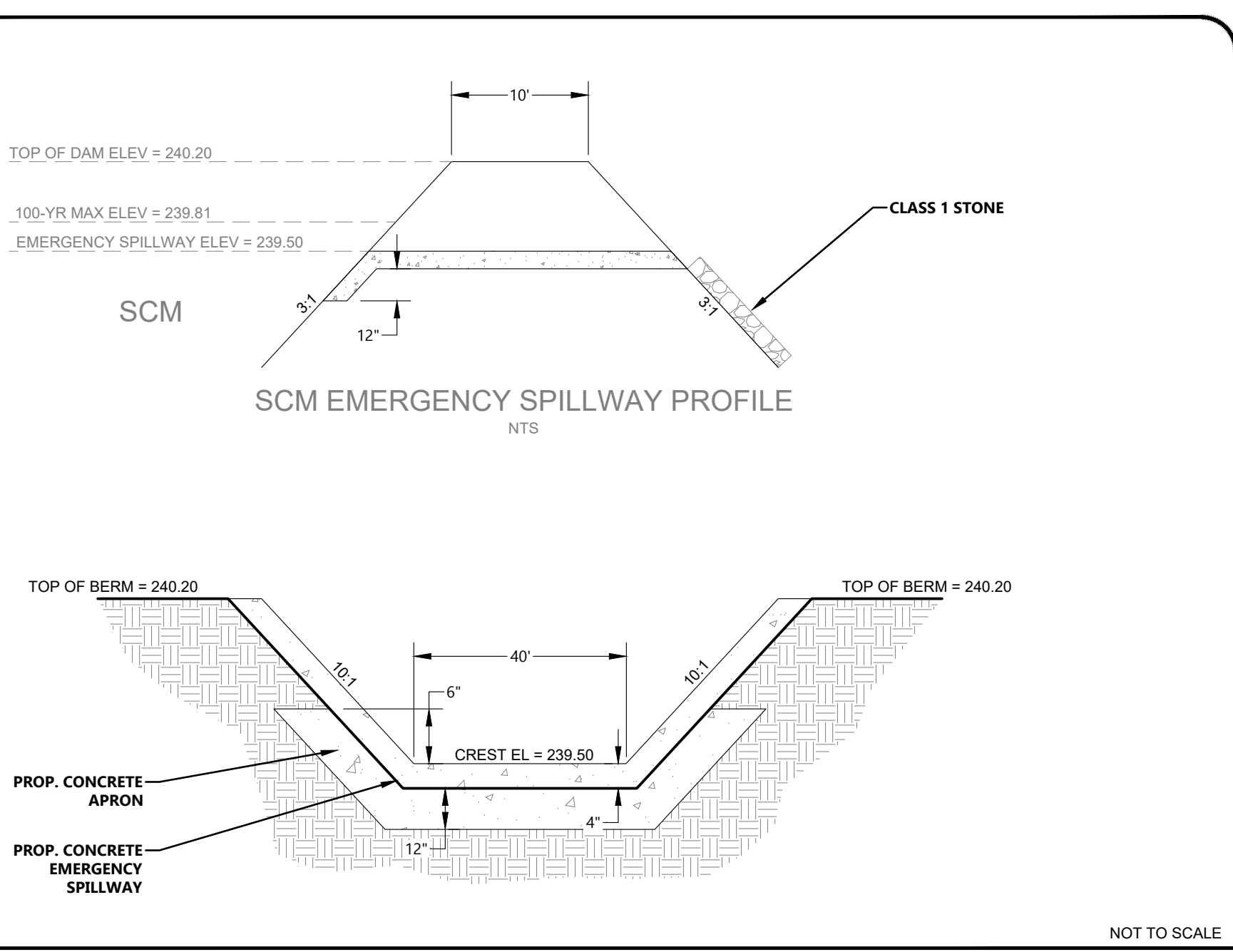
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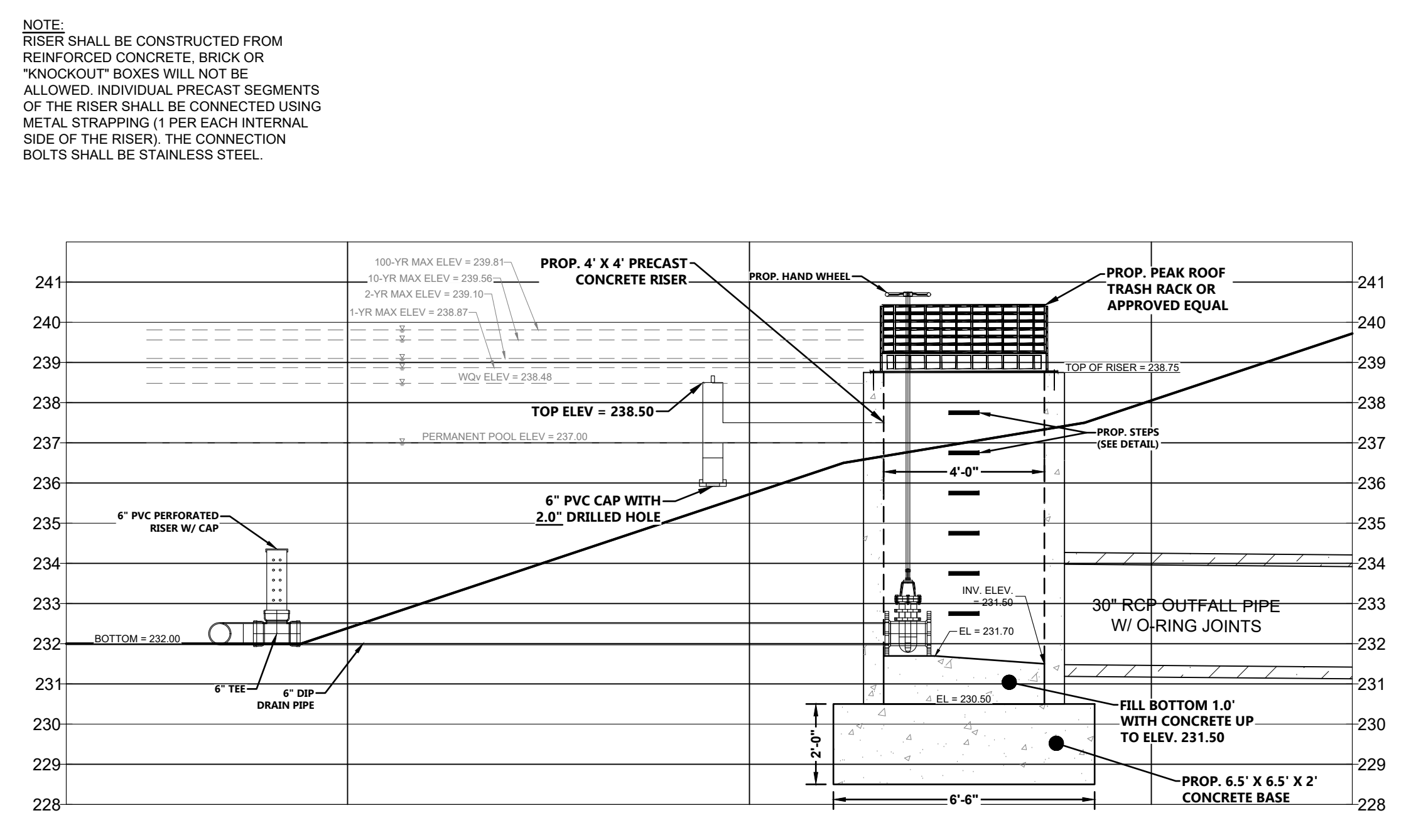
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SCM 2 PLAN

Sheet #:
41



SCM 2 - EMERGENCY SPILLWAY

NOT TO SCALE



SCM 2 - OUTLET CONTROL STRUCTURE

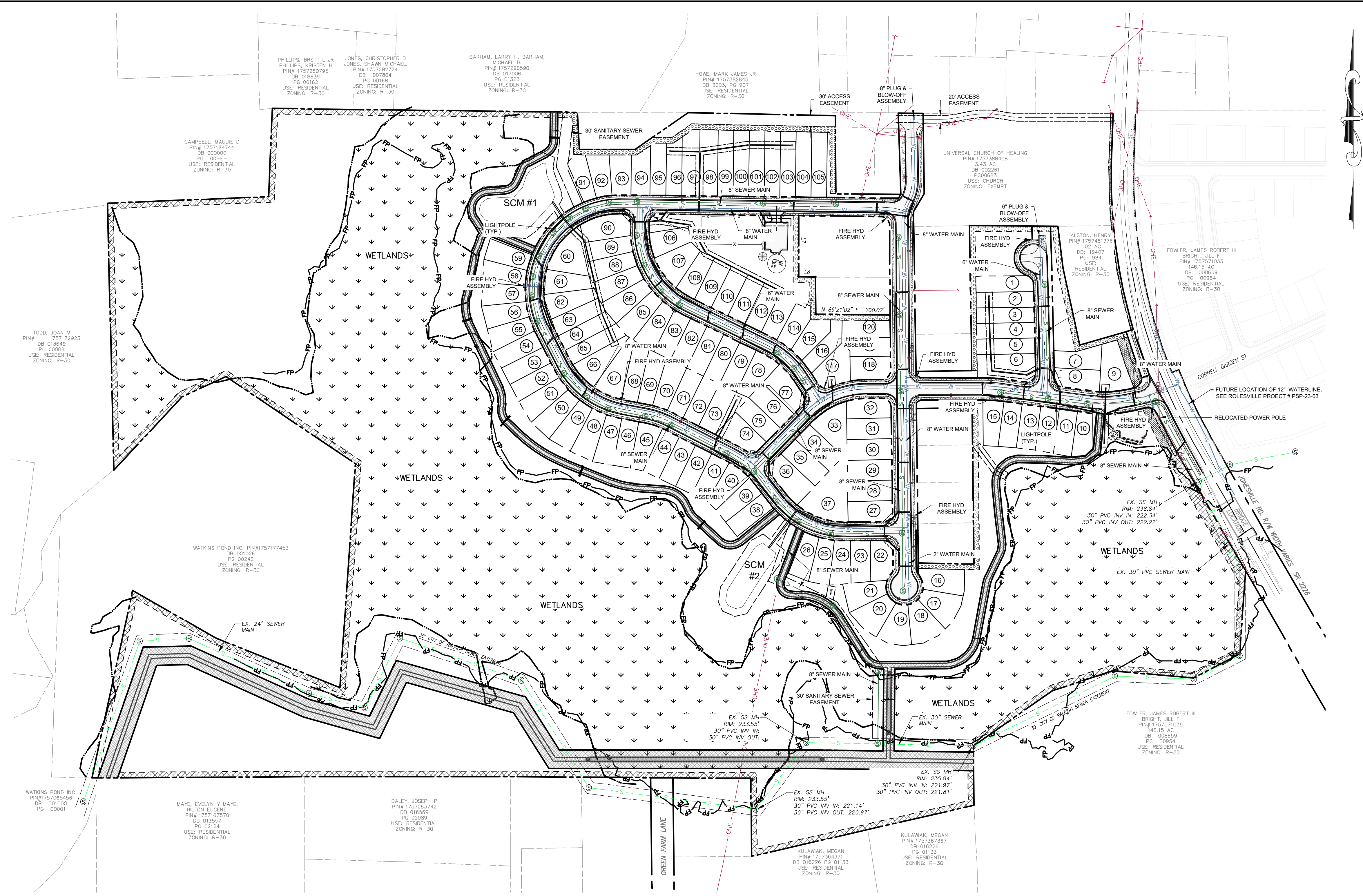
SCALE: 1" = 3'

