





# F





EXISTING CONDITIONS AND DEMOLITION NOTES:

- THE CURRENT PLANS ARE BASED ON A COMBINATION OF AVAILABLE GIS INFORMATION AND DESIGN DOCUMENTS FROM THE WALLBROOK OVERALL DEVELOPMENT AND NCDOT. PRIOR TO CONSTRUCTION, THE SITE WILL NEED TO BE SURVEYED TO DETERMINE EXACT SITE ELEVATIONS AND THE LOCATIONS OF SITE FEATURES AND STRUCTURES. THE CURRENT PLANS WILL BE UPDATED TO REFLECT THE CERTIFIED SURVEY ONCE BOHLER RECEIVES THE SURVEY.

#5 Update plans to reflect surveyed conditions. (Leaving comment until survey is received and plans updated)

#6 Please provide site metes and bounds of property boundary in graphic and list format

DEMOLITION ABBREVIATIONS

ABBREVIATION	DESCRIPTION
(TBA)	TO BE ABANDONED
(TBR)	TO BE REMOVED
(TBV)	TO BE VACATED
(RELO)	TO BE RELOCATED

**BOHLER**  
BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING  
BOHLER ENGINEERING NC, PLLC  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY



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PERMIT SET

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PROJECT No.: NCB230114.00  
DRAWN BY: VLJ/IE/CC  
CHECKED BY: OAK  
DATE: 04/23/24  
CAD ID: P-CIVL-EXDM

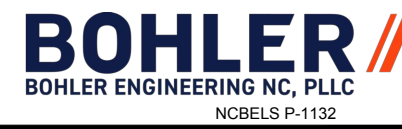
PROJECT:

PROP.  
SITE PLAN  
DOCUMENTS  
FOR



PROPOSED  
DEVELOPMENT

S MAIN ST & VIRGINIA WATER DR  
ROLESVILLE, NC 27587  
WAKE COUNTY



4130 PARKLAKE AVENUE, SUITE 200  
RALEIGH, NC 27612  
Phone: (919) 578-9000

NC@BohlerEng.com



SHEET TITLE:  
**EXISTING  
CONDITIONS/  
DEMOLITION  
PLAN**

SHEET NUMBER:

C-201

ORG. DATE - 04/23/24

US 401 BUSINESS

(VARIABLE WIDTH PUBLIC R/W)

VIRGINIA WATER DR

EX. 60' R/W WIDTH

WALLBROOK DR

EX. 60' PUBLIC R/W WIDTH

WALLBROOK LANDCO LLC  
FUTURE LOT 5A  
±1.03 AC  
EX. PIN: 1758-56-3963  
DB 18103, PG 1563  
PB 2023, PG 1602  
ZONING: GC-CZ  
EX. LAND USE: VACANT

WALLBROOK LANDCO LLC  
FUTURE LOT 5B (TO BE DESIGNED &  
PERMITTED BY OTHERS)  
±1.05 AC  
EX. PIN: 1758-56-3963  
DB 18103, PG 1563  
PB 2023, PG 1602  
ZONING: GC-CZ  
EX. LAND USE: VACANT

#12 Verify if there is an easement for existing hydrant on site. If so, show and label with size, type, and public/private

#12 Verify if there is an easement for existing storm on site. If so label with type, size, and public/private

#13 Label storm pipe size

#13 Label sanitary sewer main size

#13 Label water main size

#9 Show existing storm pipes

#8 Clarify location for tree to be relocated on landscape sheet

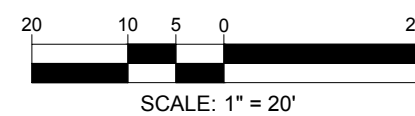
#7 Please show entire FM. Label or add to legend

#10 Specify public/ private ROW

#11 IMAPS shows flood prone soils; please verify if any are on-site

#14 This access drive has not been submitted and doesn't appear to be existing. Verify existing conditions conditions and update as needed.

THIS PLAN TO BE UTILIZED FOR  
DEMOLITION PURPOSES ONLY







**US 401 BUSINESS**  
(VARIABLE WIDTH PUBLIC R/W)

***VIRGINIA WATER DR***

**WALLBROOK LANDCO LLC  
FUTURE LOT 5A  
±1.63 AC  
EX. PIN: 1758-56-3963  
DB 18103, PG 1563  
PB 2023, PG 1602  
ZONING: GC-CZ  
EX. LAND USE: VACANT**

#5 Update plans to reflect surveyed conditions. (Leaving comment until survey is received and plans updated)

#15 Retaining wall in ROW won't be allowed by NCDOT; revise design

#16 Please label radius

#18 Plans for access drive has not been submitted. Unless further coordination for this access drive is taking place, design and permitting of driveway improvements will be needed for this submittal

WALLBRO  
FUTURE LOT 5  
PERMITT  
±  
EX. PIN  
DB 18  
PB 20  
ZON.  
EX. LAND

#16 Please label radius

## ZONING TABLE

PIN: 1758-58-3963  
 ZONE: GC-CZ GENERAL COMMERCIAL - CONDITIONAL ZONING  
 CURRENT USE: VACANT  
 PROPOSED USE: BANKING SERVICES  
 LOT: 5A  
 PROPOSED SQUARE FOOTAGE OF BUILDING: 3,333 SF

**APPLICANT / OWNER INFORMATION**

APPLICANT:	JILL 4509 CREEDMOOR RD, STE 300 RALEIGH, NC 27612
PROPERTY OWNER:	WALLBROOK LANDCO, LLC 3 KEEL ST, STE 2 WRIGHTSVILLE BEACH, NC 27840

## BULK REQUIREMENTS

ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN LOT AREA	§ 3.2.1	20,000 SF (0.46 AC)	71,000 SF (1.63 AC)	71,000 (1.63 AC)
MIN LOT WIDTH	§ 3.2.1	100.0'	±260.0'	±260.0'
MIN LOT DEPTH	N/A	N/A	N/A	N/A
MIN YARD SETBACKS				
FRONT YARD	§ 3.2.1	20' FROM FRONT PROPERTY LINE	N/A	70.0'
SIDE YARD	§ 3.2.1	15.0' FROM SIDE LOT LINE	N/A	95.0'
REAR YARD	§ 3.2.1	35.0' FROM REAR LOT LINE	N/A	N/A
MAX PERMITTED HEIGHT	§ 3.2.1	35.0'	N/A	35.0'
MAX LOT COVERAGE	§ 3.2.1	N/A	N/A	TBD
MIN PARKING SETBACKS	§ 6.2.2.2	<div style="background-color: yellow; padding: 5px; border: 1px solid red;">                     #17 Update building height based on architectural plans                 </div>		
FRONT	§ 6.2.2.2			
SIDE	§ 6.2.2.2			
MIN ACCESS DRIVEWAY WIDTH	§ 6.4.4	24'	N/A	24'

## ***PARKING REQUIREMENTS***

ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN VEHICULAR PARKING	§ 6.4.3	2.5 SPACES PER 1,000 SF 2.5x(3,333 SF/1,000 SF) = 8	N/A	20 SPACES
MAX VEHICULAR PARKING	§ 6.4.3	6.0 SPACES PER 1,000 SF 6.0x(3,333 SF/1,000 SF) = 20	N/A	20 SPACES
MIN HANDICAP SPACES	2010 ADA CODE	1:25 SPACES REQUIRED MINIMUM OF 1 ADA SPACE	N/A	2 SPACES
MIN BICYCLE PARKING	§ 6.4.7	1 SPACE PER 5,000 SF 1x(3,333 SF/5,000 SF) = 1	N/A	3 BICYCLE RACKS
MAX BICYCLE PARKING	§ 6.4.7	20 BICYCLE SPACES	N/A	3 BICYCLE RACKS
MIN STACKING REQUIREMENTS	§ 5.14.B	2 SPACES @ 10' x 20'	N/A	2 SPACES

### **ADDITIONAL SITE DATA**

WATERSHED	LOWER NEUSE
RIVER BASIN	NEUSE
CURRENT IMPERVIOUS AREA	5,077 SF
PROPOSED IMPERVIOUS AREA	24,820 SF
TREE COVERAGE DATA	

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## REVISIONS

[illegible]

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PROJECT No.:	NCB230114.00
DRAWN BY:	VL/JE/CC
CHECKED BY:	OAK
DATE:	04/23/24
CAD I.D.:	P-CIVL-SITE

**PROJECT:**

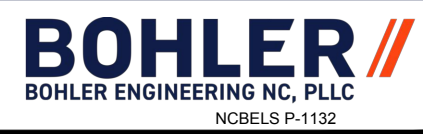
**PROP.  
SITE PLAN  
DOCUMENTS**

\_\_\_\_\_ FOR \_\_\_\_\_



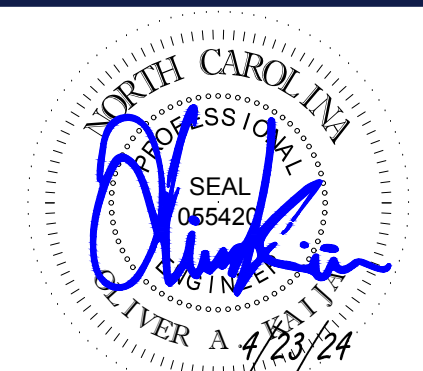
**PROPOSED  
DEVELOPMENT**

**S MAIN ST & VIRGINIA WATER DR  
ROLESVILLE, NC 27587  
WAKE COUNTY**



**4130 PARKLAKE AVENUE, SUITE 200  
RALEIGH, NC 27612  
Phone: (919) 578-9000**

**NC@BohlerEng.com**



**SHEET TITLE:**

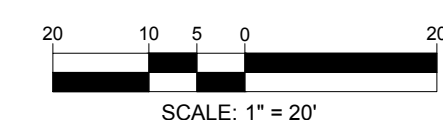
# SITE PLAN

SHEET NUMBER:

C-301

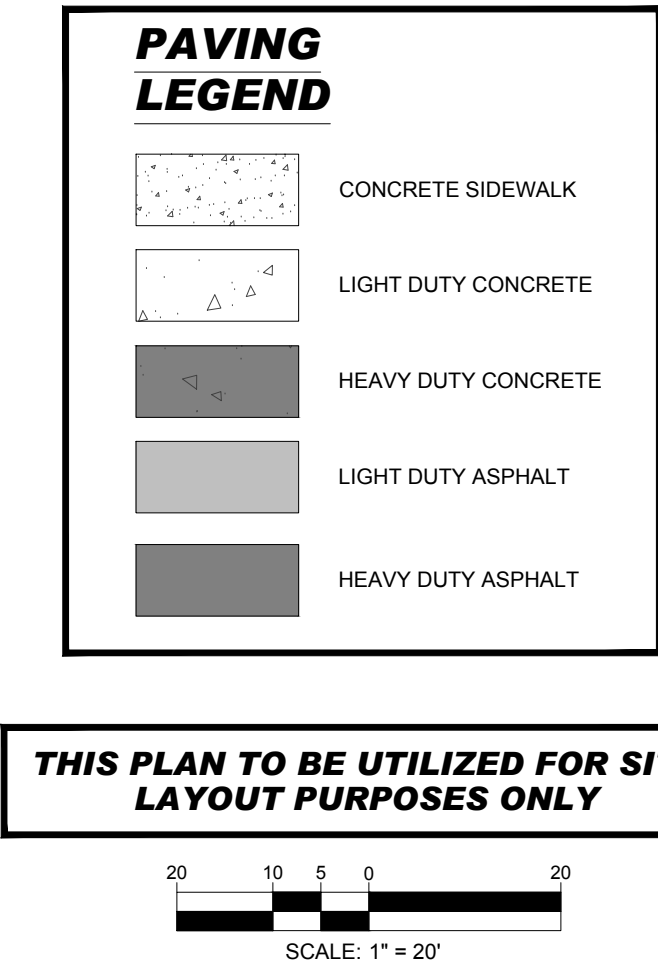
ORG. DATE - 04/23/24

**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY**

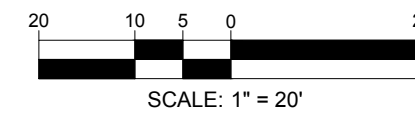
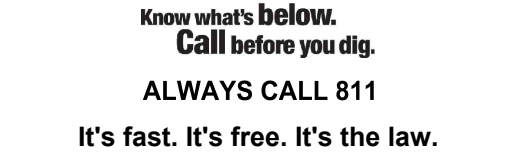


Apr 26, 2024  
\\H:\2023\NCB230114.00\LAND DEVELOPMENT\CAD\DRAWINGS\PLAN SETS\IP-CIVIL-SITE-NCB230114.00-0-A----->LAYOUT: C-301 SITE





**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY**

[illegible]

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PROJECT No.:	NCB230114.00
DRAWN BY:	VL/JE/CC
CHECKED BY:	OAK
DATE:	04/23/24
CAD I.D.:	P-CIVL-SITE

PROJECT:

***PROP.  
SITE PLAN  
DOCUMENTS***

————— FOR —————



**PROPOSED  
DEVELOPMENT**

**S MAIN ST & VIRGINIA WATER DR  
ROLESVILLE, NC 27587  
WAKE COUNTY**

**BOHLER //**  
BOHLER ENGINEERING NC, PLLC  
NCBELS P-1132

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RALEIGH, NC 27612**  
Phone: (919) 578-9000

***NC@BohlerEng.com***



**SHEET TITLE:**

## PAVING PLAN

SHEET NUMBER:  
C-302

ORG. DATE - 04/23/24





US 401 BUSINESS  
(VARIABLE WIDTH PUBLIC R/W)

VIRGINIA  
TER DR

WALLBROOK DR

WALLBROOK LANDCO LLC  
FUTURE LOT 5A  
±1.03 AC  
EX. PIN: 1758-56-3963  
DB 18103, PG 1563  
PB 2023, PG 1602  
ZONING: GC-CZ  
EX. LAND USE: VACANT

#13 Label  
storm pipe  
size

#22 Clarify if a spill curb  
be used along interior  
curb to release storm  
drainage?

#21 Clarify how water will  
be managed in low point  
at 282 contour

#20 Depending on  
revisions, please provide  
spot grades at proposed  
wall tie out locations

#23 Please clarify if there  
will be a low/high spot  
between 387 contours or  
adjust contour

#24 Appears to be  
possible drainage issue  
out of trash enclosure,  
adjust contours to allow  
enough grade out of  
trash enclosure

#25 Not able to evaluate  
grass swale based on not  
providing drainage areas.  
Impervious areas should  
be collecting through a  
closed storm system to  
existing drop inlet.

#26 Appears that area in  
east corner of site will  
sheet flow off site,  
ensure all stormwater on  
parcel will be collected.  
Additional swale?

#5 Update plans to reflect surveyed conditions. (Leaving  
comment as a note until survey is received)

#19 Please provide drop of 0.2'  
between invert in and invert out

### STORM STRUCTURE SCHEDULE

STRUCTURE #	RIM	INV IN	INV OUT	DESCRIPTION
A-10		INV IN = 380.99' (15')		PROP. OPEN PIPE
A-20	386.78	INV IN = 381.22' (15') INV IN = 382.00' (6')	INV OUT = 381.22' (15')	PROP. CURB INLET
A-21	387.27	INV IN = 382.89' (6')	INV OUT = 382.89' (6')	PROP. 6" STORM CLEANOUT
A-22	387.36	INV IN = 383.56' (6') INV IN = 383.56' (6')	INV OUT = 383.56' (6')	PROP. 6" STORM CLEANOUT
A-22.5			INV OUT = 384.50' (6')	PROP. ROOF DRAIN CONNECTION
A-23	387.00	INV IN = 383.98' (6')	INV OUT = 383.98' (6')	PROP. 6" STORM CLEANOUT
A-24	388.29	INV IN = 384.40' (6')	INV OUT = 384.40' (6')	PROP. 6" STORM CLEANOUT
A-25			INV OUT = 384.50' (6')	PROP. ROOF DRAIN CONNECTION
A-30	386.71	INV IN = 381.65' (15')	INV OUT = 381.65' (15')	PROP. CURB INLET
A-40	386.13	INV IN = 382.00' (6')	INV OUT = 381.88' (15')	PROP. CURB INLET
A-41	388.43	INV IN = 384.38' (6')	INV OUT = 384.38' (6')	PROP. 6" STORM CLEANOUT
A-42			INV OUT = 384.50' (6')	PROP. ROOF DRAIN CONNECTION

### STORM SEWER PIPE SCHEDULE

FROM	FROM INV	TO	TO INV	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL
A-10	380.99'	A-20	381.22'	45'	0.50%	15"	HDPE
A-20	382.00'	A-21	382.89'	17'	5.23%	6"	HDPE
A-20	381.22'	A-30	381.65'	87'	0.50%	15"	HDPE
A-21	382.89'	A-22	383.56'	32'	2.08%	6"	HDPE
A-22	383.56'	A-22.5	384.50'	9'	10.75%	6"	HDPE
A-22	383.56'	A-23	383.98'	20'	2.08%	6"	HDPE
A-23	383.98'	A-24	384.40'	20'	2.08%	6"	HDPE
A-24	384.40'	A-25	384.50'	5'	2.08%	6"	HDPE
A-30	381.65'	A-40	381.88'	46'	0.50%	15"	HDPE
A-40	382.00'	A-41	384.38'	93'	2.55%	6"	HDPE
A-41	384.38'	A-42	384.50'	6'	2.08%	6"	HDPE

### REVISIONS

REV	DATE	COMMENT	DRAWN BY



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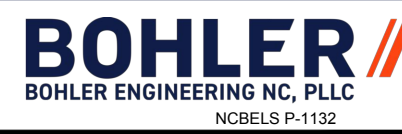
PROJECT No.: NCB230114.00  
DRAWN BY: VLJ/IE/CC  
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DATE: 04/23/24  
CAD LID: P-CIVL-GRAD

PROJECT:

PROP.  
SITE PLAN  
DOCUMENTS  
FOR

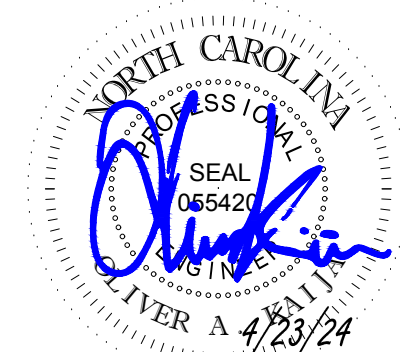


PROPOSED  
DEVELOPMENT  
S MAIN ST & VIRGINIA WATER DR  
ROLESVILLE, NC 27587  
WAKE COUNTY



4130 PARKLAKE AVENUE, SUITE 200  
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SHEET TITLE:

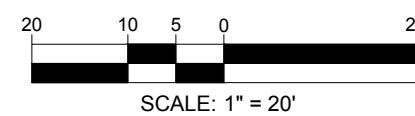
GRADING  
PLAN

SHEET NUMBER:

