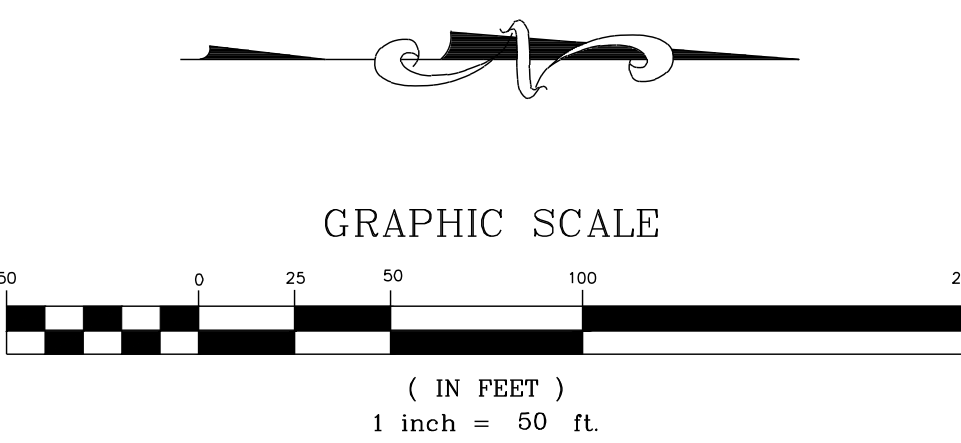


SITE KEY PLAN

LEGEND:

SEE SHEET C-8.0 FOR LEGEND.



PLEASE CONFIRM THE INTENDED DRAINAGE PATTERN AFTER THIS POINT SINCE THE DRAINAGE EASEMENT ENDS. IF THE DRAINAGE SWALE NEEDS TO CONTINUE, SO SHOULD THE EASEMENT.

PER #007 IN DRAINING OUT TOWARDS THE HOMES WITHOUT A DEFINED PATH SWALE, CONSIDER REVISING THE SWALE TO A MORE DEFINED SWALE LIKE WAS PREVIOUSLY PROVIDED.

DRAINAGE BETWEEN THE HOMES NEEDS TO DRAIN AWAY FROM BUILDINGS. PLEASE CONSIDER ADDING SLOPE ARROWHEADS TO SHOW THE INTENTION OF DRAINAGE BETWEEN BUILDINGS SO WATER IS NOT DRAINING TO THE DOWNSTREAM HOME. IDEALLY THERE WOULD BE A LOW POINT SWALE BETWEEN EACH HOME.

THIS IS PROVIDED IN OTHER LOCATIONS BETWEEN HOMES AND WAS INCLUDED MORE CONSISTENTLY ON THE PREVIOUS PLANS.

MATCH LINE
FOR CONTINUATION, SEE C-8.2

WE APPRECIATE THE INTENT OF NOT SHOWING THE BUILDING PADS, THANK YOU FOR PROVIDING BUILDING PAD ELEVATIONS. PLEASE ADD NOTES TO FURTHER CLARIFY WHAT THE INTENTION OF THESE LOTS ARE. WE HAVE DONE THIS ON A PREVIOUS PROJECT AND RECOMMENDED NOTES INCLUDE PLEASE CUSTOMIZE TO YOUR SPECIFIC SITUATION:

1. THIS GRADING PLAN SUPPORTS THE IMPLEMENTATION OF CRAWL SPACE AND BASEMENT FOUNDATIONS. CONTRACTOR TO DETERMINE THE PREFERRED FOUNDATION TYPE ON A LOT BY LOT BASIS.

2. PAD ELEVATIONS HAVE BEEN PROVIDED FOR SELECT LOTS WHERE IT IS ANTICIPATED THAT THE FOUNDATION WILL HAVE TO BE BUILT UP FROM THE PROPOSED GRADE TO MAINTAIN DRAINAGE AND GRADING DESIGN ON SITE.

3. EST. FFE ABBREVIATES ESTIMATED FINISH FLOOR ELEVATION.

4. THE ESTIMATED FINISH FLOOR ELEVATION PROVIDED FOR SELECT LOTS IS AN APPROXIMATE. FINAL FINISH FLOOR ELEVATION, FINE GRADING, AND DRIVEWAY & BUILDING LOCATIONS TO BE ESTABLISHED BY THE CONTRACTOR/ARCHITECT AT THE TIME OF BUILDING PERMITS.