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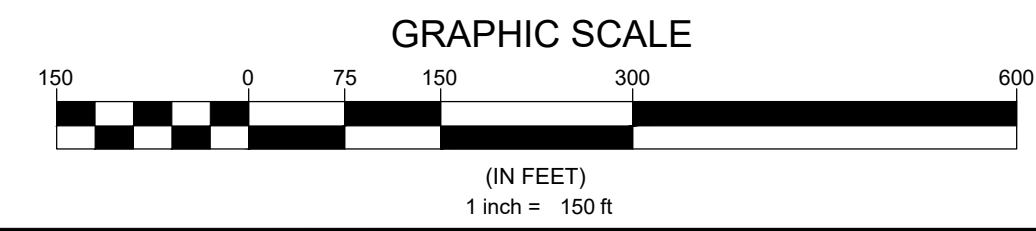


UTILITY PLAN LEGEND

PROPOSED R.O.W.	---
PROPOSED LOT LINE	---
EXISTING SEWER LINE	---S---
EXISTING SEWER MANHOLE	⊙
PROPOSED SEWER LINE	---S---
PROPOSED SEWER MANHOLE	⊙
EXISTING WATER LINE	---W---
PROPOSED WATERLINE	---W---
PROPOSED FIRE HYDRANT	⊙
EXISTING EASEMENT	---
PROPOSED EASEMENT	---
LIGHT POLE	⊙

CONDITION OF APPROVAL NOTE:

- A WATER MODEL IS REQUIRED TO BE COMPLETED BY THE PROJECT ENGINEER TO DEMONSTRATE THAT THE PROPOSED WATERLINE EXTENSION WILL PROVIDE ADEQUATE FIRE FLOW AND PRESSURE FOR THE PROPOSED DEVELOPMENT.



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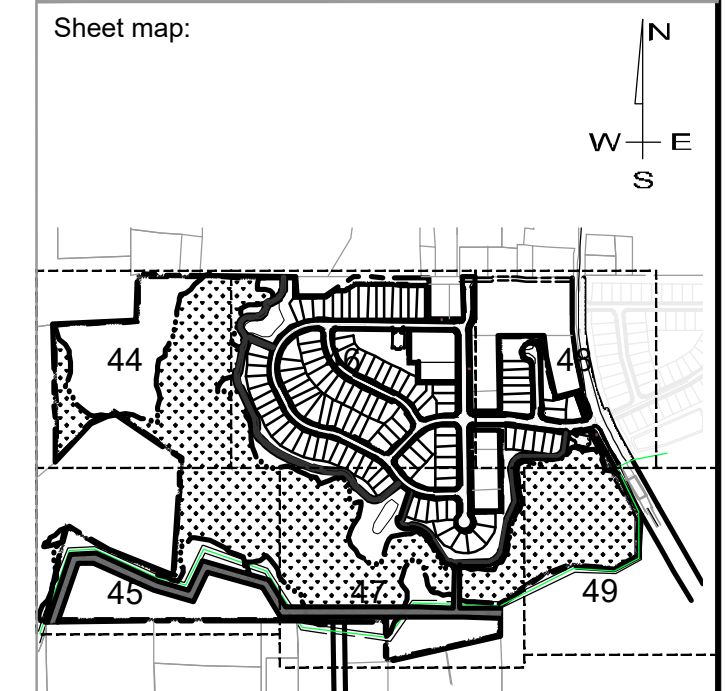
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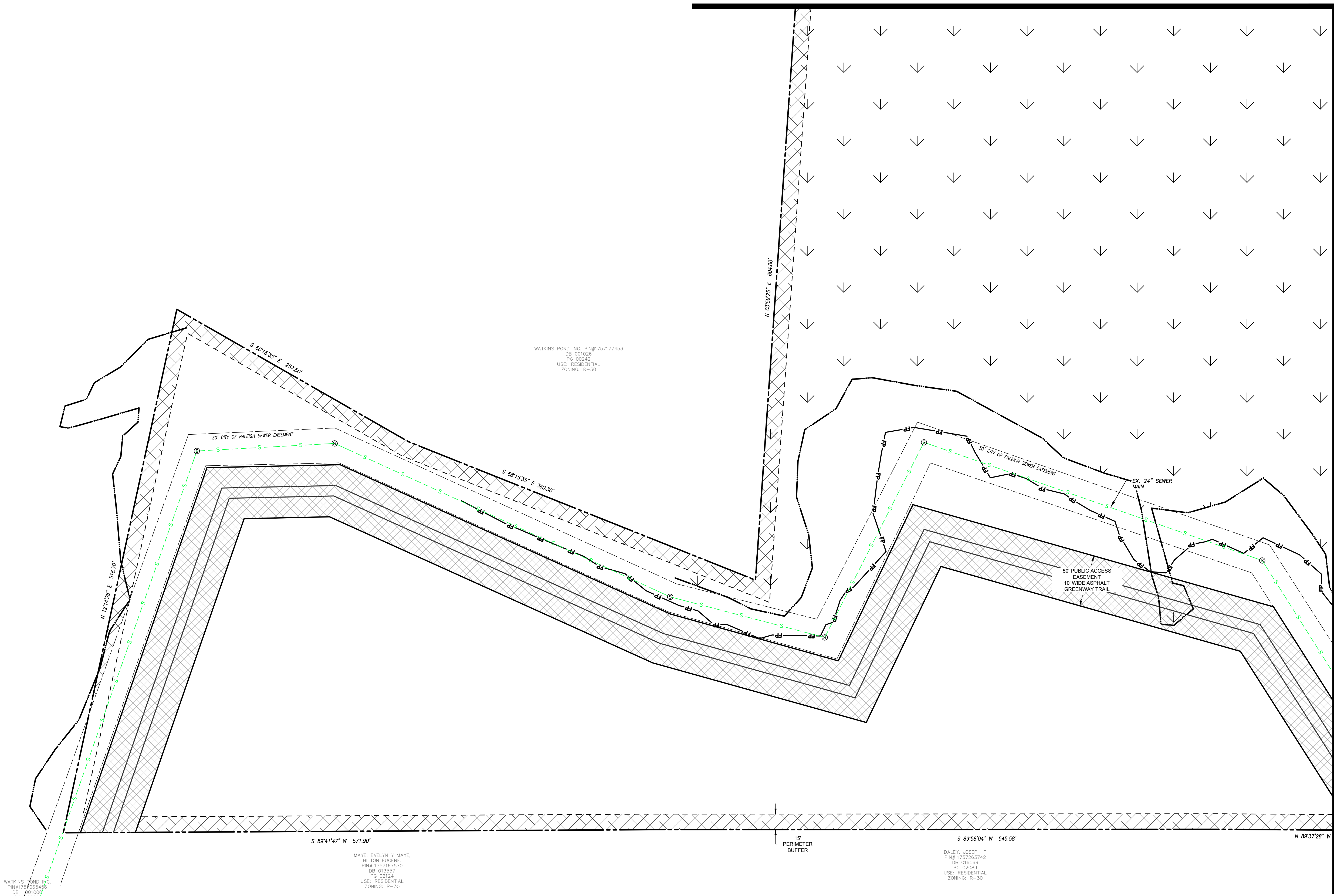
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Sheet Title:
OVERALL UTILITY PLAN

Sheet #:
43

MATCHLINE SEE SHEET 44

MATCHLINE SEE SHEET 47

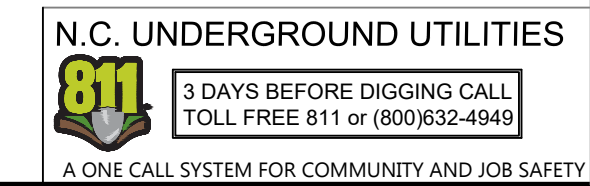
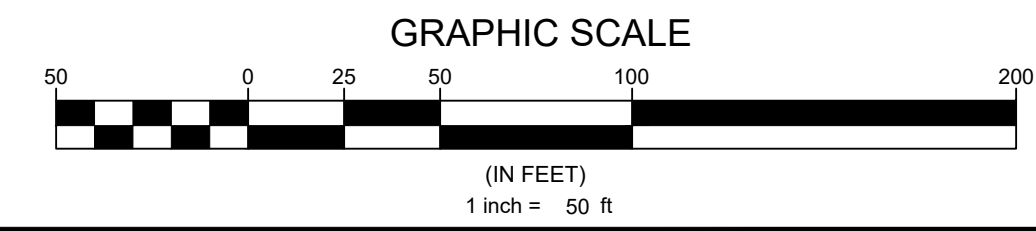


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 PG: 00242
 USE: RESIDENTIAL
 ZONING: R-30