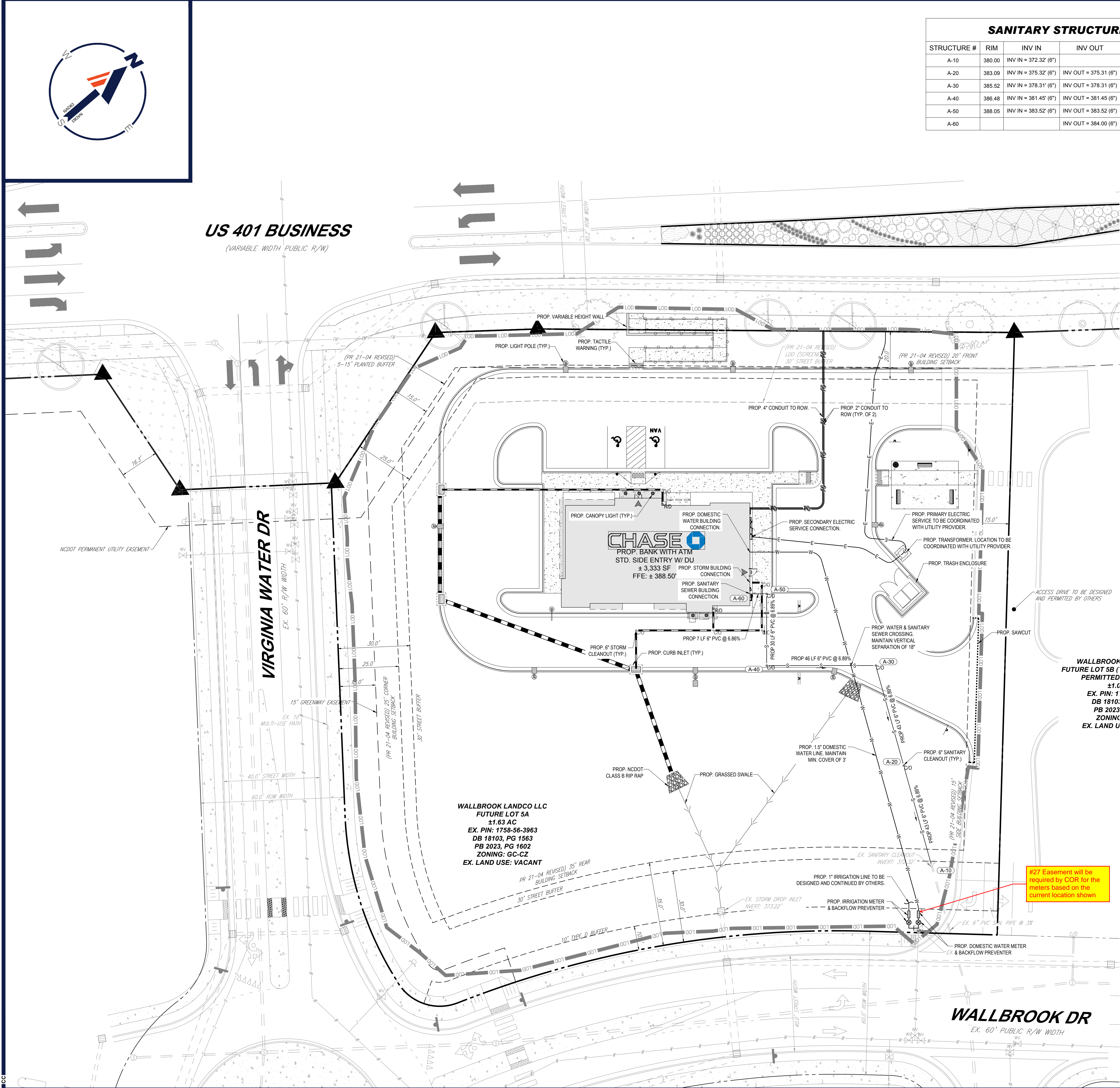
C-401

ORG. DATE - 04/23/24

THIS PLAN TO BE UTILIZED FOR SITE  
GRADING PURPOSES ONLY







<b>SANITARY STRUCTURE SCHEDULE</b>				
STRUCTURE #	RIM	INV IN	INV OUT	DESCRIPTION
A-10	380.00	INV IN = 372.32' (6")		PROP. CONNECTION TO EX. SAN. CLEANOUT
A-20	383.09	INV IN = 375.32' (6")	INV OUT = 375.31' (6")	PROP. 6" SAN. CLEANOUT
A-30	385.52	INV IN = 378.31' (6")	INV OUT = 378.31' (6")	PROP. 6" SAN. CLEANOUT
A-40	386.48	INV IN = 381.45' (6")	INV OUT = 381.45' (6")	PROP. 6" SAN. CLEANOUT
A-50	388.05	INV IN = 383.52' (6")	INV OUT = 383.52' (6")	PROP. 6" SAN. CLEANOUT
A-60			INV OUT = 384.00' (6")	PROP. SANITARY SEWER BUILDING CONNECTION

<h2 style="text-align: center; margin: 0;">SANITARY PIPE SCHEDULE</h2>							
FROM	FROM INV	TO	TO INV	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL
A-10	372.32'	A-20	375.31'	43'	6.89%	6"	PVC Pipe
A-20	375.32'	A-30	378.31'	43'	6.89%	6"	PVC Pipe
A-30	378.31'	A-40	381.45'	46'	6.89%	6"	PVC Pipe
A-40	381.45'	A-50	383.52'	30'	6.89%	6"	PVC Pipe
A-50	383.52'	A-60	384.00'	7'	6.66%	6"	PVC Pipe

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BOHLER ENGINEERING NC, PLLC

---

**SITE CIVIL AND CONSULTING ENGINEERING**  
LANDSCAPE ARCHITECTURE  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

## REVISIONS

[illegible]

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PROJECT No.:	NCB230114.0
DRAWN BY:	VL/JE/C
CHECKED BY:	OAA
DATE:	04/23/2
CAD I.D.:	P-CIVL-UT

PROJECT:

**PROP.  
SITE PLAN  
DOCUMENTS**

\_\_\_\_\_ FOR \_\_\_\_\_



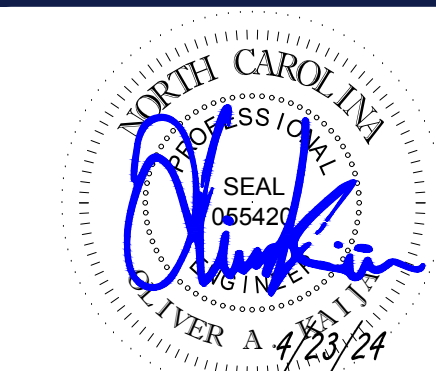
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WAKE COUNTY**



**4130 PARKLAKE AVENUE, SUITE 200  
RALEIGH, NC 27612  
Phone: (919) 578-9000**

**NC@BohlerEng.com**



**SHEET TITLE:**

## UTILITY PLAN

**SHEET NUMBER:** \_\_\_\_\_

C-501

ORG. DATE - 04/23/24

Apr 26, 2024  
\\:\2023\NCB230114.00\LAND DEVELOPMENT\CAD\DRAWINGS\PLAN SETS\IP-CIVL-UTIL-NCB230114.00-0A----->LAYOUT: C-501 UTIL





**US 401 BUSINESS**  
(VARIABLE WIDTH PUBLIC R/W)

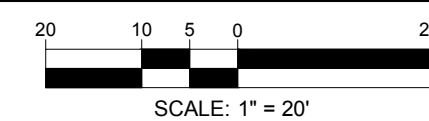
**VIRGINIA WATER DR**

**WALLBROOK LANDCO LL**  
**FUTURE LOT 5A**  
**±1.63 AC**  
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**DB 18103, PG 1563**  
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**ZONING: GC-CZ**  
**EX. LAND USE: VACANT**

**WALLBROOK LANDCO LLC  
FUTURE LOT 5B (TO BE DESIGNED &  
PERMITTED BY OTHERS)  
±1.05 AC  
EX. PIN: 1758-56-3963  
DB 18103, PG 1563  
PB 2023, PG 1602  
ZONING: GC-CZ  
EX. LAND USE: VACANT**

**WALLBROOK DR**  
EX. 60' PUBLIC R/W WIDTH

**THIS PLAN TO BE UTILIZED FOR SOIL  
EROSION AND SEDIMENT CONTROL  
PURPOSES ONLY**



**PHASE I E&SC CONSTRUCTION SEQUENCE:**

1. POST REQUIRED DOCUMENTS NEAR THE PLANNED CONSTRUCTION ENTRANCE/EXIT, AND WITHIN EASY ACCESS TO THE GENERAL PUBLIC WITHOUT ENTERING THE SITE.
2. PRIOR TO ANY CLEARING OR INSTALLATION OF EROSION CONTROL DEVICES, CONTRACTOR SHALL STAKE/FLAG THE LOD (WHERE STAKING IS NOT POSSIBLE/PRACTICAL, THE LOD MUST BE CONSPICUOUSLY AND PROMINENTLY MARKED TO DENOTE THE BOUNDARY). LOD MUST REMAIN CONSPICUOUSLY MARKED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT. NO DISTURBANCE IS TO TAKE PLACE BEYOND THE LOD.
3. INSTALL GRAVEL CONSTRUCTION ENTRANCE.
4. INSTALL SILT FENCE AROUND THE SITE AND SILT FENCE OUTLETS AS SHOWN. CLEAR THE MINIMUM AMOUNT NECESSARY TO INSTALL THE SILT FENCE. CONTRACTOR MAY REUSE EXISTING SILT FENCE ON SITE IN AREAS WHERE EXISTING AND PROPOSED OVERLAP IF EXISTING SILT FENCE MEETS SCDHEC EROSION CONTROL STANDARDS.
5. CONSTRUCT SEDIMENT TRAP AND ADDITIONAL BMPs AS SHOWN.
6. UPON APPROVAL FROM THE WAKE COUNTY EROSION AND SEDIMENT CONTROL INSPECTOR, BEGIN STRIPPING THE SITE (COMPLETE CLEARING AND GRUBBING TO THE EXTENT PRACTICAL TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ANY POINT IN TIME).
7. CONTINUE CLEARING, GRUBBING, AND STRIPPING THE SITE. (PHASE CLEARING AND GRUBBING TO THE EXTENT PRACTICAL TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ANY POINT IN TIME).
8. TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT ROAD DISTURBANCE/GRADING ACTIVITY, ANY DISTURBED AREAS, INCLUDING MATERIAL STOCKPILES THAT ARE SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR 7 DAYS OR MORE.

THE ESTIMATED DATE OF IMPLEMENTATION OF POLLUTION CONTROL MEASURES SHALL BE DOCUMENTED BY THE CONTRACTOR

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY, ONLY IF ALL PRECEDING BMPs AND STABILIZATION ACTIVITIES HAVE BEEN COMPLETELY INSTALLED. THE EOR MUST APPROVE, IN WRITING, ANY CHANGES IN THE ABOVE IMPLEMENTATION SEQUENCE, BEFORE THEIR IMPLEMENTATION BEGINS.

## REVISIONS

[illegible]

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## PERMIT SET

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DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	NCB230114.00
DRAWN BY:	VL/JE/CC
CHECKED BY:	OAK
DATE:	04/23/24
CAD I.D.:	P-CIVL-EROS

**PROJECT:**

**PROP.  
SITE PLAN  
DOCUMENTS**

FOR

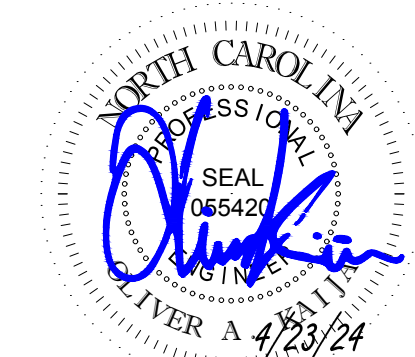


**PROPOSED  
DEVELOPMENT**

**S MAIN ST & VIRGINIA WATER DR  
ROLESVILLE, NC 27587  
WAKE COUNTY**



**4130 PARKLAKE AVENUE, SUITE 200  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
*NC@BohlerEng.com***



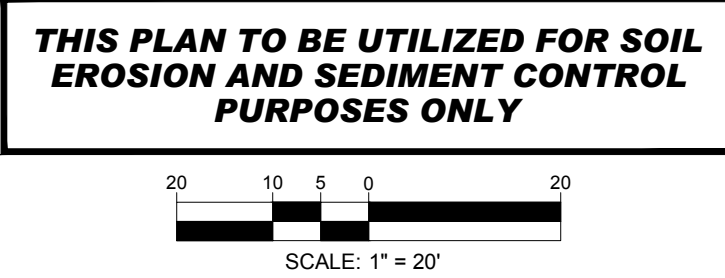
SHEET TITLE:  
***EROSION AND  
SEDIMENT  
CONTROL PLAN  
PHASE 1***

SHEET NUMBER:

C-801

ORG. DATE - 04/23/24





ORG. DATE - 04/23/24





US 401 BUSINESS  
(VARIABLE WIDTH PUBLIC R/W)

VIRGINIA WATER DR  
EX. 60' R/W WIDTH

WALLBROOK DR  
EX. 60' PUBLIC R/W WIDTH

WALLBROOK LANDCO LLC  
FUTURE LOT 5A  
±1.03 AC  
EX. PIN: 1758-56-3963  
DB 18103, PG 1563  
PB 2023, PG 1602  
ZONING: GC-CZ  
EX. LAND USE: VACANT

CHASE  
PROP. BANK WITH ATM  
STD. SIDE ENTRY W/ DU  
± 3,333 SF  
FFE: ± 388.50'  
78.83

WALLBROOK LANDCO LLC  
FUTURE LOT 5B (TO BE DESIGNED &  
PERMITTED BY OTHERS)  
±1.05 AC  
EX. PIN: 1758-56-3963  
DB 18103, PG 1563  
PB 2023, PG 1602  
ZONING: GC-CZ  
EX. LAND USE: VACANT

PHASE III E&SC CONSTRUCTION SEQUENCE:

1. CONTINUE CLEARING SITE AS NECESSARY.
2. IMMEDIATELY PERMANENTLY STABILIZE AREAS, INCLUDING STOCKPILE, TO BE VEGETATED OR PAVED AS THEY ARE BROUGHT TO FINAL GRADE.
3. INSTALL CURBS AND GUTTERS.
4. ONCE WAKE COUNTY INSPECTS THE SITE FOR STABILIZATION AND APPROVES, CONTINUE CONSTRUCTION. PAVE SITE.
5. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
6. OBTAIN CONCURRENCE FROM THE OWNER THAT THE SITE HAS BEEN FULLY STABILIZED. SEDIMENT HAS BEEN REMOVED FROM ANY STORM INLETS, AND ALL CONSTRUCTION HAS BEEN COMPLETED, THEN:
  - 6.1. REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs).
  - 6.2. STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF TEMPORARY BMPs.
7. DEMOBILIZE FROM SITE - CONTRACTOR SHALL NOT DEMOBILIZE UNTIL ENTIRE SITE HAS BEEN FULLY STABILIZED.

THE ESTIMATED DATE OF IMPLEMENTATION OF POLLUTION CONTROL MEASURES SHALL BE DOCUMENTED BY THE CONTRACTOR

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY, ONLY IF ALL PRECEDING BMPs AND STABILIZATION ACTIVITIES HAVE BEEN COMPLETELY INSTALLED. THE EOR MUST APPROVE, IN WRITING, ANY CHANGES IN THE ABOVE IMPLEMENTATION SEQUENCE, BEFORE THEIR IMPLEMENTATION BEGINS.

REVISIONS

REV	DATE	COMMENT	DRAWN BY



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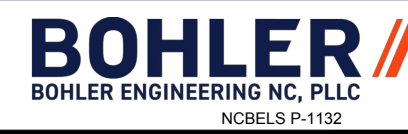
PROJECT No.: NCB230114.00  
DRAWN BY: VLU/CC  
CHECKED BY: OAK  
DATE: 04/23/24  
CAD ID: P-CIVL-EROS

PROJECT:

PROP.  
SITE PLAN  
DOCUMENTS  
FOR



PROPOSED  
DEVELOPMENT  
S MAIN ST & VIRGINIA WATER DR  
ROLESVILLE, NC 27587  
WAKE COUNTY



4130 PARKLAKE AVENUE, SUITE 200  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
NC@BohlerEng.com



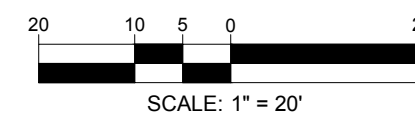
SHEET TITLE:  
EROSION AND  
SEDIMENT  
CONTROL PLAN  
PHASE 3

SHEET NUMBER:

