

# PRESTLEIGH AT JONES DAIRY

V1 - SDP-24-02

## SITE DEVELOPMENT PLAN AMENITY CENTER

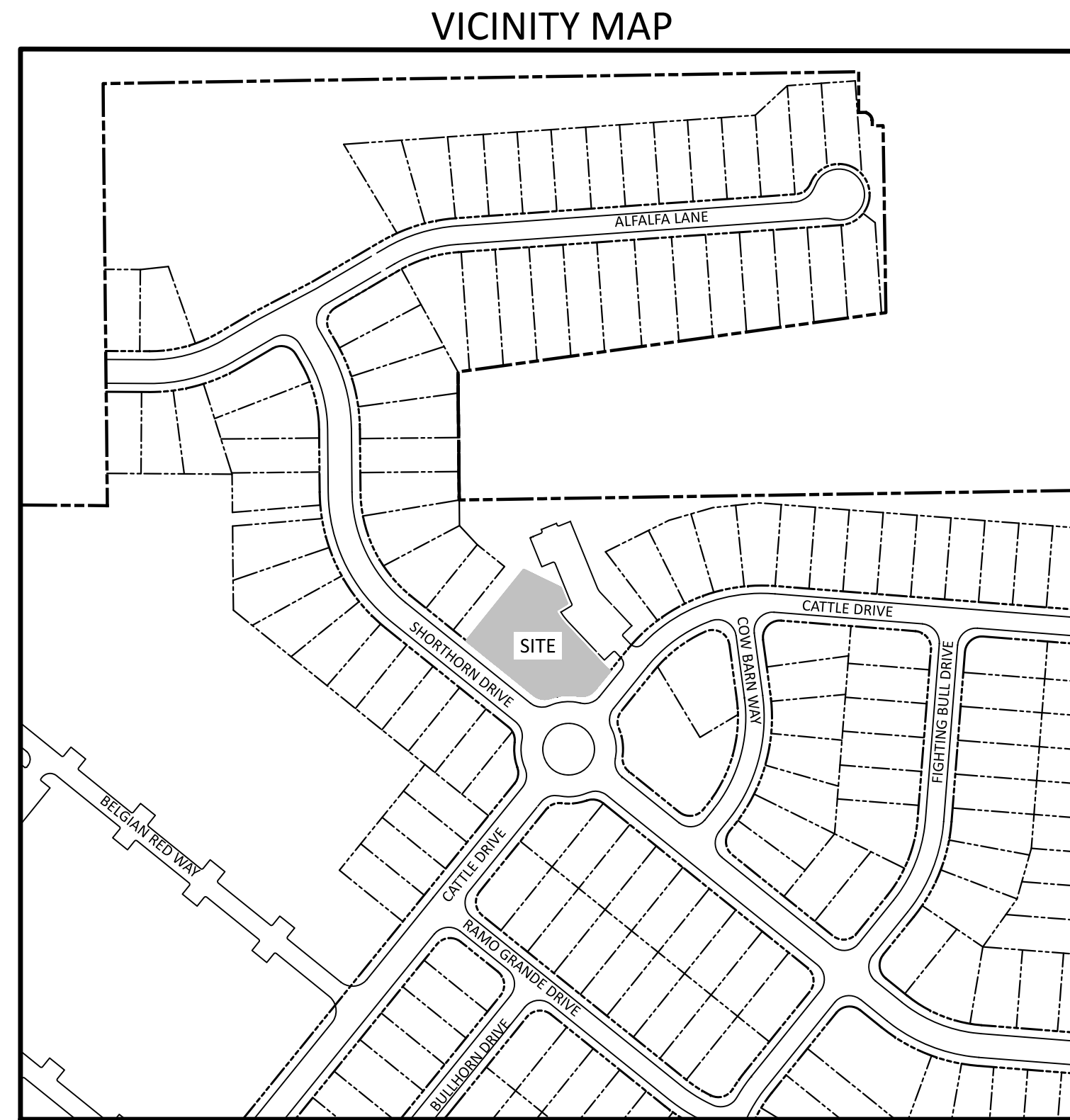
Add Site address, Book and Page of the recorded final plat, and existing lot number / Open space area as designated on the final plat.

ROLESVILLE, NC  
PROJECT ID NO: SDP-XX-XX

FEBRUARY 29, 2024

OWNER/DEVELOPER  
PRESERVE AT JONES DAIRY, LLC  
10534 ARNOLD PALMER DRIVE  
RALEIGH, NC 27617  
919-491-0761

SHEET INDEX		
SHEET NO.	SHEET NAME	MOST CURRENT REVISION DATE
C1.0	EXISTING CONDITIONS PLAN	2/29/2024
C2.0	SITE PLAN	2/29/2024
C3.0	UTILITY PLAN	2/29/2024
C4.0	GRADING PLAN	2/29/2024
D1.0	SITE DETAILS	2/29/2024



SCALE: 1" = 200'

Please add the case number to the cover sheet prior to resubmittal (SDP 24-02)

PROPOSED SITE DATA - AMENITY CENTER	
BUILDING AREA	788 SF
NUMBER OF STORIES	1 STORY
IMPERVIOUS AREA	9,376 SF
PROPOSED USE	AMENITY CENTER (POOL HOUSE AND POOL)

Please provide the lot information, including lot size, setbacks, total acreage to be disturbed in accordance with 3.1.2.1 of the UDO.