MAYE, EVELYN Y MAYE,
 HILTON EUGENE
 PIN# 1757167570
 DB: 013557
 PG: 02124
 USE: RESIDENTIAL
 ZONING: R-30

DALEY, JOSEPH P
 PIN# 1757263742
 DB: 016569
 PG: 02089
 USE: RESIDENTIAL
 ZONING: R-30



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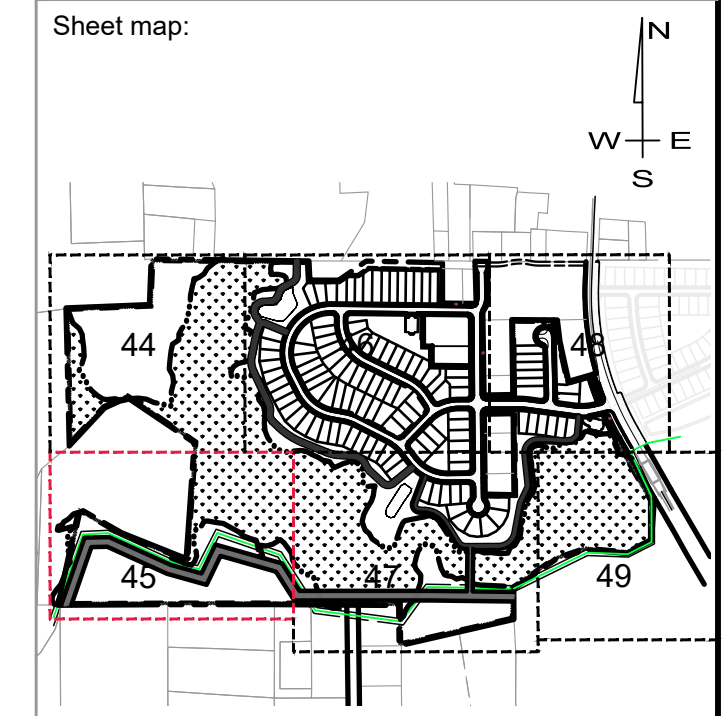
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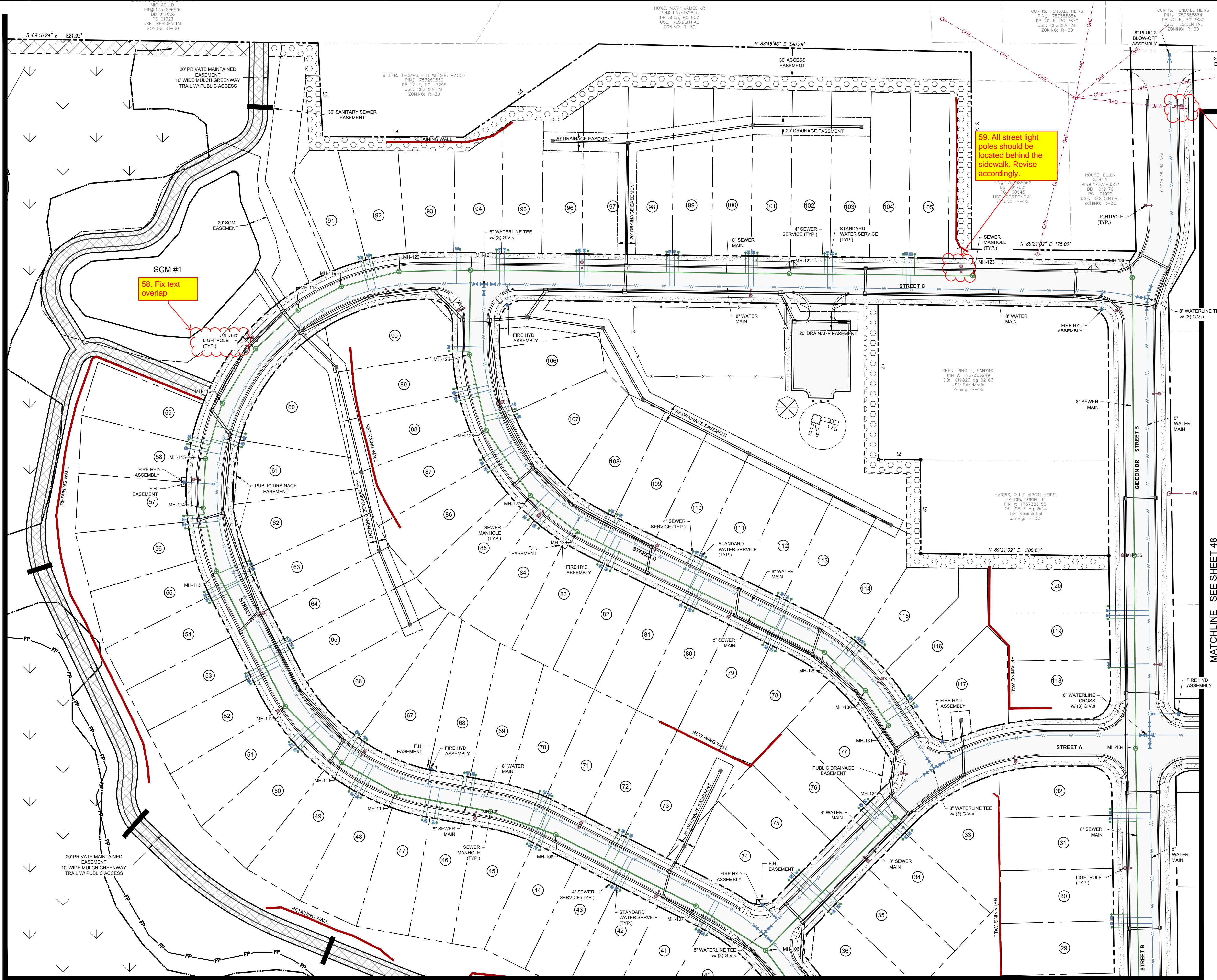
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No.	Date	Description

Sheet Title:
UTILITY PLAN SHEET 2 OF 6

Sheet #:
45

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58. Fix text overlap

59. All street light poles should be located behind the sidewalk. Revise accordingly.

60. Light pole and electrical pole are in very close proximity and very close to the sidewalk. Confirm constructability of this.

61. Please show driveway locations for individual lots to check for conflicts. This applies to all utility sheets.

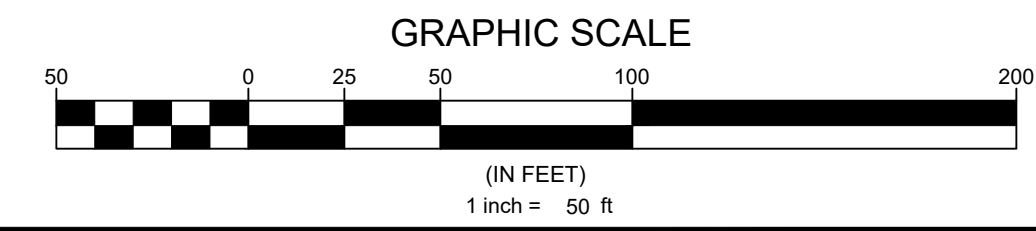
MATCHLINE SEE SHEET 44

MATCHLINE SEE SHEET 48

MATCHLINE SEE SHEET 47

UTILITY PLAN LEGEND

PROPOSED R.O.W.	---
PROPOSED LOT LINE	---
EXISTING SEWER LINE	---S---
EXISTING SEWER MANHOLE	⊙
PROPOSED SEWER LINE	—S—
PROPOSED SEWER MANHOLE	⊙
PROPOSED SEWER CLEANOUT	—S—
EXISTING WATER LINE	---W---
PROPOSED WATER LINE	—W—
PROPOSED WATER SERVICE	—W—
PROPOSED GATE VALVE	—W—
PROPOSED FIRE HYDRANT	—W—
EXISTING EASEMENT	---
PROPOSED EASEMENT	---
LIGHT POLE	○



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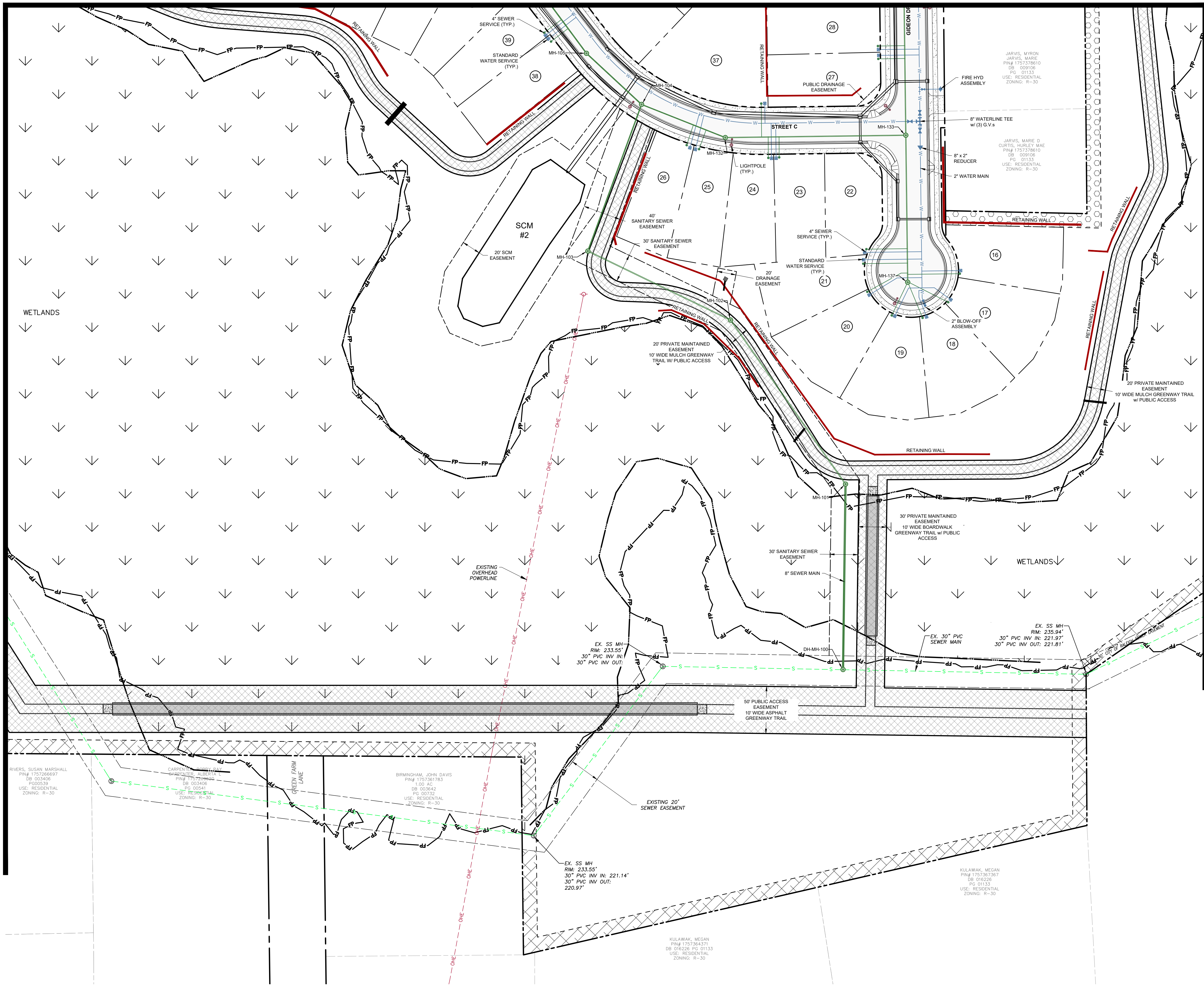
HARRIS CREEK FARMS
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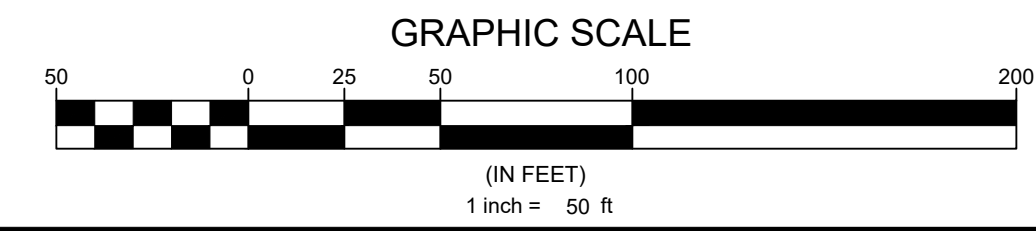
Sheet Title:
UTILITY PLAN SHEET 3 OF 6