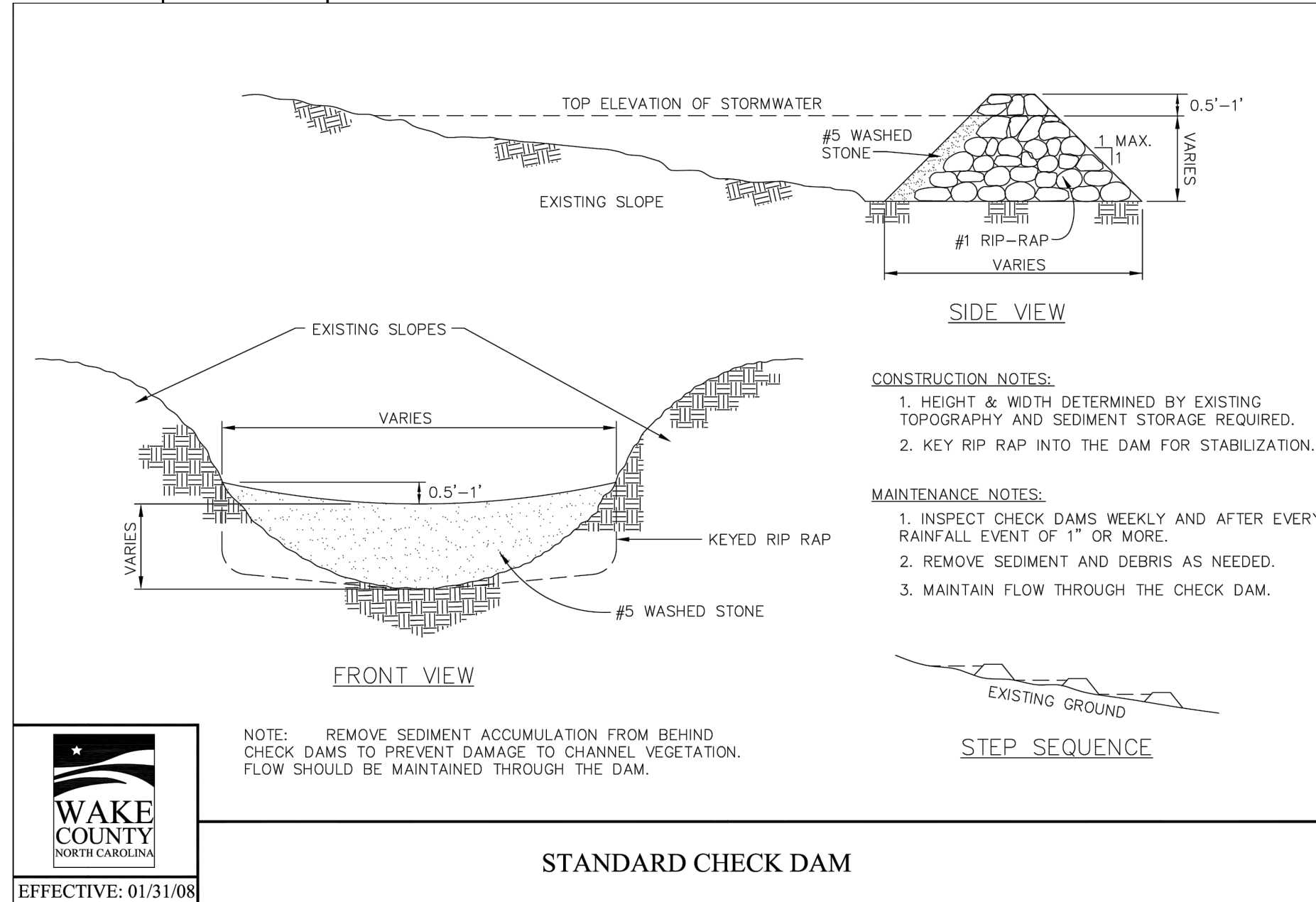
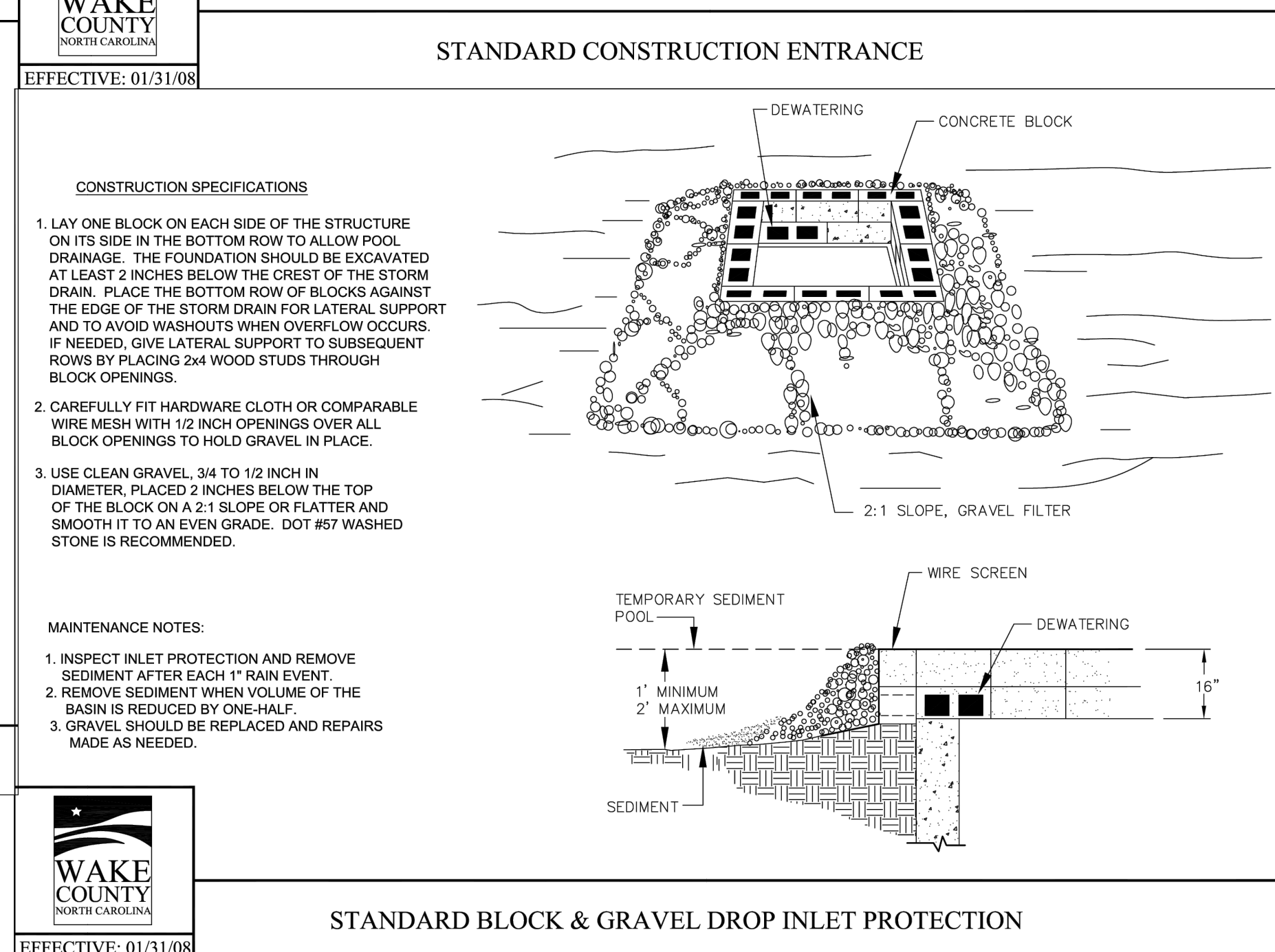
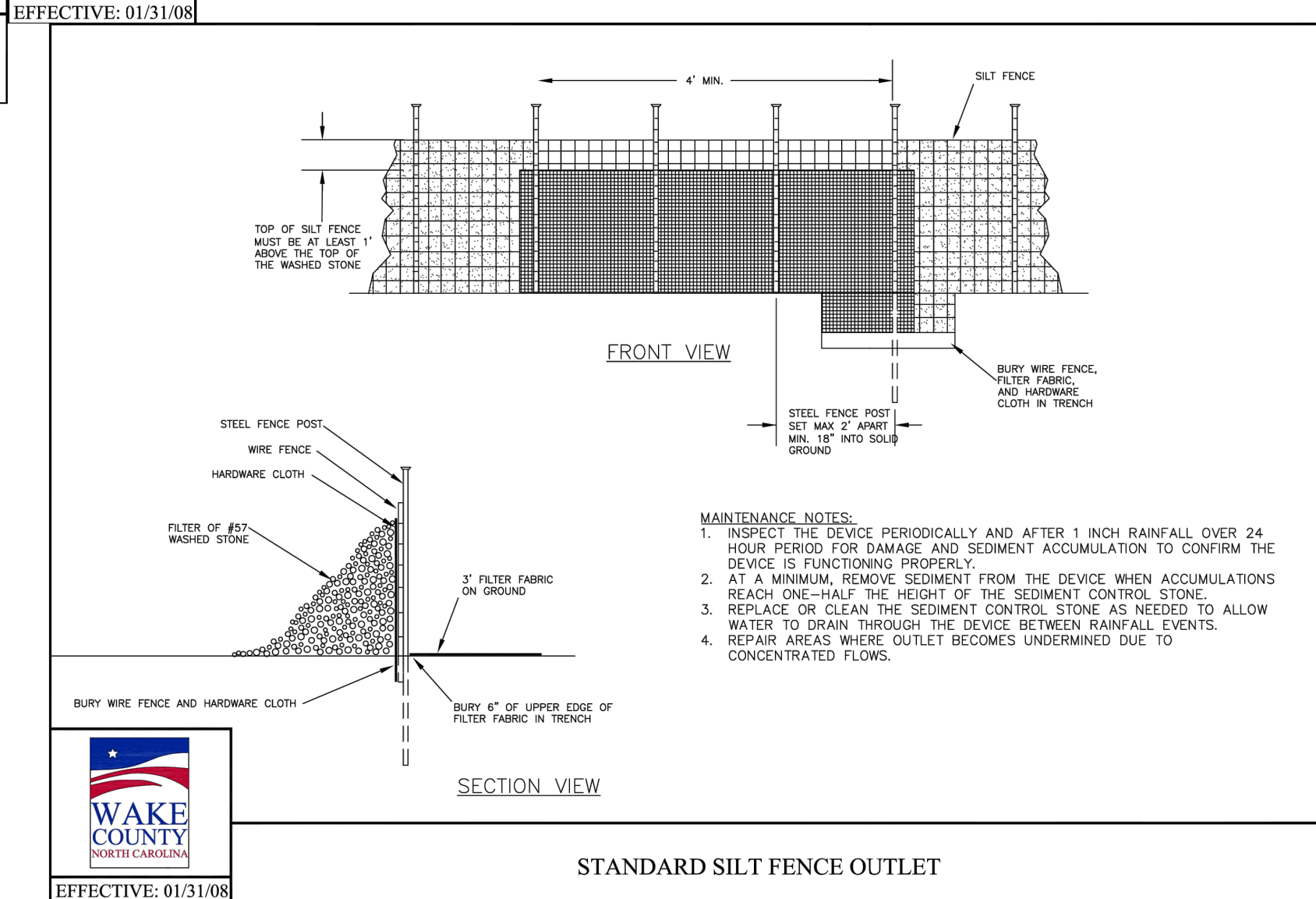
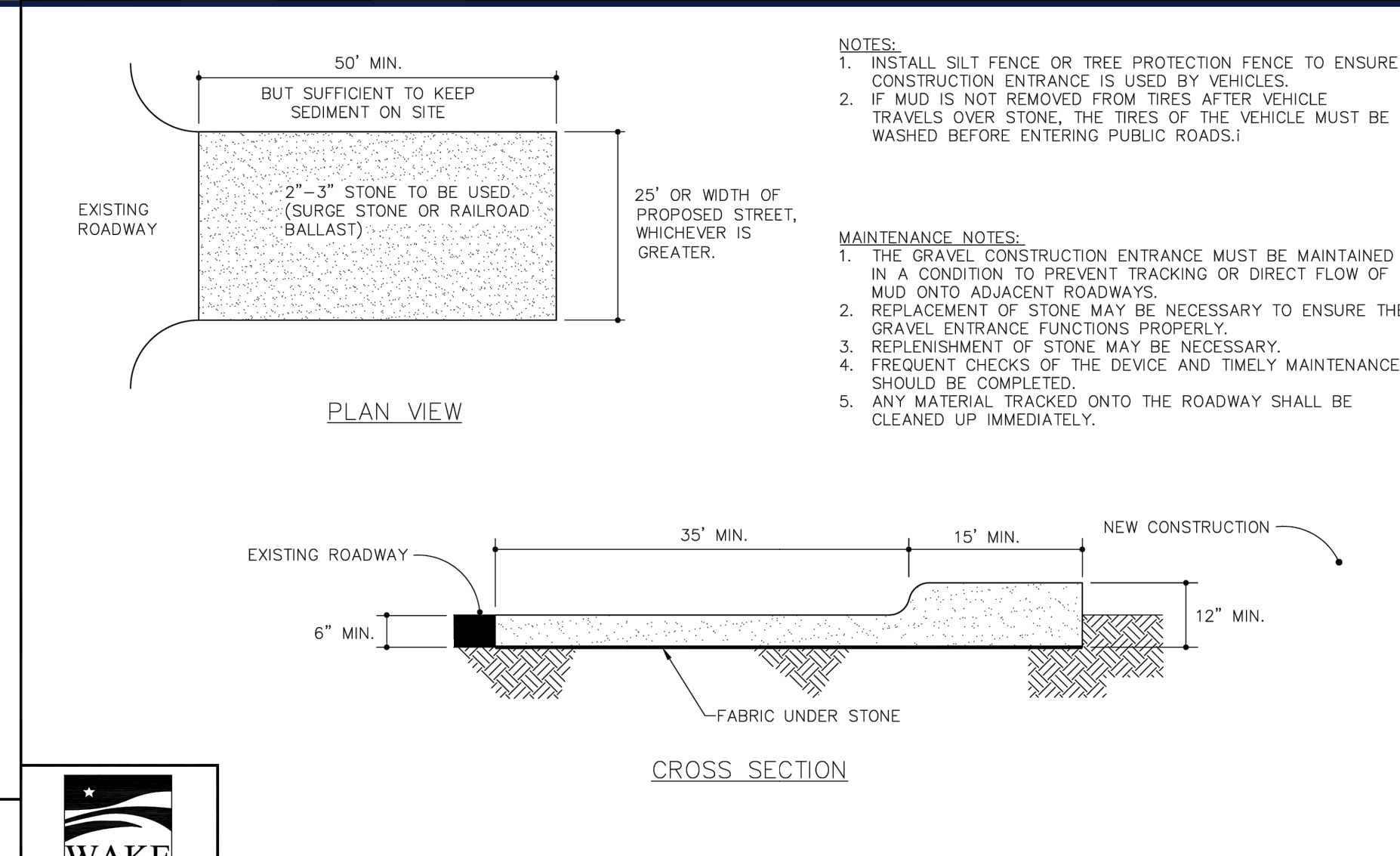
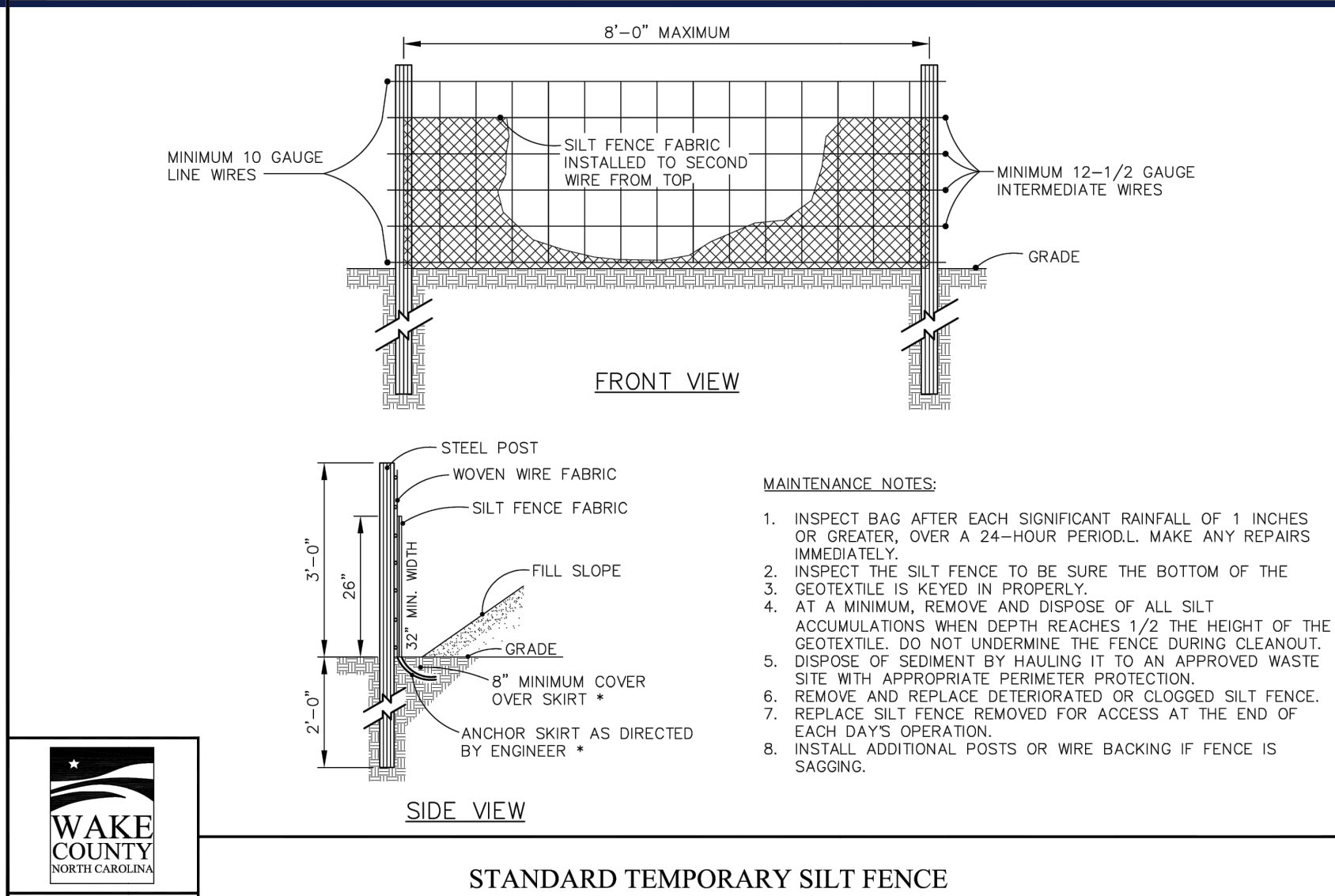
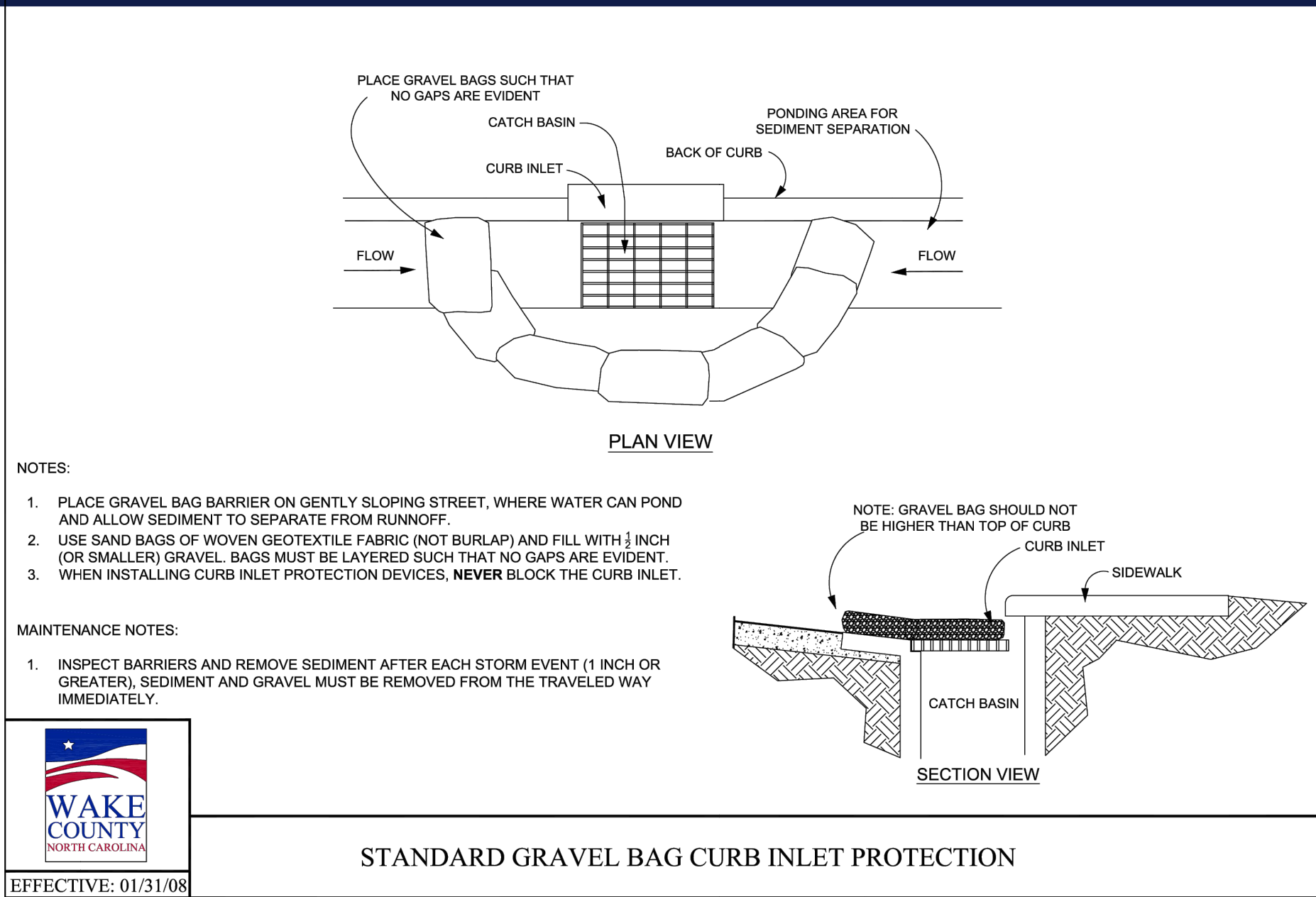
C-803

ORG. DATE - 04/23/24

THIS PLAN TO BE UTILIZED FOR SOIL  
EROSION AND SEDIMENT CONTROL  
PURPOSES ONLY







**BOHLER**  
BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	DRAWN BY / CHECKED BY	

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PROJECT No.: NCB230114.00  
DRAWN BY: VLJ/E/CC  
CHECKED BY: OAK  
DATE: 04/23/24  
CAD ID: P-CIVL-CND5

PROJECT:

**PROPOSED SITE PLAN DOCUMENTS**  
FOR

**CHASE**

PROPOSED DEVELOPMENT  
S MAIN ST & VIRGINIA WATER DR  
ROLESVILLE, NC 27587  
WAKE COUNTY

**BOHLER**  
BOHLER ENGINEERING NC, PLLC  
NCBELS P-1132

4130 PARKLAKE AVENUE, SUITE 200  
RALEIGH, NC 27612  
Phone: (919) 578-9000

NC@BohlerEng.com

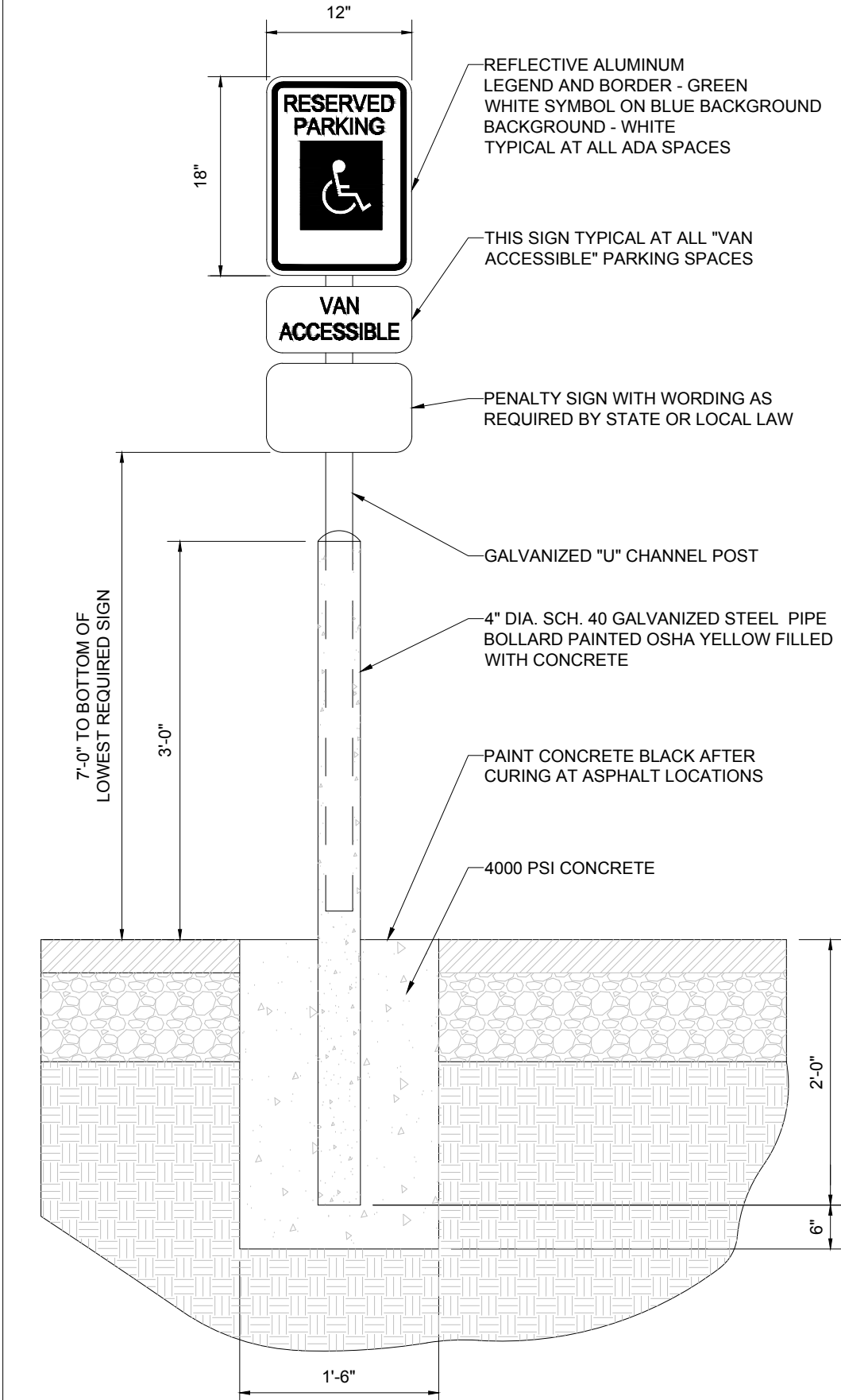
NORTH CAROLINA  
Professional Engineer  
SEAL  
065420  
EXPIRATION DATE 4/23/24

