

Comments on #SDP-25-0002 - Planning & Zoning: Site Development Plan

Application Number: #SDP-25-0002
Application Type: Site Development Plan
Date: March 30, 2026
Address: 1600 Rolesville Road



THIS DOCUMENT IS NOT YOUR PERMIT.

The Rolesville Planning Department has reviewed your application for a Site Development Plan Application and has responded with a set of comments that require your attention. These comments must be addressed in full before an approval will be issued.

Reviewing this document on GovWell, our online portal, will allow you to view interactive markups on the document. If you are viewing this as a PDF or offline, a list of all comments will be provided below in this cover sheet. These comments must be acknowledged before a permit is issued.

After you have addressed all comments, please upload corrected versions of the plans by clicking [here](#) or by visiting <https://app.govwell.com/record/a216264a-736c-4a51-a4fa-afa72e025a8a>.

Contacts

Austin Bain
City of Raleigh Engineer

(919) 996-3468
austin.bain@raleighnc.gov

Approved

Jacqueline Thompson
On-Call Civil Engineer

jacqueline.thompson@bolton-menk.com

Approved

Michele Raby
Planner II

mraby@rolesvillenc.gov

Updates Requested

Comments on Plan

1



Michele Raby
Planner II

Please add cover sheet. Cannot confirm Open Space Table addition as noted in response from applicant on sheet C1.0

Page 1 • March 9, 2026, 10:18am

2



Michele Raby
Planner II

Repeat comment: Please add previous entitlements received on cover sheet as shown on the cover sheet example: https://www.rolesvillenc.gov/sites/default/files/uploads/site-development-plans-sdp-amenity-ctr_non-res-cover-sheet-example.pdf

Page 1 • March 9, 2026, 10:19am

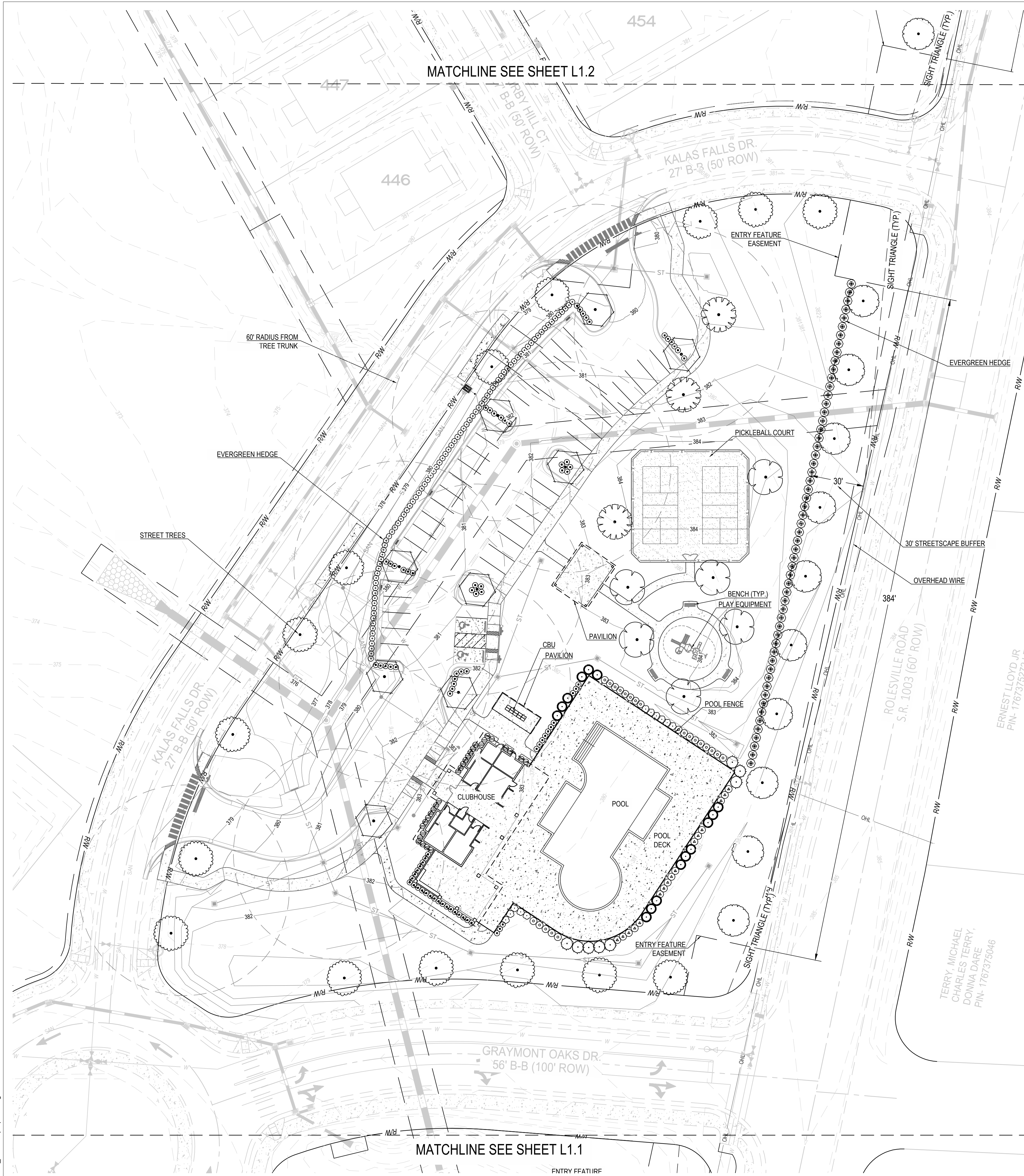
3



Michele Raby
Planner II

Previous Comment: Please obtain an address from Dianne Saunders
GIS Analyst- E911/Addressing Team
Wake County Government- IT/GIS
dianne.saunders@wake.gov
919.856.6397 office (leave message)
PO Box 550 Raleigh NC 27602
wake.gov/gis.
Plans cannot be approved without addresses. Permits cannot be issued with a 0 address.

Page 1 • March 9, 2026, 10:20am



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
--------	-----	-------------------------	------	--------------	---------

TREES

	6	ACER RUBRUM RED MAPLE	2.5" CAL	10' HT	AS SHOWN
	9	GINKGO BILOBA 'GOLDEN GLOBE' GOLDEN GLOBE MAIDENHAIR TREE	2.5" CAL	10' HT	AS SHOWN
	15	ILEX X 'EMILY BRUNER' EMILY BRUNER HOLLY	---	6' HT	AS SHOWN
	8	ILEX X 'NELLIE R. STEVENS' NELLIE R. STEVENS HOLLY	---	6' HT	AS SHOWN
	2	LAGERSTROEMIA INDICA 'NEAR EAST' NEAR EAST CRAPE MYRTLE MULTI-TRUNK	2" CAL	8' HT	AS SHOWN
	3	NYSSA SYLVATICA BLACK GUM	2.5" CAL	10' HT	AS SHOWN
	19	QUERCUS PHELLOS WILLOW OAK	2.5" CAL	10' HT	AS SHOWN
	11	THUJA OCCIDENTALIS 'SMARAGD' EMERALD GREEN ARBORVITAE	---	6' HT	AS SHOWN
	15	ULMUS AMERICANA AMERICAN ELM	2.5" CAL	10' HT	AS SHOWN

SHRUBS

	82	AZALEA X 'CONLEC' AUTUMN ROYALTY® ENCORE® AZALEA	---	24" HT	3'-0" OC
	16	BUXUS X 'GREEN MOUNTAIN' GREEN MOUNTAIN BOXWOOD	---	24" HT	4'-0" OC
	57	DISTYLUM X 'PIDIST-I' EMERALD HEIGHTS® DISTYLUM	---	24" HT	5'-0" OC
	85	ILEX CORNUTA 'BURFORDII NANA' DWARF BURFORD HOLLY	---	24" HT	3'-0" OC
	22	ILICUM PARVIFLORUM ANISE TREE	---	24" HT	4'-0" OC
	29	LOROPETALUM CHINENSE RUBRUM 'BURGUNDY' BURGUNDY FRINGE FLOWER	---	24" HT	3'-0" OC

- MULCH**
- ALL PLANT BEDS SHALL CONTAIN A 3" LAYER OF DOUBLE HAMMERED HARDWOOD MULCH (FROM A SUSTAINABLE SOURCE)
 - CONTRACTOR TO PLACE A 4" DIAMETER MULCH RING AROUND ALL TREES IN LAWN
 - ALL TREE RINGS TO BE A MINIMUM OF 3' AWAY FROM PLANTING BED EDGE UNLESS SPECIFICALLY DIMENSIONED OTHERWISE

IRRIGATION

THE CONTRACTOR SHALL DESIGN, SUPPLY, AND INSTALL IRRIGATION SYSTEM FOR ALL SODDED AND PLANTING AREAS AS SHOWN ON THIS SHEET. DESIGN SHALL BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION

LANDSCAPE REQUIREMENTS

SECTION 14.4 - STREETScape BUFFERS ALONG THOROUGHFARES

14.4.2 THE WIDTH OF THE STREETScape BUFFER SHALL BE AT LEAST 30 FEET, AS MEASURED FROM THE RIGHT-OF-WAY LINE BUT CAN BE REDUCED TO AS LITTLE AS TEN FEET BY THE BOARD OF COMMISSIONERS IN CASES OF HARDSHIP AS PROVIDED IN NC GENERAL STATUTES 160A-388.

REQUIRED: 30' WIDE BUFFER
PROVIDED: 30' WIDE BUFFER

14.4.3 IF THE STREETScape IS DISTURBED OR NON-VEGETATED, THE PROPERTY OWNER OR DEVELOPER SHALL INSTALL AND MAINTAIN 1 STREET TREE OF AT LEAST 2.5" IN CALIPER EVERY 40 LINEAR FEET OF FRONTAGE

ROLESVILLE ROAD - 384 LF ALONG AMENITY AREA

REQUIRED: 10 SHADE TREES (384 LF / 40 LF)
PROPOSED: 10 SHADE TREES

SECTION 14.7 - VEHICULAR USE AREAS (VUAs)

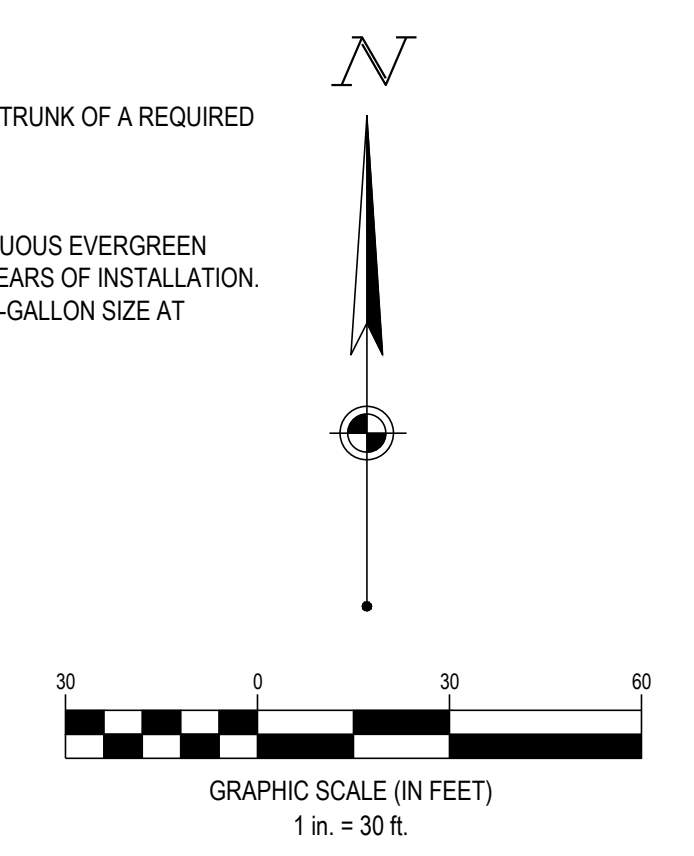
14.7.2 NO PORTION OF THE VUAs SHALL BE FURTHER THAN 60 FEET FROM THE TRUNK OF A REQUIRED LARGE TREE. - PROVIDED

14.7.5 ALL VUAs MUST BE SCREENED FROM THE OFF-SITE VIEW WITH A CONTINUOUS EVERGREEN HEDGE THAT WILL REACH A MINIMUM HEIGHT OF THREE FEET WITHIN THREE YEARS OF INSTALLATION. SCREENING PLANTS SHALL BE A MINIMUM OF 24 INCHES IN HEIGHT AND THREE-GALLON SIZE AT INSTALLATION. - PROVIDED

1
2
3

LEGEND

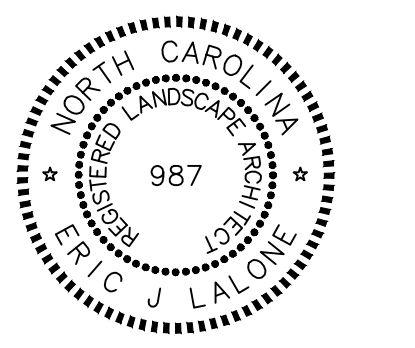
	SUBJECT BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING RW
	EXISTING CENTERLINE
	EXISTING FACE OF CURB
	EXISTING BACK OF CURB
	PROPOSED RIGHT-OF-WAY
	EXISTING STREAM (TO REMAIN)
	EXISTING WETLAND (TO REMAIN)
	PROPOSED PROPERTY LINE
	PROPOSED SETBACK
	PROPOSED EASEMENT
	PROPOSED BASIN
	PROPOSED CENTERLINE
	PROPOSED CURB & GUTTER



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MAY HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



CESO
WWW.CESONC.COM
CESO NC, Co.
4601 Park Road, Suite 650
Charlotte, NC 28209
Phone: 937.435.8564



02/26/2026

MERITAGE HOME

**KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE**
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

Revisions / Submissions

ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

© 2025 CESO, INC.
Project Number: 766740-01 / -02
Scale: AS SHOWN
Drawn By: RM
Checked By: CG
Date: 10/31/2025
Issue: NOT FOR CONSTRUCTION

Drawing Title:
LANDSCAPE PLAN

L1.0

L1.0_766740-01_Landscape plan.dwg



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
TREES					
	6	ACER RUBRUM RED MAPLE	2.5' CAL	10' HT	AS SHOWN
	9	GINKGO BILOBA 'GOLDEN GLOBE' GOLDEN GLOBE MAIDENHAIR TREE	2.5' CAL	10' HT	AS SHOWN
	15	ILEX X 'EMILY BRUNER' EMILY BRUNER HOLLY	---	6' HT	AS SHOWN
	8	ILEX X 'NELLIE R. STEVENS' NELLIE R. STEVENS HOLLY	---	6' HT	AS SHOWN
	2	LAGERSTROEMIA INDICA 'NEAR EAST' NEAR EAST CRAPE MYRTLE MULTI-TRUNK	2" CAL	8' HT	AS SHOWN
	3	NYSSA SYLVATICA BLACK GUM	2.5' CAL	10' HT	AS SHOWN
	19	QUERCUS PHELLOS WILLOW OAK	2.5' CAL	10' HT	AS SHOWN
	11	THUJA OCCIDENTALIS 'SMARAGD' EMERALD GREEN ARBORVITAE	---	6' HT	AS SHOWN
	15	ULMUS AMERICANA AMERICAN ELM	2.5' CAL	10' HT	AS SHOWN

MULCH

- ALL PLANT BEDS SHALL CONTAIN A 3" LAYER OF DOUBLE HAMMERED HARDWOOD MULCH (FROM A SUSTAINABLE SOURCE)
- CONTRACTOR TO PLACE A 4" DIAMETER MULCH RING AROUND ALL TREES IN LAWN
- ALL TREE RINGS TO BE A MINIMUM OF 3' AWAY FROM PLANTING BED EDGE UNLESS SPECIFICALLY DIMENSIONED OTHERWISE

IRRIGATION

THE CONTRACTOR SHALL DESIGN, SUPPLY, AND INSTALL IRRIGATION SYSTEM FOR ALL SODDED AND PLANTING AREAS AS SHOWN ON THIS SHEET. DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION

LANDSCAPE REQUIREMENTS

SECTION 14.4: - STREETScape BUFFERS ALONG THOROUGHFARES

14.4.2 THE WIDTH OF THE STREETScape BUFFER SHALL BE AT LEAST 30 FEET, AS MEASURED FROM THE RIGHT-OF-WAY LINE BUT CAN BE REDUCED TO AS LITTLE AS TEN FEET BY THE BOARD OF COMMISSIONERS IN CASES OF HARDSHIP AS PROVIDED IN NC GENERAL STATUTES 160A-388.

REQUIRED: 30' WIDE BUFFER
PROVIDED: 30' WIDE BUFFER

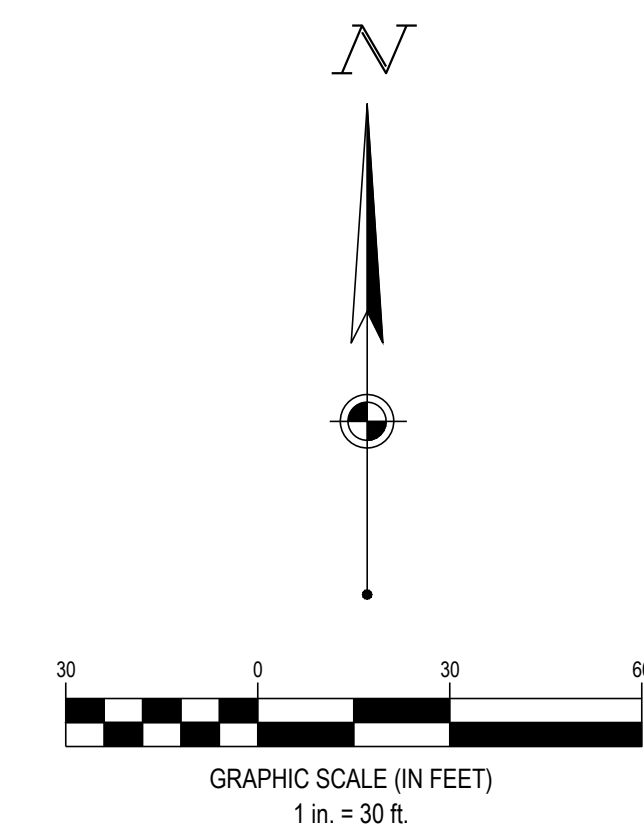
14.4.3 IF THE STREETScape IS DISTURBED OR NON-VEGETATED, THE PROPERTY OWNER OR DEVELOPER SHALL INSTALL AND MAINTAIN 1 STREET TREE OF AT LEAST 2.5" IN CALIPER

ROLESVILLE ROAD - 184 LF SOUTH OF AMENITY AREA

REQUIRED: 5 SHADE TREES (184 LF / 40 LF)
PROPOSED: 5 SHADE TREES

LEGEND

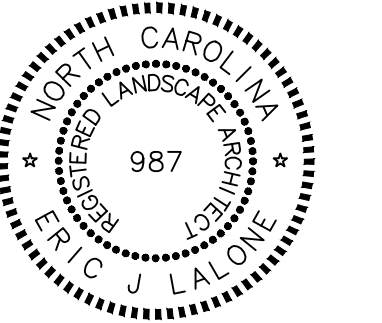
	SUBJECT BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING RW
	EXISTING CENTERLINE
	EXISTING FACE OF CURB
	EXISTING BACK OF CURB
	PROPOSED RIGHT-OF-WAY
	EXISTING STREAM (TO REMAIN)
	EXISTING WETLAND (TO REMAIN)
	PROPOSED PROPERTY LINE
	PROPOSED SETBACK
	PROPOSED EASEMENT
	PROPOSED BASIN
	PROPOSED CENTERLINE
	PROPOSED CURB & GUTTER



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



CESO
WWW.CESONC.COM
CESO NC, Co.
4601 Park Road, Suite 650
Charlotte, NC 28209
Phone: 937.435.8564



02/26/2026

MERITAGE HOME

**KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE**
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

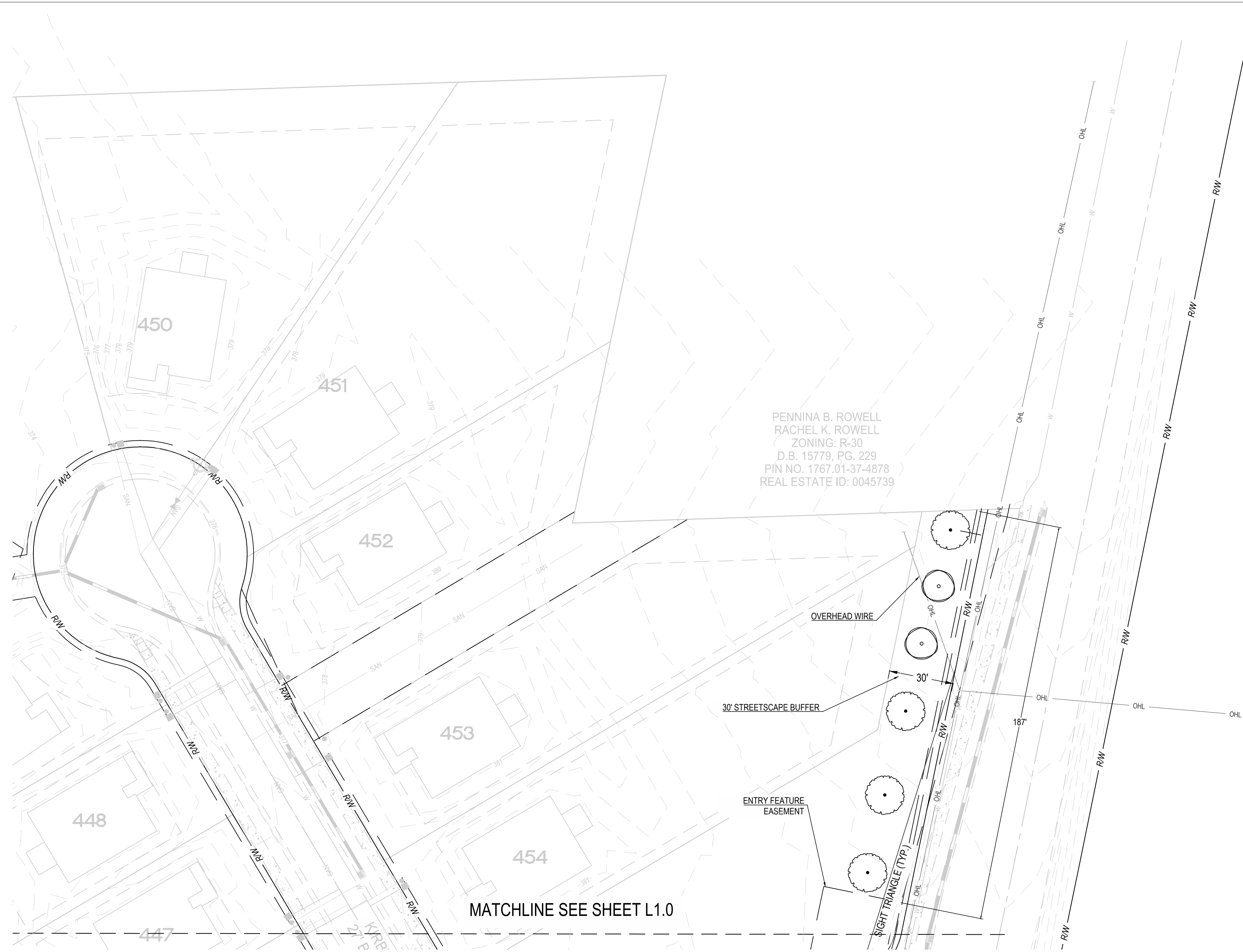
Revisions / Submissions

ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

© 2025 CESO, INC.
Project Number: 766740-01 / -02
Scale: AS SHOWN
Drawn By: RM
Checked By: CG
Date: 10/31/2025
Issue: NOT FOR CONSTRUCTION

Drawing Title:
LANDSCAPE PLAN

L1.1



PENNINA B. ROWELL
 RACHEL K. ROWELL
 ZONING: R-30
 D.B. 15779, PG. 229
 PIN NO. 1767.01-37-4878
 REAL ESTATE ID: 0045739

MATCHLINE SEE SHEET L1.0

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
TREES					
	6	ACER RUBRUM RED MAPLE	2.5' CAL	10' HT	AS SHOWN
	9	GINKGO BILOBA 'GOLDEN GLOBE' GOLDEN GLOBE MAIDENHAIR TREE	2.5' CAL	10' HT	AS SHOWN
	15	ILEX X 'EMILY BRUNER' EMILY BRUNER HOLLY	---	6' HT	AS SHOWN
	8	ILEX X 'NELLIE R. STEVENS' NELLIE R. STEVENS HOLLY	---	6' HT	AS SHOWN
	2	LAGERSTROEMIA INDICA 'NEAR EAST' NEAR EAST CRAPE MYRTLE MULTI-TRUNK	2" CAL	8' HT	AS SHOWN
	3	NYSSA SYLVATICA BLACK GUM	2.5' CAL	10' HT	AS SHOWN
	19	QUERCUS PHELLOS WILLOW OAK	2.5' CAL	10' HT	AS SHOWN
	11	THUJA OCCIDENTALIS 'SMARAGD' EMERALD GREEN ARBORVITAE	---	6' HT	AS SHOWN
	15	ULMUS AMERICANA AMERICAN ELM	2.5' CAL	10' HT	AS SHOWN

MULCH

- ALL PLANT BEDS SHALL CONTAIN A 3" LAYER OF DOUBLE HAMMERED HARDWOOD MULCH (FROM A SUSTAINABLE SOURCE)
- CONTRACTOR TO PLACE A 4' DIAMETER MULCH RING AROUND ALL TREES IN LAWN
- ALL TREE RINGS TO BE A MINIMUM OF 3' AWAY FROM PLANTING BED EDGE UNLESS SPECIFICALLY DIMENSIONED OTHERWISE

IRRIGATION

THE CONTRACTOR SHALL DESIGN, SUPPLY, AND INSTALL IRRIGATION SYSTEM FOR ALL SODDED AND PLANTING AREAS AS SHOWN ON THIS SHEET. DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION

LANDSCAPE REQUIREMENTS

SECTION 14.4. - STREETSCAPE BUFFERS ALONG THOROUGHFARES

14.4.2 THE WIDTH OF THE STREETSCAPE BUFFER SHALL BE AT LEAST 30 FEET, AS MEASURED FROM THE RIGHT-OF-WAY LINE BUT CAN BE REDUCED TO AS LITTLE AS TEN FEET BY THE BOARD OF COMMISSIONERS IN CASES OF HARDSHIP AS PROVIDED IN NC GENERAL STATUTES 160A-388.

REQUIRED: 30' WIDE BUFFER
 PROVIDED: 30' WIDE BUFFER

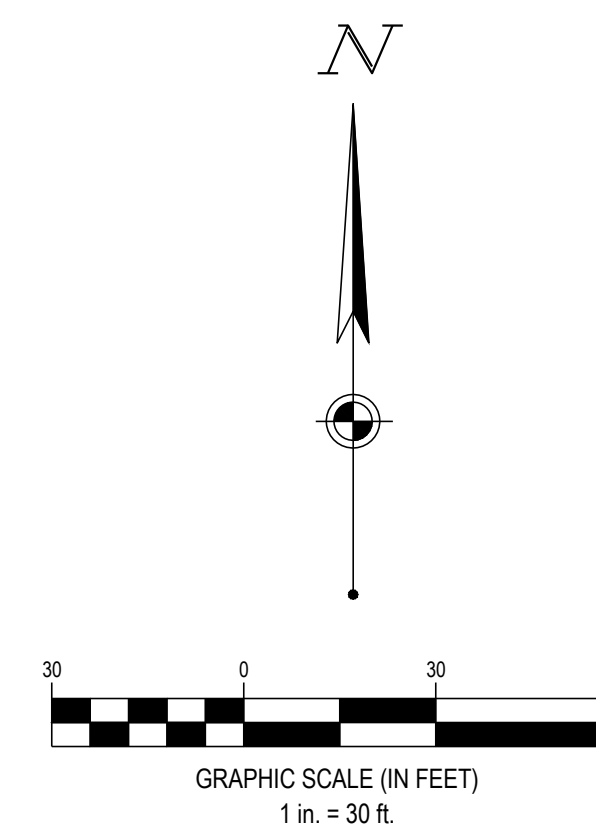
14.4.3 IF THE STREETSCAPE IS DISTURBED OR NON-VEGETATED, THE PROPERTY OWNER OR DEVELOPER SHALL INSTALL AND MAINTAIN THE FOLLOWING VEGETATION EVERY 40 LINEAR FEET OF FRONTAGE.

ROLESVILLE ROAD - 187 LF NORTH OF AMENITY AREA

REQUIRED: 5 SHADE TREES (187 LF / 40 LF)
 PROPOSED: 4 SHADE TREES / 2 UNDERSTORY TREES (OVERHEAD WIRE)

LEGEND

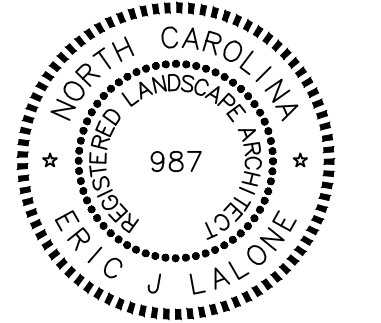
	SUBJECT BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING RW
	EXISTING CENTERLINE
	EXISTING FACE OF CURB
	EXISTING BACK OF CURB
	PROPOSED RIGHT-OF-WAY
	EXISTING STREAM (TO REMAIN)
	EXISTING WETLAND (TO REMAIN)
	PROPOSED PROPERTY LINE
	PROPOSED SETBACK
	PROPOSED EASEMENT
	PROPOSED BASIN
	PROPOSED CENTERLINE
	PROPOSED CURB & GUTTER



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



CESO
 WWW.CESOINC.COM
 CESO INC. Co.
 4601 Park Road, Suite 650
 Charlotte, NC 28209
 Phone: 937.435.8564



02/26/2026

MERITAGE HOME

**KALAS FALLS PHASE 2
 AMENITY AND OPEN SPACE**
 1832 ROLESVILLE ROAD,
 WAKE COUNTY, NC

Revisions / Submissions

ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

© 2025 CESO, INC.

Project Number: 766740-01 / -02

Scale: AS SHOWN

Drawn By: RM

Checked By: CG

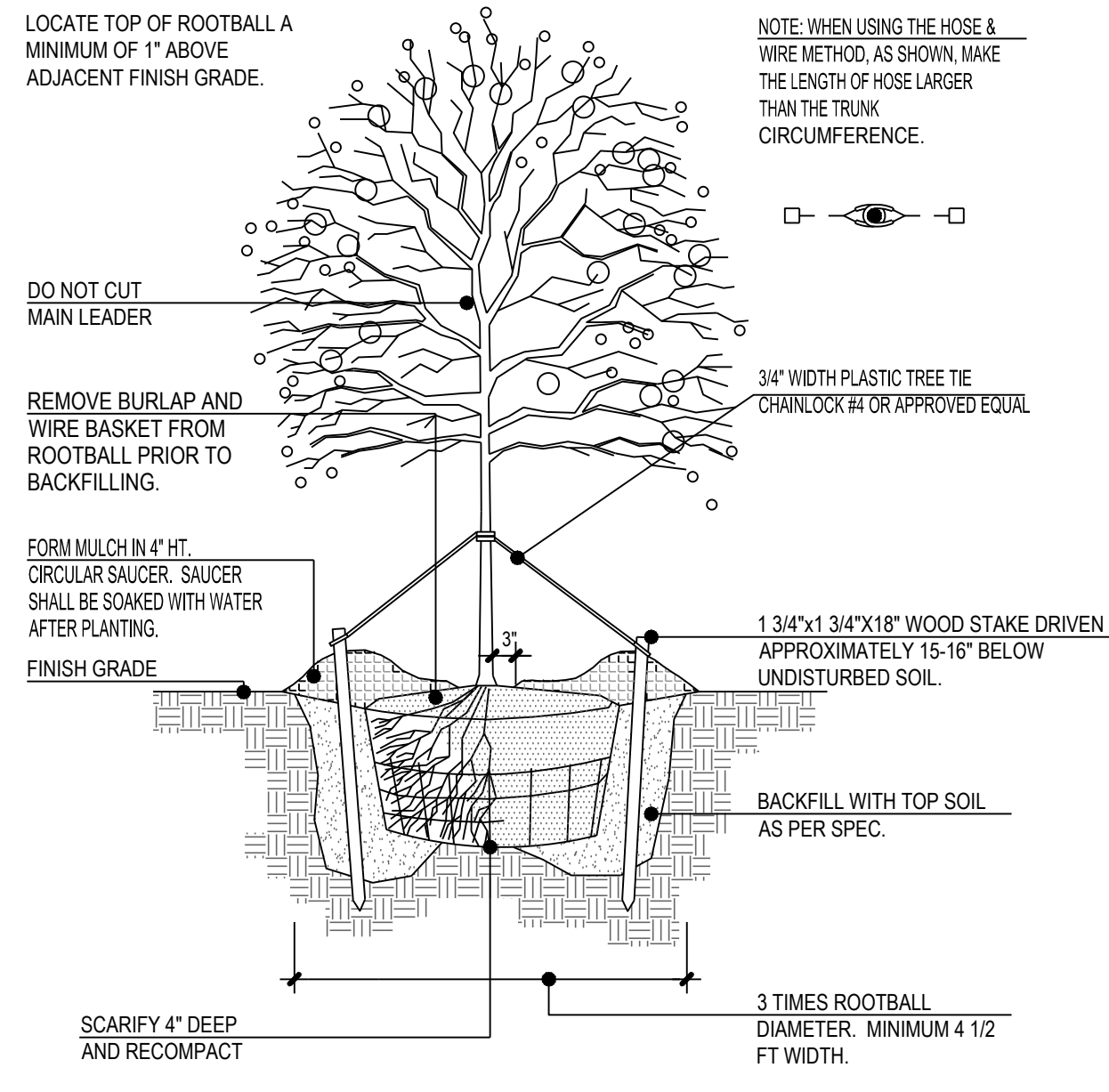
Date: 10/31/2025

Issue: NOT FOR CONSTRUCTION

Drawing Title:

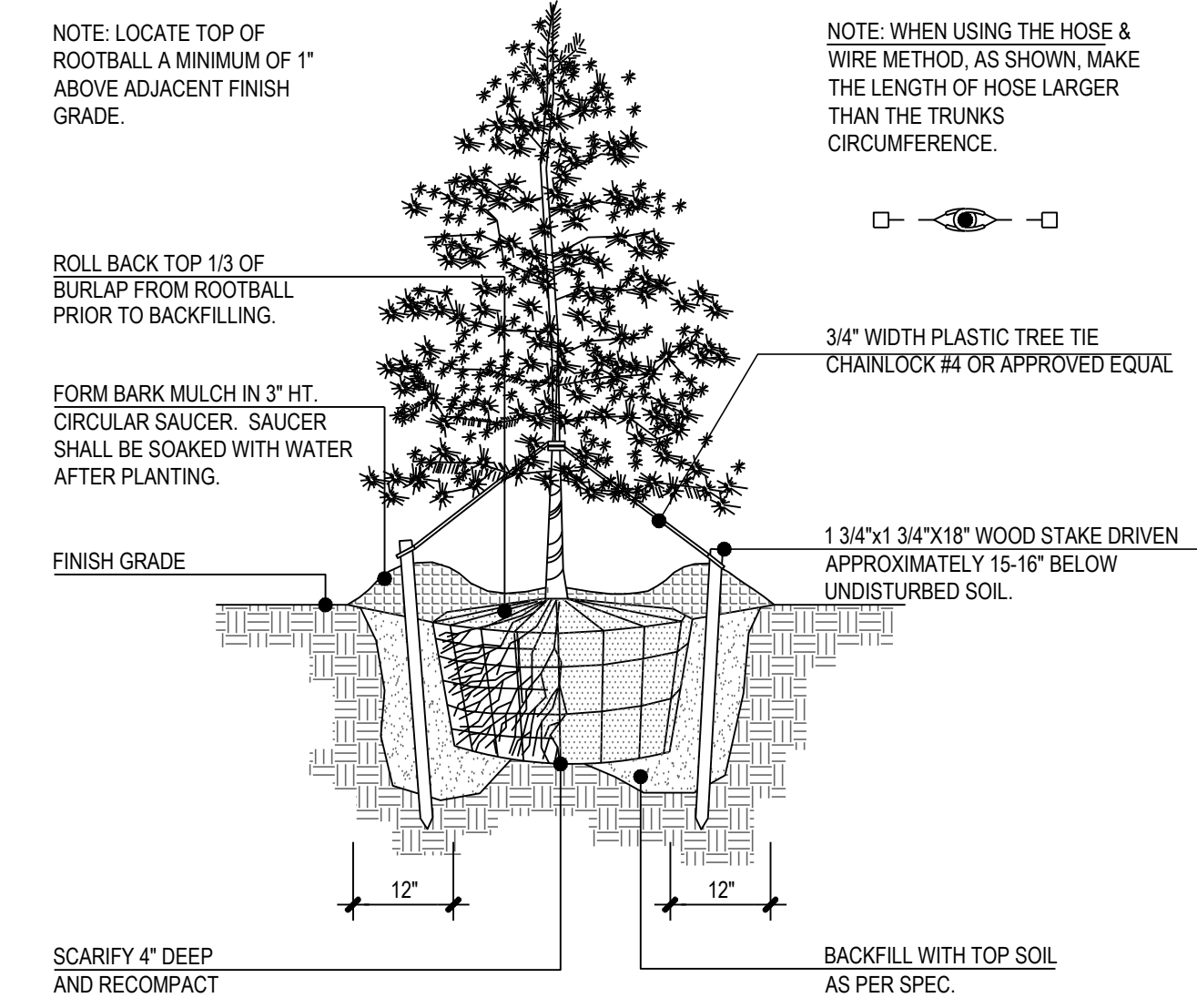
LANDSCAPE PLAN

L1.2



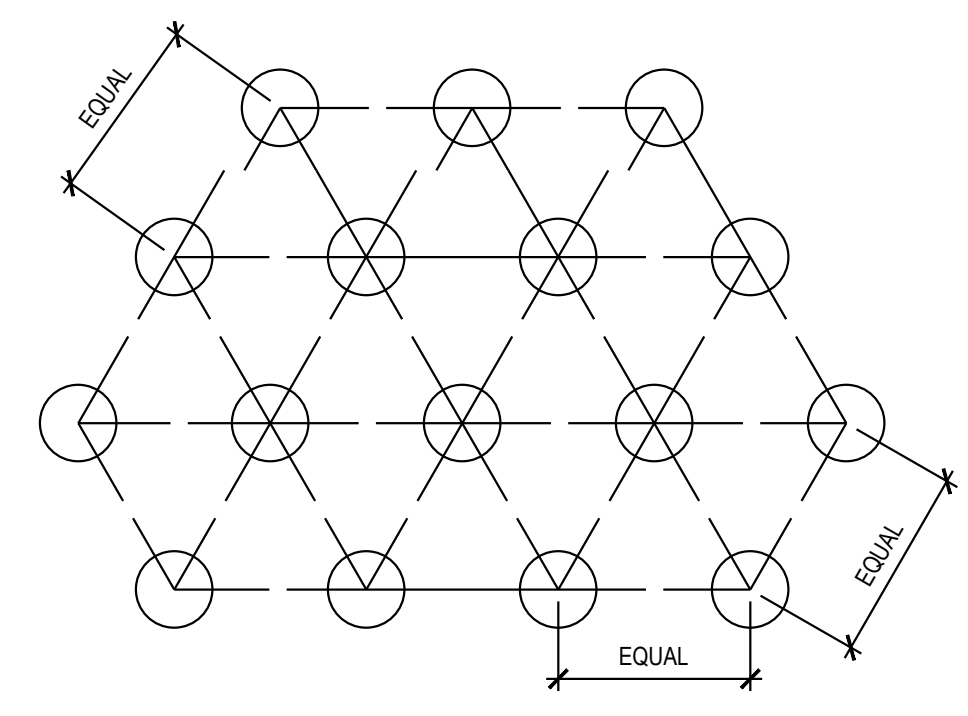
1 DECIDUOUS TREE STAKING

N.T.S.



2 EVERGREEN TREE STAKING

N.T.S.



ALL GROUND COVER SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING PER ON CENTER SPACING AS SPECIFIED ON PLANTING PLAN.
LOCATE GROUND COVER ONE HALF OF SPECIFIED SPACING DISTANCE FROM ANY CURB, SIDEWALK, OR OTHER HARD SURFACE, UNLESS OTHERWISE NOTED.

3 GROUND COVER SPACING

N.T.S.

GENERAL NOTES: LANDSCAPE PLAN

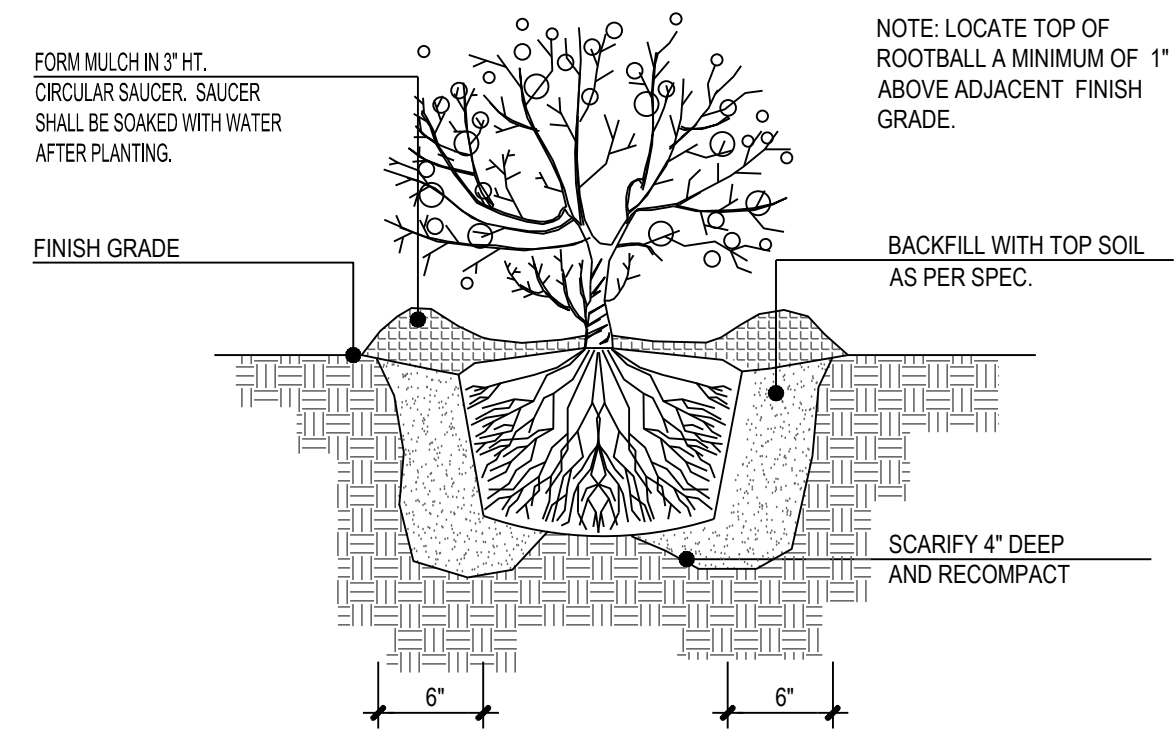
- CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY LOCATE SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- REFER TO SITE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWING AS NEEDED.
- REESTABLISH EXISTING TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING, INCLUDING AREAS IN RIGHT-OF-WAY, TO MATCH EXISTING SPECIES.
- CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEIOUS MATERIAL OR DEBRIS.
- REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER AS NEEDED.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS, IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GREATER QUANTITY SHALL GOVERN.
- COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014). THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL PLANTS THAT DO NOT MEET THE SIZE AND SPECIFICATIONS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK WILL BE REJECTED BY LANDSCAPE ARCHITECT AT NO COST TO OWNER.
- ONCE PROJECT IS AWARDED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PLANT MATERIAL IN THE SIZE SPECIFIED ON PLAN PRIOR TO INSTALLATION. IN THE EVENT THE PLANT MATERIAL IS NOT AVAILABLE IN THE SIZE SPECIFIED, THE CONTRACTOR SHALL INSTALL LARGER AT NO COST TO OWNER.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AND REPLACED BY CONTRACTOR AT NO COST TO THE OWNER.
- PRIOR TO MOBILIZATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, IN WRITING, IF HE/SHE BELIEVES ANY OF THE PLANT MATERIAL IDENTIFIED ON THE PLAN MAY NOT BE SUITABLE FOR THE SITE OR MAY DIE. SUBSTITUTION REQUESTS WILL BE GRANTED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IF NOTIFICATION IS NOT GIVEN TO THE LANDSCAPE ARCHITECT ALL PLANTING WHICH FAILS TO GROW (EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE AS DETERMINED BY THE OWNER, NEGLIGENCE, OR VANDALISM) SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY LANDSCAPE ARCHITECT TO ADJUST TREE LOCATIONS.
- ALL PLANT MASSES TO BE TOP DRESSED WITH MULCH AS SPECIFIED IN PLANT SCHEDULE, SPREAD UNIFORMLY IN DEPTH OVER THE PLANTING BEDS AS DELINEATED ON THE PLANS UNLESS OTHERWISE NOTED.
- BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
- ALL PLANTS SHALL BE GUARANTEED FOR 1 YEAR AFTER SUBSTANTIAL COMPLETION OCCURS AND FINAL ACCEPTANCE BY OWNER.
- LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN ACCEPTANCE FROM THE OWNER AND LANDSCAPE ARCHITECT. MAINTAIN TREES, SHRUBS, LAWNS, AND OTHER PLANTS AS PER THE PROJECT MANUAL AND/OR WRITTEN SPECIFICATIONS, IF APPLICABLE. LANDSCAPE MAINTENANCE IS THE LANDSCAPING CONTRACTORS RESPONSIBILITY UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING STANDARDS.
- REFER TO PROJECT MANUAL OR WRITTEN SPECIFICATIONS, IF AVAILABLE, FOR ADDITIONAL REQUIREMENTS.

SOIL PLANTING MIXTURE (MIX ONSITE)

- THE LANDSCAPE CONTRACTOR SHALL FURNISH FROM THEIR SOURCE A GOOD CLEAN, NATIVE SOIL WHICH SHALL MEET THE APPROVAL OF THE OWNER'S REPRESENTATIVE. THIS SOIL SHALL BE USED FOR THE PLANTING MIXTURE AS FOLLOWS:
 - ONE PART COMPOST/MANURE PLANTING MIX, TOPSOIL OR APPROVED EQUAL
 - ONE PART NATIVE SOIL
- SOILS WITHIN PLANTING AREAS MUST BE SUITABLE FOR PROPOSED PLANTED MATERIAL & SOD WITH REGARD TO: pH, SOIL TEXTURE, SOIL STRUCTURE, AND SEASONAL HIGH WATER TABLE. THE CONTRACTOR SHALL ANALYZE EXISTING SOILS LOCATED IN PROXIMITY TO PROPOSED PLANT MATERIAL AND BE RESPONSIBLE TO AMEND THE SOIL TO OBTAIN ESSENTIAL REQUIREMENTS NECESSARY FOR THE ESTABLISHMENT AND GROWTH OF PLANT LIFE. LANDSCAPE CONTRACTOR TO PROVIDE SOILS REPORT AND APPROPRIATE RECOMMENDATIONS PRIOR TO INSTALLATION TO OWNER'S REPRESENTATIVE FOR REVIEW. FAILURE TO PROVIDE REPORT MAY RESULT IN PLANT MATERIAL BEING REJECTED BY OWNER'S REPRESENTATIVE AND REPLACED AT NO COST TO OWNER.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO PLANTING, WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, POOR PLANTING SOIL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS.

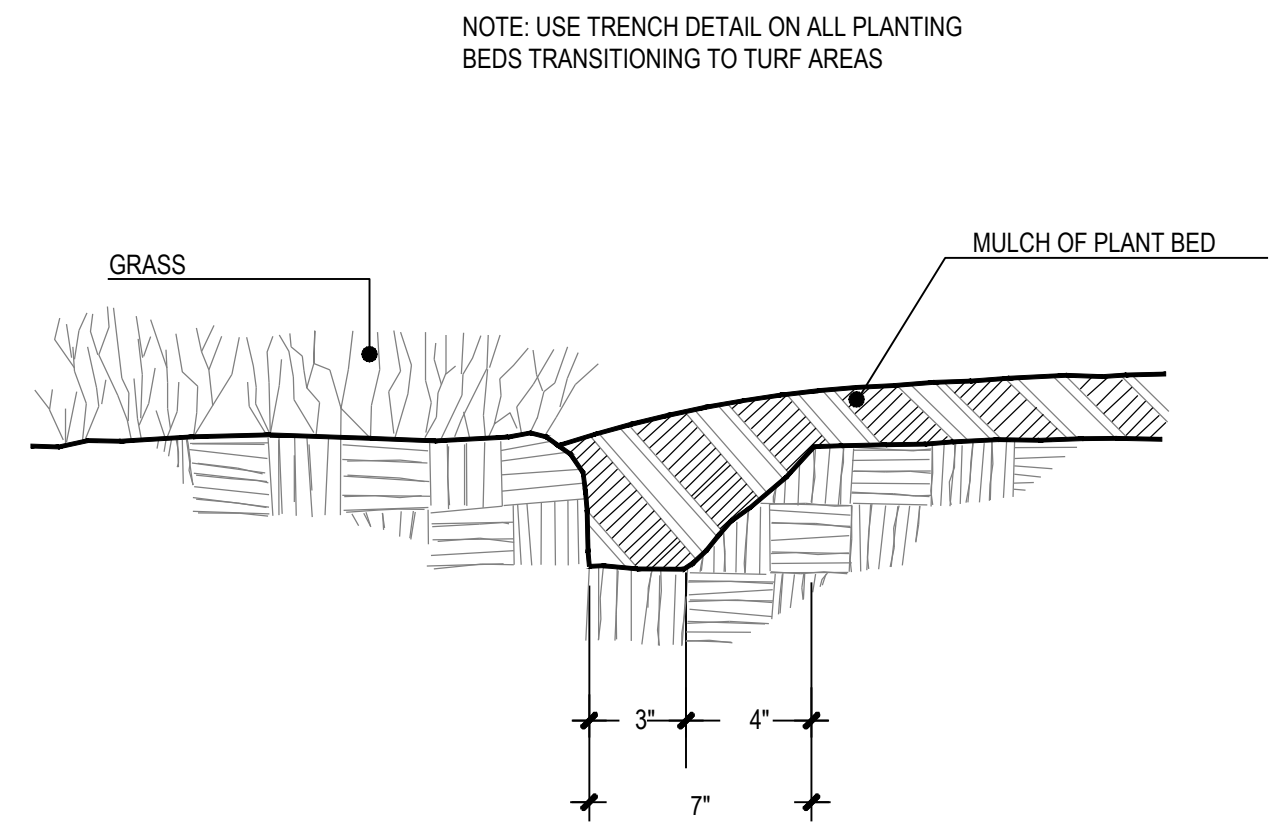
4 EVERGREEN / DECIDUOUS SHRUB

N.T.S.



5 TRENCH EDGING

N.T.S.



6 POCKET PLANTINGS SCHEDULE

N.T.S.

PLANT SIZE	# OF PLANTS PER CUBIC YARD OF SOIL
1 GAL.	75
3 GAL.	30
7 GAL.	10
15 GAL.	5
8\"/>	



02/26/2026

MERITAGE HOME

KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

© 2025 CESO, INC.
Project Number: 766740-01 / -02
Scale: AS SHOWN
Drawn By: RM
Checked By: CG
Date: 10/31/2025
Issue: NOT FOR CONSTRUCTION

Drawing Title:
LANDSCAPE PLAN

L2.0

Site Development Plan Checklist

Town of Rolesville Planning Department | PO Box 250 | Rolesville, NC 27571 | 919-554-6517 | planning@rolesvillenc.gov

Disclaimer: This checklist does not cover all codified requirements, but is intended to provide guidance based on best practices. Where applicable, requirements are referenced within the [Town of Rolesville Land Development Ordinance](#) and/or other State Ordinances.

For items marked “YES”, instead of a “Check”, please place the sheet number where the requirement is shown.

TO BE COMPLETED BY APPLICANT	YES	N/A
COVER SHEET		
1. Please confirm that you have the required items as shown on the corresponding example cover sheet.		
1. Project name (shall not duplicate an existing name)	C1.0	
2. Application reference number (request Pre-submittal or add placeholder SDP-YR-XX) on all sheets.		N/A
3. Date (original submittal and all revisions located in a table)	C1.0	
4. Address + Location (distinguish if within Town limits, Town ETJ, or Wake County)	C1.0	
5. Vicinity map with north arrow.	C1.0	
6. Sheet index, preferably with 1-X numbering along with typical Sheet identifiers (ie, C-5.00)	C1.0	
7. Overall development map (if part of larger project) with project area clearly identified		N/A
8. <u>Site Data Table</u> including: Property Identification Numbers (PIN) for all properties, Zoning District (inc. REZ#/approval date), Watershed, River Basin, Current Use(s), Proposed Use(s), Current Impervious, Proposed Impervious, Parking Data per use, Tree Coverage Data, Building Height, and Building Square Footage(s) and/or Multifamily residential unit #/density.	C1.0	
9. If located in a floodplain, provide the correct Flood Insurance Rate Map (FIRM) panel number and date		N/A
10. Contact information for the Property owner, applicant/representatives, and all consultants	C1.0	
11. Professional seal	C1.0	
12. Application reference numbers of previous approvals, including Rezoning, Final Plat, etc. Existing and Proposed Conditions related to the development (Special use permits, conditional zonings, etc.)		N/A
13. List any Conditions of Approval or Development Agreement stipulations that apply to property or project (ie, Conditional Rezoning, Special Use Permit, etc.)		N/A
EXISTING CONDITIONS AND/OR DEMOLITION PLAN SHEET(S) **RECENT SURVEY RECOMMENDED**		
1. Dimensions, scale, and north arrow	C2.0, C2.1	
2. Professional seal	C2.0, C2.1	
3. Site size, metes and bounds of property boundary, with north arrow, scale (in graphic and list format), and measurable graphic of larger site showing context of area of proposed change	C4.1, C4.2	
4. Property lines and Property Identification Number (PIN) of the site and adjacent properties		N/A
5. Zoning districts (of site and Adjacent properties to confirm buffer yard requirements)	C1.0	
6. Register of Deeds Book of Maps or Deed Book/Page reference for site and Adjacent properties		N/A
7. Adjacent property owner information	Kalas Falls Phase 2 Plans	N/A
8. Owner information for the parcel of the project location	C1.0	
9. Adjacent streets (name, right-of-way width, clarify if NCDOT or Town)	C4.1, C4.2	
10. Existing Land use (of site and adjacent properties)	Kalas Falls Phase 2 Plans	N/A
11. Any existing features located within the right-of-way	C2.0, C2.1	
12. Setbacks – LDO Section 3 per Zoning District	C1.0	
13. Existing building footprint(s) with square footage and number of stories	C4.1	

14. Existing infrastructure: loading areas, parking, driveways, alleys, streets, sidewalks, dumpsters, lighting, septic tanks, drain fields, wells, hydrants (within 500 feet of site), water meters, culverts (other subsurface features), utility or other easements (type, size, and whether public or private), railroads, cemeteries, etc.	C2.0,	C2.1	
15. Existing recorded open space or common areas (including easements) Kalas Falls Phase 2 Plans			N/A
16. Topographic contours shall extend 100' past property limits	C2.0,	C2.1	
17. Water features (name/location), stream buffers, drainage ways, wetlands, other environmental features	C2.0,	C2.1	
18. Existing vegetation (with general description and location)		C2.0,	C2.1
19. Demolition proposed (on this sheet or separate if existing conditions under demolition are illegible)		C2.0,	C2.1
20. Dimensions, scale, and north arrow		C2.0,	C2.1

SITE PLAN SHEET(S)

1. Scale and north arrow	C4.1,	C4.2	
2. Base information to remain (clearly distinguish between existing and proposed conditions)			
3. Address Plan approved by Wake Co. GIS/911 – if multiple non-residential suites / multifamily			C4N/AC4.2
4. Building Setback lines per the zoning district – LDO Section 3	C4.1	C4.2	
5. Flood protection zones (if applicable)	C4.1,	C4.2	
6. Building footprint(s) with square footage per floor and per use(s), height, number of stories, and entries		C4.1,	C4.2
7. Distances between buildings, as applicable per zoning district – LDO Section 3	C4.1,	C4.2	
8. Parking calculations (vehicle, handicapped, guests, and bicycle) – LDO Section 6.4		C1.0	

9. Driveways, stacking spaces, and parking areas (with number of spaces per bay, space size, and pavement type labeled) – LDO Section 6.4.4		C4.1	
10. Handicap aisles, spaces, signage, and accessible routes to the main entrance are labeled & dimensioned		C4.1	
11. Bicycle parking location (with rack details) – LDO Section 6.4.7			N/A
12. Sight distance triangles – LDO Section 9.2 (10' x70' on all Collector roads and NCDOT required driveway permits)			N/A
13. Sidewalks, walkways, and trails dimensioned, and material noted – LDO Section 9.2		C4.1	
14. ADA ramps are shown; directional crossings shall be provided at intersections		C4.1	
15. Trash handling and recycling facilities (with required screening and details) – LDO Section 6.2.4		C3.2,	C3.3
16. Show all fire lanes and access routes, as applicable		C4.1	
17. Utilities (existing and proposed) (above ground utilities to be screened, with details) – LDO Section 6.2.4 & 6.8.8		C6.0	
18. ROW and streets are labeled and dimensioned; Public vs. Private should be clearly defined – LDO Section 9.2		C4.1,	C4.2
19. Easements are labeled & dimensioned; Public vs. Private should be clearly defined – LDO Sec. 9.2.4		C2.0,	C2.1
20. Radii labeled for all intersections, or a typical label included		C4.1	
21. Tree protection fencing location with details and standard notes – LDO Section 6.2.4 & 6.2.5			N/A
22. Stream buffers, drainage ways, wetlands, wetland buffers w/ necessary setbacks – LDO Section 4.2.9		C2.0,	C2.1
23. Open space and Greenways (dedicated or reserved) and any proposed improvements within them – LDO Section 6.2.1			See phase 2 Kalas Plans
24. Landscape buffer locations and widths – LDO Section 6.2.2		L1.0	
25. Location of grass strip – LDO Section 6.2.2.2.D. D			N/A
26. Location of any proposed monument or ground signs – LDO Section 6.1.2		L1.0	
27. If a multi-tenant complex, clarify if a Master Sign Plan is intended – LDO Section 6.1.2.J		L1.0	
28. Other site features unique to the proposed use		L1.0	

EROSION CONTROL PLAN SHEET(S)

1. Scale and north arrow		C3.0,	C3.1
2. Limits of land disturbance		C3.0,	C3.1
3. Grading (contours at 2-foot intervals within 100 feet of developed area). Clearly distinguish between existing and proposed contours; Contours should be labeled regularly enough to follow drainage patterns.		C3.0,	C3.1
4. Impervious surfaces (label and provide calculations)		C4.1	
5. Existing vegetation (types and locations) – LDO Section 6.2.4.5		C2.0	
6. Retaining walls labeled with top/bottom of wall elevations (wall detail required for construction drawings)			N/A

7. Stormwater ponds, bioretention facilities, and other similar facilities. Please see Phase 2 Kalas Falls		N/A
8. Preliminary storm drainage features and easements	C5.0, C5.1	
9. Erosion control features defined by notes and/or a legend	C3.0 - C3.3	
10. Tree protection fencing location (reference detail location if on separate sheet)		N/A
11. Label critical root zones – LDO Section 6.2.4		N/A
12. The erosion control design shall meet Wake County standards. Please reference the Wake County Sediment and Erosion Control Construction Checklist	C3.4 - C3.6	
GRADING AND DRAINAGE PLAN SHEET(S)		
1. Scale and north arrow	C5.0, C5.1	
2. Grading (contours at 2-foot intervals); Clearly distinguish between existing and proposed contours; Contours should be labeled regularly enough to follow drainage patterns	C5.0, C5.1	C5.0, C5.1
3. Proposed infrastructure including streets, sidewalks, greenways, retaining walls (labeled with top and bottom elevations), ponds, storm sewer, and utilities	C5.0, C5.1	
4. Utility or other easements (type, size, and whether public or private); 20' PDE shall be required around the outfall from the ROW	C5.0, C5.1	
5. Existing vegetation (types and locations) – LDO Section 6.2.4.5	C2.0, C2.1	
UTILITY PLAN SHEET(S)		
1. All utilities (shown underground); Storm sewer should be clearly depicted separately from sewer and water – LDO Section 4.1.2	C6.0	
2. Dimensions, scale, and north arrow	C6.0	
3. Above-ground utilities and equipment (screened and with details) – LDO Section 6.2.4 and 9.2.6	C6.0	
4. Tree protection fencing location (reference detail location if on separate sheet)		N/A
5. Sewer and water design are to meet the City of Raleigh Public Utility standards	C6.0	
LIGHTING PLAN SHEET(S)		
A lighting plan is required per LDO Section 6.6.F. It shall be prepared, signed, and sealed by a licensed engineer. It shall be of an engineered scale that is easily legible and include the following:		N/A
1. Title of project	Lighting Plan Sheets handled with Phase 2 Kalas Falls Subdivision Plans	
2. Professional seal		
3. Dimensions, scale, and north arrow		
4. All proposed and existing buildings on the site		
5. Pedestrian and vehicular areas		
6. Other above-ground improvements		
7. The horizontal location of all proposed and existing outdoor lighting fixtures, including pole and wall-mounted fixtures		
8. Mounting heights of each fixture		
9. Overall height of each pole above grade		
10. Location of externally illuminated signs and associated fixtures		
11. The location of all architectural and landscape lighting fixtures		
12. Lighting plans shall be specified and calculated in maintained footcandles (FC). Measurements of light levels shall be taken at finished grade with an accurate and calibrated light meter – LDO 6.6.F.3		
13. The plan must include a footcandle plan that provides typical footcandle contours and a point photometric grid that indicates footcandle levels measured at grade across the site. Maximum, average, and minimum site foot-candles, uniformity ratio (both average and minimum), and depreciation factors are also required. The plan must show initial horizontal illuminance values in foot-candles for the illuminated area. These values must be calculated at the grade level and include contributions from all on-site fixtures.		
14. The plan must plot foot-candles of illumination at ground level to the nearest tenth of a foot-candle, and at horizontal grid intervals of no more than ten feet.		
15. The plan shall show illumination level at the lot line (or perimeter of a development, if applicable) to ensure maximum illumination levels are not exceeded.		
16. The manufacturer's cut sheets (specifications) for each proposed fixture must be submitted.		
17. A lighting fixture schedule that presents the following information: Fixture type, including the manufacturer's product identification catalog number and fixture mounting height.		
18. Any other information required to ensure compliance with LDO Section 6.6 lighting design standards		

LANDSCAPE PLAN SHEET(S)

Preservation plan (LDO 6.2.4.5) – This can also be on the landscape plan sheet, but Staff would suggest this be its own plan sheet as it must include all the following:	L1.0	L2.0
a. A tree and/or vegetative survey preferred to be prepared by a Certified Arborist (LDO Section 6.2.4.5B)		N/A
b. Demonstration of no disturbance within a Tree critical root zone (CRZ), as defined in LDO.		N/A
c. Protect critical root zones (CRZ) from encroachment and damage; restrict access by installing a barrier to keep materials, people, or equipment out of the critical root zone (CRZ).		N/A
d. Barriers shall be accompanied by temporary signs labeling the critical root zone (CRZ).		N/A
e. Graphically identify a location plan and boundary line survey of the property.	L1.0	L2.0
f. Graphically identify the size, location, and species of trees.	L1.0	L2.0
g. Graphically identify areas where trees, vegetation, and soils are to be protected and preserved and areas where trees, vegetation, and soil are to be removed or modified.	L1.0	L2.0
h. Graphically identify each tree to be saved or removed.		N/A
i. Demonstration of compliance with all Vegetation Preservation standards (LDO Sec. 6.8.4.5 C.)		N/A
j. Tree protection fencing location (reference detail location if on separate sheet)		N/A
A licensed Landscape Architect shall prepare a landscape plan. Refer to LDO Section 6.2.4.2 for a complete list of the Landscape Plan review requirements. The plan shall include the following:	L1.0	L2.0
1. Title of project	L1.0	L2.0
2. Dimensions, scale, and north arrow	L1.0	L2.0
3. Professional seal	L1.0	L2.0
4. All required open space, including the size of each area and which open space type - LDO 6.2	L1.0	L2.0
5. Indigenous or native vegetation to remain		N/A
6. Identify all LDO required landscaping	L1.0	L2.0
7. Vehicle use areas, including parking, aisles, and driveways	L1.0	L2.0
8. Roadways and access points	L1.0	L2.0
9. Plant spacing and native status	L1.0	L2.0
10. Overhead and underground utilities	L1.0	L2.0
11. Tree coverage calculations and areas, with samples, if applicable to the changes proposed	L1.0	L2.0
12. Existing vegetation to remain (with critical root zones shown) – LDO Article 6.2.4.5		N/A
13. Tree protection fencing location (reference detail location if on separate sheet)		N/A
14. Proposed landscaping (meeting minimum size and species mixing requirements	L1.0	L2.0
15. Detailed Plant list (keyed to plan and showing what requirement each plant will fulfill, caliper size and height of plants, condition of root ball, common name and botanical name, number of each plant)	L1.0	L2.0
16. Landscape buffers (labeled with slope, required width, required plantings, and required fencing, walls, or berms) - LDO Article 6.2.2	L1.0	L2.0
17. Stream buffers		N/A
18. Samples of existing vegetation in required buffers (with critical root zones) – LDO Article 6.2.4.5		N/A
19. Street trees (with calculations) per LDO Section 6.2.2.2	L1.0	L2.0
20. Screening (with height, details, cross-sections, etc.) – LDO Article 6.8.8	L1.0	L2.0
21. Lighting, water, sewer, storm drainage systems, and easements (half-toned) to check for conflicts	L1.0	
22. Planting details (for trees, shrubs, and groundcover)	L1.0	L2.0
23. Fences, walls, and/or berms (with height and details) – LDO Article 6.5	L1.0	L2.0

ARCHITECTURAL DRAWINGS

1. Compliance with Applicable Standards: Please refer to the specific standards that may apply to your project. Applicants are required to demonstrate compliance with the applicable standards as follows. Compliance means that all dimensions are measured and specified, and all materials are identified.		N/A
a. Nonresidential building design standards – LDO Article 6.8.2		
b. Multifamily design standards – LDO Article 6.8.6		
c. Industrial design standards – LDO Article 6.8.7		
2. Drawings must be to scale and have a graphic scale		
3. Building elevations with total building height and finish floor elevations labeled		

4. All building materials must be labeled			
5. Building façade width and width of materials on the façade shall be labeled			
WAKE COUNTY FIRE ADDITIONAL REQUIREMENTS (AS APPLICABLE)			
1. Fire Lanes are dimensioned and shown as being painted or striped per the Fire Code.	C4.1		
2. Any entrance gate shall have a means for emergency vehicle access and shall not decrease roadway width to below the required widths or height for emergency vehicles			N/A
NCDOT REQUIREMENTS (AS APPLICABLE if Property fronts on/connects to DOT road)			
1. Driveway and/or Encroachment Permit submitted; include Permit # if submitted:			N/A
2. Interior Stem is protected (100' minimum)			
3. Driveway radius ties into the tangent in front of the project's property			
4. Driveway turnout grades meet NCDOT standards			
5. Driveway is not in the Functional Area of the Intersection			
6. Above-ground utility appurtenances are placed as close to the ROW as possible			
7. All storm drainage crosses 90 degrees to the roadway			
8. All drainage structures are not under the pavement unnecessarily			
9. Catch basins shall be provided at the end of the curb and gutter; 5' is provided after a catch basin, before the end of the curb			
10. All hazards are outside of the clear recovery area or outside the proposed ROW Landscaping			
11. Turn lanes are required if AADT is over 4,000, and at the NCDOT District Engineer's discretion			
12. Turn lanes are required by the TIA; a copy of the TIA shall be provided			
13. Plans shall be approved by the Division Roadside Engineer, 919-816-8290			
14. Traffic Signal Plans shall be approved by the Division Traffic Engineer, 919-536-4000			
15. Wedging detail is provided when applicable			
16. All details for work with the ROW along DOT roadways are NCDOT details.			

Last Revised: June 13, 2025

February 26th, 2026

Town of Rolesville, NC
Planning Department
502 Southtown Circle
Rolesville, NC 27571
Attn: Planning Department

RE: Kalas Falls Amenity, 1600 Rolesville Road, Plan Review No. SDP-25-0002

Dear Planning Department:

We are in receipt of your plan review comment letter dated 2/4/26 for the above-referenced project, to which we provide the following responses. Your comments are reiterated below with corresponding responses for each. Please review these responses, along with revised drawings, at your earliest opportunity so Meritage Homes may obtain the permits necessary to begin construction.

Public Utilities

- 1) Based on the location of this WM (as shown), additional City of Raleigh Water Line Easement will need to be dedicated extending from the R/W, 1' on each side of the WM.
Response: There is a proposed 5'x5' utility easement encompassing the public side of the water service and meter. Please see sheet C6.0 for a blowup detail of the proposed water connection.

Planning

- 2) Please add address and Township.
Response: There is no address at this time. The cover sheet has been updated to include the township information, platting will be handled by others under separate cover.
- 3) Please add previous entitlements MA/ANX, etc. TY
Response: The amenity and open spaces for this project are located within the Phase 2 limits of the Kalas Falls subdivision. Phase 2 construction plans were approved under CD 21-03 on 3/25/2022. The CD # (CD 21-03) for Kalas Falls Phase 2 has been added to the cover sheet of the Amenity and Open Space plans.

A Rolesville permit link was also provided by Michael S. Elabarger, and for reference, the associated #'s for the master plan approvals are provided below.

A 16-04 (Approved 2016/10/03) - Voluntary Annexation for Wake County PINs 1767063228, 1767178299, and 1767185055 [which existed at the time of this application], totaling 144.2 acres. On 9/6/2016, the Town Board held a public hearing. On 10/3/2016, the Town Board voted unanimously to Approve the Annexation effective immediately, as conditioned. Ordinance A 16-04 was Recorded 05/10/2017 as Bk016777/pg00566-00569.

MA 16-03 (Approved 2016/10/03) - A Map Amendment (Rezoning) application for Wake County PINs 1767063228, 1767178299, and 1767185055 [which existed at the time of this application], totaling 144.2 acres, from R1/R-30 to R2-SUD (R2-special use). On 9/6/2016, the Town Board held a public hearing. On 10/3/2016, the Town Board voted unanimously to Approve the Map Amendment, along with a consistency statement (see minutes).

SUP 16-02 (Approved 2016/10/03) - A Special Use Permit for a Master Plan and preliminary subdivision for a 199-single family detached lot development on 144.2 acres (see A-16-04 & MA 16-03). On 9/6/2016, the Town Board held an Evidentiary Quasi-judicial hearing; the hearing was continued to the Board's 10/3/2016 meeting, at which the Board unanimously Approved SUP 16-02 as conditioned, with the revision of requiring the materials and equipment be stored inside containers and trailers, without requiring a perimeter fence.

The Evidentiary Hearing Findings of Fact and Conclusions of Law document was **Recorded** on 12/06/2016 as Bk016627/pg01544-01553.

- 1) Please add Open Space Table.
Response: Open space information has been added to the Cover Sheet under the Site Data heading. Please see sheet C1.0.

Civil Specific Comments

- 2) This label is indicating a truncated dome in the middle of the walk-please review and revise.
Response: The label has been moved to point at the truncated dome. Please see sheet C4.1.

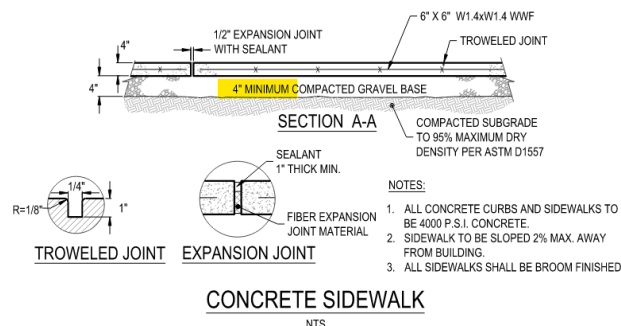
- 3) Note 24 is a proposed curb transition, but appears to be a stop bar. Please review all notes and labels and adjust accordingly.
Response: The label has been adjusted. Please see sheet C4.1.

- 4) Please add truncated domes to all ped ramps – this one appears to be missing a label and since the details don't indicate domes, it should be included here.
Response: Truncated domes have been added to the amenity site plan at two (2) locations, see Sheet C4.1. One location is at the ADA parking stalls, the other location is near the entrance to the amenity building.

- 5) Missing note / blank space. Please adjust accordingly.
Response: The note has been removed. Please see sheet C4.1.

- 6) This acreage does not match the stormwater report. Review and revise accordingly.
Response: The values have been confirmed and revised to match the stormwater report (impervious 1.22ac), Please see sheet C4.1.

- 7) Confirm aggregate base is to be a 4" for concrete walk; comment response said 6". If adjusted to 6", please adjust the concrete curb with sidewalk detail as well. If it truly is 4", just confirm.
Response: The base thickness for concrete walk is confirmed to be 4", see the detail on Sheet C7.0.



- 8) Please be aware of the types of plantings being placed over storm, sanitary and water pipes due to depths of pipes and root growth.
Response: Acknowledged. Plant material directly over utility lines will produce small, non-aggressive root systems that will not adversely impact the proposed storm system components.

We greatly appreciate your partnership through your prompt review of these responses and for working with us and Meritage Homes to make the Permit(s) available as soon as possible, so construction may begin on this project.

Should you have any further questions, please do not hesitate to contact me.

Respectfully,

Garrett George, P.E.
Senior Project Manager
Garrett.george@cesoinc.com
(321) 759-4889

WAKE COUNTY, NORTH CAROLINA

KALAS FALLS PHASE 2

AMENITY AND OPEN SPACE

SDP-25-0002

WAKE FOREST TOWNSHIP, KALAS FALLS, ROLESVILLE, WAKE COUNTY, NC 27587

KALAS FALLS PH2 CONSTRUCTION APPROVAL: CD 21-03 (APPROVED 3/25/2022)

OWNER/DEVELOPER:
 MERITAGE HOMES
 TRISTA KNUTH
 3300 PARAMOUNT PARKWAY, SUITE 120
 MORRISVILLE, NC 27560
 PHONE: (919) 926-2635
 EMAIL: TRISTAN.KNUTH@MERITAGEHOMES.COM

ENGINEER:
 CESO, INC.
 GARRETT GEORGE
 4601 PARK ROAD, SUITE 650
 CHARLOTTE, NC 28209
 PHONE: (937) 435-8584
 EMAIL: GARRETT.GEORGE@CESOINC.COM
 ENGINEER OF RECORD: JEFFREY A. TIBBITTS, P.E.

SURVEY PROVIDED BY:
 SURVEY INCLUDED IN KALAS FALLS
 PHASE 2 CONSTRUCTION PLANS

SUBDIVISION ENGINEER:
 AMERICAN ENGINEERING
 4020 WESTCHASE BOULEVARD, SUITE 450
 RALEIGH, NC 27607
 PHONE: (919) 469-1101
 KALAS FALLS PHASE 2 CONSTRUCTION PLANS DATED: 12/21/2020

CONTRACTOR TO VERIFY EXISTING
 CONDITIONS PRIOR TO BID AND
 CONSTRUCTION.

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE
 SURVEY PROVIDED FOR KALAS FALLS PHASE 2 CONSTRUCTION
 PLANS. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO
 BID AND CONSTRUCTION.

GOVERNING AGENCIES AND UTILITY COMPANIES:

SEWER:
 RALEIGH PUBLIC UTILITIES DEPT.
 222 W. HARGETT ST.
 RALEIGH, NC 27601
 PHONE: (919) 996-3245

GAS SERVICE:
 ENBRIDGE GAS NORTH CAROLINA
 2712 DISCOVERY DR
 RALEIGH, NC 27616
 PHONE: (877) 776-2427

WATER:
 RALEIGH PUBLIC UTILITIES DEPT.
 222 W. HARGETT ST.
 RALEIGH, NC 27601
 PHONE: (919) 996-3245

ELECTRIC:
 DUKE ENERGY CAROLINAS, LLC
 526 SOUTH CHURCH ST
 CHARLOTTE, NC 28202
 PHONE: (800) 777-9898

STORMWATER:
 ROLESVILLE PUBLIC WORKS DEPT.
 805 E. YOUNG STREET
 ROLESVILLE, NC 27571
 PHONE: (919) 556-6490

ZONING:
 ROLESVILLE PLANNING DEPT.
 211 S. MAIN STREET
 ROLESVILLE, NC 27571
 PHONE: (919) 554-6517

SITE DATA:
 PARCEL ADDRESS: 1600 & 1832 ROLESVILLE ROAD
 ROLESVILLE, NC

OWNER: MITCHELL MILL ROAD INVESTORS, LLC
 105 WESTON ESTATES WAY
 CARY, NC 27519

PIN NUMBER: 1767-17-8299, 1767-08-3228, 1768-00-2153, 1767-29-5866

ZONING: R-30

TOTAL ACREAGE: AMENITY AREA: 2.93 AC

OPEN QUANTITY:
 A. DOG PARK: TOTAL AREA: 0.94 AC
 B. OPEN SPACE: TOTAL AREA: 0.55 AC

COMMUNITY RECREATION FACILITY PARKING SPACES:

OUTDOOR ACTIVITY (1 PER 1000 SF)	AREA (SF)	SPACES
POOL AND POOL DECK	12,080	13
PLAYGROUND	1,070	2
BUILDING AREA (3 PER 1000 SF)	1,500	5

TOTAL REQUIRED: 20
TOTAL PROVIDED: 40

ADA PARKING SPACES:
PARKING REQUIRED: 2
PARKING PROVIDED: 2

TOTAL SITE PARKING SPACES PROVIDED: 42

BUILDING SETBACKS:	REQUIRED	PROPOSED
FRONT:	20'	122'
SIDE:	10'	20'
REAR:	20'	24'

- NOTES:**
- ALL PUBLIC WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL (1-800-632-4949) TO LOCATE EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE EXISTING UTILITIES AND NOTIFY THE PROJECT ENGINEER OF ANY CONFLICTS.

ATTENTION CONTRACTORS

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and schedule a Pre-construction meeting on the Development Portal prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a downstreet plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

Private Sewer Collection / Extension System

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
 Public Utilities Department Permit # _____

Public Water Distribution / Extension System

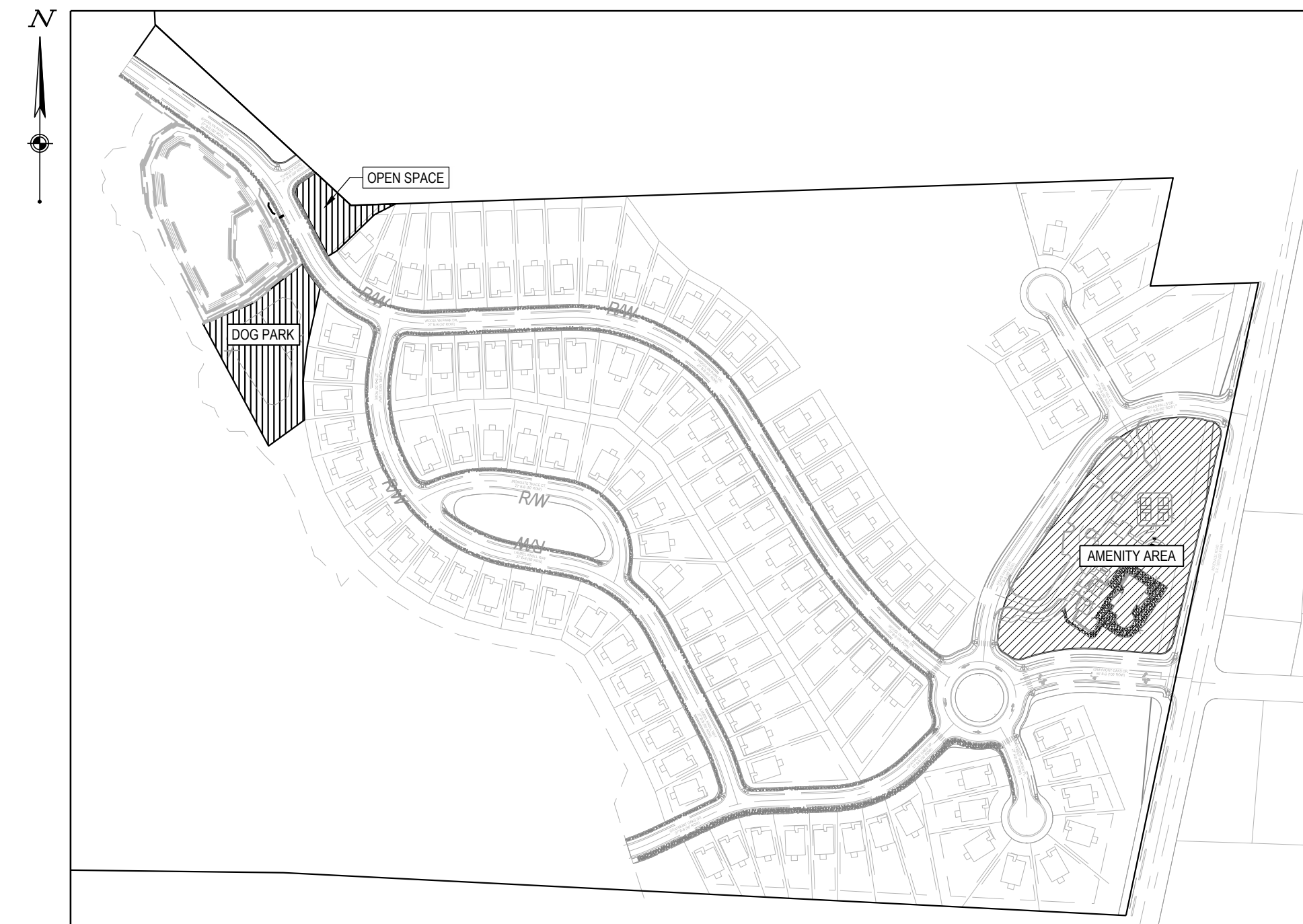
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
 Public Utilities Department Permit # _____

Public Sewer Collection / Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
 Public Utilities Department Permit # _____

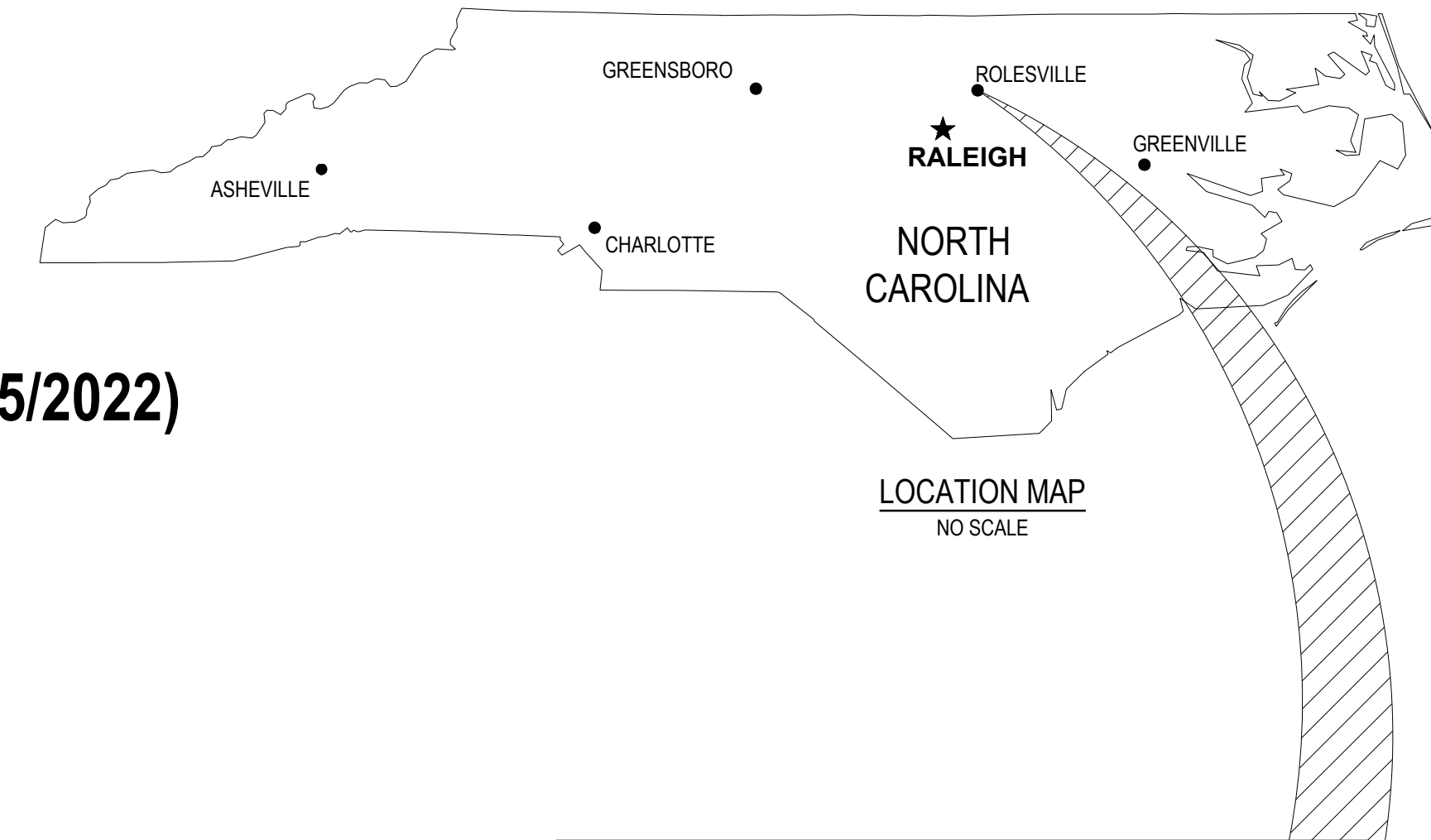


INDEX MAP
 SCALE: 1"=250'

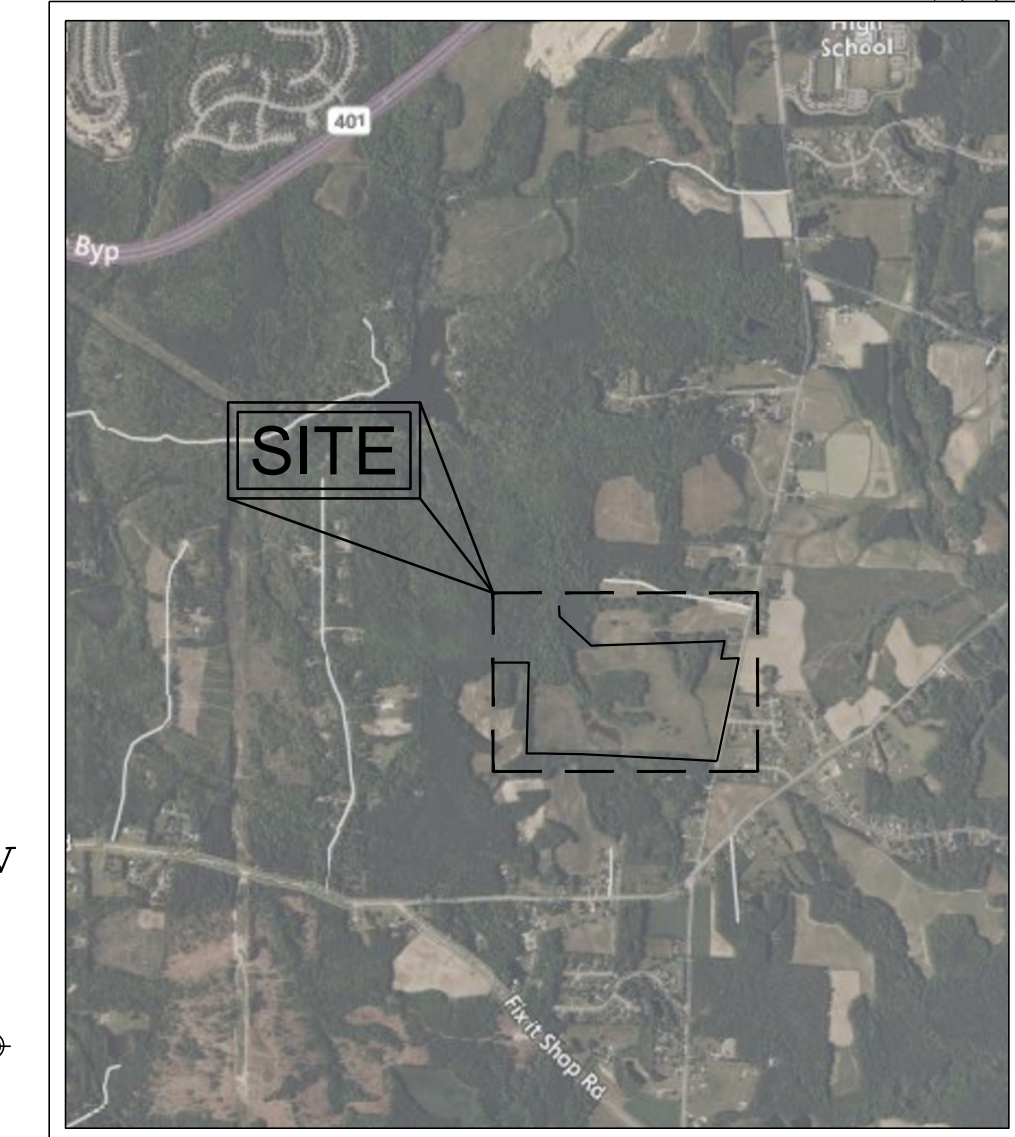
SHEET LIST TABLE	
SHEET NO.	SHEET TITLE
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C2.0	EXISTING CONDITIONS & DEMOLITION PLAN - AMENITY
C2.1	EXISTING CONDITIONS & DEMOLITION PLAN - OPEN SPACE
C3.0	EROSION & SEDIMENT CONTROL PHASE 1 - AMENITY
C3.1	EROSION & SEDIMENT CONTROL PHASE 1 - OPEN SPACE
C3.2	EROSION & SEDIMENT CONTROL PHASE 2 - AMENITY
C3.3	EROSION & SEDIMENT CONTROL PHASE 2 - OPEN SPACE
C3.4	EROSION CONTROL NOTES
C3.5	EROSION CONTROL NOTES
C3.6	EROSION CONTROL DETAILS
C4.0	OVERALL SITE PLAN
C4.1	SITE PLAN - AMENITY
C4.2	SITE PLAN - OPEN SPACE
C5.0	GRADING PLAN AMENITY AREA
C5.1	DRAINAGE PLAN AMENITY
C5.2	GRADING & DRAINAGE PLAN - OPEN SPACE
C6.0	UTILITY PLAN - AMENITY
C7.0	DETAILS PLAN
C7.1	DETAILS PLAN
C7.2	DETAILS PLAN

INFRASTRUCTURE INSPECTIONS QUANTITIES TABLE			
Phase Number(s)	PHASE 1	PHASE 2	PHASE 3
Number of Lot (s)			
Lot Number (s) by Phase			
Number of Units			
Liveable Buildings			
Open Space?			
Number of Open Space Lots			
Public Water* (LF)			
Private Water** (LF)			
Public Sewer (LF)			
Public Force Main (LF)			
Private Sewer** (LF)			
Public Street (LF) - FULL			
Public Street (LF) - PARTIAL			
Public Sidewalk (LF) - FULL			
Public Sidewalk (LF) - PARTIAL			
Multi-Use Path*** (LF)			
Public Stormdrain (LF)			
Street Signs (LF)			
Water Service Stubs			
Sewer Service Stubs			
Average Daily Flow per phase****			

* Water mains 4" and larger
 ** Sewer mains and manholes as part of a collection system
 *** 10 or 12 ft wide path in lieu of sidewalk or a Multi-Use path as part of a development amenity
 **** Entire Project Flow. Based on 75gpd per bedroom for residential (Apartments, single Family dwelling, townhouse, condos), or based on 15A NCAAC 02T.0114 Wastewater Design Flow Rates for Commercial and Industrial.



LOCATION MAP
 NO SCALE



VICINITY MAP
 NOT TO SCALE

APPROVED FOR COMPLIANCE

Case # SDP-25-0002 Project: _____

By: _____ Date: _____

These plans have been approved for compliance with the Town Code of Ordinance, UDO, and Standard Specifications & Construction Details, subject to statements & conditions hereby incorporated by reference.



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MAY HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



MERITAGE HOME

KALAS FALLS PHASE 2 AMENITY AND OPEN SPACE

1832 ROLESVILLE ROAD, WAKE COUNTY, NC

© 2025 CESO, INC.

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

Project Number: 766740-01 / -02
 Scale: AS SHOWN
 Drawn By: RM
 Checked By: CG
 Date: 10/31/2025
 Issue: NOT FOR CONSTRUCTION

Drawing Title:
COVER SHEET

C1.0

GENERAL NOTES

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. THE DEMOLITION, REMOVAL, AND DISPOSAL IS TO BE APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL FACILITIES SUCH AS: STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, WELLS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL AS SPECIFIED BY A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER. IF UNDOCUMENTED FACILITIES ARE FOUND ON SITE, CONTRACTOR SHALL CONTACT THE OWNER AND UTILITY COMPANY PRIOR TO REMOVAL. ALL FACILITIES SHALL BE PLUGGED, ABANDONED, OR REMOVED PER STATE AND LOCAL REQUIREMENTS.
- FEDERAL, STATE AND LOCAL CODE REQUIREMENTS SHALL GOVERN THE DISPOSAL OF DEBRIS INCLUDING ANY POTENTIALLY HAZARDOUS AND TOXIC MATERIALS. ALL MATERIALS AND STRUCTURES DESIGNATED AS "TO BE REMOVED" SHALL BE DISPOSED OF OFF SITE AND AT THE COST OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS AT ALL TIMES.
- PRIOR TO DEMOLITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL THE STATE 811 AND NOTIFY ALL UTILITY COMPANIES TO SCHEDULE UTILITY SERVICE REMOVAL AND/OR ABANDONMENT. ALL UTILITIES SHALL BE REMOVED/RELOCATED PER THE SPECIFICATIONS OF THE UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK.
- CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO INHABITED BUILDINGS ON SITE AND ADJACENT PROPERTIES AT ALL TIMES. INTERRUPTIONS SHALL BE APPROVED BY THE OWNERS OF THE BUILDINGS/PROPERTIES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. IF THE LOCATION OR ELEVATION OF THE EXISTING UTILITIES ARE FOUND TO BE DIFFERENT FROM THE PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES TO REMAIN INSIDE AND OUTSIDE CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGES AND NOTIFY THE CITY/COUNTY PRIOR TO CONSTRUCTION START. ANY EXISTING SITE FEATURE TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, CURB, ETC., SHALL BE REPAIRED TO A CONDITION THAT IS EQUAL TO, OR BETTER THAN, THE EXISTING CONDITIONS. PRIOR TO BEING DAMAGED, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- CONTINUOUS ACCESS SHALL BE MAINTAINED TO THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP UNAUTHORIZED PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
- PRIOR TO DEMOLITION, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PER THE GOVERNING AGENCIES GUIDELINES AND STANDARDS. DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SAWCUT LINE PROVIDED IS FOR REFERENCE ONLY. CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXTENT OF THE SAWCUT THAT WILL BE REQUIRED AS WELL AS PAVEMENT REPAIRS TO INSTALL UTILITY TRENCHING. IF ANY DAMAGE OCCURS ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THAT WHICH IS NECESSARY TO COMPLETE THE INTENT OF THE PROPOSED IMPROVEMENTS. SAWCUT EXISTING PAVEMENT TO FULL DEPTH, USING CARE TO CUT NEAT, STRAIGHT LINES. CUT AT EXISTING JOINTS WHERE POSSIBLE.
- THE CONTRACTOR SHALL MAINTAIN A WELL-DRAINED SITE, FREE OF STANDING WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DRAINAGE MEASURES DURING CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO STUDY THE PLANS AND VISIT THE SITE TO DETERMINE THE ITEMS THAT MUST BE REMOVED TO COMPLY WITH THE SITE DEVELOPMENT PLANS. NO EXTRA FEE WILL BE PAID FOR THE REMOVAL OF ANY ITEM NOT LISTED THAT IS VISIBLE UPON A SITE VISIT. THE DEMOLITION PLAN IS INTENDED TO PRESENT THE SCOPE OF THE DEMOLITION, AND DOES NOT GUARANTEE THAT ALL ITEMS ARE ADDRESSED.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
- THE CONTRACTOR SHALL CREATE AND IMPLEMENT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT. THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.
- ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.

SITE NOTES

- ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO COORDINATE ACCESS POINTS AND ELEVATIONS. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORS, ENTRY RAMP, AND CANOPY.
- ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ACCESSIBILITY STANDARDS SHALL BE IN ACCORDANCE WITH FEDERAL AND LOCAL REQUIREMENTS FOR HANDICAP ACCESSIBILITY, INCLUDING BUT NOT LIMITED TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES. ADA PARKING STALLS SHALL MEET ADA GRADE GUIDELINES. CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AT ACCESS POINTS, ACCESSIBLE ROUTES, AND EXISTING PARKING TO REMAIN TO DETERMINE COMPLIANCE WITH STANDARDS.
- ALL ADA ACCESSIBLE ROUTES, WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE "PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES" AND ANY APPLICABLE LOCAL OR STATE REQUIREMENTS. THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- ALL ADA ACCESSIBLE ROUTES, INCLUDING SIGNAGE AND STRIPPING WITHIN THE PROJECT LIMITS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE "ADA STANDARDS FOR ACCESSIBLE DESIGN" AND ANY LOCAL OR STATE REQUIREMENTS. THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF THE CURB OR EDGE OF PAVEMENT, AS APPLICABLE, UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 5 FEET UNLESS OTHERWISE NOTED.
- PROVIDE SIGNAGE AND STRIPING AS SHOWN. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH THE GOVERNING MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). PAVEMENT MARKINGS ON ASPHALT SHALL BE WHITE. PAVEMENT MARKINGS ON CONCRETE SHALL BE YELLOW.
- REFER TO ARCHITECTURAL PLANS BY FOR PROPOSED BUILDING SIGNAGE.
- REFER TO MECHANICAL PLANS FOR EQUIPMENT LAYOUT.
- REFER TO ELECTRICAL PLANS FOR ELECTRICAL WORK.
- REFER TO GEOTECHNICAL ENGINEERING REPORT REFERENCED IN THE PLANS FOR THE RESIDENTIAL DEVELOPMENT - KALAS FALLS PHASE 2
- REFER TO ORIGINAL SURVEY PROVIDED BY AMERICAN ENGINEERING.
- ALL LIGHT POLES TO BE LOCATED 3' FROM THE BACK OF CURB, AS MEASURED FROM THE FACE OF POLE FOUNDATION, UNLESS OTHERWISE DENOTED ON PLANS.

GRADING NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
 - THE TOPOGRAPHIC SURVEY WAS PERFORMED BY A REGISTERED LAND SURVEYOR. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
 - GRADING AND TOPOGRAPHY IN THESE PLANS BASED FILES RECEIVED FROM AMERICAN ENGINEERING ON 09/09/2025
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - EXISTING AND PROPOSED GRADE CONTOUR INTERVALS ARE SHOWN AT 1 FOOT INTERVALS.
 - ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
 - ALL ADA ACCESSIBLE PARKING SPACES AND LOADING AREAS SHALL BE GRADED WITH A 2.0% MAXIMUM SLOPE IN ALL DIRECTIONS. ALL ADA ACCESSIBLE ROUTES SHALL BE GRADED WITH A 2.0% MAXIMUM CROSS SLOPE AND 5.0% MAXIMUM RUNNING SLOPE.
 - MAINTAIN EXISTING DRAINAGE PATTERN THROUGHOUT THE SITE, EXCEPT WITHIN THE LIMITS OF DISTURBANCE (LOD).
 - COORDINATE GRADES AT BUILDING ENTRIES WITH ARCHITECTURAL PLANS.
 - EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED TO REMOVE ALL SILT AND DEBRIS AFTER CONSTRUCTION IS COMPLETE.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO A CONDITION EQUAL TO OR BETTER THAN ITS CONDITION PRIOR TO DAMAGE.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND WITHIN PAVED AREAS.
 - ALL TOPSOIL MUST BE REMOVED BEFORE FILL MATERIAL IS PLACED.
 - ALL WET, OR OTHERWISE UNSUITABLE SOILS MUST BE STABILIZED. THIS MAY BE ACCOMPLISHED BY DRYING, REMOVAL & REPLACEMENT, REMOVAL & DRYING & RECOMPACTION, OR SOIL TREATMENT (LIME/CEMENT) UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER.
 - ALL UNSURFACED AREAS, DISTURBED BY GRADING, OPERATION SHALL RECEIVE 6" OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES GREATER THAN 3H:1V AND SEED WITH LOW MAINTENANCE GRASS SEED MIX. CONTRACTOR SHALL SEED DISTURBED AREAS IN ACCORDANCE WITH SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. ALL EXPOSED SURFACE AREAS SHALL BE STABILIZED PER THE SWPPP AND LANDSCAPE REQUIREMENTS AS PART OF THIS PLAN SET.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS SOIL TIGHT.
 - ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM Poured MORTAR INVERT FROM INVERT IN TO INVERT OUT.
 - STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
- | MATERIAL | TYPE | PIPE SPEC | JOINT SPEC | INSTALLATION | ACCEPTABLE AREAS OF USE |
|-----------------------------------|---|----------------------|------------|--------------|--------------------------|
| HIGH DENSITY POLY-ETHYLENE (HDPE) | SMOOTH-WALLED CORRUGATED ADS-N12 OR EQUAL | AASHTO M294 (TYPE S) | ASTM F477 | ASTM D2321 | ON SITE, 12" TO 60" DIA. |
| POLY VINYL CHLORIDE (PVC) | SDR 35 | ASTM D3034 | ASTM D3212 | ASTM D2321 | ON SITE, 4" TO 10" |
- ALL STORM SEWER STRUCTURE GRATES AND FRAMES WITHIN PAVEMENT SHALL BE HEAVY DUTY.
 - ALL STORM DRAINAGE SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL COUNTY AND DOT STANDARDS.
 - ALL DOWNSPOUT DRAIN LINES OR ROOF LEADERS SHALL HAVE A 1.0% MINIMUM SLOPE, UNLESS OTHERWISE NOTED. CONNECT ALL DOWNSPOUTS AND ROOF LEADERS TO THE STORM SEWER SYSTEM. REFER TO ARCHITECTURAL PLANS FOR DOWNSPOUT AND ROOF LEADER LOCATIONS. PROVIDE POSITIVE DRAINAGE AND PAVEMENT REPAIR AS NEEDED.
 - ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
 - THE STORM SEWER GRADE WILL BE SUCH THAT A MINIMUM COVER IS MAINTAINED TO WITHSTAND AASHTO HS-25 LOADING ON THE PIPE. PROVIDE MINIMUM 2.0 FEET OF COVER FOR ALL STORM SEWERS UNLESS OTHERWISE NOTED.
 - WHEN A SANITARY SEWER MAIN LIES ABOVE A STORM SEWER, OR WITHIN 18 INCHES BELOW, THE SANITARY SEWER WILL HAVE AN IMPERVIOUS ENCASEMENT OR BE CONSTRUCTED OF STRUCTURAL SEWER PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF WHERE THE STORM SEWER CROSSES.
 - IF EXISTING FIELD TILES ARE ENCOUNTERED DURING CONSTRUCTION THEY SHALL BE REPAIRED AND/OR TIED INTO A STORM SEWER SYSTEM AS NEEDED TO MAINTAIN POSITIVE DRAINAGE.

REQUIRED WAKE COUNTY CONSTRUCTION SEQUENCE*

- SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE WATERSHED MANGER, JEEVAN NEUPANE, PE (919)819-8907. OBTAIN A LAND-DISTURBING PERMIT.
- INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
- CALL JEEVAN NEUPANE, PE (919)819-8907 FOR AN ONSITE INSPECTION BY THE WATERSHED MANAGER TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE.
- INSTALL STORM SEWER, IF SHOWN, AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS, SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL JEEVAN NEUPANE, PE (919)819-8907 FOR AN INSPECTION BY THE WATERSHED MANAGER.
- IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISIPATORS, SHOULD NOW BE INSTALLED.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE WATERSHED MANAGER, JEEVAN NEUPANE, PE (919)819-8907. OBTAIN A CERTIFICATE OF COMPLETION.

UTILITY NOTES

- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF O.S.H.A. DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR O.S.H.A.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- WATER AND SANITARY UTILITIES SHALL HAVE TEN (10') FEET OF HORIZONTAL CLEARANCE WHEN PARALLEL OR 18" VERTICAL CLEARANCE WHEN CROSSING. ALL CLEARANCE DISTANCES SHALL BE MEASURED FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER LINE JOINTS.
- IF A WATER LINE PASSES UNDER THE SANITARY SEWER LINE, THE SEWER LINE SHOULD BE CONSTRUCTED OF A WATERTIGHT MATERIAL APPROVED BY THE REGULATORY AGENCY FOR USE IN WATER MAIN CONSTRUCTION AND SHALL EXTEND TEN (10') FEET ON BOTH SIDES OF THE CROSSING. AS MEASURED PERPENDICULAR TO THE WATER LINES. ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE.
- UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
- UTILITY TRENCHES WITHIN PAVED AREAS TO BE BACKFILLED PER UTILITY TRENCH DETAIL PROVIDED WITHIN THE CONSTRUCTION DETAILS SHEET.
- ALL WATER LINE WORK SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH CONSTRUCTION STANDARDS AND STATE REGULATIONS.
- INSTALL ALL WATER LINES WITH A MINIMUM COVER OF 3-FT.
- ON-SITE WATER LINE MATERIAL SHALL BE AS FOLLOWS:

MATERIAL	PRESSURE RATING	PIPE SPEC	FITTINGS	INSTALLATION	ACCEPTABLE AREAS OF USE
POLY VINYL CHLORIDE (PVC)	AWWA C905 PRESSURE CLASS 150 (SCH40)	C-9000 (BLUE)	SOLVENT WELD JOINTS (ASTM 2672)	ASTM D1784/D1785	ON SITE, < 3" DIA.

- ON-SITE SANITARY SEWER LINE MATERIAL SHALL BE AS FOLLOWS:

MATERIAL	PRESSURE RATING	PIPE SPEC	FITTINGS	INSTALLATION	ACCEPTABLE AREAS OF USE
POLY VINYL CHLORIDE (PVC)	SDR 26	ASTM 3034	ASTM D3212	ASTM 2321 WITH TYPE 1 BEDDING	ON SITE, 6" TO 8" DIA., GREATER THAN OR EQUAL TO 8.5' OF COVER

- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- CLEAN OUTS AND CURB BOXES WITHIN THE PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.



CESO
 WWW.CESONC.COM
 CESO NC, Co.
 4601 Park Road, Suite 650
 Charlotte, NC 28209
 Phone: 937.435.8564



MERITAGE HOME

**KALAS FALLS PHASE 2
 AMENITY AND OPEN SPACE**
 1832 ROLESVILLE ROAD,
 WAKE COUNTY, NC

Revisions / Submissions

ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

© 2025 CESO, INC.

Project Number: 766740-01 / -02
 Scale: AS SHOWN
 Drawn By: RM
 Checked By: CG
 Date: 10/31/2025
 Issue: NOT FOR CONSTRUCTION

Drawing Title:

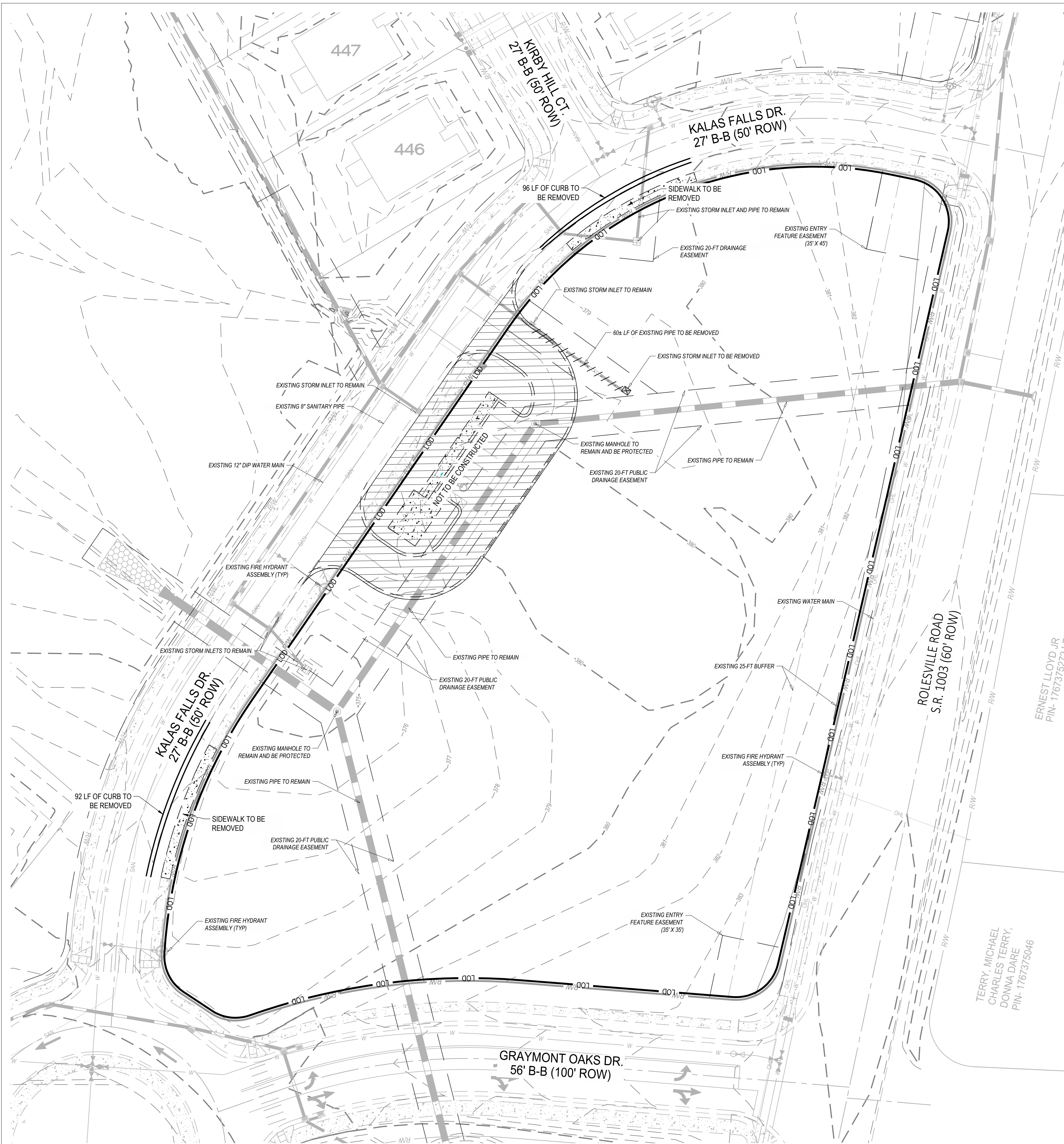
GENERAL NOTES

C1.1

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

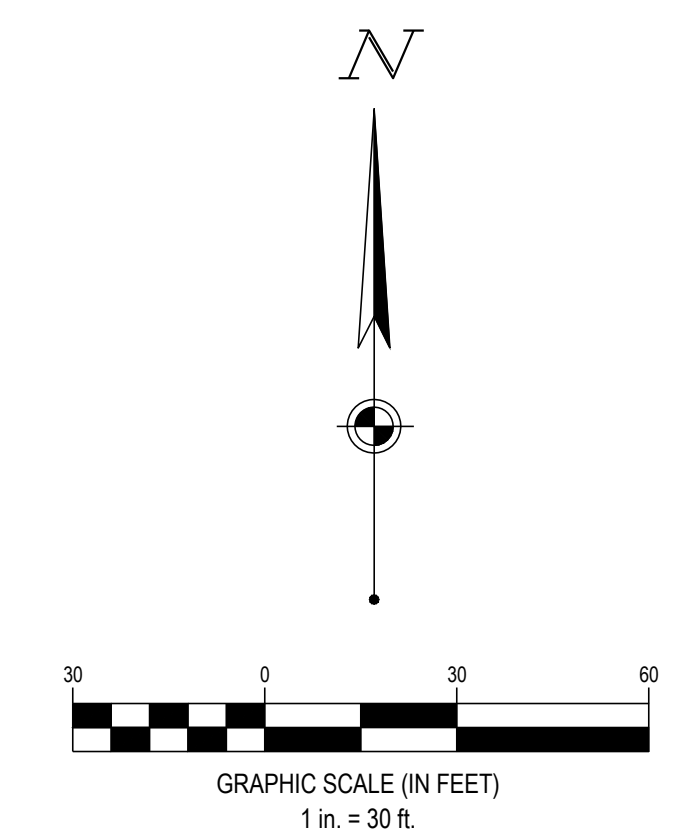


766740_C2.0 EXISTING CONDITIONS & DEMOLITION PLAN.dwg



EXISTING FEATURES LEGEND	
APPLIES TO ALL CIVIL SHEETS	
	RIGHT OF WAY
	PARCEL LINE
	EASEMENT
	CURB
	EDGE OF PAVEMENT
	EDGE OF WALK
	PAVEMENT MARKINGS
	WATER LINE
	UNDERGROUND ELECTRIC
	UNDERGROUND TELE
	OVERHEAD LINE
	STORM SEWER
	SANITARY SEWER
	MAJOR CONTOURS
	MINOR CONTOURS
	WATER METER
	WATER VALVE
	POWER/TELE POLE
	POWER POLE
	AIR CONDITIONER
	ELECTRIC BOX
	LIGHT POLE
	GAS VALVE
	GAS METER
	STORM CATCH BASIN
	STORM INLET BASIN
	STORM MANHOLE
	STORM CLEANOUT
	SANITARY MANHOLE
	SANITARY CLEANOUT
	TRAFFIC MANHOLE
	SIGN
	TELEPHONE POLE

DEMOLITION LEGEND	
PROPOSED	
	LIMITS OF DISTURBANCE
	STORM PIPE TO BE REMOVED
	NOT TO BE CONSTRUCTED



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



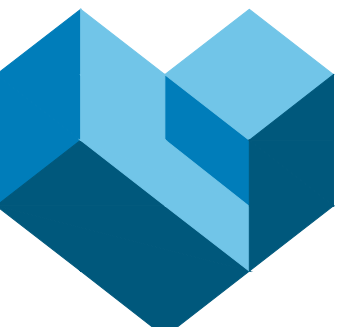
MERTAGE HOME
KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
 1832 ROLESVILLE ROAD,
 WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

© 2025 CESO, INC.
 Project Number: 766740-01 / -02
 Scale: AS SHOWN
 Drawn By: RM
 Checked By: CG
 Date: 10/31/2025
 Issue: NOT FOR CONSTRUCTION

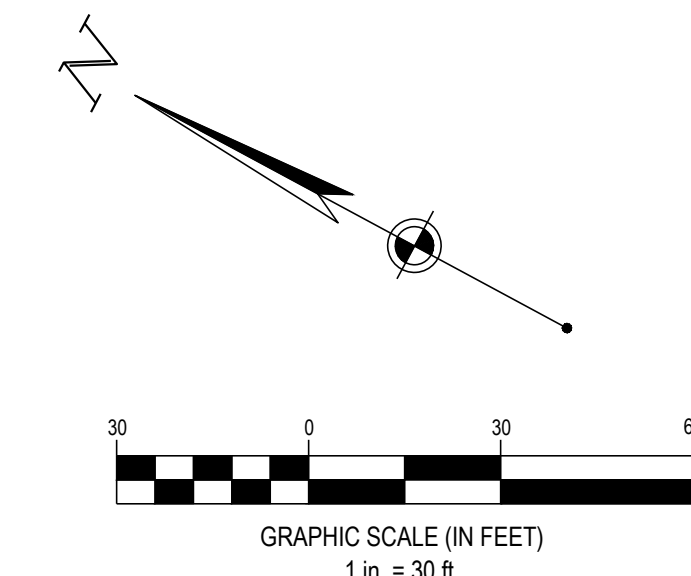
Drawing Title:
EXISTING CONDITIONS & DEMOLITION PLAN
AMENITY

C2.0



CESO
WWW.CESOINC.COM

CESO NC, Co.
4601 Park Road, Suite 650
Charlotte, NC 28209
Phone: 937.435.8564



MERITAGE HOME
KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

© 2025 CESO, INC.
 Project Number: 766740-01 / -02
 Scale: AS SHOWN
 Drawn By: RM
 Checked By: CG
 Date: 10/31/2025
 Issue: NOT FOR CONSTRUCTION

Drawing Title:
EXISTING CONDITIONS
& DEMOLITION PLAN
OPEN SPACE & DOG
PARK

C2.1

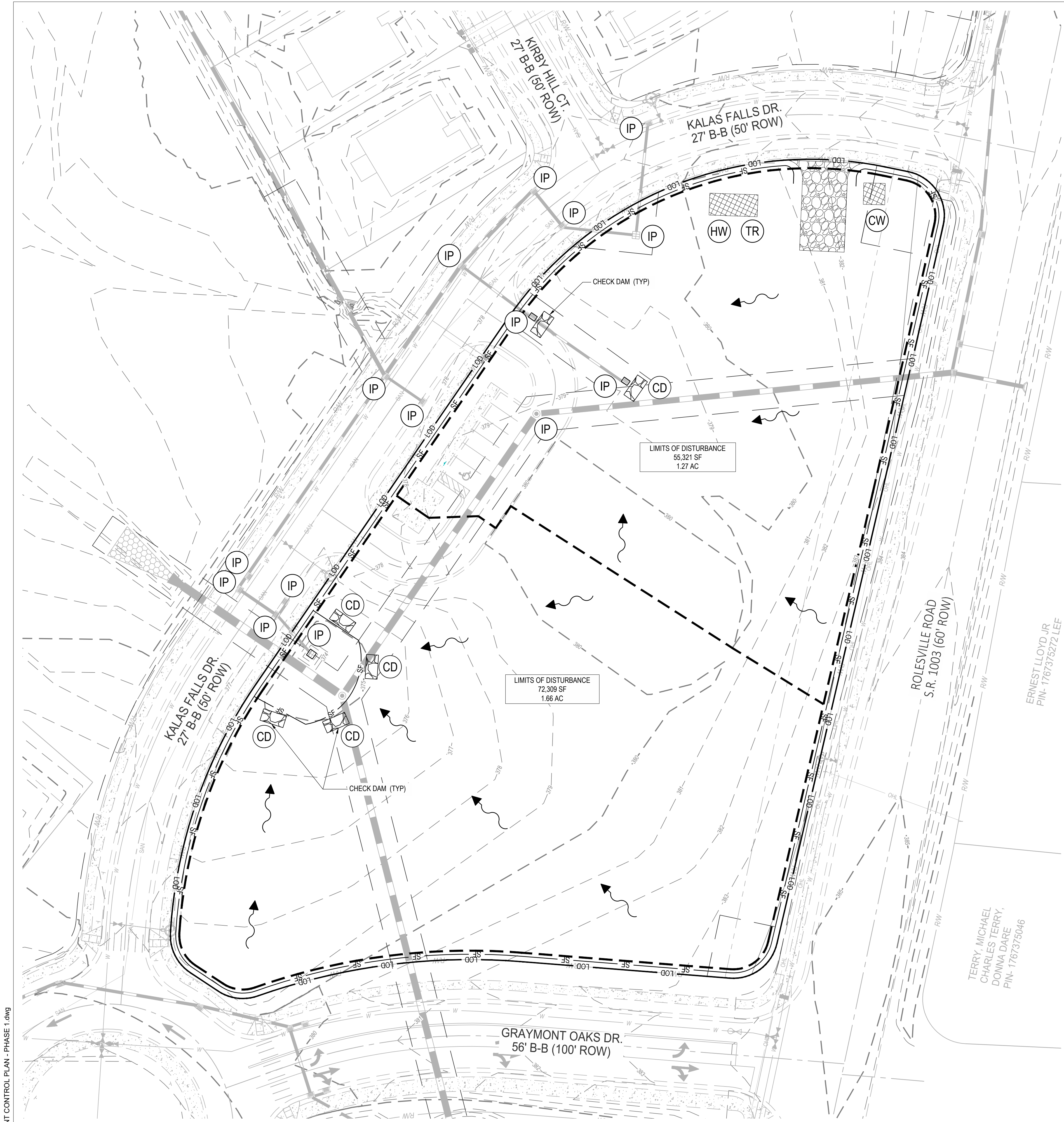
SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



EXISTING FEATURES LEGEND	
APPLIES TO ALL CIVIL SHEETS	
— RW —	RIGHT OF WAY
— — —	PARCEL LINE
— — — — —	EASEMENT
=====	CURB
—————	EDGE OF PAVEMENT
—————	EDGE OF WALK
—————	PAVEMENT MARKINGS
— W —	WATER LINE
— UGE —	UNDERGROUND ELECTRIC
— UGT —	UNDERGROUND TELE
— OHL —	OVERHEAD LINE
— STM —	STORM SEWER
— SAN —	SANITARY SEWER
— 100 —	MAJOR CONTOURS
— 102 —	MINOR CONTOURS
⊠	WATER METER
⊙	WATER VALVE
⊕	POWER/TELE POLE
⊖	POWER POLE
⊗	STORM CATCH BASIN
⊠	STORM INLET BASIN
⊙	STORM MANHOLE
⊖	STORM CLEANOUT

⊠	AIR CONDITIONER	⊙	SANITARY MANHOLE
⊠	ELECTRIC BOX	⊙	SANITARY CLEANOUT
⊕	LIGHT POLE	⊙	TRAFFIC MANHOLE
⊙	GAS VALVE	⊠	SIGN
⊠	GAS METER	⊖	TELEPHONE POLE

DEMOLITION LEGEND	
PROPOSED	
—————	LOD
—————	LIMITS OF DISTURBANCE



SWPPP LEGEND	
EXISTING	
REFER TO C2.0 FOR EXISTING FEATURES LEGEND	
PROPOSED	
	MAJOR CONTOUR
	MINOR CONTOUR
	PAVEMENT/WALK
	LIMIT OF DISTURBANCE
	SILT FENCE
	BASIN DELINEATION LINE
	STABILIZED CONSTRUCTION ENTRANCE
	STORAGE AREA
	STABILIZED CONSTRUCTION STORAGE AREA
	HAZARDOUS WASTE STORAGE AREA
	CONCRETE WASHOUT AREA
	INLET PROTECTION
	TRASH AREA
	CHECK DAM

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PROJECT NARRATIVE:

PLAN ENGINEERS: CESO, INC. 1000 LEGION PLACE SUITE 800 ORLANDO, FL 32801
 EMAIL: GARRETT.GEORGE@CESOINC.COM
 CONTACT: GARRETT GEORGE
 ENGINEER OF RECORD: JEFFREY A. TIBBITTS

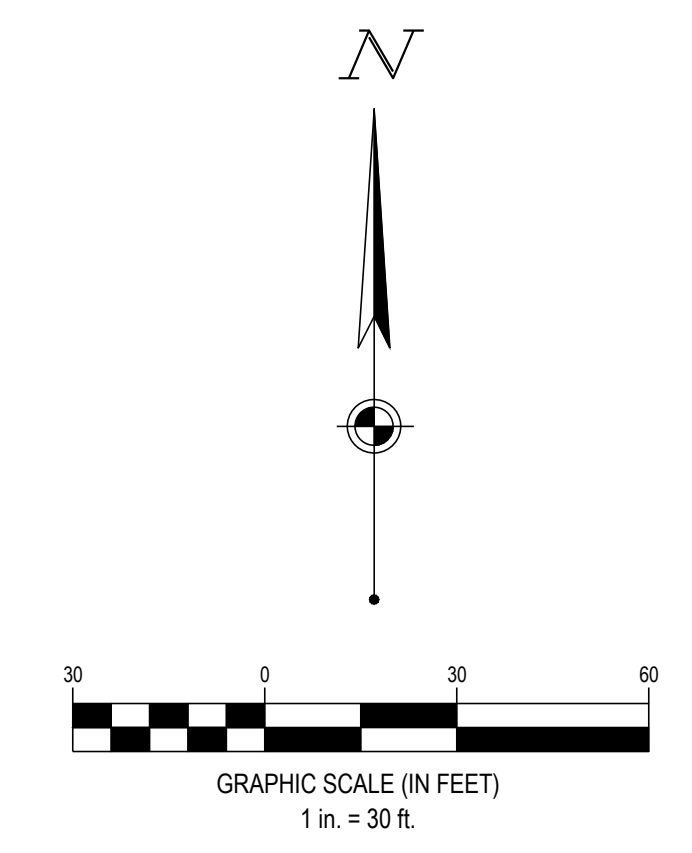
DEVELOPER: MERITAGE HOMES 3300 PARAMOUNT PARKWAY SUITE 120 MORRISVILLE, NC 27560
 PHONE: (919) 322-2289
 EMAIL: BILL.ROBINSON@MERITAGEHOMES.COM
 CONTACT: WILLIAM ROBINSON

THE PROPOSED PROJECT IS THE CONSTRUCTION OF AN AMENITY CENTER FOR KALAS FALLS SUBDIVISION. THE SUBJECT PARCEL IS 2.94+ ACRES.

SEQUENCE OF CONSTRUCTION

1. NOTIFY WAKE COUNTY ENGINEER BEFORE WORK IS TO BEGIN. SEE WAKE COUNTY NOTES ON SHEET C1.1
2. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING SILT FENCE, CONSTRUCTION EXIT, FILTER SACKS, CONCRETE WASHOUT, ETC.
3. SITE DEMOLITION AND CLEARING.
4. ROUGH GRADING. PROVIDE TEMPORARY SEEDING OF DISTURBED AREAS WHICH ARE INACTIVE.
5. STORM SEWER AND UNDERGROUND UTILITY CONSTRUCTION.
6. BUILDING PAD.
7. CURB CONSTRUCTION.
8. FINE GRADING AND PAVEMENT SUBGRADE PREPARATION
9. ASPHALT PAVING AND REMAINING CONCRETE FLATWORK.
10. FINAL SEEDING.

* CONTRACTOR SHALL MODIFY THE SEQUENCE OF CONSTRUCTION BASED ON SITE CONDITIONS. CONTRACTOR TO NOTIFY PROJECT MANAGER PRIOR TO CHANGING SEQUENCE OF CONSTRUCTION.



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



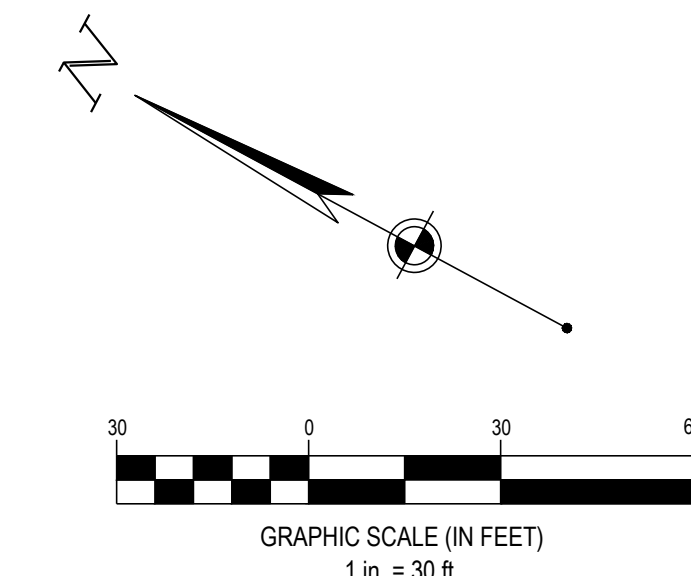
MERITAGE HOME
KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
 1832 ROLESVILLE ROAD,
 WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

Project Number: 766740-01 / -02
 Scale: AS SHOWN
 Drawn By: RM
 Checked By: CG
 Date: 10/31/2025
 Issue: NOT FOR CONSTRUCTION

Drawing Title:
EROSION & SEDIMENT CONTROL PHASE 1 AMENITY

C3.0



CESO
 WWW.CESOINC.COM
 CESO INC. Co.
 4601 Park Road, Suite 650
 Charlotte, NC 28209
 Phone: 937.435.8564



MERITAGE HOME
KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
 1832 ROLESVILLE ROAD,
 WAKE COUNTY, NC

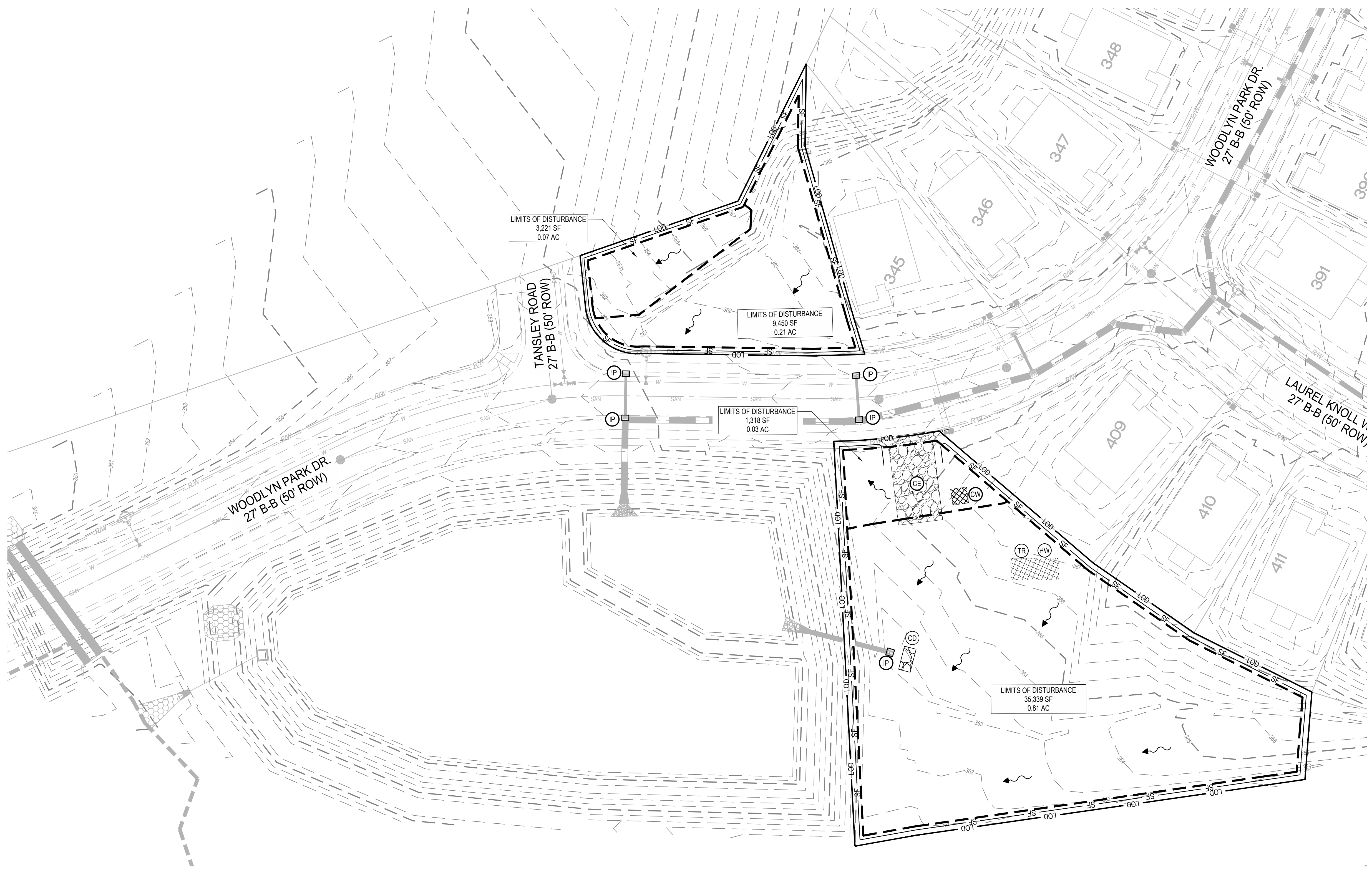
Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

Project Number: 766740-01 / -02
 Scale: AS SHOWN
 Drawn By: RM
 Checked By: CG
 Date: 10/31/2025
 Issue: NOT FOR CONSTRUCTION

Drawing Title:
EROSION & SEDIMENT CONTROL PHASE 1
OPEN SPACE & DOG PARK

C3.1

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PROJECT NARRATIVE:

PLAN ENGINEERS: CESO, INC. 1000 LEGION PLACE SUITE 600 ORLANDO, FL 32801
 CONTACT: GARRETT GEORGE@CESOINC.COM
 ENGINEER OF RECORD: JEFFREY A. TIBBITTS

DEVELOPER: MERITAGE HOMES 3300 PARAMOUNT PARKWAY SUITE 120 MORRISVILLE, NC 27560
 PHONE: (919) 322-2289
 CONTACT: GARRATT@MERITAGEHOMES.COM
 EMAIL: BILL.ROBINSON@MERITAGEHOMES.COM
 CONTACT: WILLIAM.ROBINSON

THE PROPOSED PROJECT IS THE CONSTRUCTION OF A DOG PARK AND OPEN SPACE FOR KALAS FALLS SUBDIVISION. THE SUBJECT PARCEL IS 1.41± ACRES.

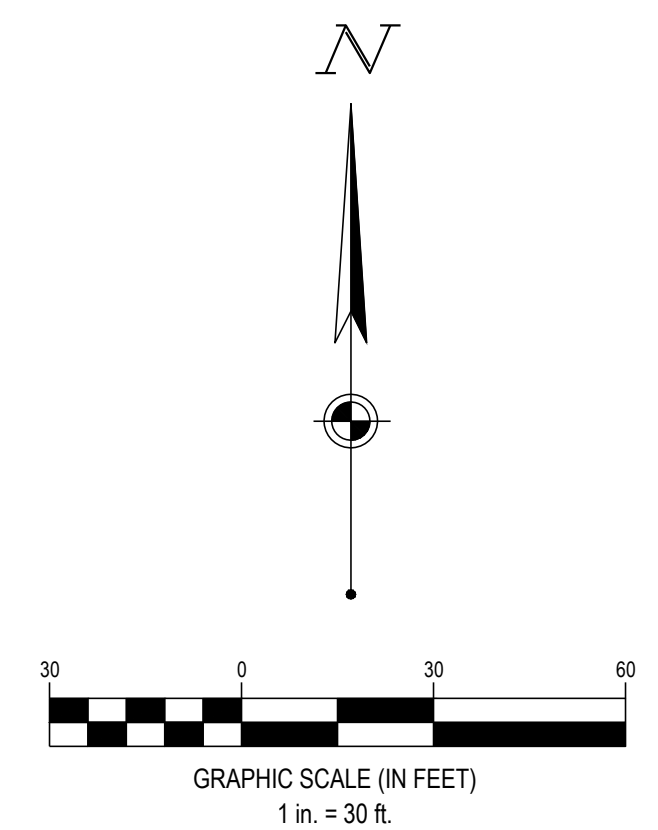
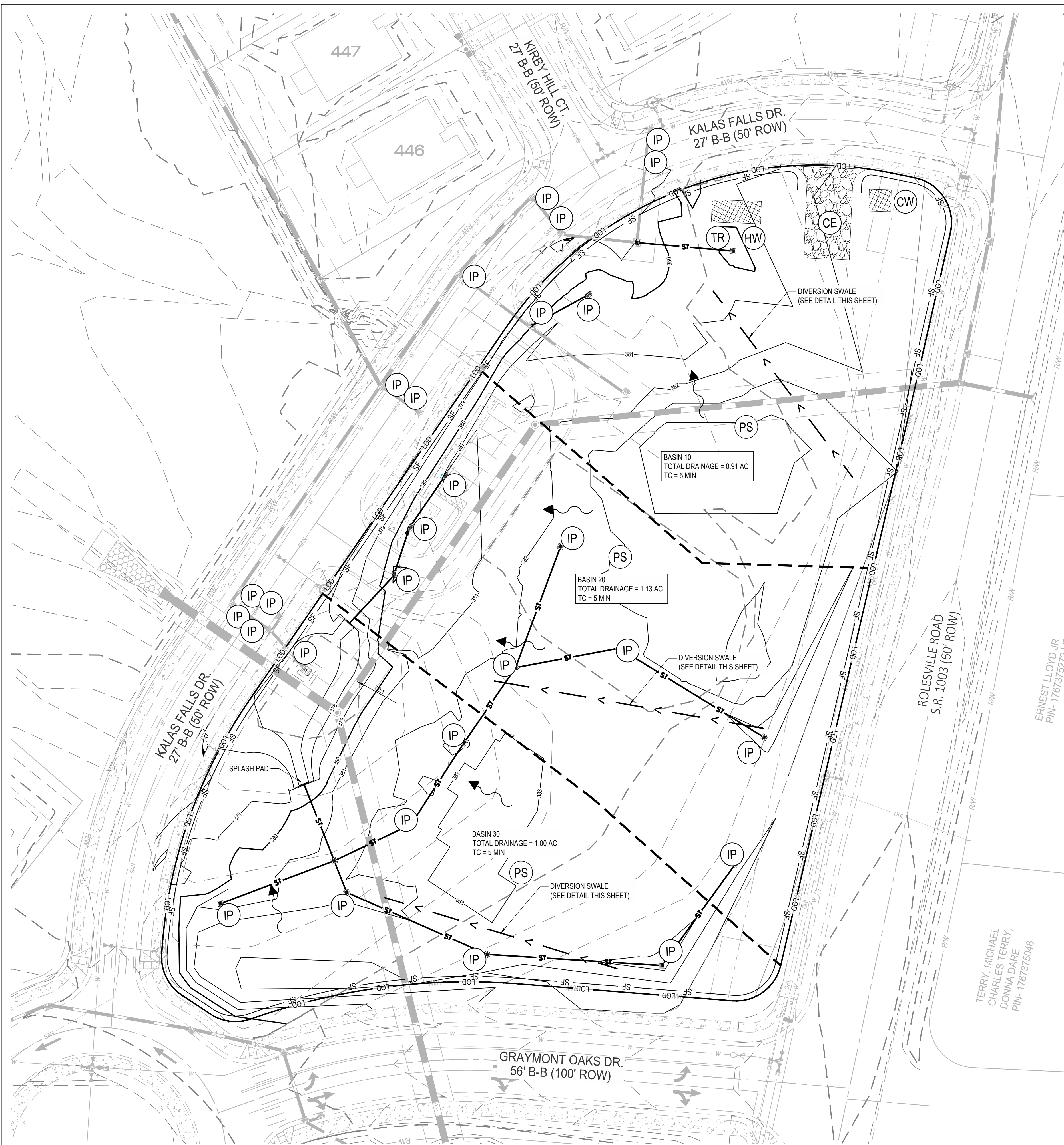
SEQUENCE OF CONSTRUCTION

1. NOTIFY WAKE COUNTY ENGINEER BEFORE WORK IS TO BEGIN. SEE WAKE COUNTY NOTES ON SHEET C1.1
2. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING SILT FENCE, CONSTRUCTION EXIT, FILTER SACKS, CONCRETE WASHOUT, ETC.
3. SITE DEMOLITION AND CLEARING.
4. ROUGH GRADING. PROVIDE TEMPORARY SEEDING OF DISTURBED AREAS WHICH ARE INACTIVE.
5. STORM SEWER AND UNDERGROUND UTILITY CONSTRUCTION.
6. BUILDING PAD.
7. CURB CONSTRUCTION.
8. FINE GRADING AND PAVEMENT SUBGRADE PREPARATION
9. ASPHALT PAVING AND REMAINING CONCRETE FLATWORK.
10. FINAL SEEDING.

* CONTRACTOR SHALL MODIFY THE SEQUENCE OF CONSTRUCTION BASED ON SITE CONDITIONS. CONTRACTOR TO NOTIFY PROJECT MANAGER PRIOR TO CHANGING SEQUENCE OF CONSTRUCTION.

SWPPP LEGEND	
EXISTING	
REFER TO C2.1 FOR EXISTING FEATURES LEGEND	
PROPOSED	
	MAJOR CONTOUR
	MINOR CONTOUR
	PAVEMENT/WALK
	LIMIT OF DISTURBANCE
	SILT FENCE
	BASIN DELINEATION LINE
	STABILIZED CONSTRUCTION ENTRANCE
	STORAGE AREA
	STABILIZED CONSTRUCTION ENTRANCE
	HAZARDOUS WASTE STORAGE AREA
	CONCRETE WASHOUT AREA
	INLET PROTECTION
	TRASH AREA
	CHECK DAM

766740_C3.1 OS EROSION & SEDIMENT CONTROL PLAN - PHASE 1.dwg



SWPPP LEGEND	
EXISTING	
REFER TO C2.0 FOR EXISTING FEATURES LEGEND	
PROPOSED	
	MAJOR CONTOUR
	MINOR CONTOUR
	PAVEMENT WALK
	LIMIT OF DISTURBANCE
	SILT FENCE
	BASIN DELINEATION LINE
	STABILIZED CONSTRUCTION ENTRANCE
	STORAGE AREA
	STABILIZED CONSTRUCTION ENTRANCE
	HAZARDOUS WASTE STORAGE AREA
	CONCRETE WASHOUT AREA
	INLET PROTECTION
	TRASH AREA
	CHECK DAM
	PERMANENT STABILIZATION

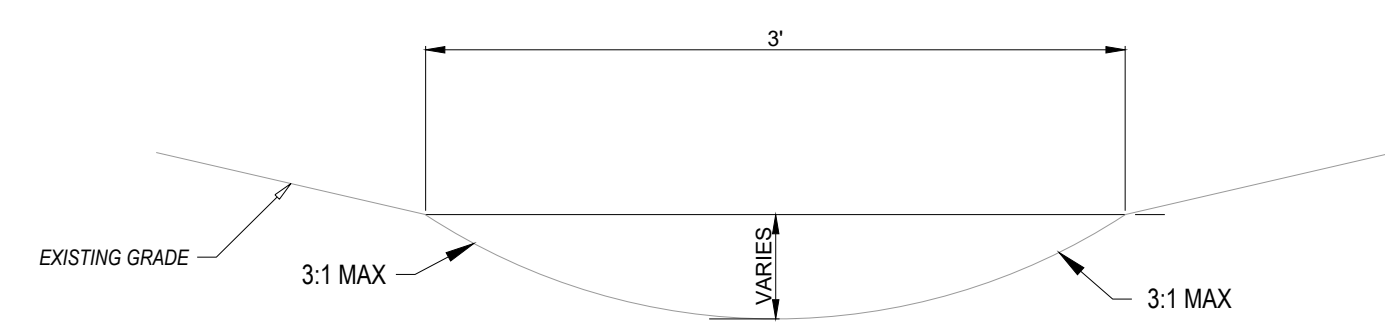
STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PROJECT NARRATIVE:

PLAN ENGINEERS: CESO, INC. 1000 LEGION PLACE SUITE 800 ORLANDO, FL 32801
 DEVELOPER: MERITAGE HOMES 3300 PARAMOUNT PARKWAY SUITE 120 MORRISVILLE, NC 27560
 EMAIL: GARRETT.GEORGE@CESOINC.COM PHONE: (919) 322-2289
 CONTACT: GARRETT GEORGE ENGINEER OF RECORD: JEFFREY A. TIBBITTS
 CONTACT: BILL.ROBINSON@MERITAGEHOMES.COM CONTACT: WILLIAM ROBINSON

THE PROPOSED PROJECT IS THE CONSTRUCTION OF AN AMENITY CENTER FOR KALAS FALLS SUBDIVISION. THE SUBJECT PARCEL IS 2.94 ACRES.

SEQUENCE OF CONSTRUCTION

1. NOTIFY WAKE COUNTY ENGINEER BEFORE WORK IS TO BEGIN. SEE WAKE COUNTY NOTES ON SHEET C1.1
 2. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING SILT FENCE, CONSTRUCTION EXIT, FILTER SACKS, CONCRETE WASHOUT, ETC.
 3. SITE DEMOLITION AND CLEARING.
 4. ROUGH GRADING. PROVIDE TEMPORARY SEEDING OF DISTURBED AREAS WHICH ARE INACTIVE.
 5. STORM SEWER AND UNDERGROUND UTILITY CONSTRUCTION.
 6. BUILDING PAD.
 7. CURB CONSTRUCTION.
 8. FINE GRADING AND PAVEMENT SUBGRADE PREPARATION
 9. ASPHALT PAVING AND REMAINING CONCRETE FLATWORK.
 10. FINAL SEEDING.
- * CONTRACTOR SHALL MODIFY THE SEQUENCE OF CONSTRUCTION BASED ON SITE CONDITIONS. CONTRACTOR TO NOTIFY PROJECT MANAGER PRIOR TO CHANGING SEQUENCE OF CONSTRUCTION.



DIVERSION SWALE



MERITAGE HOME
KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
 1832 ROLESVILLE ROAD,
 WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

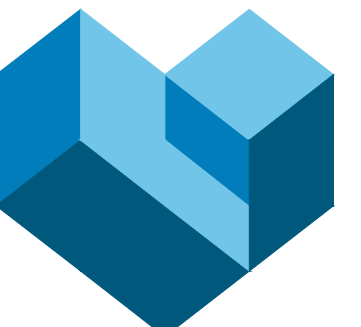
Project Number: 766740-01 / -02
 Scale: AS SHOWN
 Drawn By: RM
 Checked By: CG
 Date: 10/31/2025
 Issue: NOT FOR CONSTRUCTION

Drawing Title:
EROSION & SEDIMENT CONTROL PHASE 2 AMENITY

C3.2

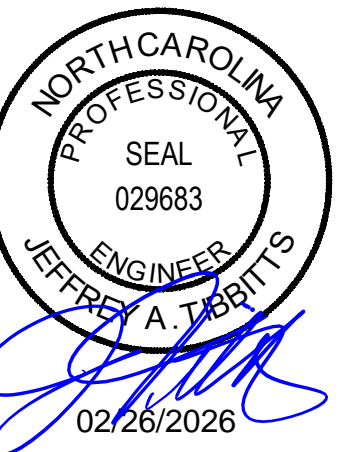
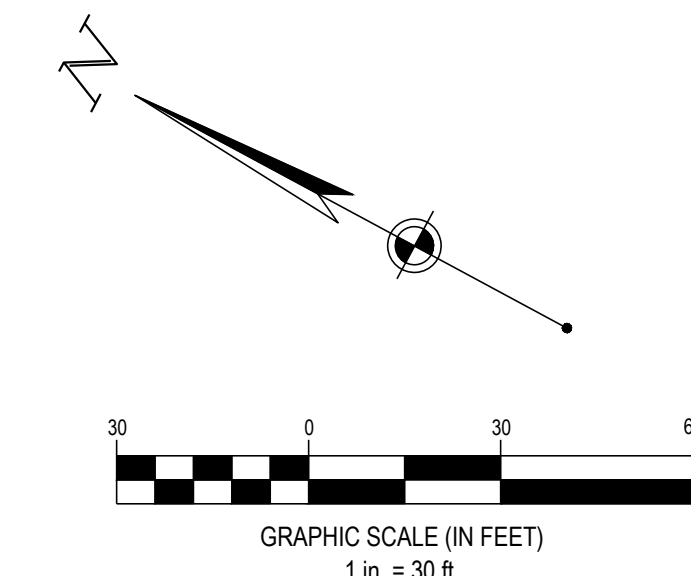
SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE





CESO
WWW.CESONC.COM

CESO NC, Co.
4601 Park Road, Suite 650
Charlotte, NC 28209
Phone: 937.435.8564



MERITAGE HOME
KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

Project Number: 766740-01 / -02
Scale: AS SHOWN
Drawn By: RM
Checked By: CG
Date: 10/31/2025
Issue: NOT FOR CONSTRUCTION

Drawing Title:
EROSION & SEDIMENT CONTROL PHASE 2
OPEN SPACE & DOG PARK

C3.3



STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PROJECT NARRATIVE:

PLAN ENGINEERS: CESO, INC. 1000 LEGION PLACE SUITE 800 ORLANDO, FL 32801
DEVELOPER: MERITAGE HOMES 3300 PARAMOUNT PARKWAY SUITE 120 MORRISVILLE, NC 27560
ENGINEER OF RECORD: JEFFREY A. TIBBITTS

THE PROPOSED PROJECT IS THE CONSTRUCTION OF A DOG PARK AND OPEN SPACE FOR KALAS FALLS SUBDIVISION. THE SUBJECT PARCEL IS 1.41± ACRES.

SEQUENCE OF CONSTRUCTION

1. NOTIFY WAKE COUNTY ENGINEER BEFORE WORK IS TO BEGIN. SEE WAKE COUNTY NOTES ON SHEET C1.1
2. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING SILT FENCE, CONSTRUCTION EXIT, FILTER SACKS, CONCRETE WASHOUT, ETC.
3. SITE DEMOLITION AND CLEARING.
4. ROUGH GRADING. PROVIDE TEMPORARY SEEDING OF DISTURBED AREAS WHICH ARE INACTIVE.
5. STORM SEWER AND UNDERGROUND UTILITY CONSTRUCTION.
6. BUILDING PAD.
7. CURB CONSTRUCTION.
8. FINE GRADING AND PAVEMENT SUBGRADE PREPARATION
9. ASPHALT PAVING AND REMAINING CONCRETE FLATWORK.
10. FINAL SEEDING.

* CONTRACTOR SHALL MODIFY THE SEQUENCE OF CONSTRUCTION BASED ON SITE CONDITIONS. CONTRACTOR TO NOTIFY PROJECT MANAGER PRIOR TO CHANGING SEQUENCE OF CONSTRUCTION.

SWPPP LEGEND	
EXISTING	
REFER TO C2.1 FOR EXISTING FEATURES LEGEND	
PROPOSED	
	MAJOR CONTOUR
	MINOR CONTOUR
	PAVEMENT/WALK
	LIMIT OF DISTURBANCE
	SILT FENCE
	BASIN DELINEATION LINE
	STABILIZED CONSTRUCTION ENTRANCE
	STORAGE AREA
	STABILIZED CONSTRUCTION ENTRANCE
	HAZARDOUS WASTE STORAGE AREA
	CONCRETE WASHOUT AREA
	INLET PROTECTION
	TRASH AREA



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

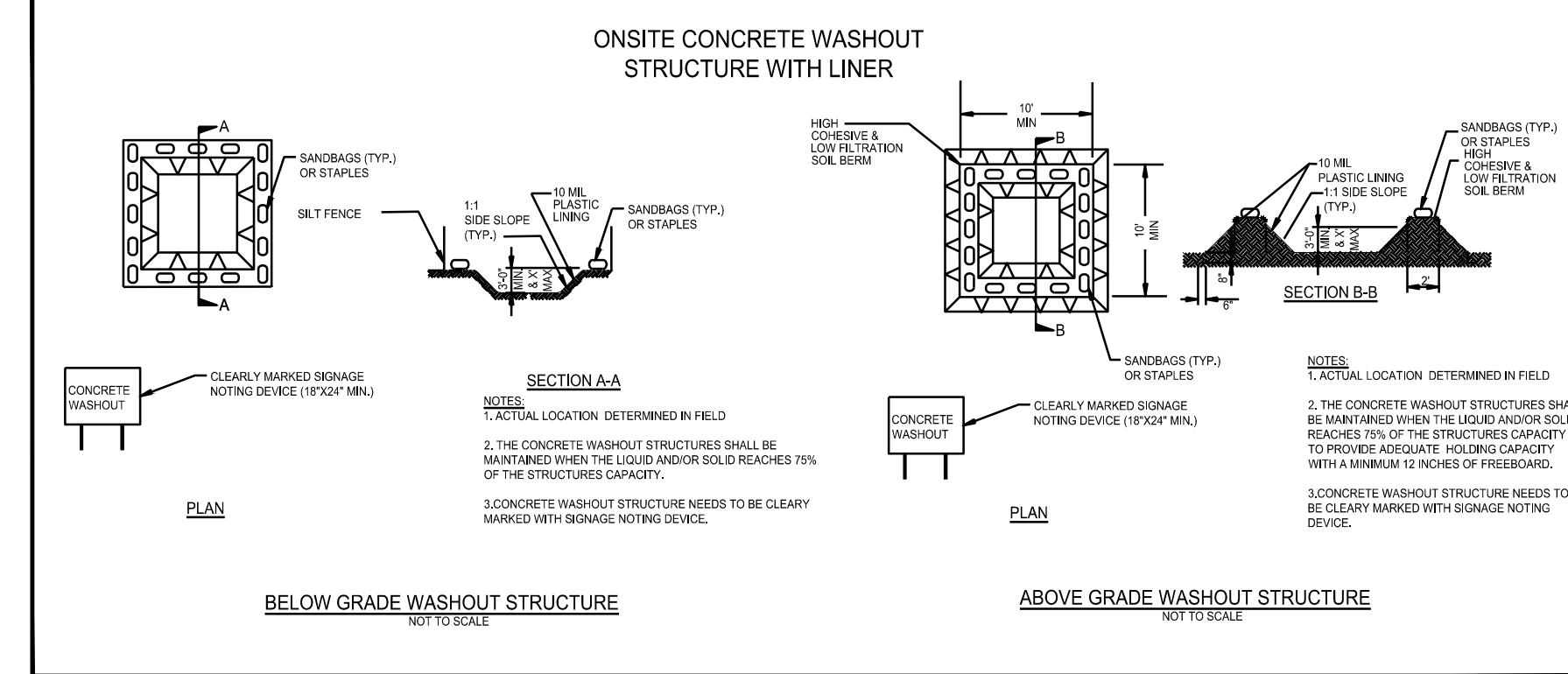
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.



WWW.CESOHQ.COM
CESO NC, Co.
4601 Park Road, Suite 650
Charlotte, NC 28209
Phone: 937.435.8554



MERITAGE HOME

**KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE**
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

Project Number: 766740-01 / -02
Scale: AS SHOWN
Drawn By: RM
Checked By: CG
Date: 10/31/2025
Issue: NOT FOR CONSTRUCTION

Drawing Title:
EROSION CONTROL NOTES

C3.4



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
- (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (d) Anticipated bypasses and unanticipated bypasses.
- (e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6)]. • Division staff may waive the requirement for a written report on a case-by-case basis.

**PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19



CESO
www.cesoinc.com
CESO NC, Co.
4601 Park Road, Suite 650
Charlotte, NC 28209
Phone: 937-435-8584



MERITAGE HOME
KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

Project Number: 766740-01 / -02
Scale: AS SHOWN
Drawn By: RM
Checked By: CG
Date: 10/31/2025
Issue: NOT FOR CONSTRUCTION

Drawing Title:
EROSION CONTROL NOTES

C3.5

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



SEEDING MIXTURE	40 LBS/ACRE OF GERMAN MILLET 80 LBS/ACRE OF TALL FESCUE	120 LBS/ACRE RYE (GRAIN) 80 LBS/ACRE TALL FESCUE
SEEDING DATES	MAY 1 - AUGUST 15 RE-FERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. APPLY 4000 LBS/ACRE STRAW OR EQUIVALENT HYDROSEEDING.	OCTOBER 25 - DECEMBER 30 BETWEEN DECEMBER 30 - FEBRUARY 15, ADD 50 LBS/ACRE OF ANNUAL KOBE LESPEDEZA. APPLY 4000 LBS/ACRE STRAW OR EQUIVALENT HYDROSEEDING.
SEEDING AMENDMENTS	APPLY LIME AND FERTILIZER PER SOIL TESTS, OR 2000 LBS/ACRE LIMESTONE AND 750 LBS/ACRE 10-10-10 FERTILIZER.	APPLY LIME AND FERTILIZER PER SOIL TESTS, OR 2000 LBS/ACRE LIMESTONE AND 750 LBS/ACRE 10-10-10 FERTILIZER.

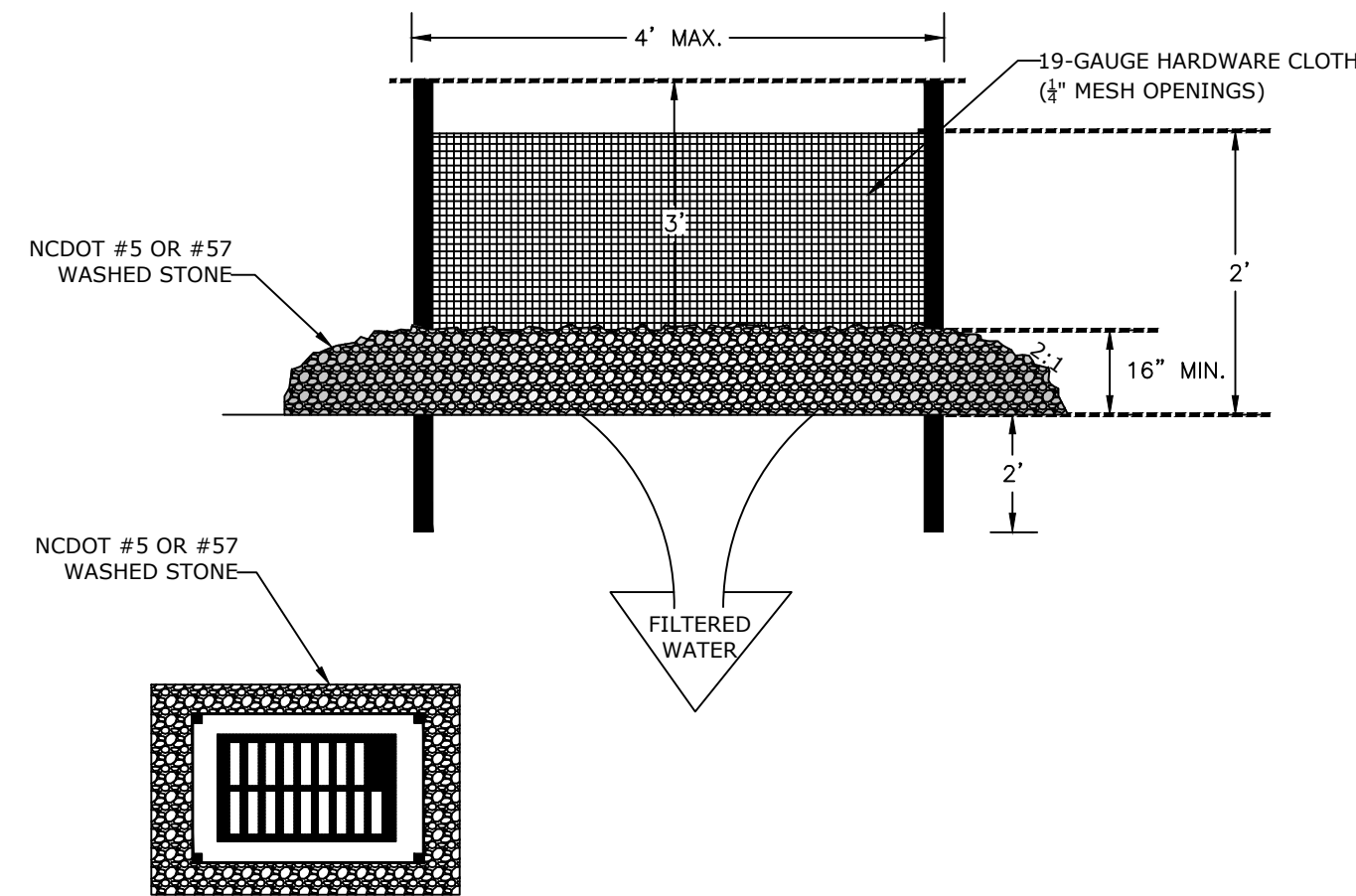
SEEDING SCHEDULE (SEASONAL)
NTS

SEEDING MIXTURE	80 LBS/ACRE OF TALL FESCUE	100 LBS/ACRE TALL FESCUE 30 LBS/ACRE SERICEA LESPEDEZA (UNSCARIFIED AFTER AUGUST 15) 10 LBS/ACRE KOBE LESPEDEZA
SEEDING DATES	FALL: AUGUST 25 - OCTOBER LATE WINTER: FEBRUARY 15 - APRIL 15 TO EXTEND SPRING SEEDING INTO JUNE, ADD 15 LBS/ACRE HULLED BERMUDA GRASS OVERSEEDING OF KOBE LESPEDEZA OVER FALL-SEEDED TALL FESCUE IS VERY EFFECTIVE.	FALL: AUGUST 25 - OCTOBER 15 LATE WINTER: FEBRUARY 15 - APRIL 15 TO EXTEND SPRING SEEDING INTO JUNE, ADD 15 LBS/ACRE HULLED BERMUDA GRASS OVERSEEDING OF KOBE LESPEDEZA OVER FALL-SEEDED TALL FESCUE IS VERY EFFECTIVE.
SEEDING AMENDMENTS	APPLY LIME AND FERTILIZER PER SOIL TESTS, OR 4000 LBS/ACRE LIMESTONE AND 1000 LBS/ACRE 10-10-10 FERTILIZER.	APPLY LIME AND FERTILIZER PER SOIL TESTS, OR 4000 LBS/ACRE LIMESTONE AND 1000 LBS/ACRE 10-10-10 FERTILIZER.

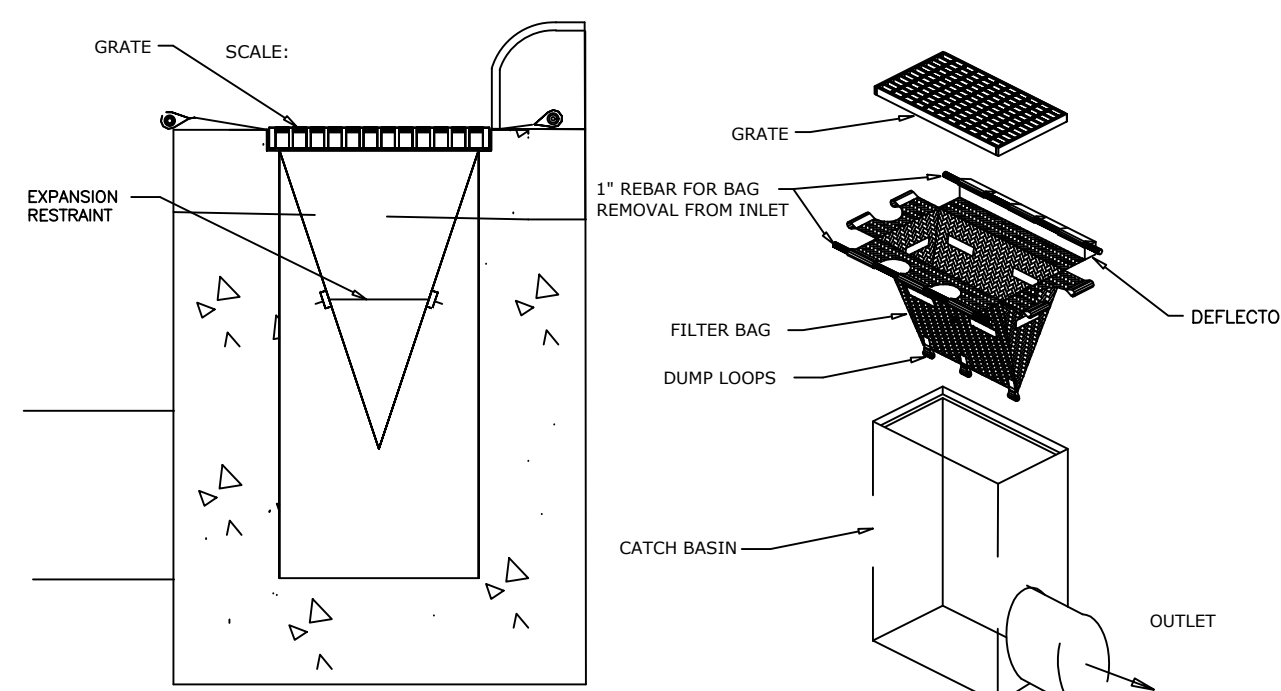
SEEDING SCHEDULE
NTS

GENERAL NOTES:

- UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
- DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
- SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
- PLACE CLEAN GRAVEL (NC DOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
- ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
- COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUND COVER.



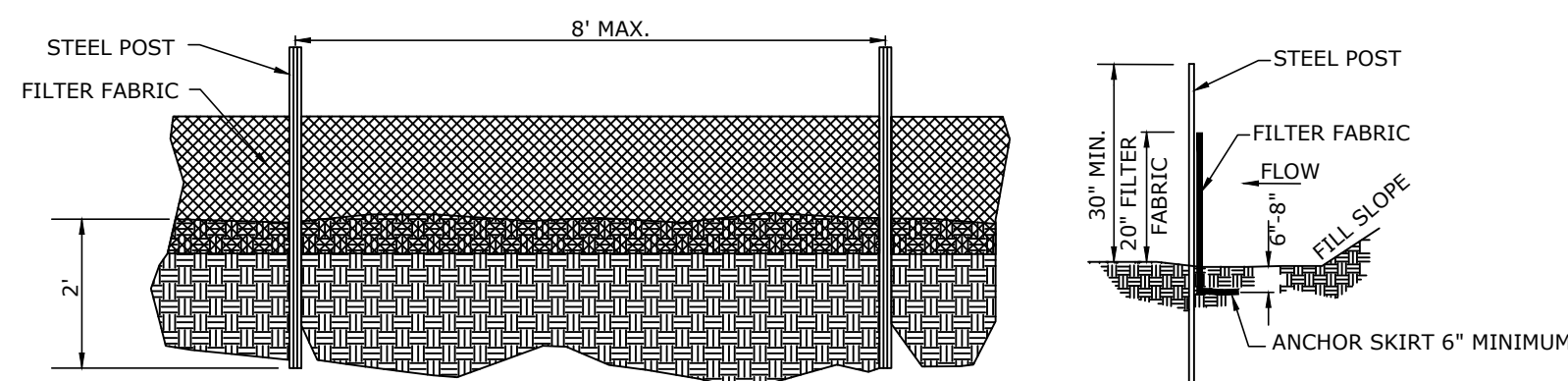
HARDWARE CLOTH AND GRAVEL INLET PROTECTION
NTS



SECTION INSTALLATION NOTES

- INLET MAINTENANCE SHALL BE DOCUMENTED IN PROJECT LOG BOOK.
- FILTER TYPES SHALL BE APPROVED BY THE INSPECTOR PRIOR TO INSTALLATION.
- FILTER BAGS MAY BE REMOVED WHEN SITE IS STABILIZED AT THE DIRECTION OF THE ENGINEER.
- FILTER BAGS SHALL BE REMOVED PRIOR TO STREET ACCEPTANCE.
- FILTER BAGS SHALL BE CLEANED OR REPLACED ON A REGULAR BASIS (NOT TO BE MORE THAN HALF FULL AT ANY TIME).

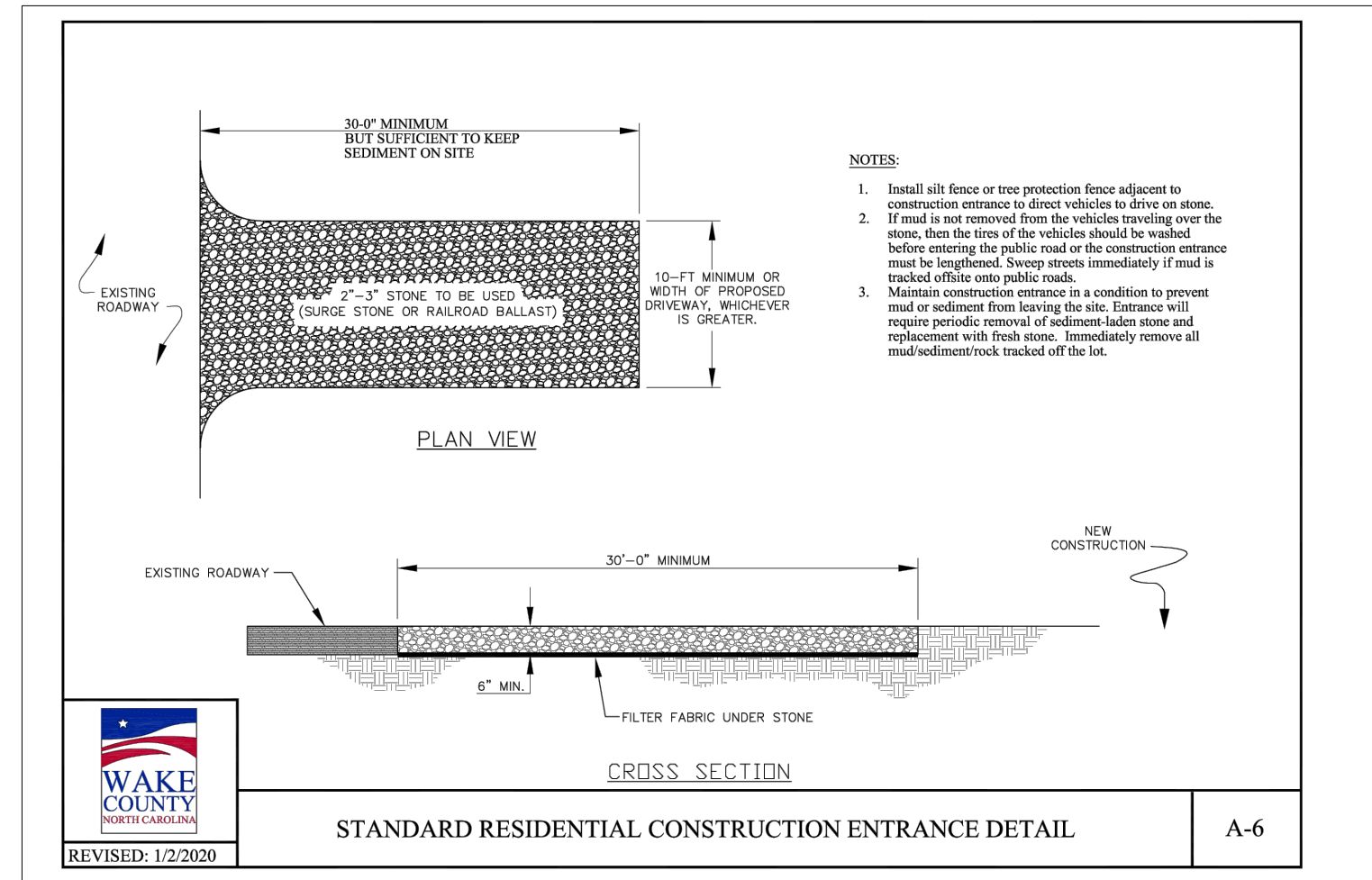
CATCH BASIN INLET PROTECTION
NTS



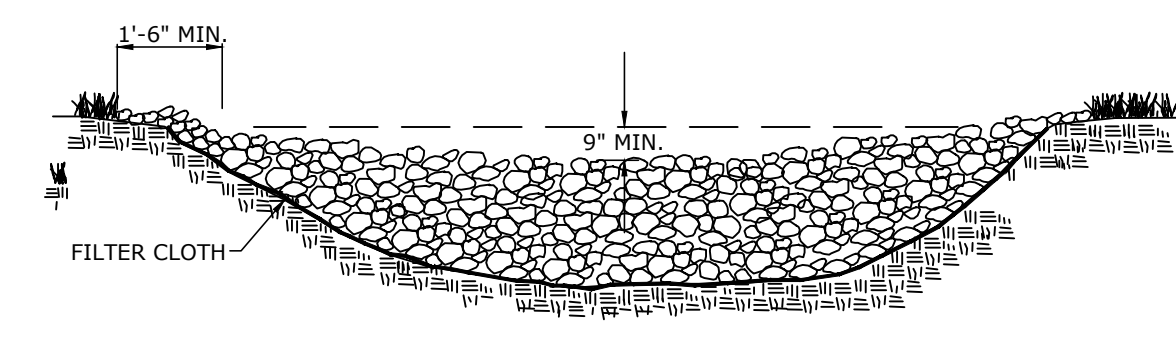
- FILTER FABRIC FENCE SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
- WOVEN FILTER FABRIC SHALL BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
- STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
- TURN SILT FENCE UP SLOPE AT ENDS.
- ORANGE SAFETY FENCE IS REQUIRED AT BACK OF SILT FENCE WHEN GRADING IS ADJACENT TO SWIM BUFFERS, STREAMS OR WETLANDS. THE COLOR ORANGE IS RESERVED FOR VISUAL IDENTIFICATION OF ENVIRONMENTALLY SENSITIVE AREAS.
- DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100FT OF FENCE.
- SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.63A NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
- DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER AREAS OF CONCENTRATED FLOW.

- FILTER BARRIERS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROX. HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

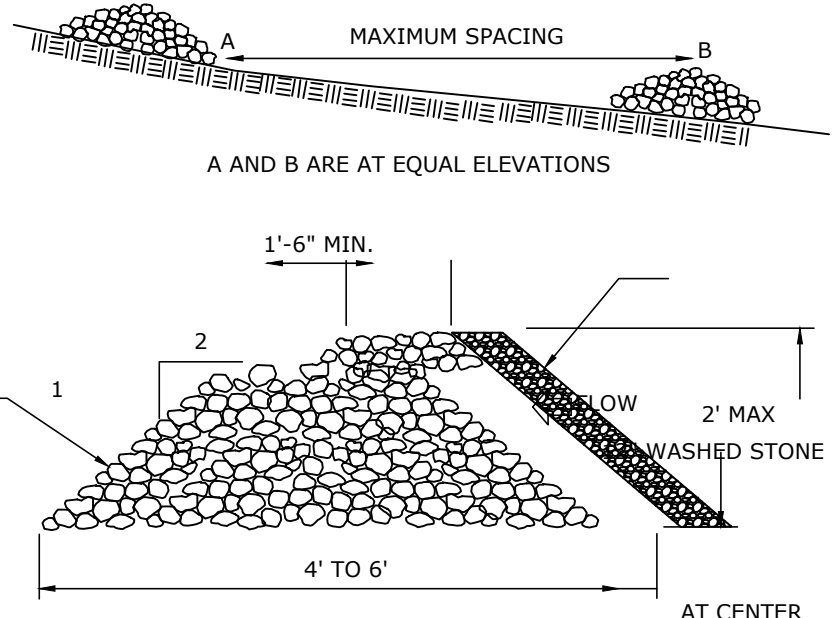
TEMPORARY SILT/ SEDIMENT FENCE
NTS



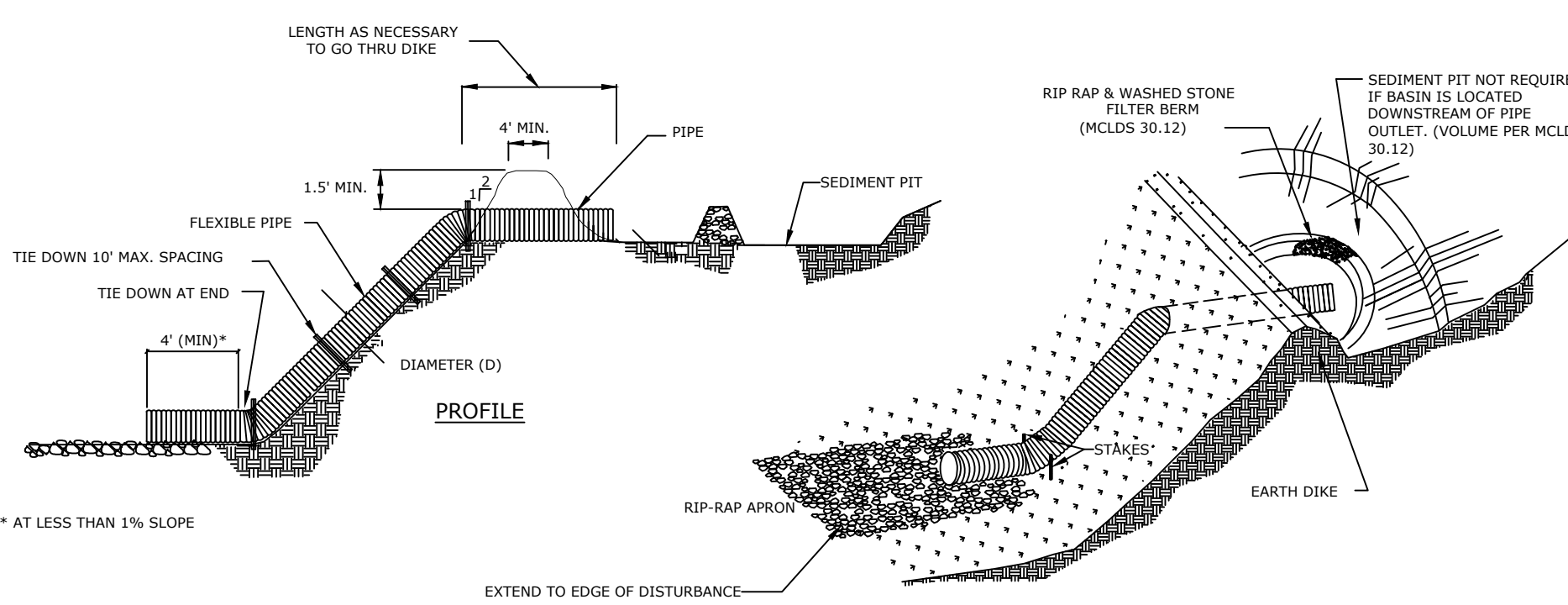
STANDARD RESIDENTIAL CONSTRUCTION ENTRANCE DETAIL
A-6



- RIPRAP SIZE TO BE CLASS B RIPRAP.
- CHECK DAMS MAY BE USED IN SLOPING DITCHES OR CHANNELS TO SLOW VELOCITY OR TO CREATE SEDIMENT TRAPS.
- ENSURE THAT MAXIMUM SPACING BETWEEN DAMS PLACES THE TOE OF THE UPSTREAM DAM AT THE SAME ELEVATION AS THE DOWNSTREAM DAM (SEE DIAGRAM BELOW).

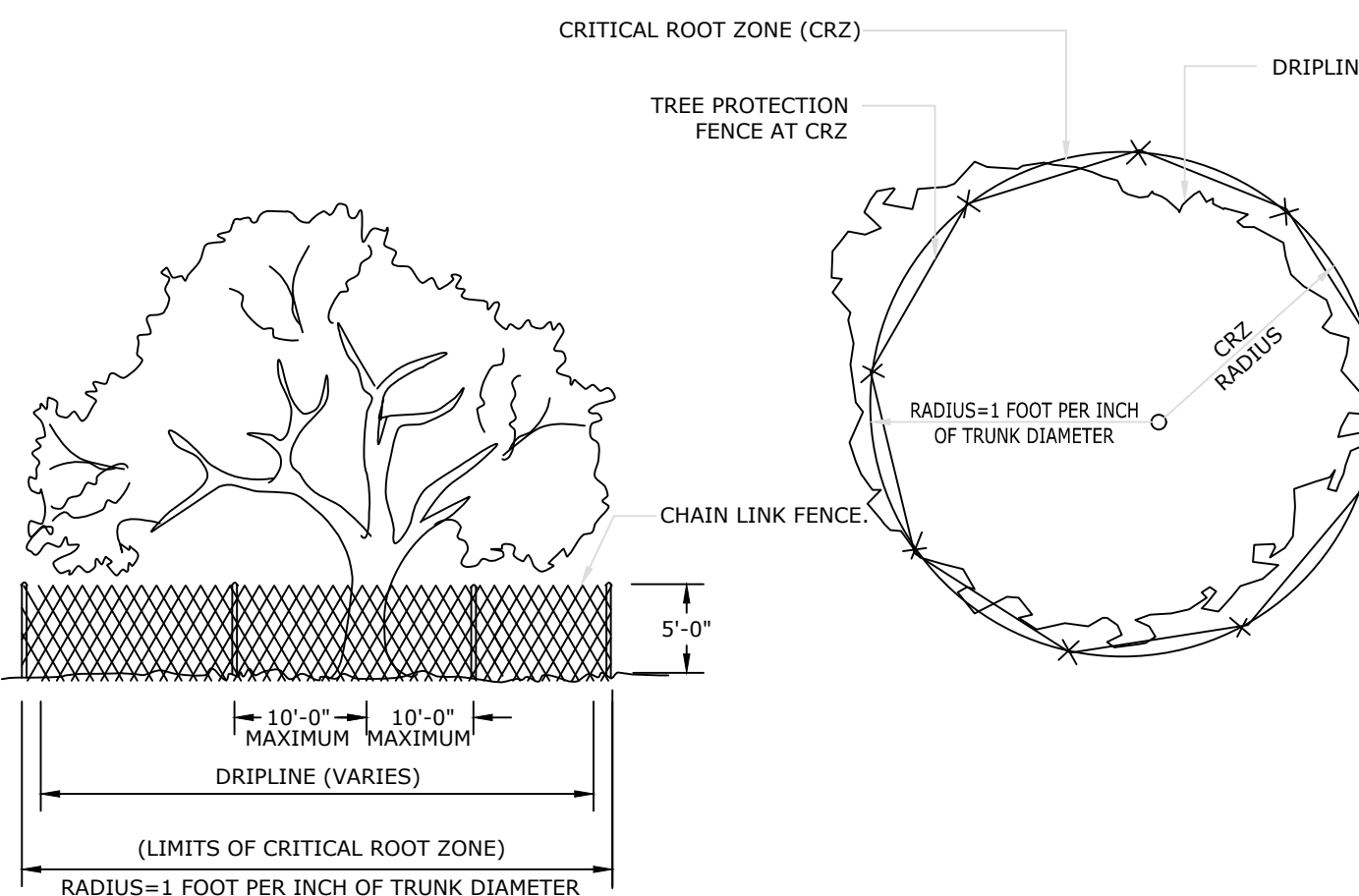


TEMPORARY ROCK CHECK DAM
NTS



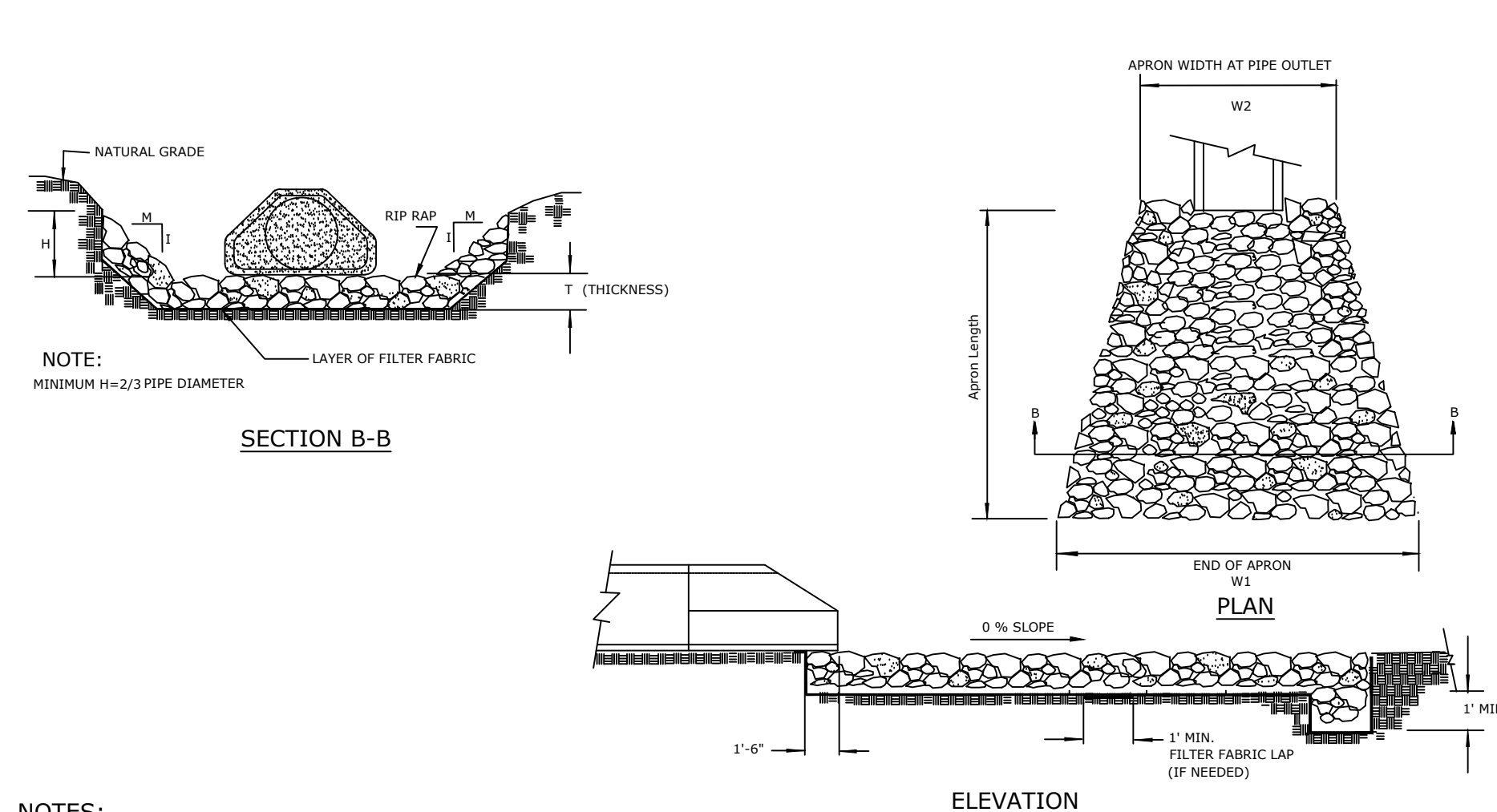
- THE TOP OF THE EARTH DIKE OVER THE INLET PIPE AND THOSE DIKES CARRYING WATER TO THE PIPE SHALL BE AT LEAST 1.5 FEET HIGHER AT ALL POINTS THAN THE TOP OF THE INLET PIPE.
- THE PIPE SHALL BE FLEXIBLE WITH WATER TIGHT CONNECTING BANDS. FLEXIBLE PIPE SHOULD BE STAKED ON EITHER SIDE.
- A RIP RAP APRON SHALL BE PROVIDED AT THE OUTLET, IF EMPTYING INTO A DISTURBED AREA.
- FOLLOW-UP INSPECTION AND ANY NEEDED MAINTENANCE SHALL BE PERFORMED AFTER EACH STORM BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT.
- OUTLET PIPE SHOULD BE TAKEN OVER OR THROUGH ANY SILT FENCE, TAKING CARE NOT TO VOID THE EFFECTIVENESS OF THE SILT FENCE.

FLEXIBLE PIPE SLOPE DRAIN
NTS



- NOTES:
- NO TRUCKS OR HEAVY EQUIPMENT ALLOWED WITHIN BARRIERS, ONLY HAND LABOR ALLOWED.
 - NO CONSTRUCTION MATERIALS, SOILS DEPOSITS, OR SOLVENTS SHALL BE ALLOWED WITHIN BARRIERS.
 - BARRIERS ARE TO STAY IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN TREE AREA.
 - BARRIERS ARE TO STAY IN PLACE UNTIL ALL PAVING, CONSTRUCTION, AND HEAVY EQUIPMENT IS REMOVED FROM THE AREA.
 - CRITICAL ROOT ZONE: 1 INCH OF TREE AT DIAMETER BREAST HEIGHT (DBH) IS EQUAL TO 1 FOOT OF CRITICAL ROOT ZONE (CRZ). IE. 30 INCH DBH = 30 FOOT CRZ

TREE PROTECTION FENCING
NTS



NOTES:

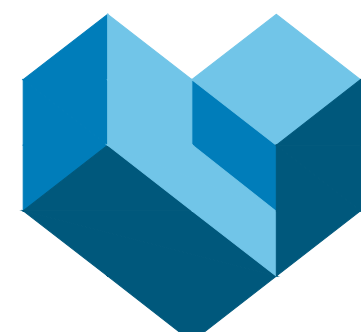
- CLASS OR MEDIAN SIZE OF RIPRAP AND LENGTH, WIDTH AND DEPTH OF APRON TO BE DESIGNED BY THE ENGINEER.
- RIPRAP SHOULD EXTEND UP BOTH SIDES OF THE APRON AND AROUND THE END OF THE PIPE OR CULVERT AT THE DISCHARGE OUTLET AT A MAXIMUM SLOPE OF 2:1 AND A HEIGHT NOT LESS THAN TWO THIRDS THE PIPE DIAMETER OR CULVERT HEIGHT.
- THERE SHALL BE NO OVERFLOW FROM THE END OF THE APRON TO THE SURFACE OF THE RECEIVING CHANNEL. THE AREA TO BE PAVED OR RIPRAPPED SHALL BE UNDERCUT SO THAT THE INVERT OF THE APRON SHALL BE AT THE SAME GRADE (FLUSH) WITH THE SURFACE OF THE RECEIVING CHANNEL. THE APRON SHALL HAVE A CUTOFF OR TOE WALL AT THE DOWNSTREAM END.
- THE WIDTH OF THE END OF THE APRON SHALL BE EQUAL TO THE BOTTOM WIDTH OF THE RECEIVING CHANNEL. MAXIMUM TAPER TO RECEIVING CHANNEL 5:1
- ALL SUBGRADE FOR STRUCTURE TO BE COMPACTED TO 95% OR GREATER.
- THE PLACING OF FILL, EITHER LOOSE OR COMPACTED IN THE RECEIVING CHANNEL SHALL NOT BE ALLOWED.
- NO BENDS OR CURVES IN THE HORIZONTAL ALIGNMENT OF THE APRON WILL BE PERMITTED.
- FILTER FABRIC SHALL BE INSTALLED ON COMPACTED SUBGRADE PRIOR TO PLACEMENT OF RIP RAP.
- ANY DISTURBED AREA FROM END OF APRON TO RECEIVING CHANNEL MUST BE STABILIZED.

USE USDA NOMOGRAPH FROM NC SEDIMENT AND EROSION CONTROL MANUAL OR NCEQ DESIGN MANUAL FOR DESIGN DATA.

* d50 (see fig 8.06 a&b "NC SEDIMENT AND EROSION CONTROL MANUAL")
dmax = 1.5 x d50
T = 1.5 X dmax.

SCM A	OC#	Q (cfs)	Outfall Dia	L _a	W ₁	W ₂	d50	T
Inlet	Headwall 1	29.53	36	20	9	23	0.75	1.69
Outlet	Outlet A	34.53	24	20	6	22	0.75	1.69
SCM B								
Inlet 1	Headwall 2	19.32	24	12	6	14	0.5	1.13
Inlet 2	Headwall 3	11.12	24	12	6	14	0.5	1.13
Outlet 1	Outlet B	33.28	24	12	6	20	0.75	1.69

RIPRAP APRON
NTS



CESO
WWW.CESONC.COM
CESO NC, Co.
4601 Park Road, Suite 650
Charlotte, NC 28209
Phone: 937-435-8564



MERITAGE HOME

KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

Project Number: 766740-01 / -02
Scale: AS SHOWN
Drawn By: RM
Checked By: CG
Date: 10/31/2025
Issue: NOT FOR CONSTRUCTION

Drawing Title:
EROSION CONTROL
DETAILS

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



C3.6



EXISTING FEATURES LEGEND
APPLIES TO ALL CIVIL SHEETS

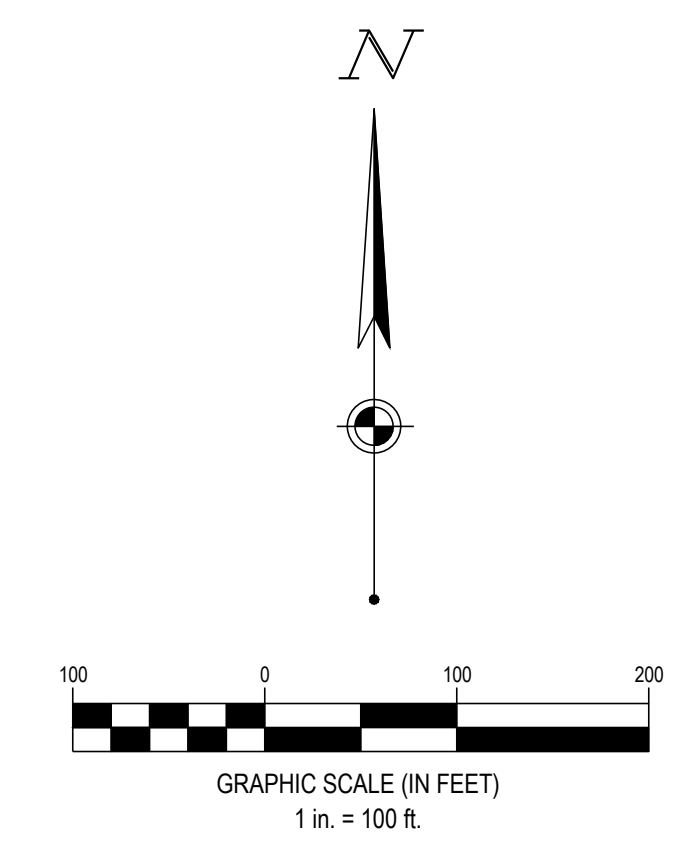
	RIGHT OF WAY		PARCEL LINE
	PROPERTY BOUNDARY		EASEMENT
	CURB		EDGE OF PAVEMENT
	EDGE OF WALK		PAVEMENT MARKINGS
	WATER LINE		UNDERGROUND ELECTRIC
	UNDERGROUND TELE		OVERHEAD LINE
	STORM SEWER		SANITARY SEWER
	MAJOR CONTOURS		MINOR CONTOURS
	WATER METER		STORM CATCH BASIN
	WATER VALVE		STORM INLET BASIN
	POWER/TELE POLE		STORM MANHOLE
	POWER POLE		STORM CLEANOUT
	AIR CONDITIONER		SANITARY MANHOLE
	ELECTRIC BOX		SANITARY CLEANOUT
	LIGHT POLE		TRAFFIC MANHOLE
	GAS VALVE		SIGN
	GAS METER		TELEPHONE POLE



MERTAGE HOME
KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

Revisions / Submissions

ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026



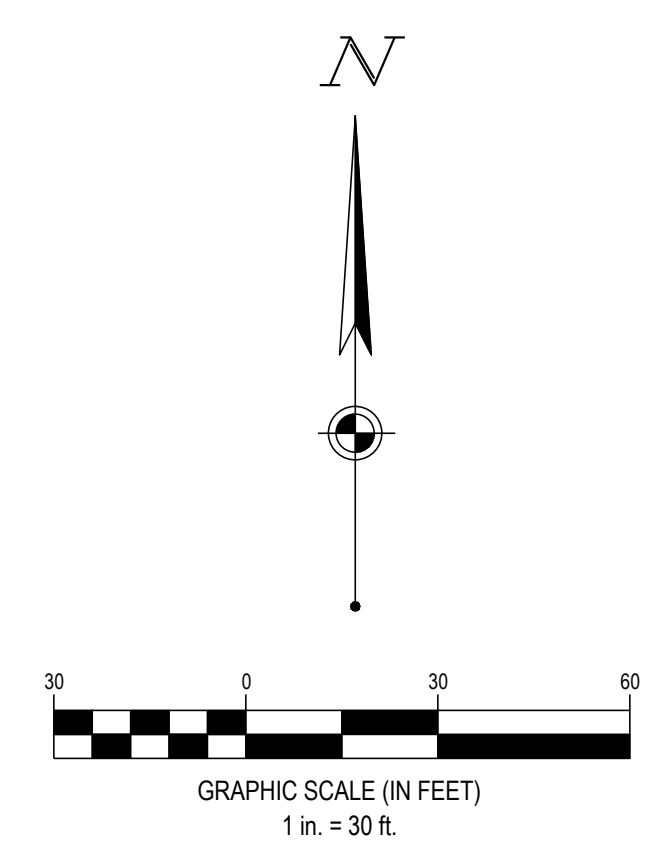
SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



© 2025 CESO, INC.
Project Number: 766740-01 / -02
Scale: AS SHOWN
Drawn By: RM
Checked By: CG
Date: 10/31/2025
Issue: NOT FOR CONSTRUCTION

Drawing Title:
OVERALL SITE PLAN

C4.0



SITE LEGEND	
EXISTING	
REFER TO C2.0 FOR EXISTING FEATURES LEGEND	
PROPOSED	
	PROPOSED STANDARD DUTY ASPHALT PAVEMENT (8" CABC & 3" S9.5B)
	PROPOSED CONCRETE PAVEMENT / SIDEWALK
	PROPOSED CONCRETE PAVEMENT - PICKLEBALL COURTS
	PROPERTY BOUNDARY LINE
	RIGHT-OF-WAY
	SETBACK
	EASEMENT
	CENTERLINE
	CONCRETE CURB
	FENCE (VARIES)
	PARKING SPACE COUNT
	SIGN
	DETECTABLE WARNING MAT.
	FIRE HYDRANT
	LIGHT POLE
	PARKING BLOCK SEE DETAIL SHEET C7.0

GENERAL NOTES:
SEE SHEET C1.1

CODED NOTES:

- PROPOSED 3,343± SF CLUBHOUSE BUILDING.
- PROPOSED POOL AND POOL DECK TO BE DESIGNED AND PERMITTED BY OTHERS.
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT (8" CABC & 3" S9.5B).
- PROPOSED CONCRETE SIDEWALK. SEE DETAIL ON SHEET C7.0
- PROPOSED ADA ACCESSIBLE PARKING SPACE. SEE DETAIL ON SHEET C7.0
- PROPOSED PARKING LOT PAVEMENT MARKINGS.
- PROPOSED POOL FENCE. POOL FENCE TO BE PROVIDED BY POOL DESIGNER AND MUST MEET POOL CODE REQUIREMENTS.
- PROPOSED STANDARD CURB AND GUTTER. SEE DETAIL ON SHEET C7.0
- CONNECT TO EXISTING SIDEWALK.
- PROPOSED ACCESSIBLE PARKING SIGN "VAN ACCESSIBLE" TO BE INSTALLED PER MUTCD. SEE DETAIL SHEET C7.0.
- PROPOSED ACCESSIBLE PARKING SIGN TO BE INSTALLED PER MUTCD. SEE DETAIL SHEET C7.0.
- PROPOSED PICKLEBALL COURTS. REFER TO LANDSCAPE ARCHITECT SET FOR DETAILS.
- PROPOSED TOT LOT AREA TO BE SPECIFIED IN LANDSCAPE FURNISHING PLANS.
- PROPOSED BENCH TO BE SPECIFIED IN LANDSCAPE FURNISHING PLANS.
- PROPOSED MAIL KIOSK WITH 6" CONCRETE PAD. REFER TO FINAL LANDSCAPE ARCHITECT SET FOR DETAILS ADDITIONALLY SEE SHEET C7.2.
- PROPOSED PICKLEBALL COURT FENCE. REFERENCE FINAL LANDSCAPE PLANS.
- ~~PROPOSED~~
- CURB TRANSITION FROM CURB AND GUTTER TO INTEGRAL CURB. SEE DETAIL SHEET C7.0.
- ADA RAMPS WITH 5' LANDINGS.
- PROPOSED STOP SIGN (R1-1) TO BE INSTALLED PER MUTCD.
- PROPOSED STOP BAR PAVEMENT MARKING.
- CONNECT TO EXISTING CURB AND GUTTER.
- PROPOSED RIBBON CURB. SEE DETAIL ON SHEET C7.0.
- PROPOSED CURB TAPER. SEE DETAIL C7.0.
- PROPOSED LIGHT DUTY BITUMINOUS CONCRETE. SEE DETAIL ON SHEET C7.0.
- PROPOSED TRUNCATED DOME
- PROPOSED SPILL TYPE CURB
- PROPOSED CROSSWALK STRIPING PER NCDOT DETAIL 1205.07.
- PROPOSED ±616 SF COVERED PAVILION

NOTE:

- N & E: VALUES ARE ON ASSUMED COORDINATE PLANE, AND ARE NOT ASSUMED TO BE PRESENT ON STATE PLANE COORDINATE SYSTEM.
- CONDITIONS OF APPROVAL PER APPROVED SUBDIVISION KALAS FALLS PHASE 2.
- AMENITY
TOTAL AREA: 2.93 AC
IMPERVIOUS AREA: 1.22 AC

CENTERLINE LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	40.537	N69° 06' 05.04"W
L2	22.064	N73° 23' 37.03"W
L3	80.135	S33° 19' 15.52"W
L4	36.425	S03° 31' 54.46"W
L5	87.452	S34° 35' 42.38"W
L6	54.859	S30° 40' 31.17"E

CENTERLINE CURVE TABLE						
CURVE #	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA	TANGENT
C1	100.00'	7.49'	7.49'	N71° 14' 51"W	004° 17' 32"	3.75'
C2	40.50'	51.80'	48.34'	S69° 57' 49"W	073° 17' 07"	30.12'
C3	35.00'	18.20'	17.99'	S18° 25' 35"W	029° 47' 21"	9.31'
C4	28.00'	15.18'	15.00'	S19° 03' 48"W	031° 03' 48"	7.78'
C5	285.00'	75.30'	75.08'	S42° 09' 51"W	015° 08' 17"	37.87'
C6	25.00'	35.08'	32.28'	S09° 31' 44"W	080° 24' 31"	21.13'



MERITAGE HOME
KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

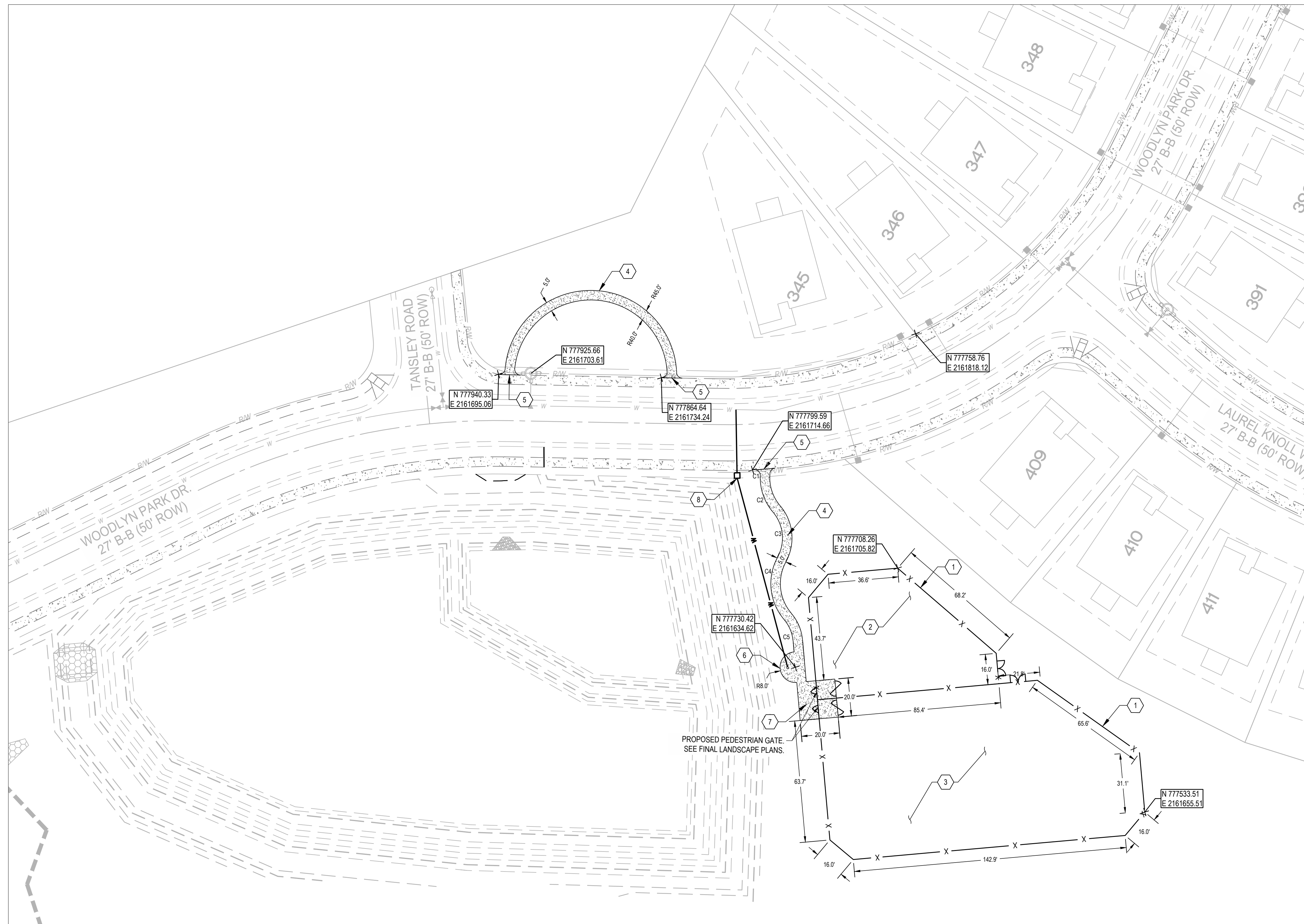
© 2025 CESO, INC.
Project Number: 766740-01 / -02
Scale: AS SHOWN
Drawn By: RM
Checked By: CG
Date: 10/31/2025
Issue: NOT FOR CONSTRUCTION

Drawing Title:
SITE PLAN
AMENITY AREA

C4.1



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



SITE LEGEND	
EXISTING	
REFER TO C2.0 FOR EXISTING FEATURES LEGEND	
PROPOSED	
	PROPOSED CONCRETE PAVEMENT/ SIDEWALK
	R/W RIGHT-OF-WAY
	PROPERTY LINE
	SETBACK
	EASEMENT
	CENTERLINE
	CONCRETE CURB
	PAVEMENT/WALK
	FENCE
	PARKING SPACE COUNT
	SIGN
	DETECTABLE WARNING MAT.
	FIRE HYDRANT
	LIGHT POLE
	CONCRETE BUMPER BLOCK

GENERAL NOTES:
SEE SHEET C1.1

CODED NOTES:

- PROPOSED 48" HT FENCE.
- PROPOSED SMALL DOG PARK.
- PROPOSED LARGE DOG PARK.
- PROPOSED CONCRETE SIDEWALK.
- CONNECT TO EXISTING SIDEWALK.
- PROPOSED DOG WASH STATION.
- PROPOSED SALLY PORT ENTRY.
- PROPOSED 3/4" WATER LINE WITH METER.

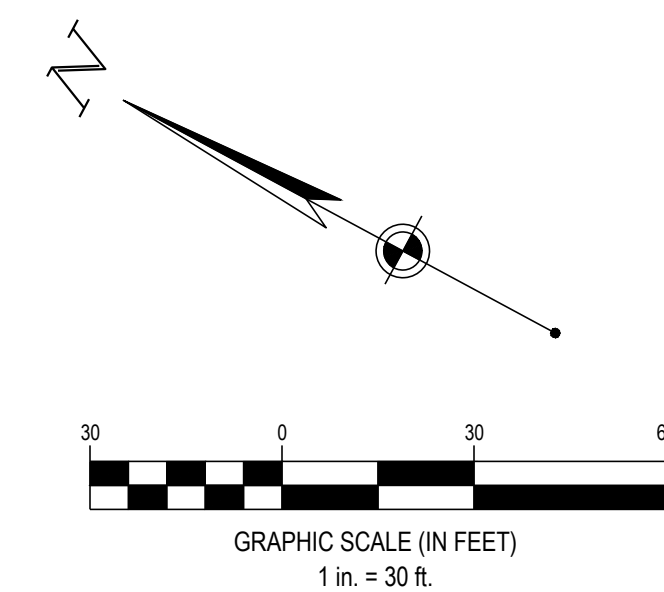
NOTE:

N: & E: VALUES ARE ON ASSUMED COORDINATE PLANE, AND ARE NOT ASSUMED TO BE PRESENT ON STATE PLANE COORDINATE SYSTEM.

SITE QUANTITY:

- A. DOG PARK:
TOTAL AREA: 0.94 AC
IMPERVIOUS AREA: 0.02 AC
- B. OPEN SPACE:
TOTAL AREA: 0.55 AC
IMPERVIOUS AREA: 0.01 AC

LOT & R/W CURVE TABLE						
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	3.00'	4.98'	4.42'	N16° 01' 46"E	095° 02' 13"	3.28'
C2	27.63'	20.56'	20.09'	N42° 13' 48"E	042° 38' 09"	10.78'
C3	20.97'	25.35'	23.83'	N55° 31' 54"E	069° 14' 22"	14.48'
C4	28.82'	35.03'	32.92'	N55° 20' 01"E	069° 38' 07"	20.05'
C5	19.14'	11.97'	11.78'	N38° 26' 14"E	035° 50' 33"	6.19'



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-652-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



WWW.CESOINC.COM
CESO INC. Co.
4601 Park Road, Suite 650
Charlotte, NC 28209
Phone: 937.435.8564



MERITAGE HOME

**KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE**
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

Revisions / Submissions

ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

© 2025 CESO, INC.

Project Number: 766740-01 / -02

Scale: AS SHOWN

Drawn By: RM

Checked By: CG

Date: 10/31/2025

Issue: NOT FOR CONSTRUCTION

Drawing Title:

**SITE PLAN OPEN
SPACE & DOG PARK**

C4.2



GRADING LEGEND			
EXISTING			
REFER TO C2.0 FOR EXISTING FEATURES LEGEND			
PROPOSED			
R/W	RIGHT-OF-WAY	DS	DOWNSPOUT
---	PROPERTY LINE	XXX.XX	FINISHED GRADE ELEVATION
---	EASEMENT	RIM=XXX.XX	RIM ELEVATION
---	MAJOR CONTOUR	BC=XXX.XX	BACK OF CURB ELEVATION
---	MINOR CONTOUR	TC=XXX.XX EP=XXX.XX	TOP OF CURB ELEVATION EDGE OF PAVEMENT ELEVATION
---	GRADE BREAK	TP=XXX.XX FTG=XXX.XX	TOP OF PAVEMENT ELEVATION TOP OF FOOTING ELEVATION
---	PROPOSED STORM PIPE	M.E.	MATCH EXISTING ELEVATION
---	FLOW LINE	X.XX%	SLOPE ARROW
①	STRUCTURE NUMBER	▶	FLOOD ROUTE
■	CATCH BASIN		
●	STORM MANHOLE		
■	CURB INLET		
○	CLEANOUT		
YD	YARD DRAIN		



CESO
 WWW.CESONC.COM
 CESO NC, Co.
 4601 Park Road, Suite 650
 Charlotte, NC 28209
 Phone: 937.435.8554



MERITAGE HOME

**KALAS FALLS PHASE 2
 AMENITY AND OPEN SPACE**
 1832 ROLESVILLE ROAD,
 WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

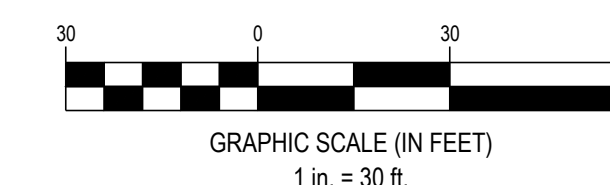
Project Number: 766740-01 / -02
 Scale: AS SHOWN
 Drawn By: RM
 Checked By: CG
 Date: 10/31/2025
 Issue: NOT FOR CONSTRUCTION

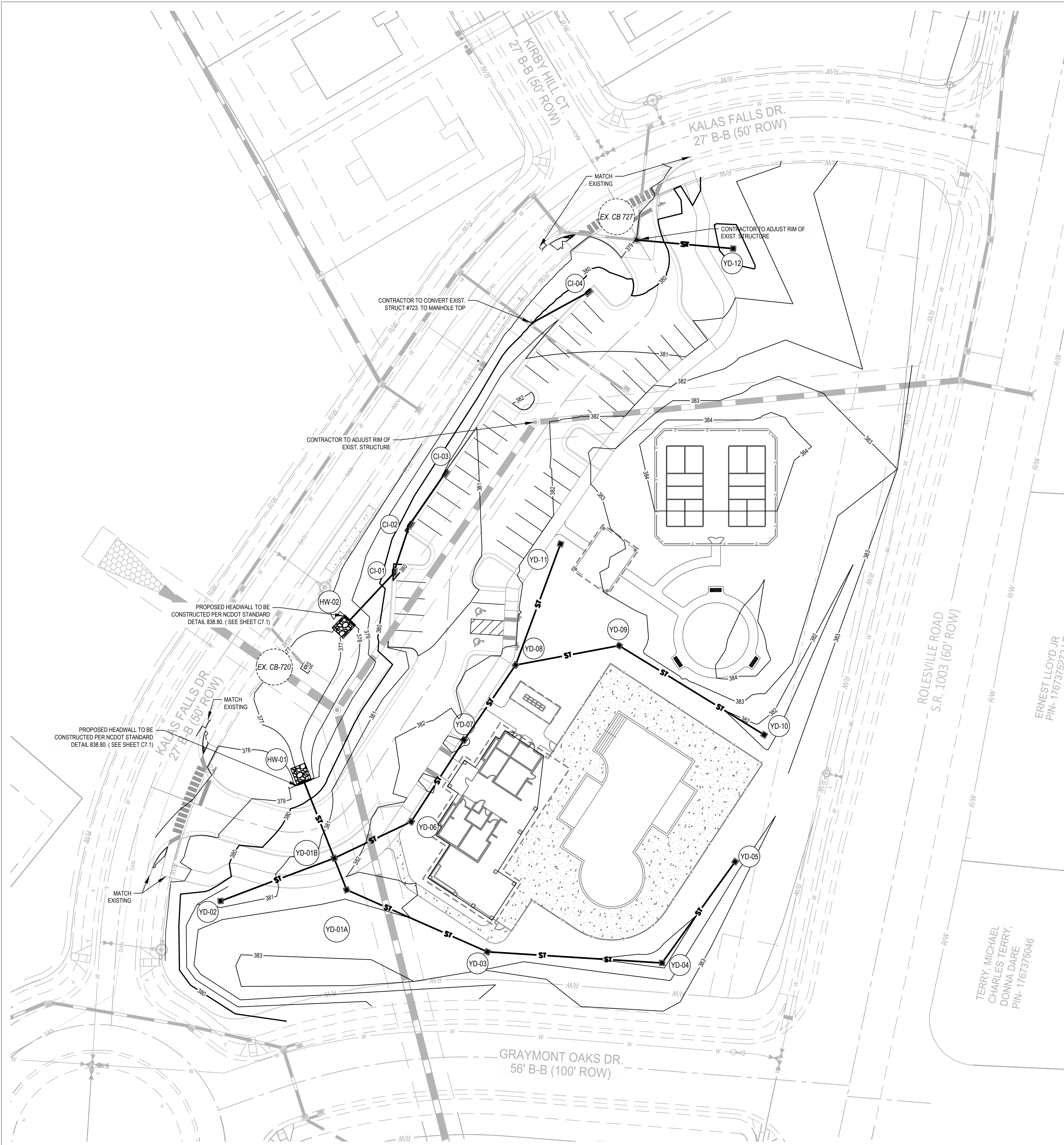
Drawing Title:
**GRADING PLAN
 AMENITY AREA**

C5.0



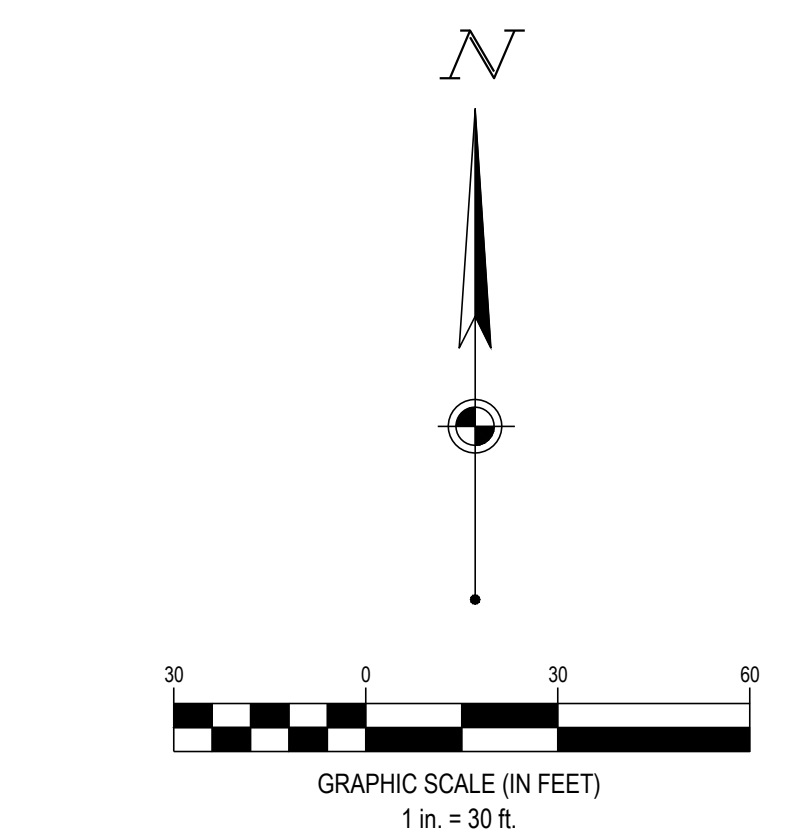
SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE





STORM SEWER PIPE TABLE					
PIPE START STRUCTURE	PIPE END STRUCTURE	DIAMETER	LENGTH	SLOPE	MATERIAL
CI-01	CI-02	12"	28'	0.50%	HDPE PIPE
CI-02	CI-03	12"	34'	0.50%	HDPE PIPE
CI-04	EX CB-723	12"	38'	0.48%	HDPE PIPE
EX. CB 727	YD-12	8"	53'	-1.00%	HDPE PIPE
HW-02	CI-01	12"	35'	1.02%	HDPE PIPE
YD-01A	YD-01B	15"	19'	0.44%	HDPE PIPE
YD-01B	HW-01	15"	45'	0.44%	HDPE PIPE
YD-02	YD-01B	8"	66'	1.19%	HDPE PIPE
YD-03	YD-01A	12"	84'	0.56%	HDPE PIPE
YD-04	YD-03	12"	96'	0.50%	HDPE PIPE
YD-05	YD-04	8"	68'	0.50%	HDPE PIPE
YD-06	YD-01B	12"	47'	0.73%	HDPE PIPE
YD-07	YD-06	12"	53'	0.50%	HDPE PIPE
YD-08	YD-07	12"	50'	0.49%	HDPE PIPE
YD-09	YD-08	8"	58'	1.08%	HDPE PIPE
YD-10	YD-09	8"	93'	0.50%	HDPE PIPE
YD-11	YD-08	8"	71'	0.97%	HDPE PIPE

STORM SEWER STRUCTURE SCHEDULE			
NO.	STRUCTURE	GRATE	INVERT
CI-01	CURB INLET	379.93	376.70 (12") N 376.70 (12") SW
CI-02	CURB INLET	380.03	376.84 (12") NE 376.84 (12") S
CI-03	CURB INLET	380.54	377.01 (12") SW
CI-04	CURB INLET	380.11	374.18 (12") SW
EX CB-723	EX. CATCH BASIN	379.95	374.00 (12") NE
EX. CB-720	EX. CATCH BASIN	376.00	373.15 (18") N
EX. CB 727	EX. CATCH BASIN	377.54	374.41 (15") NW
HW-01	HEADWALL W/ RIP RAP		376.42 (15") S
HW-02	HEADWALL W/ RIP RAP		376.34 (12") NE
YD-01A	YARD DRAIN	381.50	376.95 (12") SE 376.70 (15") N
YD-01B	YARD DRAIN	381.75	376.62 (15") S 377.20 (8") W 376.62 (12") NE 376.62 (15") N
YD-02	YARD DRAIN	380.52	377.99 (8") E
YD-03	YARD DRAIN	382.59	377.42 (12") E 377.42 (12") NW
YD-04	YARD DRAIN	381.65	378.23 (8") NE 377.90 (12") W
YD-05	YARD DRAIN	382.40	378.57 (8") SW
YD-06	YARD DRAIN	382.20	376.96 (12") NE 376.96 (12") SW
YD-07	YARD DRAIN	383.00	377.22 (12") NE 377.22 (12") SW
YD-08	YARD DRAIN	382.10	377.80 (8") E 377.80 (8") N 377.47 (12") SW
YD-09	YARD DRAIN	382.40	378.42 (8") SE 378.42 (8") W
YD-10	YARD DRAIN	381.51	378.89 (8") NW
YD-11	YARD DRAIN	382.10	378.49 (8") S
YD-12	YARD DRAIN	379.50	375.66 (8") W



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MAY HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



MERITAGE HOME
KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
 1832 ROLESVILLE ROAD,
 WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

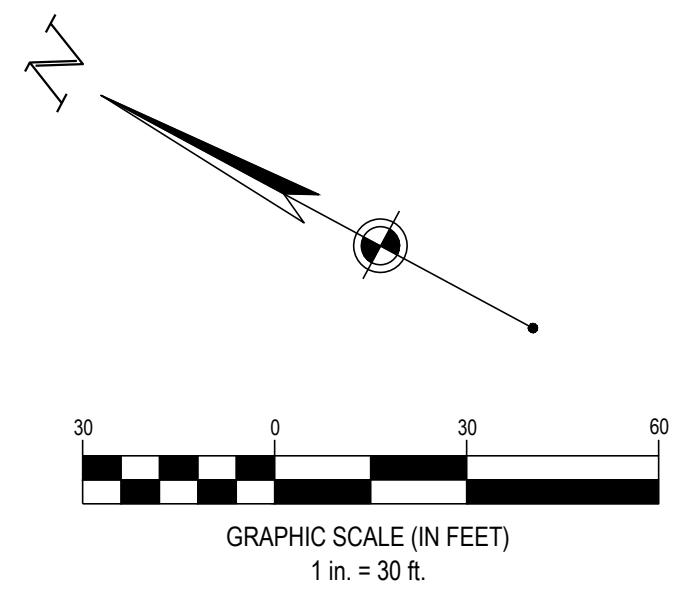
© 2025 CESO, INC.
 Project Number: 766740-01 / -02
 Scale: AS SHOWN
 Drawn By: RM
 Checked By: CG
 Date: 10/31/2025
 Issue: NOT FOR CONSTRUCTION

Drawing Title:
DRAINAGE PLAN
AMENITY

766740_C5.1 OS GRADING & DRAINAGE PLAN.dwg



REFER TO FINAL ENHANCED
LANDSCAPE PLANS FOR
ADDITIONAL DETAILS.



GRADING LEGEND	
EXISTING	
REFER TO C2.1 FOR EXISTING FEATURES LEGEND	
PROPOSED	
	R/W RIGHT-OF-WAY
	PROPERTY LINE
	SETBACK
	EASEMENT
	MAJOR CONTOUR
	MINOR CONTOUR
	FLOW LINE
	FINISHED GRADE ELEVATION
	RIM ELEVATION
	MATCH EXISTING ELEVATION
	SLOPE ARROW

AMERICA ENGINEERING:
4020 WESTCHASE BOULEVARD, SUITE 450
RALEIGH, NC 27607
PHONE: (919) 469-1101

CESO PROVIDES NO GUARANTEE TO THE ACCURACY OF THE SURVEY PROVIDED BY AMERICAN ENGINEERING. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



MERTAGE HOME

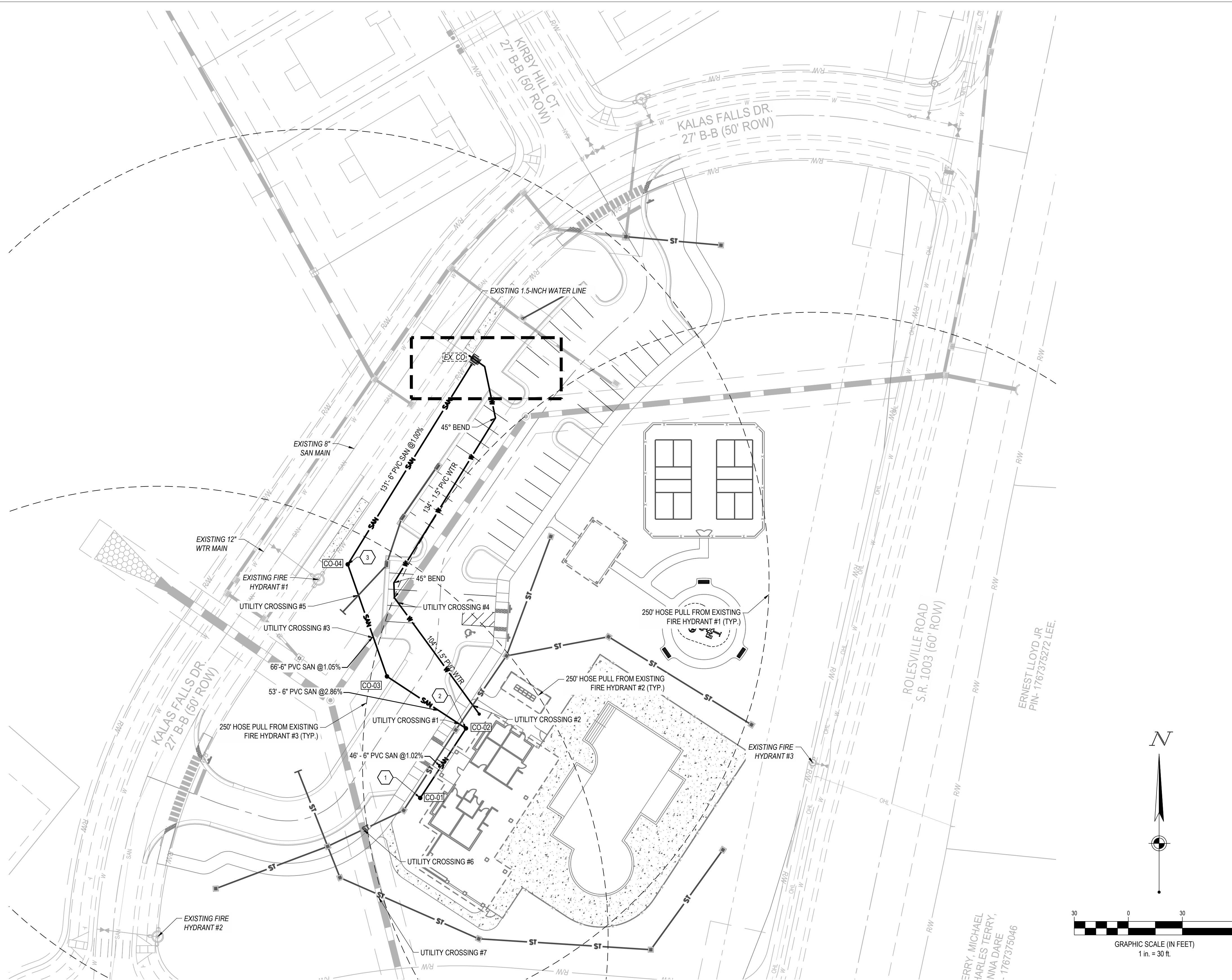
KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

Project Number: 766740-01 / -02
Scale: AS SHOWN
Drawn By: RM
Checked By: CG
Date: 10/31/2025
Issue: NOT FOR CONSTRUCTION

Drawing Title:
**GRADING & DRAINAGE
PLAN OPEN SPACE &
DOG PARK**

C5.2



UTILITY LEGEND	
EXISTING	
REFER TO C2.0 FOR EXISTING FEATURES LEGEND	
PROPOSED	
	CONCRETE CURB
	PAVEMENT WALK
	DOMESTIC WATER SERVICE LINE
	FORCE MAIN
	SANITARY SEWER PIPE
	SANITARY SEWER MANHOLE
	CLEANOUT
	ELECTRICAL TRANSFORMER PAD
	FIRE HYDRANT
	WATER VALVE

CODED NOTES:		
CODE	DESCRIPTION	DETAIL # - SHEET #
1	POC TO AMENITY BUILDINGS	REFER TO MEP PLANS
2	POC FOR POOL EQUIPMENT ROOM	REFER TO MEP PLANS
3	PROPOSED SAN CLEANOUT (TYP.)	
4	PROPOSED CURB STOP (TYP.)	REFER TO SHEET C7.1
5	PROPOSED 48"X38" METER BOX	REFER TO SHEET C7.1

- NOTES:**
- CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION.
 - WHERE DISCHARGE ON THE STORM SEWER IS NOT POSSIBLE AND A SWIMMING POOL IS CONNECTED TO THE SANITARY SEWER SYSTEM FOR THE PURPOSES OF DRAINING OR FLUSHING THE POOL FOUNDATION OR BACKWASHING THE FILTERS, THE DRAINAGE SYSTEM SHALL BE EQUIPPED WITH A PUMP OR FLOW RESTRICTURE SO THAT THE DISCHARGE RATE TO THE SANITARY SEWER DOES NOT EXCEED 50 GPM.
 - POTABLE WATER BACKFLOW: ZURN WILKINS MODEL 350A (OR, RALEIGH APPROVED EQUAL)

SANITARY SEWER PIPE TABLE					
PIPE START STRUCTURE	PIPE END STRUCTURE	DIAMETER	LENGTH	SLOPE	MATERIAL
CO-01	CO-02	6"	46'	1.02%	PVC
CO-02	CO-03	6"	53'	2.86%	PVC
CO-03	CO-04	6"	66'	1.05%	PVC
CO-04	EX. CO	6"	131'	1.00%	PVC

SANITARY SEWER STRUCTURE SCHEDULE				
NO.	STRUCTURE	RIM	INVERT	
CO-01	6" CLEANOUT	382.61	377.47 (6") NE	
CO-02	6" CLEANOUT	382.86	377.00 (6") SW 375.00 (6") NW	
CO-03	6" CLEANOUT	381.02	373.50 (6") SE 371.50 (6") N	
CO-04	6" CLEANOUT	378.67	370.81 (6") S 370.81 (6") NE	
EX. CO	EXISTING CLEANOUT	378.79	369.50 (6") SW	

UTILITY CROSSING SCHEDULE				
NO.	UTILITY	ELEVATIONS	DIFF.	FG ELEVATION
1	STORM SEWER (BOTTOM OF PIPE)	376.9	1.4	382.90
	SANITARY SEWER (TOP OF PIPE)	375.5		
2	STORM SEWER (BOTTOM OF PIPE)	377.1	1.5	382.52
	WATER MAIN (TOP OF PIPE)	375.6		
3	STORM SEWER (BOTTOM OF PIPE)	374.6	2.7	380.43
	SANITARY SEWER (TOP OF PIPE)	371.9		
4	STORM SEWER (BOTTOM OF PIPE)	374.9	1.5	380.40
	WATER MAIN (TOP OF PIPE)	373.4		
5	STORM SEWER (BOTTOM OF PIPE)	376.3	4.5	379.22
	SANITARY SEWER (TOP OF PIPE)	371.7		
6	STORM SEWER (PROPOSED) (BOTTOM OF PIPE)	376.5	2.7	382.05
	STORM SEWER (EXISTING) (TOP OF PIPE)	373.8		
7	STORM SEWER (PROPOSED) (BOTTOM OF PIPE)	376.9	2.90	381.84
	STORM SEWER (EXISTING) (TOP OF PIPE)	374.0		

ATTENTION CONTRACTORS

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and schedule a Pre-construction meeting on the Development Portal prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

Public Water Distribution / Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____

Private Sewer Collection / Extension System

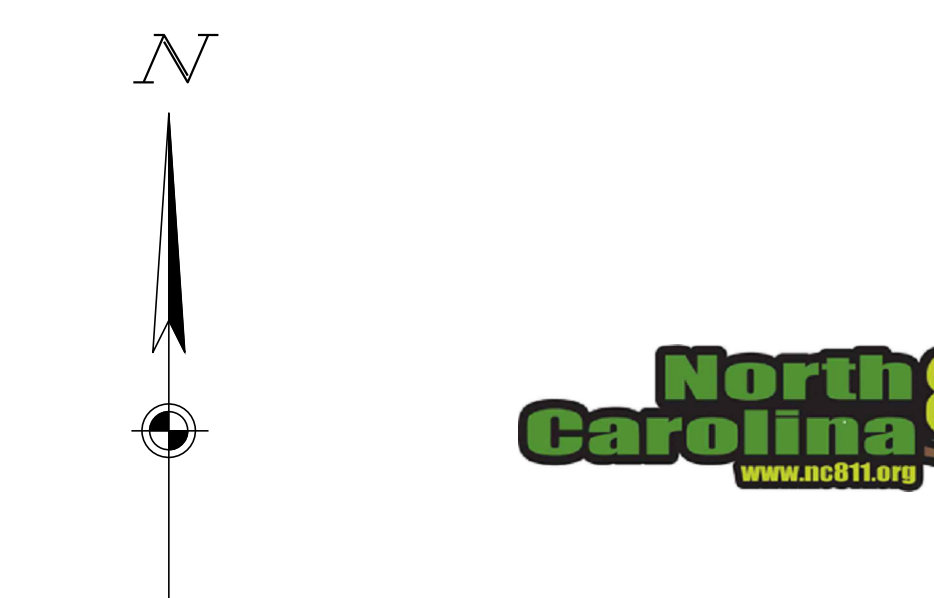
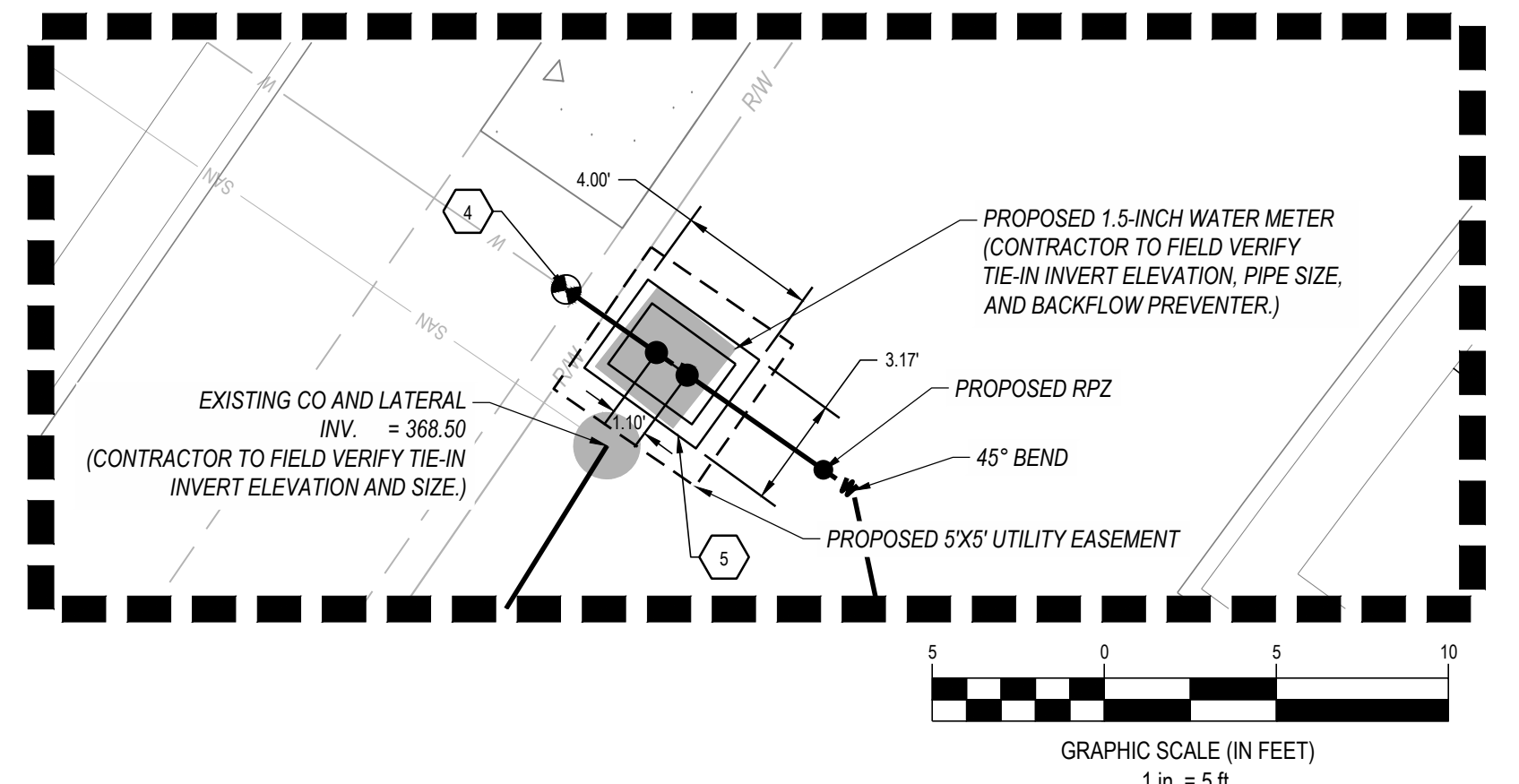
The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____

Public Sewer Collection / Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MAY HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



MERITAGE HOME

KALAS FALLS PHASE 2

AMENITY AND OPEN SPACE

1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

© 2025 CESO, INC.

Project Number: 766740-01 / -02
Scale: AS SHOWN
Drawn By: RM
Checked By: CG
Date: 10/31/2025
Issue: NOT FOR CONSTRUCTION

Drawing Title:
UTILITY PLAN
AMENITY AREA

C6.0



CESO
 WWW.CESOINC.COM
 CESO INC. Co.
 4601 Park Road, Suite 650
 Charlotte, NC 28209
 Phone: 937.435.8554



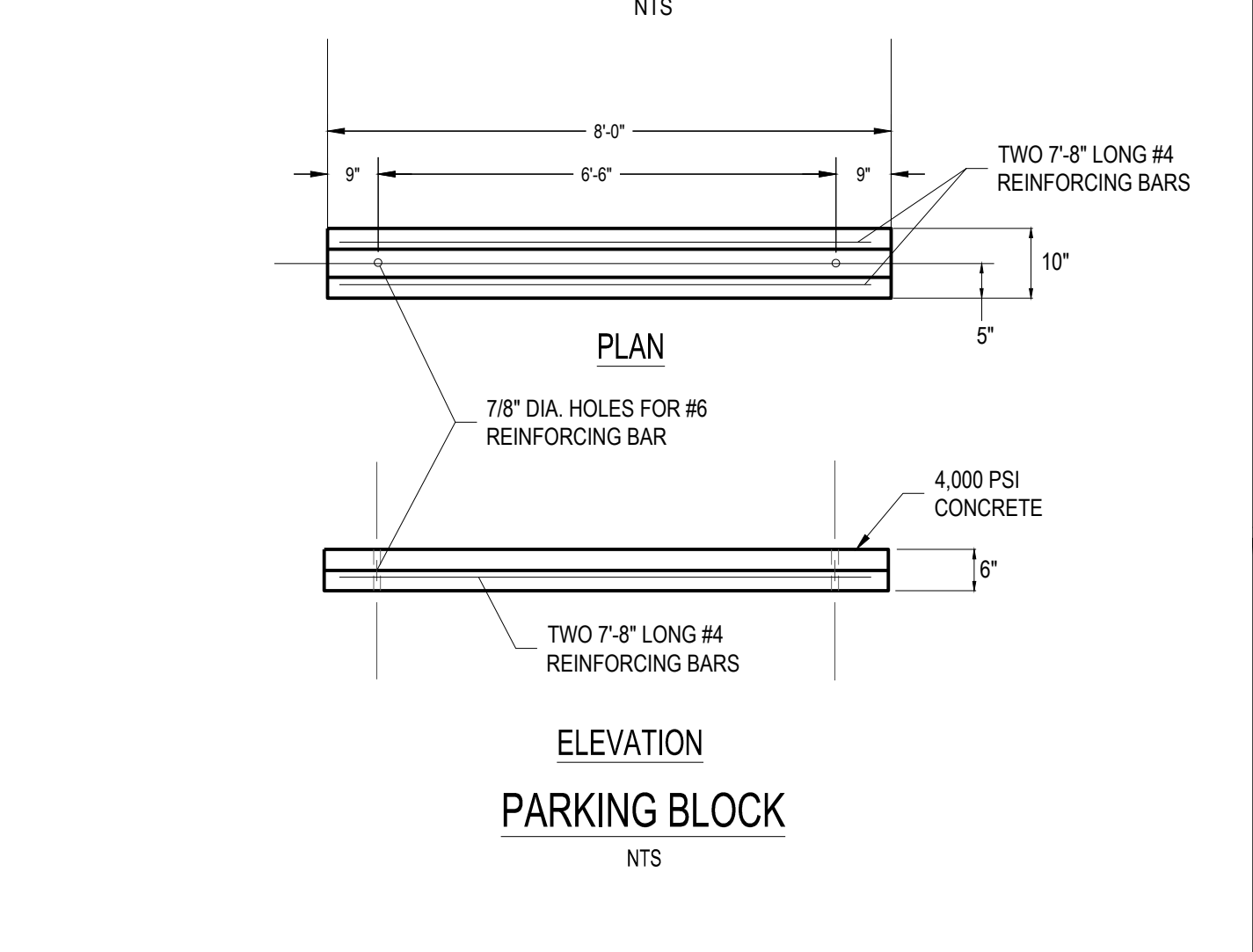
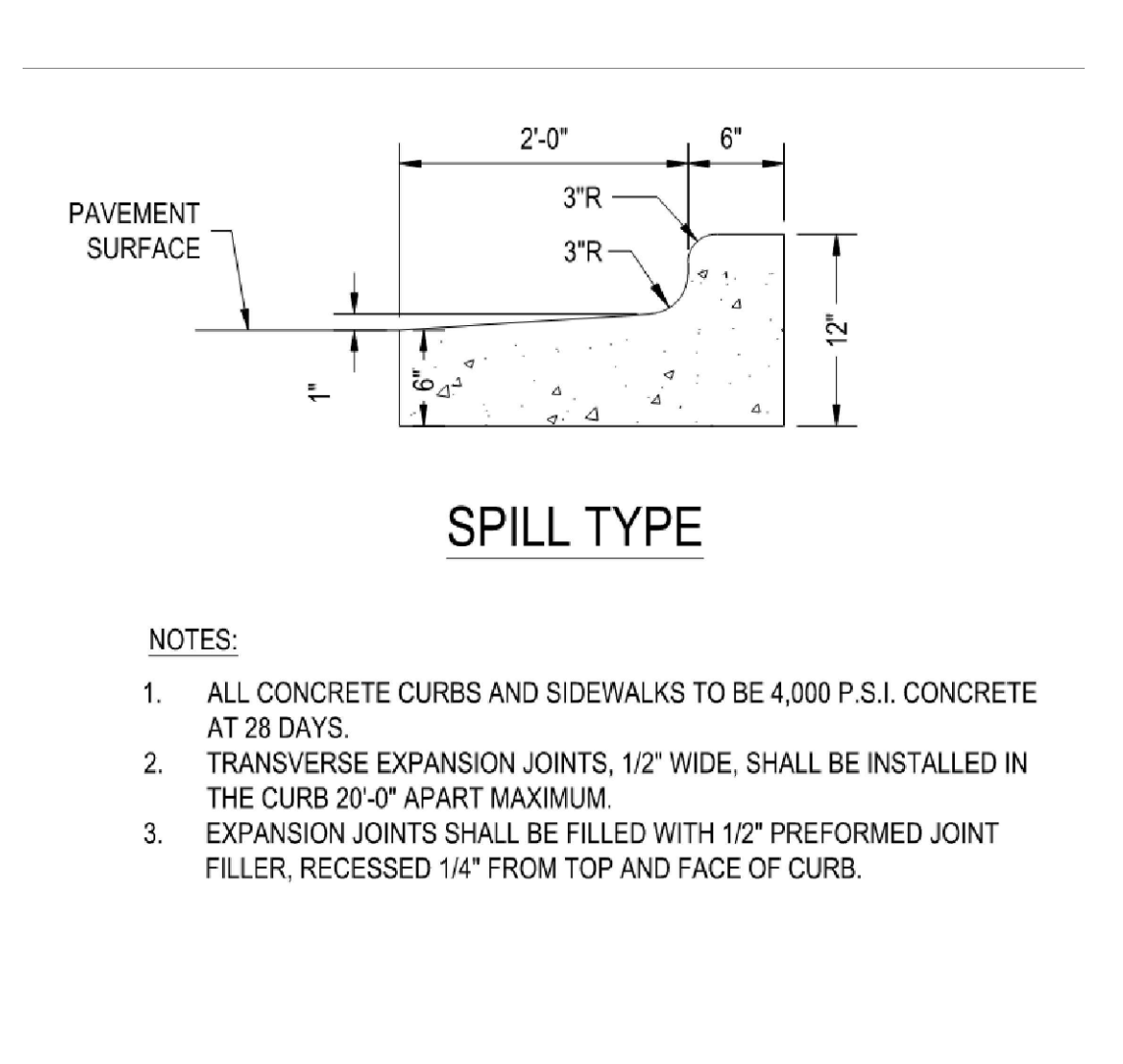
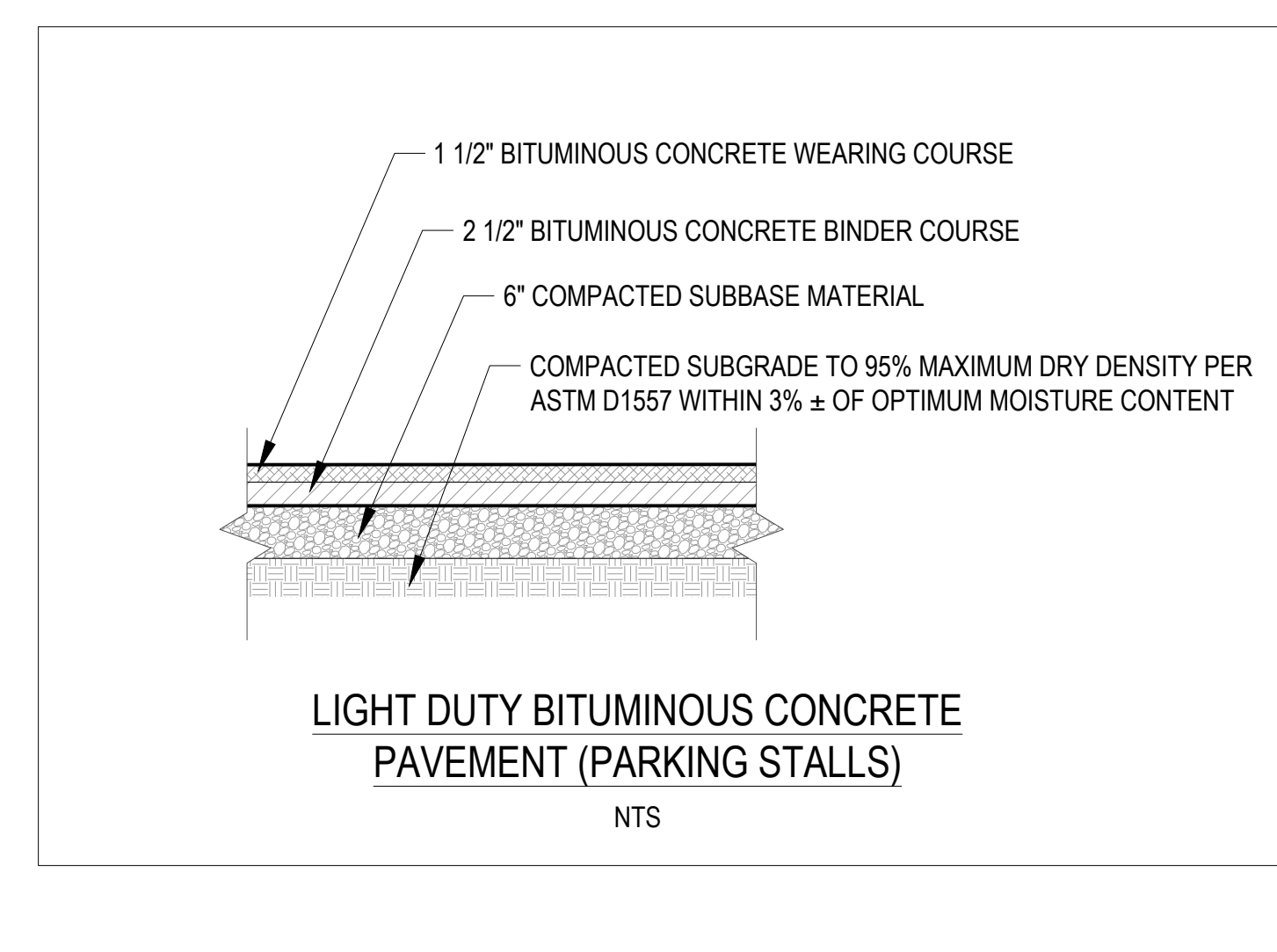
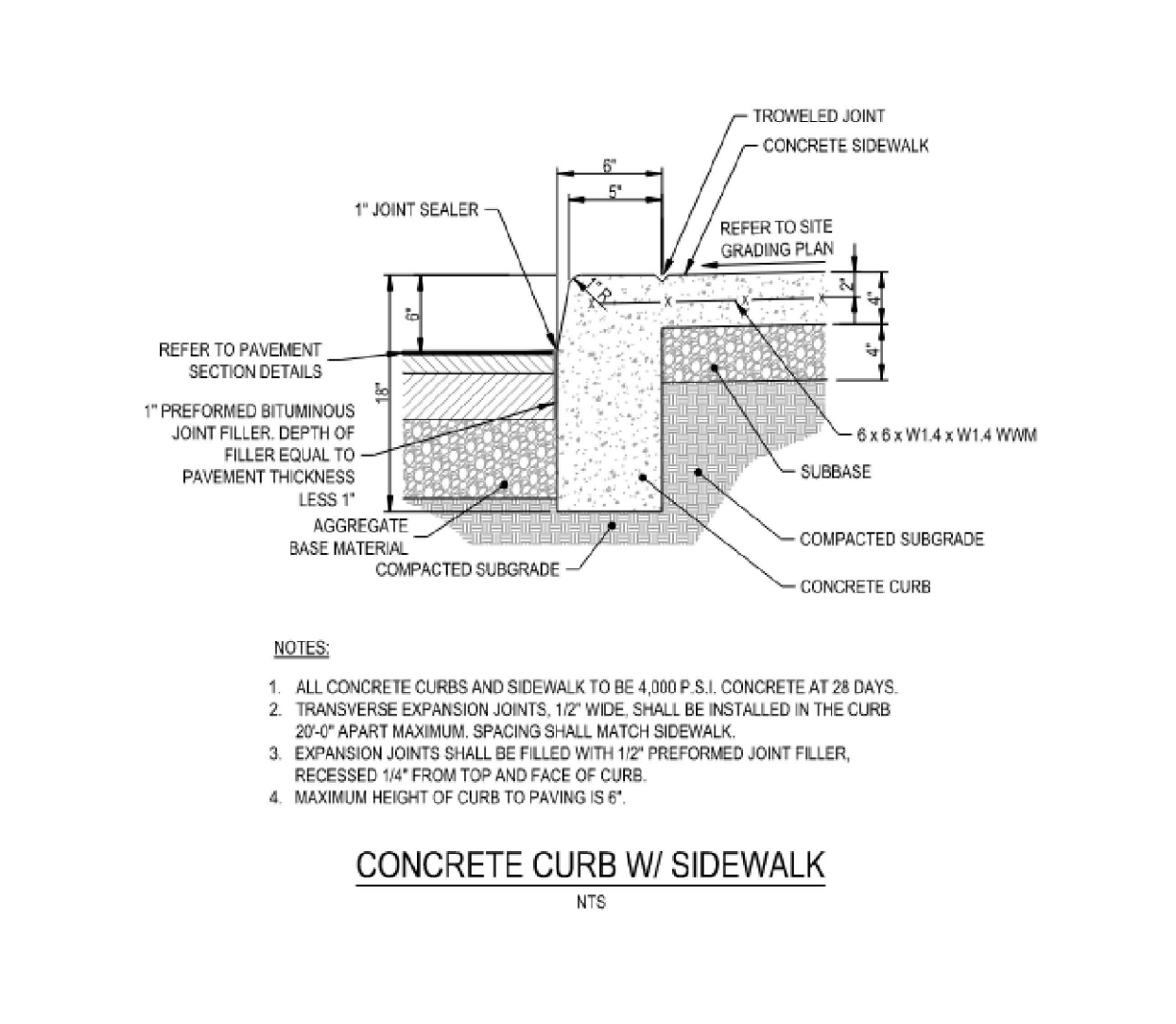
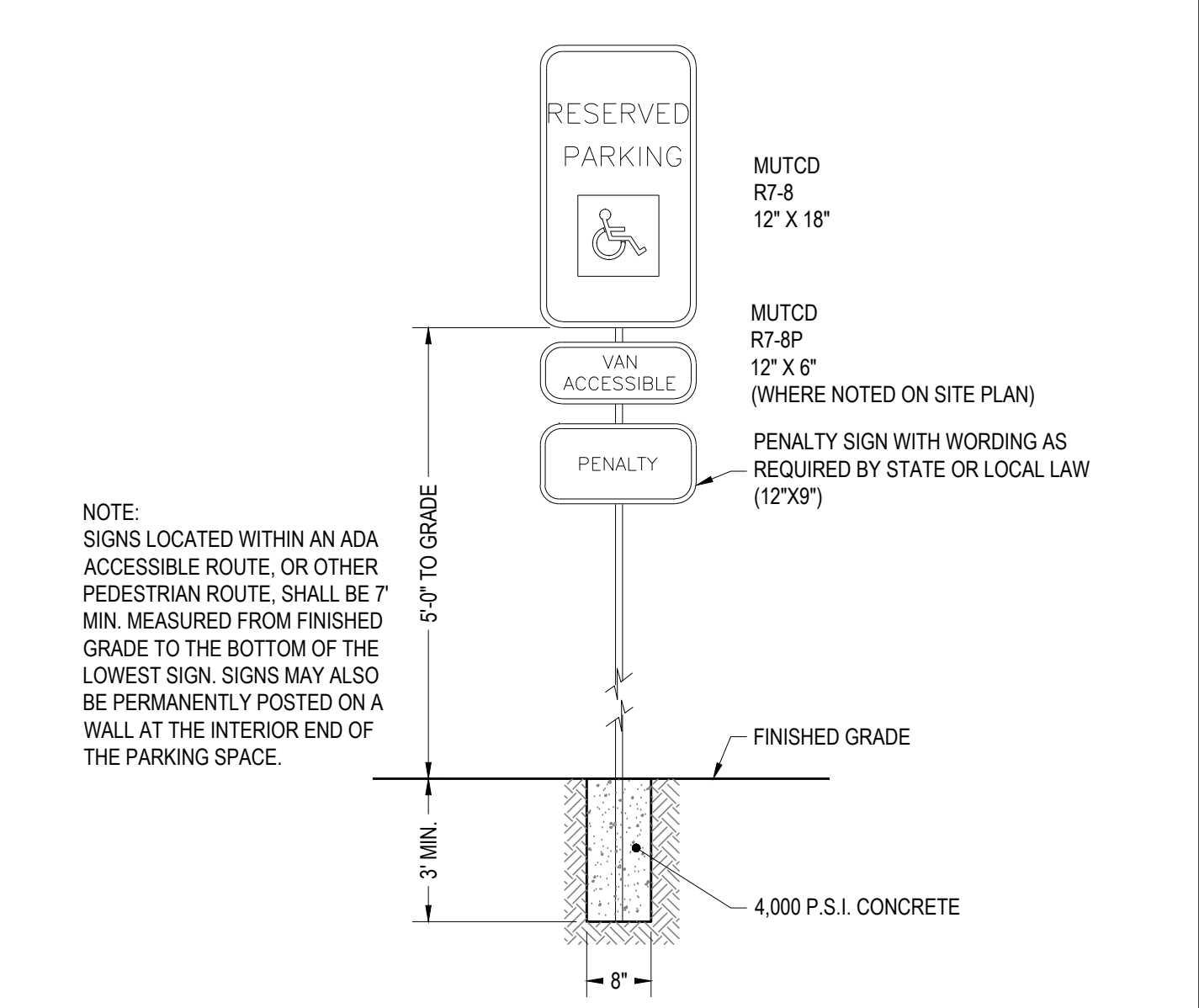
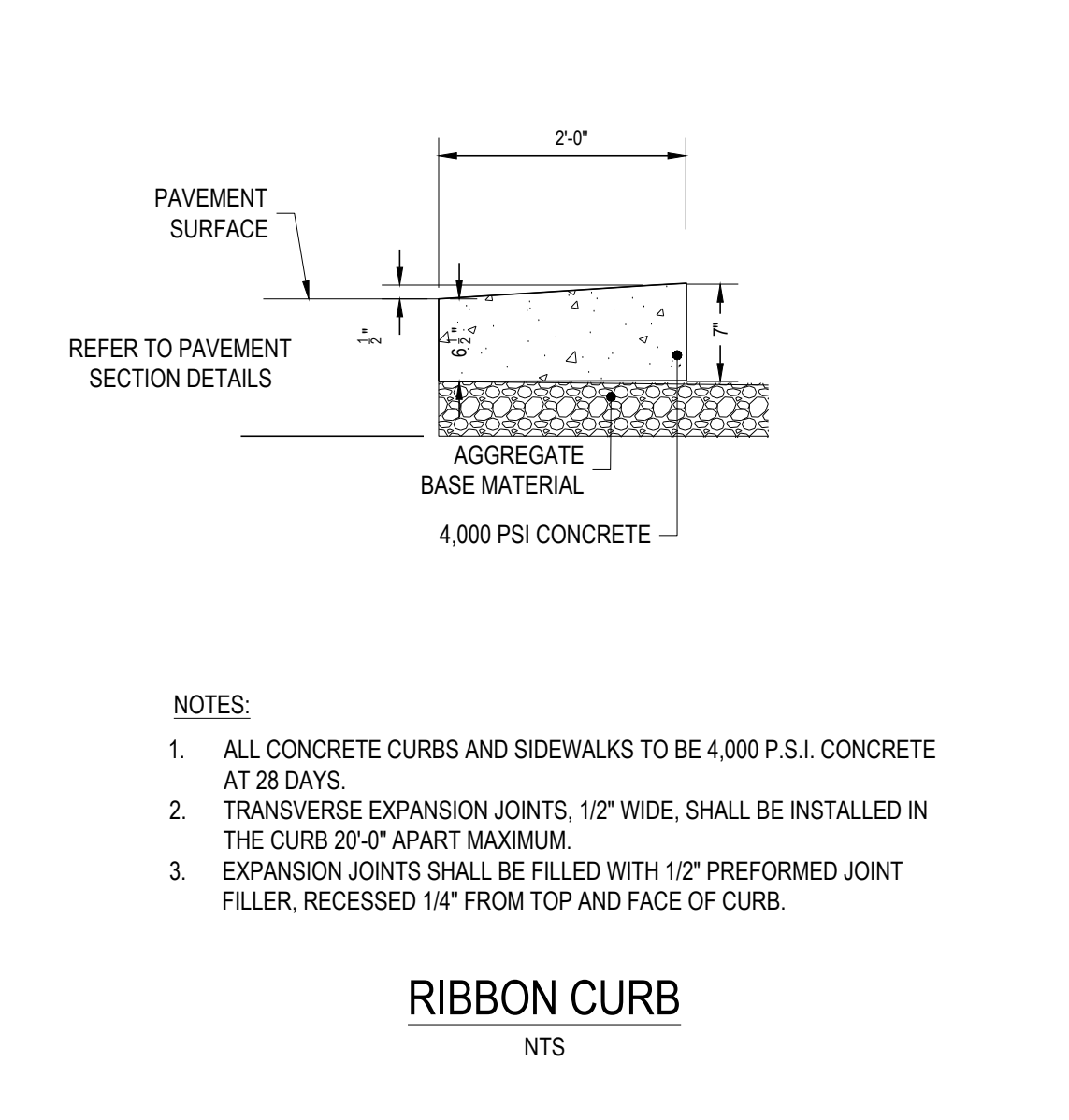
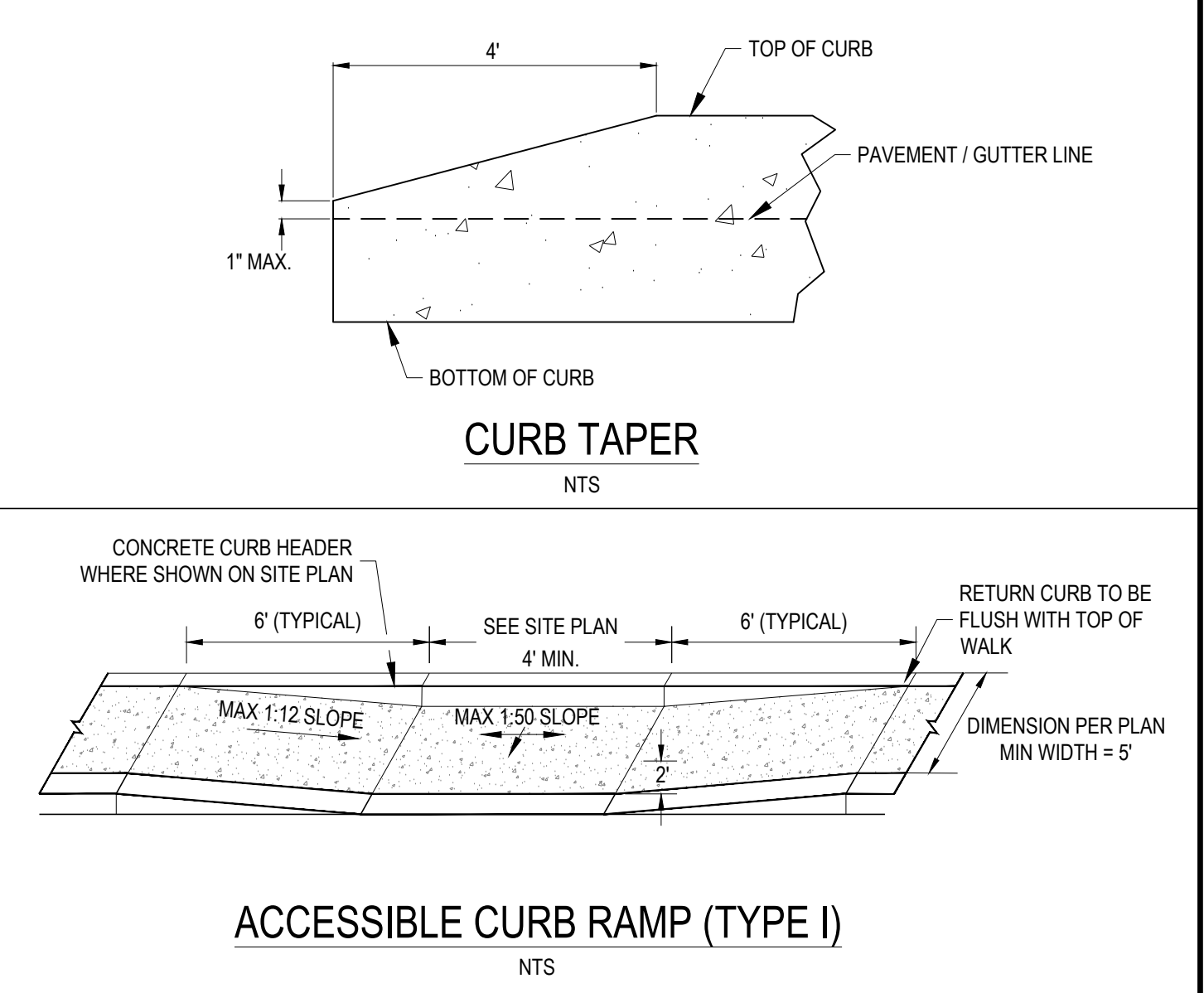
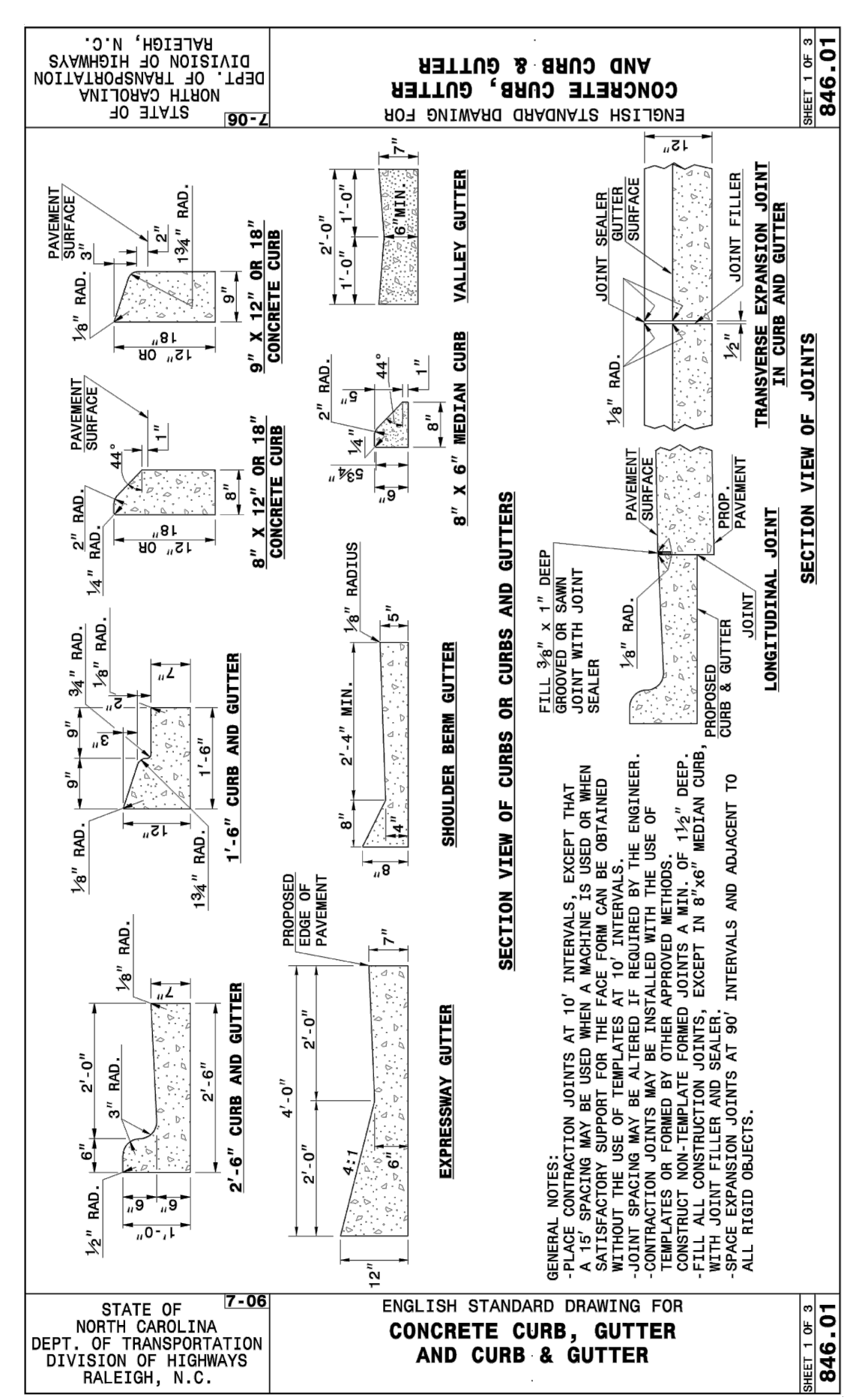
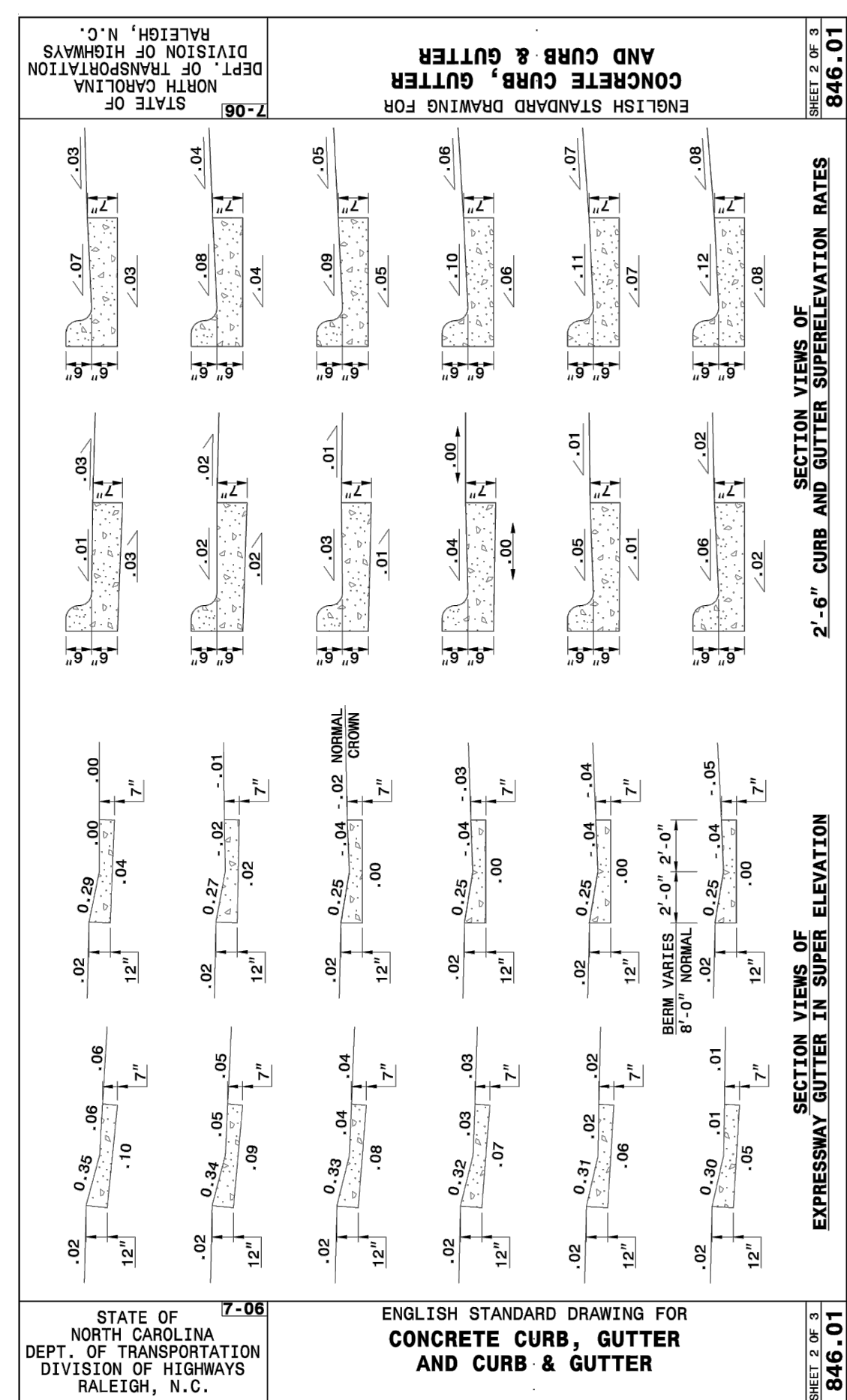
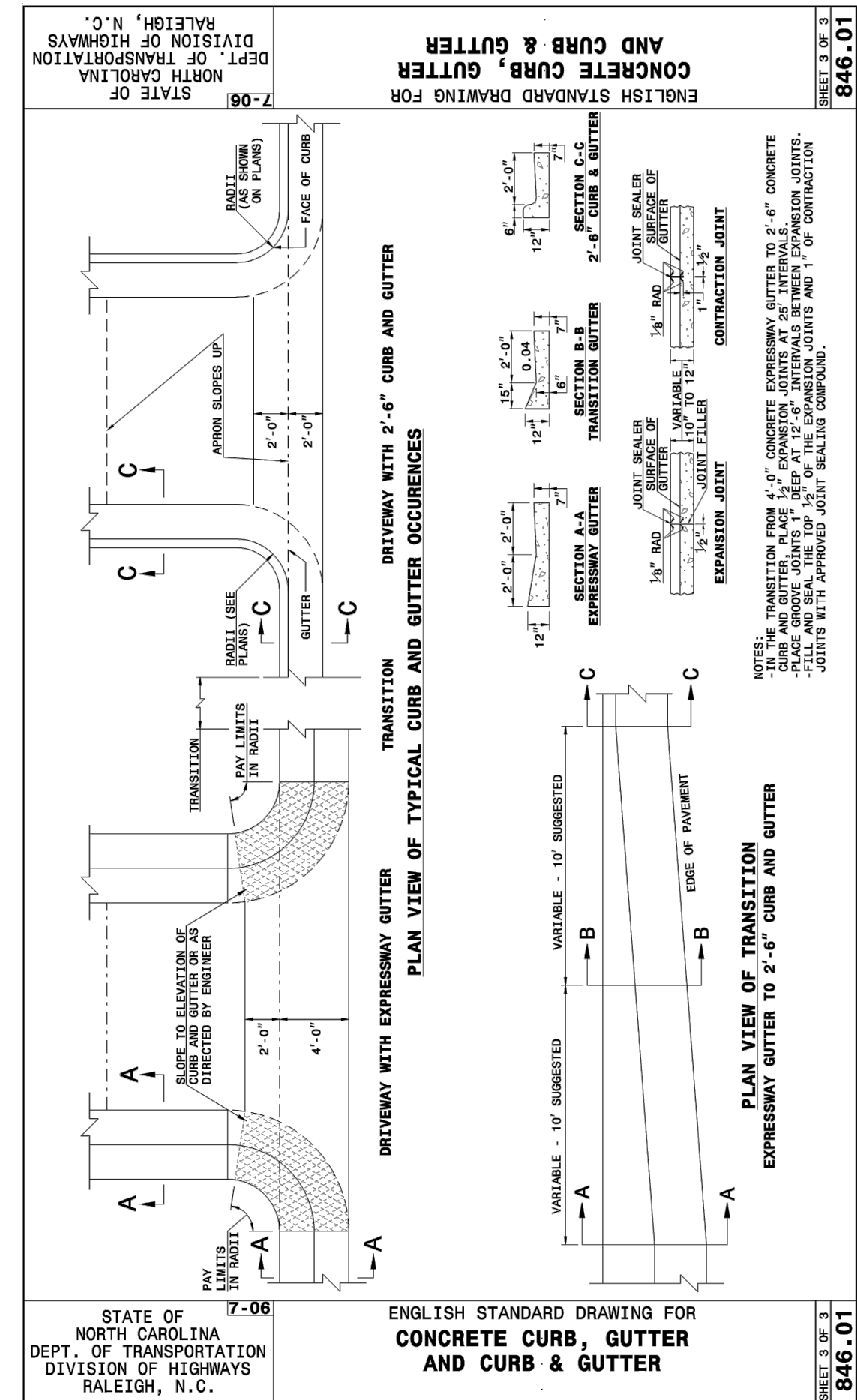
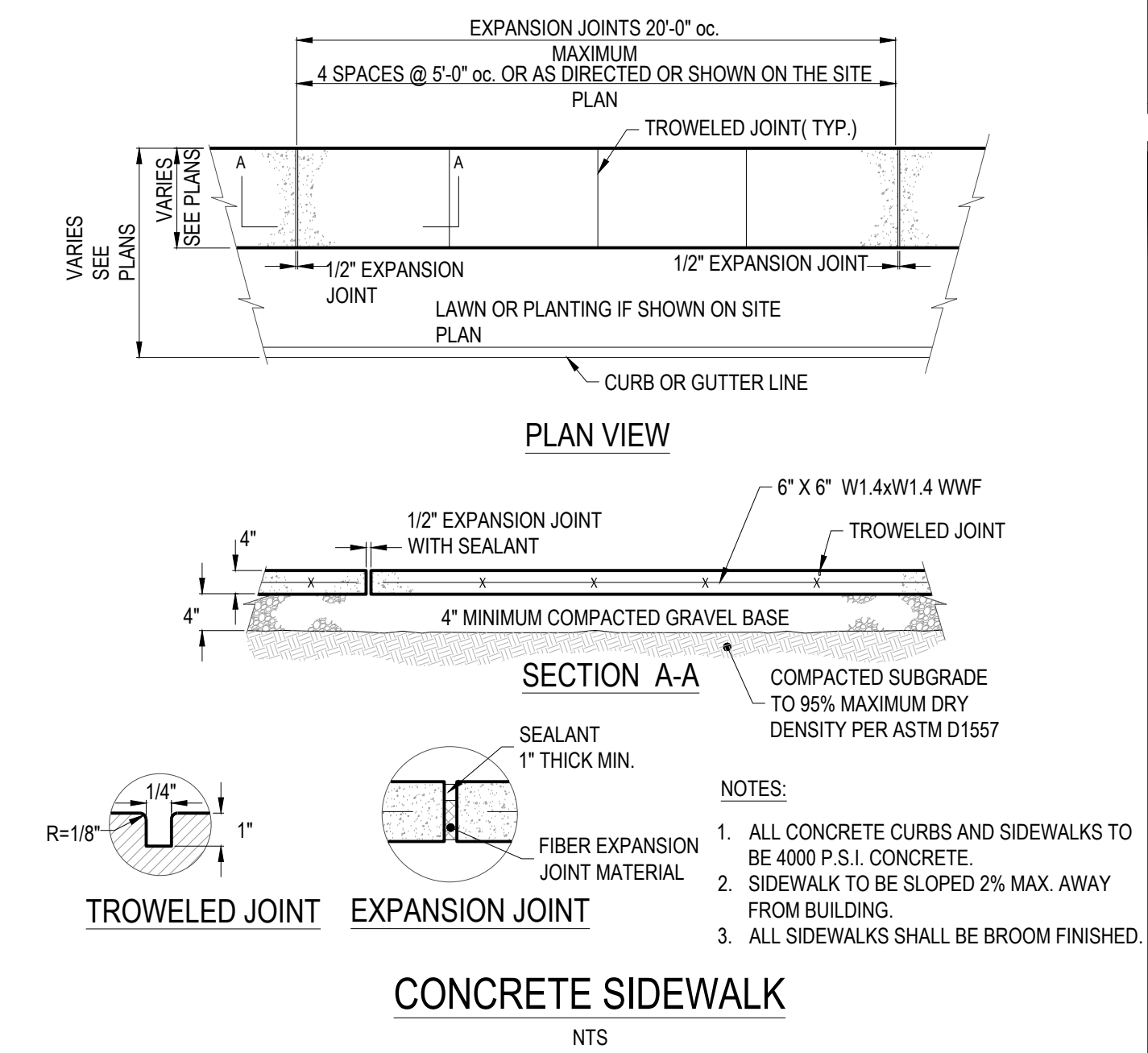
MERITAGE HOME
KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
 1832 ROLESVILLE ROAD,
 WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

© 2025 CESO, INC.
 Project Number: 766740-01 / -02
 Scale: AS SHOWN
 Drawn By: RM
 Checked By: CG
 Date: 10/31/2025
 Issue: NOT FOR CONSTRUCTION

DETAILS PLAN

C7.0





CESO
WWW.CESOINC.COM

CESO NC, Co.
4601 Park Road, Suite 650
Charlotte, NC 28209
Phone: 937.435.8564



02/26/2026

MERITAGE HOME

KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

Revisions / Submissions

ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

© 2025 CESO, INC.

Project Number: 766740-01 / -02

Scale: AS SHOWN

Drawn By: RM

Checked By: CG

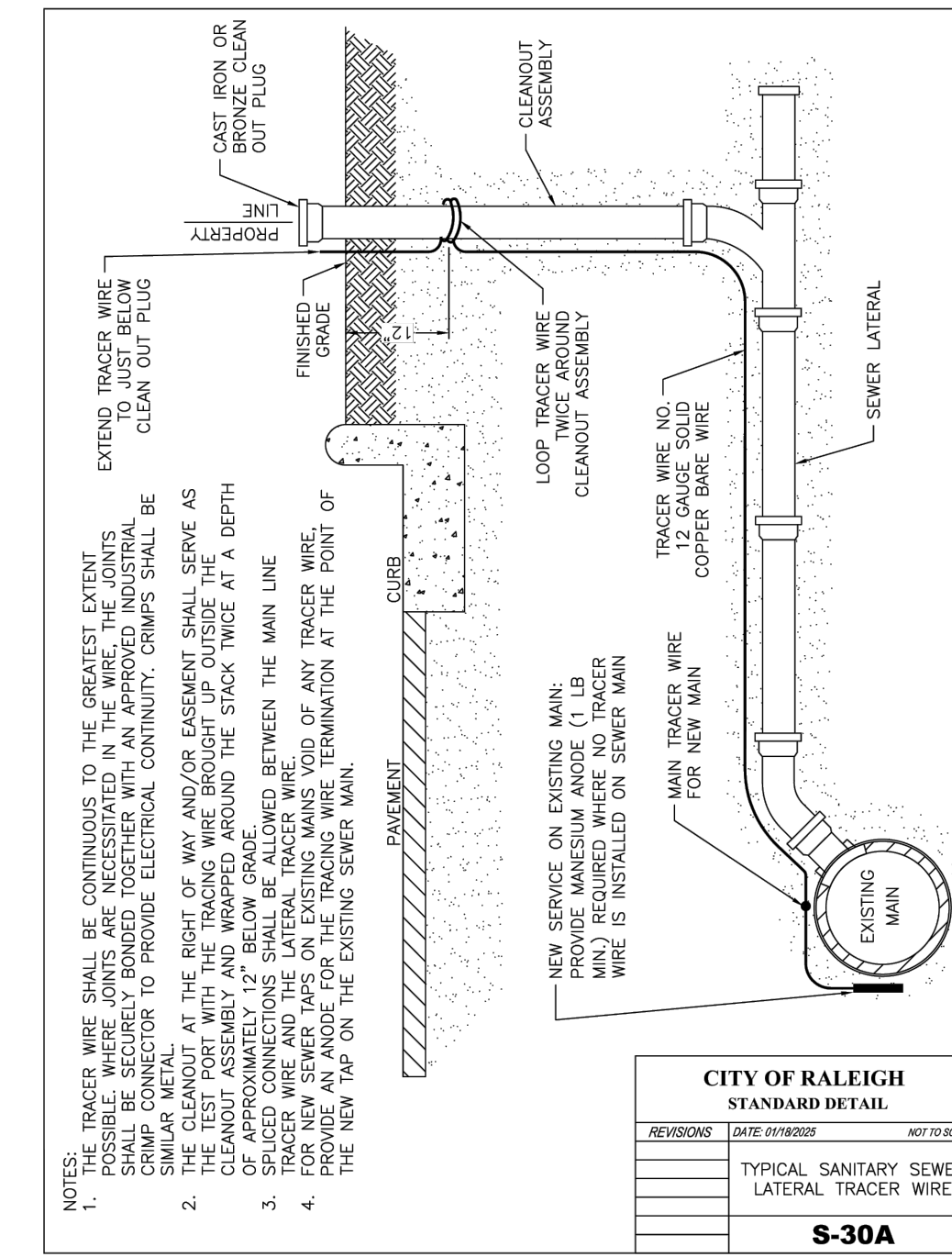
Date: 10/31/2025

Issue: NOT FOR CONSTRUCTION

Drawing Title:

DETAILS PLAN

C7.1

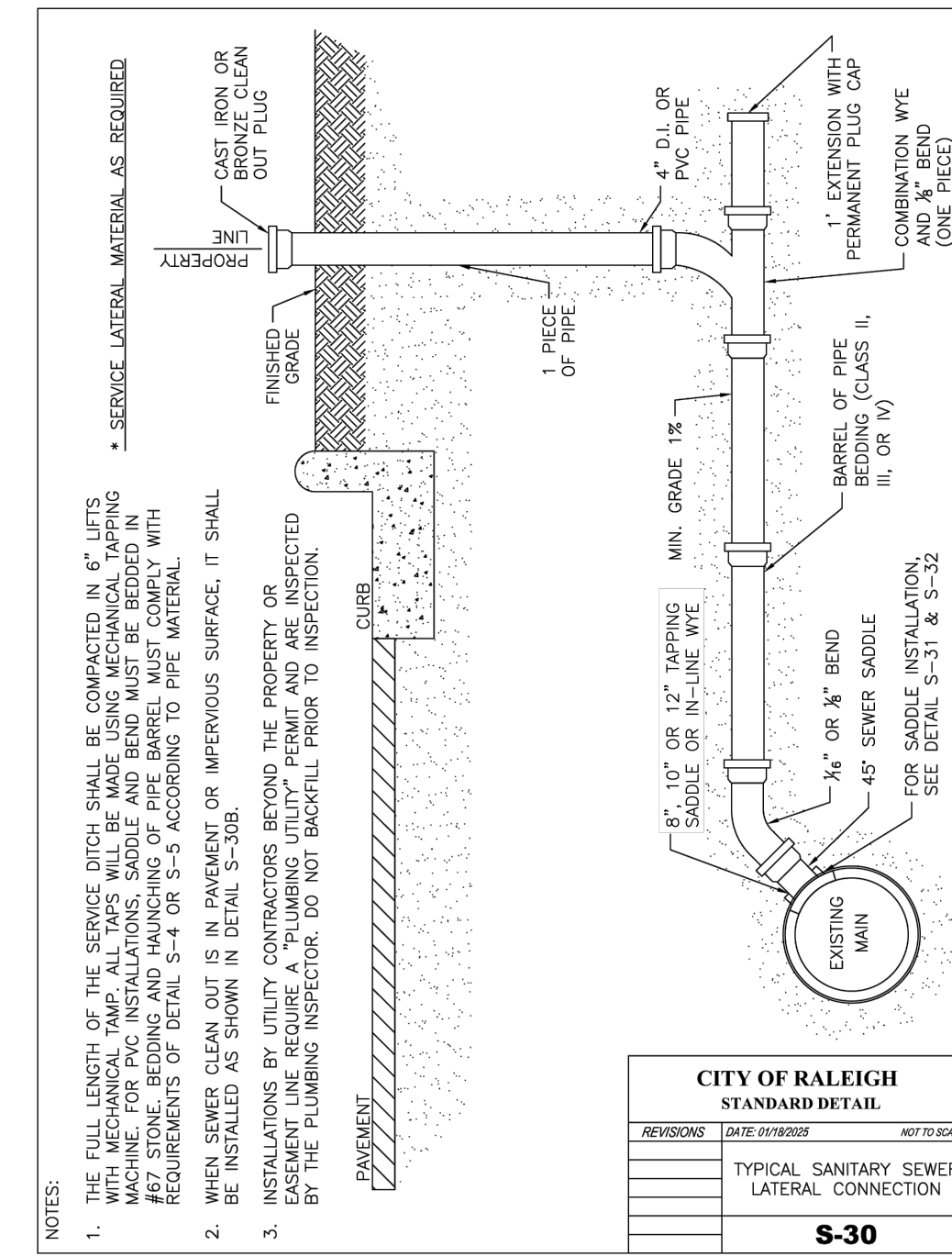


CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

TYPICAL SANITARY SEWER LATERAL TRACER WIRE

S-30A

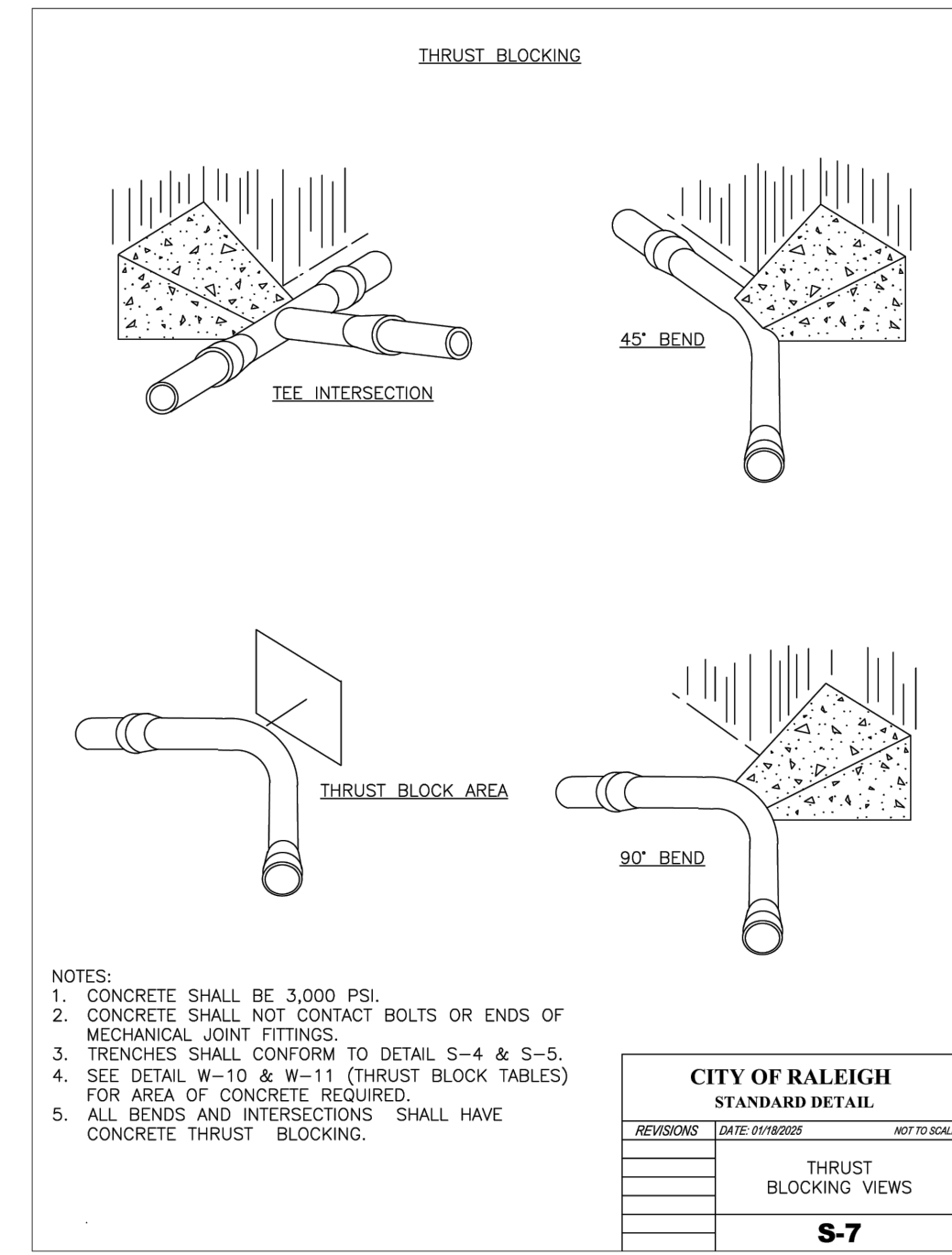


CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

TYPICAL SANITARY SEWER LATERAL CONNECTION

S-30

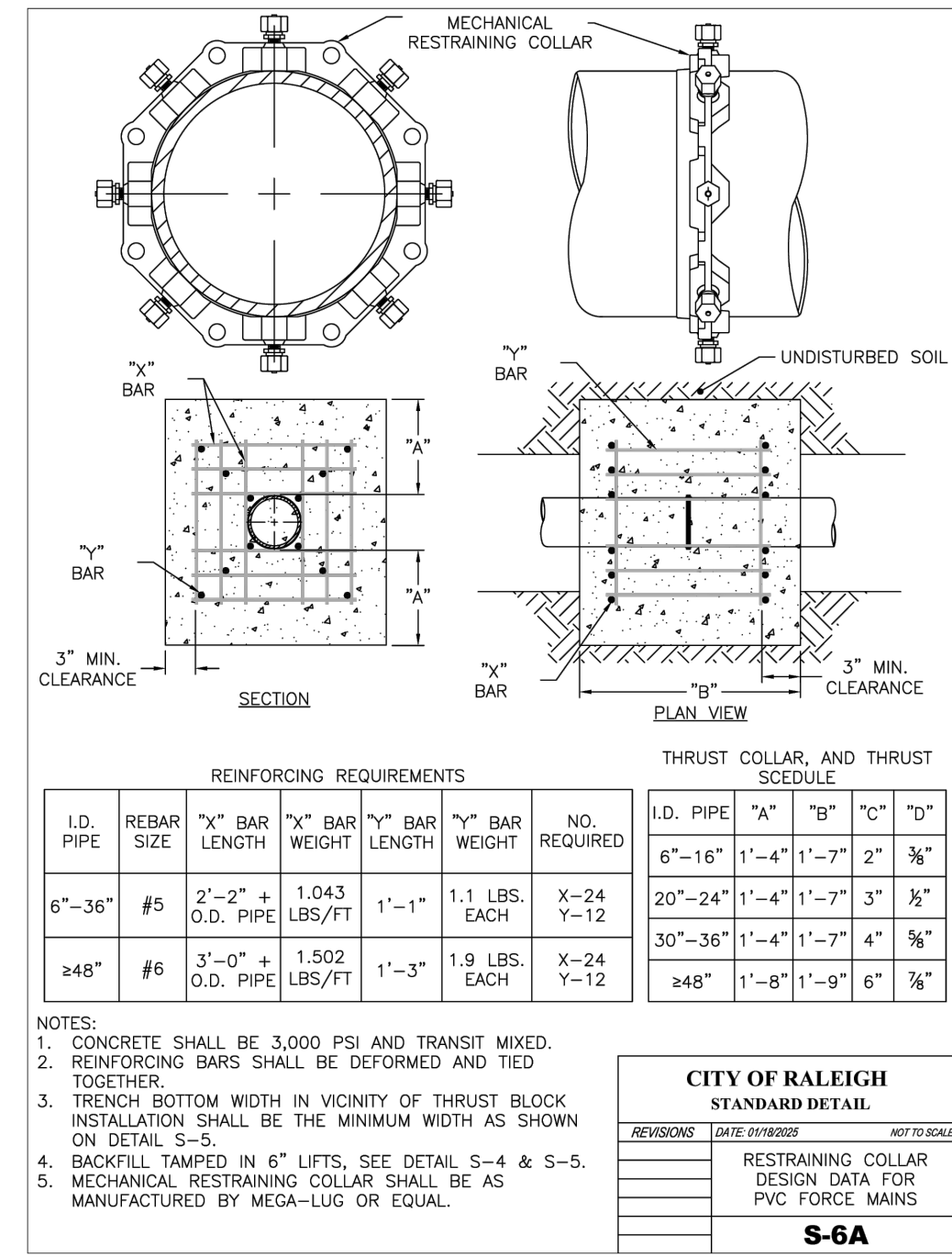


CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

THRUST BLOCKING VIEWS

S-7

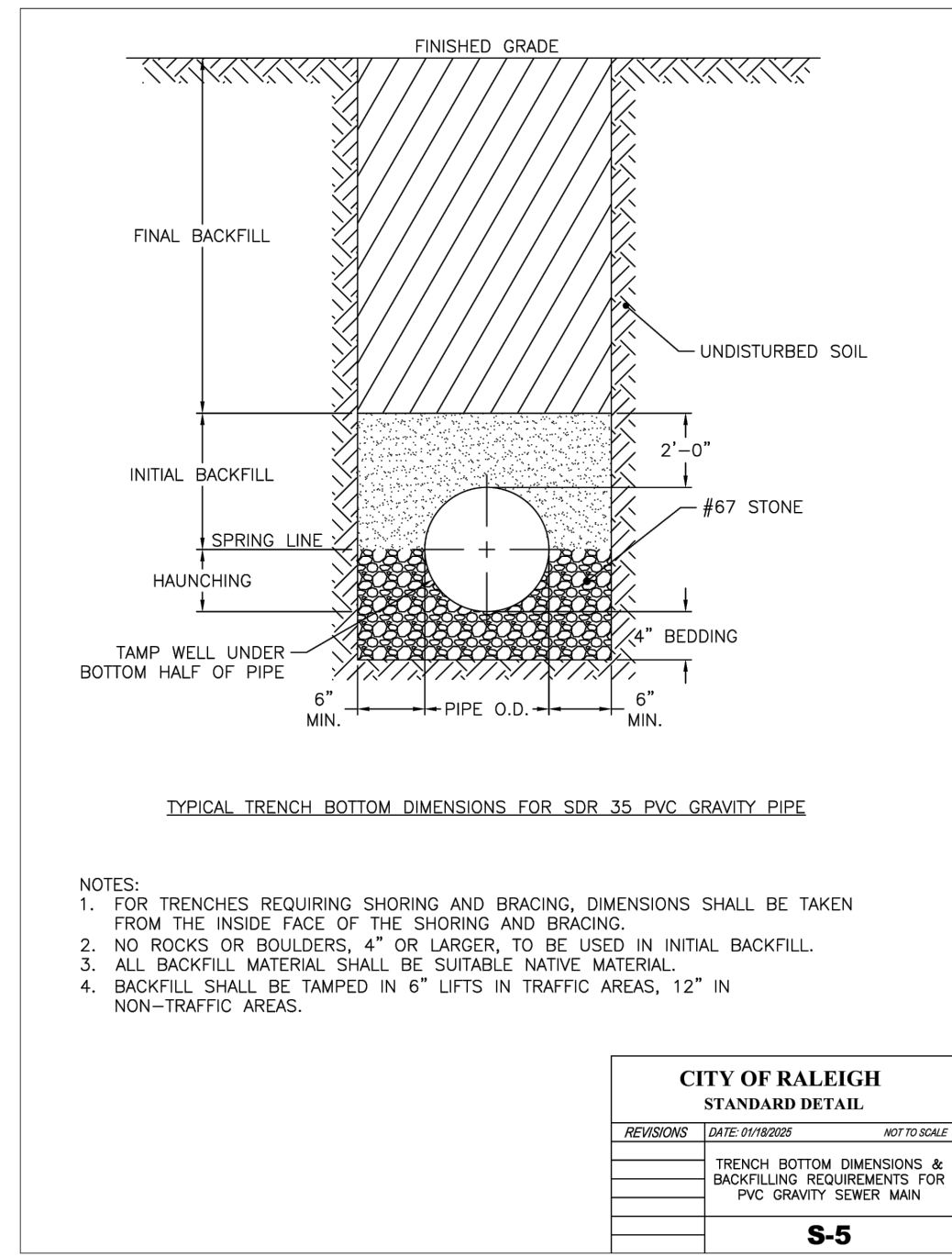


CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

RESTRAINING COLLAR DESIGN DATA FOR PVC GRAVITY MAINS

S-6A

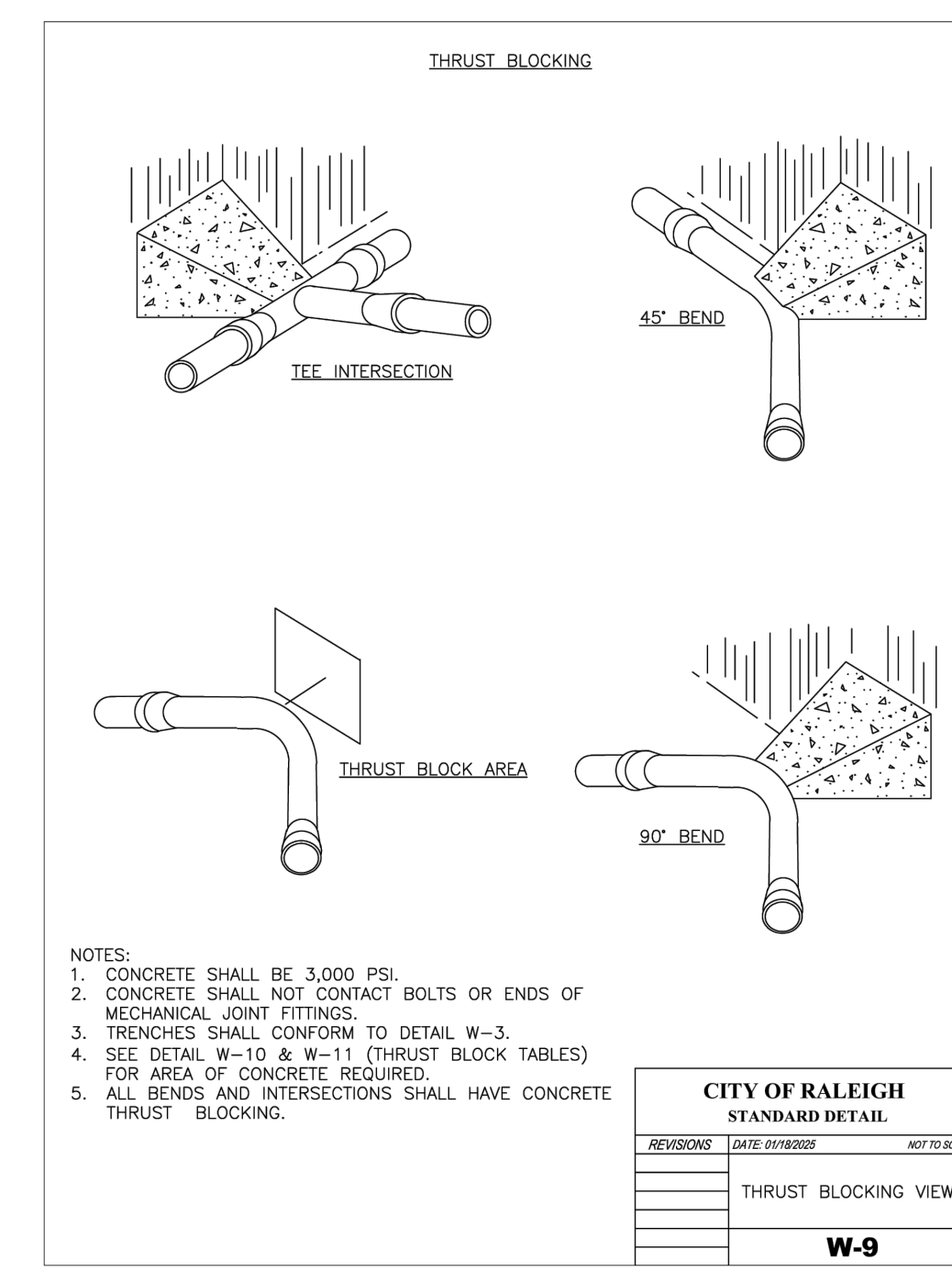


CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

TRENCH BOTTOM DIMENSIONS & BACKFILL REQUIREMENTS FOR PVC GRAVITY SEWER MAIN

S-5

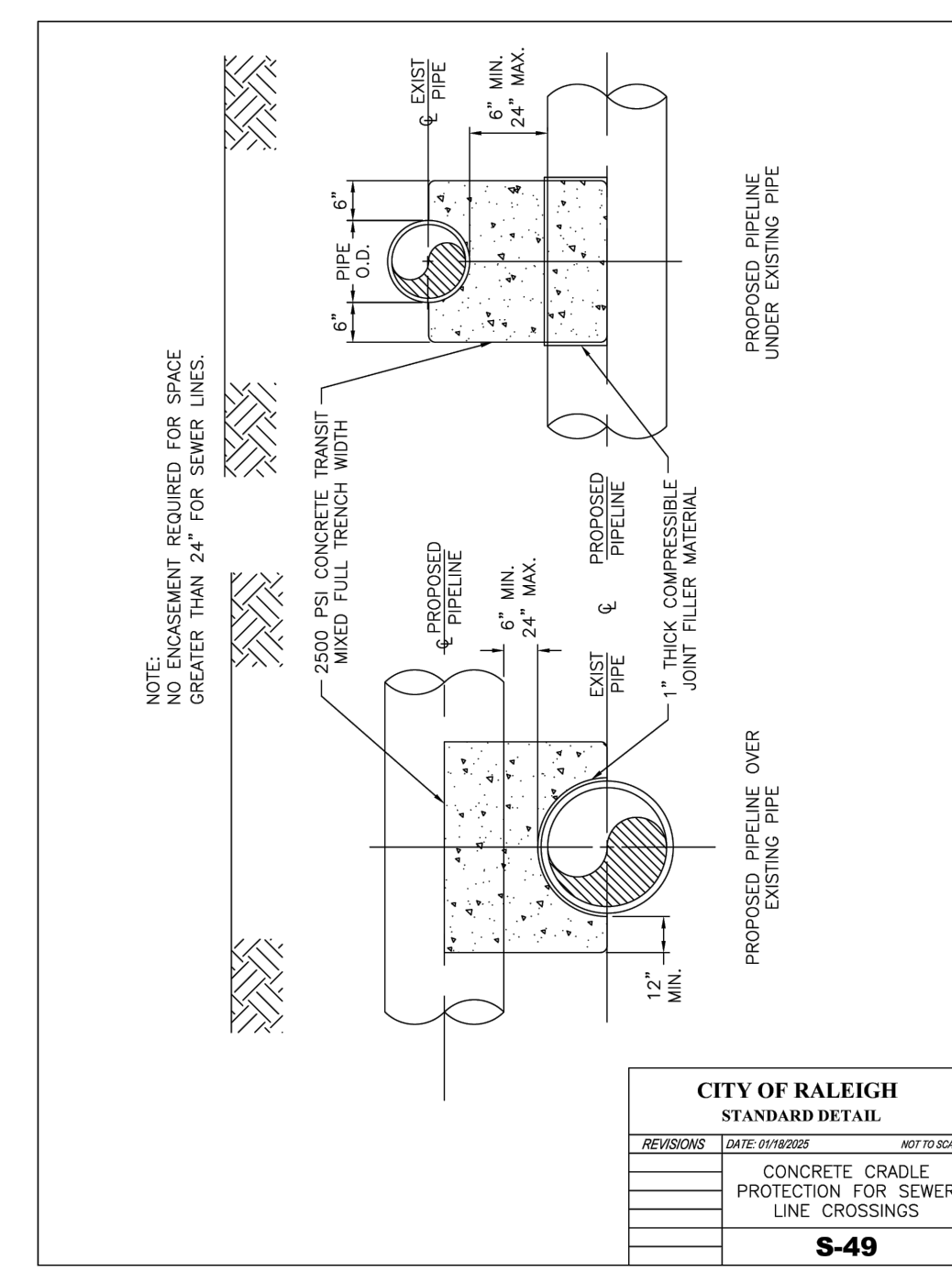


CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

THRUST BLOCKING VIEWS

W-9

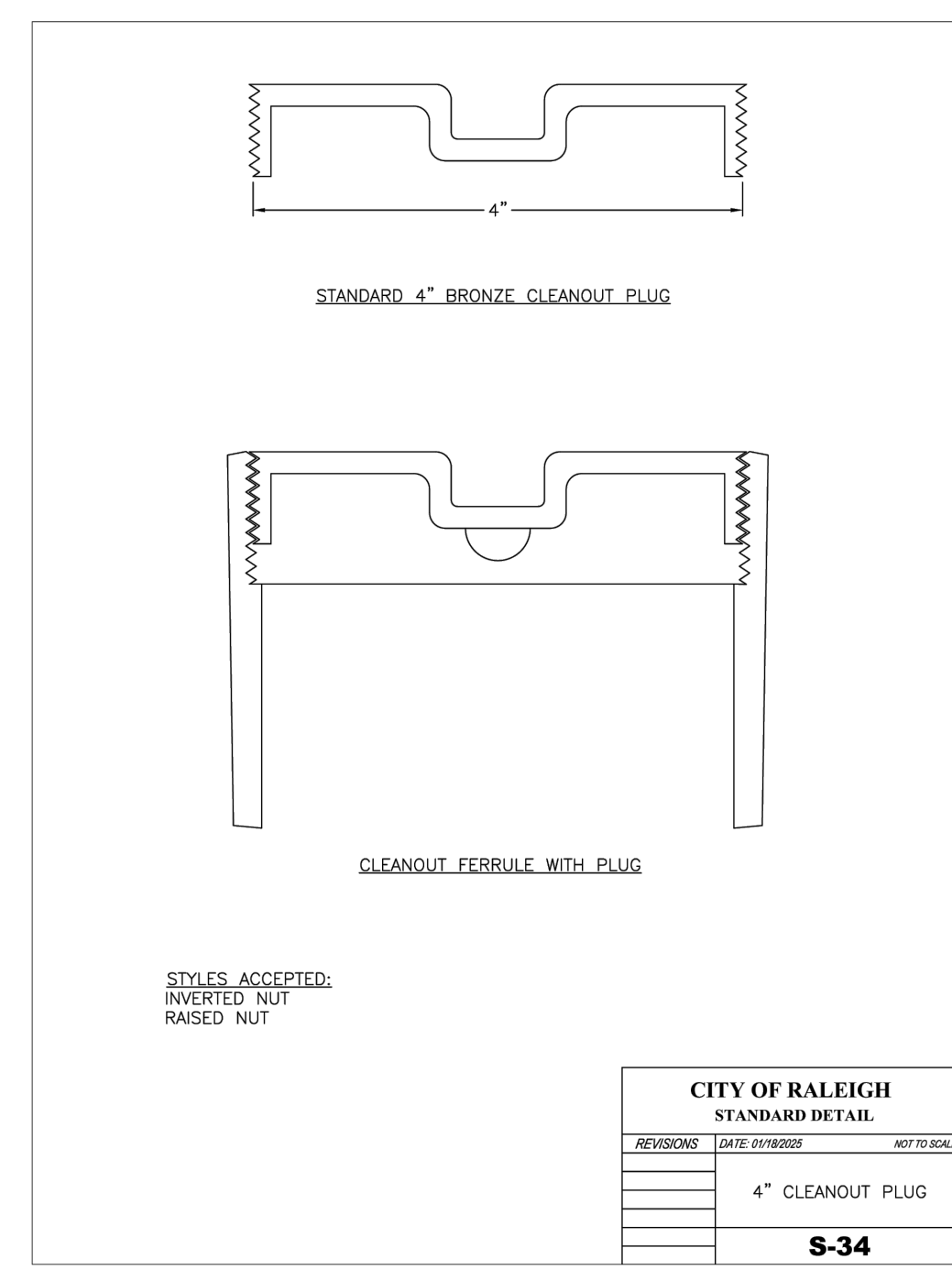


CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

CONCRETE CRADLE PROTECTION FOR SEWER LINE CROSSINGS

S-49

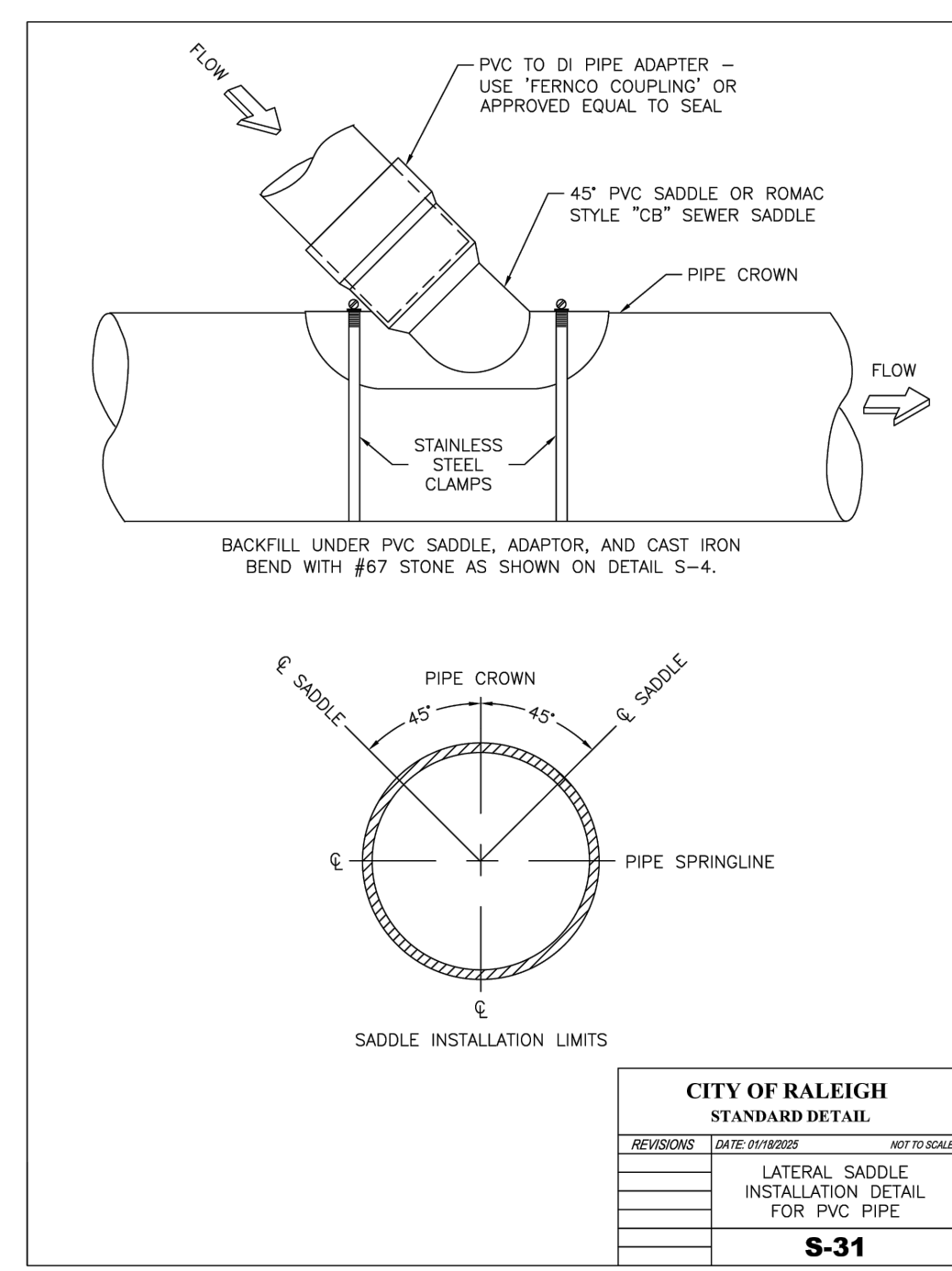


CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

4\"/>

S-34

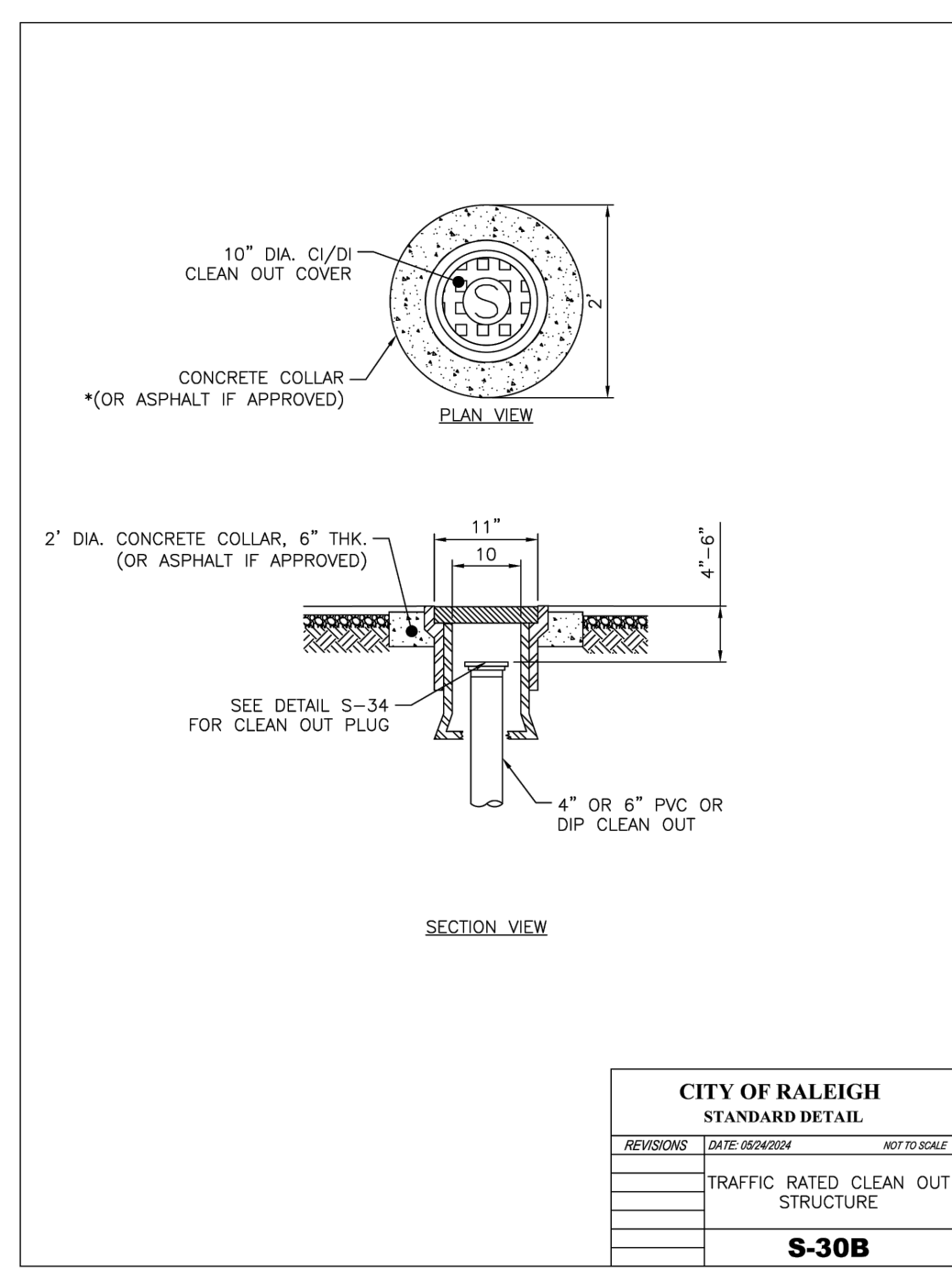


CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE

S-31

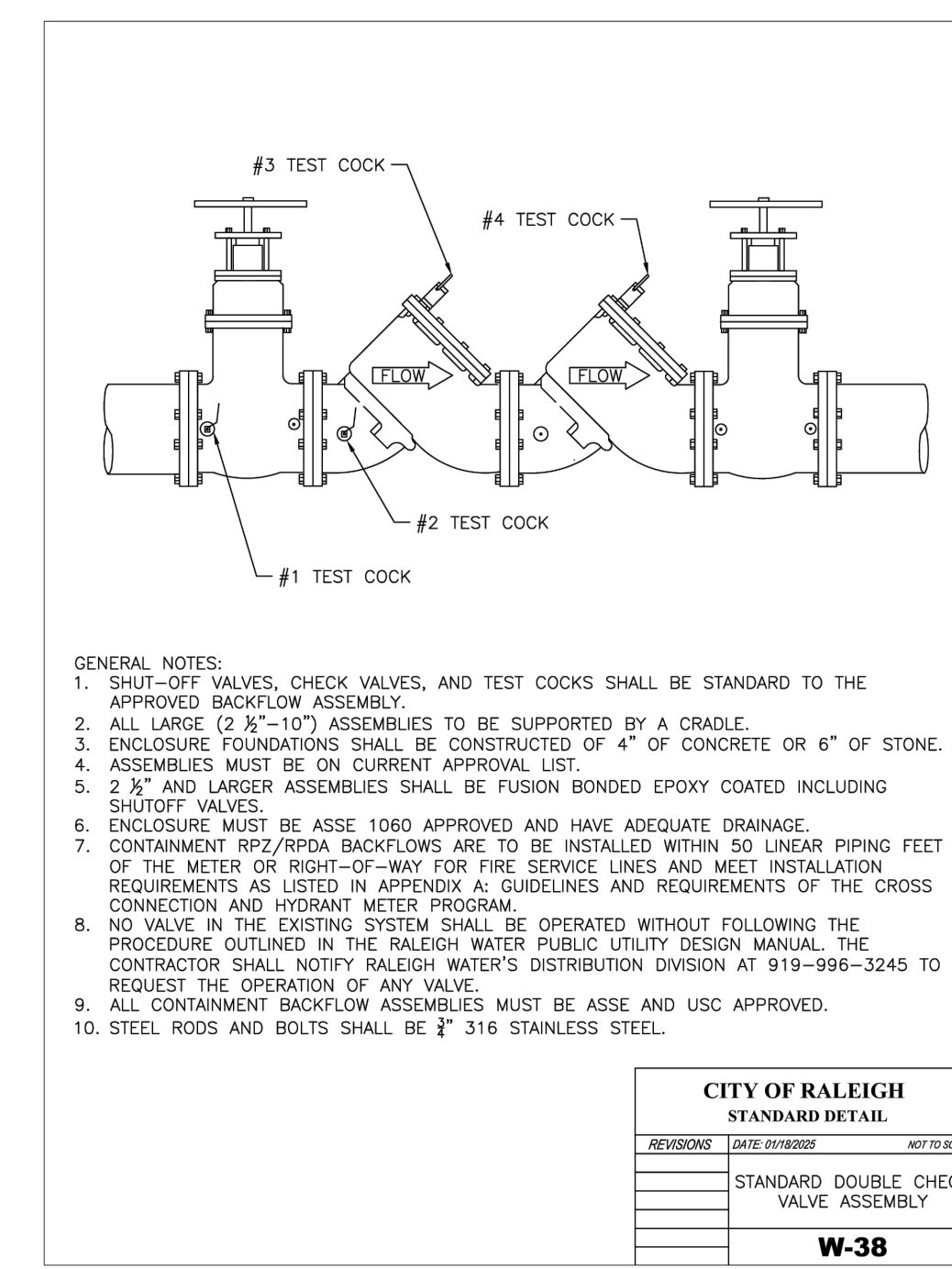


CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

TRAFFIC RATED CLEAN OUT STRUCTURE

S-30B

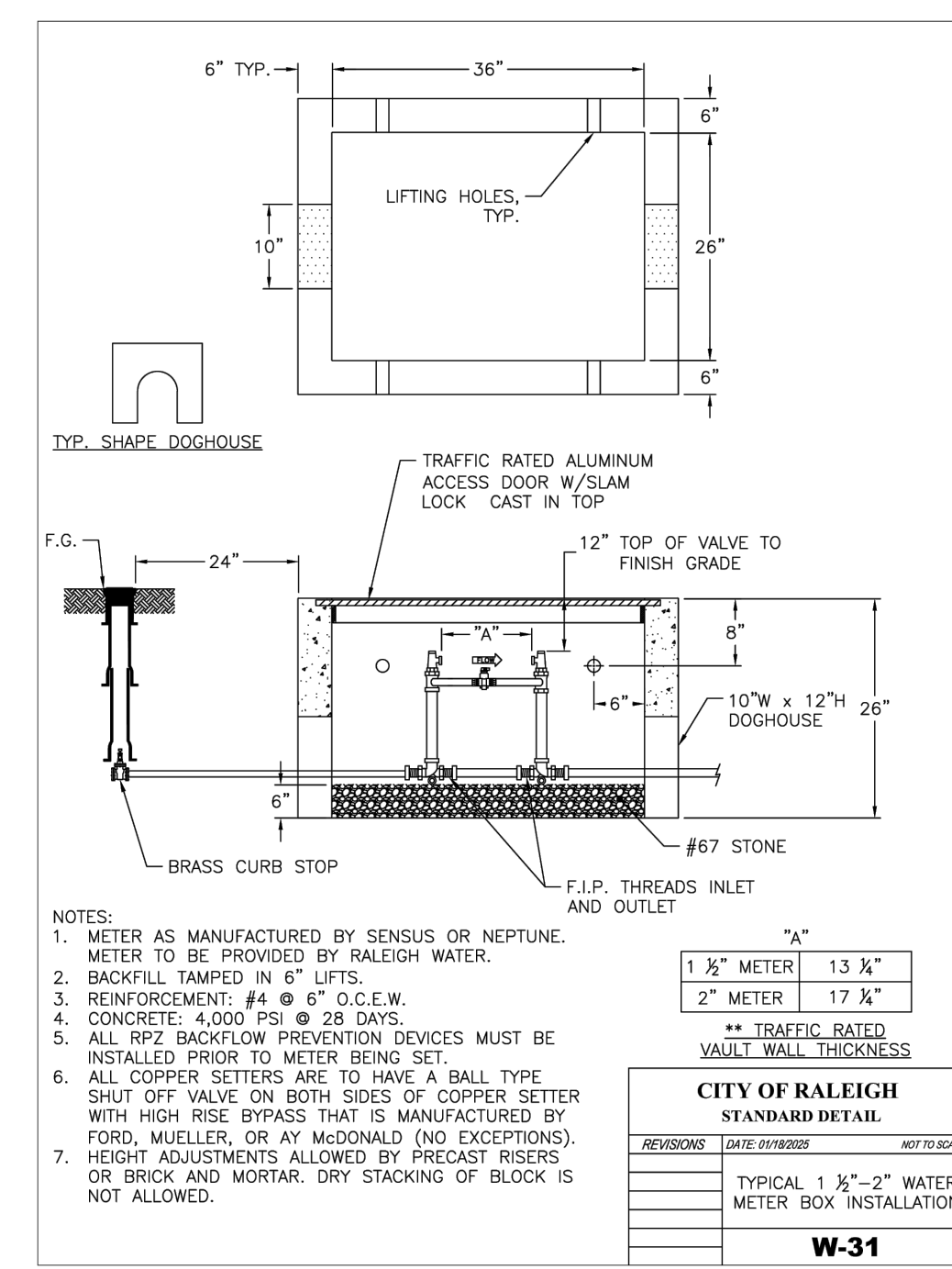


CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

STANDARD DOUBLE CHECK VALVE ASSEMBLY

W-38

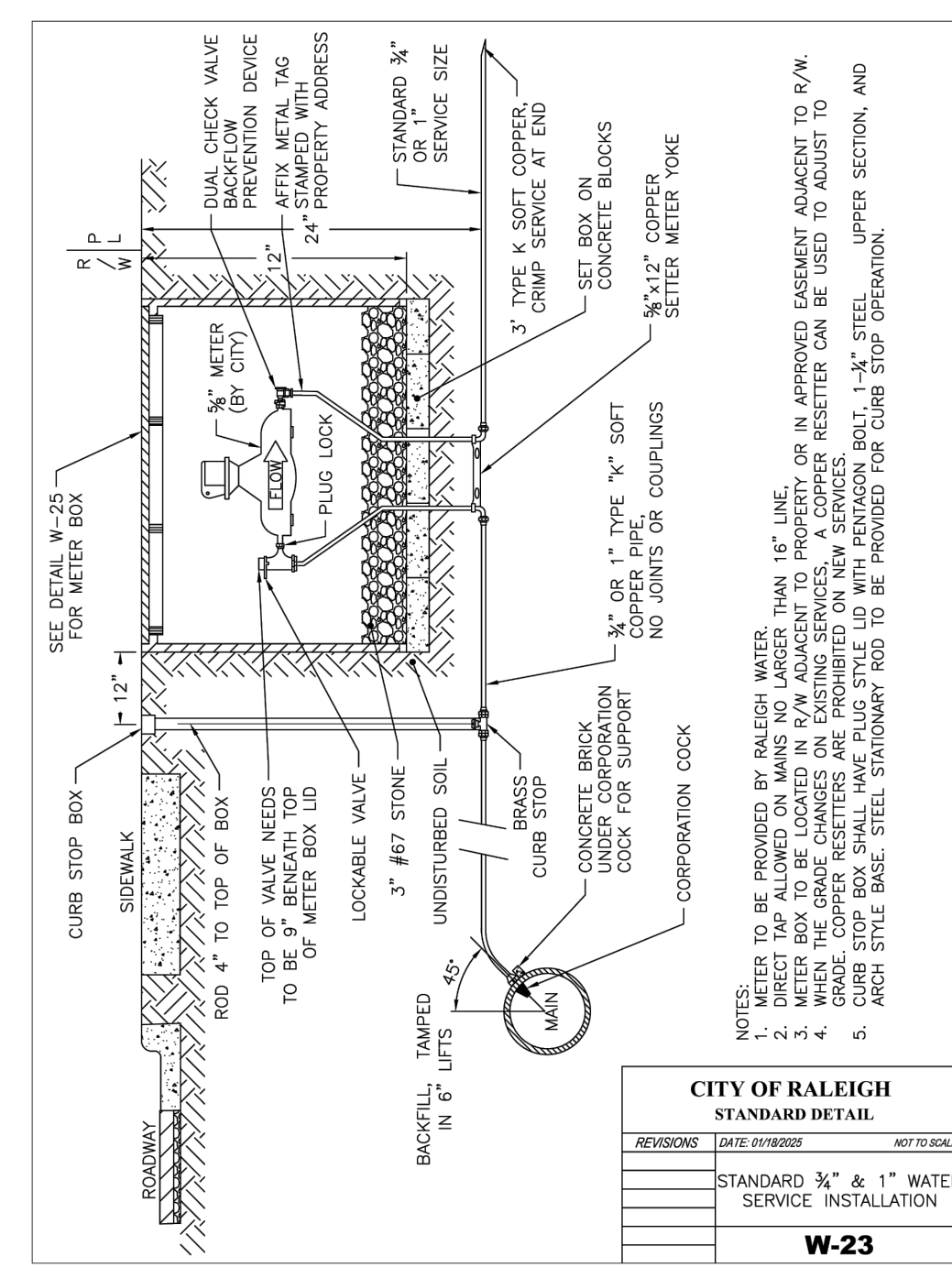


CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

TYPICAL 1 1/2\"/>

W-31

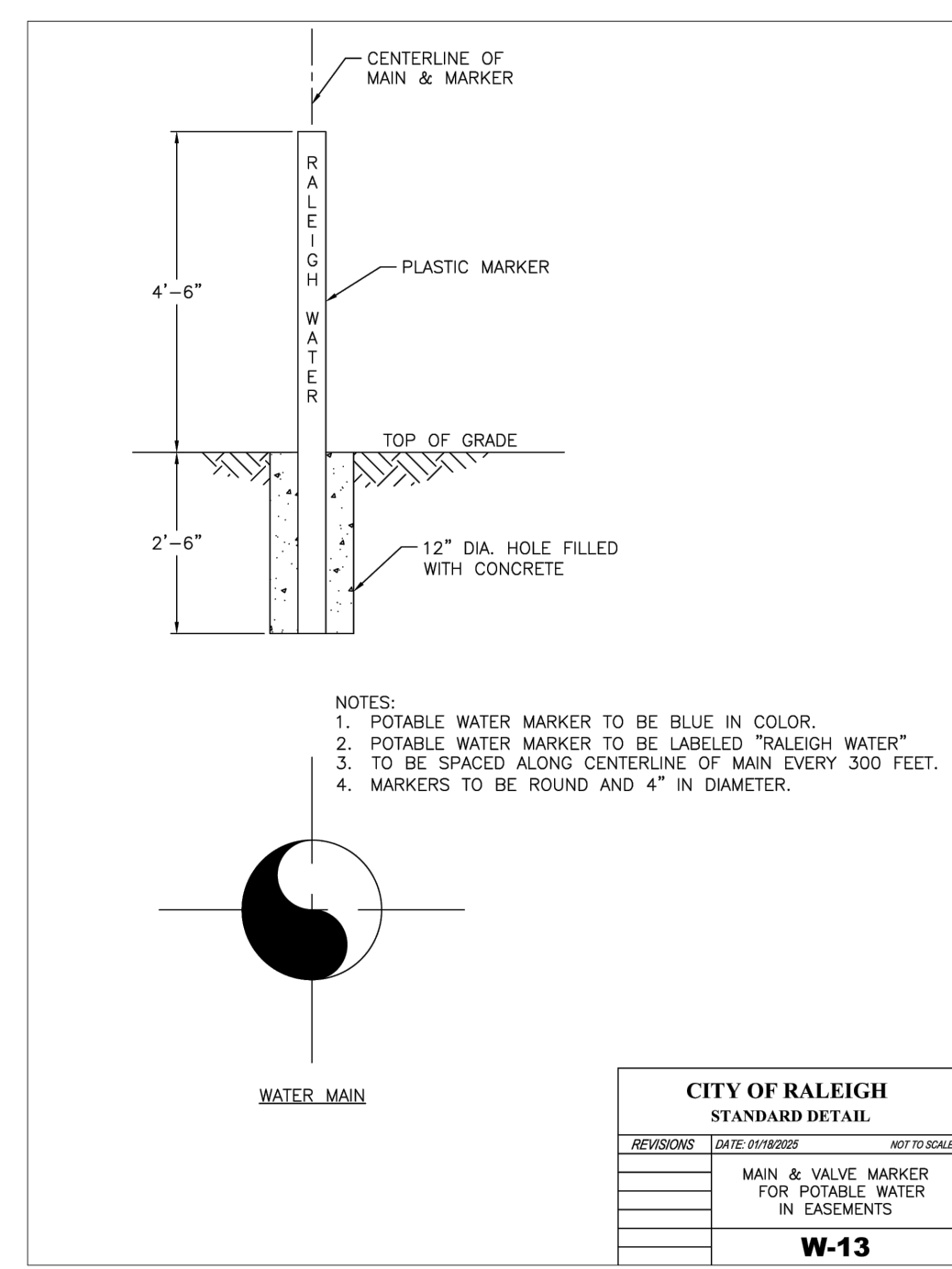


CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

STANDARD 3/4\"/>

W-23

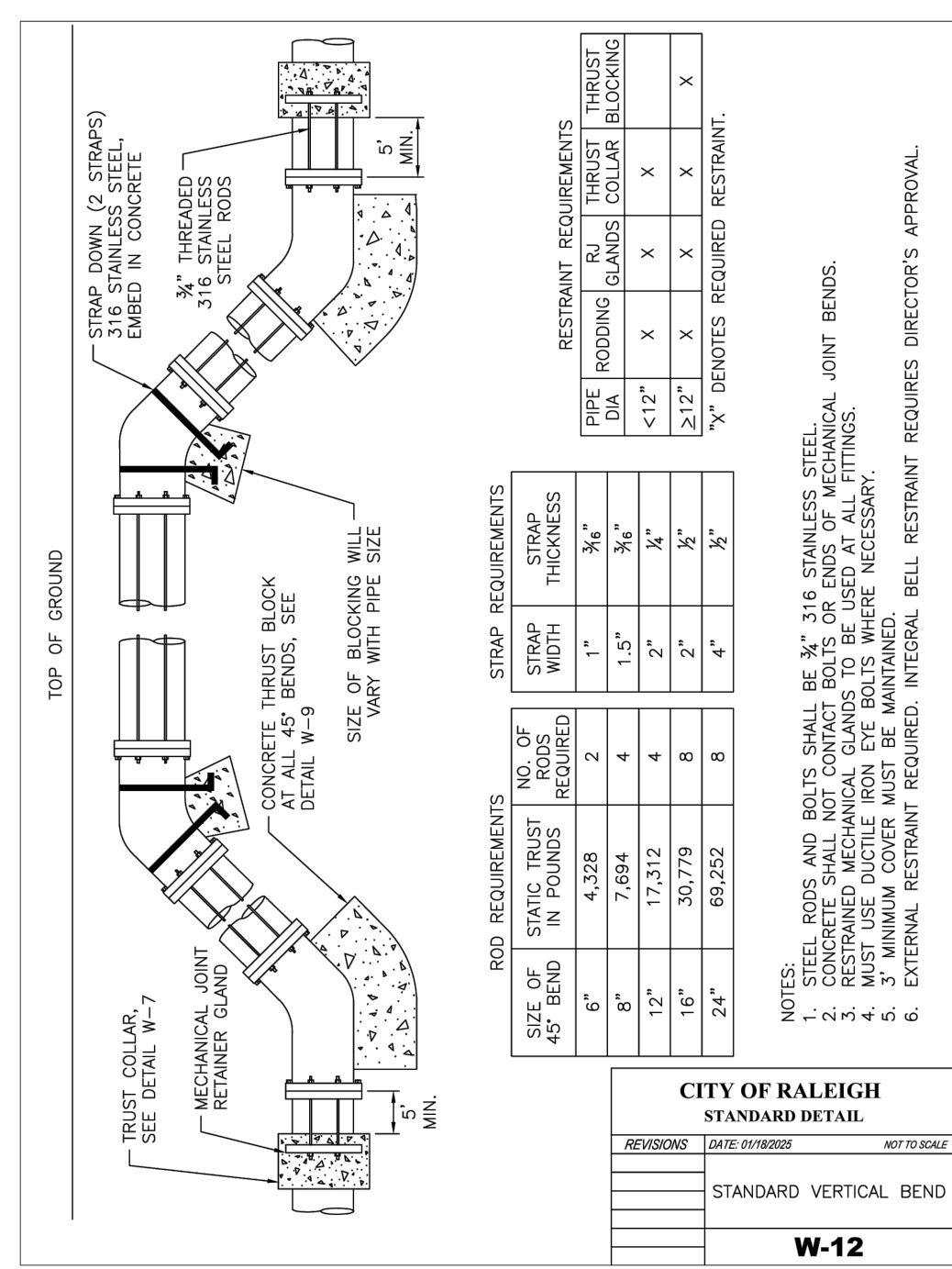


CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

MAIN & VALVE MARKER FOR POTABLE WATER IN EASEMENTS

W-13



CITY OF RALEIGH STANDARD DETAIL

REVISIONS DATE BY/ISSUED NOT TO SCALE

STANDARD VERTICAL BEND

W-12

766740_C7.0 DETAILS.dwg



CESO
WWW.CESOINC.COM

CESO INC. Co.
4601 Park Road, Suite 650
Charlotte, NC 28209
Phone: 937.435.8564



KALAS FALLS PHASE 2 AMENITY AND OPEN SPACE

1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

MERITAGE HOME

ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

Revisions / Submissions

© 2025 CESO, INC.
Project Number: 766740-01 / -02
Scale: AS SHOWN
Drawn By: RM
Checked By: CG
Date: 10/31/2025
Issue: NOT FOR CONSTRUCTION

Drawing Title:

DETAILS PLAN

C7.2

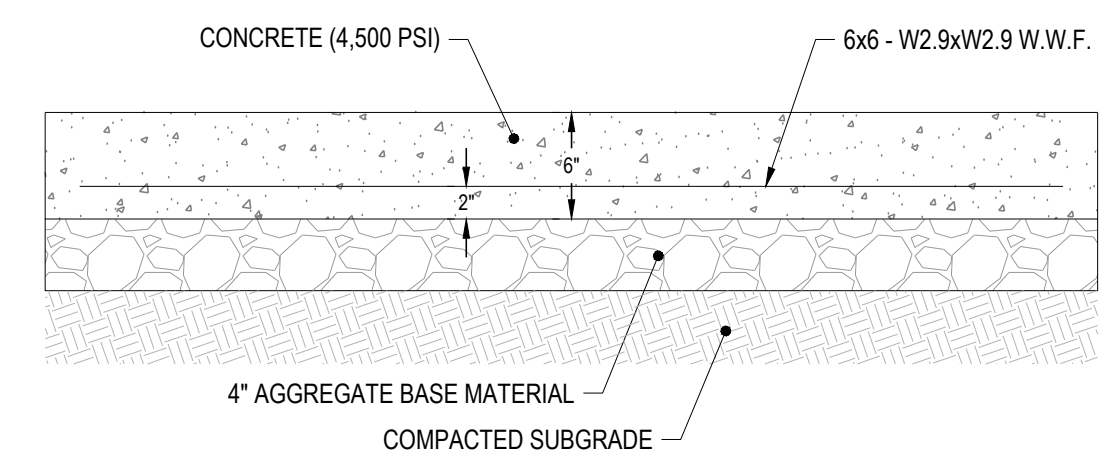
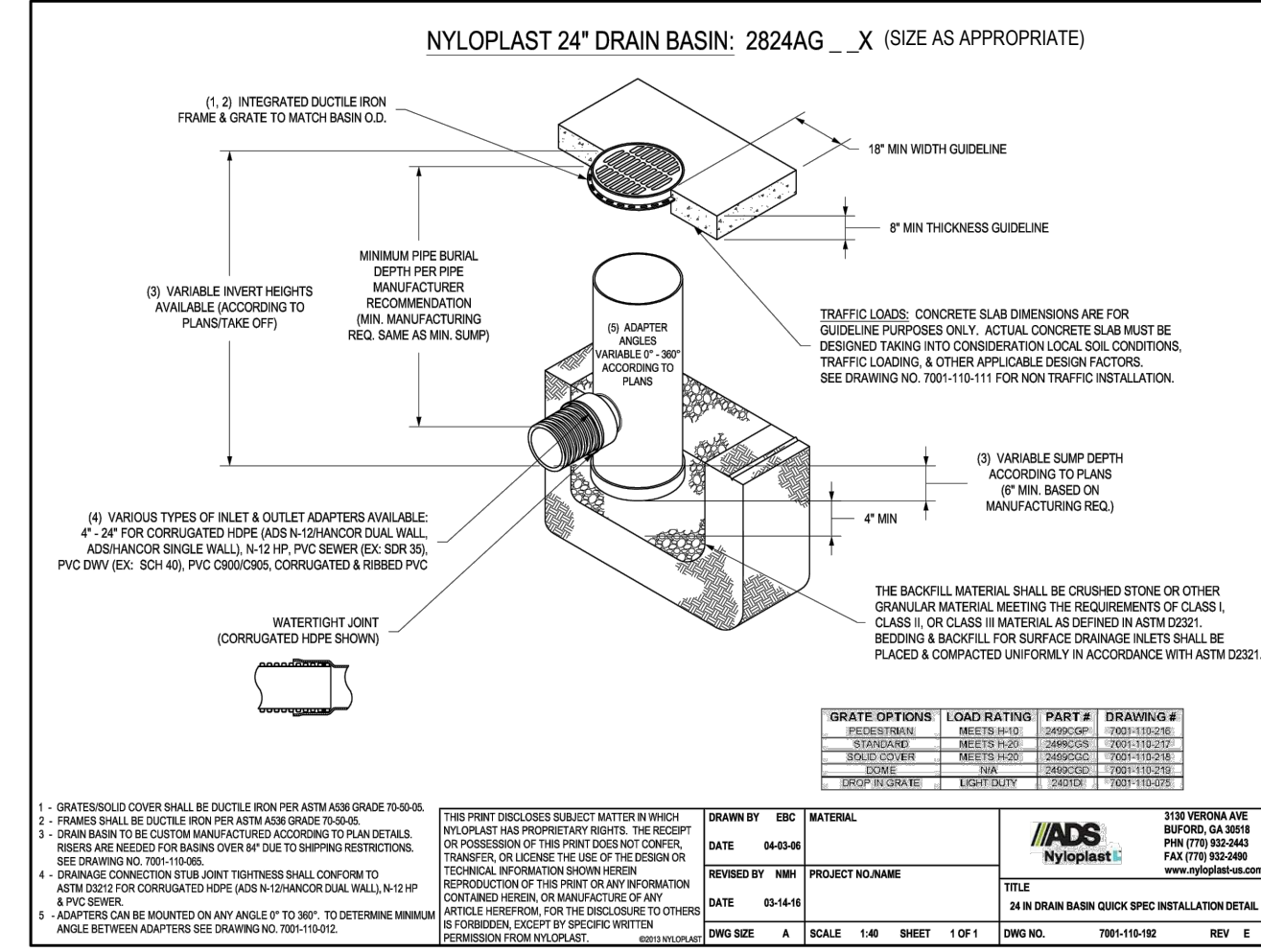
8 IN - 36 IN MINIMUM ANGLE BETWEEN ADAPTERS

THIS CHART DOES NOT APPLY WHEN USING AN ENVIROHOOD OR ADD-A-BRANCH

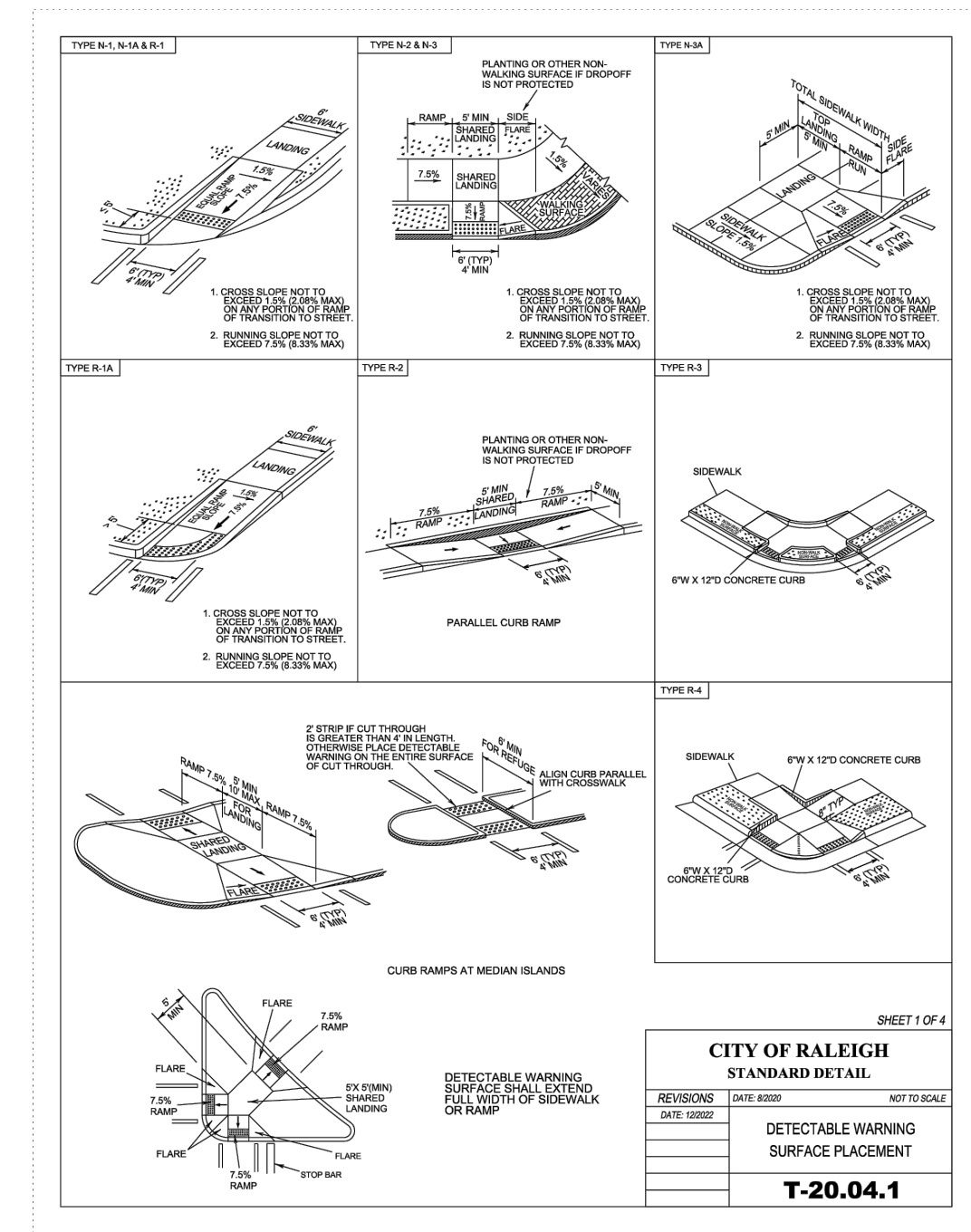
ADAPTER SIZE	8" BASIN	10" BASIN	12" BASIN	14" BASIN	16" BASIN	18" BASIN	20" BASIN	24" BASIN	28" BASIN	30" BASIN	36" BASIN
4" x 4"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
4" x 6"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
4" x 8"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
4" x 10"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
4" x 12"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
4" x 14"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
4" x 16"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
4" x 18"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
4" x 20"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
4" x 24"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
4" x 28"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
4" x 30"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
4" x 36"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
6" x 6"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
6" x 8"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
6" x 10"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
6" x 12"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
6" x 14"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
6" x 16"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
6" x 18"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
6" x 20"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
6" x 24"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
6" x 28"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
6" x 30"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
6" x 36"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
8" x 8"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
8" x 10"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
8" x 12"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
8" x 14"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
8" x 16"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
8" x 18"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
8" x 20"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
8" x 24"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
8" x 28"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
8" x 30"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
8" x 36"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
10" x 10"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
10" x 12"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
10" x 14"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
10" x 16"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
10" x 18"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
10" x 20"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
10" x 24"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
10" x 28"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
10" x 30"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
10" x 36"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
12" x 12"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
12" x 14"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
12" x 16"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
12" x 18"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
12" x 20"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
12" x 24"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
12" x 28"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
12" x 30"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
12" x 36"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
14" x 14"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
14" x 16"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
14" x 18"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
14" x 20"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
14" x 24"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
14" x 28"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
14" x 30"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
14" x 36"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
16" x 16"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
16" x 18"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
16" x 20"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
16" x 24"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
16" x 28"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
16" x 30"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
16" x 36"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
18" x 18"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
18" x 20"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
18" x 24"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
18" x 28"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
18" x 30"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
18" x 36"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
20" x 20"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
20" x 24"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
20" x 28"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
20" x 30"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
20" x 36"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
24" x 24"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
24" x 28"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
24" x 30"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
24" x 36"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
30" x 30"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
30" x 36"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°
36" x 36"	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°	100°

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH YOU OR A PARTY HAS A PROPRIETARY INTEREST. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION CONTAINED HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE OR PART THEREOF, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

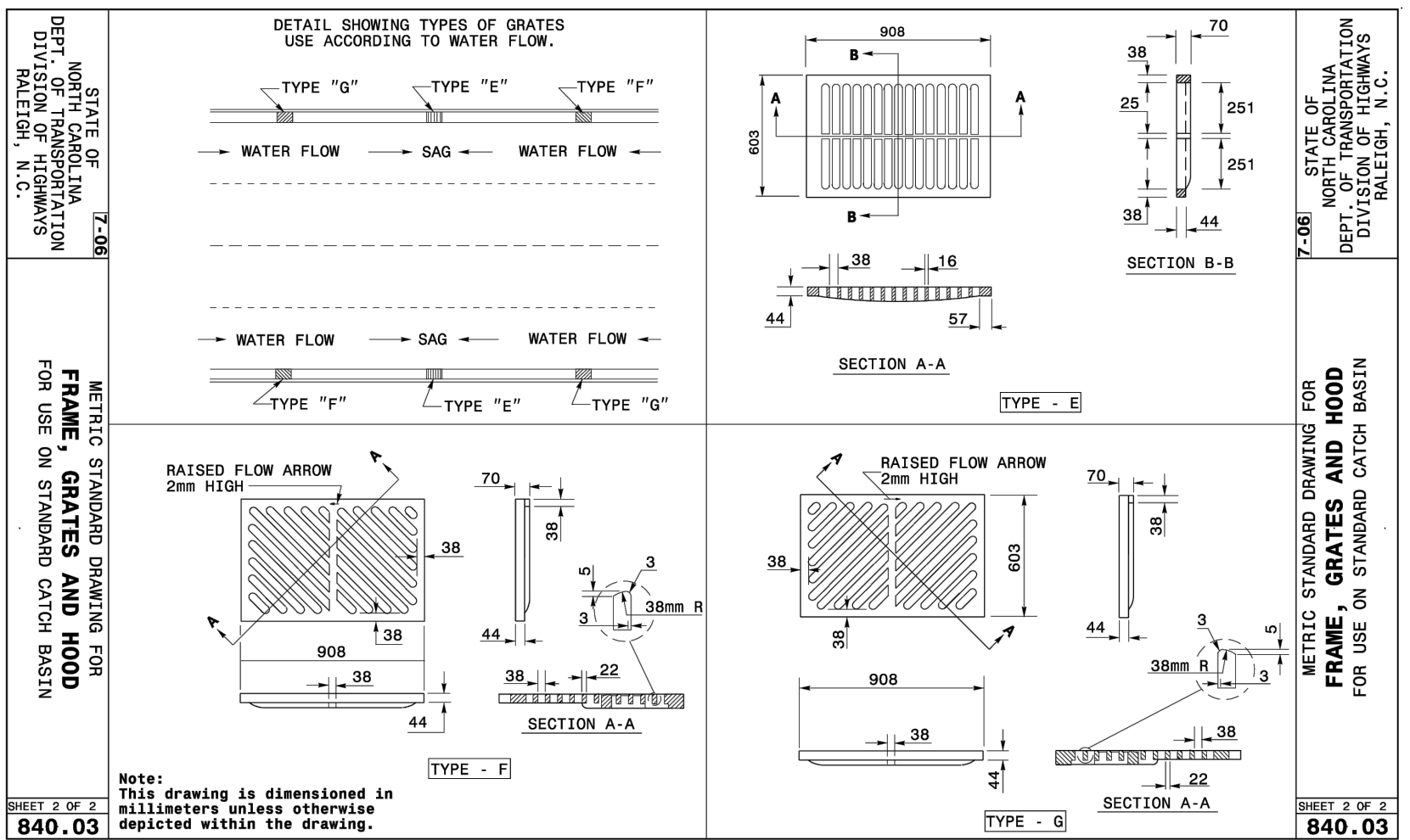
DATE: 3/16/24
DRAWN BY: CJA
MATERIAL: 310 VERONA AVE
REVISED BY: NMM
PROJECT NO: NAME
DWG NO: 700-10-012
REV: A



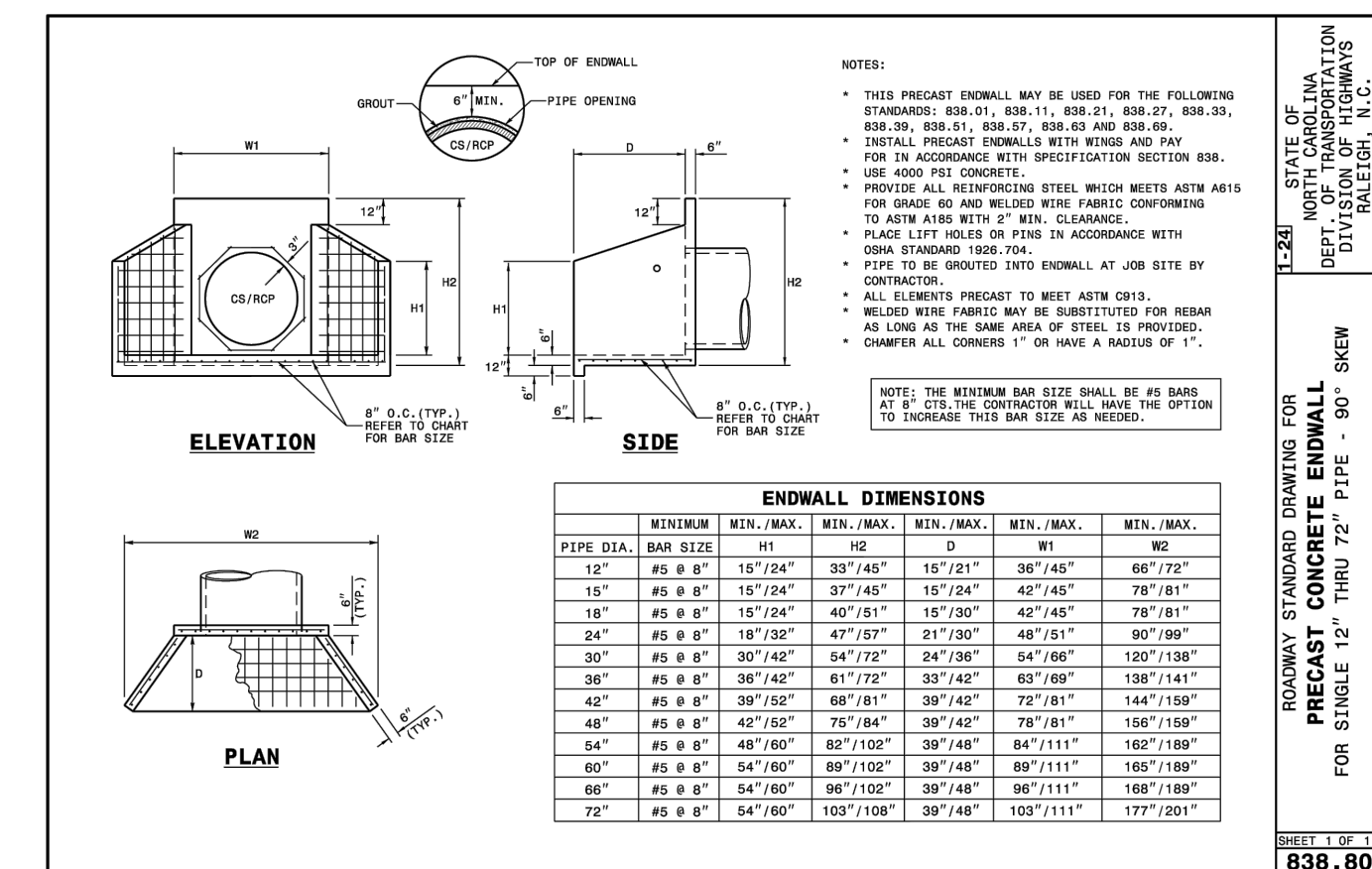
CONCRETE PAD
NTS



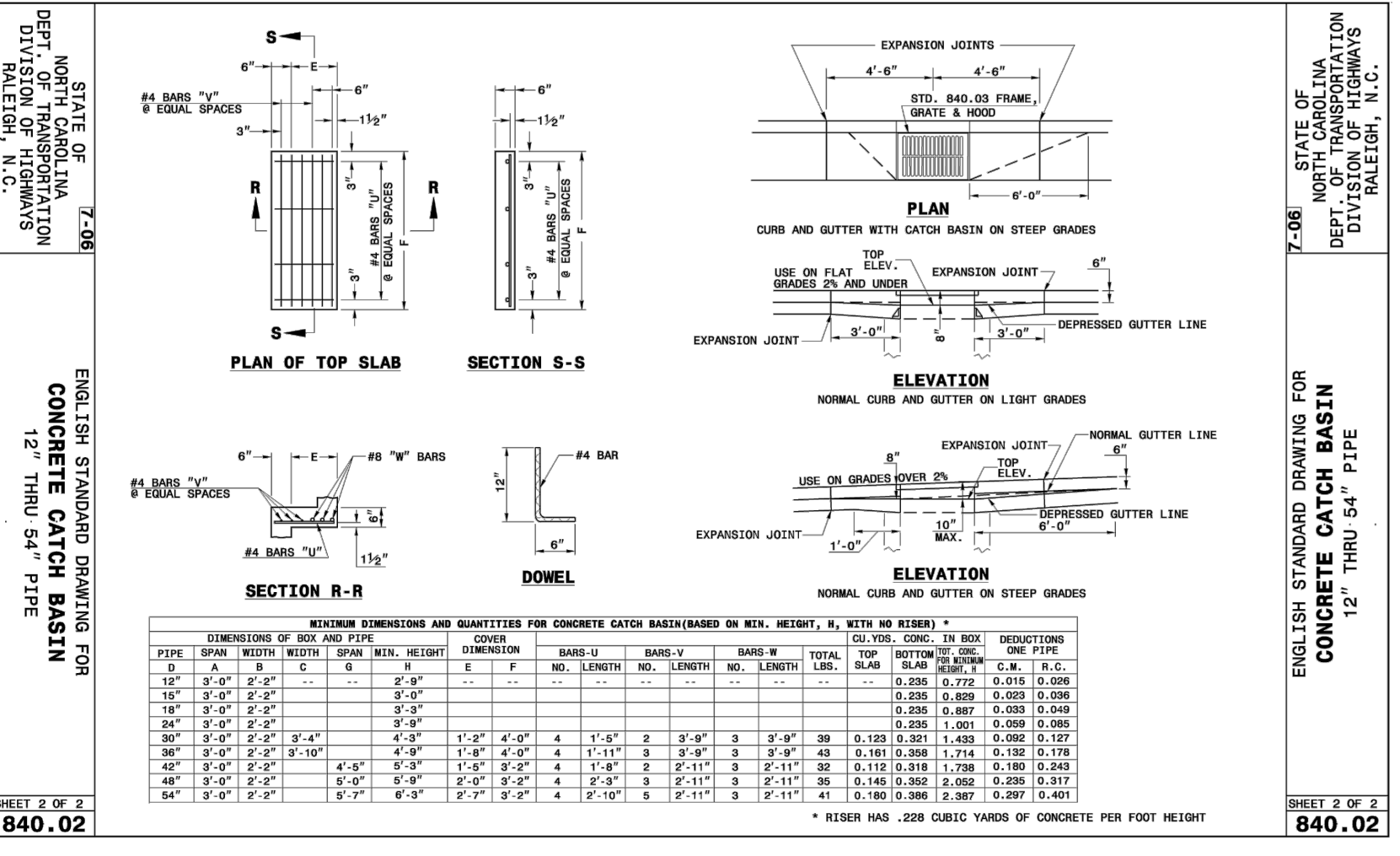
CITY OF RALEIGH
STANDARD DETAIL
T-20.04.1



METRIC STANDARD DRAWING FOR
FRAME, GRATES AND HOOD
FOR USE ON STANDARD CATCH BASIN
SHEET 2 OF 2
840.03

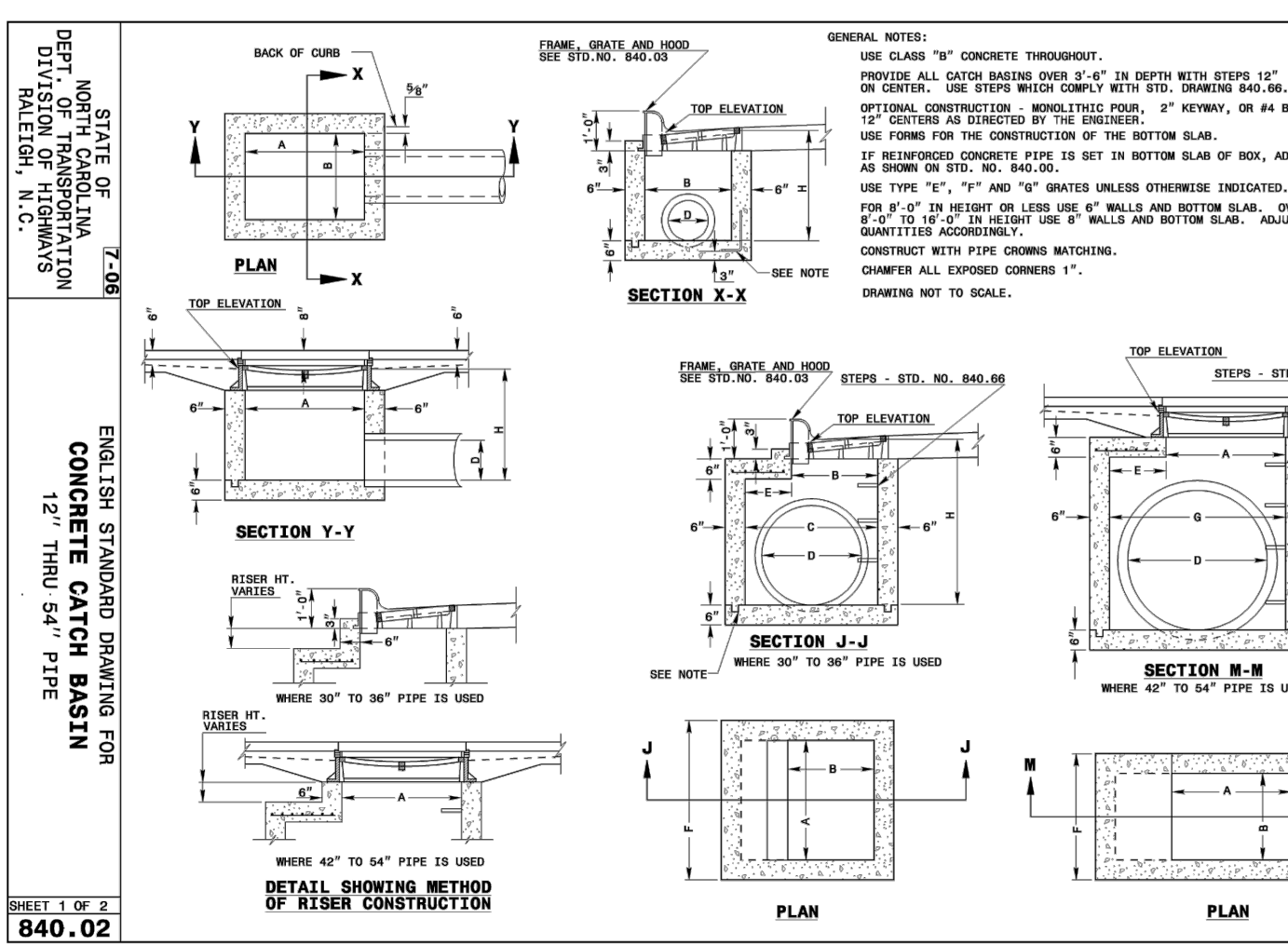


ENDWALL DIMENSIONS
SHEET 1 OF 1
838.80



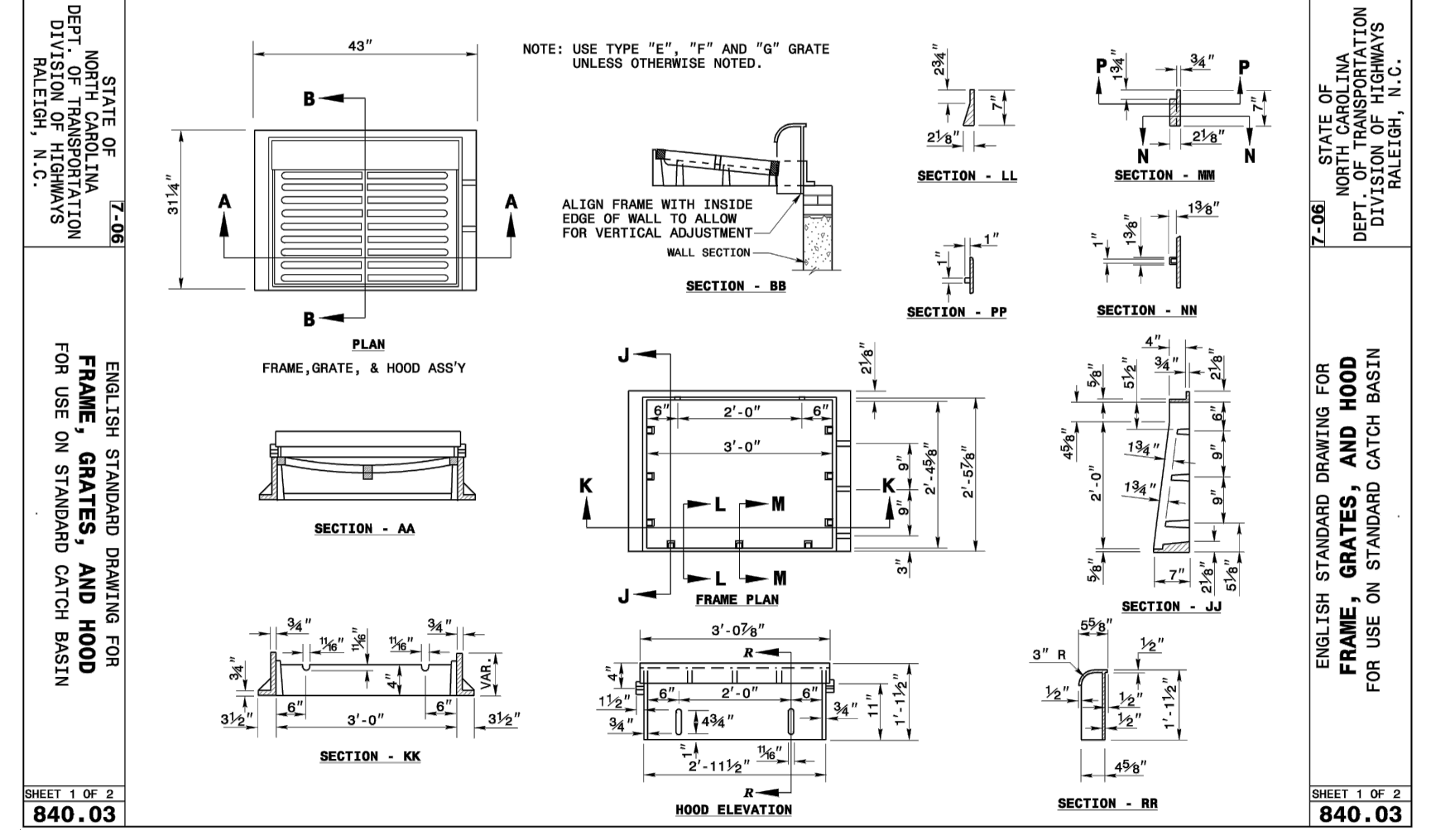
ENGLISH STANDARD DRAWING FOR
CONCRETE CATCH BASIN
12\"/>

SHEET 2 OF 2
840.02

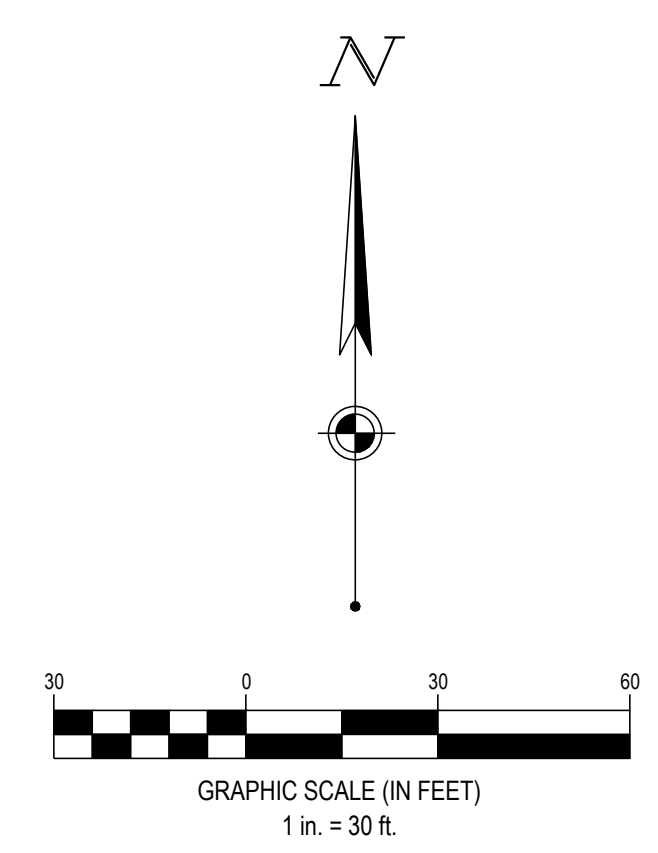
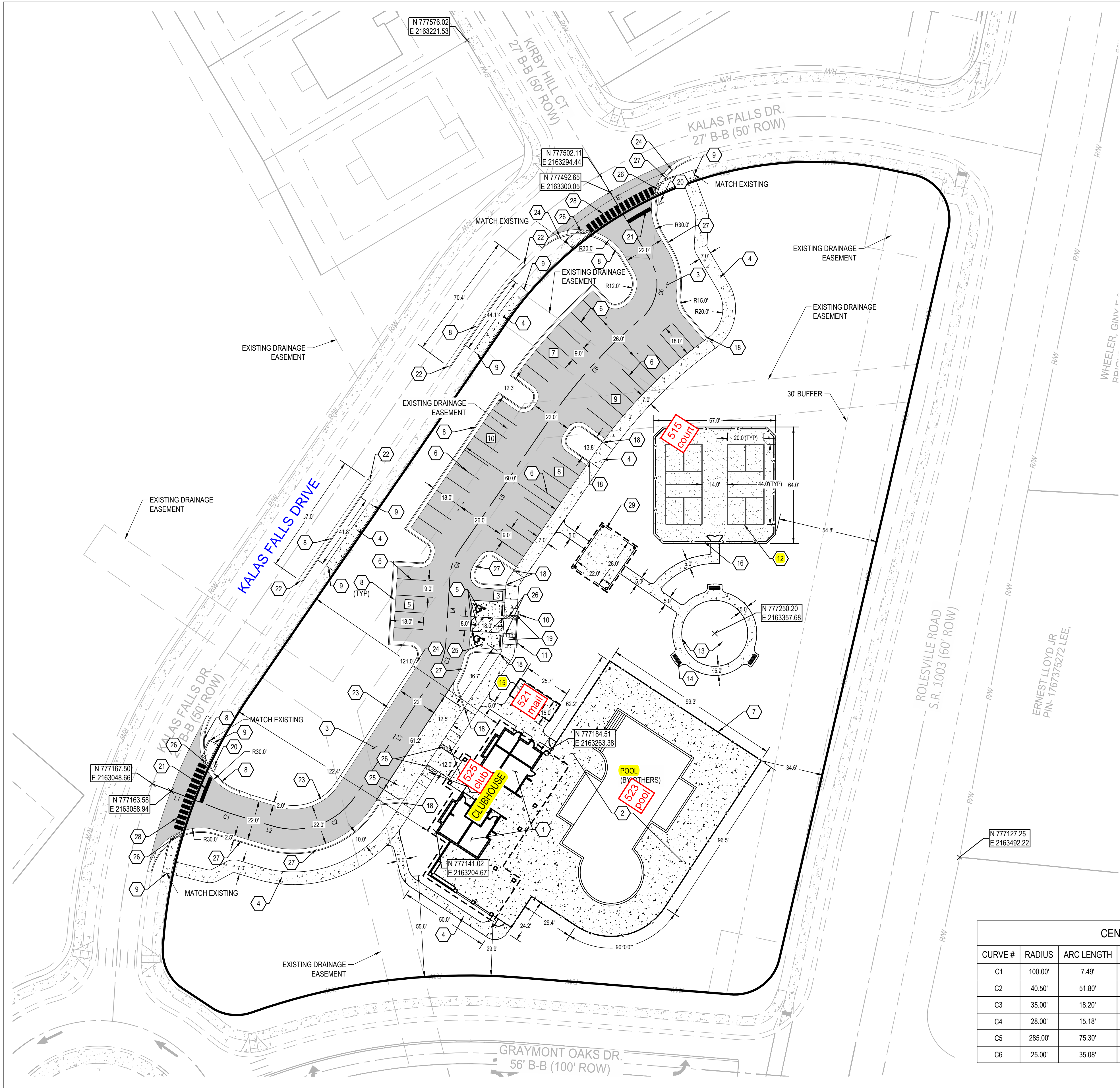


ENGLISH STANDARD DRAWING FOR
CONCRETE CATCH BASIN
12\"/>

SHEET 1 OF 2
840.02



ENGLISH STANDARD DRAWING FOR
FRAME, GRATES, AND HOOD
FOR USE ON STANDARD CATCH BASIN
SHEET 1 OF 2
840.03



SITE LEGEND	
EXISTING	
REFER TO C2.0 FOR EXISTING FEATURES LEGEND	
PROPOSED	
	PROPOSED STANDARD DUTY ASPHALT PAVEMENT (8" CABC & 3" S9.5B)
	PROPOSED CONCRETE PAVEMENT / SIDEWALK
	PROPOSED CONCRETE PAVEMENT - PICKLEBALL COURTS
	PROPERTY BOUNDARY LINE
	RIGHT-OF-WAY
	SETBACK
	EASEMENT
	CENTERLINE
	CONCRETE CURB
	FENCE (VARIES)
	PARKING SPACE COUNT
	SIGN
	DETECTABLE WARNING MAT.
	FIRE HYDRANT
	LIGHT POLE
	PARKING BLOCK SEE DETAIL SHEET C7.0

GENERAL NOTES:
SEE SHEET C1.1

- CODED NOTES:**
- PROPOSED 3,343± SF CLUBHOUSE BUILDING.
 - PROPOSED POOL AND POOL DECK TO BE DESIGNED AND PERMITTED BY OTHERS.
 - PROPOSED STANDARD DUTY ASPHALT PAVEMENT (8" CABC & 3" S9.5B).
 - PROPOSED CONCRETE SIDEWALK. SEE DETAIL ON SHEET C7.0
 - PROPOSED ADA ACCESSIBLE PARKING SPACE. SEE DETAIL ON SHEET C7.0
 - PROPOSED PARKING LOT PAVEMENT MARKINGS.
 - PROPOSED POOL FENCE. POOL FENCE TO BE PROVIDED BY POOL DESIGNER AND MUST MEET POOL CODE REQUIREMENTS.
 - PROPOSED STANDARD CURB AND GUTTER. SEE DETAIL ON SHEET C7.0
 - CONNECT TO EXISTING SIDEWALK.
 - PROPOSED ACCESSIBLE PARKING SIGN "VAN ACCESSIBLE" TO BE INSTALLED PER MUTCD. SEE DETAIL SHEET C7.0.
 - PROPOSED ACCESSIBLE PARKING SIGN TO BE INSTALLED PER MUTCD. SEE DETAIL SHEET C7.0.
 - PROPOSED PICKLEBALL COURTS. REFER TO LANDSCAPE ARCHITECT SET FOR DETAILS.
 - PROPOSED TOT LOT AREA TO BE SPECIFIED IN LANDSCAPE FURNISHING PLANS.
 - PROPOSED BENCH TO BE SPECIFIED IN LANDSCAPE FURNISHING PLANS.
 - PROPOSED MAIL KIOSK WITH 6" CONCRETE PAD. REFER TO FINAL LANDSCAPE ARCHITECT SET FOR DETAILS ADDITIONALLY SEE SHEET C7.2.
 - PROPOSED PICKLEBALL COURT FENCE. REFERENCE FINAL LANDSCAPE PLANS.
 - ~~PROPOSED~~
 - CURB TRANSITION FROM CURB AND GUTTER TO INTEGRAL CURB. SEE DETAIL SHEET C7.0.
 - ADA RAMPS WITH 5' LANDINGS.
 - PROPOSED STOP SIGN (R1-1) TO BE INSTALLED PER MUTCD.
 - PROPOSED STOP BAR PAVEMENT MARKING.
 - CONNECT TO EXISTING CURB AND GUTTER.
 - PROPOSED RIBBON CURB. SEE DETAIL ON SHEET C7.0.
 - PROPOSED CURB TAPER. SEE DETAIL C7.0.
 - PROPOSED LIGHT DUTY BITUMINOUS CONCRETE. SEE DETAIL ON SHEET C7.0.
 - PROPOSED TRUNCATED DOME
 - PROPOSED SPILL TYPE CURB
 - PROPOSED CROSSWALK STRIPING PER NCDOT DETAIL 1205.07.
 - PROPOSED ±616 SF COVERED PAVILION

CENTERLINE LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	40.537	N69° 06' 05.04"W
L2	22.064	N73° 23' 37.03"W
L3	80.135	S33° 19' 15.52"W
L4	36.425	S03° 31' 54.46"W
L5	87.452	S34° 35' 42.38"W
L6	54.859	S30° 40' 31.17"E

CENTERLINE CURVE TABLE						
CURVE #	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA	TANGENT
C1	100.00'	7.49'	7.49'	N71° 14' 51"W	004° 17' 32"	3.75'
C2	40.50'	51.80'	48.34'	S69° 57' 49"W	073° 17' 07"	30.12'
C3	35.00'	18.20'	17.99'	S18° 25' 35"W	029° 47' 21"	9.31'
C4	28.00'	15.18'	15.00'	S19° 03' 48"W	031° 03' 48"	7.78'
C5	285.00'	75.30'	75.08'	S42° 09' 51"W	015° 08' 17"	37.87'
C6	25.00'	35.08'	32.28'	S09° 31' 44"W	080° 24' 31"	21.13'

NOTE:

- N & E: VALUES ARE ON ASSUMED COORDINATE PLANE, AND ARE NOT ASSUMED TO BE PRESENT ON STATE PLANE COORDINATE SYSTEM.
- CONDITIONS OF APPROVAL PER APPROVED SUBDIVISION KALAS FALLS PHASE 2.
- AMENITY
TOTAL AREA: 2.93 AC
IMPERVIOUS AREA: 1.22 AC



MERITAGE HOME
KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

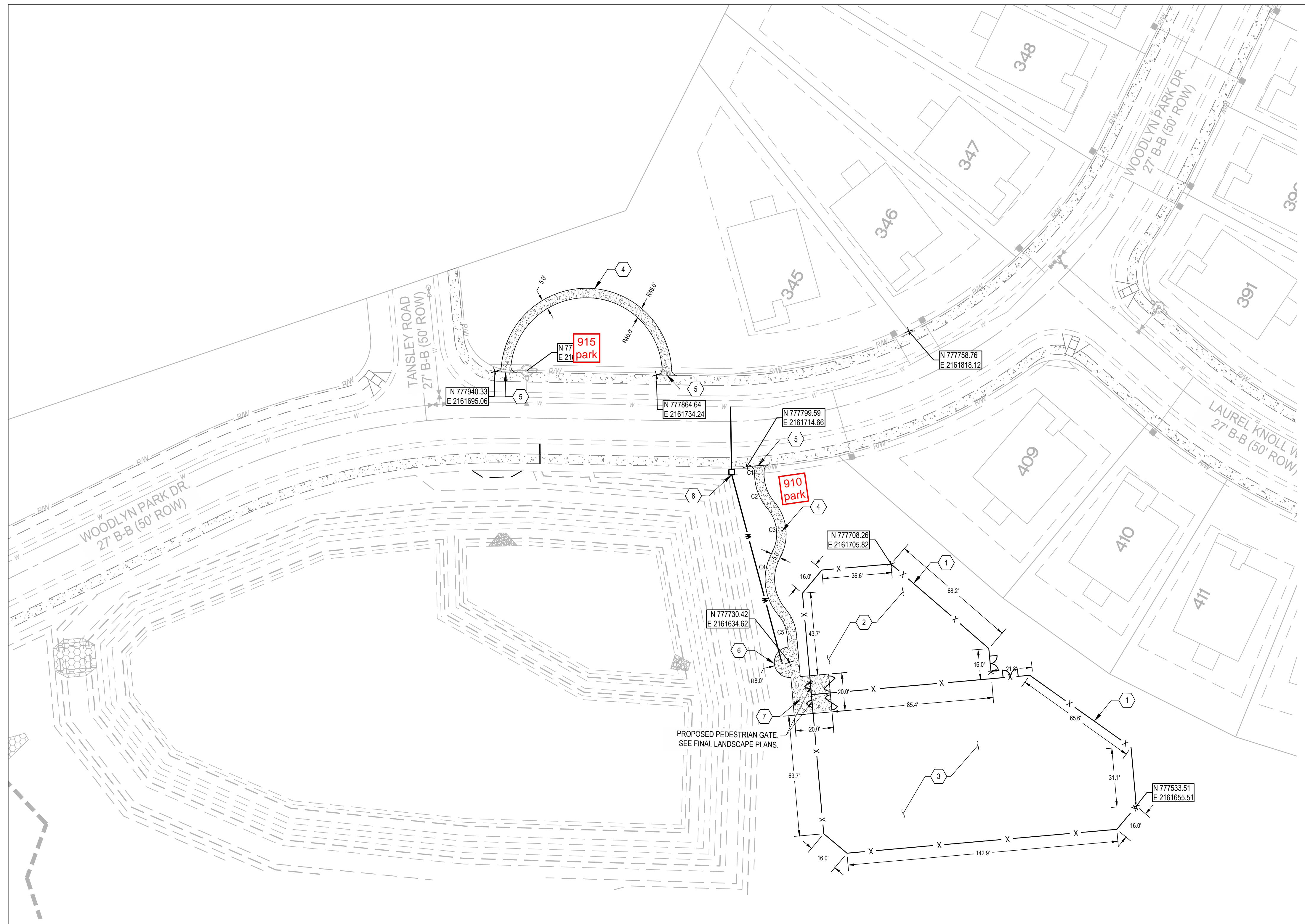
© 2025 CESO, INC.
Project Number: 766740-01 / -02
Scale: AS SHOWN
Drawn By: RM
Checked By: CG
Date: 10/31/2025
Issue: NOT FOR CONSTRUCTION

Drawing Title:
SITE PLAN
AMENITY AREA

C4.1



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



SITE LEGEND	
EXISTING	
REFER TO C2.0 FOR EXISTING FEATURES LEGEND	
PROPOSED	
	PROPOSED CONCRETE PAVEMENT/ SIDEWALK
	R/W
	RIGHT-OF-WAY
	PROPERTY LINE
	SETBACK
	EASEMENT
	CENTERLINE
	CONCRETE CURB
	PAVEMENT/WALK
	FENCE
	PARKING SPACE COUNT
	SIGN
	DETECTABLE WARNING MAT.
	FIRE HYDRANT
	LIGHT POLE
	CONCRETE BUMPER BLOCK

GENERAL NOTES:
SEE SHEET C1.1

CODED NOTES:

- PROPOSED 48" HT FENCE.
- PROPOSED SMALL DOG PARK.
- PROPOSED LARGE DOG PARK.
- PROPOSED CONCRETE SIDEWALK.
- CONNECT TO EXISTING SIDEWALK.
- PROPOSED DOG WASH STATION.
- PROPOSED SALLY PORT ENTRY.
- PROPOSED 3/4" WATER LINE WITH METER.

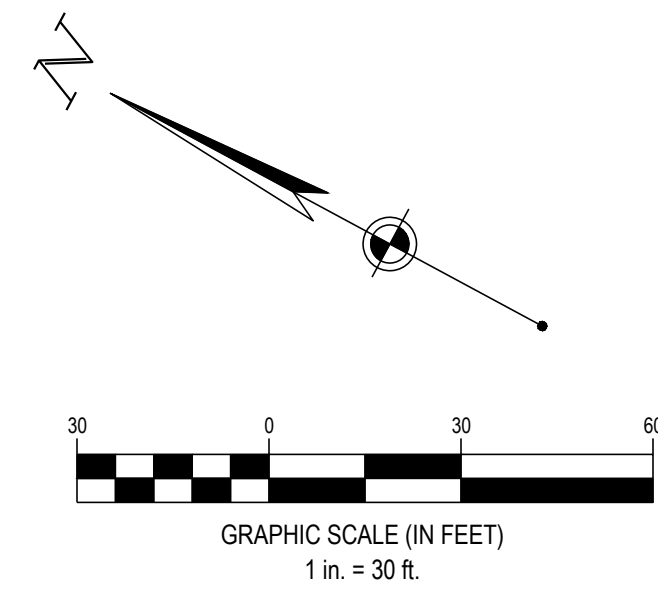
NOTE:

N: & E: VALUES ARE ON ASSUMED COORDINATE PLANE, AND ARE NOT ASSUMED TO BE PRESENT ON STATE PLANE COORDINATE SYSTEM.

SITE QUANTITY:

- A. DOG PARK:
TOTAL AREA: 0.94 AC
IMPERVIOUS AREA: 0.02 AC
- B. OPEN SPACE:
TOTAL AREA: 0.55 AC
IMPERVIOUS AREA: 0.01 AC

LOT & R/W CURVE TABLE						
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	3.00'	4.98'	4.42'	N16° 01' 46"E	095° 02' 13"	3.28'
C2	27.63'	20.56'	20.09'	N42° 13' 48"E	042° 38' 09"	10.78'
C3	20.97'	25.35'	23.83'	N55° 31' 54"E	069° 14' 22"	14.48'
C4	28.82'	35.03'	32.92'	N55° 20' 01"E	069° 38' 07"	20.05'
C5	19.14'	11.97'	11.78'	N38° 26' 14"E	035° 50' 33"	6.19'



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: NORTH CAROLINA UTILITIES PROTECTION SERVICE AT 811 OR 800-632-4949 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



MERITAGE HOME
KALAS FALLS PHASE 2
AMENITY AND OPEN SPACE
1832 ROLESVILLE ROAD,
WAKE COUNTY, NC

Revisions / Submissions		
ID	Description	Date
01	ROLESVILLE COMMENTS	12/19/2025
02	ROLESVILLE COMMENTS	02/18/2026

© 2025 CESO, INC.
Project Number: 766740-01 / -02
Scale: AS SHOWN
Drawn By: RM
Checked By: CG
Date: 10/31/2025
Issue: NOT FOR CONSTRUCTION

Drawing Title:
SITE PLAN OPEN SPACE & DOG PARK

C4.2