Sheet #:
46



UTILITY PLAN LEGEND

PROPOSED R.O.W.	---
PROPOSED LOT LINE	---
EXISTING SEWER LINE	-S-S-
EXISTING SEWER MANHOLE	⊙
PROPOSED SEWER LINE	-S-
PROPOSED SEWER MANHOLE	⊙
PROPOSED SEWER CLEANOUT	-S-
EXISTING WATER LINE	-W-W-
PROPOSED WATER LINE	-W-
PROPOSED WATER SERVICE	-W-
PROPOSED GATE VALVE	⊙
PROPOSED FIRE HYDRANT	⊙
EXISTING EASEMENT	---
PROPOSED EASEMENT	---
LIGHT POLE	⊙



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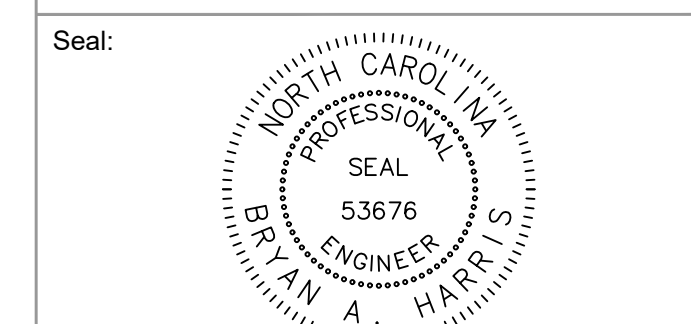
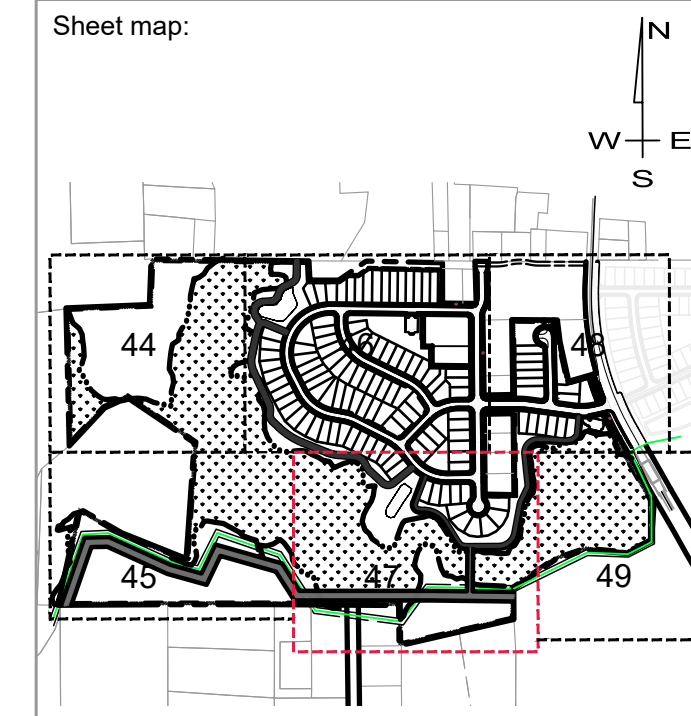
Developer
THE CSC GROUP
 10030 Green Level Church Rd, Suite 802 #149, Cary, NC 27519

Engineer
QUANTECH ENGINEERING
 Firm # F-1517
 15000 Weston Parkway
 Cary, N.C. 27513
 (919) 996-9455

Surveyor
BCSC Bateman Civil Survey Company
 2524 Reliance Avenue
 Apex, NC 27539
 919-557-1080 ext 109
 www.batemancivilsurvey.com

Jurisdiction / Municipality
Rolesville
 Town of Rolesville
 502 Southtown Cir
 Rolesville, NC 27571
 Phone: 919-554-6517
 PSP-24-05

Other Consultants



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Project:
HARRIS CREEK FARMS
 CID-25-??

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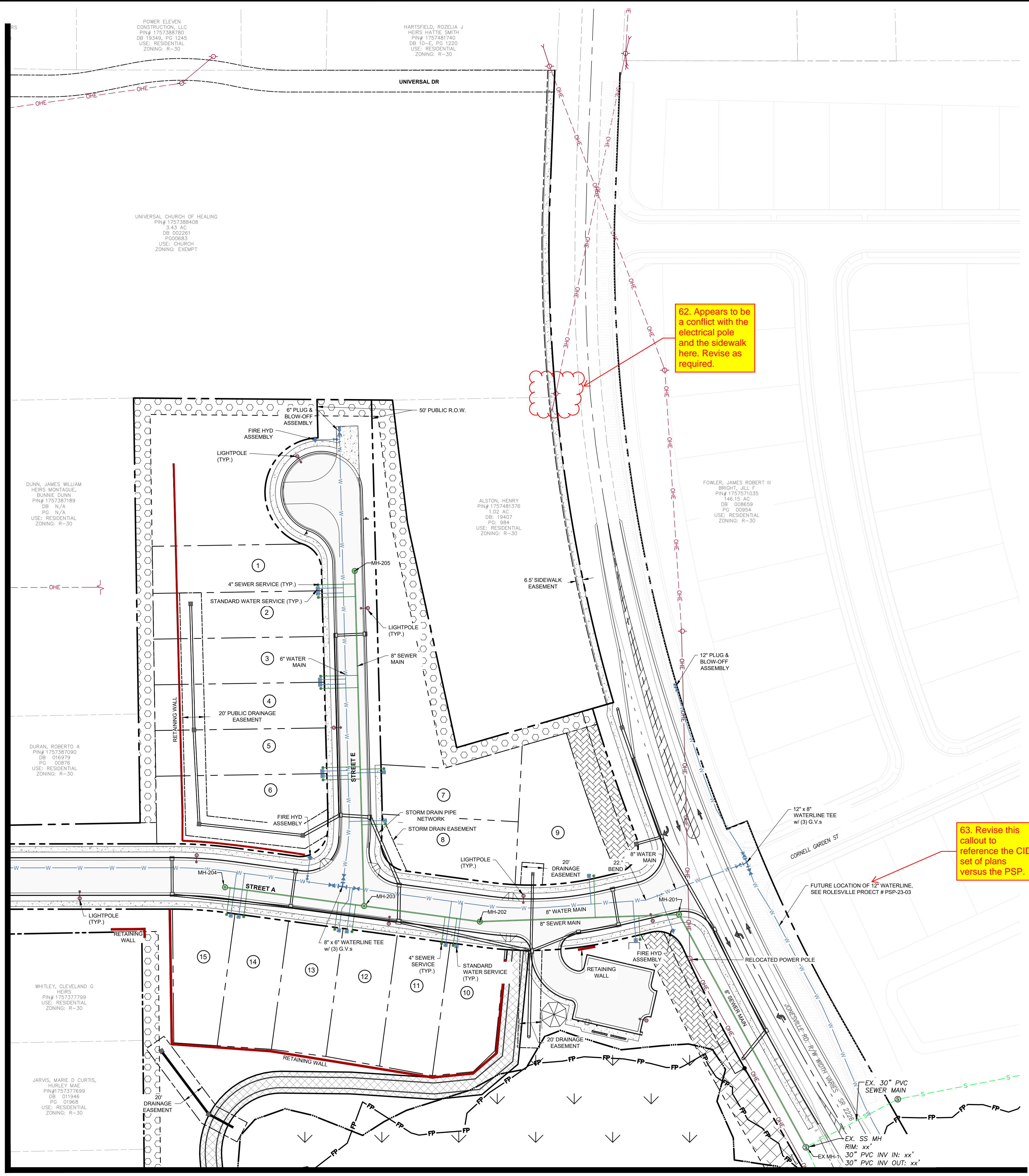
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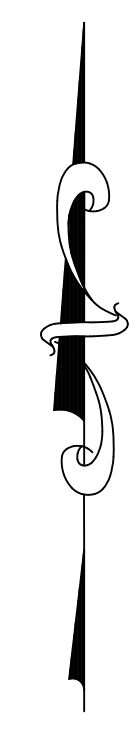
Sheet Title:
UTILITY PLAN SHEET 4 OF 6

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MATCHLINE SEE SHEET 46



MATCHLINE SEE SHEET 49

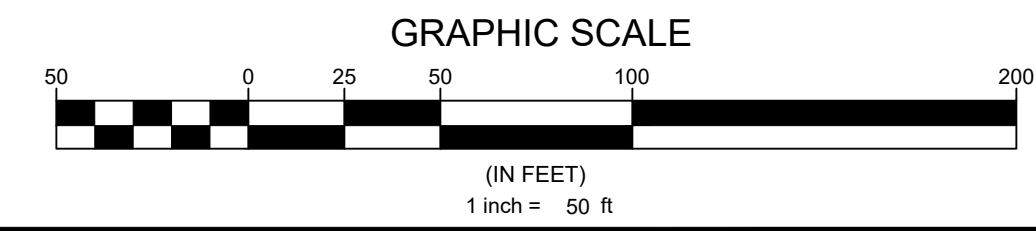


62. Appears to be a conflict with the electrical pole and the sidewalk here. Revise as required.

63. Revise this callout to reference the CID set of plans versus the PSP.

UTILITY PLAN LEGEND

PROPOSED R.O.W.	---
PROPOSED LOT LINE	---
EXISTING SEWER LINE	---
EXISTING SEWER MANHOLE	⊙
PROPOSED SEWER LINE	---
PROPOSED SEWER MANHOLE	⊙
PROPOSED SEWER CLEANOUT	---
EXISTING WATER LINE	---
PROPOSED WATERLINE	---
PROPOSED WATER SERVICE	---
PROPOSED GATE VALVE	---
PROPOSED FIRE HYDRANT	---
EXISTING EASEMENT	---
PROPOSED EASEMENT	---
LIGHT POLE	⊙