SHEET TITLE:  
**EROSION AND SEDIMENT CONTROL NOTES AND DETAILS**

SHEET NUMBER:  
**C-804**

ORG. DATE - 04/23/24

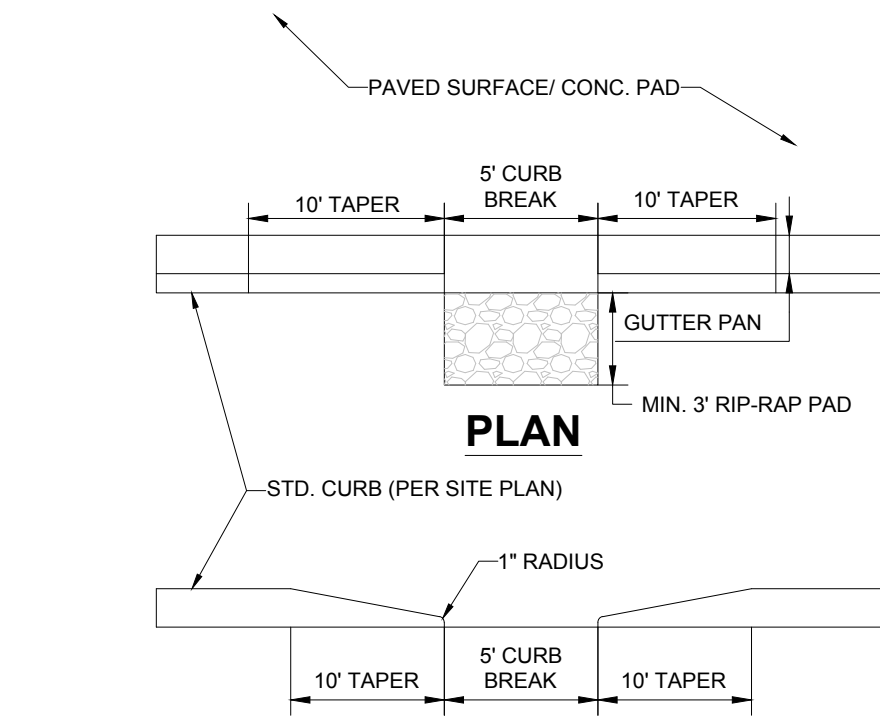




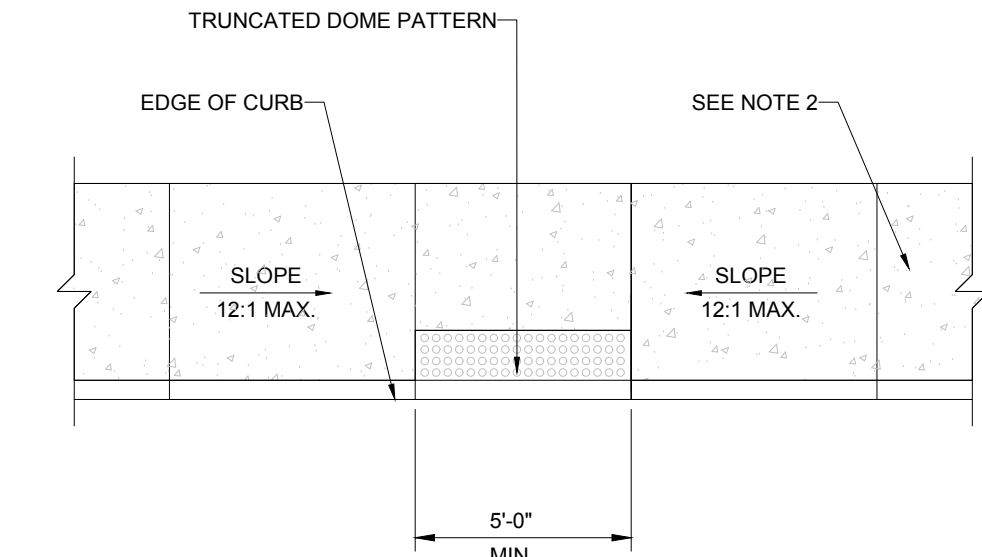
**NOTE:**  
ONE AT EACH ADA SPACE. WHERE ADA SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES

**BOLLARD MOUNTED ADA PARKING SIGN DETAIL**  
NOT TO SCALE

Stop bar and sign details?

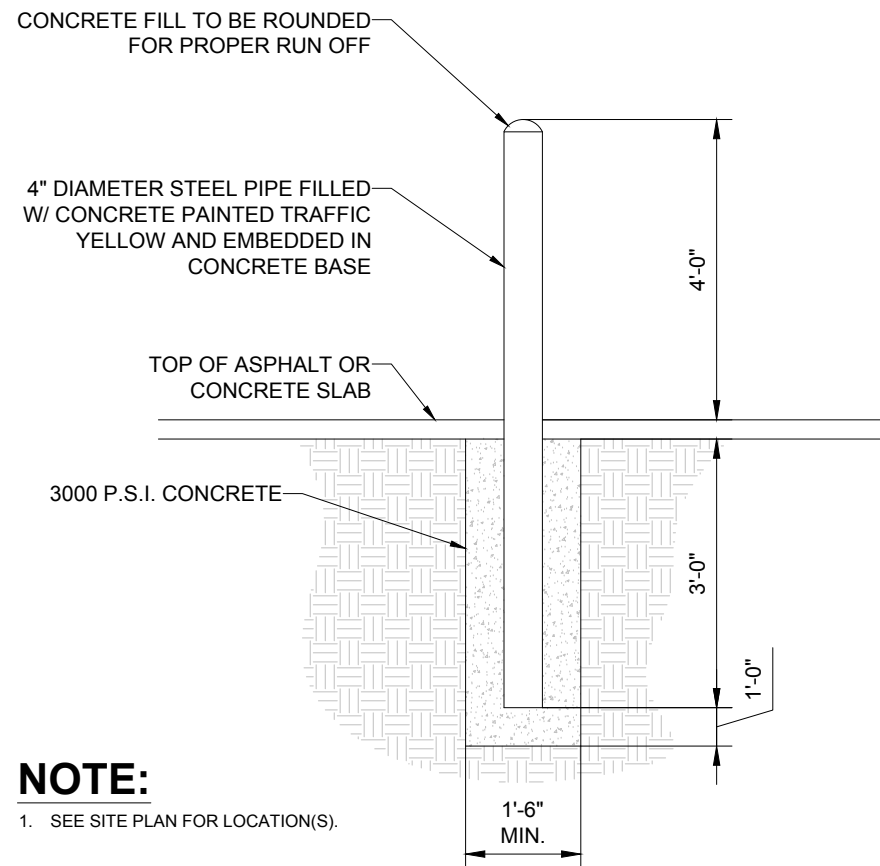


**CURB BREAK DETAIL**  
NOT TO SCALE

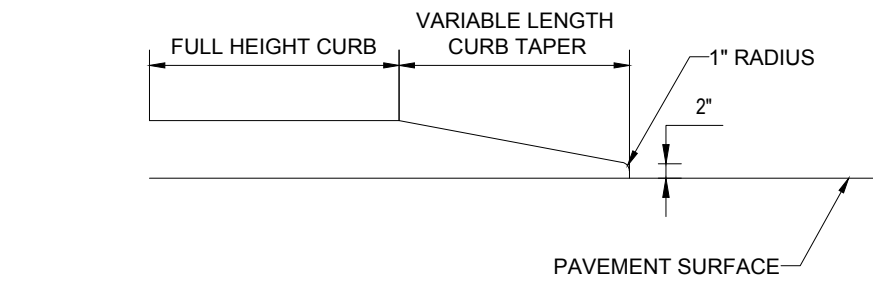


**NOTE:**  
1. ADA ACCESSIBLE RAMP CONSTRUCTION SHALL CONFORM TO CURRENT ADA ACCESSIBLE GUIDELINES.  
2. LEVEL LANDINGS AT TOP OF RAMP TO BE 3' DEEP IF NO CHANGE IN DIRECTION, OR 5'x5' MINIMUM IF A CHANGE IN DIRECTION OCCURS.

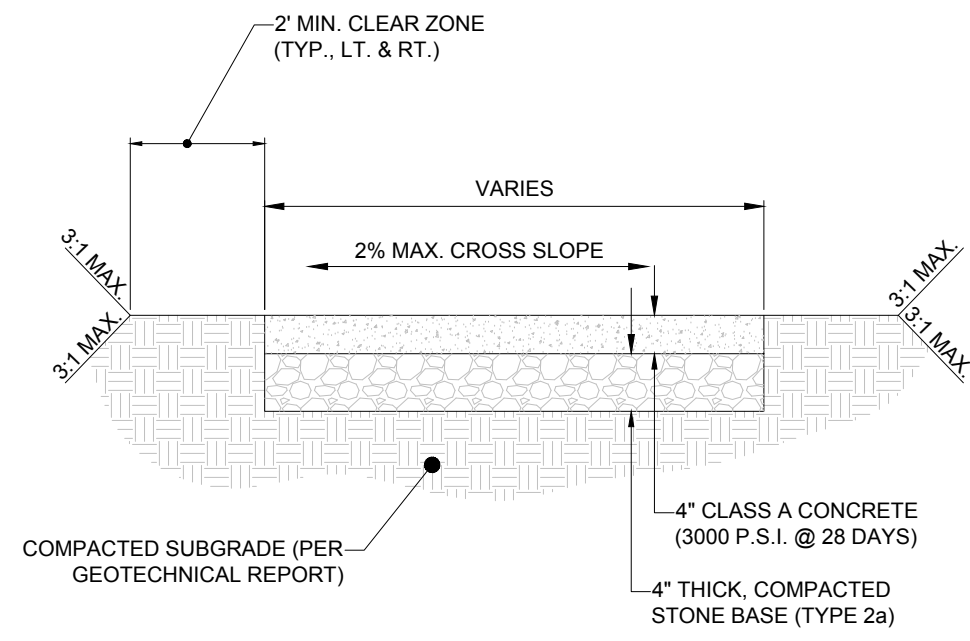
**ADA ACCESSIBLE RAMP DETAIL**  
NOT TO SCALE



**BOLLARD DETAIL**  
NOT TO SCALE

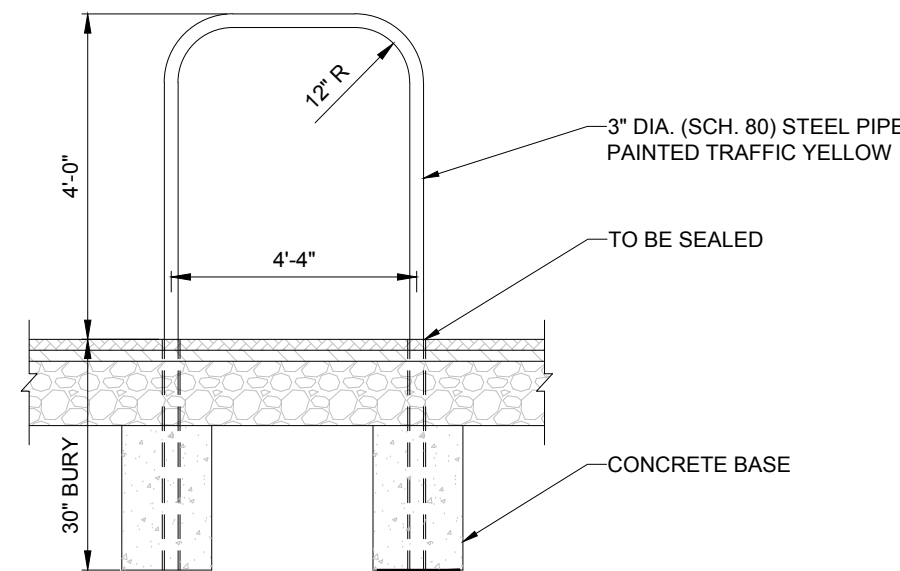


**CURB TAPER DETAIL**  
NOT TO SCALE

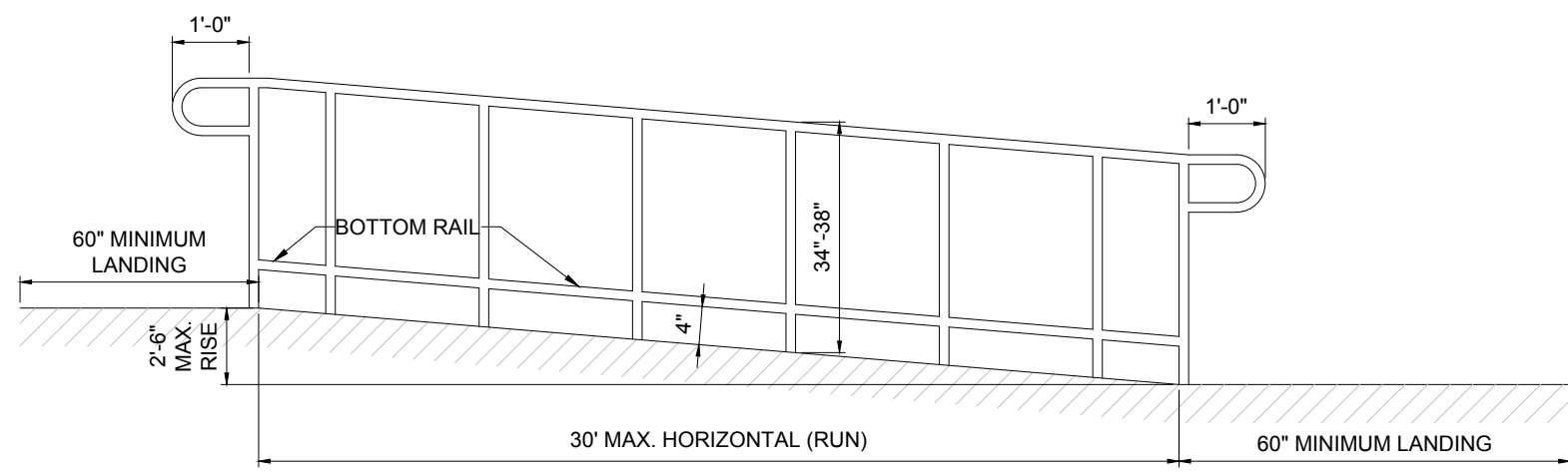


**NOTE:**  
1. EXPANSION JOINTS 1/2" WIDE PREMOULDED BIT. MATERIAL SHALL BE INSTALLED AT 30' INTERVALS, CRACK CONTROL JOINTS TO BE SPACED AT INTERVALS EQUAL TO SIDEWALK WIDTH.

**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE

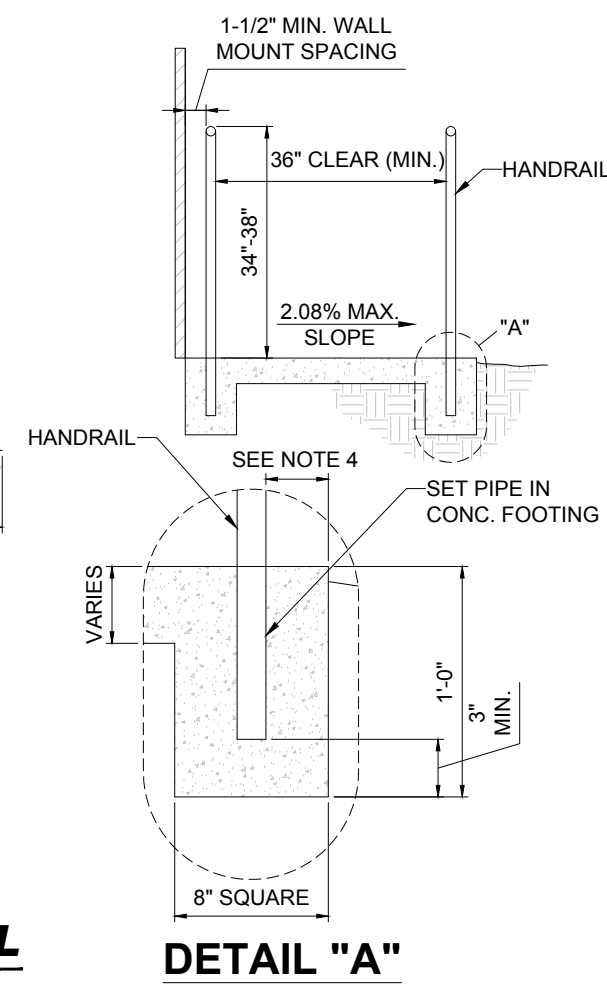


**'U' SHAPED BOLLARD DETAIL**  
NOT TO SCALE

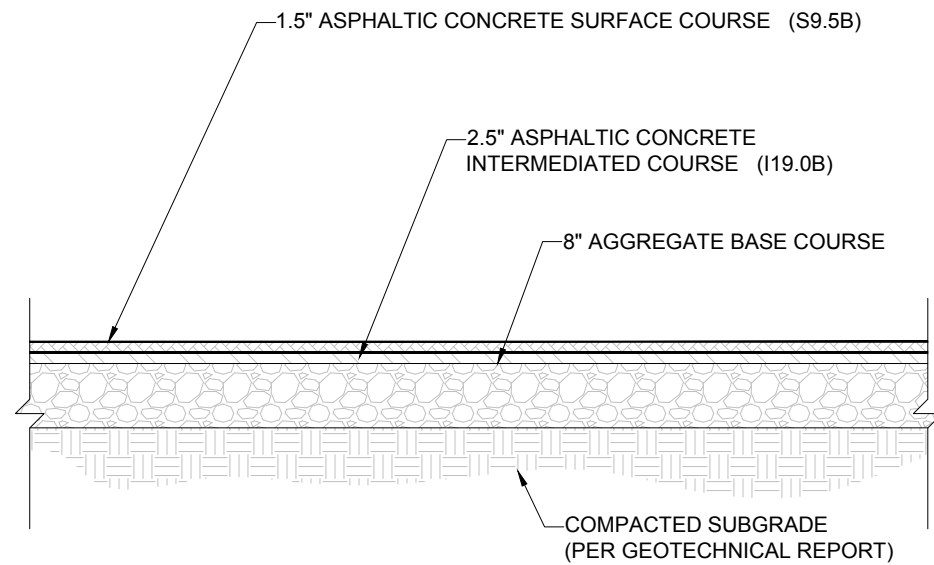


**NOTES:**  
1. RAMP AND HANDRAILS TO BE IN COMPLIANCE WITH CURRENT ADA GUIDELINES.  
2. HANDRAILS WITH CIRCULAR CROSS SECTIONS SHALL BE 1.25" TO 2" OUTSIDE DIAMETER.  
3. NON-CIRCULAR CROSS SECTIONS SHALL HAVE A PERIMETER OF 4" TO 6.25" AND A MAXIMUM CROSS SECTION DIMENSION OF 2.25". (SEE ADA GUIDELINES)  
4. SIDEWALK TO EXTEND 4' BEYOND OUTSIDE OF RAILING WHEN A BOTTOM RAIL IS PROVIDED OR 12' BEYOND WHEN NO BOTTOM RAIL IS PROVIDED.

