

Comments on #FSP-25-0005 - Planning & Zoning: Final Subdivision Plat

Application Number: #FSP-25-0005
Application Type: Final Subdivision Plat
Date: April 20, 2026
Address: 1323 ROLESVILLE ROAD, ROLESVILLE



THIS DOCUMENT IS NOT YOUR PERMIT.

The Rolesville Planning Department has reviewed your application for a Final Subdivision Plat Application and has responded with a set of comments that require your attention. These comments must be addressed in full before an approval will be issued.

Reviewing this document on GovWell, our online portal, will allow you to view interactive markups on the document. If you are viewing this as a PDF or offline, a list of all comments will be provided below in this cover sheet. These comments must be acknowledged before a permit is issued.

After you have addressed all comments, please upload corrected versions of the plans by clicking [here](#) or by visiting <https://app.govwell.com/record/9814f12f-3cb5-4d8b-bf4b-d5ca99b23448>.

Contacts

Austin Bain
City of Raleigh Engineer

(919) 996-3468
austin.bain@raleighnc.gov

Updates Requested

Michael Elabarger
Assistant Planning Director

melabarger@rolesvillenc.gov

Updates Requested

Michele Raby
Planner II

mraby@rolesvillenc.gov

Updates Requested

Scott Miles
Town Engineer PE

smiles@rolesvillenc.gov

Approved

Stephen Wensman
Planning Director

swensman@rolesvillenc.gov

Updates Requested

Comments on Plan

1



Michael Elabarger
Assistant Planning Director

FYI - Fee invoice has been created for PH 1 Street light poles - please pay that separately, asap. apologies for delay.

Page 1 • April 20, 2026, 4:48pm

2



Austin Bain
City of Raleigh Engineer

See Energov comments.

Page 1 • April 17, 2026, 1:41pm

3



Michael Elabarger
Assistant Planning Director

Where do you stand with Bond estimate vetting with Town Engineer (Scott Miles now primary on this)? Upon agreement, Scott wishes to review (PDF of the actual) bond to approve of it, then FSP will be cleared for submitting for signature with actual Bond.

Page 1 • April 20, 2026, 4:52pm

4



Michele Raby
Planner II

Add 30' between structures as shown on Table 3.1.3. RH in LDO Section 3.1.3

Page 1 • April 13, 2026, 9:33am

5



Stephen Wensman
Planning Director

9.2.1.A.1.A All subdivision lots shall abut, at least twenty (20) feet in width, on a public street, except that Lots for 'Dwelling, Single Family, Attached' uses may provide the required minimum twenty (20) feet of frontage width on a Private Access Easement per Section 5.1.2.B. Use Standards. Minimum lot frontage width is dictated by the Zoning District of the property; see LDO Section 3.

Page 1 • April 9, 2026, 1:32pm

6



Stephen Wensman
Planning Director

This citation does not seem to match the Town's LDO

Page 1 • April 9, 2026, 1:33pm

7



Michele Raby
Planner II

Thank you. This table is great!

Page 2 • April 13, 2026, 9:50am

8



Stephen Wensman
Planning Director

What is the townhouse building separation?

Page 3 • April 14, 2026, 1:36pm

9



Michele Raby
Planner II

Add Open Space Lot Addressing Information.

Page 4 • April 13, 2026, 9:42am

10



Michele Raby
Planner II

My apologies, I do not see these on the overall site sheet. Will the mail kiosk, tot lot, dog park, etc. be in Phase 1? If so, please add them and include their addresses. Please upload the USPS approval letter for the mail kiosk location(s). If not, please note what phase they will be constructed in.

Page 4 • April 13, 2026, 9:56am

11



Michele Raby
Planner II

Add "To be maintained by HOA."

Page 5 • April 13, 2026, 9:41am

12



Michele Raby
Planner II

Add new or proposed or hereby dedicated to the 30' COR San. Sewer Esm't.

Page 7 • April 13, 2026, 9:45am

13



Stephen Wensman
Planning Director

why is this a private easement and basin?

Page 10 • April 14, 2026, 1:42pm

14



Stephen Wensman
Planning Director

is this retaining wall in HOA opens pace and HOA responsibility?

Page 11 • April 14, 2026, 1:44pm

PROJECT TEAM:

Developer/Owner Pulte Home Company, LLC
100 Regency Forest Drive
Suite 400
Cary, NC 27518
Engineer/ WithersRavenel
Streams & 167 E. Chatham Street
Wetland Suite 210
Cary, NC 27511
License #: F-1479
Surveyor MSS Land Consultants, PC
6118 Saint Giles Street
Suite E
Raleigh, NC 27612
Matthew A. Hayes, PLS
NC License L-4516

SITE DATA TABLE:

Project: Broadmoor - Phase 1
Site Address: 1323 Rolesville Road
Township: Wake Forest
PINs : 1768511305, 1768500618, 1768502211, 1767592745, 1767590335, 1767580938
Survey Dates: See References
Zoning: RH-CZ & RM-CZ
Total Site Area: 4,656,680 SF / 106.903 Ac.±
Phase 1 Area: 2,176,958 SF / 49.976 Ac.±
River Basin: Neuse River
FEMA Info: See General Notes
Watershed: Buffalo Creek
Proposed Density: +/- 2.31 D.U./ Ac. (RH-CZ Zoning)
+/- 2.45 D.U./ Ac. (RM-CZ Zoning)
Existing Impervious: 0 SF / 0 Ac.±
Proposed Impervious: 480,651 SF / 11.034 Ac.±
Max Impervious Per Lot: See Lot Addressing Data Table Sheet 2
Existing Usage: Vacant
Proposed Usage: Single Family & Townhome Subdivision
Limits of Disturbance: 34,227 Ac.±
Min. Lot Size: 5,000 SF (Ph 1 - Single Family Lot)
2,000 SF (Ph 1 - Townhome Lot)
Average Lot Size: 6,313 SF (Ph 1 - Single Family Lot)
2,915 SF (Ph 1 - Townhome Lot)
Maximum Building Height: 35'
Building Setbacks (Single Family):
Front Yard: 20'
Side Yard: 5'
Rear Yard: 20'
Corner: 10'
Building Setbacks (Townhome):
Front Yard: 20'
Side Yard: 0' (internal unit)
Side Yard: 10' (end unit)
Rear Yard: 15'
Corner: 15'
Previous Entitlements: ANX-23-01; REZ-23-02; PSP-24-02, CID-24-06

PHASE 1 STREET INFORMATION

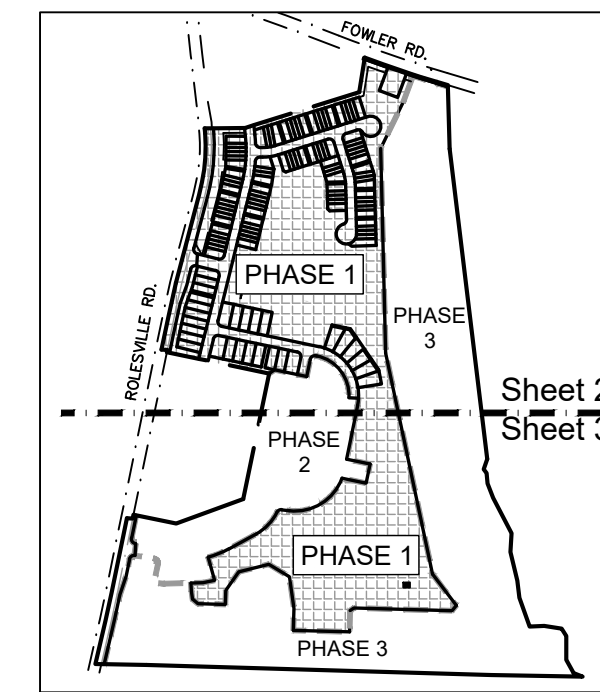
Street Name	Public or Private	Street Width Street	Length in Linear Feet
Rodin Way	Public	50' R/W	640 LF
Sisley Place	Public	50' R/W	543 LF
Bearden way	Public	50' R/W	1,188 LF
Titan Ave	Public	50' R/W	902 LF

AREA SUMMARY

	Square Feet	Acres+/-
Public R/W Dedications	291,751	6.698
Parking Area (1 parcel)	13,247	0.304
Single-Family (29 lots)	183,077	4.203
Townhomes (96 lots)	279,794	6.423
Open Space (4 parcels)	1,409,089	32.348
Remaining Lands (1parcel)	2,479,722	56.927
Total	4,656,680	106.903

ADJACENT PROPERTY OWNERS

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1768518609	ALFORD, SAMUEL JASON	6420 FOWLER RD	19530	2760			R-30
1768602816	RICHARDS, BARBARA ANN JONES	6520 FOWLER RD	1730	526			R-30
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1767483143	HEARTHSTONE INC ATTN STEVEN PORATH	1801 ROLESVILLE RD	19676	2496			RH-CZ
1767389615	CLARK, CHARLES T CLARK, PATRICIA H	1709 ROLESVILLE RD	4572	246			R-30
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1768404210	STALLINGS, JANICE GAYLE W STALLINGS, HARRELL	1512 ROLESVILLE RD	14286	1890	2025	605	R-30



Overall Plan and Phase Hatching
Not to Scale

VICINITY MAP
Not to Scale

LEGEND

- Property Lines
- Property Lines by Others
- Existing Monumentation
- Iron Pipe Set
- Mathematical Point
- EPIP Existing Pinched Iron Pipe
- EIP Existing Iron Pipe
- ECM Existing Concrete Marker
- R/W Right-of-Way
- DB / PB Deed Book / Plat Book
- CORWSSE City of Raleigh Water & Sanitary Sewer Esm't
- Esm't Easement
- PrME Private Monument Esm't
- PrDE Private Drainage Esm't
- PuDE Public Drainage Esm't
- SDE Sight Distance Esm't
- SFHA Special Flood Hazard Area
- SS Sanitary Sewer
- SB Setback
- VW Variable Width
- Wetlands
- Matchlines
- Phaselines

GENERAL NOTES:

- All distances are horizontal ground distances and areas were computed using the coordinate method, unless otherwise noted hereon.
- The subject property is partially located within a Special Flood Hazard Area as scaled from NFIP FIRM Numbers 3720176600K and 3720176800K; panel effective date: 7/19/2022.
- Wetland, stream, and pond delineations shown hereon were performed by WR on 1/12/2023 & 1/16/2023. Field location performed by MSS Land Consultants, PC. Riparian buffers shown hereon were provided by WR. Wake County flood hazard soils not addressed by this survey.
- This survey was prepared for the parties and purpose indicated hereon. Any extension of the use beyond the purpose agreed to between the client and surveyor exceeds the scope of the engagement. Only copies of this survey with the Land Surveyor's original signature & an original embossed, ink or scanned seal are the product of the Land Surveyor.
- Property identification numbers taken from the official tax records of Wake County.
- All underground utilities shown hereon are based solely on visible ground surface evidence. Prior to any construction and/or excavation, the exact vertical & horizontal locations must be determined.
- References: BM 2025, PP 600-604; DB 1347 PG 52; DB 14286 PG 1880; DB 14286 PG 1885; DB 14286 PG 1890; DB 14286 PG 1896; DB 14286 PG 1902; DB18654 PG 863; BM 1941 PG 108; BM 1942 PG 120; BM 1987 PG 1097; BM 2011 PG 84; DB 2420 PG 514; DB 4401 PG 206. Preliminary map titled "ALTA/NSPS LAND TITLE SURVEY ROLESVILLE ASSEMBLAGE" prepared by MSS Land Consultants, PC, dated February, 24 2023.

SURVEYOR'S CERTIFICATION:

I, Matthew A. Hayes, PLS No. L-4516, certify to the following:
That this survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land;
That this plat was drawn under my supervision from an actual survey made under my supervision (deed description(s) and/or plat reference(s) shown hereon under "References"); that the boundaries not surveyed are clearly indicated as drawn from information as shown hereon; that the ratio of precision as calculated is 1:10,000+; that this plat was prepared in accordance with G.S. 47-30 as amended.
Witness my original signature, registration and seal.



MATTHEW A. HAYES, PLS DATE

TOWN OF ROLESVILLE NOTES:

- All subdivision lots shall abut at least twenty (20) feet on a public street. All public streets shall be dedicated to the Town of Rolesville, the State of North Carolina or the public as determined appropriate by the Board of Commissioners of the Town of Rolesville. All public streets shall be built to the standards of this ordinance and all other applicable standards of the Town of Rolesville and the North Carolina Department of Transportation. Public streets not dedicated to the Town which are eligible for acceptance into the State Highway System shall be constructed to the standards necessary to be put on the State Highway System or the standards in this ordinance, whichever is stricter, in regard to each particular item and shall be put on such system. Streets not dedicated to the Town which are not eligible to be put on the State Highway System because there are too few lots or residences shall, nevertheless, be dedicated to the public and shall be in accordance with the standards in this ordinance or the standards necessary to be put on the State Highway System, whichever is stricter in regard to each particular item, so as to be eligible to be put on the system at a later date. A written maintenance agreement with provisions for maintenance of the street until it is put on the State System shall be included with the final plat.
- Type of street dedication; all streets must be designated either "public" or "private". Where public streets are involved which will be dedicated to the town the subdivider must submit all street plans to the subdivision administrator for approval prior to preliminary plat approval. Where public streets are involved which will not be dedicated to a municipality, the subdivider must submit the following documents to the N.C. Department of Transportation District Highway Office for review: a complete site layout, including any future expansion anticipated; horizontal alignment indicating general curve data onsite layout plan; vertical alignment indicated by percent grade, PI station and vertical curve length on site plan layout; (the District Engineer may require the plotting of the ground profile and grade line for roads where special conditions or problems exist); typical section indicating the pavement design and width and the slopes, widths and detail for the curb and gutter or the shoulder and ditch proposed; drainage facilities and drainage areas.

CERTIFICATE OF OWNERSHIP AND DEDICATION:

I hereby certify that I am the owner of the property shown and described hereon, which is located in the subdivision jurisdiction of the Town of Rolesville and that I hereby adopt this plan of subdivision with my free consent, establish minimum building setback lines, and dedicate all streets, alleys, walks, parks, and other sites and easements to public or private use as noted. Furthermore, I hereby dedicate all sanitary sewer, storm sewer and water lines to the Town of Rolesville.

Owner: Pulte Home Company, LLC Date
by _____

CERTIFICATE OF APPROVAL OF THE DESIGN AND INSTALLATION OF STREETS, UTILITIES AND OTHER REQUIRED IMPROVEMENTS:

I, _____ hereby certify that all streets, utilities and other required improvements have been installed in a acceptable manner and according to Town specifications and standards in the Subdivision or that guarantees of the installation of the required improvements in an amount and manner satisfactory to the Town of Rolesville has been received and that the filing fees for this plat, in the amount of \$ _____ has been paid

Date Subdivision Administrator

CERTIFICATE OF APPROVAL FOR RECORDING:

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations of the Town of Rolesville, North Carolina and that this plat has been approved by the Subdivision Administrator of the Town of Rolesville for recording in the Office of the Register of Deeds of Wake County.

Date Subdivision Administrator
Town of Rolesville
Rolesville, North Carolina

NOTARY CERTIFICATE:

North Carolina, Wake County.
I, _____, a Notary Public of the County and State aforesaid, certify that _____, a registered land surveyor, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp
or seal, this day of _____, 20____.
Printed Name: _____, Notary Public
My commission expires: _____

Required Approvals:
The rezoning for this development was approved on 3/5/2024 (REZ-23-02) and falls under the LDO

Revision Date(s):
1. V.1 11-11-2025
2. V.2 01-28-2026
3. V.3 03-19-2026

FSP-25-29
FSP-25-0005

Sheet Index

Sheet #	Sheet Title
1	Cover Sheet
2	Overall Plan
3	Overall Plan
4	Detail Plan
5	Detail Plan
6	Detail Plan
7	Detail Plan
8	Detail Plan
9	Detail Plan

BROADMOOR - PHASE 1
MAJOR SUBDIVISION & RIGHT-OF-WAY DEDICATION PLAT
1323 ROLESVILLE ROAD, ROLESVILLE
WAKE COUNTY, NORTH CAROLINA
FOR PULTE HOME COMPANY

SURVEYED by
MSS LAND CONSULTANTS
6118 Saint Giles St.
Suite E
Raleigh, NC 27612
Phone (919) 510-4464
Fax (919) 510-9102
Email: goverson@mssl.com
Firm License #: C-2070
"Committed to Total Quality Service"

Checked by: MAH
Drawn by: BAO
Date: Oct. 21, 2025
North Carolina
Wake County
Wake Forest Township
Town of Rolesville

PHASE 1
BOUNDARY BROADMOOR-SUBD-Ph1.dwg
PULTE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	QUANTITY
RDWY		(1) 75W LED Array, LED	AT80 SERIES 73W LED 1050MA TYPE 2 4000K CCT	ELECTRONIC	30' POLE	American Electric Lighting, AT80 ROADWAY LED	120V 1P 2W	79

PHASE	# OF POLES	POLE #
PHASE 1	38 POLES	(1-38)
PHASE 2	21 POLES	(39-59)
PHASE 3	20 POLES	(60-79)
TOTAL	79 POLES	

Roadway Lighting	
AVERAGE FOOT-CANDLES	0,61
MAXIMUM FOOT-CANDLES	1,4
MINIMUM FOOT-CANDLES	0,2
MINIMUM TO MAXIMUM FC RATIO	0,11
MAXIMUM TO MINIMUM FC RATIO	8,88
AVERAGE TO MINIMUM FC RATIO	3,95



Outdoor Lighting
Roadway LED

Light source: LED (60-140)
Lumens: 4,807 - 25,000 (before depreciation)

Wattage	Light Pattern	IESNA Design Longevity Score (IESNA Rating)
LED 50	IESNA Type III (medium oval)	81-100-03
LED 105	IESNA Type III (long oval)	82-90-03
LED 150	IESNA Type III (medium oval)	82-90-02
LED 215	IESNA Type III (medium oval)	83-90-03
LED 280	IESNA Type III (medium oval)	83-90-04

Color temperature: 4,000K
Warm-up and restrike time: Instant on (no warm-up or restrike time)

Poles available:

Name	Mounting height	Color
Fiberless	29' 30'	Black
Fiberless	29', 30', 35'	Black (optional cost)
Wood	29', 30', 35'	Standard
Metals (special conditions)**	29', 30', 35'	Grey

Features

Features	Benefits
Little or no installation cost	Free up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Electricity included	Less expensive than related services
Warranty included	Worry free
One low monthly cost on your electric bill	Convenience and savings for you
Turbine operation	Provides hassle free installation and service
Backed by over 40 years of experience	A name you can trust today ... and tomorrow

*2' raised foundation available when required.
**Material availability subject to change.

Outdoor Lighting
Roadway LED

The Roadway LED is a green solution and great fit for streets, roads, long narrow areas and parking lots. This energy-efficient luminaire delivers the light where it is needed while increasing visibility and reducing spill light to adjoining properties. Choose from 16 medium light patterns used on fiberless poles for mount on an existing pole. Available with one to four fixtures per pole, depending on the fixture pole combination selected.

LED (Light Emitting Diode)
Light Emitting Diode

LED: 50 | 105 | 150 | 215 | 280 watts

Mounting heights: 29' | 30' | 35'

Color: Black

Poles: Fiberless (standard) Wood

For additional information, visit us at dukeenergy.com/outdoorlighting or call us toll free at 866.769.6417.

WithersRavenel
167 E. Chatham St. | Suite 210J Cary, NC 27511
License #: F-14797 | E: 919.236.0350 | www.withersravenel.com

our people • your success

PULTEGROUP
1225 CRESCENT GREEN DRIVE
SUITE 250
CARY, NC 27518

CONSTRUCTION INFRASTRUCTURE DRAWINGS
BROADMOOR
CID-24-06

ROLESVILLE ROAD | ROLESVILLE, NC 27587 | WAKE COUNTY

2077
5/27/2025

SCALE: 1 inch = 200 feet

INITIAL PLAN DATE: 11/01/2024
REVISIONS:
1 - 01/02/2025
2 - 03/03/2025
3 - 03/28/2025
4 - 05/01/2025

WR JOB NUMBER: 23-0045
DRN: WR DGN: WR CKD: WR

LIGHTING EXHIBIT
SL1.00

PROJECT TEAM:

Developer/Owner Pulte Home Company, LLC
 100 Regency Forest Drive
 Suite 400
 Cary, NC 27518
 Engineer/ WithersRavenel
 Streams & 167 E. Chatham Street
 Wetland Suite 210
 Cary, NC 27511
 License #: F-1479
 Surveyor MSS Land Consultants, PC
 6118 Saint Giles Street
 Suite E
 Raleigh, NC 27612
 Matthew A. Hayes, PLS
 NC License L-4516

SITE DATA TABLE:

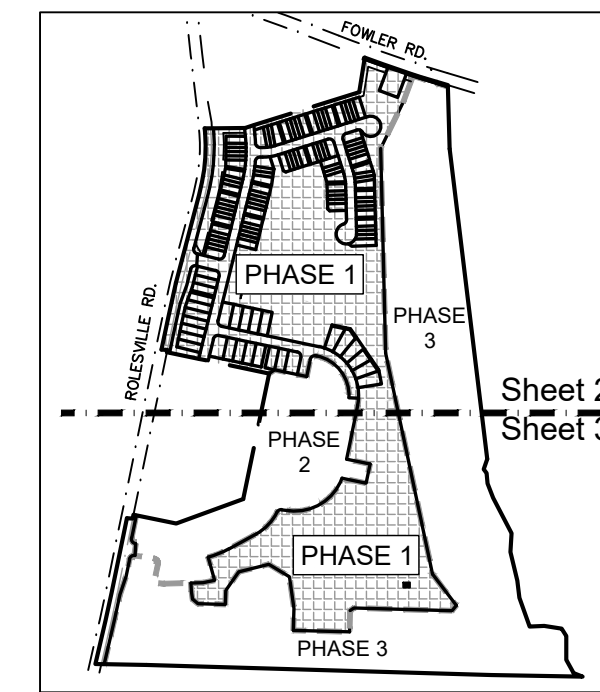
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Overall Plan and Phase Hatching
Not to Scale

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I, Matthew A. Hayes, PLS No. L-4516, certify to the following:
 That this survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land;
 That this plat was drawn under my supervision from an actual survey made under my supervision (deed description(s) and/or plat reference(s) shown hereon under "References"); that the boundaries not surveyed are clearly indicated as drawn from information as shown hereon; that the ratio of precision as calculated is 1:10,000+; that this plat was prepared in accordance with G.S. 47-30 as amended.
 Witness my original signature, registration and seal.



MATTHEW A. HAYES, PLS DATE

TOWN OF ROLESVILLE NOTES:

- All subdivision lots shall abut at least twenty (20) feet on a public street. All public streets shall be dedicated to the Town of Rolesville, the State of North Carolina or the public as determined appropriate by the Board of Commissioners of the Town of Rolesville. All public streets shall be built to the standards of this ordinance and all other applicable standards of the Town of Rolesville and the North Carolina Department of Transportation. Public streets not dedicated to the Town which are eligible for acceptance into the State Highway System shall be constructed to the standards necessary to be put on the State Highway System or the standards in this ordinance, whichever is stricter, in regard to each particular item and shall be put on such system. Streets not dedicated to the Town which are not eligible to be put on the State Highway System because there are too few lots or residences shall, nevertheless, be dedicated to the public and shall be in accordance with the standards in this ordinance or the standards necessary to be put on the State Highway System, whichever is stricter in regard to each particular item, so as to be eligible to be put on the system at a later date. A written maintenance agreement with provisions for maintenance of the street until it is put on the State System shall be included with the final plat.
- Type of street dedication; all streets must be designated either "public" or "private". Where public streets are involved which will be dedicated to the Town the subdivider must submit all street plans to the subdivision administrator for approval prior to preliminary plat approval. Where public streets are involved which will not be dedicated to a municipality, the subdivider must submit the following documents to the N.C. Department of Transportation District Highway Office for review: a complete site layout, including any future expansion anticipated; horizontal alignment indicating general curve data onsite layout plan; vertical alignment indicated by percent grade, PI station and vertical curve length on site plan layout; (the District Engineer may require the plotting of the ground profile and grade line for roads where special conditions or problems exist); typical section indicating the pavement design and width and the slopes, widths and detail for the curb and gutter or the shoulder and ditch proposed; drainage facilities and drainage areas.

CERTIFICATE OF OWNERSHIP AND DEDICATION:

I hereby certify that I am the owner of the property shown and described hereon, which is located in the subdivision jurisdiction of the Town of Rolesville and that I hereby adopt this plan of subdivision with my free consent, establish minimum building setback lines, and dedicate all streets, alleys, walks, parks, and other sites and easements to public or private use as noted. Furthermore, I hereby dedicate all sanitary sewer, storm sewer and water lines to the Town of Rolesville.

Owner: Pulte Home Company, LLC Date _____
 by _____

CERTIFICATE OF APPROVAL OF THE DESIGN AND INSTALLATION OF STREETS, UTILITIES AND OTHER REQUIRED IMPROVEMENTS:

I, _____ hereby certify that all streets, utilities and other required improvements have been installed in a acceptable manner and according to Town specifications and standards in the Subdivision or that guarantees of the installation of the required improvements in an amount and manner satisfactory to the Town of Rolesville has been received and that the filing fees for this plat, in the amount of \$ _____ has been paid

Date _____ Subdivision Administrator _____

 Town of Rolesville
 Rolesville, North Carolina

CERTIFICATE OF APPROVAL FOR RECORDING:

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations of the Town of Rolesville, North Carolina and that this plat has been approved by the Subdivision Administrator of the Town of Rolesville for recording in the Office of the Register of Deeds of Wake County.

Date _____ Subdivision Administrator _____

 Town of Rolesville
 Rolesville, North Carolina

NOTARY CERTIFICATE:

North Carolina, Wake County.
 I, _____, a Notary Public of the County and State aforesaid, certify that _____, a registered land surveyor, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp
 or seal, this day of _____, 20____.
 Printed Name: _____, Notary Public
 My commission expires: _____

Sheet #	Sheet Title
1	Cover Sheet
2	Overall Plan
3	Overall Plan
4	Detail Plan
5	Detail Plan
6	Detail Plan
7	Detail Plan
8	Detail Plan
9	Detail Plan

Required Approvals:
 The rezoning for this development was approved on 3/5/2024 (REZ-23-02) and falls under the LDO

Revision Date(s):
 1. V.1 11-11-2025
 2. V.2 01-28-2026

FSP-25-29
 FSP-25-0005

VICINITY MAP
Not to Scale

LEGEND

- Property Lines
- Property Lines by Others
- Existing Monumentation
- Iron Pipe Set
- Mathematical Point
- EPIP Existing Pinched Iron Pipe
- EIP Existing Iron Pipe
- ECM Existing Concrete Marker
- R/W Right-of-Way
- DB / PB Deed Book / Plat Book
- CORWSSE City of Raleigh Water & Sanitary Sewer Esm't
- Esm't Easement
- PrME Private Monument Esm't
- PrDE Private Drainage Esm't
- PuDE Public Drainage Esm't
- SDE Sight Distance Esm't
- SFHA Special Flood Hazard Area
- SS Sanitary Sewer
- SB Setback
- VW Variable Width
- Wetlands
- Matchlines
- Phaselines

BROADMOOR - PHASE 1
 MAJOR SUBDIVISION & RIGHT-OF-WAY DEDICATION PLAT
 1323 ROLESVILLE ROAD, ROLESVILLE
 WAKE COUNTY, NORTH CAROLINA
 FOR PULTE HOME COMPANY

Checked by: MAH
 Drawn by: BAO
 Date: Oct. 21, 2025
 North Carolina
 Wake County
 Wake Forest Township
 Town of Rolesville

SURVEYED by _____

MSS LAND CONSULTANTS
 6118 Saint Giles St.
 Suite E
 Raleigh, NC 27612
 Phone (919) 510-4464
 Fax (919) 510-9102
 Email: goverson@mssl.com
 Firm License #: C-2070
 "Committed to Total Quality Service"

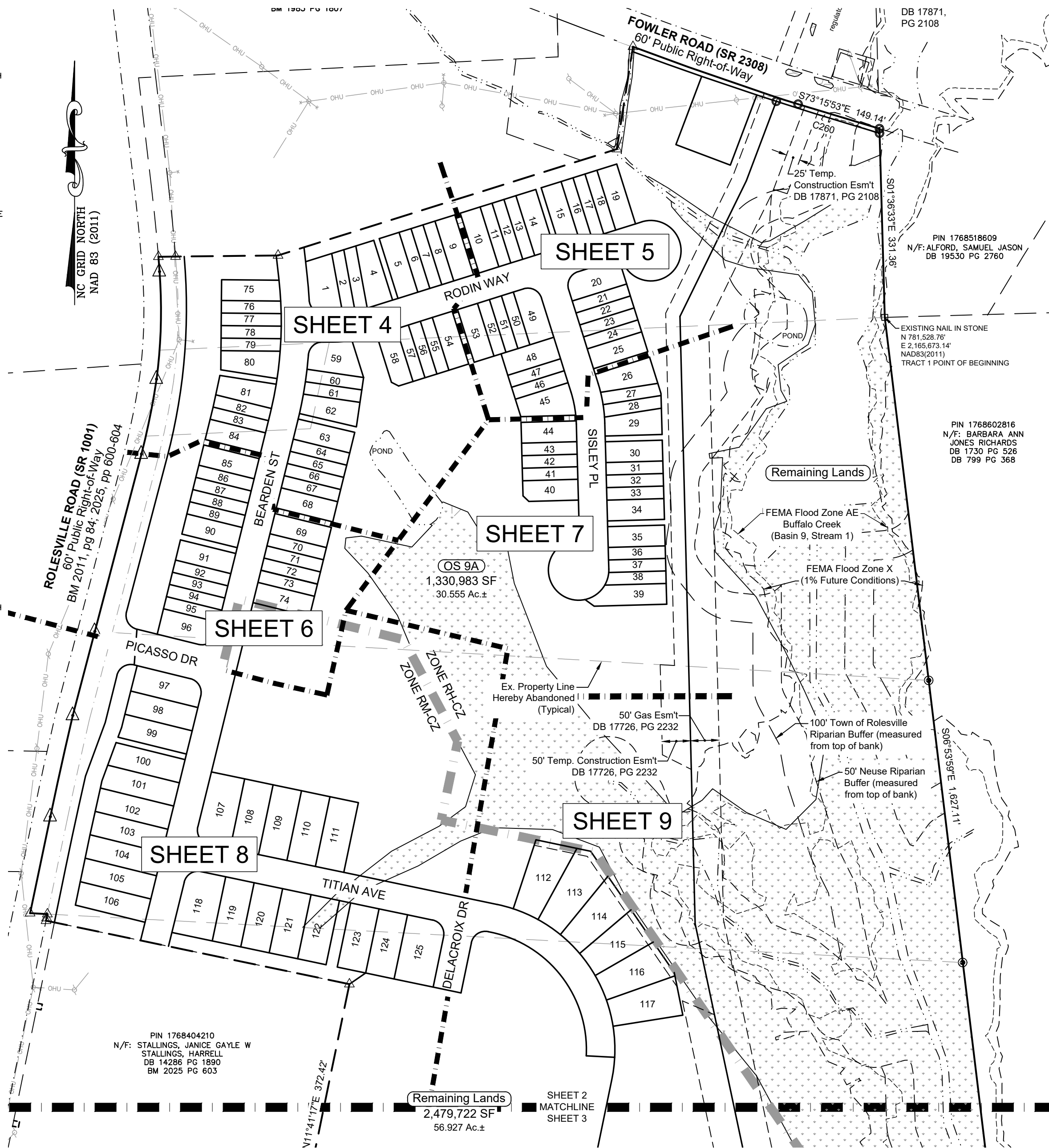
...PULTE\PHI-23-01-BROADMOOR.dwg \BOUNDARY\Broadmoor-SUBD-Ph1.dwg

ALL DWELLING, SINGLE-FAMILY DETACHED DWELLINGS SHALL ADHERE TO THE FOLLOWING CONDITIONS:

- A. **SIDING MATERIAL:**
 - IF MASONRY (SUCH AS BRICK VENEER OR FAUX STONE PRODUCT) IS NOT THE PREDOMINANT FIRST FLOOR FINISH (GREATER THAN 50%), THEN THE FRONT ELEVATION SHALL HAVE AT LEAST TWO (2) STYLES OF FIBER CEMENT SIDING (I.E. LAP, SHAKE, OR BOARD AND BATTEN, ETC.);
 - VINYL MATERIAL IS PROHIBITED EXCEPT FOR SOFFITS, FACIA, AND CORNER BOARDS;
 - NO DWELLING UNIT SHALL BE CONSTRUCTED WITH AN EXTERIOR ELEVATION OR COLOR PALETTE THAT IS IDENTICAL TO THE DWELLING UNIT ON EITHER SIDE OR DIRECTLY ACROSS THE STREET.
- B. **GARAGES:**
 - A MINIMUM 2-CAR SIDE-BY-SIDE (NOT TANDEM) GARAGE SHALL BE PROVIDED;
 - ALL GARAGE DOORS SHALL HAVE WINDOWS.
- C. **ROOFS:**
 - ROOF MATERIALS SHALL BE ASPHALT SHINGLES, METAL, COPPER, WOOD, OR A COMBINATION OF THESE MATERIALS.
- D. **BUILDING FOUNDATIONS:**
 - BUILDING FOUNDATIONS ALONG THE FRONT FAÇADE SHALL HAVE AN EXPOSED HEIGHT ABOVE FINISHED GRADE OF AT LEAST 18" AND MUST BE FINISHED WITH MASONRY PRODUCT SUCH AS BRICK VENEER OR FAUX STONE PRODUCT.
- E. **COVERED ENTRY:**
 - A COVERED FRONT PORCH OR COVERED STOOP OF AT LEAST 20 SQUARE FEET WITH A MINIMUM DEPTH OF 5 FEET.
- F. **WINDOWS:**
 - ALL WINDOWS ALONG THE FRONT FAÇADE SHALL HAVE SHUTTERS AND/OR TRIM;
 - EACH SIDE ELEVATION SHALL HAVE AT LEAST TWO WINDOWS.
- G. **REAR YARD AMENITY:**
 - AN UNENCLOSED PATIO, DECK, OR SCREENED-IN PORCH OF AT LEAST 64 SQUARE FEET.

ALL DWELLING, SINGLE-FAMILY ATTACHED (TOWNHOME) BUILDINGS SHALL ADHERE TO THE FOLLOWING CONDITIONS:

- A. **SIDING MATERIAL:**
 - IF MASONRY (SUCH AS BRICK VENEER OR FAUX STONE PRODUCT) IS NOT THE PREDOMINANT FIRST FLOOR FINISH (GREATER THAN 50%), THEN THE FRONT ELEVATION SHALL HAVE AT LEAST TWO (2) STYLES OF FIBER CEMENT SIDING (I.E. LAP, SHAKE, OR BOARD AND BATTEN, ETC.);
 - VINYL MATERIAL IS PROHIBITED EXCEPT FOR SOFFITS, FACIA, AND CORNER BOARDS;
 - NO DWELLING UNIT SHALL BE CONSTRUCTED WITH AN EXTERIOR ELEVATION OR COLOR PALETTE THAT IS IDENTICAL TO THE DWELLING UNIT ON EITHER SIDE, DIRECTLY ACROSS THE STREET.
- B. **GARAGES:**
 - A MINIMUM 1-CAR GARAGE SHALL BE PROVIDED;
 - ALL GARAGE DOORS SHALL HAVE WINDOWS.
- C. **ROOFS:**
 - ROOF MATERIALS SHALL BE ASPHALT SHINGLES, METAL, COPPER, WOOD, OR A COMBINATION OF THESE MATERIALS.
- D. **COVERED ENTRY:**
 - A COVERED FRONT PORCH OR COVERED STOOP OF AT LEAST 20 SQUARE FEET WITH A MINIMUM DEPTH OF 4 FEET.
- E. **WINDOWS:**
 - ALL WINDOWS ALONG THE FRONT FAÇADE SHALL HAVE SHUTTERS AND/OR TRIM;
 - EACH SIDE ELEVATION SHALL HAVE AT LEAST ONE WINDOW (EXCLUDING INTERIOR UNITS).
- F. **REAR YARD AMENITY:**
 - AN UNENCLOSED PATIO, DECK, OR SCREENED-IN PORCH OF AT LEAST 64 SQUARE FEET.



LOT ADDRESSING			
Lot #	Address	Type	Max Impervious
1	401 Rodin Way	TH	2,600 SF
2	403 Rodin Way	TH	1,700 SF
3	405 Rodin Way	TH	1,700 SF
4	407 Rodin Way	TH	2,600 SF
5	411 Rodin Way	TH	2,600 SF
6	413 Rodin Way	TH	1,700 SF
7	415 Rodin Way	TH	1,700 SF
8	417 Rodin Way	TH	1,700 SF
9	419 Rodin Way	TH	2,600 SF
10	425 Rodin Way	TH	2,600 SF
11	427 Rodin Way	TH	1,700 SF
12	429 Rodin Way	TH	1,700 SF
13	431 Rodin Way	TH	1,700 SF
14	433 Rodin Way	TH	2,600 SF
15	441 Rodin Way	TH	2,600 SF
16	443 Rodin Way	TH	1,700 SF
17	445 Rodin Way	TH	1,700 SF
18	447 Rodin Way	TH	1,700 SF
19	449 Rodin Way	TH	2,600 SF
20	931 Sislely Pl	TH	2,600 SF
21	933 Sislely Pl	TH	1,700 SF
22	935 Sislely Pl	TH	1,700 SF
23	937 Sislely Pl	TH	1,700 SF
24	939 Sislely Pl	TH	1,700 SF
25	911 Sislely Pl	TH	2,600 SF
26	917 Sislely Pl	TH	2,600 SF
27	919 Sislely Pl	TH	1,700 SF
28	921 Sislely Pl	TH	1,700 SF
29	923 Sislely Pl	TH	2,600 SF
30	927 Sislely Pl	TH	2,600 SF
31	929 Sislely Pl	TH	1,700 SF
32	931 Sislely Pl	TH	1,700 SF
33	933 Sislely Pl	TH	1,700 SF
34	935 Sislely Pl	TH	2,600 SF
35	941 Sislely Pl	TH	2,600 SF
36	943 Sislely Pl	TH	1,700 SF
37	945 Sislely Pl	TH	1,700 SF
38	947 Sislely Pl	TH	1,700 SF
39	949 Sislely Pl	TH	2,600 SF
40	932 Sislely Pl	TH	2,600 SF
41	930 Sislely Pl	TH	1,700 SF
42	928 Sislely Pl	TH	1,700 SF
43	926 Sislely Pl	TH	1,700 SF
44	924 Sislely Pl	TH	2,600 SF
45	916 Sislely Pl	TH	2,600 SF
46	914 Sislely Pl	TH	1,700 SF
47	912 Sislely Pl	TH	1,700 SF
48	910 Sislely Pl	TH	2,600 SF
49	430 Rodin Way	TH	2,600 SF
50	428 Rodin Way	TH	1,700 SF
51	426 Rodin Way	TH	1,700 SF
52	424 Rodin Way	TH	1,700 SF
53	422 Rodin Way	TH	2,600 SF
54	416 Rodin Way	TH	2,600 SF
55	414 Rodin Way	TH	1,700 SF
56	412 Rodin Way	TH	1,700 SF
57	410 Rodin Way	TH	1,700 SF
58	408 Rodin Way	TH	2,600 SF
59	711 Bearden St	TH	2,600 SF
60	713 Bearden St	TH	1,700 SF
61	715 Bearden St	TH	1,700 SF
62	717 Bearden St	TH	2,600 SF
63	723 Bearden St	TH	2,600 SF
64	725 Bearden St	TH	1,700 SF
65	727 Bearden St	TH	1,700 SF
66	729 Bearden St	TH	1,700 SF
67	731 Bearden St	TH	1,700 SF
68	733 Bearden St	TH	2,600 SF
69	737 Bearden St	TH	2,600 SF
70	739 Bearden St	TH	1,700 SF
71	741 Bearden St	TH	1,700 SF
72	743 Bearden St	TH	1,700 SF
73	745 Bearden St	TH	1,700 SF
74	747 Bearden St	TH	2,600 SF
75	702 Bearden St	TH	2,600 SF
76	704 Bearden St	TH	1,700 SF
77	706 Bearden St	TH	1,700 SF
78	708 Bearden St	TH	1,700 SF
79	710 Bearden St	TH	1,700 SF
80	712 Bearden St	TH	2,600 SF
81	718 Bearden St	TH	2,600 SF
82	720 Bearden St	TH	1,700 SF
83	722 Bearden St	TH	1,700 SF
84	724 Bearden St	TH	2,600 SF
85	730 Bearden St	TH	2,600 SF
86	732 Bearden St	TH	1,700 SF
87	734 Bearden St	TH	1,700 SF
88	736 Bearden St	TH	1,700 SF
89	738 Bearden St	TH	1,700 SF
90	740 Bearden St	TH	2,600 SF
91	746 Bearden St	TH	2,600 SF
92	748 Bearden St	TH	1,700 SF
93	750 Bearden St	TH	1,700 SF
94	752 Bearden St	TH	1,700 SF
95	754 Bearden St	TH	1,700 SF
96	756 Bearden St	TH	2,600 SF
97	800 Bearden St	SF	2,600 SF
98	804 Bearden St	SF	2,600 SF
99	808 Bearden St	SF	2,600 SF
100	812 Bearden St	SF	2,600 SF
101	816 Bearden St	SF	2,600 SF
102	820 Bearden St	SF	2,600 SF
103	824 Bearden St	SF	2,600 SF
104	828 Bearden St	SF	2,600 SF
105	832 Bearden St	SF	2,600 SF
106	836 Bearden St	SF	2,600 SF
107	1001 Titan Ave	SF	3,500 SF
108	1005 Titan Ave	SF	3,500 SF
109	1009 Titan Ave	SF	3,500 SF
110	1013 Titan Ave	SF	3,500 SF
111	1017 Titan Ave	SF	3,500 SF
112	1041 Titan Ave	SF	3,500 SF
113	1045 Titan Ave	SF	3,500 SF
114	1049 Titan Ave	SF	3,500 SF
115	1053 Titan Ave	SF	3,500 SF
116	1057 Titan Ave	SF	3,500 SF
117	1061 Titan Ave	SF	3,500 SF
118	1000 Titan Ave	SF	3,500 SF
119	1004 Titan Ave	SF	3,500 SF
120	1008 Titan Ave	SF	3,500 SF
121	1012 Titan Ave	SF	3,500 SF
122	1016 Titan Ave	SF	3,500 SF
123	1024 Titan Ave	SF	3,500 SF
124	1028 Titan Ave	SF	3,500 SF
125	1032 Titan Ave	SF	3,500 SF

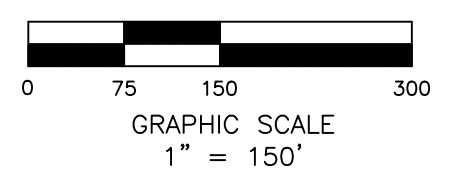


LEGEND

- Property Lines
- Property Lines by Others
- Existing Monumentation
- Iron Pipe Set
- Mathematical Point
- Existing Pinched Iron Pipe
- Existing Iron Pipe
- ECM Existing Concrete Marker
- R/W Right-of-Way
- DB / PB Deed Book / Plat Book
- CORWSSE City of Raleigh Water & Sewer Esm't
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- PuDE Public Drainage Esm't
- SDE Sight Distance Esm't
- SFHA Special Flood Hazard Area
- SS Sanitary Sewer
- SB Setback
- VW Variable Width
- Wetlands
- Matchlines
- Phaselines

BROADMOOR - PHASE 1
MAJOR SUBDIVISION & RIGHT-OF-WAY DEDICATION PLAT
1323 ROLESVILLE ROAD, ROLESVILLE
WAKE COUNTY, NORTH CAROLINA
FOR PULTE HOME COMPANY

Checked by:	MAH
Drawn by:	BAO
Date:	Oct. 21, 2025
North Carolina	
Wake County	
Wake Forest Township	
Town of Rolesville	



Curve Table

CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
C260	134.99'	6,537.50'	S72°40'53"E	134.99'

SURVEYED by

MSS LAND CONSULTANTS
6118 Saint Giles St.
Suite E
Raleigh, NC 27612
Phone (919) 510-4464
Fax (919) 510-9102
Email: govorsw@mssland.com

"Committed to Total Quality Service"

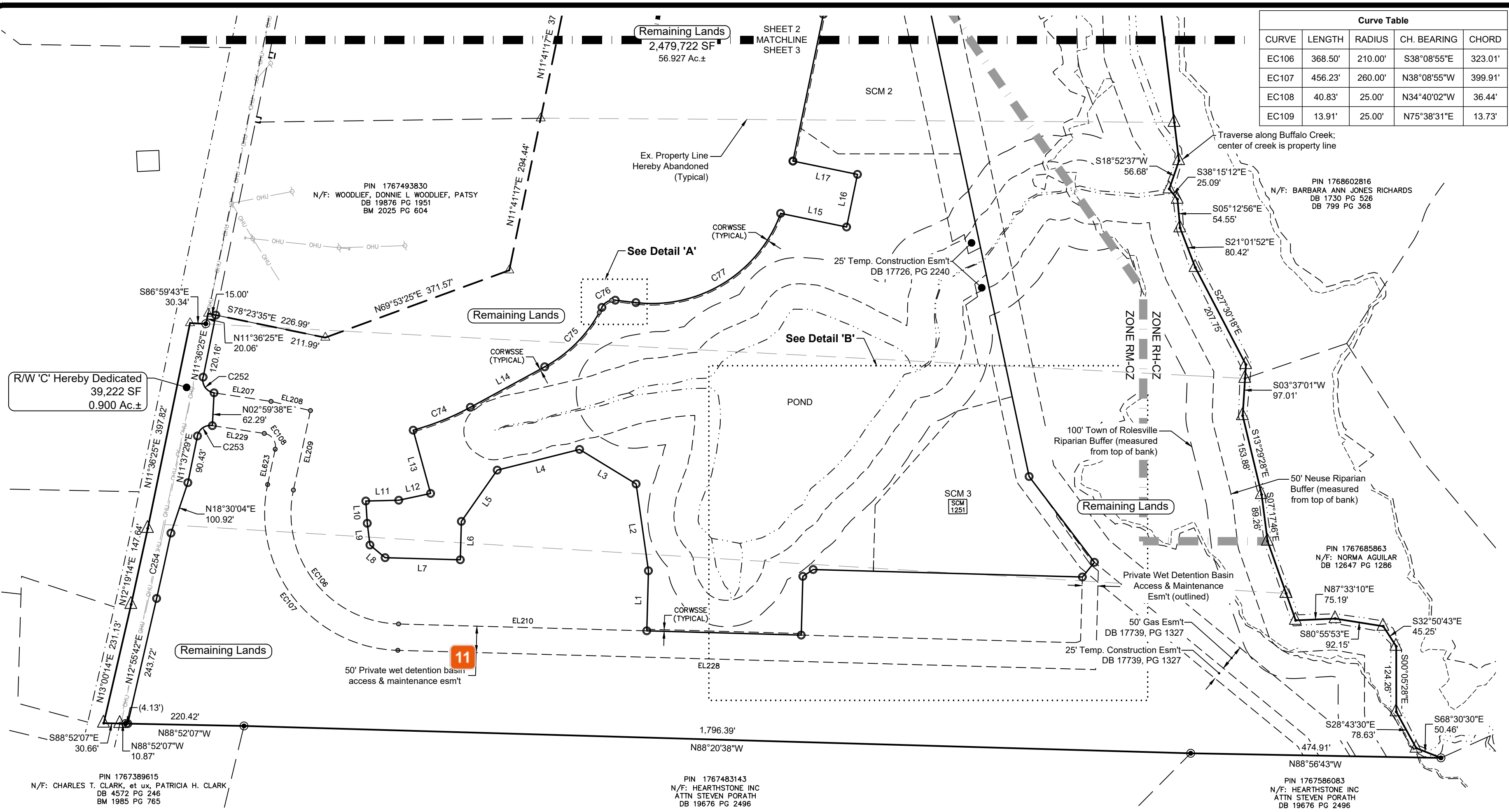
Firm License #: C-2070

BOUNDARY Broadmoor-SUBD-Ph1.dwg
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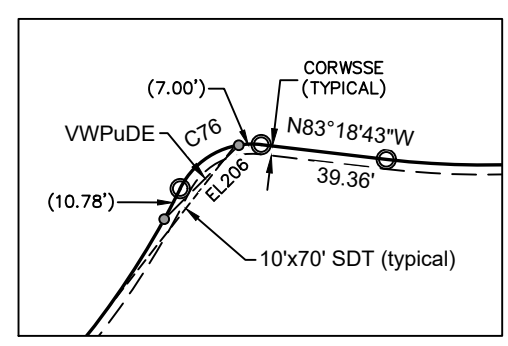
Curve Table				
CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
EC106	368.50'	210.00'	S38°08'55"E	323.01'
EC107	456.23'	260.00'	N38°08'55"W	399.91'
EC108	40.83'	25.00'	N34°40'02"W	36.44'
EC109	13.91'	25.00'	N75°38'31"E	13.73'

LEGEND	
—	Property Lines
—	Property Lines by Others
○	Existing Monumentation
●	Iron Pipe Set
△	Mathematical Point
⊙	EIP Existing Pinched Iron Pipe
⊖	EIP Existing Iron Pipe
⊕	ECM Existing Concrete Marker
—	R/W Right-of-Way
DB / PB	Deed Book / Plat Book
CORWSSE	City of Raleigh Water & Sanitary Sewer Esm't
Esm't	Easement
PrME	Private Monument Esm't
PrDE	Private Drainage Esm't
PuDE	Public Drainage Esm't
SDE	Sight Distance Esm't
SFHA	Special Flood Hazard Area
SS	Sanitary Sewer
SB	Setback
VW	Variable Width
—	Wetlands
—	Matchlines
—	Phaselines

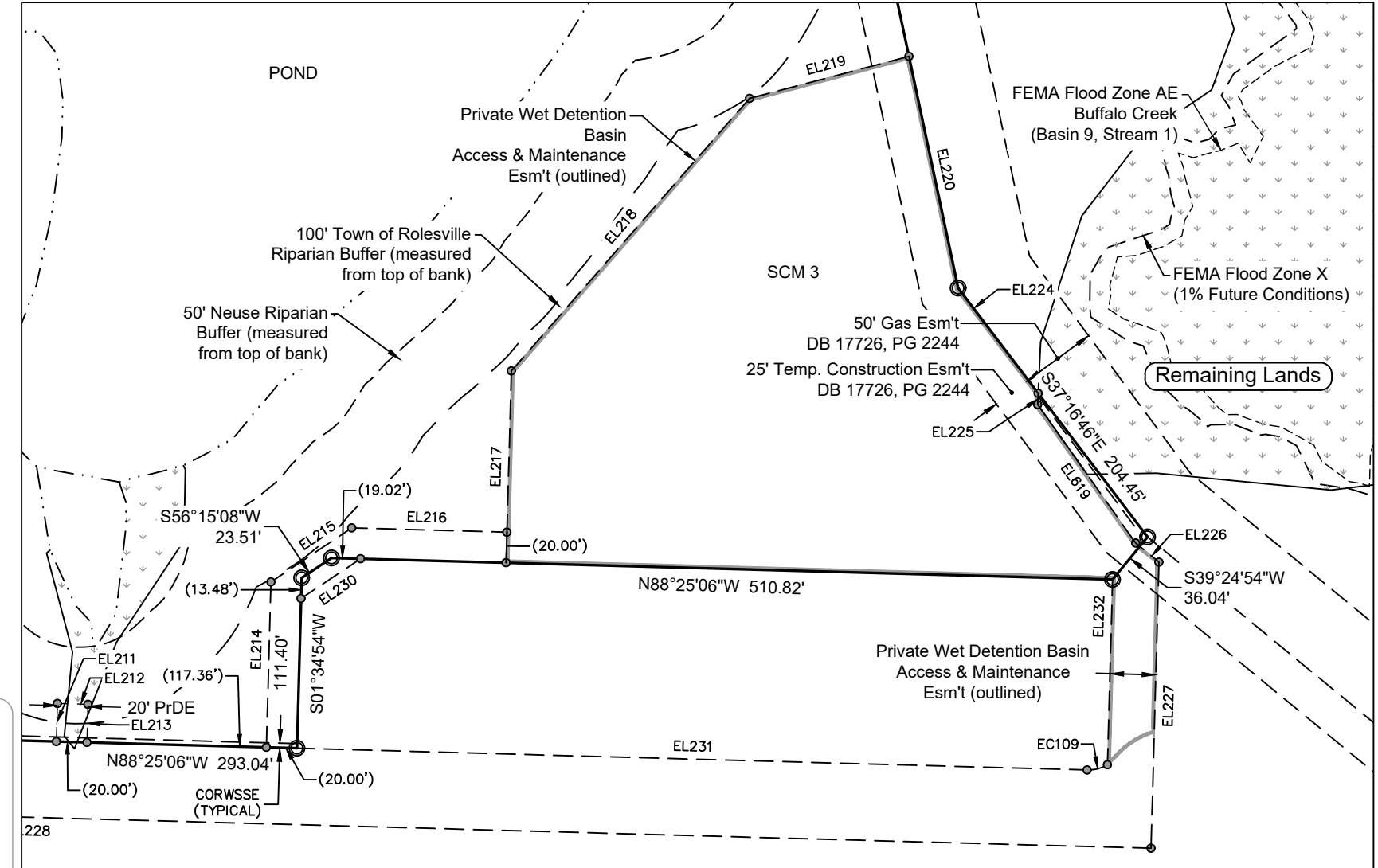


BROADMOOR - PHASE 1
 MAJOR SUBDIVISION & RIGHT-OF-WAY DEDICATION PLAT
 1323 ROLESVILLE ROAD, ROLESVILLE
 WAKE COUNTY, NORTH CAROLINA
 FOR PULTE HOME COMPANY

Checked by: MAH
 Drawn by: BAO
 Date: Oct. 21, 2025
 North Carolina
 Wake County
 Wake Forest Township
 Town of Rolesville



Detail 'A'
Not to Scale



Detail 'B'
Not to Scale

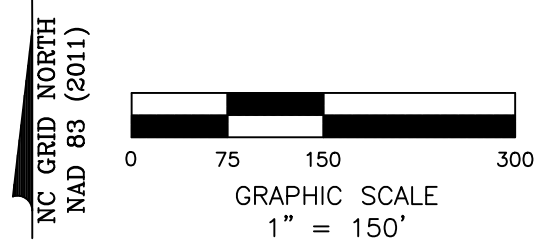
Line Table		
LINE #	DIRECTION	LENGTH
L1	N01°34'54"E	114.00'
L2	N08°05'20"W	166.35'
L3	N58°34'02"W	125.65'
L4	S75°53'11"W	161.12'
L5	S34°58'01"W	118.62'
L6	S01°34'54"W	72.90'
L7	N88°25'06"W	142.75'
L8	N50°01'43"W	37.45'
L9	N07°05'55"W	41.59'
L10	N03°45'50"W	42.33'
L11	N88°39'43"E	62.57'
L12	N77°59'40"E	61.69'
L13	N15°21'26"W	124.54'
L14	N61°26'43"E	160.49'
L15	S78°18'43"E	127.74'
L16	N11°41'17"E	102.00'
L17	N78°18'43"W	125.00'

Line Table		
LINE #	DIRECTION	LENGTH
EL207	S81°27'20"E	109.32'
EL208	S76°52'53"E	76.84'
EL209	S12°07'16"W	154.29'
EL210	S88°25'06"E	470.99'
EL211	N01°34'50"E	24.92'
EL212	S88°25'06"E	20.00'
EL213	S01°34'50"W	24.92'
EL214	N01°34'54"E	108.26'
EL215	N56°15'08"E	63.53'
EL216	S88°25'06"E	101.50'
EL217	N01°34'54"E	125.52'
EL218	N41°09'00"E	236.63'
EL219	N75°14'28"E	107.78'
EL220	S11°58'59"E	154.91'
EL224	S37°16'46"E	86.48'

Line Table		
LINE #	DIRECTION	LENGTH
EL225	S02°41'22"W	7.38'
EL226	S50°35'06"E	19.69'
EL227	S01°34'54"W	187.18'
EL228	N88°25'06"W	1324.03'
EL229	N81°27'20"W	99.70'
EL230	N56°15'08"E	46.83'
EL231	S88°25'06"E	516.80'
EL232	N01°34'54"E	121.23'
EL272	N00°00'00"E	57.21'
EL273	N90°00'00"E	20.00'
EL274	S00°00'00"E	37.75'
EL275	S88°25'06"E	163.55'
EL276	S01°34'43"W	20.00'
EL619	S35°16'54"E	110.86'
EL623	N12°07'16"E	68.57'

Curve Table				
CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
C74	117.16'	500.00'	N68°09'29"E	116.89'
C75	158.95'	260.00'	N43°55'54"E	156.48'
C77	347.92'	260.00'	N58°21'12"E	322.53'

Curve Table				
CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
C252	40.61'	25.00'	N34°55'32"W	36.29'
C253	37.93'	25.00'	N55°04'33"E	34.40'
C254	126.86'	7,264.97'	N12°25'41"E	126.86'

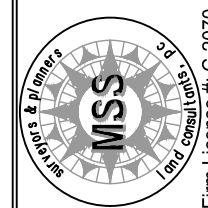


NC GRID NORTH
NAD 83 (2011)

MSS LAND CONSULTANTS
 6118 Saint Giles St.
 Suite E
 Raleigh, NC 27612
 Phone (919) 510-4464
 Fax (919) 510-9102
 Email: govors@mssland.com

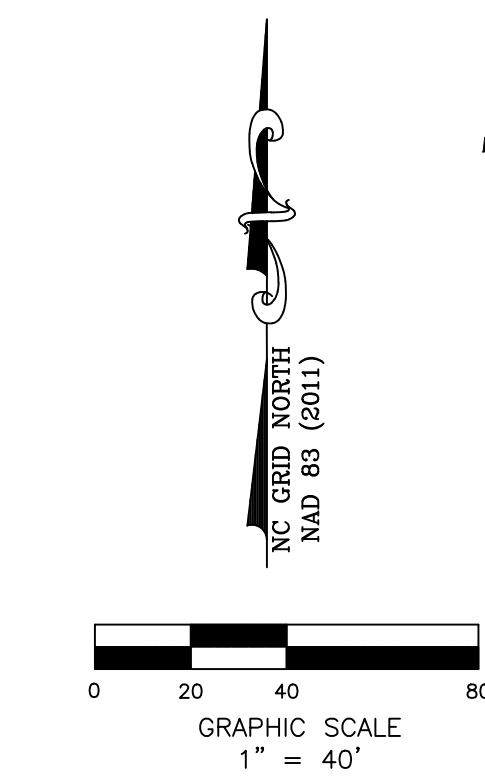
"Committed to Total Quality Service"

Firm License #: C-2070

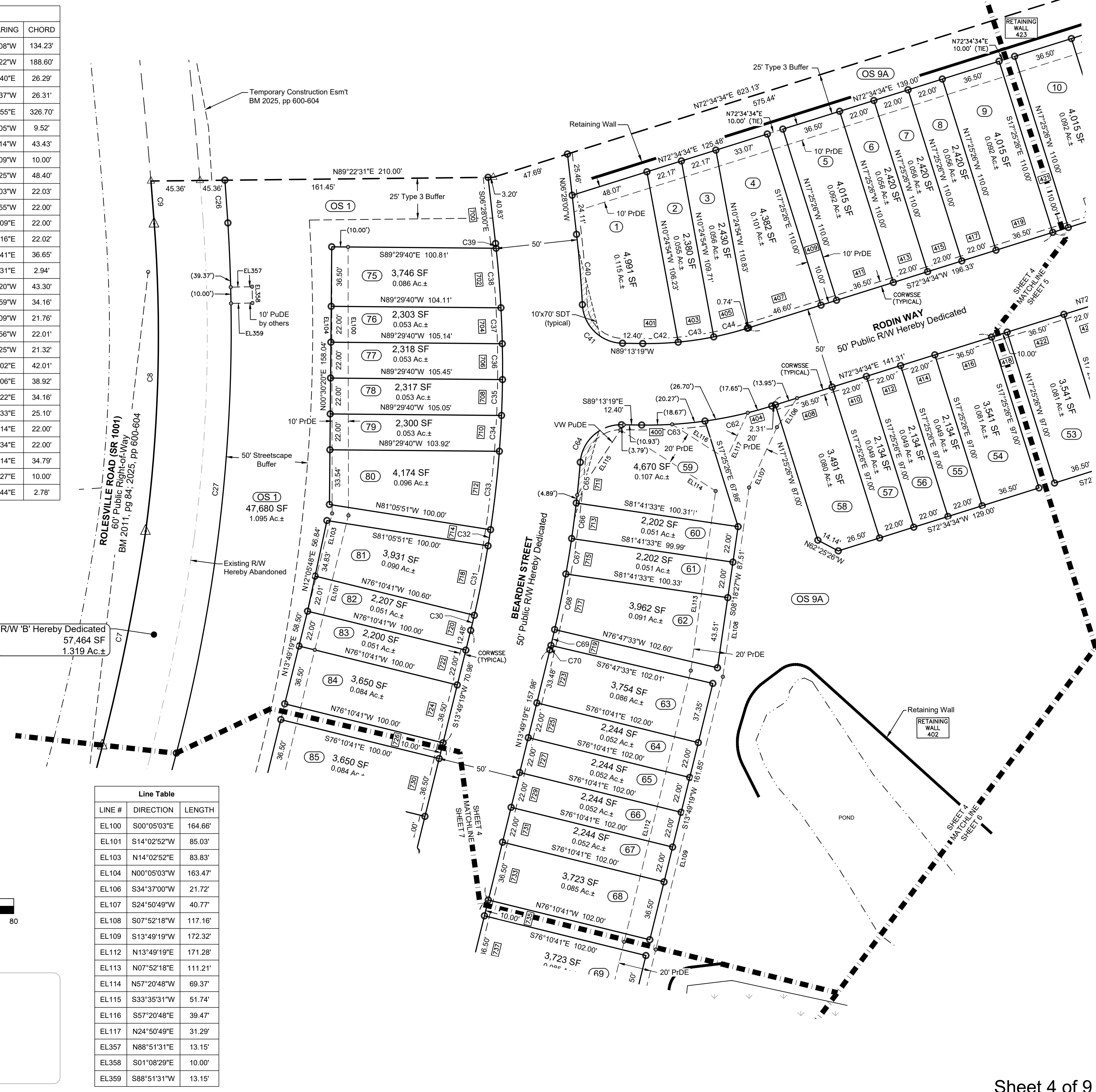




Curve Table				
CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
C7	134.29'	1,352.59'	S11°24'08"W	134.23'
C8	188.93'	928.28'	S01°35'22"W	188.60'
C9	26.29'	3,423.77'	S04°27'40"E	26.29'
C26	26.31'	2,025.00'	N03°59'37"W	26.31'
C27	328.10'	1,025.00'	N05°32'55"E	326.70'
C30	9.52'	675.00'	S13°25'05"W	9.52'
C31	43.44'	675.00'	S11°10'14"W	43.43'
C32	10.00'	675.00'	S08°54'09"W	10.00'
C33	48.41'	675.00'	S06°25'25"W	48.40'
C34	22.03'	675.00'	S03°26'03"W	22.03'
C35	22.00'	675.00'	S01°33'55"W	22.00'
C36	22.00'	675.00'	S00°18'09"E	22.00'
C37	22.03'	675.00'	S02°10'16"E	22.02'
C38	36.65'	675.00'	S04°39'41"E	36.65'
C39	2.94'	675.00'	S06°20'31"E	2.94'
C40	43.30'	725.00'	N04°45'20"W	43.30'
C41	37.60'	25.00'	N46°07'59"W	34.16'
C42	21.77'	205.00'	S87°44'09"W	21.76'
C43	22.02'	205.00'	S81°36'56"W	22.01'
C44	21.33'	205.00'	S75°33'25"W	21.32'
C62	42.06'	255.00'	N77°18'02"E	42.01'
C63	38.96'	255.00'	N86°24'06"E	38.92'
C64	37.60'	25.00'	N47°41'22"E	34.16'
C65	25.10'	725.00'	N05°35'33"E	25.10'
C66	22.00'	725.00'	N07°27'14"E	22.00'
C67	22.00'	725.00'	N09°11'34"E	22.00'
C68	34.80'	725.00'	N11°26'14"E	34.79'
C69	10.00'	725.00'	N13°12'27"E	10.00'
C70	2.78'	725.00'	N13°42'44"E	2.78'



Line Table		
LINE #	DIRECTION	LENGTH
EL100	S00°05'03"E	164.66'
EL101	S14°02'52"W	85.03'
EL103	N14°02'52"E	83.83'
EL104	N00°05'03"W	163.47'
EL106	S34°37'00"W	21.72'
EL107	S24°50'49"W	40.77'
EL108	S07°52'18"W	117.16'
EL109	S13°49'19"W	172.32'
EL112	N13°49'19"E	171.28'
EL113	N07°52'18"E	111.21'
EL114	N57°20'48"W	69.37'
EL115	S33°35'31"W	51.74'
EL116	S57°20'48"E	39.47'
EL117	N24°50'49"E	31.29'
EL357	N88°51'31"E	13.15'
EL358	S01°08'29"E	10.00'
EL359	S88°51'31"W	13.15'



LEGEND	
—	Property Lines
—	Property Lines by Others
○	Existing Monumentation
●	Iron Pipe Set
△	Mathematical Point
○	EIP Existing Pinched Iron Pipe
○	EIP Existing Iron Pipe
○	ECM Existing Concrete Marker
—	R/W Right-of-Way
DB / PB	Deed Book / Plat Book
CORWSSE	City of Raleigh Water & Sanitary Sewer Esm't
Esm't	Easement
PrME	Private Monument Esm't
PrDE	Private Drainage Esm't
PuDE	Public Drainage Esm't
SDE	Sight Distance Esm't
SFHA	Special Flood Hazard Area
SS	Sanitary Sewer
SB	Setback
VW	Variable Width
—	Wetlands
—	Matchlines
—	Phaselines

BROADMOOR - PHASE 1
 MAJOR SUBDIVISION & RIGHT-OF-WAY DEDICATION PLAT
 1323 ROLESVILLE ROAD, ROLESVILLE
 WAKE COUNTY, NORTH CAROLINA
 FOR PULTE HOME COMPANY

Checked by: MAH
 Drawn by: BAO
 Date: Oct. 21, 2025
 North Carolina
 Wake County
 Wake Forest Township
 Town of Rolesville

SURVEYED by

MSS LAND CONSULTANTS
 6118 Saint Giles St.
 Suite E
 Raleigh, NC 27612
 Phone (919) 510-4464
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 Email: govorsw@mssland.com

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LINE #	DIRECTION	LENGTH
EL154	N26°04'08"E	256.62'
EL155	N63°55'52"W	209.28'
EL156	S63°55'52"E	216.99'
EL157	N20°40'06"E	130.42'
EL158	N32°53'00"E	20.00'
EL159	S57°07'00"E	19.35'
EL160	S20°39'46"W	20.46'
EL161	N57°07'00"W	23.68'
EL162	N19°04'14"E	20.60'
EL163	S57°07'00"E	27.68'
EL165	N57°07'00"W	25.16'
EL166	N81°26'19"E	3.37'
EL167	N20°40'06"E	117.86'
EL168	S69°19'54"E	15.00'
EL169	S20°40'06"W	121.42'
EL170	N36°57'50"W	43.54'
EL171	S81°26'19"W	8.30'
EL172	S05°57'13"W	132.53'
EL179	N05°57'13"E	133.45'

CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
C2	50.77'	1,298.50'	S72°08'41"E	50.76'
C45	234.60'	53.00'	N19°23'05"E	84.87'
C46	13.72'	25.00'	S49°31'40"E	13.55'
C47	18.40'	25.00'	S86°20'11"E	17.99'
C48	39.27'	25.00'	N27°34'34"E	35.36'
C60	41.29'	205.00'	S11°39'17"E	41.22'
C61	39.27'	25.00'	S62°25'26"E	35.36'
C79	129.49'	6,537.50'	S70°18'44"E	129.49'
C80	36.04'	6,537.50'	S71°55'55"E	36.04'

CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
EC101	30.84'	90.00'	N10°51'02"E	30.69'
EC102	25.39'	35.00'	S00°06'44"E	24.84'



LEGEND	
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Matchlines	Matchlines
Phaselines	Phaselines

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 1323 ROLESVILLE ROAD, ROLESVILLE
 WAKE COUNTY, NORTH CAROLINA
 FOR PULTE HOME COMPANY

Checked by: MAH
 Drawn by: BAO
 Date: Oct. 21, 2025
 North Carolina
 Wake County
 Wake Forest Township
 Town of Rolesville

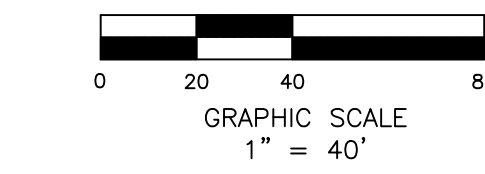
SURVEYED by

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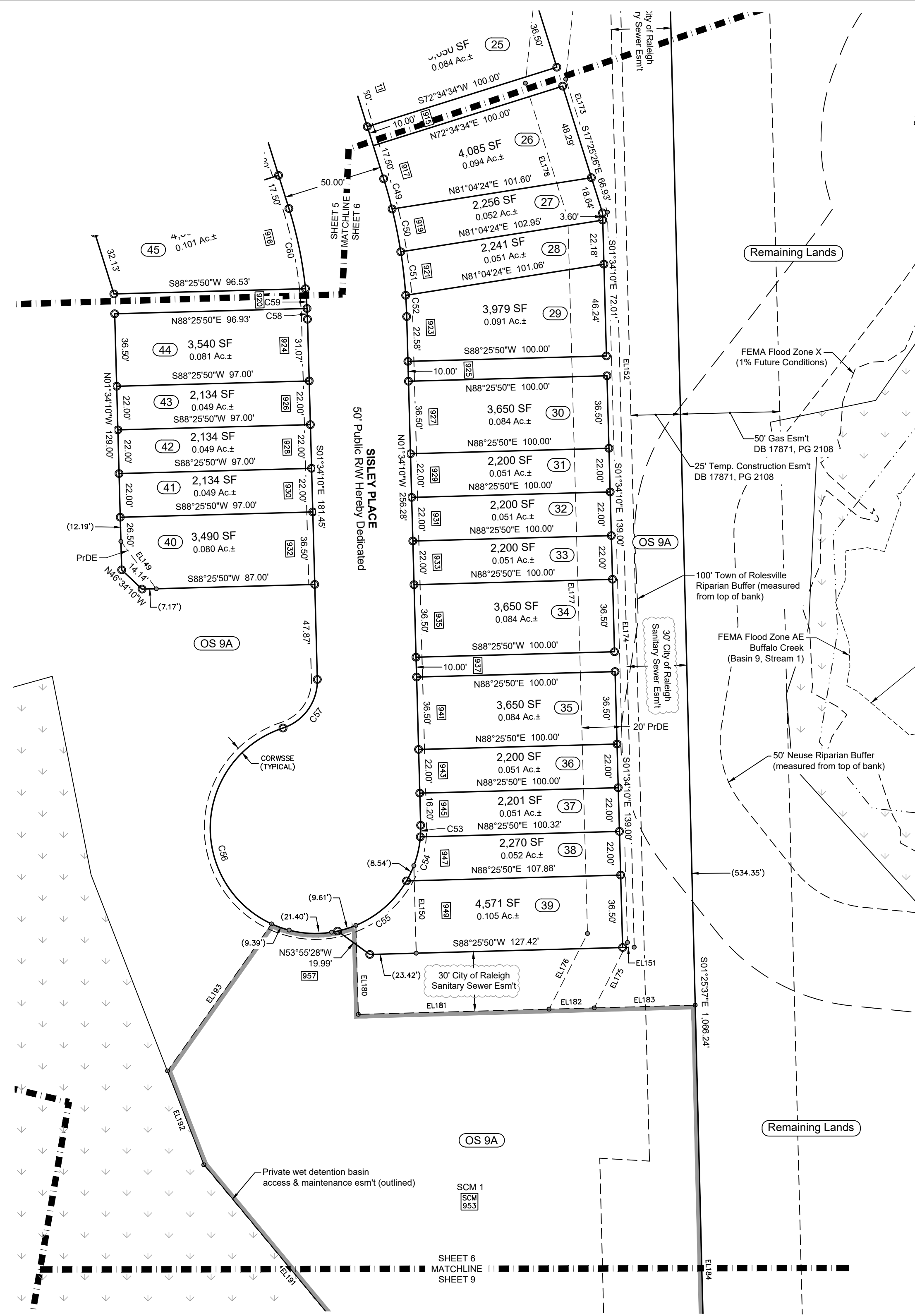
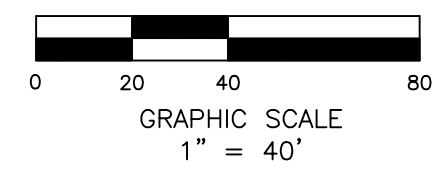
Firm License #: C-2070

BOUNDARY Broadmoor-SUBD-Ph1.dwg
 PULTE\PHI-23-01-BROADMOOR.dwg



Curve Table				
CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
C49	15.79'	255.00'	N15°39'00"W	15.79'
C50	22.03'	255.00'	N11°24'04"W	22.02'
C51	22.03'	255.00'	N06°27'07"W	22.02'
C52	10.72'	255.00'	N02°46'24"W	10.72'
C53	5.81'	53.00'	N01°34'25"E	5.81'
C54	23.45'	53.00'	N17°23'38"E	23.26'
C55	44.17'	53.00'	N53°56'51"E	42.91'
C56	161.16'	53.00'	S15°03'51"E	105.87'
C57	32.12'	25.00'	S35°14'22"W	29.96'
C58	5.43'	205.00'	S02°19'40"E	5.43'
C59	10.01'	205.00'	S04°29'09"E	10.01'

Line Table		
LINE #	DIRECTION	LENGTH
EL149	S36°47'57"E	29.77'
EL150	N01°34'10"W	44.10'
EL151	N88°25'50"E	5.82'
EL152	N01°25'37"W	511.77'
EL173	S17°25'26"E	70.21'
EL174	S01°34'10"E	367.90'
EL175	S26°55'32"W	36.94'
EL176	N26°55'32"E	42.71'
EL178	N17°25'26"W	71.56'
EL180	S01°34'10"E	44.82'
EL181	N88°25'50"E	96.12'
EL182	N88°25'50"E	22.76'
EL183	N88°25'50"E	50.87'
EL184	S01°25'37"E	318.64'
EL191	N39°43'11"W	140.74'
EL192	N21°07'38"W	50.68'
EL193	N35°17'29"E	90.70'

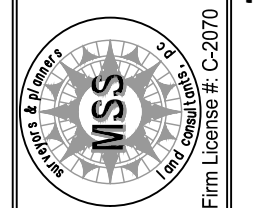


LEGEND	
—	Property Lines
—	Property Lines by Others
○	Existing Monumentation
●	Iron Pipe Set
△	Mathematical Point
⊖	EPIP Existing Pinched Iron Pipe
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BROADMOOR - PHASE 1
 MAJOR SUBDIVISION & RIGHT-OF-WAY DEDICATION PLAT
 1323 ROLESVILLE ROAD, ROLESVILLE
 WAKE COUNTY, NORTH CAROLINA
 FOR PULTE HOME COMPANY

Checked by: MAH
 Drawn by: BAO
 Date: Oct. 21, 2025
 North Carolina
 Wake County
 Wake Forest Township
 Town of Rolesville

SURVEYED by
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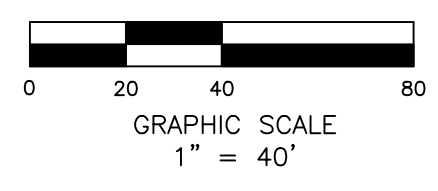
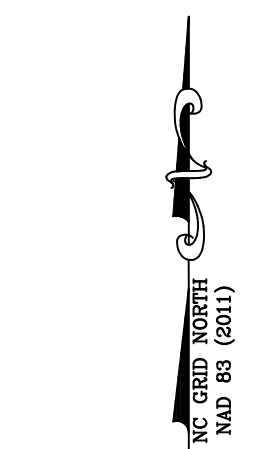
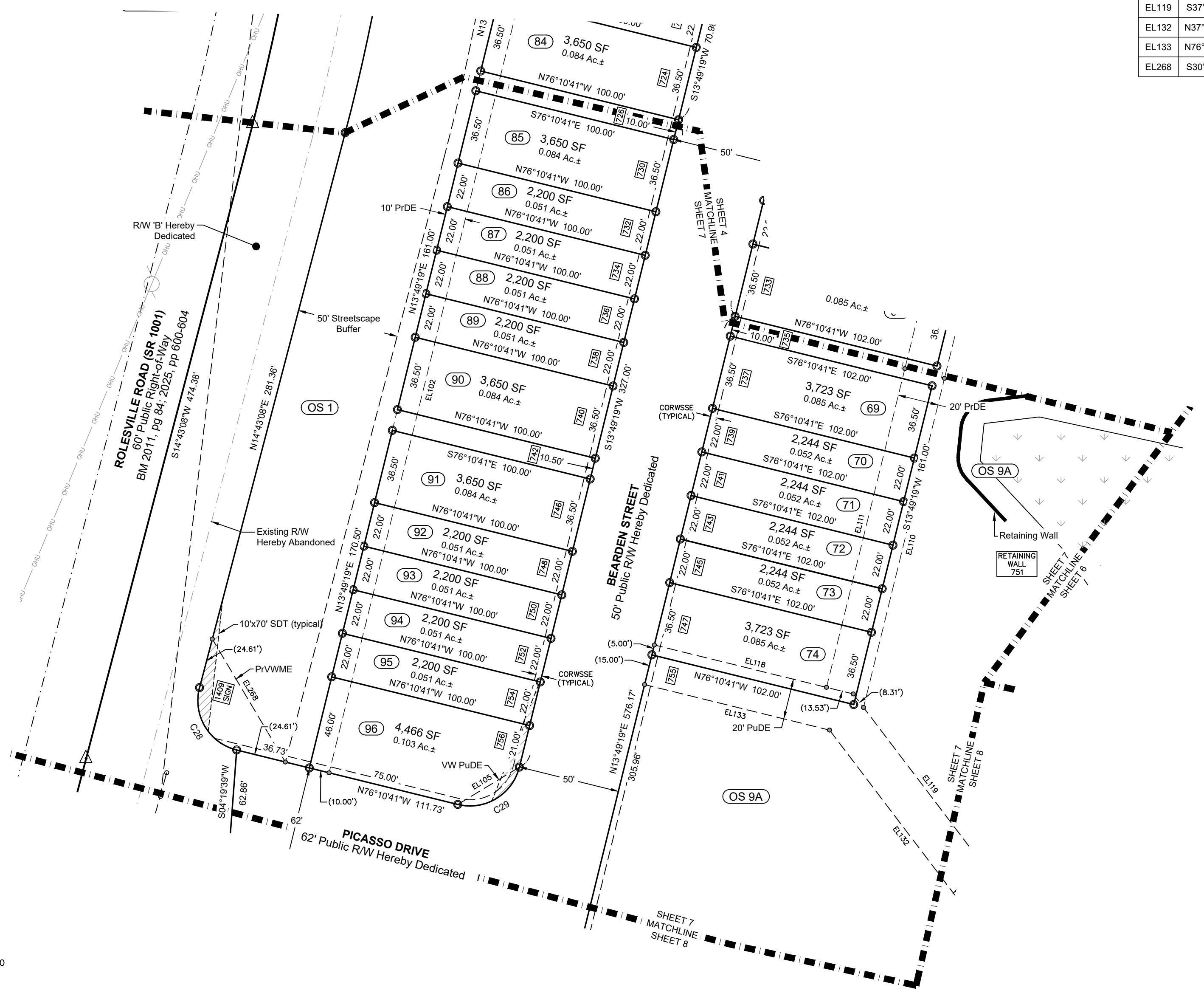


Curve Table				
CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
C28	39.66'	25.00'	N30°43'46"W	35.63'
C29	39.27'	25.00'	S58°49'19"W	35.36'

Line Table		
LINE #	DIRECTION	LENGTH
EL102	S13°49'19"W	388.50'
EL105	N58°49'19"E	35.36'
EL110	S13°49'19"W	166.22'
EL118	S76°10'41"E	100.53'
EL119	S37°14'35"E	116.15'
EL132	N37°14'35"W	125.20'
EL133	N76°10'41"W	93.47'
EL268	S30°43'46"E	70.16'

LEGEND

- Property Lines
- Property Lines by Others
- Existing Monumentation
- Iron Pipe Set
- △ Mathematical Point
- ⊖ Existing Pinched Iron Pipe
- ⊖ Existing Iron Pipe
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- SFHA Special Flood Hazard Area
- SS Sanitary Sewer
- SB Setback
- VW Variable Width
- Wetlands
- Matchlines
- Phaselines



BROADMOOR - PHASE 1

MAJOR SUBDIVISION & RIGHT-OF-WAY DEDICATION PLAT
1323 ROLESVILLE ROAD, ROLESVILLE
WAKE COUNTY, NORTH CAROLINA
FOR PULTE HOME COMPANY

Checked by: MAH
 Drawn by: BAO
 Date: Oct. 21, 2025
 North Carolina
 Wake County
 Wake Forest Township
 Town of Rolesville

SURVEYED by

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Curve Table				
CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
C6	181.94'	6,709.90'	S12°30'01"W	181.94'
C20	39.21'	25.00'	S33°14'54"E	35.32'
C21	38.39'	25.00'	N57°49'07"E	34.73'
C22	39.27'	25.00'	S31°10'41"E	35.36'
C23	39.22'	25.00'	N58°52'29"E	35.32'
C24	85.32'	7,240.81'	N14°02'31"E	85.32'
C25	162.66'	7,175.00'	N12°15'23"E	162.65'
C71	40.15'	25.00'	N32°10'53"W	35.97'

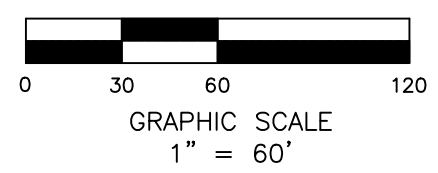
Line Table		
LINE #	DIRECTION	LENGTH
EL119	S37°14'35"E	116.15'
EL120	N13°53'41"E	67.99'
EL121	S76°10'41"E	81.27'
EL122	S28°01'07"E	202.00'
EL123	S28°01'07"E	66.42'
EL124	S17°11'39"W	67.34'
EL125	S58°56'43"W	84.38'
EL126	S77°28'02"W	35.42'
EL127	N12°31'58"W	20.00'
EL128	N78°11'05"W	82.43'
EL129	N13°53'41"E	20.01'
EL130	N13°53'41"E	185.59'
EL131	N13°53'41"E	25.69'
EL132	N37°14'35"W	125.20'
EL134	S78°11'05"E	190.73'
EL135	N11°48'55"E	58.22'
EL137	N77°28'02"E	87.53'
EL138	S77°28'02"W	74.63'
EL139	S11°48'55"W	45.32'
EL140	N10°12'14"E	136.41'
EL141	N14°59'17"E	185.98'
EL143	S14°08'09"W	84.00'
EL144	S14°59'15"W	157.70'
EL145	S10°12'14"W	136.61'
EL146	N11°48'55"E	25.00'
EL147	S11°48'55"W	25.00'
EL148	N33°14'54"W	35.32'
EL361	S75°43'45"E	6.28'
EL362	S14°16'15"W	10.00'
EL363	N75°43'45"W	8.30'
EL364	S78°23'35"E	9.29'
EL365	S11°36'25"W	10.00'
EL366	N78°23'35"W	10.31'



LEGEND	
—	Property Lines
—	Property Lines by Others
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○	Iron Pipe Set
△	Mathematical Point
○	EIP Existing Pinched Iron Pipe
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BROADMOOR - PHASE 1
 MAJOR SUBDIVISION & RIGHT-OF-WAY DEDICATION PLAT
 1323 ROLESVILLE ROAD, ROLESVILLE
 WAKE COUNTY, NORTH CAROLINA
 FOR PULTE HOME COMPANY

Checked by: MAH
 Drawn by: BAO
 Date: Oct. 21, 2025
 North Carolina
 Wake County
 Wake Forest Township
 Town of Rolesville



NC GRID NORTH
 NAD 83 (2011)

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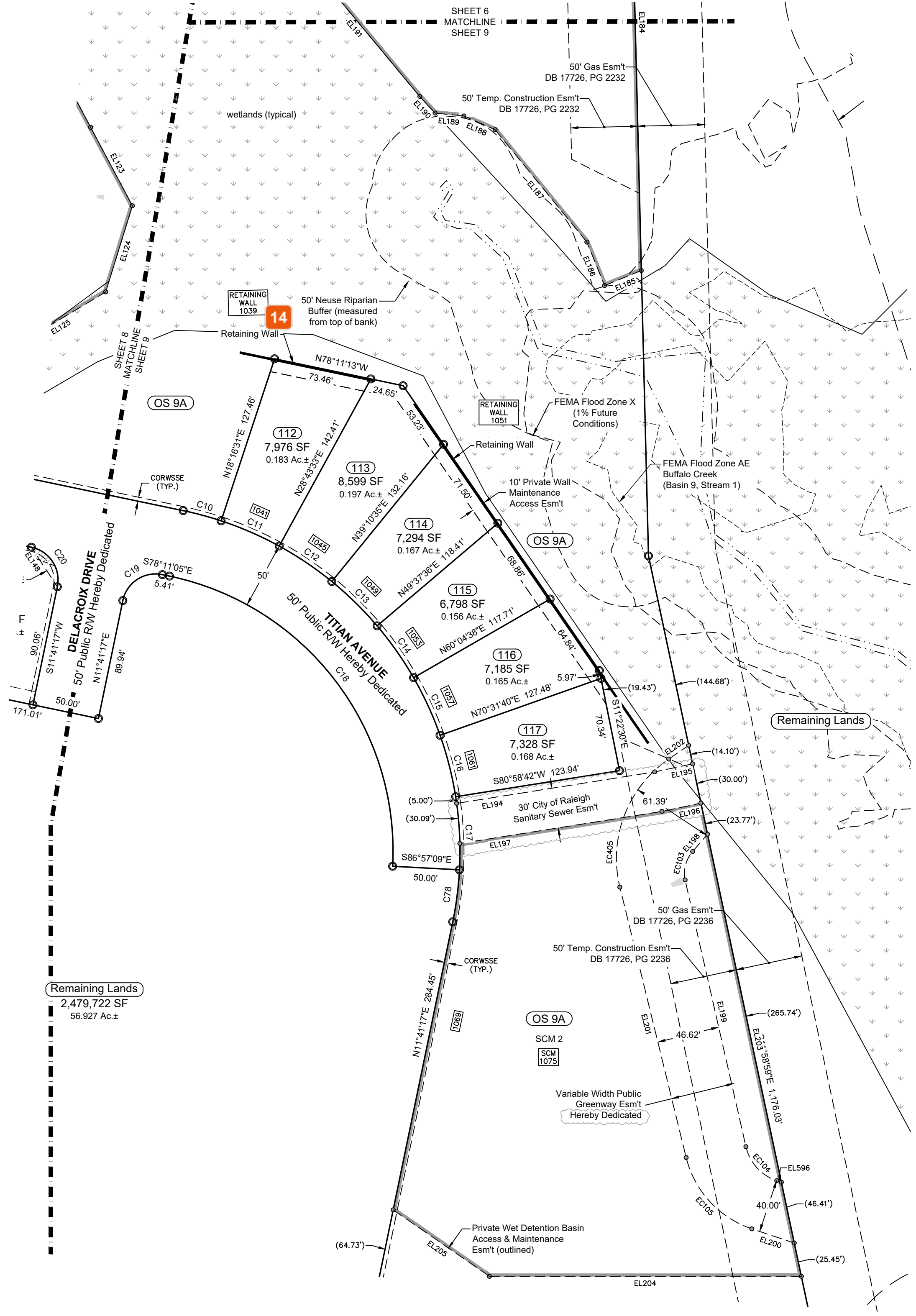
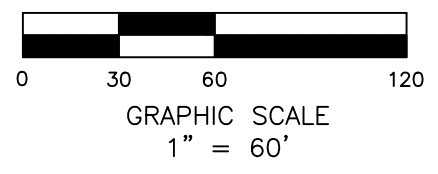
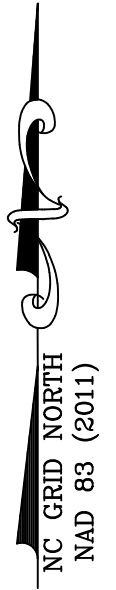
BOUNDARY BROADMOOR-SUBD-Ph1.dwg



Curve Table				
CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
C10	29.31'	260.00'	N74°57'17"W	29.30'
C11	47.42'	260.00'	N66°29'58"W	47.36'
C12	47.42'	260.00'	N56°02'56"W	47.36'
C13	47.42'	260.00'	N45°35'55"W	47.36'
C14	47.42'	260.00'	N35°08'53"W	47.36'
C15	47.42'	260.00'	N24°41'51"W	47.36'
C16	47.42'	260.00'	N14°14'49"W	47.36'
C17	54.77'	260.00'	N02°59'13"W	54.67'
C18	297.73'	210.00'	S37°34'07"E	273.42'
C19	39.33'	25.00'	N56°45'06"E	35.39'
C78	39.21'	260.00'	N07°22'04"E	39.17'

Curve Table				
CURVE	LENGTH	RADIUS	CH. BEARING	CHORD
EC103	22.77'	25.00'	S14°49'52"W	21.99'
EC104	35.83'	35.00'	S42°10'58"E	34.29'
EC105	75.57'	75.00'	N42°38'42"W	72.42'
EC405	108.94'	90.00'	N20°53'54"E	102.41'

Line Table		
LINE #	DIRECTION	LENGTH
EL184	S01°25'37"E	318.64'
EL185	S67°50'30"W	29.68'
EL186	N22°09'30"W	35.05'
EL187	N39°14'33"W	108.35'
EL188	N66°11'42"W	25.45'
EL189	N84°19'33"W	21.70'
EL190	N42°42'57"W	16.75'
EL191	N39°43'11"W	140.74'
EL194	N80°58'42"E	149.79'
EL195	N78°01'01"E	28.96'
EL196	S78°01'01"W	29.74'
EL197	S80°58'42"W	152.88'
EL198	S40°55'13"W	17.00'
EL199	S12°51'11"E	204.41'
EL200	N71°30'44"W	33.44'
EL201	N13°46'40"W	207.99'
EL202	N55°34'27"E	18.03'
EL204	N90°00'00"W	232.99'
EL205	N55°22'54"W	87.44'
EL221	S78°18'43"E	55.38'
EL222	S11°31'24"W	20.00'
EL223	N78°18'43"W	55.43'
EL596	S71°30'44"E	3.63'



LEGEND	
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BROADMOOR - PHASE 1
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PLATE: PH1-23-01-BROADMOOR.dwg \BOUNDARY\Broadmoor-SUBD-Ph1.dwg
 Firm License #: C-2070

Final Subdivision Plat (FSP) Checklist

Town of Rolesville Planning Department | PO Box 250 | Rolesville, NC 27571 | 919-554-6517 | planning@rolesvillenc.gov

Disclaimer: This checklist does not cover all codified requirements but is intended to provide some guidance based on the best practices. Requirements are referenced within the [Town of Rolesville Land Development Ordinance](#) and/or other State Ordinances (NCGS 47-30.)

For items marked “YES”, instead of a “Check”, please place the sheet number the requirement is shown.

#	TO BE COMPLETED BY APPLICANT	YES	N/A
1.	A vicinity map (location map) and legend shall appear on the plat.	X	
2.	The name of the property owner; provided, however, that the name of owner shall be shown for indexing purposes only and is not to be construed as title certification.	X	
3.	The name of subdivider.	X	
4.	The name and address of surveyor preparing the plat, including the firm name and firm license number, if applicable.	X	
5.	The site location address, to include town, township, County and State, as applicable.	X	
6.	The date or dates the survey was made (include space for revision dates).	X	
7.	Note/list/table of Town Application references of previous entitlement approvals (REZ, PSP, etc)	X	
8.	Rezoning or Special Use Permit conditions of approval, if applicable.	X	
9.	Note/table detailing the Maximum Impervious Cover permitted per lot.	x	
10.	Note/table detailing Right-of-way dedications; includes ROW widenings and New; delineate each as Public or Private; per street/alley, delineate ROW widths and Linear Feet. Sum each category (Public, Private, 60' ROW, 50' ROW, etc).	X	
11.	Per CORPUD – Call out water and sewer line easements as “New XX’ [width] City of Raleigh Sanitary Sewer Easement and New City of Raleigh Water Line Easement”	X	
12.	The scale or scale ratio in words or figures and bar graph.	X	
13.	Certificate of Survey and Accuracy	X	
14.	Certificate of Ownership and Dedication – LDO Appendix A	X	
15.	Certificate of Approval for Recording – LDO Appendix A		
16.	Adjoining properties – Property address; Owner names; Legal Description (Lot / Block, subdivision name, BM/PG reference); Deed Bk/PG reference; Zoning District (+planning jurisdiction if not TOR)	X	
17.	An accurately positioned North Arrow coordinated with any bearings shown on the plat. Indication shall be made as to whether the north index is true, magnetic, North Carolina grid ("NAD 83," "NAD 27," or other published horizontal datum), or is referenced to old deed or plat bearings. If the north index is magnetic or referenced to old deed or plat bearings, the date and the source (if known) the index was originally determined shall be clearly indicated. North Carolina grid reference shall include the horizontal datum and the realization reference.	X	
18.	The azimuth or course and distance of every property line surveyed shall be shown. Distances shall be in U.S. Survey feet or meters and decimals thereof. The number of decimal places shall be appropriate to the class of survey required.	X	
19.	All plat distances shall be by horizontal ground or horizontal grid measurements. All lines shown on the plat shall be correctly plotted to the scale shown. Enlargement of portions of a plat are acceptable in the interest of clarity, where shown as inserts. Where the North Carolina grid system is used the combined grid factor shall be shown on the face of the plat. If grid distances are used, it must be indicated on the plat.	X	
20.	Curve line references and Curve Line Table, as applicable.	X	

21.	Where a subdivision of land is set out on the plat, all streets and lots shall be accurately plotted with dimension lines indicating widths and all other information pertinent to reestablishing all lines in the field. This shall include bearings and distances sufficient to form a continuous closure of the entire perimeter.	X	
22.	All corners which are marked by monument or natural object shall be so identified on all plats, and where practical all corners of adjacent owners along the boundary lines of the subject tract which are marked by monument or natural object shall be shown.	X	
23.	All visible and apparent rights-of-way, watercourses, utilities, roadways, and other such improvements shall be accurately located where crossing or forming any boundary line of the property shown. Nothing in this subdivision shall be construed to modify the notification responsibility of persons engaged in excavation or demolition pursuant to G.S. 87-122	X	
24.	Where the plat is the result of a survey, one or more corners shall be labeled with coordinates on the plat, shown as "X" (easting) and "Y" (northing) coordinates, traceable to a published geodetic datum or the North Carolina State Plane Coordinate System, or both. The plat should include, at a minimum, the referenced horizontal datum and realization (i.e., "NAD 83 (2011)") as well as the data or method used to establish those coordinates, or both. If the bearings shown on the map are not referenced to the same datum as the grid coordinates shown, then either (i) the coordinates of a second point shall be labeled and the two labeled points tied together by a single azimuth or course and distance or (ii) the plat shall include, in written and graphical form, the conversion from plat bearings to reference bearings. Control monuments within a previously recorded subdivision may be used in lieu of grid control. In the interest of consistency with previously recorded plats, existing bearing control may be used where practical. Where no horizontal control monument of any United States or State agency survey system, such as the North Carolina Geodetic Survey, is located within 2,000 feet of the subject property, ties to other appropriate natural monuments or landmarks may be used in lieu of grid coordinates. In all cases, the tie lines shall be sufficient to reproduce the subject lands from the control or reference points used.	X	
25.	Notwithstanding any other provision contained in this section, it is the duty of the surveyor, by a certificate on the face of the plat, to certify to one of the following: a. That the survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land. b. That the survey is located in a portion of a county or municipality that is unregulated as to an ordinance that regulates parcels of land. c. Any one of the following: 1) That the survey is of an existing parcel or parcels of land or one or more existing easements and does not create a new street or change an existing street. For the purposes of this subsection, an "existing parcel" or "existing easement" is an area of land described in a single, legal description or legally recorded subdivision that has been or may be legally conveyed to a new owner by deed in its existing configuration. 2) That the survey is of an existing feature, such as a building or other structure, or natural feature, such as a watercourse. 3) That the survey is a control survey. For the purposes of this subsection, a "control survey" is a survey that provides horizontal or vertical position data for support or control of other surveys or for mapping. A control survey, by itself, cannot be used to define or convey rights or ownership. 4) That the survey is of a proposed easement for a public utility as defined in G.S. 62-3. d. That the survey is of another category, such as the recombination of existing parcels, a court-ordered survey, or other exemption or exception to the definition of subdivision. e. That the information available to the surveyor is such that the surveyor is unable to make a determination to the best of the surveyor's professional ability as to provisions contained in (a) through (d) above.	X	
26.	If the Applicant chooses to comply with the design guidelines noted in LDO Section 6.8.5, the following consent statement shall also be included on the Final Plat as a note: " <i>The development depicted herein is subject to the Town of Rolesville Single family and Duplex Design Guidelines. I voluntarily consent to the application of these guidelines for all development herein, the acceptance of which shall run with the land regardless of changes in ownership. I recognize that failure to comply with the applicable guidelines following approval is a violation of the Town of Rolesville Land Development Ordinance.</i> "		

MSS LAND CONSULTANTS, PC

Date: March 19, 2026

To: Rolesville Development Review Staff

From: Bernice O'Hanlon

Subject: FSP-25-0005 – Broadmoor – Phase 1A (Final Plat 2nd Review Comments)

Responses in *RED*.

Engineering – Austin Bain

1. Please see comments provided in City of Raleigh Development portal. *Please see responses below to Tim Beasley.*

Planning – Michele Raby

2. Thank you. This looks great. Comment to remain open until addresses obtained. *All addresses have been added, and the chart has been updated on Sheet 2.*
3. Friendly reminder, Open Space's require addresses. *The Open Space parcels now have addresses.*
4. Please add BM & PG or note as to be dedicated. *The labels have been updated to show the easement as being dedicated.*

Public Utilities - Tim Beasley

1. Comments: Please rename the 3' CORUE to a "3' City of Raleigh Water and Sanitary Sewer Easement". Please also include this in the legend. *The labels have been revised, and the legend has been updated.*
2. Comments: Please add a callout in front of lot 39 to clearly demonstrate that this is CORSSE. *The label has been updated so it is now clear.*
3. Comments: The sanitary sewer outfall downstream of lot 117 needs to be clearly described with metes and bounds all the way down to the Rolesville Crossing development. You'll need to also provide a reference for the ex. CORSSE on the Rolesville Crossing development property. *The portion of the easement in Phase 1 is shown with metes and bounds. The rest of the easement will be dedicated in future phases.*
4. Comments: Please submit legal document(s) to LegalDocumentReview@raleighnc.gov for any of the following items applicable to your plat. The plat cannot be approved for recordation until these documents are submitted and signed off by the City: Water Line Easement Deed of Easement (CORWLE) - (UDO Section 8.1.7.A.2) Sewer Line Easement Deed of Easement (CORSSE) - (UDO Section 8.1.7.A.2) <https://raleighnc.gov/water-and-sewer/services/raleigh-water-easement-deed-dedication-process> *The information has been sent to the client and the attorney.*

Please let me know if any further revisions are needed.

Thank you,

Bernice O'Hanlon
MSS Land Consultants, PC

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