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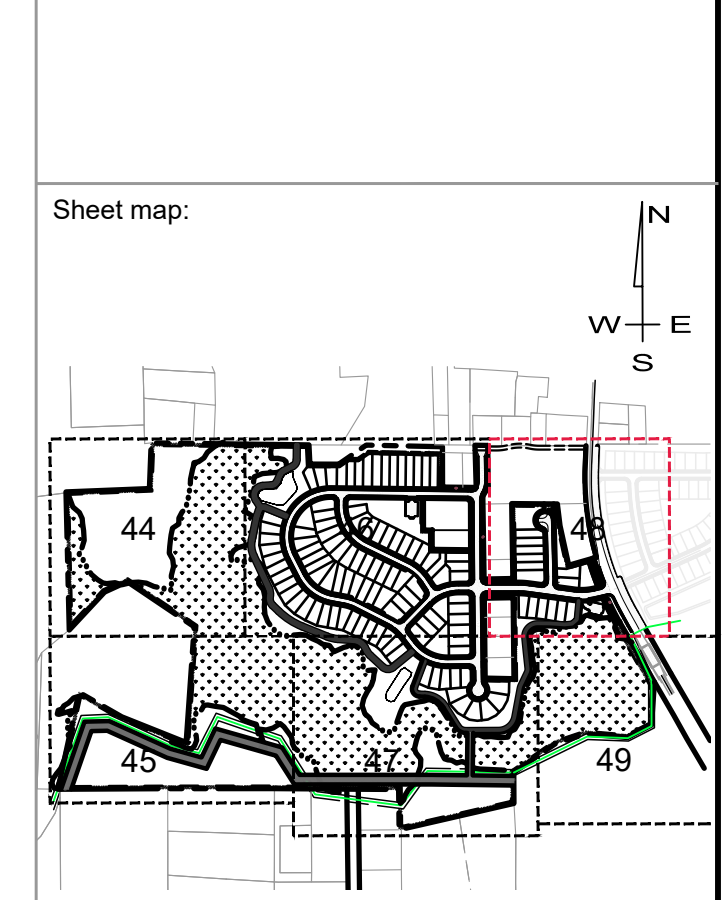
Developer
THE CSC GROUP
CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUNITY
10030 Green Level Church Rd, Suite 802 #149, Cary, NC 27519

Engineer
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Firm # F-1517
15000 Weston Parkway
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Jurisdiction / Municipality
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Town of Rolesville
502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517
PSP-24-05

Other Consultants



Seal:
PROFESSIONAL ENGINEER
NORTH CAROLINA
SEAL
53676
BYLAN A HARRIS

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REVISIONS

No.	Date	Description

Sheet Title:
UTILITY PLAN SHEET 5 OF 6

Sheet #:
48

Atlas Lighting Products

CATALOG NUMBER: _____
 JOB NAME: _____
 CUSTOMER NAME: _____
 NOTES: _____
 TYPE: _____
 DATE: _____

FEATURES AND SPECIFICATIONS
AREA LIGHTING
POLES
SQUARE STRAIGHT STEEL POLES

POLE TIP DETAILS
 TENON, SQUARE POLE TIP W/ SPRING RETAINER, CONTINUOUS WELD, POLE SHAFT, POLE MAY BE DRILLED TO ACCEPT SIDE MOUNTED FIXTURE IF REQUIRED.

POLE BASE DETAILS
 THICKNESS, BOLT CIRCLE, SQUARE, SLOTTED BOLT HOLES, REINFORCED HANDHOLE W/ COVER AND GROUNDING, 4 - ANCHOR BOLTS WITH THREADED END GALVANIZED 1/2" MIN. EACH BOLT FURNISHED WITH 2 HEX NUTS AND 2 FLAT WASHERS.

ORDERING INFORMATION

Nominal Mounting Height (ft)	Catalog Number	Shaft			Pole Base				Maximum Loading			
		Base O.D. (in)	Wall Thk. (ga)	Gross Weight (lbs)	Bolt Circle Range*	Plate Thk. (in)	Plate Width (in)	90MPH EPA (ft)	100MPH EPA (ft)	110MPH EPA (ft)	120MPH EPA (ft)	
12	SSS12411BZ	4.00	11	90	8 to 11	8.0	0.75	23.0	18.2	14.6	11.7	
14	SSS14411BZ	4.00	11	105	8 to 11	8.0	0.75	18.7	14.5	11.5	9.1	
16	SSS16411BZ	4.00	11	120	8 to 11	8.0	0.75	15.1	11.5	8.9	6.9	
18	SSS18411BZ	4.00	11	135	8 to 11	8.0	0.75	12.2	9.1	6.8	5.1	
20	SSS20411BZ	4.00	11	150	8 to 11	8.0	0.75	9.5	6.9	4.9	3.4	
20	SSS20507BZ	5.00	7	250	9 to 11	11.0	1.00	30.5	23.7	18.6	14.7	
20	SSS20511BZ	5.00	11	180	9 to 11	11.0	0.75	20.0	14.9	11.5	8.8	

*Consult Factory for Specific Bolt Circle Measurements.

Actual performance can vary depending on operating conditions. Specifications are subject to change without notice.

ATLAS LIGHTING PRODUCTS, INC.
 PO BOX 2348 | BURLINGTON, NC 27216
 800-849-8485 | FAX: 336-227-0110 | www.atlaslightingproducts.com

Atlas Lighting Products

AREA LIGHTING
POLES
SQUARE STRAIGHT STEEL POLES

ORDERING INFORMATION CONTINUED

Nominal Mounting Height (ft)	Catalog Number	Shaft			Pole Base				Maximum Loading			
		Base O.D. (in)	Wall Thk. (ga)	Gross Weight (lbs)	Bolt Circle Range*	Plate Thk. (in)	Plate Width (in)	90MPH EPA (ft)	100MPH EPA (ft)	110MPH EPA (ft)	120MPH EPA (ft)	
25	SSS25411BZ	4.00	11	188	8 to 11	8.0	0.75	9.3	6.4	4.3	2.6	
25	SSS25407BZ	4.00	7	250	8 to 11	8.0	0.75	11.2	8.0	5.5	3.7	
25	SSS25511BZ	5.00	11	225	9 to 11	11.0	0.75	16.0	11.4	8.0	5.6	
25	SSS25507BZ	5.00	7	313	9 to 11	11.0	1.00	24.0	26.2	20.0	15.9	
30	SSS30407BZ	4.00	7	300	8 to 11	8.25	0.75	6.5	3.7	1.8	0.3	
30	SSS30507BZ	5.00	7	375	9 to 11	11.0	1.00	24.1	17.5	13.0	9.4	
30	SSS30607BZ	6.00	7	462	12	12.5	1.00	34.3	25.8	19.4	14.6	
35	SSS35607BZ	6.00	7	539	12	12.5	1.00	24.8	17.7	12.2	8.4	

*Consult Factory for Specific Bolt Circle Measurements.

ORDERING INFORMATION

S SHAPE: S = Square, R = Round
 STRUCTURE: S = Steel, A = Aluminum, C = Concrete, F = Fiberglass
 DIAMETER/WIDTH (IN): 4 = 4 in, 4K = 4000K, *Other sizes available
 TENON DETAIL: T = Welded, Blank = None
 COLOR: BZ = Bronze, W = White, S = Anodized Silver, B = Black
 GAUGE (IN): 11 = 11 in, 07 = 07 in
 BASE DETAIL: E = Embedded, Blank = Anchor
 DRILL PATTERN: 1 = 1, 2 = 2 @ 90°, 3 = 2 @ 180°, 4 = 3 @ 90°, 5 = 4 @ 90°, 6 = Drop Mount

Actual performance can vary depending on operating conditions. Specifications are subject to change without notice.

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 PO BOX 2348 | BURLINGTON, NC 27216
 800-849-8485 | FAX: 336-227-0110 | www.atlaslightingproducts.com

Atlas Lighting Products

LED

Project Information
 Job Name: _____
 Type: Square Pole Tenon Adapter - Up to 4 @ 90°
 Catalog Number: 500-SPTABZ
 Approved by: _____

500-SPTABZ
 Square Pole Tenon Adapter - Up to 4 @ 90°

SPECIFICATIONS:
 Construction: Die Cast Aluminum
 Removable Top Bracket Cover Included
 Bracket is Pre-drilled for Mounting up to (4) Fixtures
 (3) Sides have Removable Hole Plugs Installed

Weight: 4.19 lbs. / 1.9 kg.
Overall Height: 10.25" (26.035 cm)
Overall Width: 4" (10.16 cm)
Overall Depth: 4" (10.16 cm)

ORDERING INFORMATION:
 CATALOG # 500-SPTABZ, DESCRIPTION For Square Poles w/ Tenon, FINISH Bronze

DIMENSIONS: (Diagram showing 4" width and 10.25" height)

FIXTURE CONFIGURATIONS: single, 2 @ 90°, 2 @ 180°, 3 @ 90°, 4 @ 90°

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Made in the USA of US and imported parts. Meets Buy American requirements within the ARRA.

Developer: **THE CSC GROUP**
 10030 Green Level Church Rd, Suite 802 #149, Cary, NC 27519

Engineer: **QUANTECH ENGINEERING**
 Firm # F-1517
 15000 Weston Parkway
 Cary, N.C. 27513
 (919) 996-9455

Surveyor: **BCSC** Bateman Civil Survey Company
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Jurisdiction / Municipality: **Rolesville**
 Town of Rolesville
 502 Southtown Cir
 Rolesville, NC 27571
 Phone: 919-554-6517
PSP-24-05

Other Consultants: _____

Sheet map: _____

Seal: **NORTH CAROLINA PROFESSIONAL ENGINEERS**
 SEAL 53676
 BY VAN A. HARRIS

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Project: **HARRIS CREEK FARMS**
 CID-25-??

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REVISIONS

No.	Date	Description

Sheet Title: **UTILITY DETAILS**

Sheet #: _____

Atlas Lighting Products

Eagle Series
 2nd Generation LED Site Lighter

Project Information
 Job Name: _____
 Fixture Type: Eagle Series
 Catalog Number: SLPM
 Approved by: _____

SPECIFICATIONS:
 Construction: Designed for commercial and industrial applications, providing cooler operating temperatures, brighter light and longer LED life. The die cast aluminum housing utilizes external airflow fins allow for greater heat dissipation. The easy access driver compartment is a thermally independent compartment, separate from LED generated heat, for cooler operation and longer drive life.
 Optics: Atlas Site Lighter Pro fixtures utilize precision engineered individual lenses for maximum light intensity. The lens is made of optical grade polycarbonate. Advanced one piece optic board engineered for maximum light intensity. Types II, III, V and Forward Throw distributions are available. Types II, III and Forward Throw optics are rotatable allowing for optimal placement of the fixtures on the perimeter of any layout.
 Mounting: The easy mount bracket makes installation to any style pole quick and easy. Tenon and other mounting accessories also available. For round poles 500-SLPMRPA is required.
 Thermal Management: Atlas Site Lighter Pro fixtures are designed as a complete system to optimize LED life and light output. The thermal stacking/heat removal technology extracts heat from within the housing moving it away from LEDs and components. The lower temperatures result in long LED life (200,000+ hrs) and component life and also allows for higher light output.
 Listings: Luminaire is certified to UL/cUL Standards for Wet Locations. The following qualify for DesignLights Consortium Premium: SLPML6L (All colors/options), SLPML9L (All colors/options), SLPML12L (All colors/options), SLPML18L (All colors/options), SLPML24L (All colors/options), all other luminaires are DesignLights Consortium qualified. All are eligible for rebates from DLC member utilities.
 AC Input: 120/208/240/277/347/480 V
 Driver: Constant current, 120-277 VAC, 50-60 Hz
 High Efficiency - min. 88%
 Off-State Power: 0 Watts
 0-10 V Dimming
 LEDs: Available in 3000K, 4000K, 4500K and 5000K CCT
 Epoxy Guard™ protective conformal coated boards
 Reduced Glare: Positioning of the LED modules within the housing result in light directed to desired locations and reduces offensive light.
 Testing: Atlas LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 & LM-80
 Warranty: Five-year limited warranty

DIMENSIONS:
 Weight: 21 lbs.
 EPA: 0.61

DRILL PATTERN:
 For round poles 500-SLPMRPA is required.
 Rebates and incentives are available in many areas. Contact an Atlas Representative for more information.