**TYPICAL ADA RAMP AND HANDRAIL DETAIL**  
NOT TO SCALE

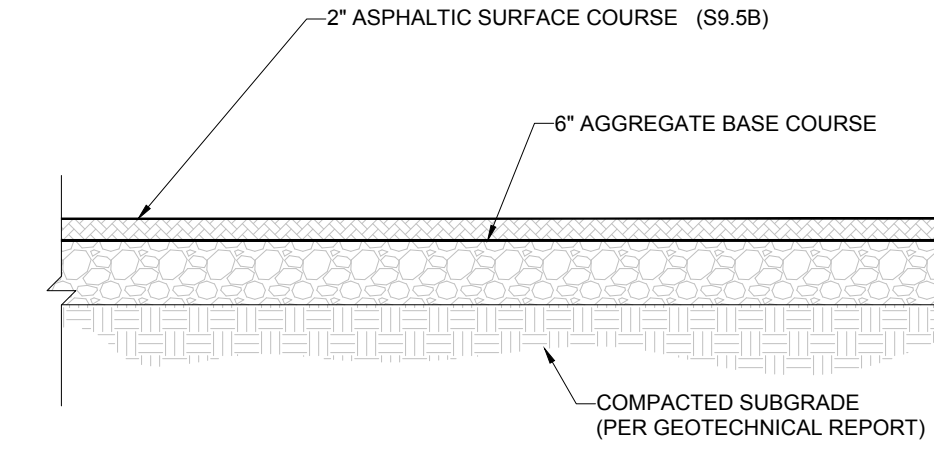


**DETAIL "A"**



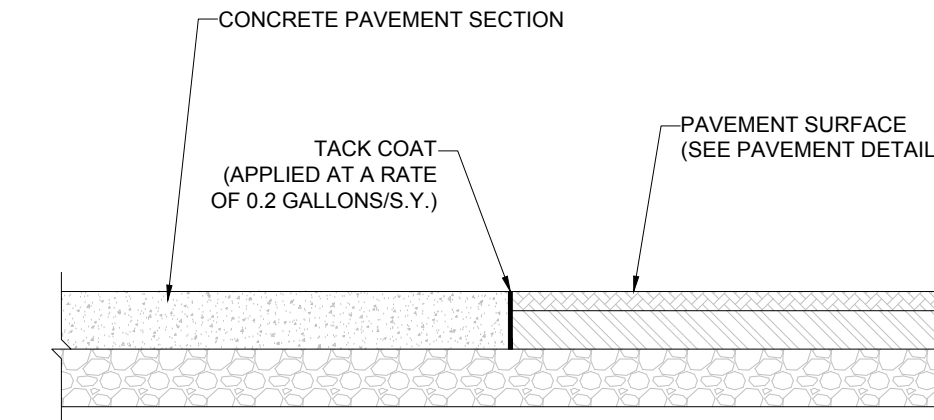
**NOTE:**  
1. SECTION SHOWN IS BASED ON AN ANTICIPATED CBR OF 5 PER GEOTECHNICAL REPORT PREPARED BY TERRATECH, ENTITLED ROLESVILLE SITE, DATED 11-26-18 (PROJECT #121-18-18192). FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

**HEAVY DUTY ASPHALT PAVEMENT SECTION**  
NOT TO SCALE

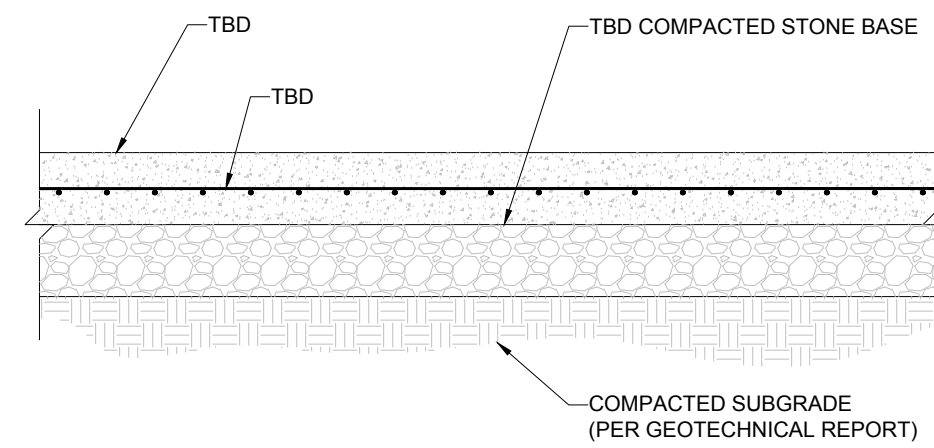


**NOTE:**  
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**STANDARD DUTY ASPHALT PAVEMENT SECTION**  
NOT TO SCALE

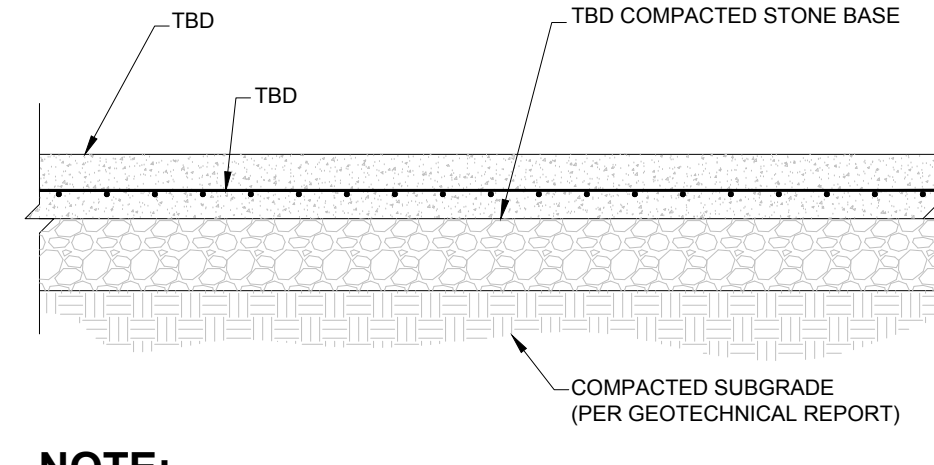


**CONCRETE-TO-ASPHALT DETAIL**  
NOT TO SCALE



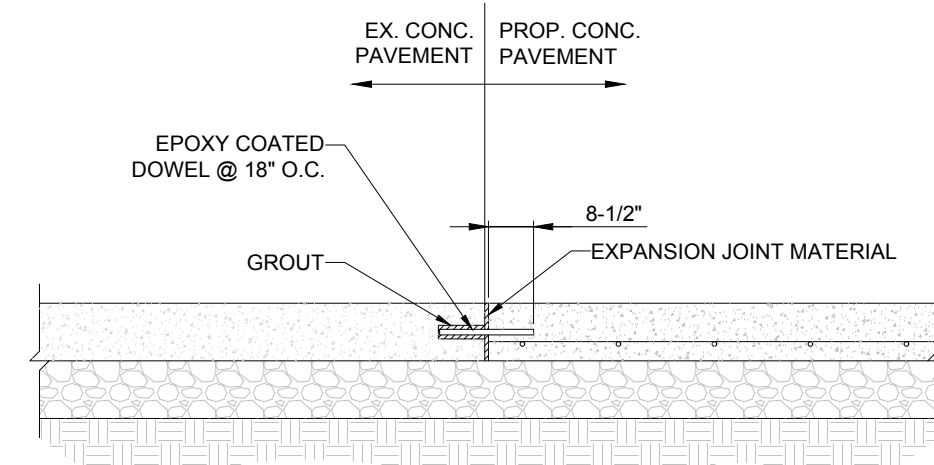
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**HEAVY DUTY CONCRETE SECTION**  
NOT TO SCALE



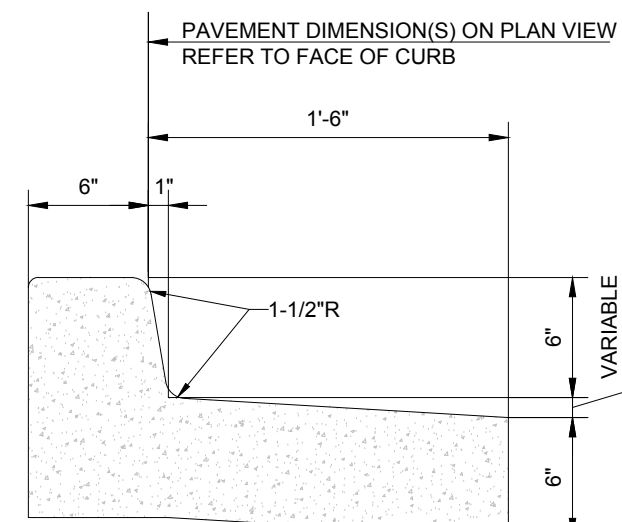
**NOTE:**  
1. SECTION SHOWN IS BASED ON AN ANTICIPATED CBR OF 5 PER GEOTECHNICAL REPORT PREPARED BY TERRATECH, ENTITLED ROLESVILLE SITE, DATED 11-26-18 (PROJECT #121-18-18192). FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

**STANDARD DUTY CONCRETE SECTION**  
NOT TO SCALE



**NOTE:**  
1. CONTRACTOR TO BLOW OUT DUST FROM DRILLED HOLES PRIOR TO APPLYING GROUT.

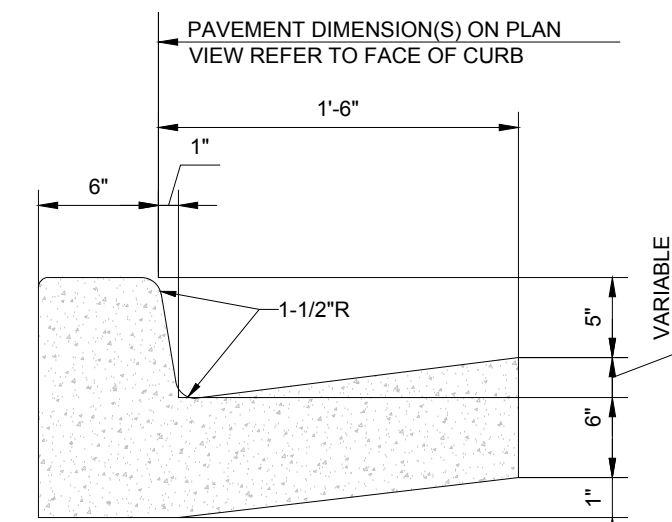
**CONCRETE DOWELING DETAIL**  
NOT TO SCALE



**SPILL CURB & GUTTER**

**NOTES:**  
1. CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. @ 28 DAYS.  
2. CONSTRUCTION STAKING FOR CURB INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB.  
3. AT CONTRACTOR'S OPTION, THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER CONTIGUOUS WITH BOTTOM OF ASPHALT PAVEMENT.  
4. CONTRACTION JOINTS SHALL BE PLACED @ 10'-0" O.C. TOOLED 1/4" (±1/16") WIDE, 1" DEEP. EXPANSION JOINTS SHALL BE PLACED @ 40'-0" INTERVALS, MAXIMUM, AND ALL P.C.'S.  
5. GUTTER PAN SLOPE TO BE ADJUSTED WITHIN ACCESSIBLE PARKING SPACES TO MATCH SLOPE BETWEEN SPOT ELEVATIONS.  
6. GUTTER TYPE AND SLOPE TO MATCH ADJACENT PAVEMENT SLOPE AND DIRECTION.

**ON-SITE CONCRETE CURB & GUTTER DETAIL**  
NOT TO SCALE



**COLLECTOR CURB & GUTTER**

**BOHLER**  
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SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY



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PROJECT No.: NC8230114.00  
DRAWN BY: VLJ/IE/CC  
CHECKED BY: OAK  
DATE: 04/23/24  
CAD ID: P-CIVL-CNDIS

PROJECT:

**PROP.  
SITE PLAN  
DOCUMENTS**  
FOR



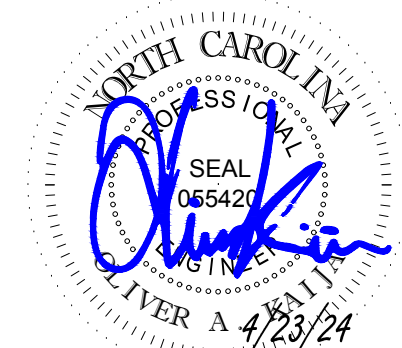
PROPOSED  
DEVELOPMENT

S MAIN ST & VIRGINIA WATER DR  
ROLESVILLE, NC 27587  
WAKE COUNTY

**BOHLER**  
BOHLER ENGINEERING NC, PLLC  
NCBELS P-1132

4130 PARKLAKE AVENUE, SUITE 200  
RALEIGH, NC 27612  
Phone: (919) 578-9000

NC@BohlerEng.com



SHEET TITLE:

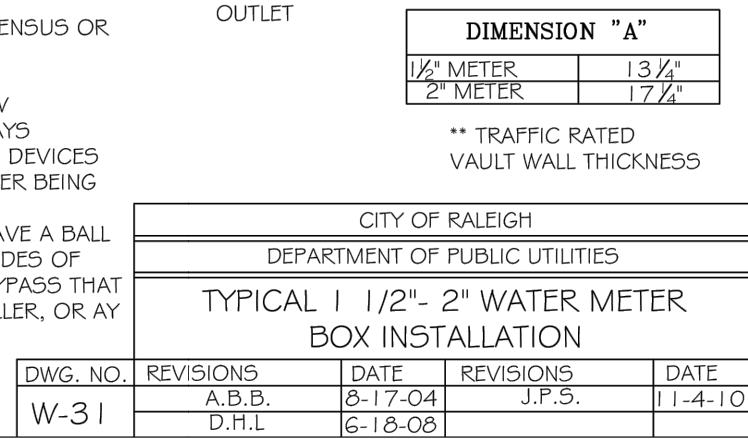
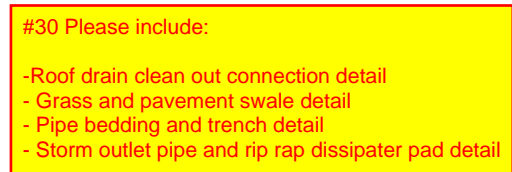
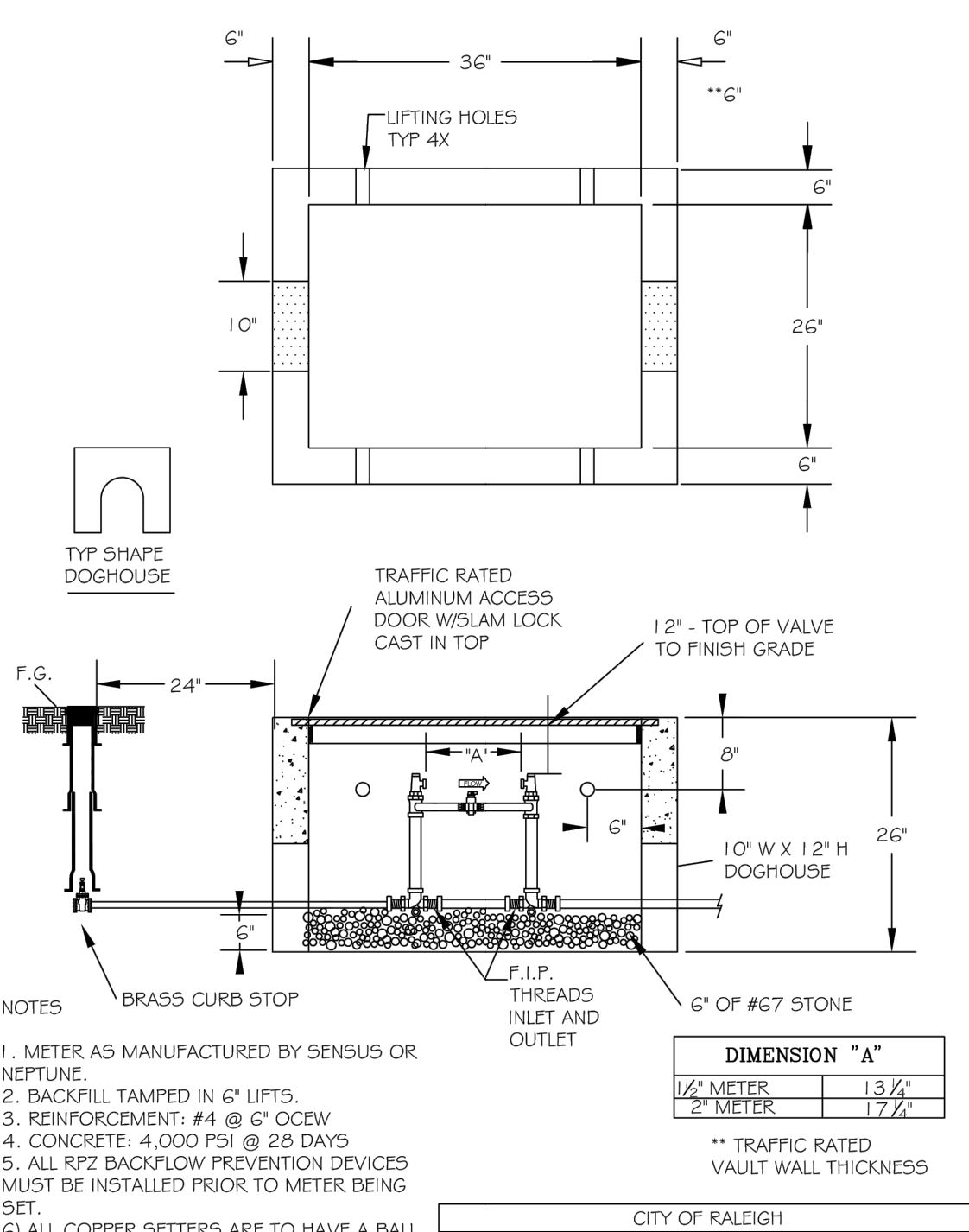
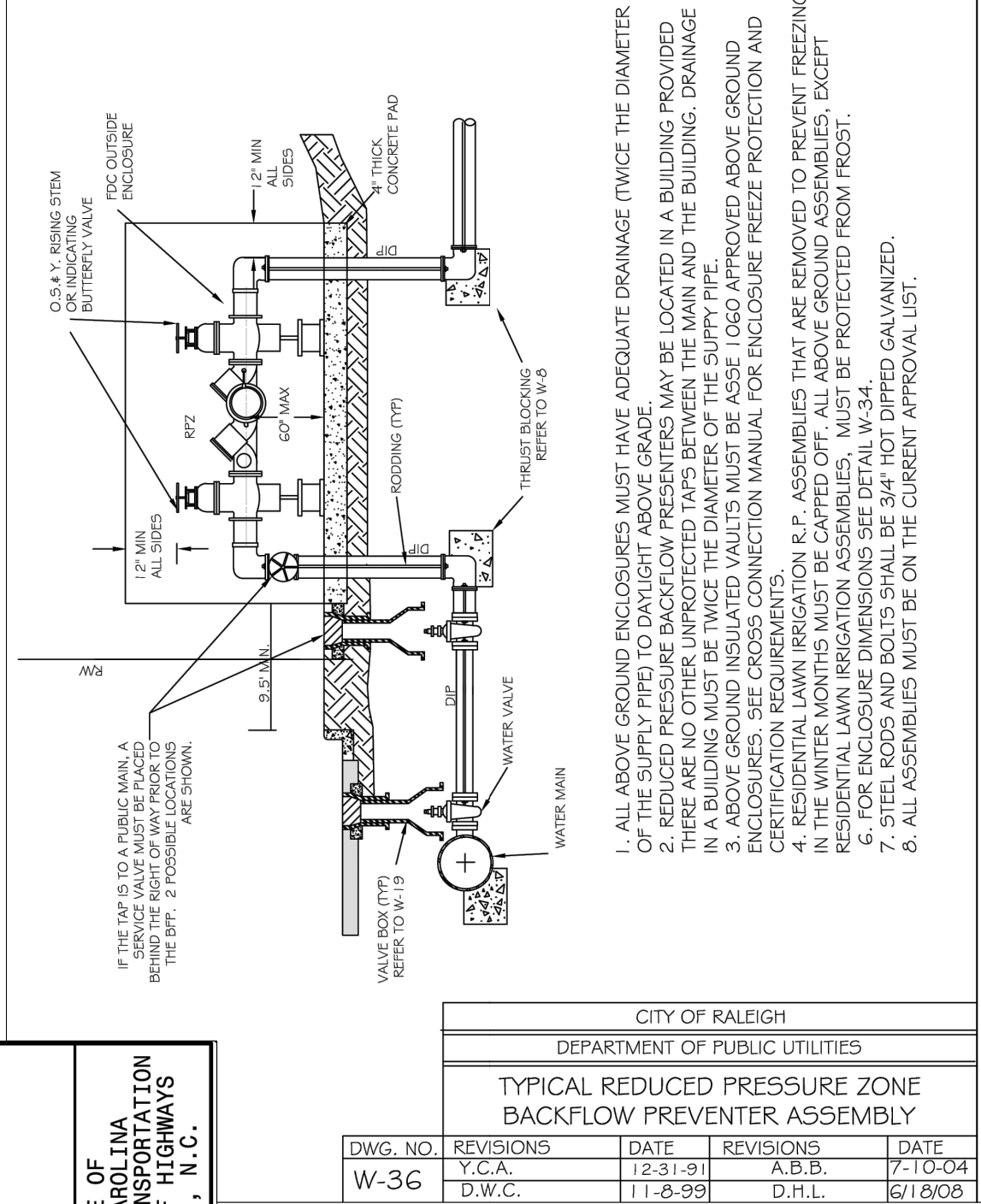
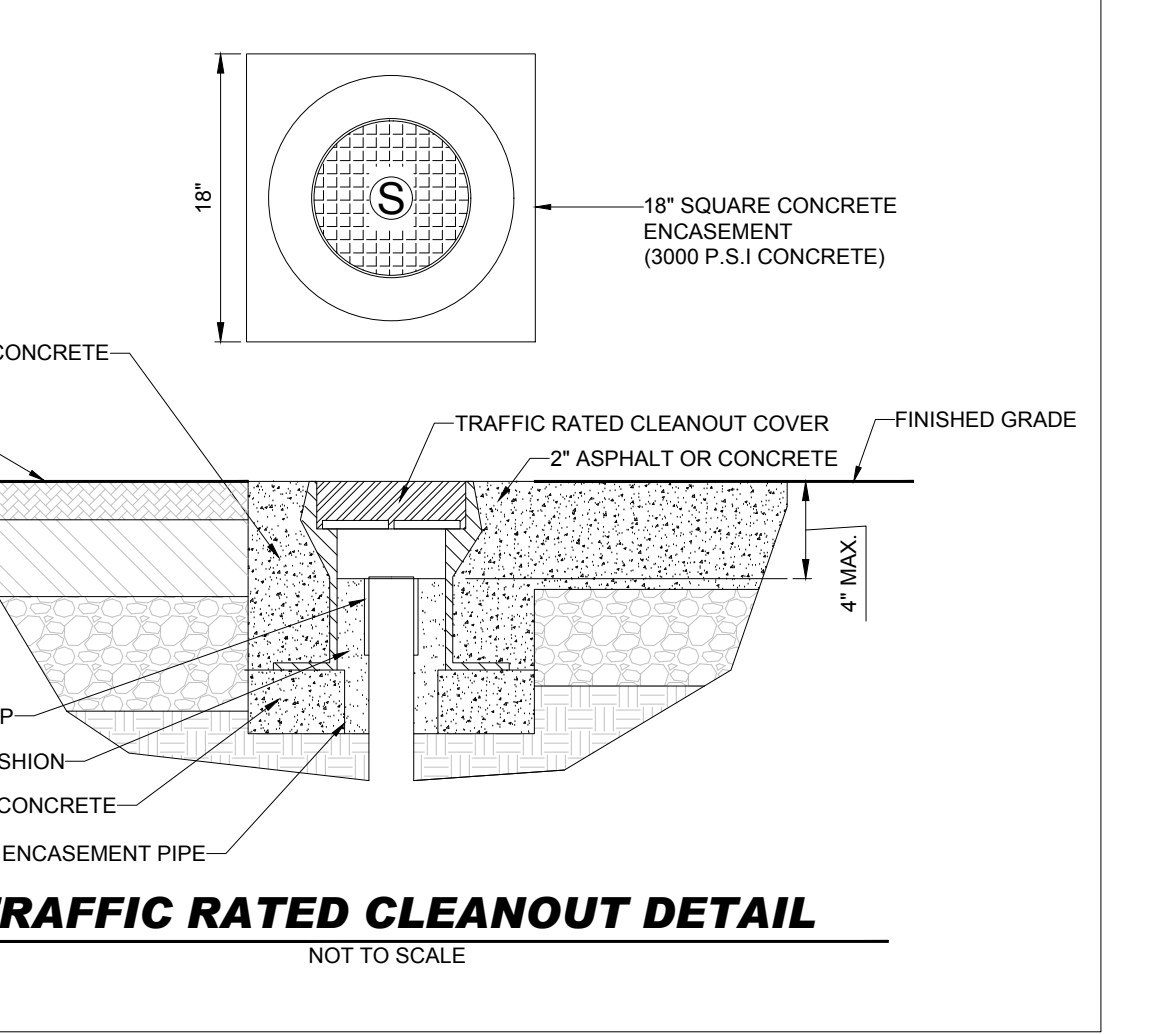
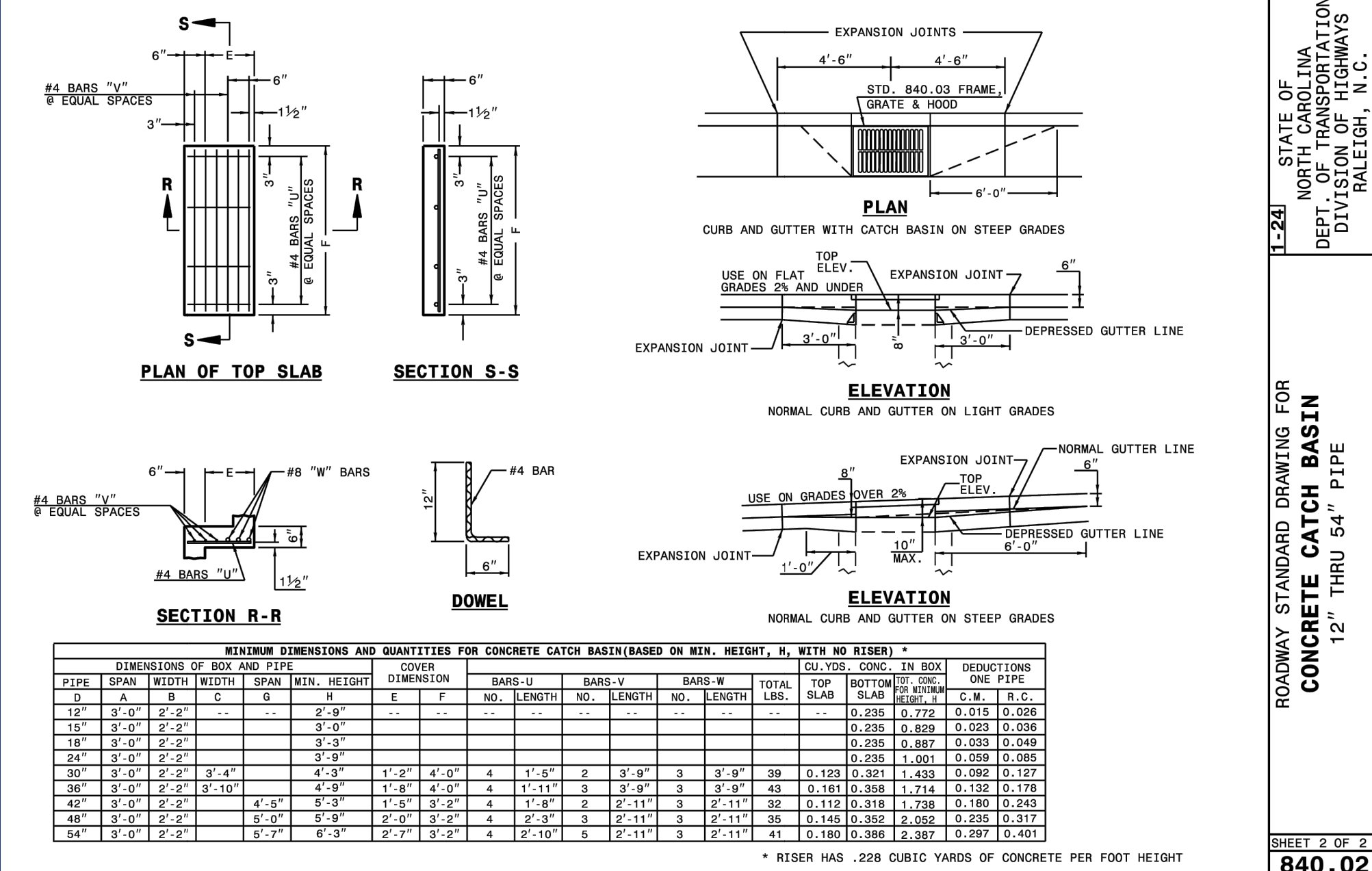
**CONSTRUCTION  
DETAILS**

SHEET NUMBER:

**C-901**

ORG. DATE - 04/23/24



[illegible]





***VIRGINIA WATER DR***

**WALLBROOK LANDCO LLC**  
**FUTURE LOT 5A**  
**±1.63 AC**  
**EX. PIN: 1758-56-3963**  
**DB 18103, PG 1563**  
**PB 2023, PG 1602**  
**ZONING: GC-CZ**  
**EX. LAND USE: VACANT**

**WALLBROOK LANDCO LLC  
FUTURE LOT 5B (TO BE DESIGNED  
PERMITTED BY OTHERS)  
±1.05 AC  
EX. PIN: 1758-56-3963  
DB 18103, PG 1563  
PB 2023, PG 1602  
ZONING: GC-CZ  
EX. LAND USE: VACANT**

CODE COMPLIANCE CHART / ROLESVILLE LAND DEVELOPMENT ORDINANCE		
SECTION	REQUIREMENT	CALCULATIONS
SECTION 6.2.1 OPEN SPACE	<p><b>NON-RESIDENTIAL DISTRICTS</b></p> <p>1. LESS THAN 25 ACRES REQUIRES ONE (1) SMALL OPEN SPACE TYPE: 500 SF; 1.0 ACRE IN SIZE. TYPES INCLUDE: PLAZA, GREEN, POCKET PARK, OR ACTIVE USE AREA.</p>	<p>OPEN SPACE PROVIDED: 500 SF SEATING AREA WITH THREE (3) BENCHES AND ONE (1) WASTE RECEPTACLE.</p>
SECTION 6.2.2 BUFFERING	<p><b>REQUIRED LANDSCAPE AREAS</b></p> <p>PLAN IS PART OF THE WALLBROOK DEVELOPMENT. BUFFERS AND STREETS/CARPARKS PREVIOUSLY APPROVED AND TO BE PLANTED BY OTHERS.</p>	<p>COMPLIES</p>
SECTION 6.2.2.2 BUFFERING	<p><b>REQUIRED LANDSCAPE AREAS</b></p> <p>1. SHALL INSTALL AND MAINTAIN PER EVERY FORTY (40) FEET OF THOROUGHFARE FRONTAGE; PER EVERY FIFTY (50) FEET ALONG COLLECTOR STREET FRONTAGE; AND PER EVERY SIXTY (60) FEET ALONG LOCAL STREETS: ONE (1) STREET TREE 2.5" CAL. OR, TWO (2) ORNAMENTAL TREES 1.5" CAL WHERE POWERLINES ARE PRESENT.</p>	<p>COMPLIES</p>
SECTION 6.2.4.4 PARKING LOT LANDSCAPING	<p><b>PARKING LOT TERMINAL/INTERIOR ISLAND LANDSCAPING STANDARDS:</b></p> <p>1. TERMINAL AND INTERIOR ISLANDS, SHALL BE AT LEAST EIGHT (8) FEET WIDE BY EIGHTEEN (18) FEET IN LENGTH MEASURED FROM INSIDE OF CURB. 2. ONE (1) LARGE OR MEDIUM CANOPY TREE SHALL BE REQUIRED FOR EVERY ONE-HUNDRED-AND-FIFTY (150) SQUARE FEET (OR FRACTION ABOVE ONE-HALF) WITH A MINIMUM OF ONE LARGE OR MEDIUM CANOPY TREE REQUIRED PER TERMINAL OR INTERIOR ISLAND. 3. ALL PARKING SPACES SHALL BE WITHIN 60 LF OF A CANOPY TREE. 4. TERMINAL ISLANDS SHALL BE LANDSCAPED WITH SHRUBS, ACCENT PLANTS, ORNAMENTAL GRASSES AND GROUND COVER, EXCLUDING SOD, WHICH WILL PROVIDED ONE HUNDRED (100)PERCENT COVERAGE WITHIN TWO (2) YEARS. 5. LANDSCAPING IN ISLANDS ADJACENT TO PARKING SPACES SHALL BE SETBACK A MINIMUM OF TWO (2) FEET FROM THE BACK OF CURB.</p> <p><b>PARKING PERIMETER PLANTINGS:</b></p> <p>1. PARKING PERIMETER PLANTINGS SHALL BE REQUIRED TO ENHANCE THE VIEW OF A PARKING LOT FROM ABUTTING STREETS AND PROPERTIES. PARKING PERIMETER PLANTINGS SHALL BE PROVIDED ON THE PERIMETER OF ALL PARKING LOTS. 2. PARKING PERIMETER PLANTINGS SHALL CONSIST OF A SINGLE CONTINUOUS ROW OF SHRUBS PLANTED NO GREATER THAN THREE (3) FEET ON CENTER AND WITHIN FIVE (5) FEET OF THE PARKING LOT EDGE. 3. PARKING LOT SHRUBS SHALL BE A MINIMUM HEIGHT OF THIRTY (30) INCHES ABOVE GRADE WITHIN THREE YEARS OF PLANTING. SHRUBS MAY NOT EXCEED A HEIGHT OF FOUR (4) FEET AND SHALL BE PRUNED AND MAINTAINED.</p>	<p>COMPLIES</p>
SECTION 6.2.4.6 SERVICE AREA SCREENING	<p>1. SERVICE AREAS AND EQUIPMENT SHALL BE SCREENED FROM ADJACENT PROPERTIES AND RIGHT-OF-WAY.</p>	<p>COMPLIES</p>
SECTION 6.2.4.7 GENERAL STANDARDS	<p>1. PLANTS SHALL BE NATIVE OR LOCALLY ADAPTIVE SPECIES. 2. PLANT LIST SHALL INCLUDE AT LEAST FOUR (4) DIFFERENT TREE SPECIES WITH NO ONE SPECIES BEING GREATER THAN THIRTY-FIVE (35) PERCENT OF THE PALETTE. 3. CANOPY TREES: 3" CAL, 12" MINIMUM HEIGHT AND ATTAIN A MATURE HEIGHT OF 35' AND 30' SPREAD. 4. DECIDUOUS UNDERSTORY TREE: 2" CAL, 8" MINIMUM HEIGHT AND ATTAIN A MATURE HEIGHT OF 15' AND 15' SPREAD. 5. EVERGREEN SHRUBS: 24" MINIMUM HEIGHT 6. DECIDUOUS SHRUBS: 18" MINIMUM HEIGHT 7. ORNAMENTAL GRASSES: 2 GAL. MINIMUM 8. GROUND COVER: 1 GAL. MINIMUM</p>	

PLANT SCHEDULE					
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CANOPY TREES					
AO	4	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3' CAL	B&B
AS	4	ACER SACCHARUM	SUGAR MAPLE	3' CAL	B&B
MX	1	MAGNOLIA X 'JANE'	JANE MAGNOLIA	3' CAL	B&B
QJ2	1	QUERCUS ILYRIA	OVERCUP OAK	3' CAL	B&B
QNJ	2	QUERCUS NUTTALLI	NUTTALL OAK	3' CAL	B&B
QP	5	QUERCUS PALustris	PN OAK	2.5' CAL	B&B
QS	3	QUERCUS SHUMARDII	SHUMARD OAK	3' CAL	B&B
UP	2	ULMUS PARVIFOLIA	LEACEBARK ELM	3' CAL	B&B
ORNAMENTAL TREES					
LT2	3	LAGERSTROEMIA INDICA X FAURIEI 'TOTO'	TOTO CRANE MYRTLE MULTI-TRUNK	2' CAL	B&B
SHRUBS					
AK	21	ABELIA X GRANDIFLORA 'KALEIDOSCOPE'	KALEIDOSCOPE GLOSSY ABELIA	24" MIN	CONTAINER
HQ	5	HYDRANGEA QUERCIFOLIA	16-24" HYDRANGEA	16-24" HT.	CONTAINER
IE	7	'ILEX' EMILY BRUNER	EMILY BRUNER HOLLY	6 MIN.	CONTAINER
IS	129	'ILEX' G. JARA 'SHAMROCK'	SHAMROCK INVERSY HOLLY	24" MIN	CONTAINER
IT	4	'ITEA' VIRGINICA 'LITTLE HENRY'	MIRNOSA SWESTSPICE	16-24"	CONTAINER
IVN	13	'ILEX VOMITORIA' NANA	DWARF VOMIT HOLLY	24" MIN	CONTAINER
LN2	15	LORETOPALM CHINENSE RUBRUM 'PILCA'	CRIMSON FIRE™ FINGER FLOWER	24" MIN	CONTAINER
GRASSES					
MP	94	MULLEBERGERIA CAPILLARIS 'PINK CLOUD'	PINK CLOUD PINK MUHLY GRASS	2 GAL.	CONTAINER
GROUND COVER					
LV	37	LIROPE MUSCARI VAREGATA	VAREGATED LILY TUFT	1 GAL.	CONTAINER

## REVISIONS

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## PERMIT SET

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PROJECT No.:	NCB230114.00
DRAWN BY:	VL/JE/CC
CHECKED BY:	OAK
DATE:	04/23/24
CAD I.D.:	P-CIVL-LLGT

**PROJECT:**


**PROP.  
SITE PLAN  
DOCUMENTS**

\_\_\_\_\_ FOR \_\_\_\_\_

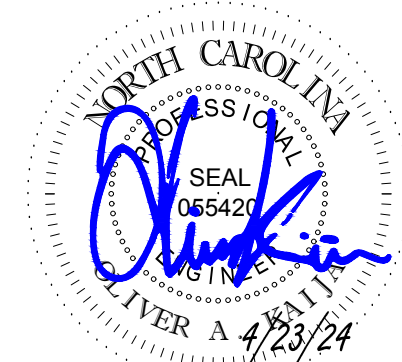


**PROPOSED  
DEVELOPMENT**

S MAIN ST & VIRGINIA WATER DR  
ROLESVILLE, NC 27587  
WAKE COUNTY

**BOHLER**   
BOHLER ENGINEERING NC, PLLC  
NCBELS P-1132

**4130 PARKLAKE AVENUE, SUITE 200  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
*NC@BohlerEng.com***



**SHEET TITLE:**

## LANDSCAPE PLAN

SHEET NUMBER:

L-101

ORG. DATE - 04/23/24



LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:  
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS  
A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.  
B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.

C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.  
1.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED  
1.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS.  
1.3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.  
D. MULCH - THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR BARK MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.

E. FERTILIZER  
1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.  
1.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

F. PLANT MATERIAL  
1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE 'AMERICAN STANDARD FOR NURSERY STOCK' (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.  
1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.  
1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.  
1.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.  
1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.  
1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.  
1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.  
1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES  
A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.  
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS  
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.  
B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.  
D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

5. TREE PROTECTION  
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.  
B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.

C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.  
D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

6. SOIL MODIFICATIONS  
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.  
B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.  
C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.  
1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.  
1.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.  
1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

7. FINISHED GRADING  
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.  
B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").  
C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.  
D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

8. TOPSOILING  
A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.  
B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.  
C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.  
D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA):  
1.1. 20 POUNDS 'GROW POWER' OR APPROVED EQUAL  
1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING  
A. INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.

B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.  
C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.

D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.  
E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:  
1.1. PLANTS: MARCH 15 TO DECEMBER 15  
1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

G. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

H. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:  
ACER RUBRUM PLATANUS X ACERIFOLIA  
BETULA VARIETIES POPULUS VARIETIES  
CARPINUS VARIETIES PRUNUS VARIETIES  
CRATAEGUS VARIETIES PYRUS VARIETIES  
KOELREUTERIA QUERCUS VARIETIES  
LIQUIDAMBER STYRACIFLUA TILIA TOMENTOSA  
LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

I. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL, MIXED THOROUGHLY:  
• 1 PART PEAT MOSS  
• 1 PART COMPOSTED COW MANURE BY VOLUME  
• 3 PARTS TOPSOIL BY VOLUME  
• 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:  
A) 2 TABLETS PER 1 GALLON PLANT  
B) 3 TABLETS PER 5 GALLON PLANT  
C) 4 TABLETS PER 15 GALLON PLANT  
D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK

J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.

K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.

L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.

M. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.

O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPLANTING (WHEN REQUIRED)  
A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.

B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.

C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.

D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.

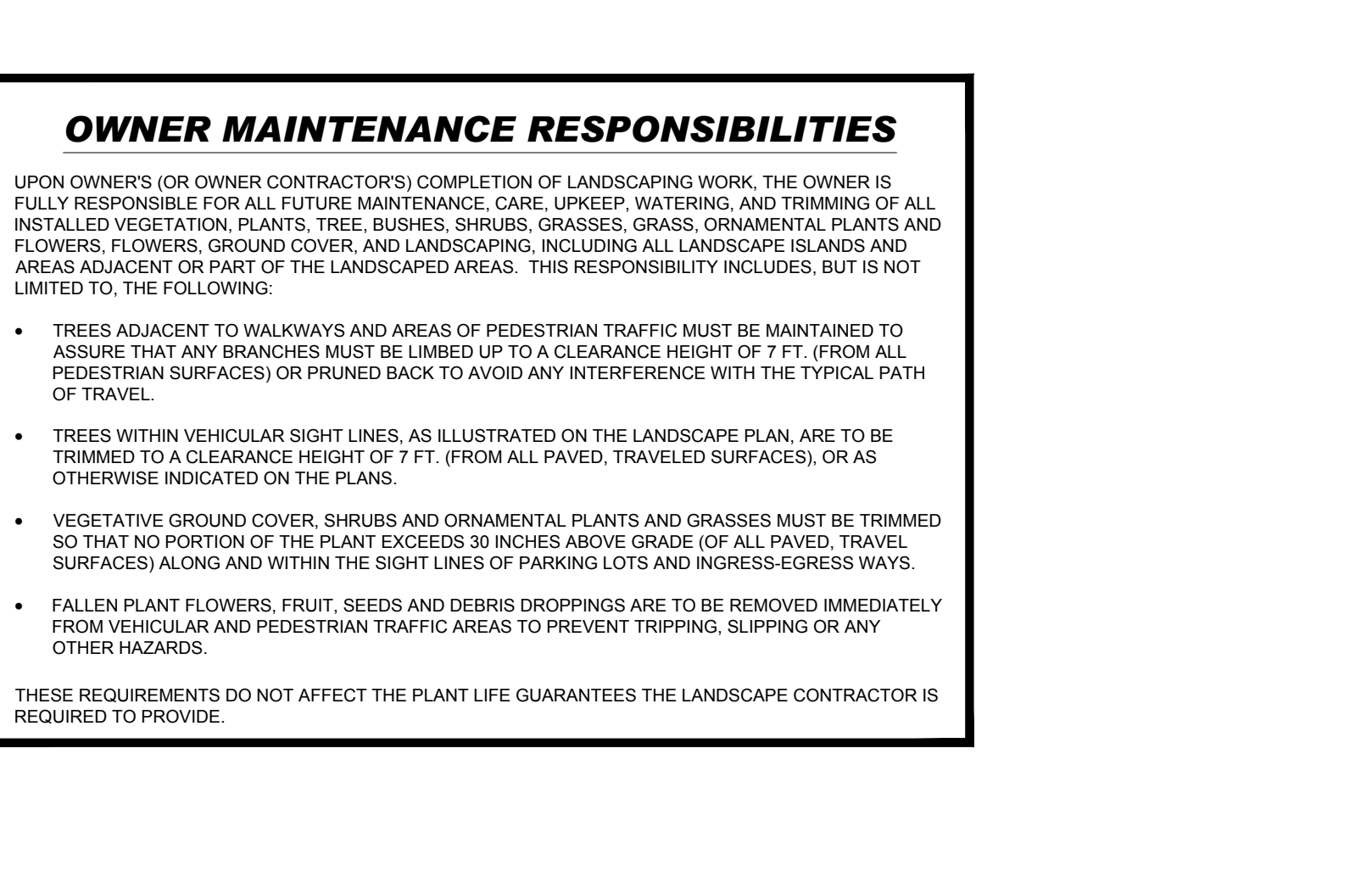
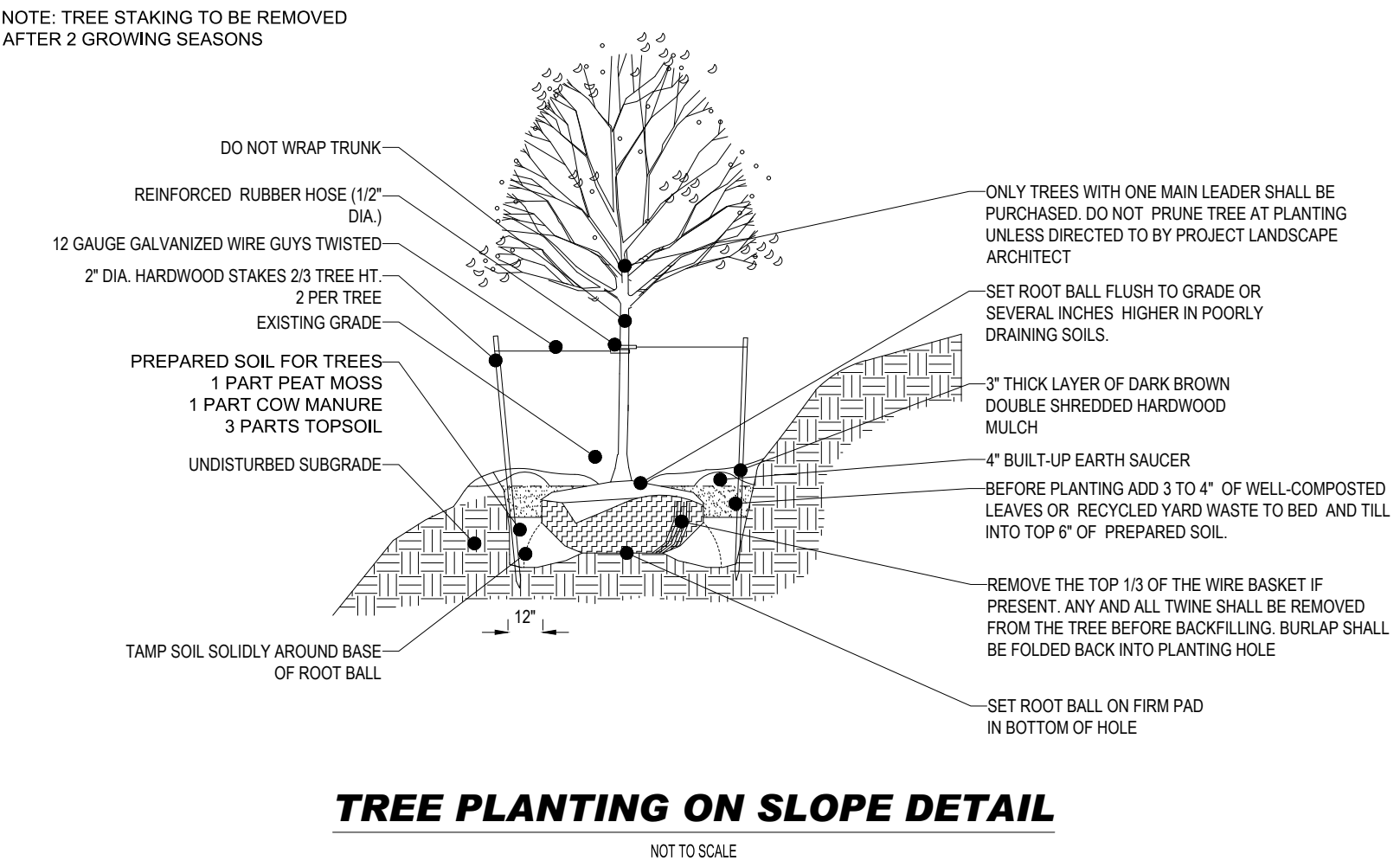
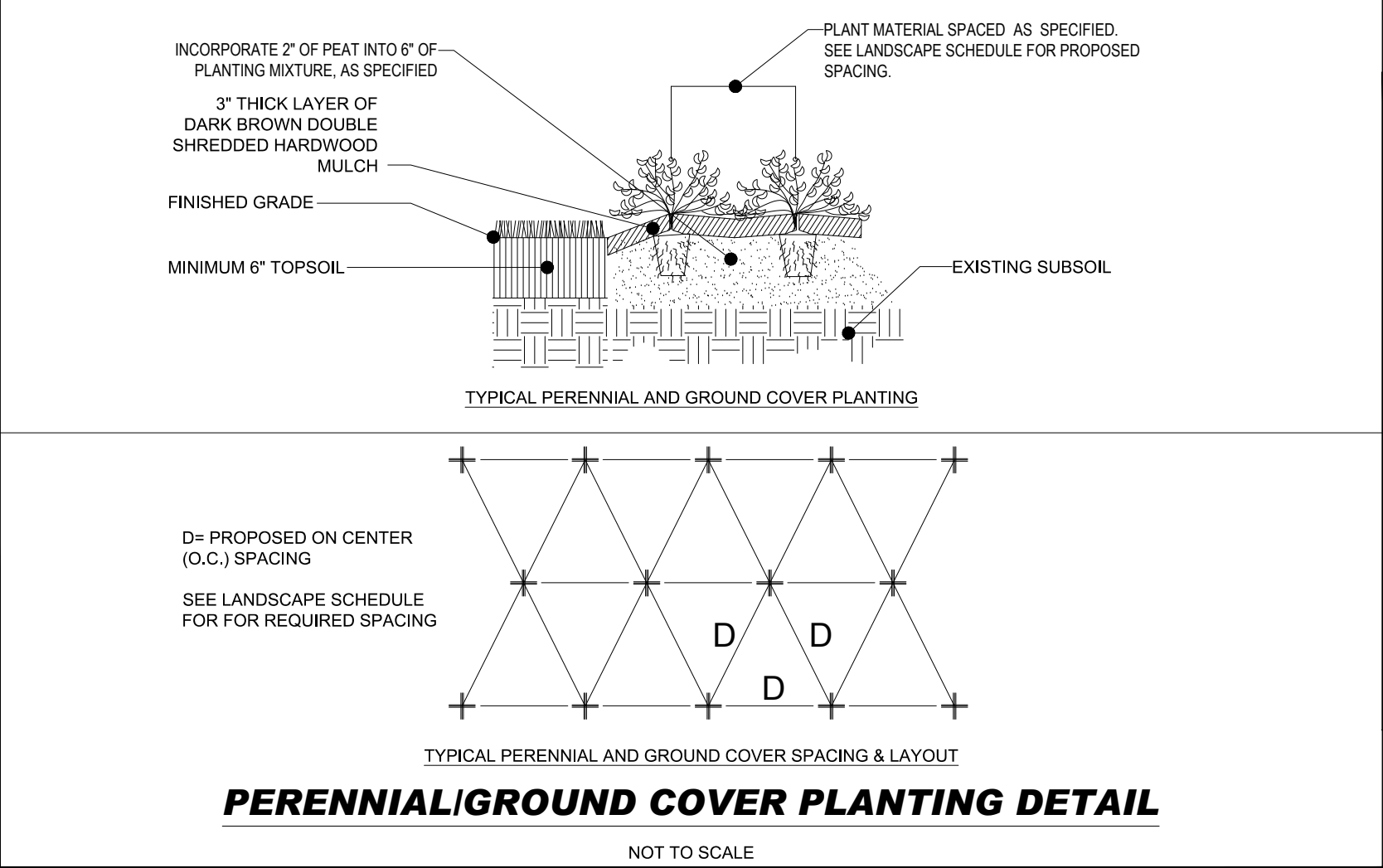
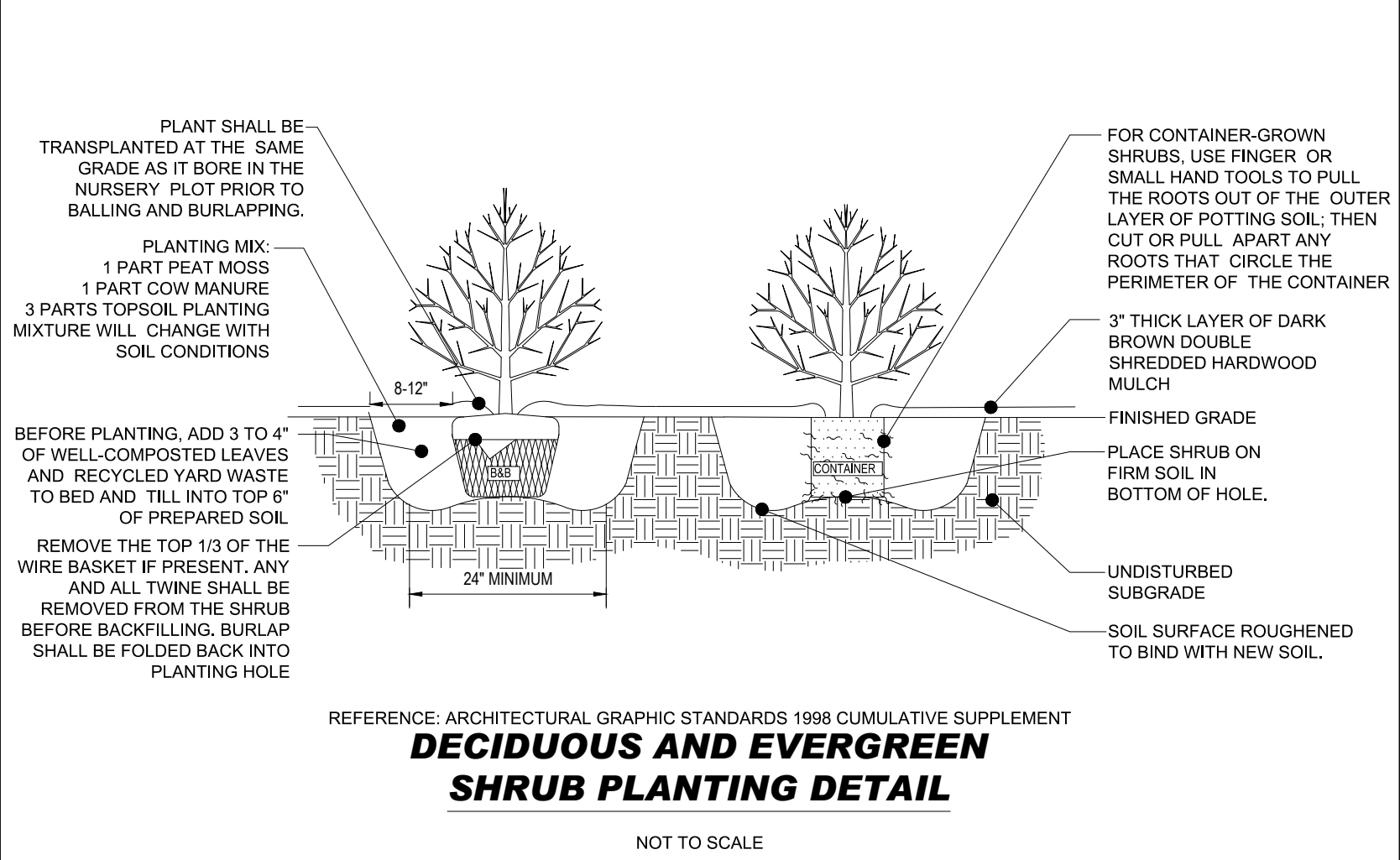
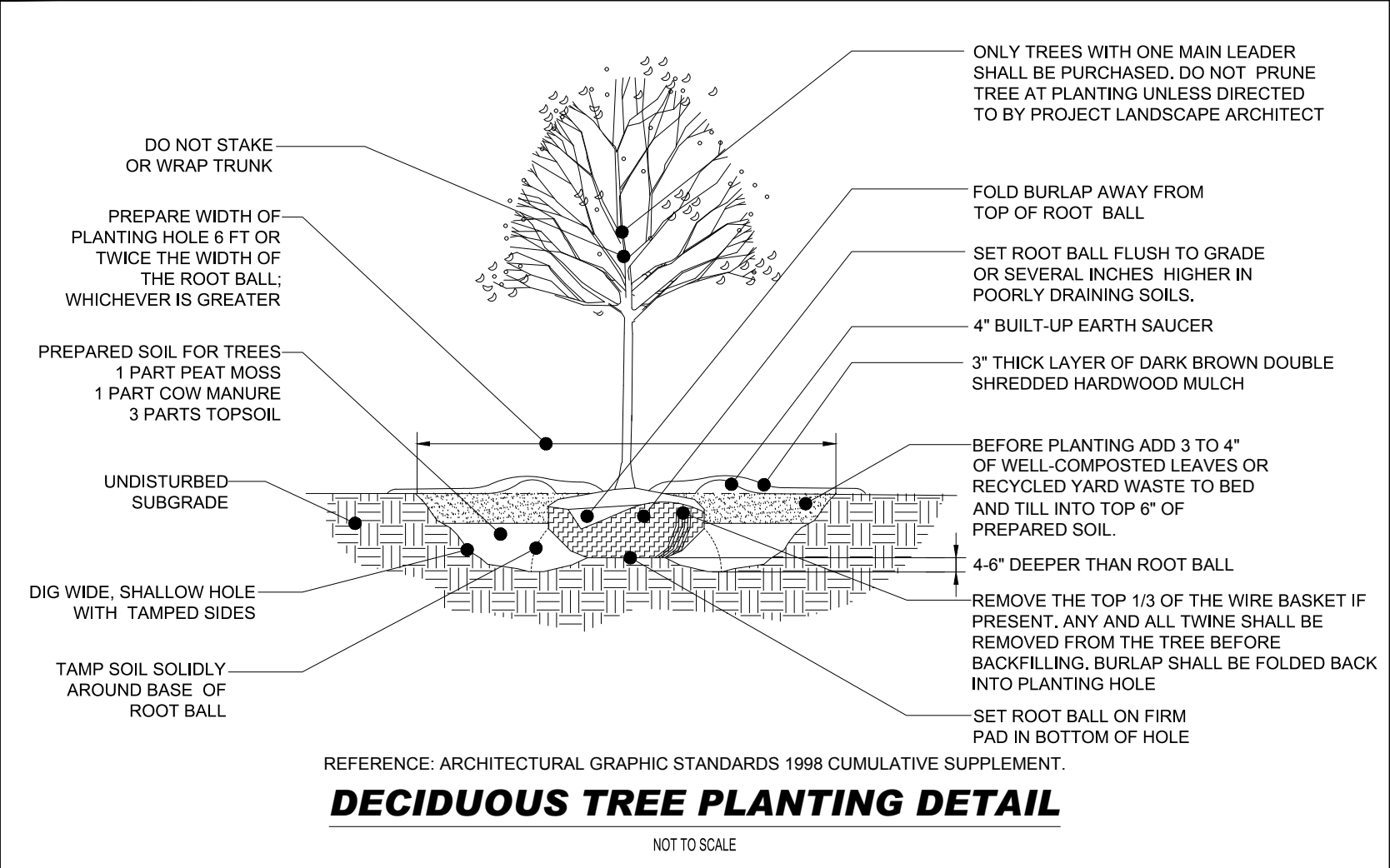
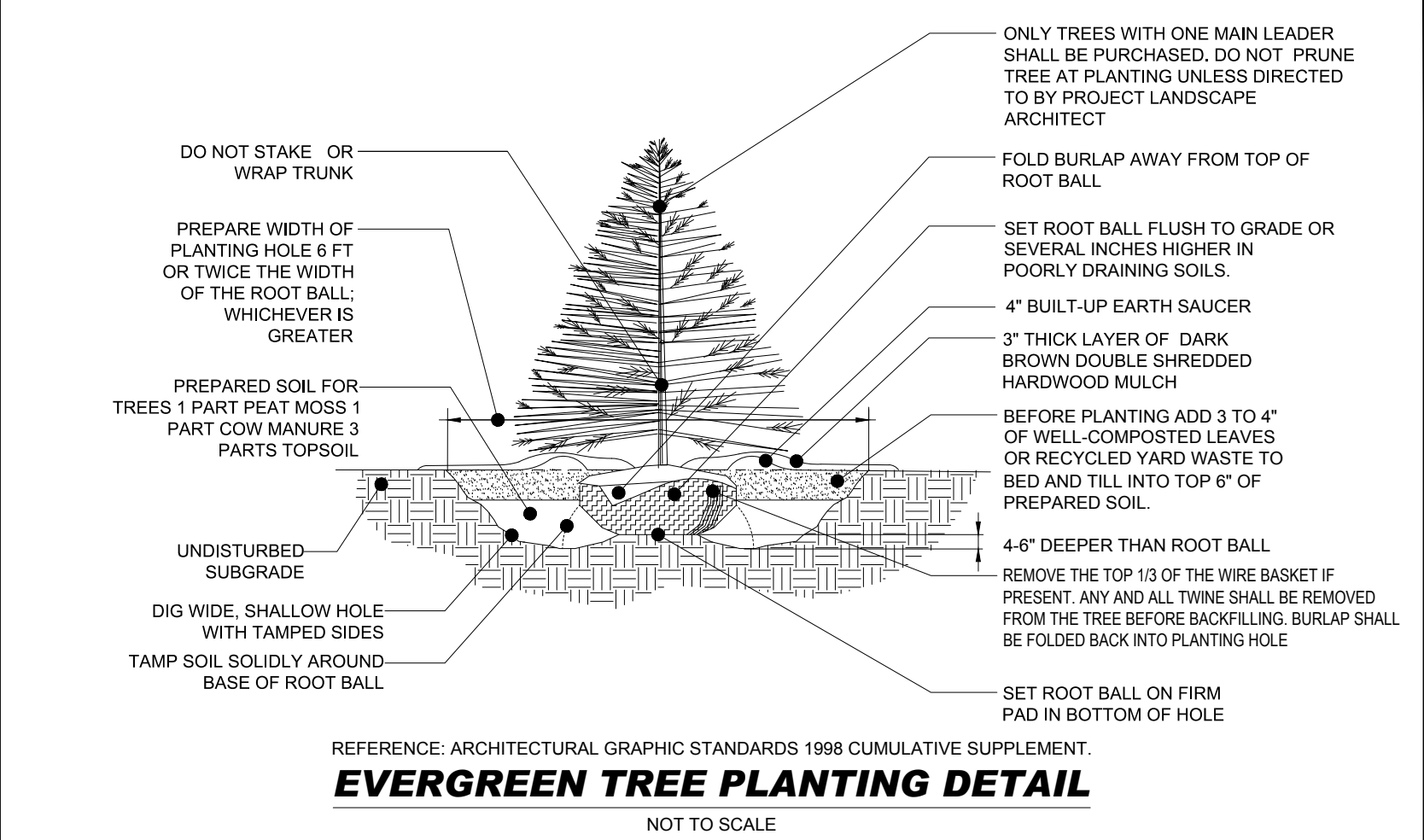
E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.

F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.  
11. WATERING  
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.  
B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.  
C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

12. GUARANTEE  
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE COMPLETED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.  
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.

C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.  
D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

13. CLEANUP  
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.  
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.



OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE OF ALL PAVED, TRAVELED SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

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PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
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REVISIONS			
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DATE: 04/23/24  
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PROJOP.  
SITE PLAN  
DOCUMENTS  
FOR

CHASE  
PROPOSED DEVELOPMENT  
S MAIN ST & VIRGINIA WATER DR  
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WAKE COUNTY

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SHEET TITLE:

LANDSCAPE DETAILS  
SHEET NUMBER:  
L-102  
ORG. DATE - 04/23/24

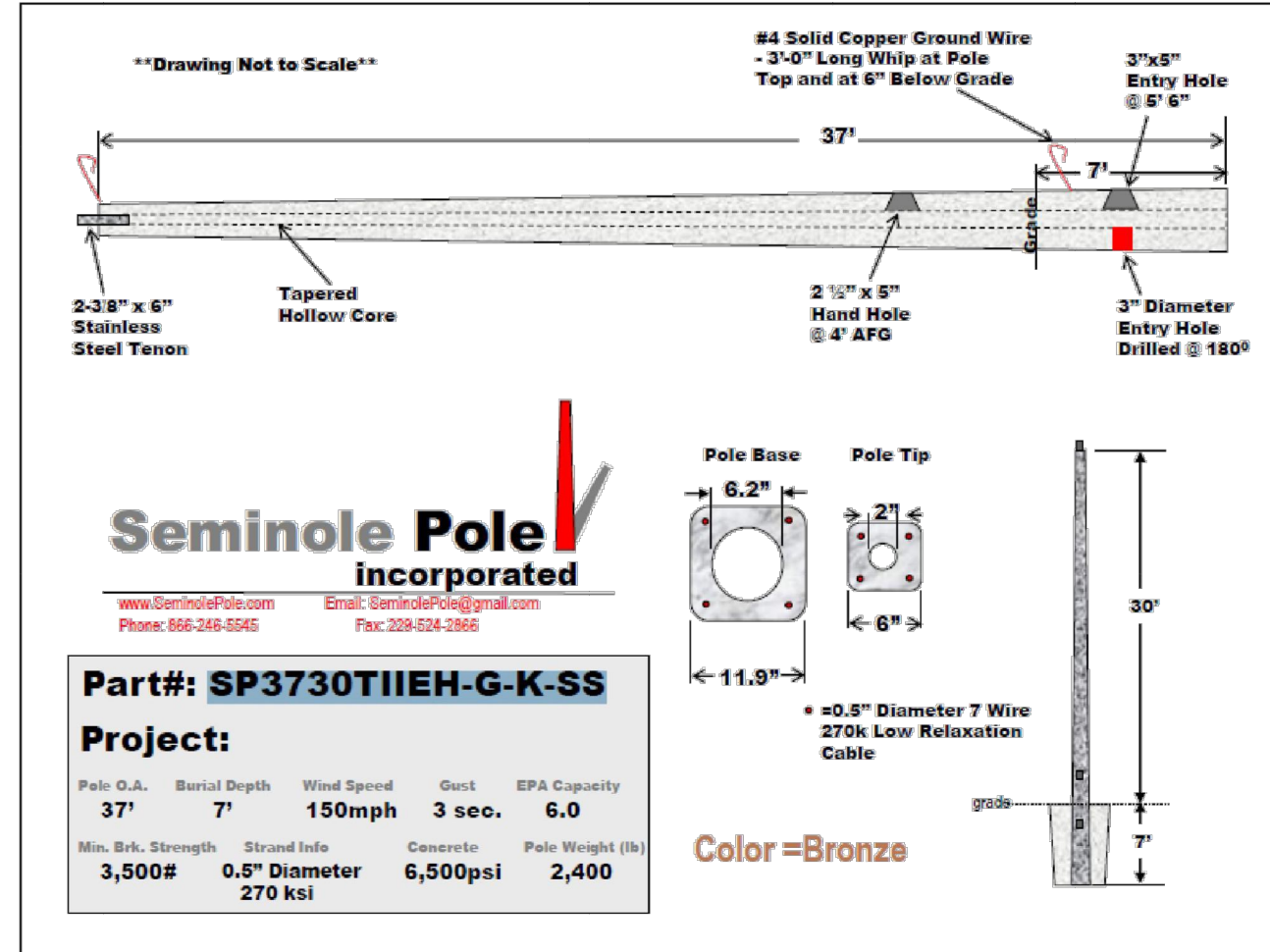


## Light Pole Requirement and Light Fixture Requirement

To create a cohesive look in the shopping center and the overall project the light poles will need to match the rest of the center.

### Light Pole

Light poles to be used: Direct Burial Concrete Seminole Pole in Bronze.



Above detail provided as an example from the center construction lighting package. The height of the pole can vary based on your photometrics.

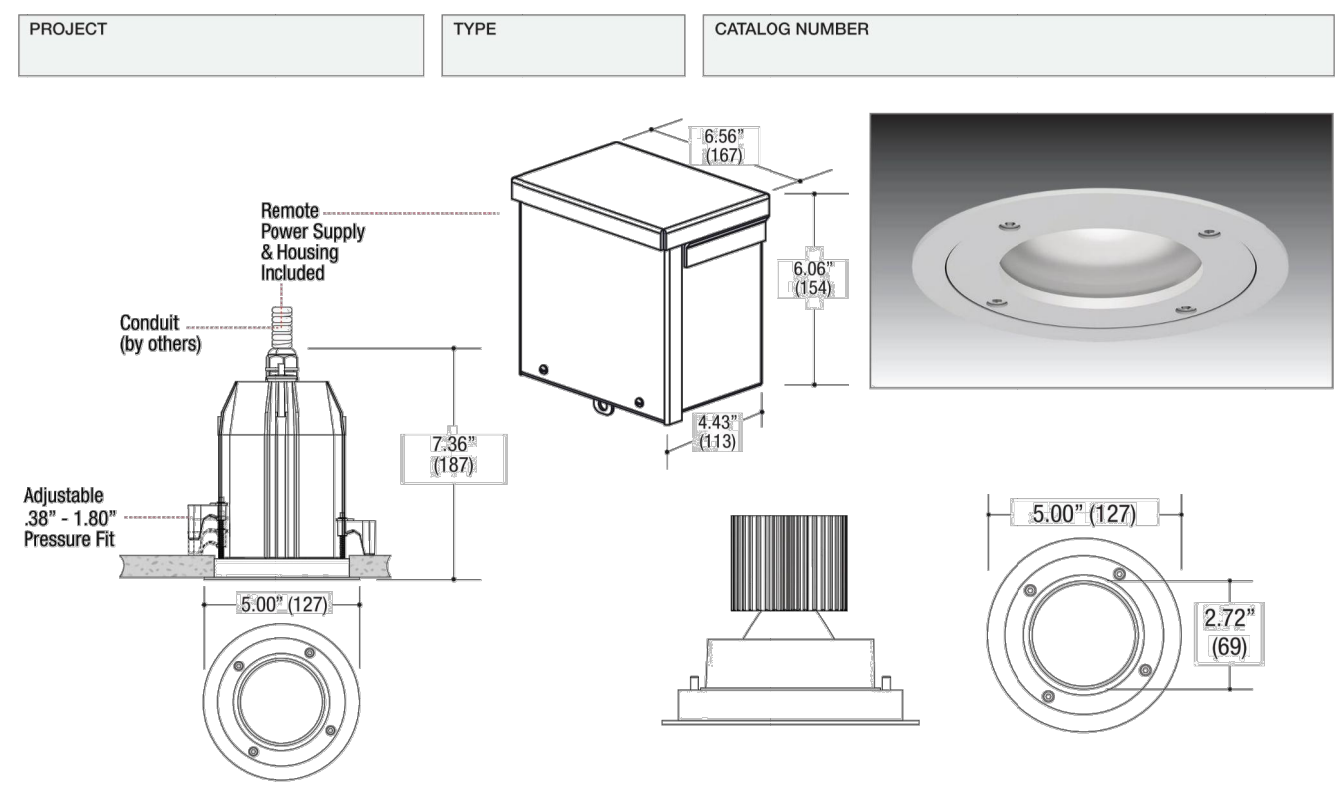
### Light Fixture

The color of the site light fixture must be white as well to match the shopping center. The light will need to be LED and have kelvin temperature must be 4,000. The fixture(s) should be of a similar style to those in the shopping center.

1 Sleiman Parkway, Suite 230, Jacksonville, Florida 32216 • Phone: 904-731-8806 • Fax: 904-807-4018 • SLEIMAN.COM



**BULLET**  
OUTDOOR RECESSED FIXED DOWNLIGHT  
**WET LOCATION - IP66 LED**



**DOWNLIGHT**

- Recessed fixed downlight
- Die-cast aluminum trim
- Powder coat finish

**HOUSING**

- Extruded aluminum central housing
- Powder coat finish
- Dust and water tight light sealed
- Ceiling Cut-Out - 64.65"

**LED SOURCE**

- Field-changeable optic
- 20W / 1670lm, 80CRI / 3000K

**ELECTRICAL**

- Remotely installed LED driver included
- Separated primary wiring compartment with power supply
- Double cable entry for through wiring
- Superior aluminum reflector
- Dimmable

**MOUNTING**

- Swing out pressure fit mounting clip
- Adjustable up to 1.80" max. ceiling thickness

**LABELS**

- Suitable for wet location
- IP66 rated

SERIES	WATTAGE	CRI / COLOR	BEAM	DRIVER	FINISH
<b>5811-1SA-T</b>	20L LED	80CRI / 2700K	N Narrow 25°	DMU Dimming Multiple Forward/Reverse (120V only)	SS Silver
<b>BULLET-Recessed</b>	1670lm nom.	8000 80CRI / 3000K	M Medium 45°	0-10V Wire Present (120-277V)	
		8040 80CRI / 4000K	W Wide 60°	0-10V Wire Present (120-277V)	
		8027 80CRI / 2700K		DMU Dimming Multiple Forward/Reverse (120V only)	
		8030 80CRI / 3000K		DMU Dimming Multiple Forward/Reverse (120V only)	
		8027 80CRI / 2700K		DMU Dimming Multiple Forward/Reverse (120V only)	
		8030 80CRI / 3000K		DMU Dimming Multiple Forward/Reverse (120V only)	

Ordering Example: 5811-1SA-T-20L-8030-M-DMU-SS

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We reserve the right to change or withdraw specifications without prior notice.

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Chatsworth CA 91311

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Fax: 818-878-1335

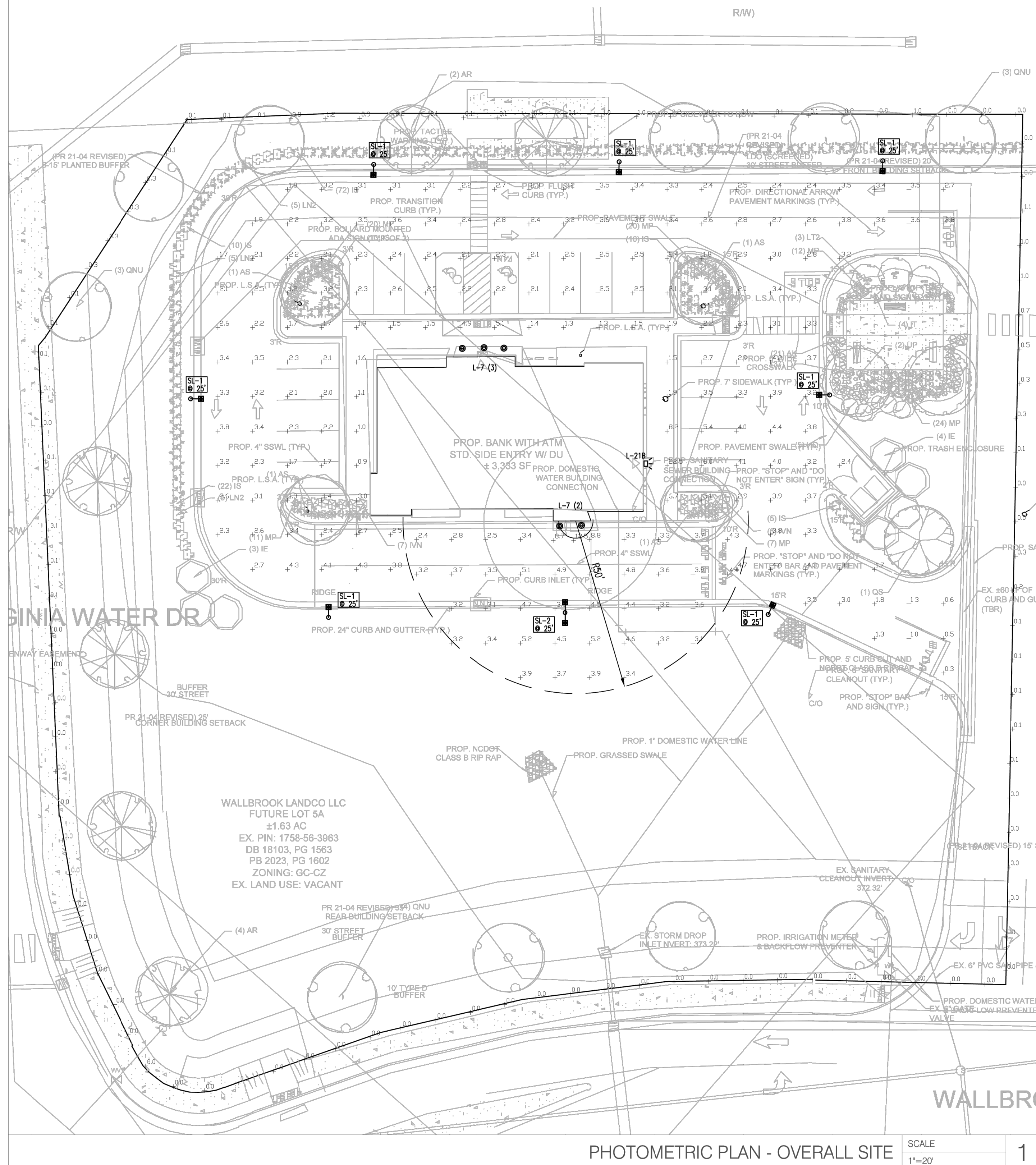
www.lfillumination.com



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING	+	2.9 fc	22.5 fc	1.0 fc	25.0 : 1	3.2 : 1
ATM - 50 FT RADIUS AROUND DRIVE-UP ATM	+	4.1 fc	10.0 fc	2.4 fc	4.1 : 1	1.7 : 1
ATM 1 - 5 FT IN FRONT OF DRIVE-UP ATM	◇	-	12.5	N/A	N/A	N/A

Symbol	Label	QTY	Manufacturer	Model Number	Description	Lamp	# Lamps	Lumens	LLF	Wattage
+	SL-1	7	GE	EACLO1_E4AF740	FULL CUT-OFF 4000K LED POLE MOUNTED AT 25'	1-95w 4000K LED	1	12,500	0.9	95
+	SL-1	1	GE	EACLO1_E4AF740	FULL CUT-OFF 4000K LED POLE MOUNTED AT 25'	1-95w 4000K LED	1	12,500	0.9	95
●	L-7	5	LF ILLUMINATION	5811-1SA-T-20L-8040-W-1-BB	FULL CUT4000K LED, LENSED DOWNLIGHT, RECESSED	1-20w 4000K LED	1	995	0.9	20
⚡	L-21B	1	LUMARK	XTORBB-W-BZ	FULL CUT-OFF 4000K LED, WALL MOUNTED AT 13'	39W 4000K LED	1	6,128	0.9	58

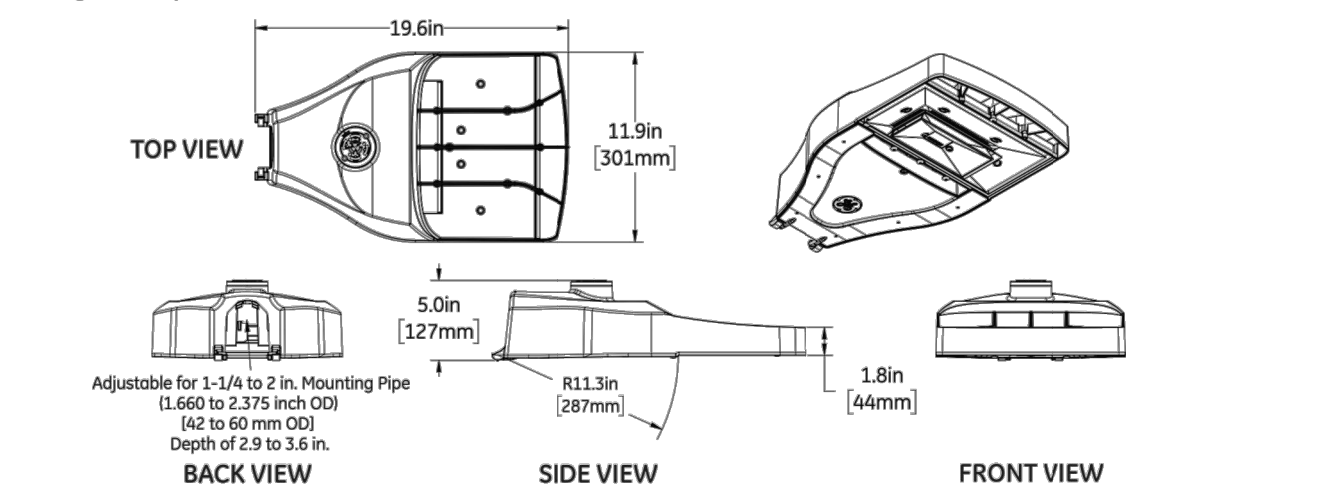
NOTE: ALL SITE AND BUILDING LIGHT FIXTURES PROPOSED ON THIS PROJECT ARE DESIGNED AS FULL CUTOFF CLASSIFICATION WITH ZERO UP LIGHT COMPONENTS



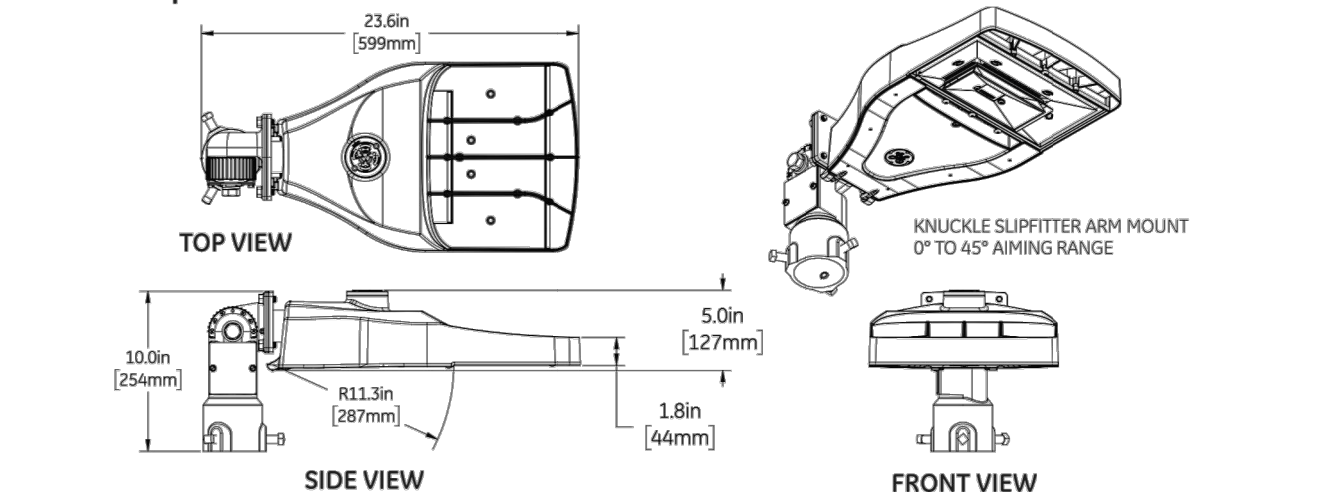
## Product Dimensions

Evolve® Compact Low Wattage Area Light (EACL)

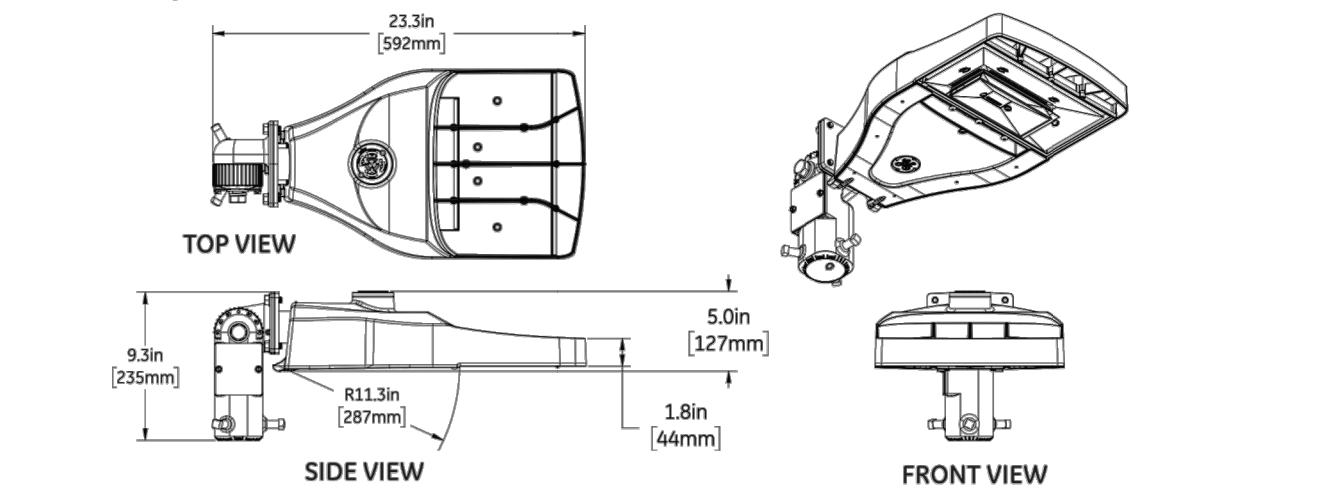
### Integral Slipfitter: C1



### Knuckle Slipfitter: S1



### Knuckle Slipfitter: K1



## Ordering Number Logic

Evolve® Compact Low Wattage Area Light (EACL)

AACL 01				7		C1					
MODEL	GENERATION	VOLTAGE	OPTICAL CODE	DISTRIBUTION	CCT	CCT	FINISHING	CONTROLS	INSTALLING	CODE	OPTIONS
E = Evolve A = AC-Compact L = Low Voltage	0L = 120-277V A = AC-Compact L = Low Voltage	1 = 120V 2 = 277V 3 = 347V 4 = 480V		AF = Asymmetric Forward AW = Asymmetric Forward AN = Asymmetric Normal/Low H = Horizontal V = Vertical N = Not applicable * = Not applicable with 7-Option	30-1000K 40-1000K 50-1000K	N = Dimming thru LFB D = Dimming External DM = Dimming RE receptacle with shorting cap provided X = Dimming None Note: Non-dimming @ 20V	1 = None A = ANSI J-P F = RE receptacle N = No control D = ANSI J-P F = RE receptacle with shorting cap provided	C1 = Integrated BLACK = Black 2.55" P-P 1378H OP 1378H OP None			