

NOTES

1. PROPOSED CONTOURS REPRESENT FINISHED GRADE ELEVATIONS.
2. CUT AND FILL SLOPES ARE 3H:1V UNLESS OTHERWISE NOTED.
3. PROPOSED ADA STALLS AND AISLES SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%) IN ALL DIRECTIONS.
4. PROPOSED ACCESSIBLE ROUTES SHALL HAVE RUNNING SLOPES NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
5. REFER TO SHEET C-2 FOR STORM DRAINAGE CALCULATIONS.
6. ROOF DRAINS SHALL BE COORDINATED WITH BUILDING PLANS AND SHALL BE CONNECTED TO DOWNSPOUTS WITH APPROPRIATE BEND FITTINGS AND CONNECTED TO THE STORM DRAINAGE SYSTEM VIA CURRENT NC PLUMBING CODE, CHAPTER 11 "STORM DRAINAGE" COMPLIANT FIXTURES, MATERIALS, ETC.
7. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
8. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
9. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
10. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

LEGEND

- EX. PROPERTY LINE
- - - EX. RIGHT-OF-WAY
- - - EX. ADJACENT OWNERS
- - - EX. EASEMENT
- EX. CHAIN LINK FENCE
- C C EX. COMMUNICATIONS LINE
- OHW OHW EX. OVERHEAD ELECTRIC LINE
- W W EX. WATER LINE
- SS SS EX. SANITARY SEWER
- SD SD EX. STORM SEWER
- 420- EX. MAJOR CONTOUR (5')
- 419- EX. MINOR CONTOUR (1')
- - - PROP. SETBACK LINE
- - - PROP. EASEMENT/BUFFER
- PROP. CONCRETE
- W W PROP. WATER LINE
- SS SS PROP. SANITARY SEWER
- PROP. STORM SEWER
- 420- PROP. MAJOR CONTOUR (5')
- 419- PROP. MINOR CONTOUR (1')
- LD LD PROP. LIMIT OF DISTURBANCE
- - - PROP. TREE PROTECTION FENCE

KEY

- FES = FLARED END SECTION
- JB = JUNCTION BOX
- YI = YARD INLET
- TC = TOP OF CURB
- BC = BOTTOM OF CURB

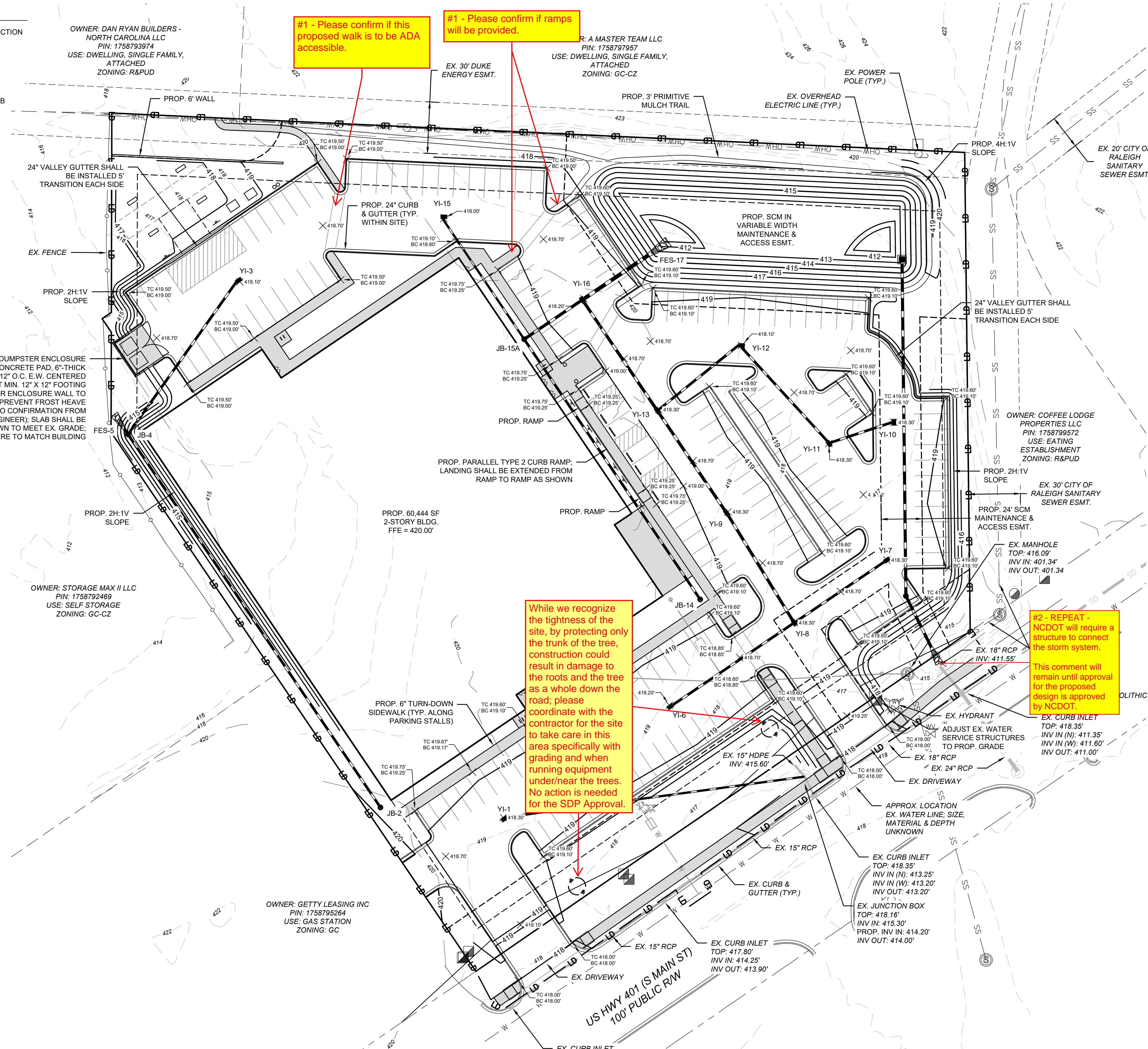
OWNER: DAN RYAN BUILDERS - NORTH CAROLINA LLC
 PIN: 1758793974
 USE: DWELLING, SINGLE FAMILY, ATTACHED
 ZONING: R&PUD

OWNER: STORAGE MAX II LLC
 PIN: 1758792469
 USE: SELF STORAGE
 ZONING: GC-CZ

OWNER: GETTY LEASING INC
 PIN: 1758795264
 USE: GAS STATION
 ZONING: GC

OWNER: COFFEE LODGE PROPERTIES LLC
 PIN: 1758799572
 USE: EATING ESTABLISHMENT
 ZONING: R&PUD

OWNER: A MASTER TEAM LLC
 PIN: 1758797957
 USE: DWELLING, SINGLE FAMILY, ATTACHED
 ZONING: GC-CZ



#1 - Please confirm if this proposed walk is to be ADA accessible.

#1 - Please confirm if ramps will be provided.

While we recognize the tightness of the site, by protecting only the trunk of the tree, construction could result in damage to the roots and the tree as a whole down the road; please coordinate with the contractor for the site to take care in this area specifically with grading and when running equipment under/near the trees. No action is needed for the SDP Approval.

#2 - REPEAT - NCDOT will require a structure to connect the storm system. This comment will remain until approval for the proposed design is approved by NCDOT.



POST OFFICE BOX 91727
 RALEIGH, NORTH CAROLINA 27675
 PHONE: 919.610.1051
 FIRM NC LICENSE NUMBER C-4222

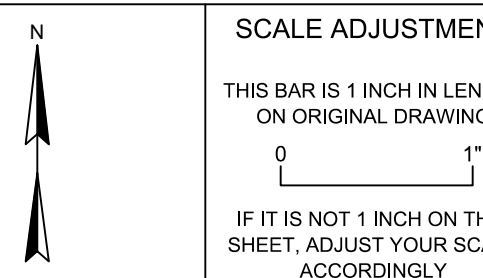


REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TRC COMMENTS	7/29/2024	FLM
2	TRC COMMENTS	10/29/2024	FLM

ORIGINAL PLAN SIZE: 24" X 36"

SCALE: 1 INCH = 30 FEET



SITE DEVELOPMENT PLAN
 SDP-24-05

PINE GLO
 414 S MAIN ST
 ROLESVILLE, NC 27571

OPTIMAL GLO LLC

DATE:	06-03-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24028

GRADING & DRAINAGE PLAN

C-6

SHEET 6 OF 30

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

CALL 48 HOURS BEFORE YOU DIG
North Carolina 811
 www.nc811.org
 NORTH CAROLINA ONE-CALL CENTER
 1-800-632-4949

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