ATLAS LIGHTING PRODUCTS, INC.
 PO BOX 2348 | BURLINGTON, NC 27216
 800-849-8485 | FAX: 336-227-0110 | www.atlasled.com

*The majority of Atlas Lighting Products are assembled in USA facilities by an American Workforce utilizing both Domestic and Foreign components. Meets Buy American requirements within the ARRA.

Atlas Lighting Products

Eagle Series
 2nd Generation LED Site Lighter

ORDERING INFORMATION

PRODUCT SERIES: SLPM, GL, T3, 4K, DIMMING: Blank = 0-10Vdc, FIXTURE COLOR: Blank = Bronze, BK = Black, SL = Silver, WT = White

LUMEN PACKAGE
 6L = 6,000 Lumens
 9L = 9,000 Lumens
 12L = 12,000 Lumens
 18L = 18,000 Lumens
 24L = 24,000 Lumens
 36L = 36,000 Lumens
 43L = 43,000 Lumens

DISTRIBUTION
 T2 = Type 2
 T3 = Type 3
 T5 = Type 5
 FT = Forward Throw
 T2L = Type 2 Rotated Left
 T3L = Type 3 Rotated Left
 FTL = Forward Throw Rotated Left
 T2R = Type 2 Rotated Right
 T3R = Type 3 Rotated Right
 FTR = Forward Throw Rotated Right

VOLTAGE
 Blank = 120-277
 4 = 347/480

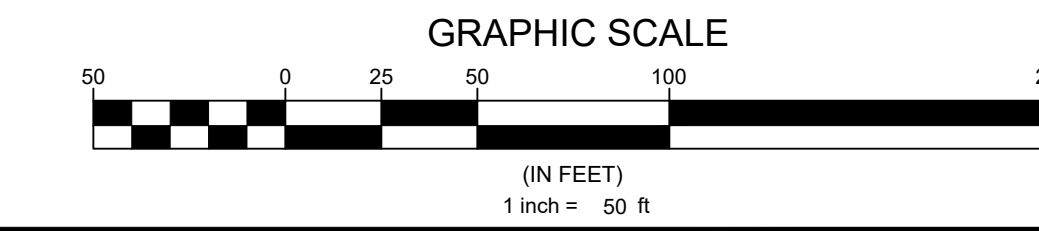
COLOR RENDERING
 Blank = 70CRI

OPTIONS
 PR = 7 Pin PhotoCell Receptacle
 SP = Surge Protection
 IC = Integrated Motion Control
 BTM = Bluetooth Microwave Motion Control
 Includes photocell

LUMEN PACKAGE	DISTRIBUTION	CRI	3000K CCT	4000K CCT	4500K CCT	5000K CCT	WATTAGE			
			DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)		
6L	T2	70	4908	153	6067	158	6093	159	6152	160
	T3	70	5824	151	5981	155	6006	155	6065	157
	FT	70	5712	148	5866	152	5891	153	5948	154
	T5	70	5848	152	6005	156	6031	156	6090	158
	T2	70	9155	159	9401	163	9442	164	9533	166
9L	T3	70	9082	158	9326	162	9366	163	9457	164
	FT	70	8966	154	9164	158	9144	159	9232	160
	T5	70	9086	158	9350	162	9370	163	9461	164
	T2	70	12030	160	12354	164	12407	165	12527	167
	FT	70	11900	159	12220	163	12272	164	12391	165
12L	T2	70	11670	156	11984	160	12035	160	12152	162
	FT	70	11950	159	12271	164	12324	164	12444	166
	T2	70	17840	155	18320	159	18398	160	18577	162
	T3	70	17810	155	18289	159	18367	160	18546	161
	FT	70	17340	151	17806	155	17883	156	18056	157
18L	T5	70	17820	155	18299	159	18378	160	18556	161
	T2	70	23640	148	24276	152	24380	153	24616	154
	T3	70	23620	148	24255	152	24359	153	24596	154
	FT	70	23030	144	23650	148	23751	149	23981	150
	T5	70	23660	148	24296	152	24401	153	24637	154
24L	T2	70	29450	140	30242	144	30372	145	30656	146
	T3	70	29440	140	30232	144	30361	145	30656	146
	FT	70	28750	137	29523	141	29650	141	29937	143
	T5	70	29470	141	30263	144	30392	145	30687	146
	T2	70	35260	133	36208	137	36364	137	36716	139
36L	T3	70	35220	133	36167	137	36322	137	36675	139
	FT	70	34490	131	35418	134	35570	135	35914	136
	T5	70	35200	133	36147	137	36302	137	36654	139
	T2	70	42200	121	43335	124	43521	125	43943	126
	T3	70	41940	120	43068	124	43253	124	43672	125
43L	FT	70	41300	118	42411	122	42593	122	43006	123
	T5	70	41970	120	43099	124	43284	124	43703	125

ATLAS LIGHTING PRODUCTS, INC.
 PO BOX 2348 | BURLINGTON, NC 27216
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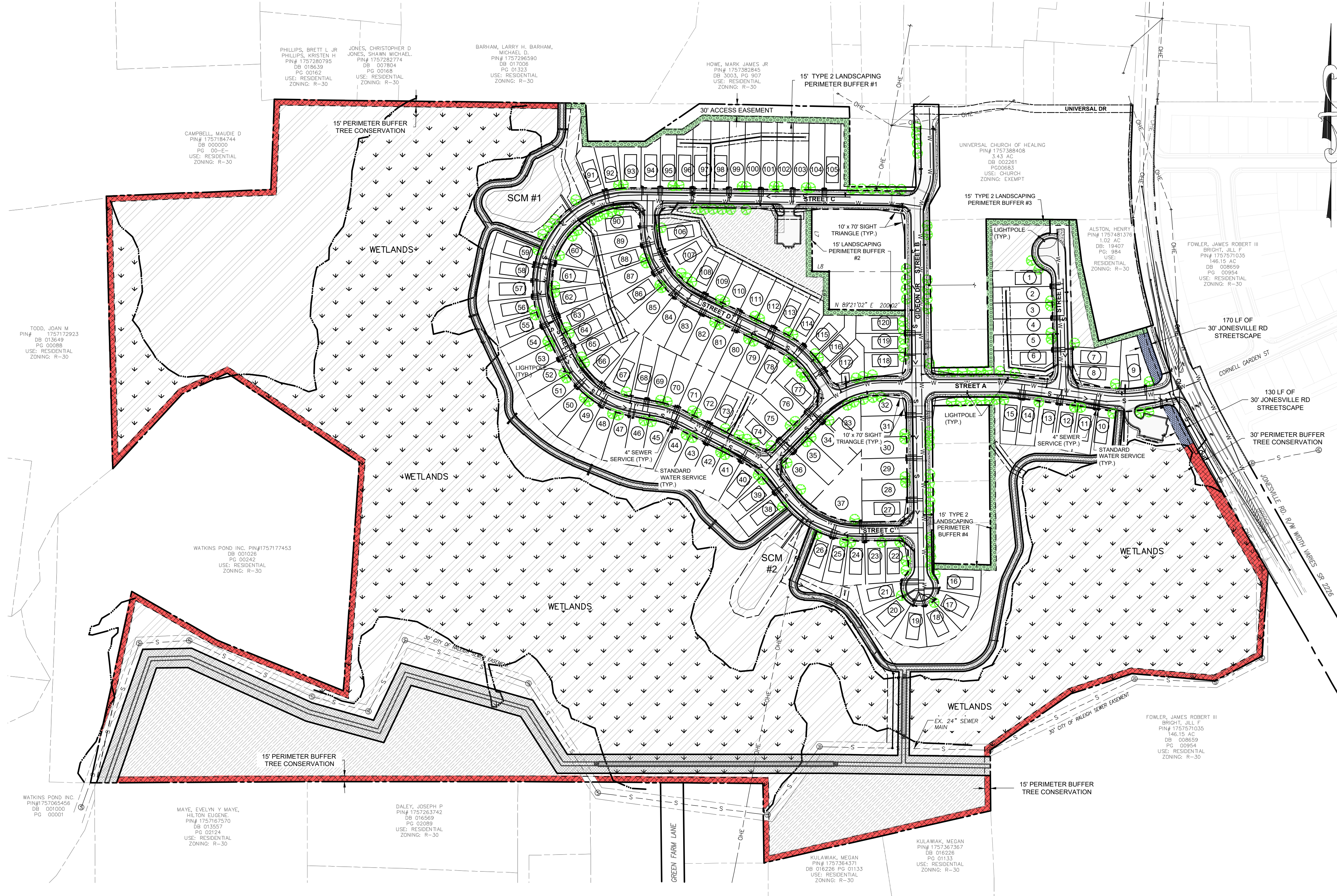
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LANDSCAPING NOTES:

- TREES SHALL NOT BE PLANTED BETWEEN THE CURB AND SIDEWALK (A GRASS STRIP IS REQUIRED). STREET TREES MAY BE INSTALLED IN A LINEAR FASHION OR IN CLUSTERS OR GROUPINGS OF LARGER AND/OR SMALL TREES IN COMBINATION WITH ASSOCIATED PLANTINGS TO ENHANCE THE VISUAL APPEARANCE OF THE STREETScape AND VIEWS FROM THE ADJACENT PROPERTIES.
- EACH LARGE CANOPY TREE IN THE STREETScape SHALL BE PROVIDED WITH AT LEAST THREE HUNDRED AND FIFTY (350) SQUARE FEET OF PREVIOUS GROUND AREA FOR ROOT GROWTH. ANY PLANTING AREA BOUNDED BY AN IMPERVIOUS SURFACE SHALL BE AT LEAST 10 FEET WIDE.
- ALL SLOPES STEEPER THAN (2) TO ONE (1) SHALL BE STABILIZED WITH PERMANENT SLOPE RETENTION DEVICES OR A SUITABLE COMBINATION OF PLANTINGS AND RETENTION DEVICES.
- JONESVILLE LANDSCAPE TYPE 2 BUFFER WILL COUNT TOWARDS THE STREETScape REQUIREMENTS.