SITE DATA - SUBDIVISION	
ZONING	R & PUD
EXISTING SITE AREA	88.59 ACRES (3,859,005 SF)
R/W DEDICATION	0.78 ACRES (34,140 SF) JONES DAIRY ROAD
OTHER DEDICATIONS	0.15 ACRES (6,824 SF) AVERETTE ROAD SIDEWALK
PROPOSED NET SITE AREA	87.66 ACRES (3,818,041 SF)
PROPOSED USE	SINGLE FAMILY AND TOWNHOME UNITS
SINGLE FAMILY UNITS	260 UNITS
TOWNHOME UNITS	179 UNITS
TOTALS UNITS	439 UNITS
SINGLE FAMILY AREA (GROSS)	68.52 ACRES (2,984,678 SF)
TOWNHOME AREA (GROSS)	20.07 ACRES (874,327 SF)
DENSITY	
SINGLE FAMILY	260 UNITS/68.52 ACRES = 3.79 UNITS/ACRE
TOWNHOME	179 UNITS/20.07 ACRES = 8.92 UNITS/ACRE
CENTRAL	439 UNITS/88.59 ACRES = 4.96 UNITS/ACRE

PRESERVE AT JONES DAIRY - CENTRAL	
PARCEL PINS:	
	<ul style="list-style-type: none"> <li>1759992822</li> <li>1850906787</li> <li>1769094682</li> </ul>

STORMWATER MANAGEMENT NOTE	
	<ul style="list-style-type: none"> <li>STORMWATER MANAGEMENT CALCULATIONS PREVIOUSLY PROVIDED AS PART OF PRESERVE AT JONES DAIRY - CENTRAL SUBDIVISION PLANS.</li> <li>THE PROJECT IS NOT LOCATED IN A WATERSUPPLY WATERSHED PROTECTION OVERLAY DISTRICT.</li> <li>THE PROJECT DOES NOT CONTAIN SPECIAL FLOOD HAZARD AREAS.</li> </ul>



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION  
ELECTRONIC APPROVAL: THIS APPROVAL IS BEING ISSUED ELECTRONICALLY. THIS APPROVAL IS VALID ONLY UPON THE SIGNATURE OF A CITY OF RALEIGH REVIEW OFFICER BELOW. THE CITY WILL RETAIN A COPY OF THE APPROVED PLANS. ANY WORK AUTHORIZED BY THIS APPROVAL MUST PROCEED IN ACCORDANCE WITH THE PLANS KEPT ON FILE WITH THE CITY. THIS ELECTRONIC APPROVAL MAY NOT BE EDITED ONCE ISSUED. ANY MODIFICATION TO THIS APPROVAL ONCE ISSUED WILL INVALIDATE THIS APPROVAL.

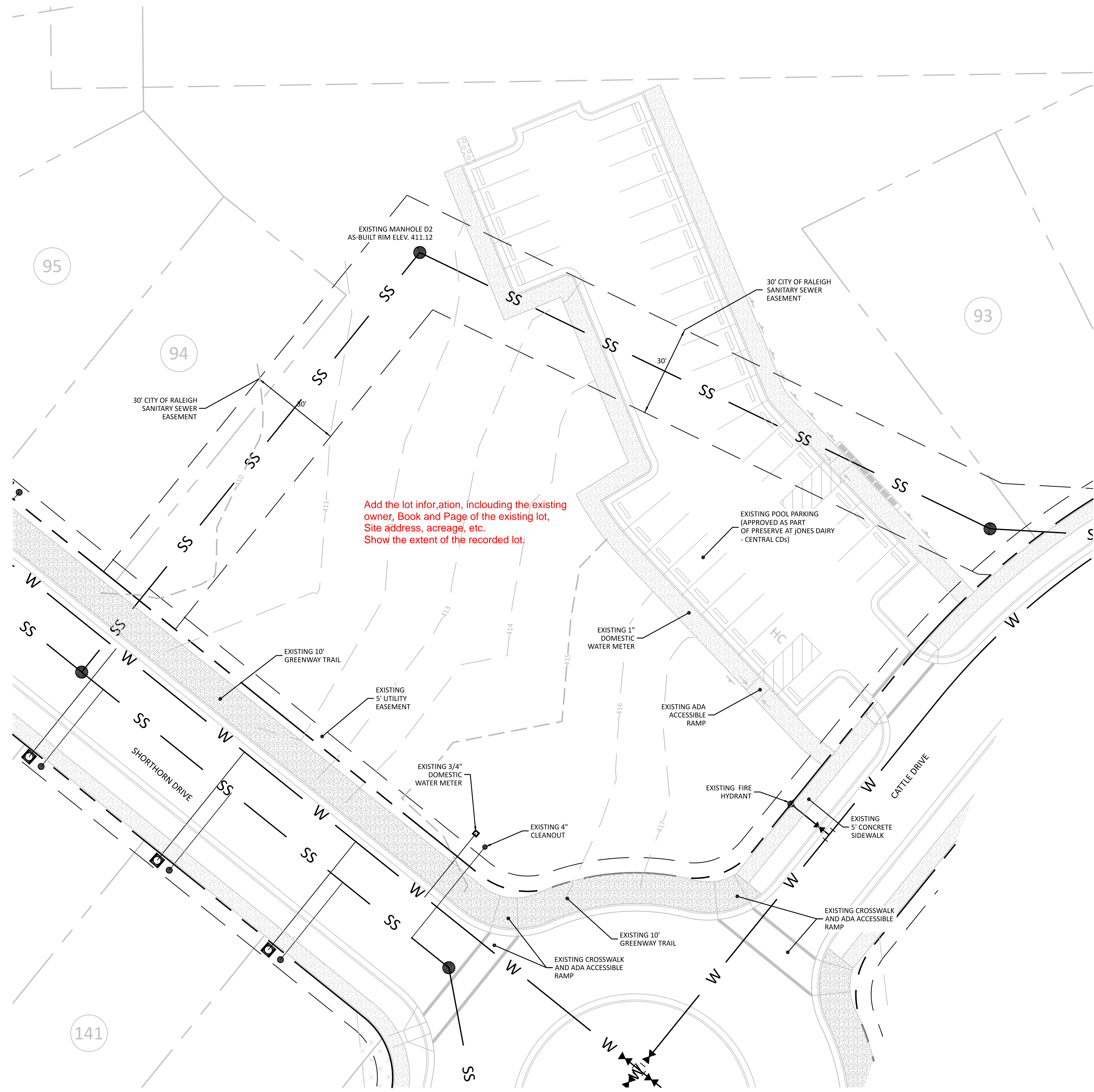
CITY OF RALEIGH DEVELOPMENT APPROVAL \_\_\_\_\_  
RALEIGH WATER REVIEW OFFICER

TOWN OF ROLESVILLE  
PROJECT IDENTIFICATION #  
SDP-XX-XX

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ROLESVILLE STANDARDS AND SPECIFICATIONS

**The Nau Company**  
Consulting Civil Engineers  
PO Box 810 Rolesville, NC 27571  
919-435-6395  
NCBELS License P-0751  
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





Add the lot information, including the existing owner, Book and Page of the existing lot, Site address, acreage, etc. Show the extent of the recorded lot!

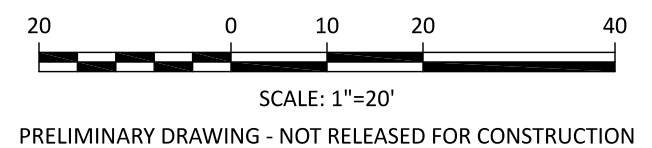
EXISTING CONDITIONS SOURCES	
EXISTING CONDITION	SOURCE
PROPERTY BOUNDARY	CAD FILE FROM CAWTHORNE MOSS AND PANCIERA
EXISTING TOPOGRAPHY	CAD FILE FROM CAWTHORNE MOSS AND PANCIERA
WETLANDS AND STREAM CHANNELS	N/A
FLOODPLAIN	SITE NOT WITHIN A FLOOD PLAIN PER FEMA MAPS 3720185000J AND 3720186000J
EXISTING SANITARY SEWER AT OUTFALL	CAD FILE FROM CAWTHORNE MOSS AND PANCIERA

**EXISTING CONDITIONS NOTES**

- EXISTING CONDITIONS TAKEN FROM PRESERVE AT JONES DAIRY - CENTRAL CONSTRUCTION DRAWINGS PREPARED BY THE NAU COMPANY.
- TOPOGRAPHY FOR SITE TAKEN FROM ELECTRONIC CAD FILE PROVIDED BY: CAWTHORNE, MOSS & PANCIERA, PC. (CMP).
- OFFSITE TOPOGRAPHIC INFORMATION TAKEN FROM WAKE COUNTY GIS.
- THE SURVEYOR DID NOT EXAMINE OR CONSIDER SUBSURFACE OR ENVIRONMENTAL CONDITIONS FOR THIS SURVEY. ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN.
- THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ARE BASED ON VISIBLE EVIDENCE AND DRAWINGS PROVIDED TO THE SURVEYOR. THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES MAY EXIST.
- SURVEY PERFORMED WITHOUT BENEFIT OF TITLE EXAMINATION BY A LICENSED ATTORNEY. THE PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN PERFORMED BY THE SURVEYOR OR THE NAU COMPANY, PLLC.
- TOPOGRAPHIC CONTOURS ARE SHOWN AT 2' INTERVALS FROM APPROVED CONSTRUCTION DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL GRADES PRIOR TO ANY CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

**EXISTING CONDITIONS LEGEND**

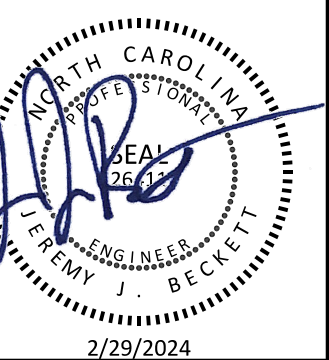
EXISTING PROPERTY BOUNDARY	---
EXISTING RIGHT-OF-WAY	---
EXISTING PROPERTY LINE	---
EXISTING EASEMENT	---
EXISTING SETBACK	---
EXISTING PROPERTY BUFFER	---
EXISTING ROAD CENTERLINE	---
EXISTING CURB & GUTTER (ROAD)	---
EXISTING CURB & GUTTER (PARKING)	---
EXISTING SIDEWALK	---
EXISTING MAJOR (5') CONTOUR	---
EXISTING MINOR (1') CONTOUR	---
EXISTING GIS MAJOR (5') CONTOUR	---
EXISTING GIS MINOR (1') CONTOUR	---
EX. STORM SEWER PIPE	---
EX. STORM SEWER STRUCTURES	---
EX. SANITARY SEWER PIPE	---
EX. SANITARY SEWER MANHOLE	---
EX. SANITARY SEWER CLEANOUT	---
EX. WATER PIPE	---



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 10534 ARNOLD PALMER DRIVE  
 RALEIGH, NC 27617  
 919-493-0761

PRESTLEIGH AT JONES DAIRY  
 AMENITY CENTER  
 ROLESVILLE, NC  
 EXISTING CONDITIONS PLAN



PROJECT NO:	---
DESIGN BY:	JJB
DRAWN BY:	RSF
SCALE:	1"=20'
DATE:	2024-02-29
SHEET NO:	<b>C1.0</b>

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



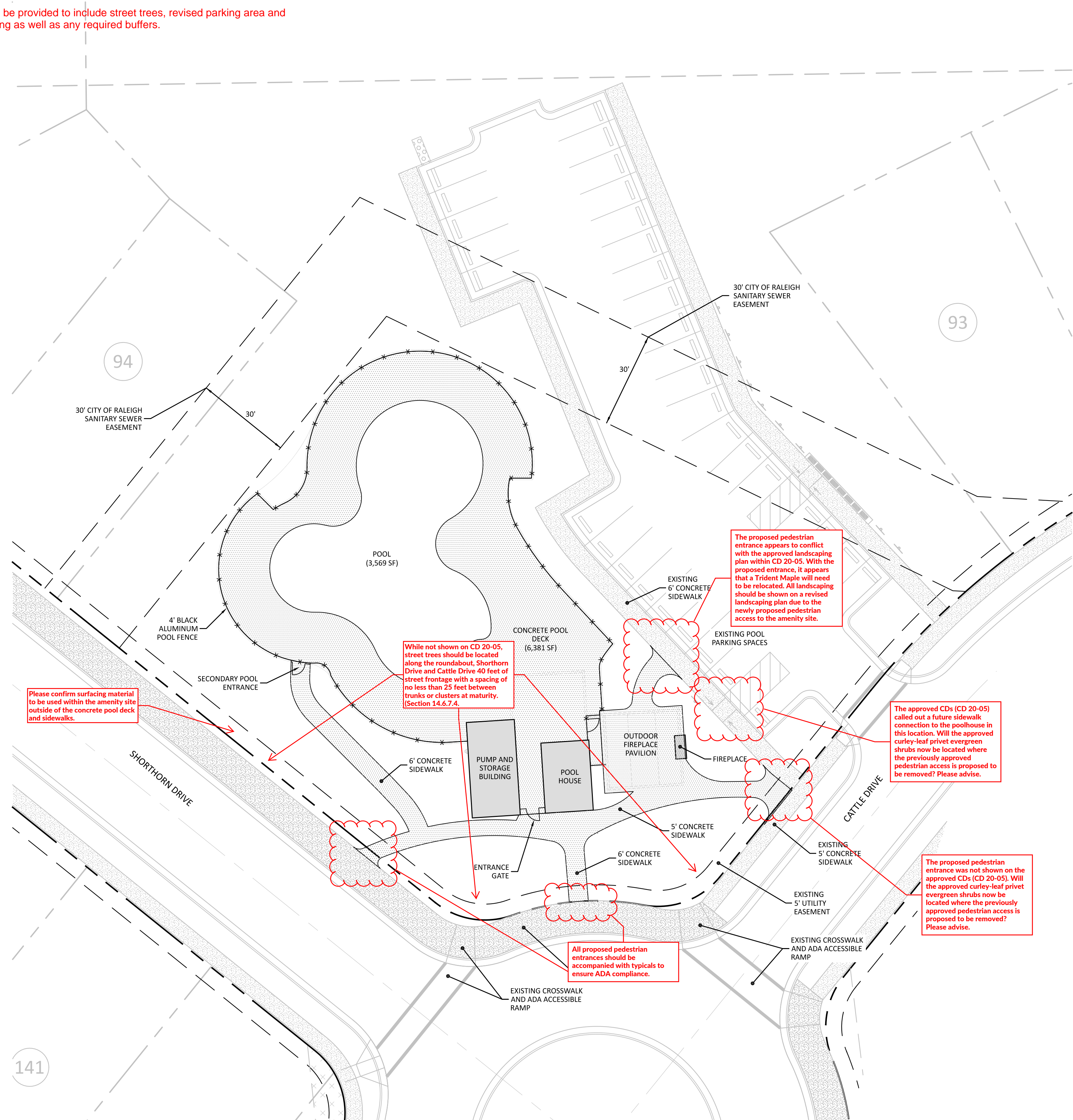
Property boundaries shall be identified

Site Lighting and street light locations shall be clearly indicated (Lighting plan should be submitted)

Landscaping Plan should be provided to include street trees, revised parking area and amenity center landscaping as well as any required buffers.

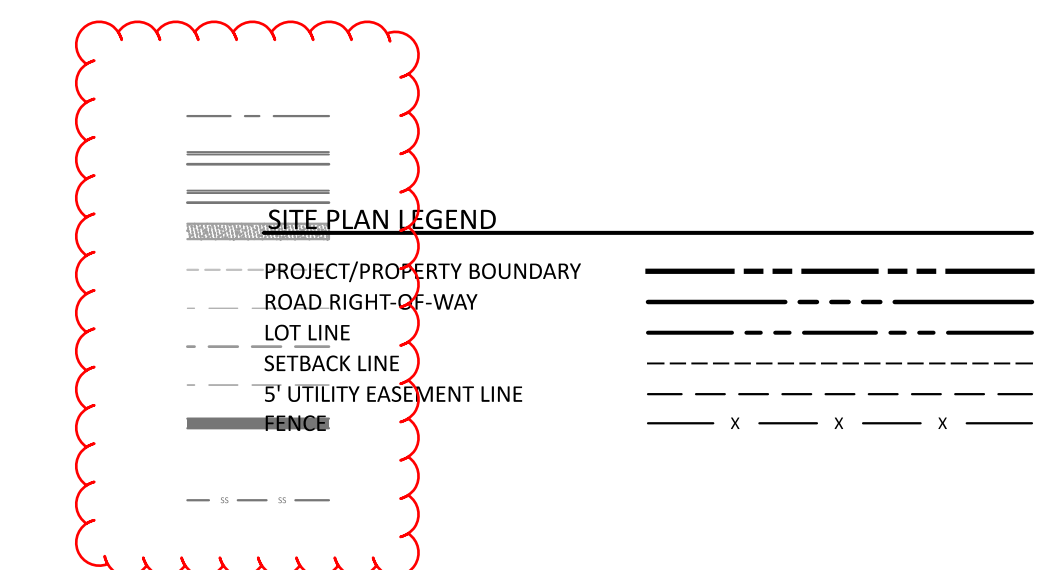
GENERAL NOTES

1. THE DEVELOPER, CONTRACTOR, SUBCONTRACTORS AND SURVEYOR SHALL CONFIRM THAT THE MOST CURRENT SET OF PLANS AND/OR PLAN SHEET(S) ARE BEING USED FOR CONSTRUCTION AND SHALL KEEP A COPY OF SAID PLANS ON-SITE OR OTHERWISE AVAILABLE FOR REVIEW BY THE OWNER, THE OWNER'S REPRESENTATIVE(S) AND THE PERMITTING AUTHORITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION CONFERENCE WITH REPRESENTATIVES OF THE PERMITTING AUTHORITIES AND A REPRESENTATIVE OF THE OWNER.
3. THE CONTRACTOR SHALL CONFIRM THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FOR THE PROPOSED CONSTRUCTION. BEGINNING ANY ASPECT OF CONSTRUCTION OR FABRICATING ANY ITEM PRIOR TO RECEIVING ALL PLANS AND APPROPRIATE DOCUMENTATION OF APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
4. THE CONTRACTOR SHALL CONFIRM THAT ALL CONSTRUCTION AND CONSTRUCTION MATERIALS ARE IN ACCORDANCE WITH THE PERMITS ISSUED AND THE LATEST APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL CODES. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN.
5. THE CONTRACTOR SHALL DETERMINE AND BE RESPONSIBLE FOR THE MEANS AND METHODS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS.
6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE PERMITTING AUTHORITY TO PROVIDE THE REQUIRED COORDINATION, DOCUMENTATION AND INSPECTIONS FOR THE RELOCATION OF, OR CONNECTION TO ANY EXISTING UTILITIES.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSPECTIONS REQUIRED TO PREPARE AS-BUILT CERTIFICATIONS.
8. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ANY OFFSITE EASEMENTS.
9. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THAT ALL NECESSARY RIGHT OF WAY, EASEMENTS AND ENCROACHMENT AGREEMENTS HAVE BEEN OBTAINED.
10. THE CONTRACTOR SHALL CONFIRM THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES (INCLUDING STORM STRUCTURES) WITHIN THE LIMITS OF CONSTRUCTION PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF ANY DISCREPANCIES. BEGINNING CONSTRUCTION PRIOR TO LOCATING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AND NOTIFYING THE OWNER OR ENGINEER OF ANY DISCREPANCIES SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
11. DEPARTURES FROM THE APPROVED CONSTRUCTION DRAWINGS, MUNICIPAL SPECIFICATIONS OR ISSUED PERMITS THAT ARE DEEMED NECESSARY SHALL COORDINATED WITH THE APPROPRIATE PERMITTING AUTHORITY. CHANGES MADE WITHOUT THE APPROPRIATE APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
12. THE STAKING SURVEYOR AND/OR THEIR SUBCONTRACTOR SHALL INDEPENDENTLY VERIFY THE HORIZONTAL AND VERTICAL DATUM FOR THIS PROJECT PRIOR TO CONSTRUCTION.
13. RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
14. THE CONTRACTOR SHALL NOTE THAT THE PLANS DO NOT SHOW EVERY OFFSET, TRANSITION, FITTING ETC. THAT MAY BE REQUIRED FOR CONSTRUCTION.
15. ALL GRADING, DIMENSIONS, SLOPES TO BUILDING ACCESS/EGRESS POINTS, HANDICAP RAMPS/PARKING SPACES, STRIPING AND PAVEMENT MARKINGS SHALL CONFORM TO ADA REQUIREMENTS AND THE NORTH CAROLINA STATE BUILDING CODE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ADA CONFORMANCE PRIOR TO ANY CONSTRUCTION.
16. ALL DIMENSIONS ARE TO FACE-OF-CURB UNLESS OTHERWISE NOTED.
17. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ANY/ALL BUILDING DIMENSIONS AND CONFIRM THAT ANY/ALL BUILDING ALIGNMENTS CONFORM TO THE APPROVED CIVIL PLANS PRIOR TO ANY CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
18. CONTRACTOR SHALL CONFIRM ALL COMPACTION REQUIREMENTS WITH THE GEOTECHNICAL ENGINEER.

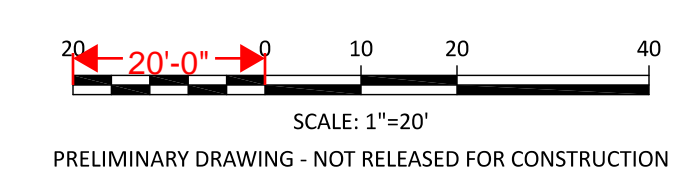


POOL HOUSE/POOL DECK NOTES:

1. VERIFY POOL HOUSE, PUMP/STORAGE BUILDING, AND OUTDOOR PAVILION DIMENSIONS, SPECIFICATIONS AND ORIENTATION WITH ARCHITECTURAL PLANS.
2. COORDINATE POOL, CONCRETE POOL DECK AND FIREPLACE SPECIFICATIONS WITH ARCHITECTURAL PLANS.
3. CONSTRUCT ALL CONCRETE SIDEWALKS PER TOWN OF ROLESVILLE STANDARDS AND SPECIFICATIONS.



Please correct the site plan legend.



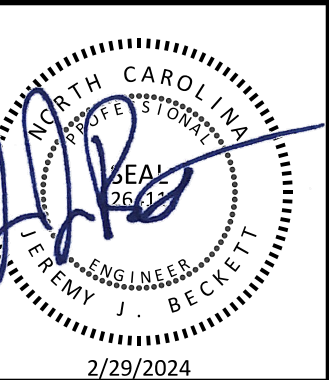
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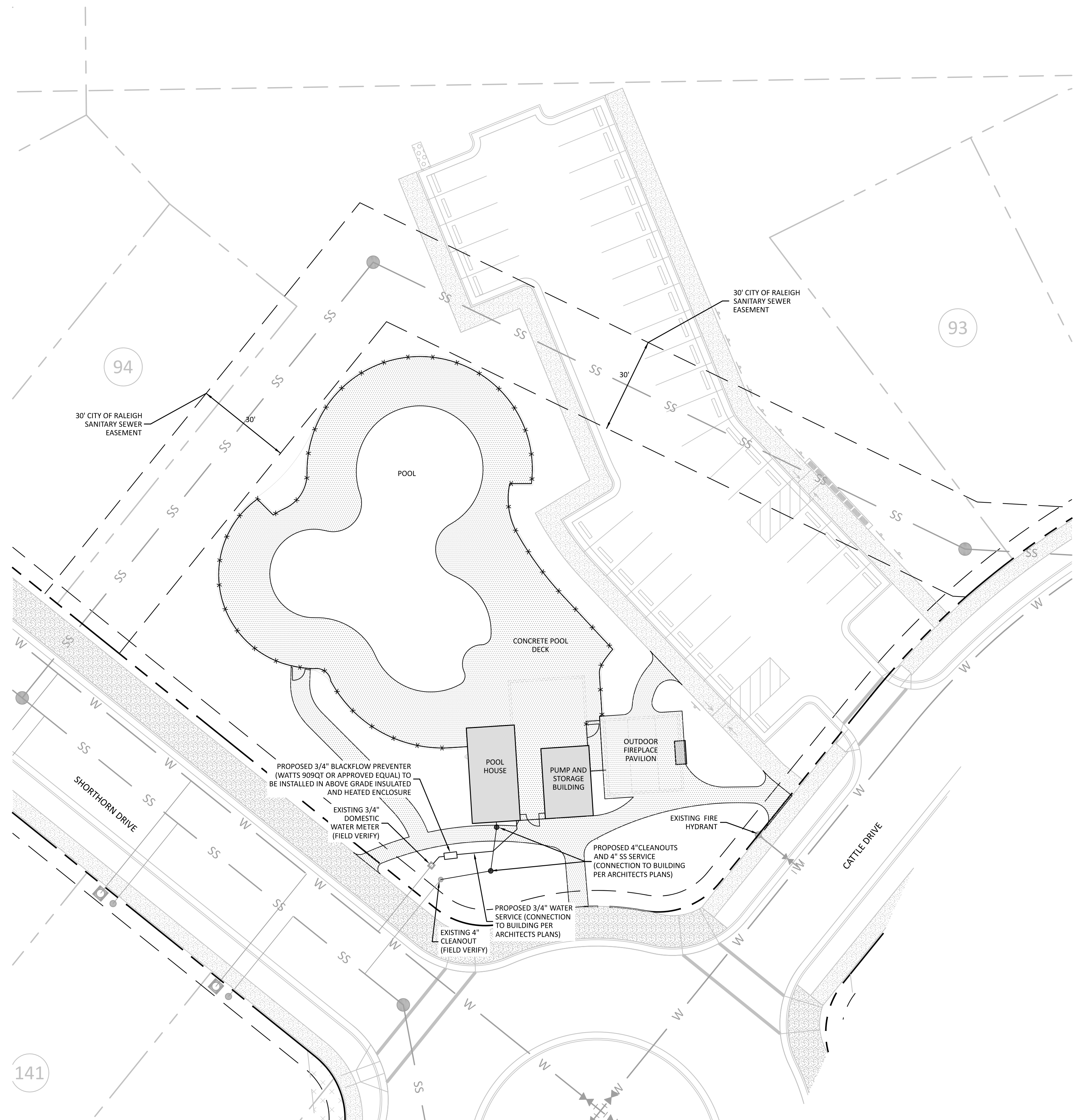
NO.	DATE	DESCRIPTION

PRESTLEIGH AT JONES DAIRY  
 AMENITY CENTER  
 ROLESVILLE, NC  
 SITE PLAN



PROJECT NO: ---  
 DESIGN BY: JJB  
 DRAWN BY: RSF  
 SCALE: 1"=20"  
 DATE: 2024-02-29  
 SHEET NO: C2.0





- CITY OF RALEIGH STANDARD UTILITY NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
  - UTILITY SEPARATION REQUIREMENTS:
    - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPES SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
    - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10" IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
    - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
    - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
    - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
    - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
  - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
  - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
  - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
  - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
  - INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
  - INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM
  - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
  - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
  - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

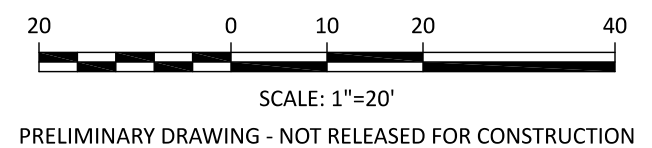
**UTILITY PLAN LEGEND**

SANITARY SEWER PIPE	SS
SANITARY SEWER MANHOLE	●
SANITARY SEWER CLEANOUT	○
WATER PIPE	W
WATER METER	◻
WATER HYDRANT	▶

**NOTE:**  
SWIMMING POOL DISCHARGE TO THE SANITARY SEWER SYSTEM SHALL BE EQUIPPED WITH A PUMP OR FLOW RESTRICTOR SO THAT THE DISCHARGE RATE DOES NOT EXCEED 50 GPM.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION  
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CITY OF RALEIGH DEVELOPMENT APPROVAL \_\_\_\_\_ RALEIGH WATER REVIEW OFFICER \_\_\_\_\_



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Consulting Civil Engineers  
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CLIENT:  
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10534 ARNOLD PALMER DRIVE  
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919-493-0761

REVISIONS


**PRESTLEIGH AT JONES DAIRY AMENITY CENTER**  
ROLESVILLE, NC  
**UTILITY PLAN**



PROJECT NO: ---  
DESIGN BY: JJB  
DRAWN BY: RSF  
SCALE: 1"=20'  
DATE: 2024-02-29  
SHEET NO: **C3.0**





**GRADING NOTES**

1. PROPOSED CONTOURS REPRESENT APPROXIMATE ELEVATIONS AT A POINT. PROPOSED SPOT ELEVATIONS AND ROADWAY PROFILES SUPERCEDE CONTOUR INFORMATION.
2. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND SHALL MAINTAIN ADEQUATE DRAINAGE DURING CONSTRUCTION.
3. ALL GRADING, BACKFILLING, EXCAVATION, ETC. SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE LOCAL GOVERNING AUTHORITY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COORDINATING ALL CONSTRUCTION ACTIVITIES WITH SAID AUTHORITY.
4. CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 811 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY DIGGING.
5. CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
6. ANY AND ALL DISTURBED AREAS SHALL BE FINE GRADED, SEEDED WITH PERMANENT GRASS SEEDING MIX AND STRAWED PRIOR TO DEMOBILIZATION FROM THE SITE.
7. ALL SWALES/DITCHES ALONG PROPERTY LINES AND REAR YARDS SHOULD BE 2% OR STEEPER.
8. SLOPES STEEPER THAN 3H:1V SHOULD BE EVALUATED AND DESIGNED BY A GEOTECHNICAL ENGINEER.
9. THE CONTRACTOR SHALL NOTE THAT SPILL CURB SHALL BE USED AS NECESSARY IN PARKING AREAS, AT INTERSECTIONS, AT MEDIANS TO ELIMINATE AREAS OF STANDING WATER IN THE CURB.
10. ENSURE ALL POOL DECK SLOPES AND TRACK DRAINS MEET ALL ADA AND NC HEALTH DEPARTMENT REQUIREMENTS. INSTALL TRACK DRAINS AS NECESSARY AND COORDINATE WITH POOL DESIGNER.

**EROSION CONTROL NOTE**

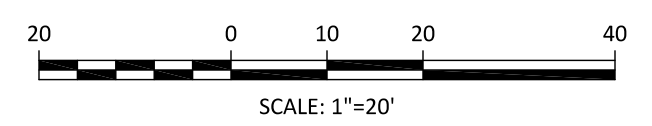
A LAND DISTURBANCE PERMIT WAS ISSUED BY WAKE COUNTY FOR THIS PROJECT UNDER S&E PERMIT # SEC-048926-2020 BASED ON PLANS PREPARED BY OTHERS. REFER TO THE APPROVED EROSION CONTROL PLANS FOR THE INSTALLATION AND MAINTENANCE OF THE NECESSARY EROSION CONTROL DEVICES.

**STORMWATER MANAGEMENT NOTE**

- STORMWATER MANAGEMENT CALCULATIONS PREVIOUSLY PROVIDED AS PART OF PRESERVE AT JONES DAIRY - CENTRAL SUBDIVISION PLANS.
- THE PROJECT IS NOT LOCATED IN A WATERSUPPLY WATERSHED PROTECTION OVERLAY DISTRICT.
- THE PROJECT DOES NOT CONTAIN SPECIAL FLOOD HAZARD AREAS.

**GRADING/DRAINAGE PLAN LEGEND**

EXISTING MAJOR (5') CONTOUR	---
EXISTING MINOR (1') CONTOUR	----
PROPOSED MAJOR (5') CONTOUR	—
PROPOSED MINOR (1') CONTOUR	- - -
STORM DRAINAGE PIPE	—+—+—+—+—
STORM DRAINAGE STRUCTURES	■ □ ●



CLIENT:  
PRESERVE AT JONES DAIRY, LLC  
10534 ARNOLD PALMER DRIVE  
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REVISIONS					

**PRESTLEIGH AT JONES DAIRY  
AMENITY CENTER**  
ROLESVILLE, NC  
**GRADING PLAN**



PROJECT NO:	---
DESIGN BY:	JJB
DRAWN BY:	RSF
SCALE:	1"=20'
DATE:	2024-02-29
SHEET NO:	<b>C4.0</b>