5. APPROVED CID DRAINAGE PATTERNS AND EASEMENTS TO BE MAINTAINED WITH FINE GRADING ACTIVITIES.

6. DRIVEWAY LONGITUDINAL SLOPES TO BE A MINIMUM OF 2.00% AND A MAXIMUM OF 8.00%.

7. BUILDING AND DRIVEWAYS SHOWN ARE APPROXIMATES TO CONVEY DESIGN INTENT.

N/F SOUTHVIEW INVESTMENT LLC
PIN: 1757738451
DB: 19248 PG: 2000
ZONING: R-30 (WC) USE: SF

N/F HERNANDEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

N/F JONES PROPERTIES LLC
PIN: 1757856755
DB: 12895 PG: 505
BM: 1993 PG: 446
ZONING: R-30 (WC) USE: SF

N/F JONES, CHARLES SPENCER
PIN: 1757857937
DB: 9320 PG: 1460
BM 1993 PG 446
ZONING: R-30 (WC) USE: SF

N/F ANDERSON, BOBBY G
PIN: 1757868104
DB: 8776 PG: 573
BM 1993 PG 446
ZONING: R-30 (WC) USE: MO

NO.	REVISIONS	DATE	BY
0			
1			
2			
3			
4			
5			

STRONGROCK
ENGINEERING GROUP

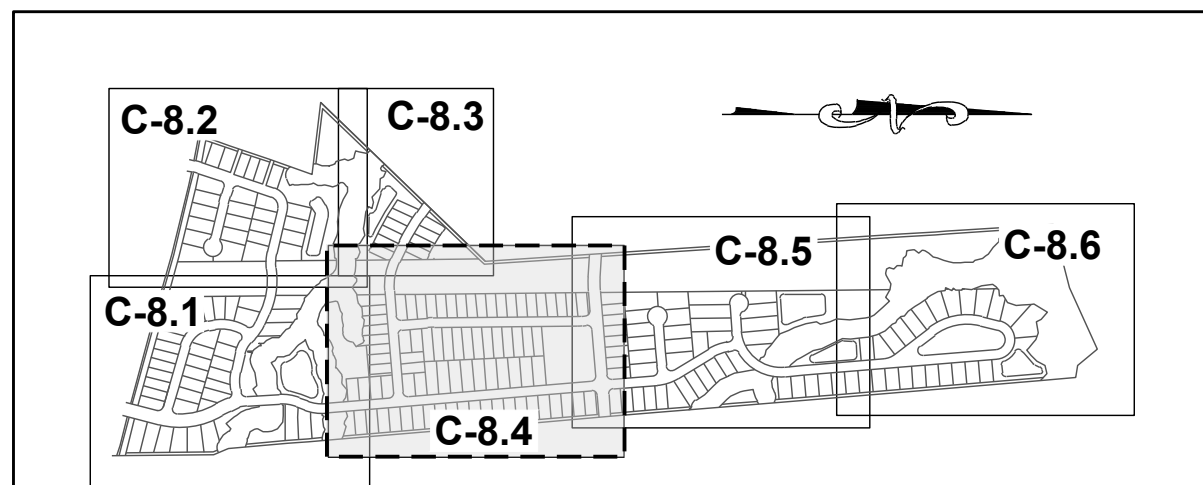
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
PRELIMINARY SUBDIVISION PLAT
PARTIAL GRADING & DRAINAGE
PLAN I

DRAWING SHEET
C-8.1

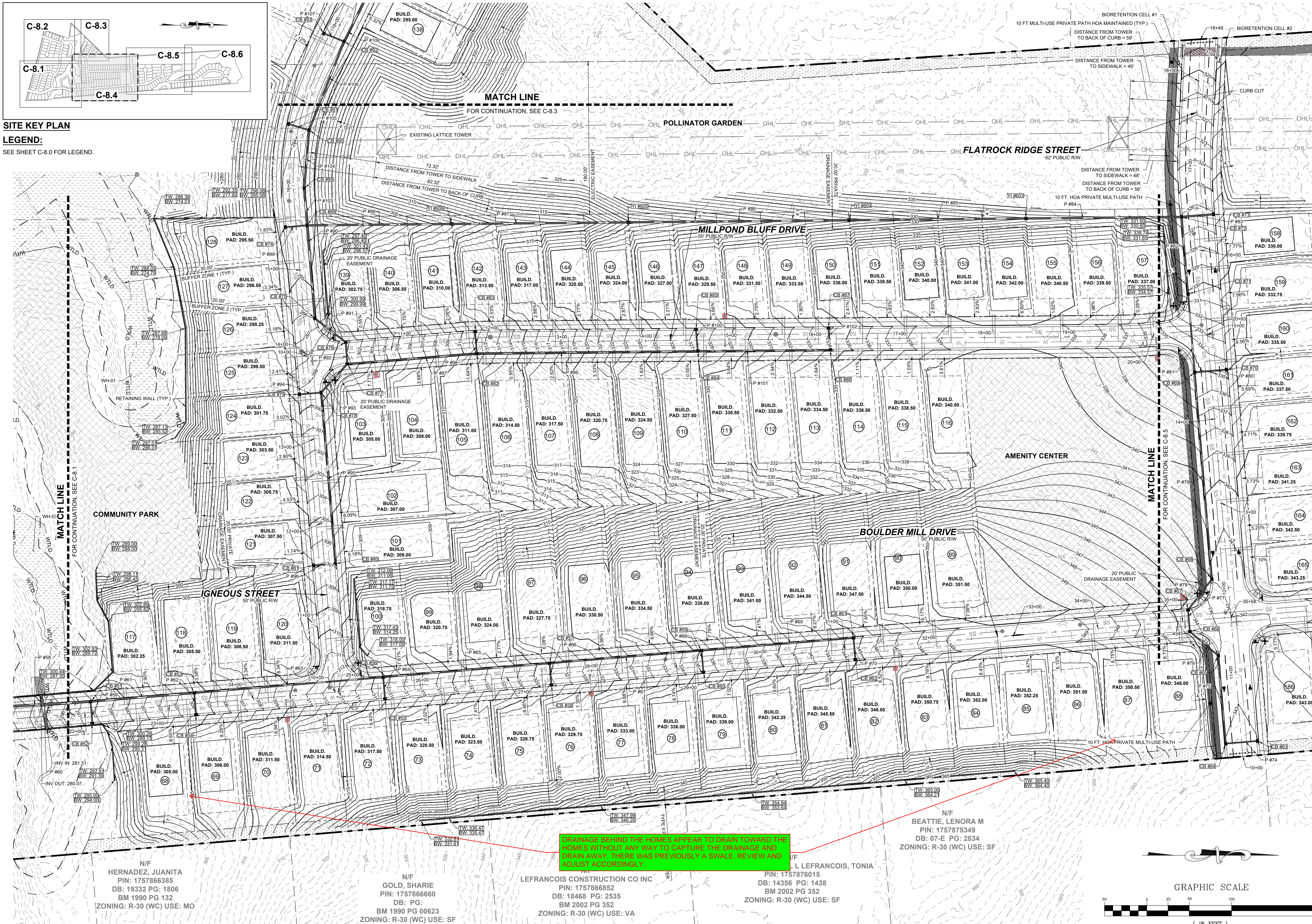
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SITE KEY PLAN

LEGEND:

SEE SHEET C-8.0 FOR LEGEND.



N/F
HERNADEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

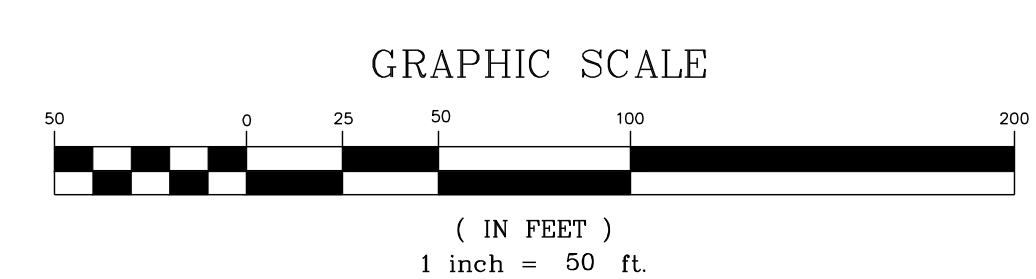
N/F
GOLD, SHARIE
PIN: 1757866660
DB: PG:
BM 1990 PG 00623
ZONING: R-30 (WC) USE: SF

LEFRANCOIS CONSTRUCTION CO INC
PIN: 1757866852
DB: 18468 PG: 2535
BM 2002 PG 352
ZONING: R-30 (WC) USE: VA

N/F
LEFRANCOIS, TONIA
PIN: 1757876015
DB: 14356 PG: 1438
BM 2002 PG 352
ZONING: R-30 (WC) USE: SF

N/F
BEATTIE, LENORA M
PIN: 1757875349
DB: 07-E PG: 2834
ZONING: R-30 (WC) USE: SF

DRAINAGE BEHIND THE HOMES APPEARS TO DRAIN TOWARD THE
HOMES WITHOUT ANY WAY TO CAPTURE THE DRAINAGE AND
WHICH WOULD THERE BE PREVIOUS PLAT REVIEW AND
PLANS ACCORDINGLY.



NO.	REVISIONS	DATE	BY
0			
1			
2			
3			
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5			

STRONGROCK
ENGINEERING GROUP

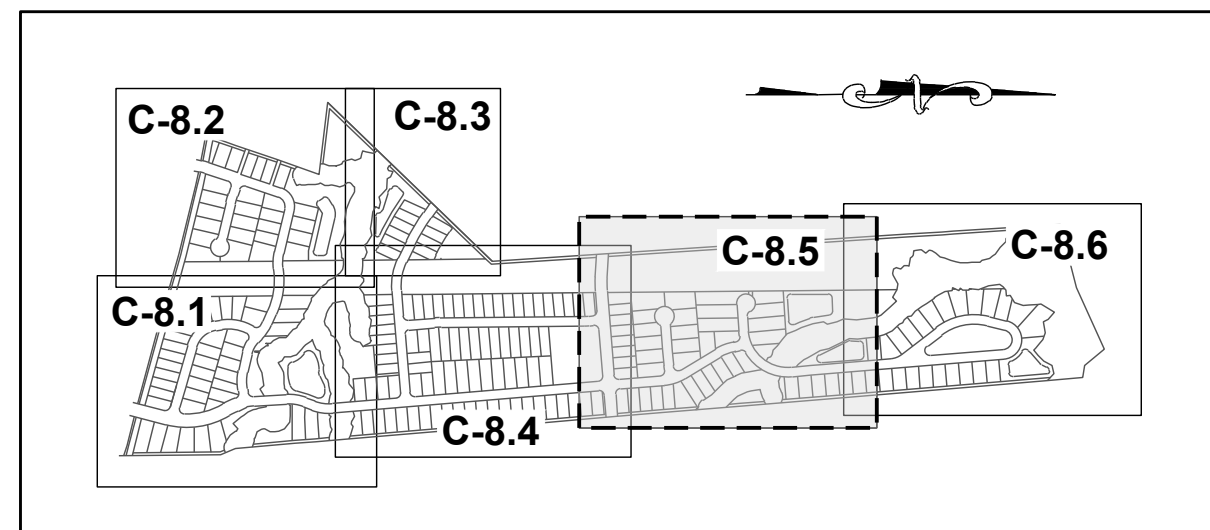
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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	SRG	DRAWN BY	SRG	CHECKED BY	SRG

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
PRELIMINARY SUBDIVISION PLAT
PARTIAL GRADING & DRAINAGE
PLAN IV

DRAWING SHEET
C-8.4

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SITE KEY PLAN

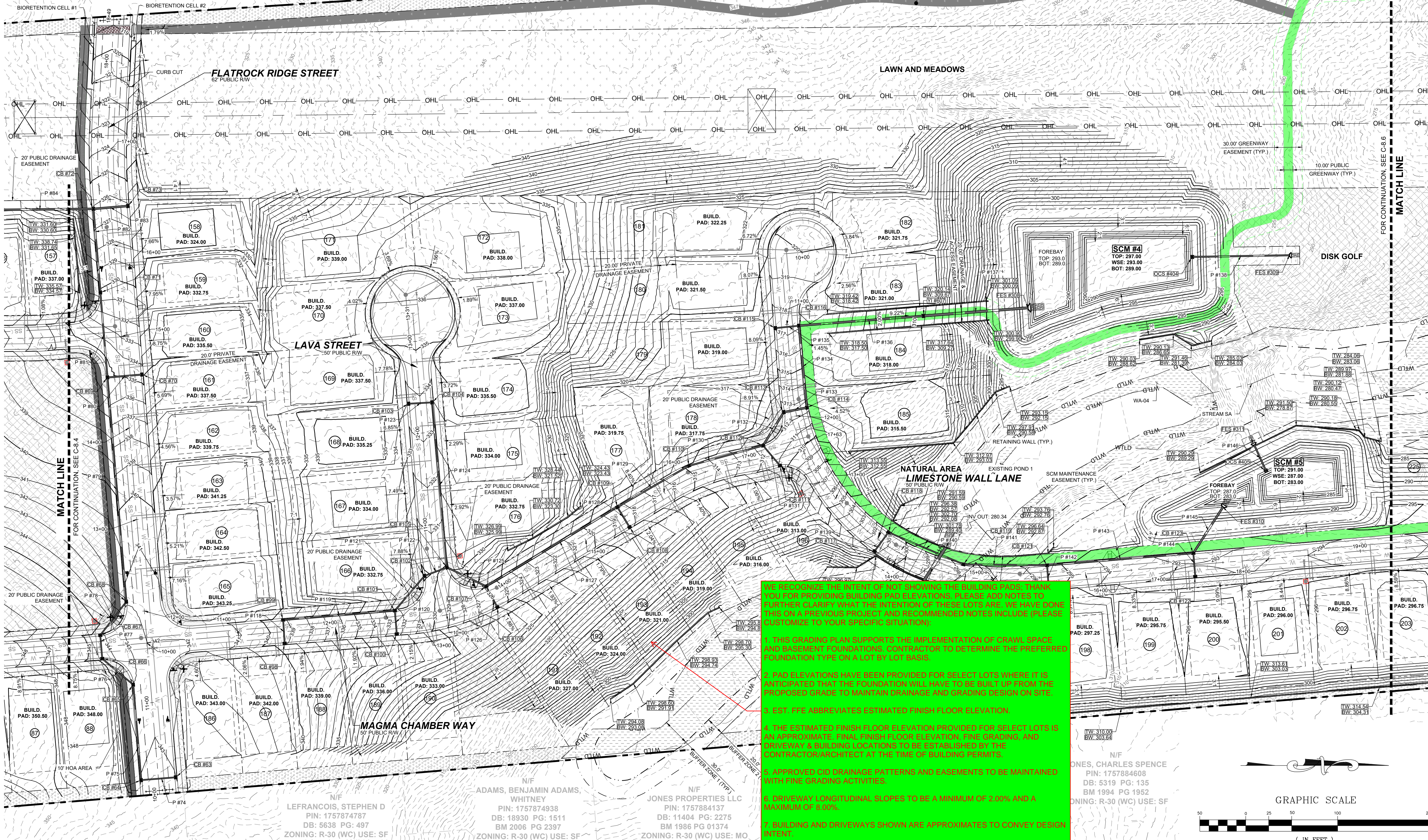
LEGEND:

SEE SHEET C-8.0 FOR LEGEND.

N/F GRO PEG PROPERTIES LLC
PIN: 175771603
DB: 18359 PG: 1707
BM 2023 PG 333
ZONING: R-30 (WC) USE: VA

N/F CARLE, SCOTT CARLE, THERESA
PIN: 1757780258
DB: 14863 PG: 2493
BM 2008 PG 2198
ZONING: R-30 (WC) USE: SF

N/F CARLE, SCOTT CARLE, THERESA
PIN: 1757781960
DB: 14863 PG: 2493
BM 2009 PG 645
ZONING: R-30 (WC) USE: VA



WE RECOGNIZE THE INTENT OF NOT SHOWING THE BUILDING PADS THRU THIS PLAN FOR PROVIDING BUILDING PAD ELEVATIONS. PLEASE ADD NOTES TO FURTHER CLARIFY WHAT THE INTENTION OF THESE LOTS ARE. WE HAVE DONE THIS ON A PREVIOUS PROJECT AND RECOMMENDED NOTES INCLUDE (PLEASE CUSTOMIZE TO YOUR SPECIFIC SITUATION)

1. THIS GRADING PLAN SUPPORTS THE IMPLEMENTATION OF CRABL SPACE AND BASEMENT FOUNDATIONS. CONTRACTOR TO DETERMINE THE PREFERRED FOUNDATION TYPE ON A LOT BY LOT BASIS.

2. PAD ELEVATIONS HAVE BEEN PROVIDED FOR SELECT LOTS WHERE IT IS ANTICIPATED THAT THE FOUNDATION WILL HAVE TO BE BUILT UP FROM THE PROPOSED GRADE TO MAINTAIN DRAINAGE AND GRADING DESIGN ON SITE.

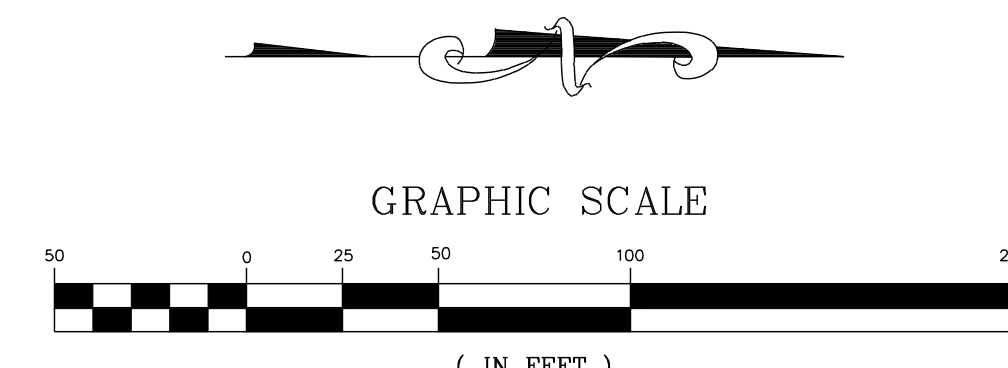
3. EST. FFE ABBREVIATES ESTIMATED FINISH FLOOR ELEVATION.

4. THE ESTIMATED FINISH FLOOR ELEVATION PROVIDED FOR SELECT LOTS IS AN APPROXIMATE FINAL FINISH FLOOR ELEVATION. FINE GRADING AND DRIVEWAY & BUILDING LOCATIONS TO BE ESTABLISHED BY THE CONTRACTOR/ARCHITECT AT THE TIME OF BUILDING PERMITS.

5. APPROVED CIB DRAINAGE PATTERNS AND EASEMENTS TO BE MAINTAINED WITH FINE GRADING ACTIVITIES.

6. DRIVEWAY LONGITUDINAL SLOPES TO BE A MINIMUM OF 2.0% AND A MAXIMUM OF 4.5%.

7. BUILDING AND DRIVEWAYS SHOWN ARE APPROXIMATES TO CONVEY DESIGN INTENT.



THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

SR#	DATE	REVISIONS	BY
0			
1	08/30/2024	TOWN OF ROLESVILLE V1-FSP-24-03	
2	08/30/2024	TOWN OF ROLESVILLE V2-FSP-24-03	
3	11/01/2024	TOWN OF ROLESVILLE V3-FSP-24-03	
4	02/03/2025	TOWN OF ROLESVILLE V4-FSP-24-03	
5	08/01/2025	TOWN OF ROLESVILLE V5-FSP-24-03	
6	08/01/2025	TOWN OF ROLESVILLE V6-FSP-24-03	

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PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
STRONG ROCK PROJECT	AS SHOWN	SRG	SRG	SRG

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
PRELIMINARY SUBDIVISION PLAN
PARTIAL GRADING & DRAINAGE PLAN V

DRAWING SHEET
C-8.5