PLANTING REQUIREMENTS:

THE PERIMETER BUFFER SHALL HAVE

- (3) CANOPY TREES / 100 LF
- (1) UNDERSTORY TREE / 100 LF
- (50) SHRUBS / 100 LF

THE STREETScape FOR JONESVILLE ROAD SHALL HAVE

- (2) UNDERSTORY TREES / 40 LF

THE STREETScape FOR ALL INTERNAL SUBDIVISION ROADS SHALL HAVE

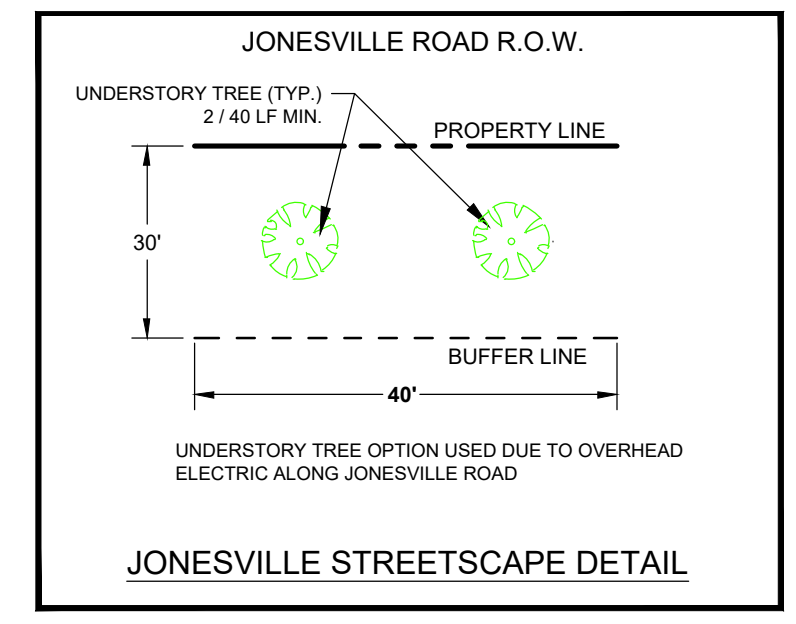
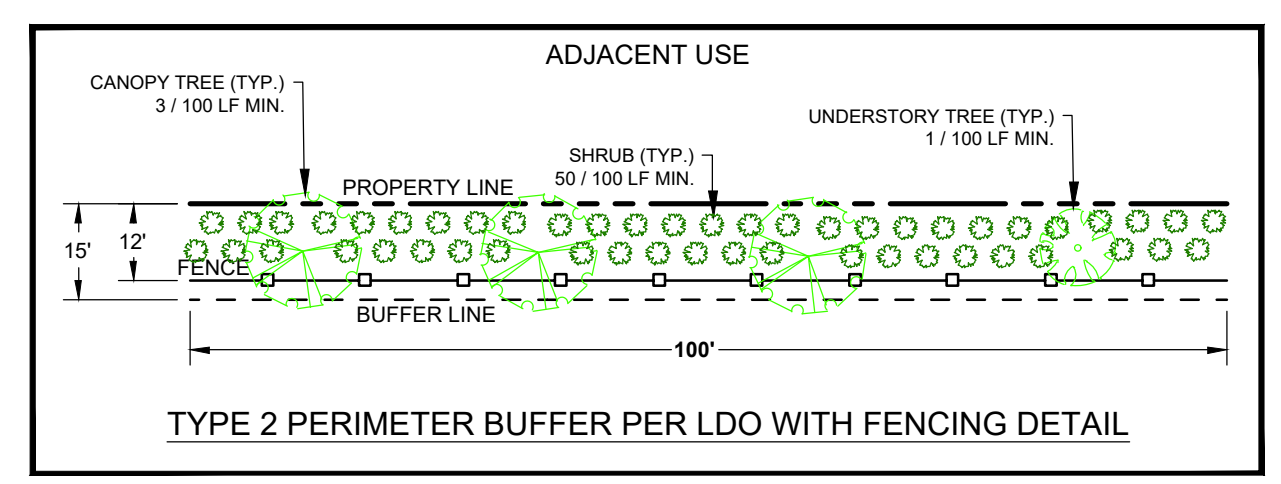
- (1) TREE / 60 LF EACH SIDE OF ROAD

PLANTING CALCULATIONS	
JONESVILLE STREETScape	300 LF / 40 = 7.5 x (2) = 15 UNDERSTORY TREES
PERIMETER BUFFER (REQUIRED / AREA)	
#1	1,170 LF / 100 = 11.7 x (3) = 36 CANOPY TREES 1,170 LF / 100 = 11.7 x (1) = 12 UNDERSTORY TREES 1,170 LF / 100 = 11.7 x (50) = 585 SHRUBS
#2	580 LF / 100 = 5.8 x (3) = 17 CANOPY TREES 580 LF / 100 = 5.8 x (1) = 6 UNDERSTORY TREES 580 LF / 100 = 5.8 x (50) = 280 SHRUBS
#3	1,220 LF / 100 = 12.2 x (3) = 37 CANOPY TREES 1,220 LF / 100 = 12.2 x (1) = 13 UNDERSTORY TREES 1,220 LF / 100 = 12.2 x (50) = 610 SHRUBS
#4	830 LF / 100 = 8.3 x (3) = 25 CANOPY TREES 830 LF / 100 = 8.3 x (1) = 9 UNDERSTORY TREES 830 LF / 100 = 8.3 x (50) = 415 SHRUBS
PERIMETER BUFFER TOTALS (REQUIRED)	115 CANOPY TREES 40 UNDERSTORY TREES 1,880 SHRUBS
PERIMETER BUFFER TOTALS (PROPOSED)	115 CANOPY TREES 40 UNDERSTORY TREES 1,880 SHRUBS
INTERNAL ROAD STREETScape (REQUIRED / STREET)	
* STREET A	1,125 LF / 60 = 18.75 x (1) = 19 19 / SIDE = 38 CANOPY TREES (OR 76 UNDERSTORY TREES)
STREET B	1,245 LF / 60 = 20.75 x (1) = 21 21 / SIDE = 42 CANOPY TREES (OR 84 UNDERSTORY TREES)
STREET C	2,360 LF / 60 = 39.33 x (1) = 40 40 / SIDE = 80 CANOPY TREES (OR 160 UNDERSTORY TREES)
STREET D	705 LF / 60 = 11.75 x (1) = 12 12 / SIDE = 24 CANOPY TREES (OR 48 UNDERSTORY TREES)
STREET E	370 LF / 60 = 6.17 x (1) = 7 7 / SIDE = 14 CANOPY TREES (OR 28 UNDERSTORY TREES)
INTERNAL ROAD TOTALS (REQUIRED)	198 TREES
INTERNAL ROAD TOTALS (PROPOSED)	198 TREES

* STREET "A" FROM JONESVILLE ROAD TO THE INTERSECTION OF STREET "B" (GIDEON DR.) IS A COLLECTOR ROAD AND WILL HAVE A 15' WIDE STREETScape. THE REMAINDER OF STREET "A" AND ALL OTHER INTERNAL ROADS ARE LOCAL ROADS AND WILL HAVE A 10' WIDE STREETScape.

LANDSCAPING PLAN LEGEND

EXISTING BOUNDARY	
PROPOSED R.O.W.	
PERIMETER BUFFER LINE	
PERIMETER BUFFER TREE CONSERVATION	
PERIMETER BUFFER LANDSCAPING PER LDO	
CANOPY TREE	
UNDERSTORY TREE	
SHRUB	
LIGHT POLE	
PASSIVE OPEN SPACE	
ACTIVE OPEN SPACE	



PERIMETER BUFFER DETAILS
NTS

TREE / SHRUB LIST						
Common Name	Scientific Name	Type	Height	Width	Light	Comments
Trident Maple	Acer buergerianum	Decid - Canopy	30' - 40'	25' - 35'	full-sun / part-sun / Shade	Green, turns red in Fall / Heat-tolerant / pH 5.6 - 6.5
Yellow Buckeye	Aesculus flava	Decid - Canopy	45'	50'	full-sun / part-sun / Shade	Green, turns yellow in Fall / Heat-tolerant / pH 5.6 - 6.5
Yellowwood	Cladrastis kentuckea	Decid - Canopy	35'	40'	part-sun	white flowers, fragrant, pendulous, blooms in late spring or early summer and often blooms only every 2-3 years
'Jane' Saucer Magnolia	Magnolia 'Jane'	Decid - Understory	8' - 15'	15'	full-sun / part-sun / Shade	Flowers purple
Devilwood	Osmanthus americanus	Decid - Understory	12' - 20'	8' - 12'	full-sun / part-sun / Shade	Flowers Orange
Persian Parrotia	Parrotia persica	Decid - Understory	30'	30'	full-sun / part-sun / Shade	Flowers Orange
Arizona Cypress	Cupressus arizonica	Evergreen	30' - 40'	15' - 20'	full-sun	Will thin with competition; subject to canker and not long-lived; can become more open with age
'James Swan' Holly	Ilex 'James Swan'	Evergreen	20' - 30'	10' - 18'	full-sun / part-sun / Shade	A dense form with large, dark green, evergreen leaves
Hearts-a-Burstin	Euonymus americanus	Shrub	4' - 6'	3' - 4'	full-sun / part-sun / Shade	green w/ red flowering; Prefers well-drained soils; very pH- and soil-adaptable
Leaf Butterfly Bush	Buddleia alternifolia	Shrub	10' - 20'	10' - 20'	full-sun	green w/ purple flowering; preferring loose, loamy soil;
Clethra, Pepperbush	Clethra alnifolia	Shrub	4' - 8'	4' - 6'	full-sun / part-sun / Shade	green w/ white flowering; very adaptable; salt tolerant; easy to grow; forms suckering colonies

Shade trees shall be a minimum of 3" caliper and 10' tall at time of planting
 Understory trees shall be a minimum of 1.5" caliper for single stem and 6' tall for both single and multi-stemmed trees at time of planting
 Evergreen shall be a minimum of 1.5" caliper for single stem and 6' tall for both single and multi-stemmed trees at time of planting
 Shrubs shall be a minimum of 18" tall at time of planting

Developer
THE CSC GROUP
 10030 Green Level Church Rd, Suite 802 #149, Cary, NC 27519

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QUANTECH ENGINEERING
 Firm # F-1517
 15000 Weston Parkway
 Cary, N.C. 27513
 (919) 996-9455

Surveyor
BCSC Bateman Civil Survey Company
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 www.batemancivilsurvey.com

Jurisdiction / Municipality
Rolesville
 Town of Rolesville
 502 Southtown Cir
 Rolesville, NC 27571
 Phone: 919-554-6517
PSP-24-05

Other Consultants
 Sheet map:

64. Landscape plans must be signed/sealed by a Landscape Architect.

Seal:

FINAL DRAWING - FOR REVIEW PURPOSES ONLY

Issued / Print Date: 2025-May-30 (17:46)
 File Name: 51 Overall Landscaping Plan.dwg

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 Drawn by: TAN

Project:
HARRIS CREEK FARMS
 CID-25-??

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REVISIONS		
No.	Date	Description

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OVERALL LANDSCAPING PLAN

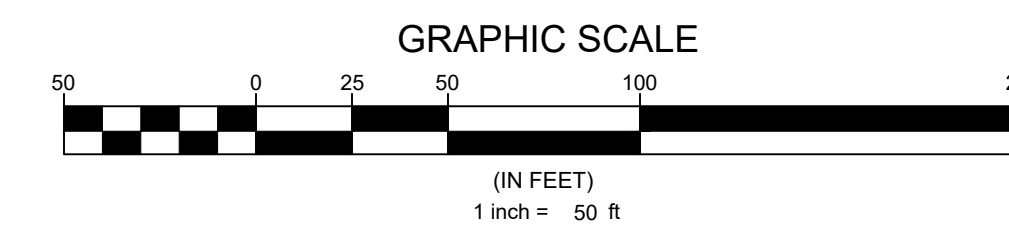
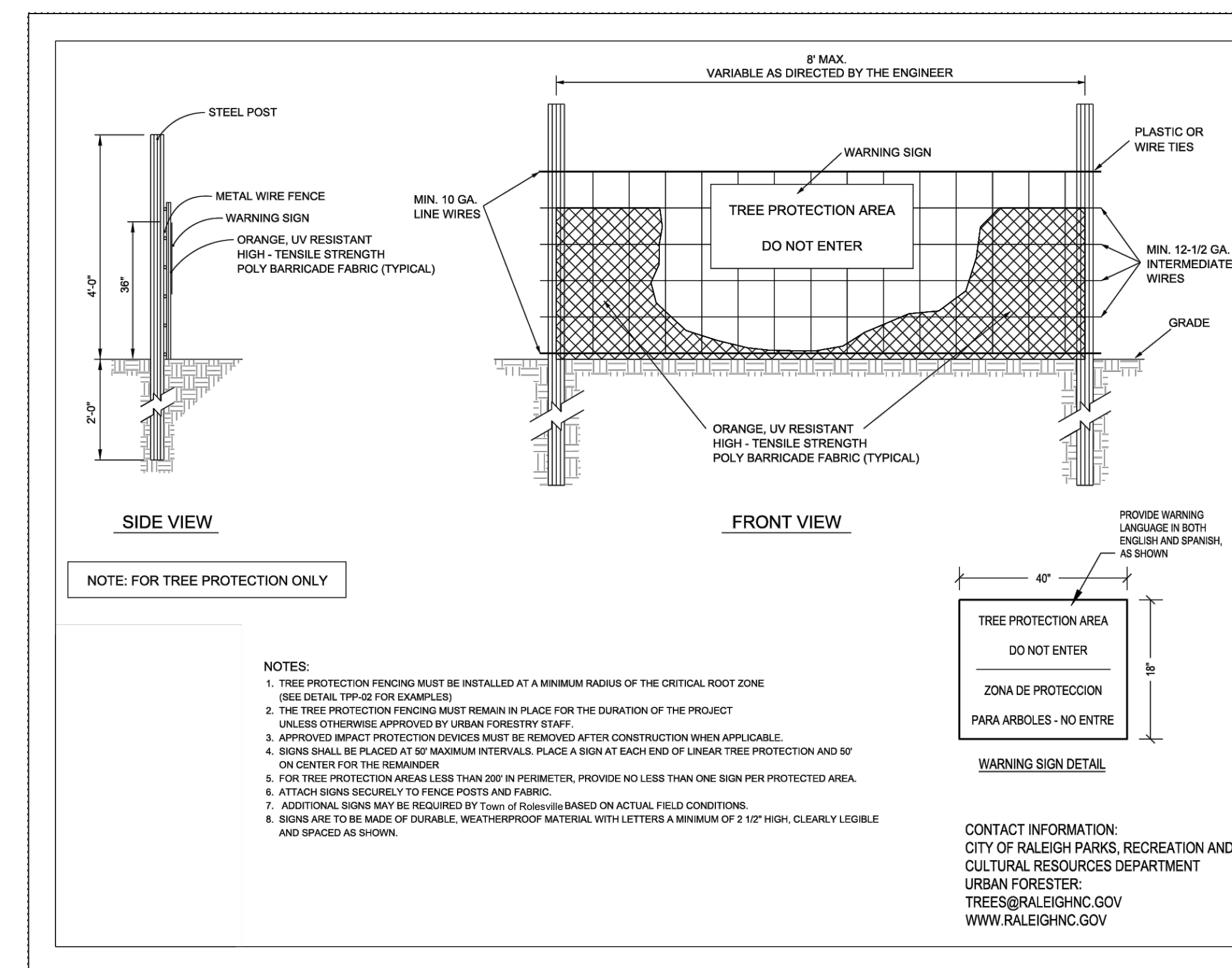
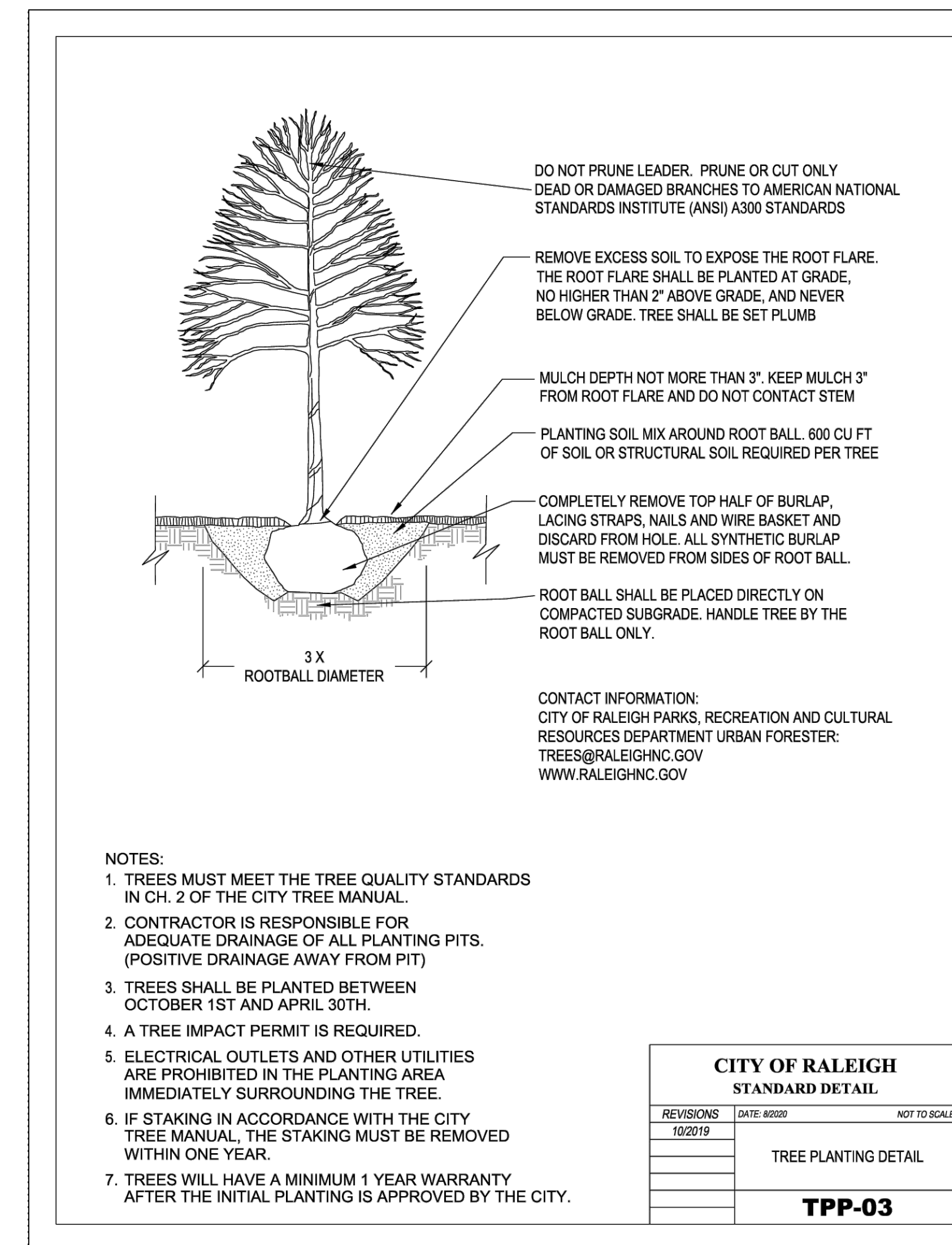
Sheet #:
51

GRAPHIC SCALE
 150 0 75 150 300 600
 (IN FEET)
 1 inch = 150 ft

N.C. UNDERGROUND UTILITIES

 3 DAYS BEFORE DIGGING CALL
 TOLL FREE 811 or (800)632-4949
 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

File Location: C:\Users\BryanHarris\OneDrive\Documents\Harris Creek Farm - Jonesville\Engineering\DWG\Construction Plans\51 Overall Landscaping Plan.dwg



N.C. UNDERGROUND UTILITIES
811
3 DAYS BEFORE DIGGING CALL
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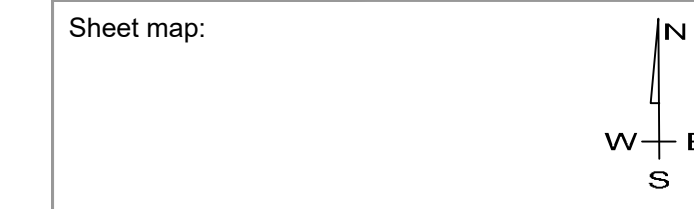
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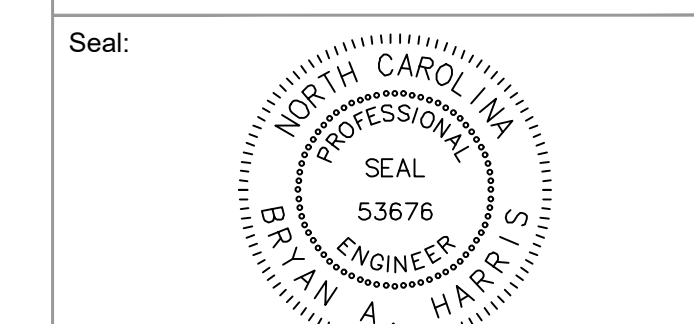
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Sheet map:



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No.	Date	Description

Sheet Title:

LANDSCAPING DETAILS

Sheet #: