

VICINITY MAP  
NTS

# PROPOSED RETAIL AND RESTAURANT DEVELOPMENT

**BULLARD RESTAURANT GROUP**  
**9131 ANSON WAY, #305**  
**RALEIGH, NC 27615**

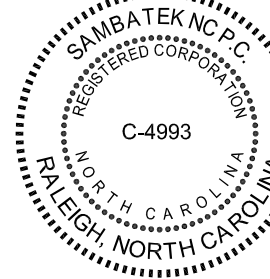
**SITE ADDRESS: 6000 ROGERS ROAD**  
**ROLESVILLE, NORTH CAROLINA**

**CSD PROJECT NUMBER: BUL-2103**  
**CASE NUMBER: SDP-23-02**

## SHEET INDEX

- C-1 EXISTING CONDITIONS / DEMOLITION PLAN
- C-2 SITE PLAN
- C-2a ROAD WIDENING PLAN
- C-3 EROSION CONTROL PLAN - PHASE I
- C-4 GRADING & EROSION CONTROL PLAN - PHASE II
- C-4a INLET DRAINAGE AREA MAP
- C-5 NPDES STABILIZATION PLAN
- C-6 NPDES DETAILS
- C-7 UTILITY PLAN
- C-7a FIRE TRUCK TURN PLAN
- C-8 LANDSCAPE PLAN
- C-9 LIGHTING PLAN
- C-10 DETAILS
- C-11 DETAILS
- C-12 DETAILS
- C-13 DETAILS

**A201 ELEVATIONS**  
**A202 ELEVATIONS**  
**AS501 DUMPSTER DETAILS**



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nc811.org or 1-800-632-4949



SDP-23-02 /  
Site Development Plan / 6000 Rogers Rd  
**APPROVED**  
Date: January 27, 2025

*Meredith Gruber*

Town of Rolesville Planning Department

## EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

### APPROVED

EROSION CONTROL ☒ SEC-098503-2023

STORMWATER MGMT. ☒ SWF-098498-2023

FLOOD STUDY ☐ S-

DATE 01/07/2025



ENVIRONMENTAL CONSULTANT SIGNATURE



### CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION






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City of Raleigh Development Approval

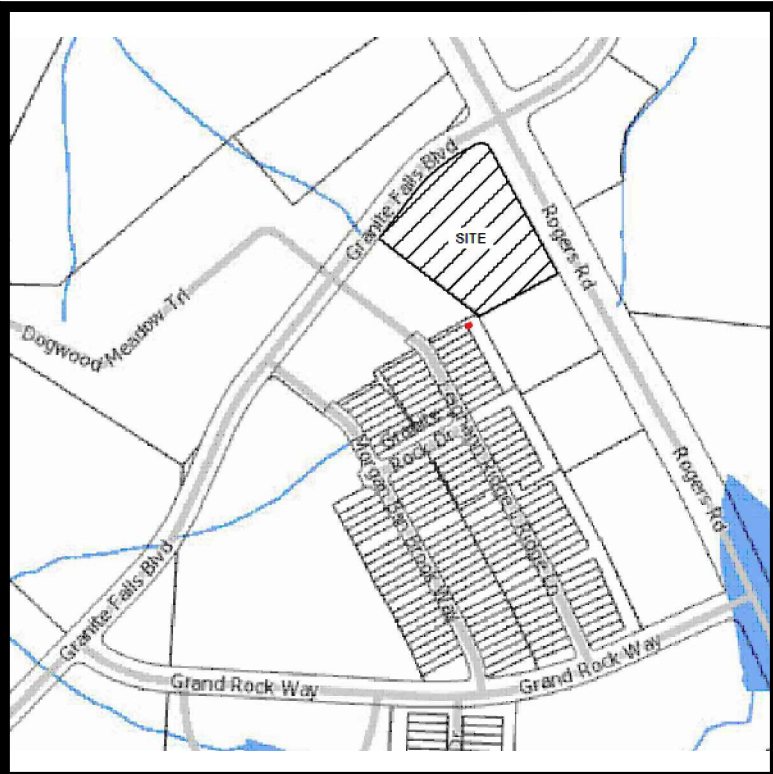
City of Raleigh Review Officer

| SITE INFORMATION   |  |  |  |
|--|--|--|--|
| OWNER:   | CEBSR PROPERTIES LLC<br>9131 ANSON WAY, SUITE 305<br>RALEIGH, NC 27615   |  |  |
| DEVELOPER:   | BULLARD RESTAURANT GROUP<br>9131 ANSON WAY, 305<br>RALEIGH, NC 27615   |  |  |
| DESIGNER:  | SAMBATEK NC PC<br>8312 CREEDMOOR ROAD<br>RALEIGH, NORTH CAROLINA 27613<br>PHONE: (919) 848-6121  |  |  |
| ZONING:  | GC GENERAL COMMERCIAL  |  |  |
| LOT 7 EXISTING USE:  | VACANT   |  |  |
| LOT 7 PROPOSED USE:  | RETAIL / RESTAURANT  |  |  |
| SITE ADDRESS:  | 6000 ROGERS ROAD   |  |  |
| PARCEL IDENTIFICATION NUMBER:  | 1759714313   |  |  |
| PARKING REQUIREMENTS:<br>RESTAURANT:   | MINIMUM: 2.5 PER 1,000 SF (OUTDOOR SEATING INCLUDED - 2,036 SF)<br>7,854 SF / 1,000 SF X 2.5 = 20 SPACES<br>MAXIMUM: 10 PER 1,000 SF (OUTDOOR SEATING INCLUDED - 2,036 SF)<br>7,854 SF / 1,000 SF X 10 = 79 SPACES |  |  |
| RETAIL:  | MINIMUM: 2.5 PER 1,000 SF<br>4,389 SF / 1,000 SF = 4 SPACES<br>MAXIMUM: 7.5 PER 1,000 SF<br>4,389 SF / 1,000 SF X 7.5 = 33 SPACES<br>TOTAL SPACES REQUIRED:<br>MINIMUM = 24 SPACES<br>MAXIMUM = 112 SPACES         |  |  |
| PARKING PROVIDED:  | 81 REGULAR SPACES<br>4 HANDICAP SPACES<br>85 TOTAL SPACES<br><br>1 LOADING SPACE<br>2 BIKE RACKS   |  |  |
| BUILDING HEIGHT<br>MAXIMUM HEIGHT:<br>PROPOSED MAX. HEIGHT:  | 35 FEET<br>25 FEET   |  |  |
| BUILDING SETBACKS:<br>ZONING = GC GENERAL COMMERCIAL   | FRONT: 20 FEET<br>RIGHT CORNER: 25 FEET<br>LEFTSIDE: 15 FEET<br>REAR: 35 FEET  |  |  |
| LANDSCAPE BUFFERS:<br>VAR-23-02 WAS SUBMITTED AND APPROVED. SEE DETAIL SHEET C-10 FOR VARIANCE DOCUMENT.   | STREET BUFFERS:<br>PERIMETER BUFFERS:  | NORTH: 30 FEET<br>EAST: 30 FEET<br>SOUTH: 25 FEET<br>WEST: 25 FEET (TYPE 2 WITH FENCE) | VAR-23-02 SETBACKS<br>10 FEET<br>10 FEET<br>10 FEET<br>15 FEET (TYPE 2 WITH FENCE) |
| TOTAL SITE AREA:<br>ON-SITE DISTURBED AREA:<br>OFF-SITE DISTURBED AREA:<br>TOTAL DISTURBED AREA:<br>EXISTING IMPERVIOUS AREA:<br>PROPOSED IMPERVIOUS AREA: | 90,092 SF OR 2.07 ACRES<br>70,330 SF OR 1.61 ACRES<br>8,491 SF OR 0.19 ACRES<br>78,821 SF OR 1.80 ACRES<br>2,557 SF OR 0.06 ACRES OR 4%<br>59,240 SF OR 1.36 ACRES OR 66%  |  |  |
| PROPOSED BUILDING AREA:  | 10,207 SF (TOTAL)  |  |  |
| WATER:   | CITY OF RALEIGH PUBLIC UTILITIES   |  |  |
| SEWER:   | CITY OF RALEIGH PUBLIC UTILITIES   |  |  |
| OPEN SPACE: 5% TOTAL SITE AREA INCLUDING ONE (1) SMALL OPEN SPACE TYPE MINIMUM OF 50% REQUIRED OPEN SPACE = ACTIVE   | PASSIVE OPEN SPACE = 3,148 SF (3.5%)<br>ACTIVE OPEN SPACE = 2,330 SF (2.5%)<br>TOTAL OPEN SPACE = 5,478 SF (6.0%)<br>SMALL OPEN SPACE TYPE = PLAZA   |  |  |

### REVISIONS:

|   |            |                                    |     |
|---|------------|------------------------------------|-----|
|  | 02-24-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V1 | KL  |
|  | 06-01-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V2 | STH |
|  | 09-2023    | VARIANCE VAR-23-02 SUBMITTAL       | STH |
|  | 11-01-2024 | SITE DEVELOPMENT PLAN SUBMITTAL V3 | STH |
|  | 01-02-2025 | SITE DEVELOPMENT PLAN SUBMITTAL V4 | STH |
| NO.   | DATE       | DESCRIPTION                        | BY  |





VICINITY MAP  
NTS

FLOOD NOTE:

SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3720175900K WITH AN EFFECTIVE DATE OF JULY 19, 2022

N/F  
PEARCE, FRANK C JR  
REID: 0053650  
BOM: 1993 Pg: 839  
PIN: 1759.1961 9137  
DB: 5742 Pg: 202  
ZONING: RL

DEMOLITION KEYNOTES:

1. REMOVE EXISTING ITEM, COORDINATE REMOVAL WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
2. RELOCATE EXISTING ITEM, COORDINATE RELOCATION WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
3. ITEM TO REMAIN.

SAWCUT LINE

GENERAL NOTES:

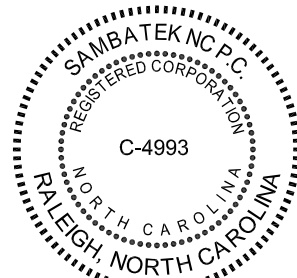
1. THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY:  
COMMERCIAL SITE DESIGN  
8312 CREEDMOOR ROAD  
RALEIGH, NC 27613  
PHONE: (919) 848-8121
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

CURVE TABLE

| CURVE | LENGTH  | RADIUS  | DELTA  | BEARING     | CHORD   | TANGENT |
|-------|---------|---------|--------|-------------|---------|---------|
| C1    | 147.42' | 365.00' | 23.14° | S49°42'58"W | 146.42' | 74.73'  |
| C2    | 39.28'  | 25.00'  | 90.02° | N73°42'07"W | 35.36'  | 25.01'  |



Know what's below.  
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CLIENT:  
BULLARD RESTAURANT GROUP  
9131 ANSON WAY, # 305  
RALEIGH, NC 27615

PROPOSED RETAIL AND  
RESTAURANT DEVELOPMENT  
6000 ROGERS ROAD  
ROLESVILLE, NORTH CAROLINA

EXISTING CONDITIONS / DEMOLITION PLAN

PROJECT NO: BUL-2103  
FILENAME: BUL2103-DP  
DRAWN BY: RCN  
SCALE: 1" = 20'  
DATE: 12-06-2022  
SHEET NO:

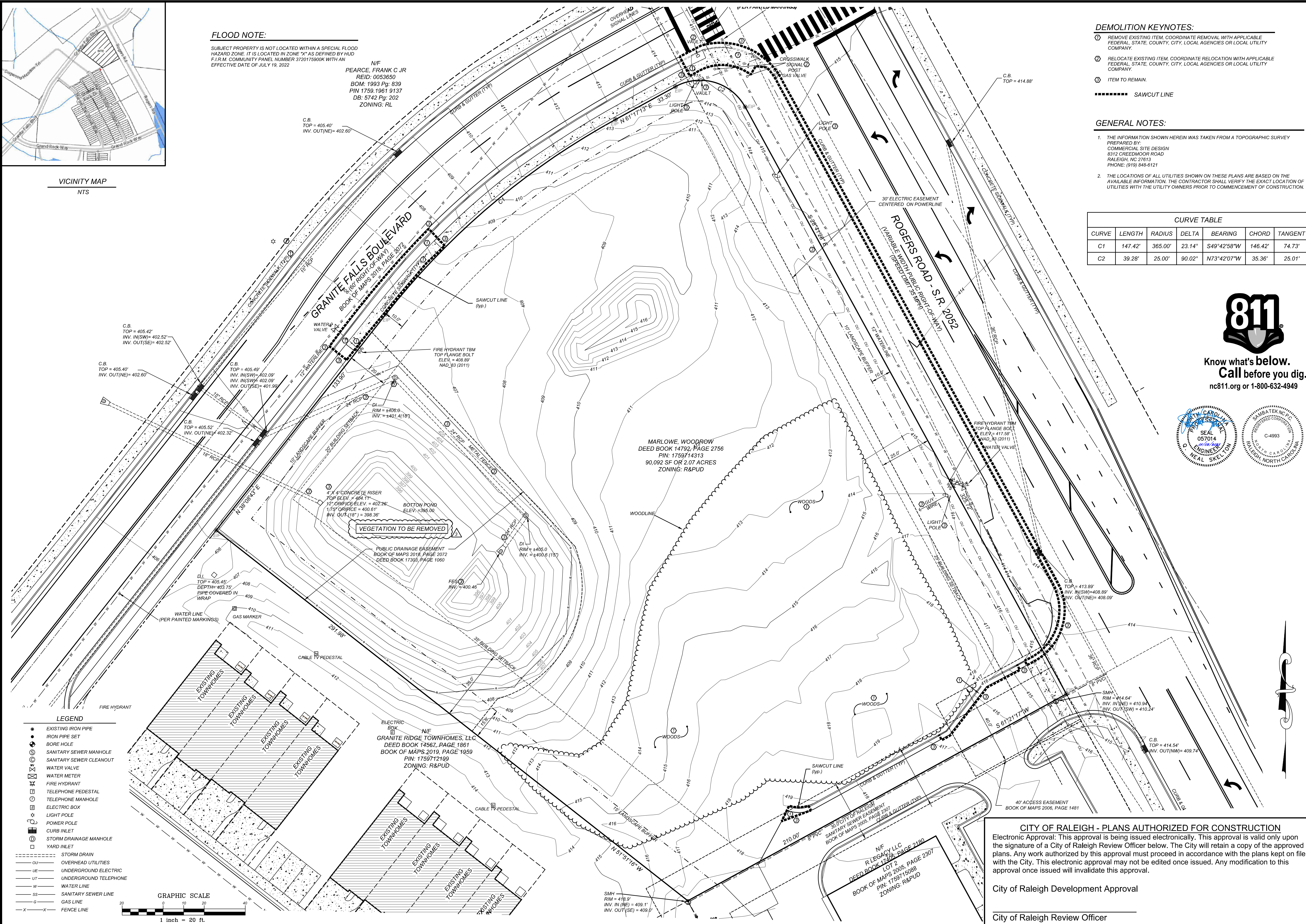
C-1

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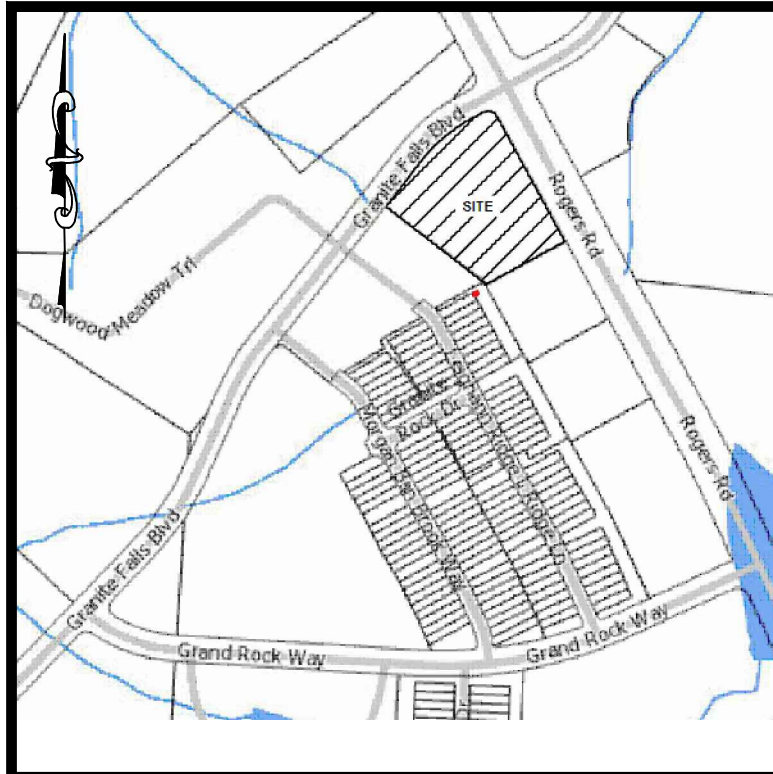
LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- BORE HOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- ELECTRIC BOX
- LIGHT POLE
- POWER POLE
- CURB INLET
- STORM DRAINAGE MANHOLE
- YARD INLET
- STORM DRAIN
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- WATER LINE
- SANITARY SEWER LINE
- GAS LINE
- FENCE LINE

GRAPHIC SCALE







VICINITY MAP  
NTS

SITE KEYNOTES:

- CONSTRUCT 2'0" CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT 2'0" CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
- CONSTRUCT CONCRETE SIDEWALK PER NCDOT STANDARDS & SPECIFICATIONS
- CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
- CONSTRUCT CONCRETE HANDICAP RAMP PER NCDOT STANDARDS & SPECIFICATIONS
- HANDICAP PARKING STALL
- INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
- INSTALL "VAN ACCESSIBLE" PARKING SIGN PER DETAIL SHEET
- CONCRETE PAVEMENT PER DETAIL SHEET
- ASPHALT PAVEMENT PER DETAIL SHEET
- TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS, (COORDINATE SIZE AND LOCATION WITH UTILITY COMPANY)
- CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 4" ABC BASE, AND TRASH ENCLOSURE WITH GATES, SEE ARCHITECTURAL SHEETS FOR DETAIL, MATERIALS TO MATCH BUILDING
- CONCRETE WHEEL STOP PER DETAIL SHEET
- POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- PAINT 4" WIDE STRIPE, WHITE
- PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART
- PAINT TRAFFIC ARROWS PER DETAIL SHEET
- SITE IDENTIFICATION SIGN
- CONCRETE VALLEY GUTTER PER DETAIL SHEET
- MATCH EXISTING CURB & GUTTER
- ASPHALT/CONCRETE TRANSITION PER DETAIL
- INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- MATCH EXISTING ASPHALT PAVEMENT
- MATCH EXISTING CONCRETE SIDEWALK
- PAINT CROSSWALK PER DETAIL SHEET
- INSTALL "RIGHT TURN ONLY" SIGN PER MUTCD AND NCDOT STANDARDS & SPECIFICATION
- INSTALL "STOP" SIGN AND "DO NOT ENTER" SIGN PER MUTCD AND NCDOT STANDARDS & SPECIFICATION
- INSTALL "STOP" SIGN PER MUTCD AND NCDOT STANDARDS & SPECIFICATION
- PAINT "STOP" BAR PER MUTCD AND NCDOT STANDARDS & SPECIFICATION
- PAINT "DO NOT ENTER" PER MUTCD AND NCDOT STANDARDS & SPECIFICATION
- RETAINING WALL WITH PEDESTRIAN HAND RAIL, DESIGN BY STRUCTURAL ENGINEER
- INSTALL MENU BOARD AND SPEAKER POST, COORDINATE WITH OWNER & ARCHITECT
- CONSTRUCT CONCRETE LOADING RAMP
- BICYCLE PARKING
- PAINT CROSSWALK PER DETAIL SHEET
- PATIO SEATING
- 15' X 30' LOADING AREA
- PUBLIC SEATING, ARCHITECT TO VERIFY MATERIAL, STYLE, AND LOCATION
- TRASH RECEPTACLE, ARCHITECT TO VERIFY MATERIAL, STYLE, AND LOCATION
- MULTI-USE LAWN SPACE

SITE LEGEND

- SPILL CURB
- HANDICAP RAMP
- HANDICAP STALL
- PROPOSED CONCRETE
- EXISTING CONCRETE
- PROPERTY LINE
- SIGN
- BOLLARD
- EX. FIRE HYDRANT
- POLE MOUNTED AREA LIGHT
- PROPERTY CORNER
- FINISH FLOOR ELEVATION
- ACTIVE USE OPEN SPACE = 2,330 SF, 2.9%
- PASSIVE OPEN SPACE = 3,148 SF, 3.5%

**OPEN SPACE REQUIREMENTS:**  
5% TOTAL SITE AREA  
ONE (1) SMALL OPEN SPACE TYPE  
50% REQUIRED OPEN SPACE MUST BE ACTIVE USE

**OPEN SPACE CALCULATIONS:**  
5% TOTAL SITE AREA = 4,504 SF  
50% OF 4,504 SF = 2,252 SF ACTIVE USE

**OPEN SPACE #1:**  
TYPE: ACTIVE, ACTIVE USE AREA  
SMALL OPEN SPACE  
FEATURES: OUTDOOR SEATING & DINING & YARD GAMES  
632 SF

**OPEN SPACE #2:**  
SMALL OPEN SPACE  
TYPE: ACTIVE, PLAZA  
FEATURES: OUTDOOR SEATING, YARD GAMES  
1,698 SF

**OPEN SPACE #3:**  
TYPE: PASSIVE, GREEN SPACE  
FEATURES: OUTDOOR SEATING, MULTI-USE LAWN SPACE  
3,148 SF

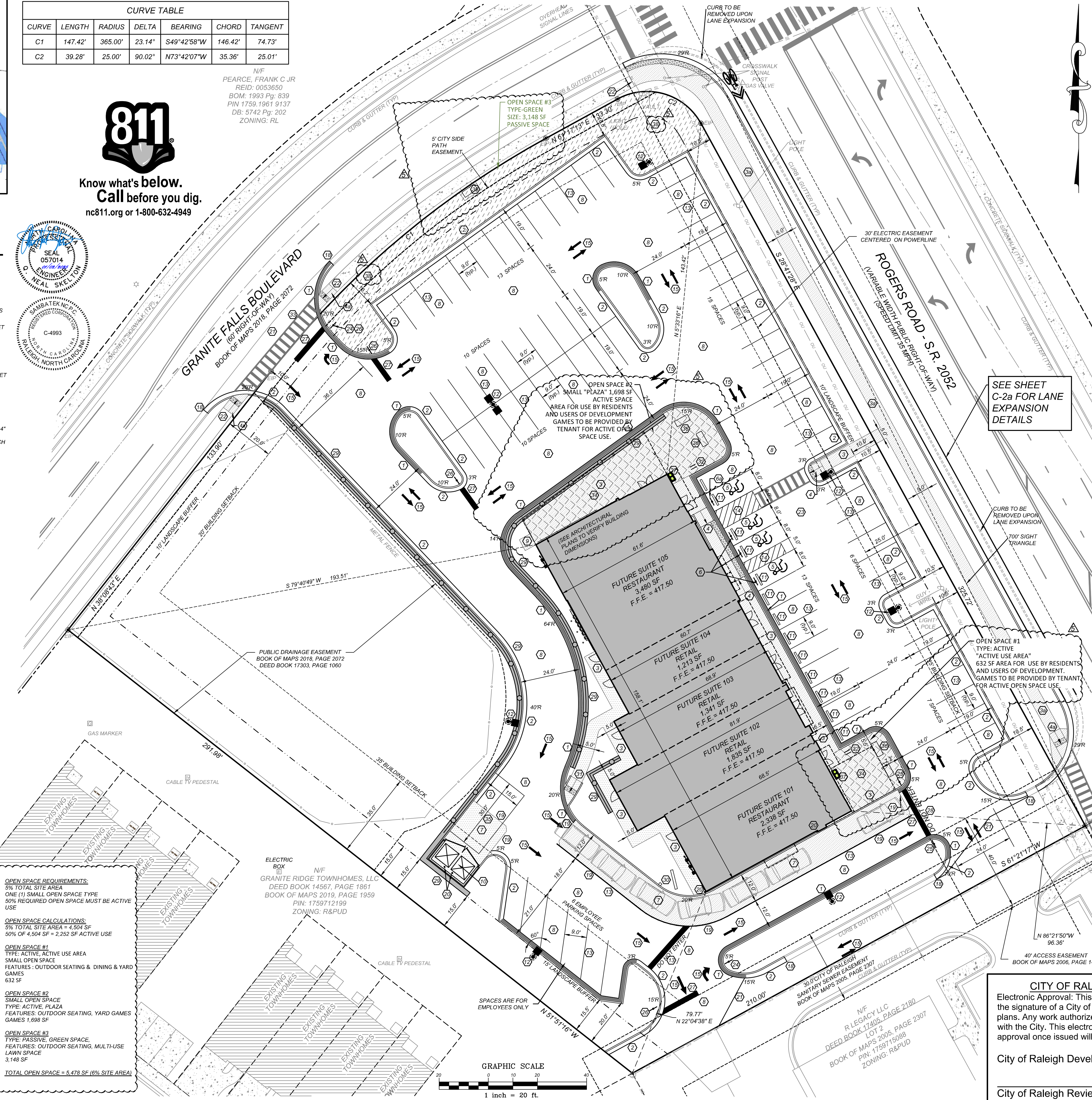
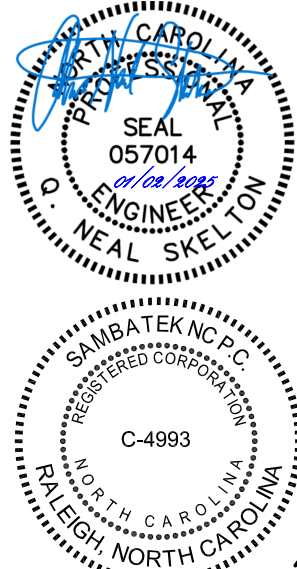
**TOTAL OPEN SPACE = 5,478 SF (6% SITE AREA)**

| CURVE TABLE |         |         |        |             |         |         |
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- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- GENERAL CONTRACTOR WILL ERCT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE
- FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
- CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
- ALL RADI DIMENSIONS ARE TO FACE OF CURB.
- ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDDED AND MULCHED WITHIN SEVEN (7) DAYS.
- ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
- COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
- THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY CONFLICTS.
- ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
- ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
- ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
- ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".

- ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
- OPEN SPACE IS INTENDED TO REMAIN UNDER PRIVATE OWNERSHIP WHILE STILL BEING AVAILABLE FOR PUBLIC USE BY RESIDENTS AND USERS OF A DEVELOPMENT

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City of Raleigh Development Approval

City of Raleigh Review Officer

| REVISIONS |   |            |                                    |  | NO. | DATE | DESCRIPTION | BY |
|-----------|---|------------|------------------------------------|--|-----|------|-------------|----|
| KL        | 1 | 02-24-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V1 |  |     |      |             |    |
| KL        | 2 | 06-01-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V2 |  |     |      |             |    |
| STH       | 3 | 09-2023    | VARIANCE VAR-23-02 SUBMITTAL       |  |     |      |             |    |
| STH       | 4 | 11-01-2024 | SITE DEVELOPMENT PLAN SUBMITTAL V3 |  |     |      |             |    |
| STH       | 5 | 01-02-2025 | SITE DEVELOPMENT PLAN SUBMITTAL V4 |  |     |      |             |    |



Engineering | Surveying | Planning | Environmental

CLIENT:  
BULLARD RESTAURANT GROUP  
9311 ANSON WAY, # 305  
RALEIGH, NC 27615

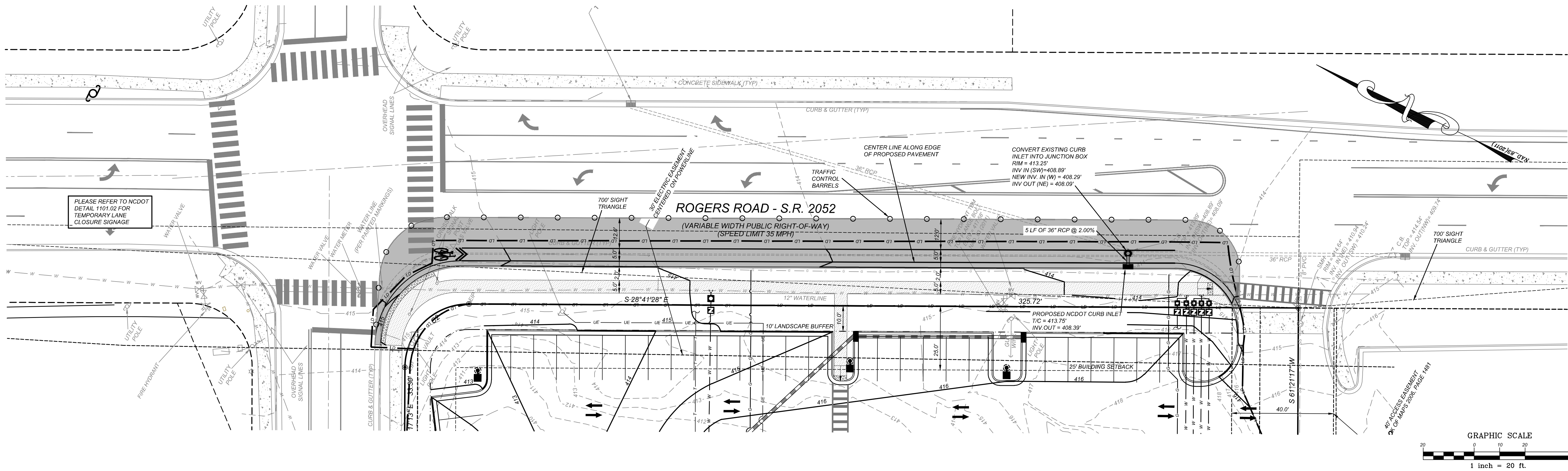
PROPOSED RETAIL AND RESTAURANT DEVELOPMENT  
6000 ROGERS ROAD  
ROLESVILLE, NORTH CAROLINA

SITE PLAN

|             |            |
|-------------|------------|
| PROJECT NO. | BUL-2103   |
| FILENAME:   | BUL2103-SP |
| DRAWN BY:   | RCN        |
| SCALE:      | 1" = 20'   |
| DATE:       | 12-06-2022 |
| SHEET NO.   |            |

C-2





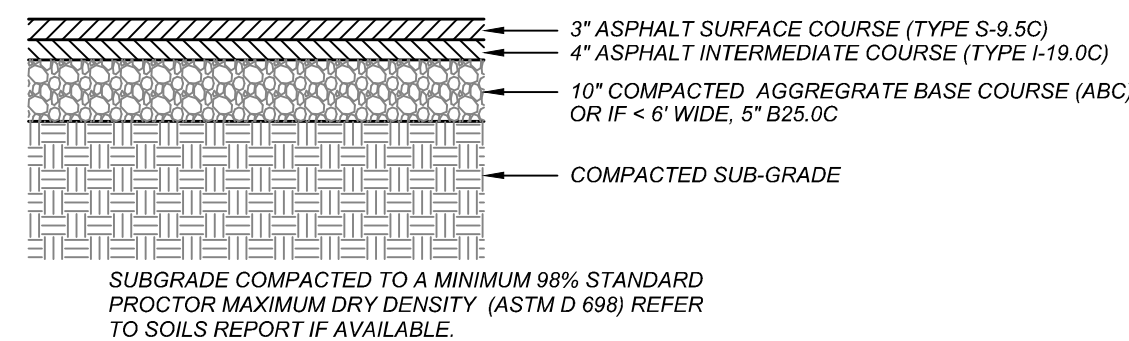
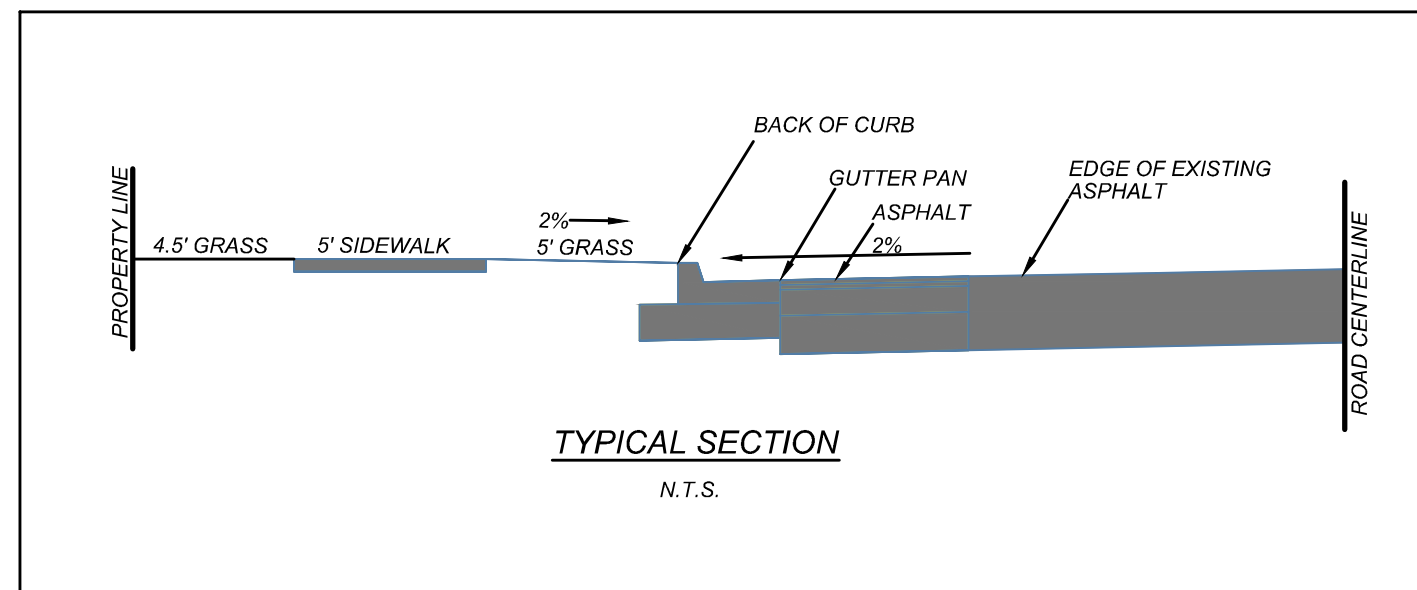
NCDOT STANDARD DRAWINGS

- 225.02 GUIDE FOR GRADING SUBGRADE - SECONDARY AND LOCAL
- 225.09 SHOULDER AND DITCH TRANSITION AT GRADE SEPARATIONS
- 654.01 PAVEMENT REPAIRS
- 840.02 CONCRETE CATCH BASIN
- 846.01 CONCRETE CURB AND GUTTER
- 1101.01 WORK ZONE ADVANCE WARNING SIGNS
- 1101.02 TEMPORARY LANE CLOSURES
- 1101.04 TEMPORARY SHOULDER CLOSURES
- 1110.02 PORTABLE WORK ZONE SIGNS - MOUNTING HEIGHT & LATERAL CLEARANCE
- 1205.01 PAVEMENT MARKINGS - LINE TYPES & OFFSETS
- 1205.04 PAVEMENT MARKINGS - INTERSECTIONS
- 1205.07 CROSSWALK
- 1260.01 PAVEMENT MARKING SPACING
- 1605.01 TEMPORARY SILT FENCE

WORK AREA

PERMANENT THERMOPLASTIC PAVEMENT MARKINGS

- | MARKING LINES             | MARKING SYMBOLS              |
|---------------------------|------------------------------|
| PA - (4" WHITE) EDGE LINE | T90 - BICYCLE SYMBOL         |
|                           | T91 - BICYCLE STRAIGHT ARROW |



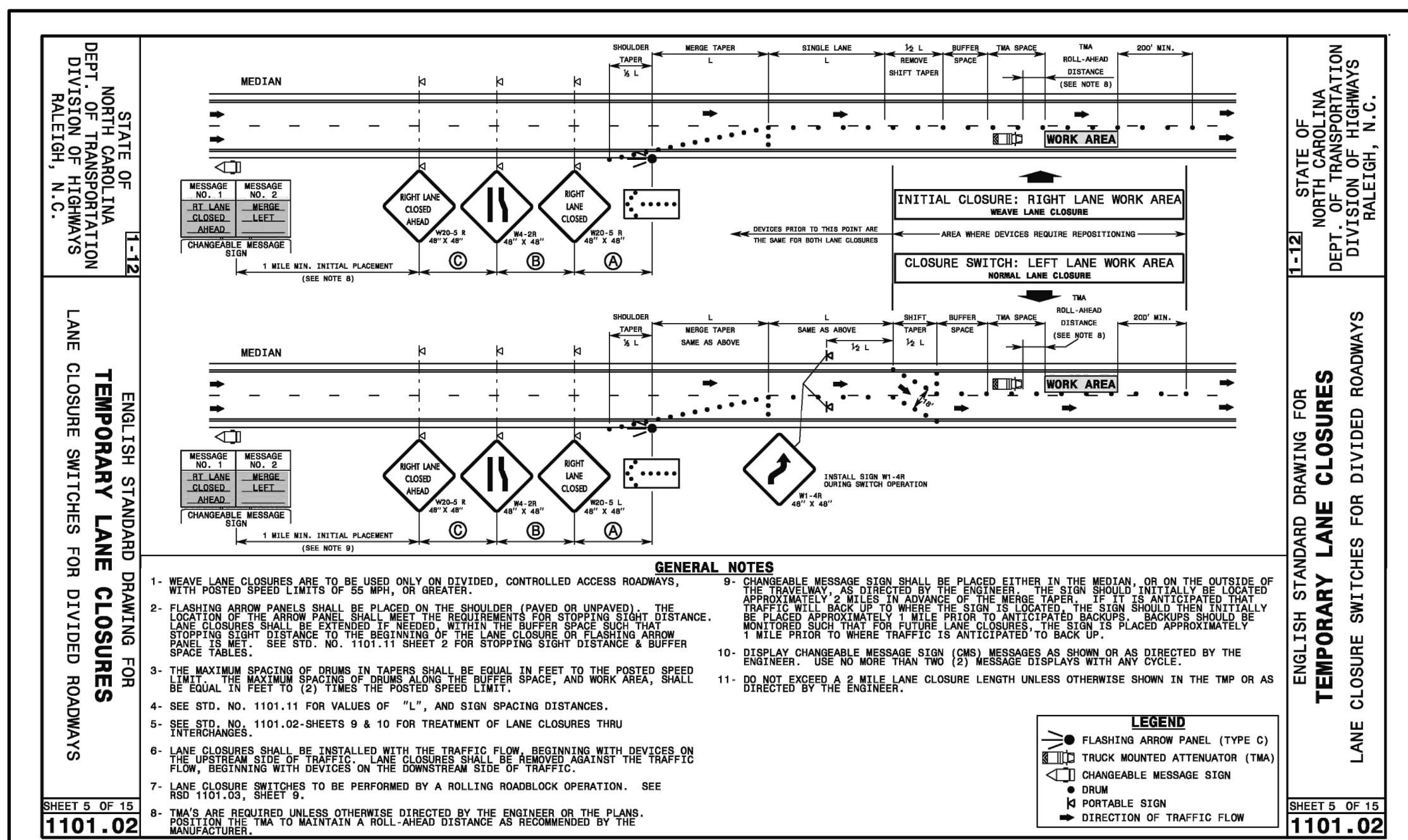
ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF NCDOT STANDARDS AND SPECIFICATIONS.

NCDOT NOTES:

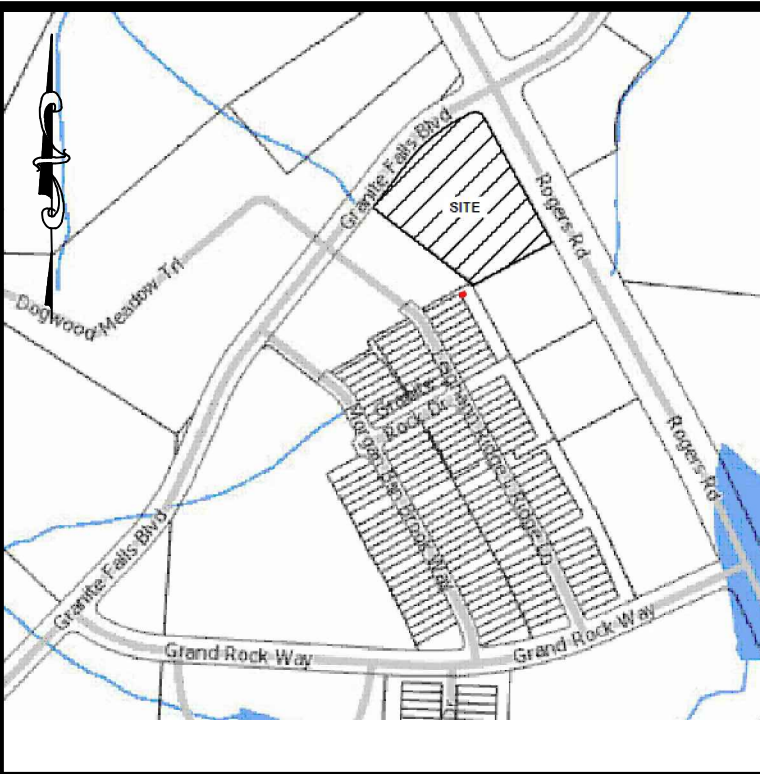
- CONTRACTOR TO PROVIDE ALL TRAFFIC CONTROL PER CURRENT MUTCD AND NCDOT STANDARDS FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
- INSTALL SNOW PLOWABLE PAVEMENT MARKERS ALONG ALL PROPOSED RIGHT-OF-WAY IMPROVEMENTS PER NCDOT STD. 834.04.

ROAD WIDENING OFFSITE DISTURBED AREA = 8,491 SF OR 0.19 ACRES

NOTE: STANDARD SILT BAG TO BE INSTALLED ON STRUCTURES ALONG N. ARENDALE AVENUE - NC HIGHWAY 96. (SEE SHEET C-8 FOR SILT BAG DETAILS.)







VICINITY MAP  
NTS

MAINTENANCE NOTES:

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED AND MAINTAINED DAILY AND AFTER EACH RAINFALL. GREATER THAN 0.5 INCHES. ANY SEDIMENT THAT HAS BEEN TRANSPORTED BEYOND THE PROJECT LIMITS SHALL BE REMOVED. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

**CONSTRUCTION ENTRANCE:**  
INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURFACE. TOP DRESS WITH NEW GRAVEL AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDED AREAS FOR EROSION AND SEDIMENTATION AFTER RAINFALL-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.

**SILT FENCE:**  
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUTS. ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

**SILT FENCE GRAVEL OUTLET:**  
INSTALL SILT FENCE GRAVEL OUTLETS AT ALL LOW POINTS IN FENCE. INSPECT SEDIMENT FENCE GRAVEL OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. ANY RIP RAP DISPOSED MUST BE REPLACED IMMEDIATELY.

**OUTLET STABILIZATION STRUCTURE:**  
INSPECT RIP RAP STRUCTURES WEEKLY AND AFTER SIGNIFICANT (0.5 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLOOED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

**BLOCK AND GRAVEL INLET PROTECTION:**  
INSTALL BLOCK GRAVEL INLET PROTECTION AT ALL STORM STRUCTURES. INSPECT THE BARRIER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

**DIVERSION DITCHES:**  
INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.

**SKIMMER BASIN:**  
INSPECT SKIMMER BASINS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (ONE-HALF INCH OR GREATER) RAINFALL. EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE THE BASIN TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO ONE-HALF THE HEIGHT OF THE FIRST BAFFLE. PULL THE SKIMMER TO ONE SIDE SO THAT THE SEDIMENT UNDERNEATH IT CAN BE EXCAVATED. EXCAVATE THE SEDIMENT FROM THE ENTIRE BASIN, NOT JUST AROUND THE SKIMMER OR THE FIRST CELL. MAKE SURE VEGETATION GROWING IN THE BOTTOM OF THE BASIN DOES NOT HOLD DOWN THE SKIMMER.

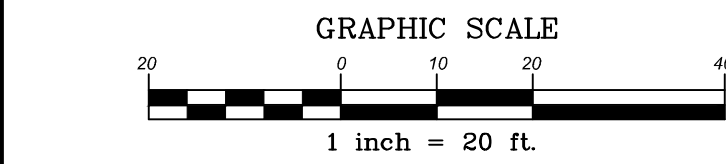
REPAIR THE BAFFLES IF THEY ARE DAMAGED. RE-ANCHOR THE BAFFLES IF WATER IS FLOWING UNDERNEATH OR AROUND THEM.

IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, USUALLY JERKING ON THE ROPE WILL MAKE THE SKIMMER BOB UP AND DOWN AND DISLodge THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK, PULL THE SKIMMER OVER TO THE SIDE OF THE BASIN AND REMOVE DEBRIS. ALSO CHECK THE ORIFICE INSIDE THE SKIMMER TO SEE IF IT IS CLOGGED; IF SO REMOVE THE DEBRIS.

IF THE SKIMMER ARM OR BARREL PIPE IS CLOGGED, THE ORIFICE CAN BE REMOVED AND THE CONSTRUCTION CLEARED WITH A PLUMBERS SNAKE OR BY FLUSHING WITH WATER. BE SURE AND REPLACE THE ORIFICE BEFORE REPOSITIONING THE SKIMMER.

CHECK THE FABRIC LINED SPILLWAY FOR DAMAGE AND MAKE ANY REQUIRED REPAIRS WITH FABRIC THAT SPANS THE FULL WIDTH OF THE SPILLWAY. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE. AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND OTHER DEBRIS FROM THE SKIMMER AND POOL AREAS.

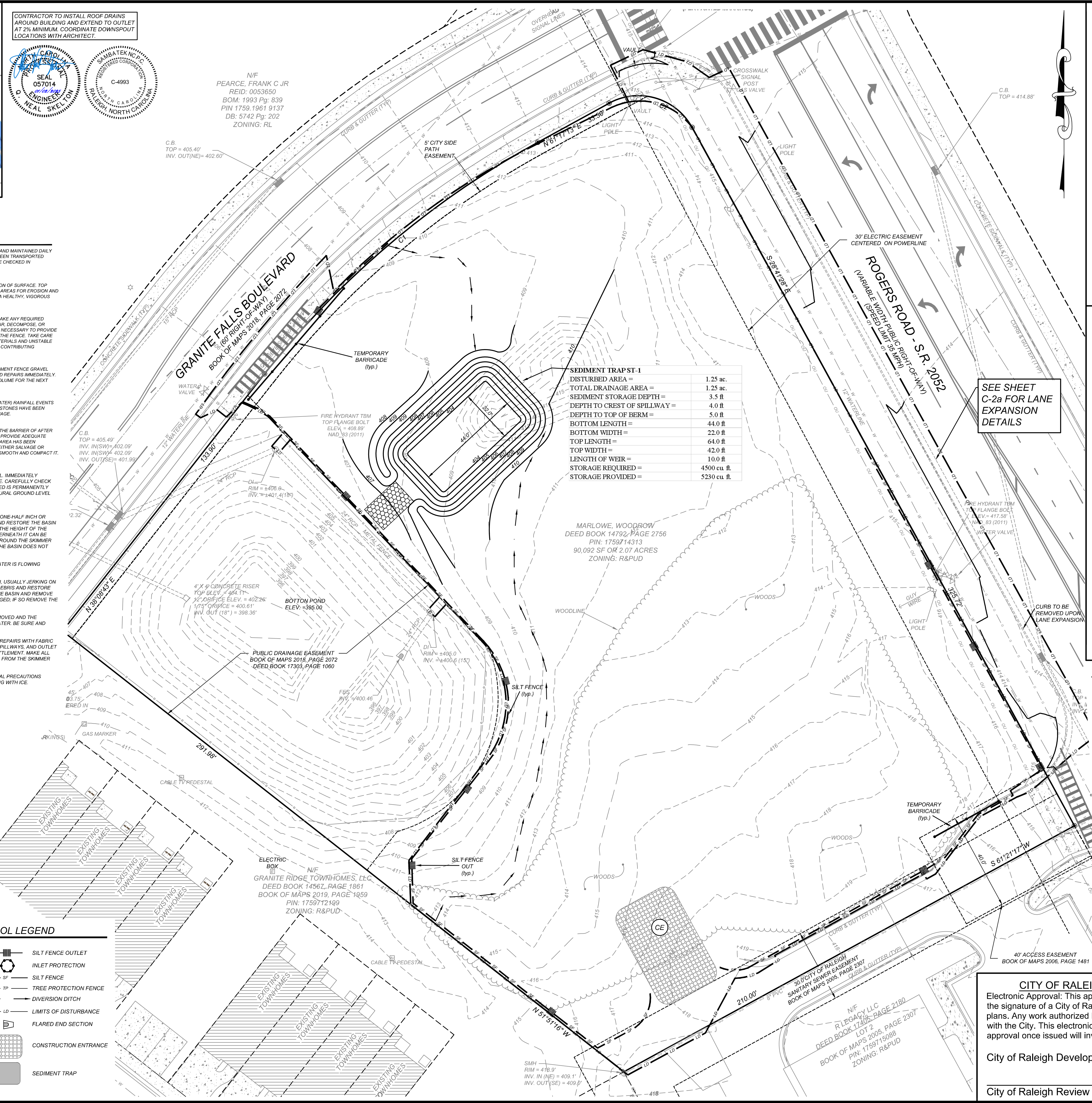
FREEZING WEATHER CAN RESULT IN ICE FORMING IN THE BASIN. SOME SPECIAL PRECAUTIONS SHOULD BE TAKEN IN THE WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.



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GRADING/EROSION CONTROL LEGEND

- DROP INLET
- CURB INLET
- STORM PIPE
- TOP OF CURB
- BOTTOM OF CURB
- HANDICAP AREA (2% MAX. SLOPE)
- SPILL CURB
- GROUND AT TOP OF WALL
- GROUND AT BOTTOM OF WALL
- INLINE DRAIN
- ROOF DRAIN
- 8" COVERED PLASTIC
- 3" MIN. COVER
- PVC IN TRAFFIC AREAS
- CLEANOUTS LOCATED @ ALL BENDS
- SILT FENCE OUTLET
- INLET PROTECTION
- SILT FENCE
- TREE PROTECTION FENCE
- DIVERSION DITCH
- LIMITS OF DISTURBANCE
- FLARED END SECTION
- CONSTRUCTION ENTRANCE
- SEDIMENT TRAP



CONSTRUCTION SEQUENCE:

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.

PHASE I - SHEET C-3

- OBTAIN A LAND DISTURBING PERMIT. SCHEDULE A PRE-CONSTRUCTION MEETING.
- INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT TRAPS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION. SEE DETAIL ON SEEDING SCHEDULE. CONTRACTOR SHALL BEGIN WITH SEDIMENT FENCING AND ALL OTHER SEDIMENT CONTAINMENT DEVICES FOLLOWED BY ALL DIVERSION AND BY-PASS DITCHES/BERMS.
- BEGIN CLEARING/GRUBBING AND GENERAL EXCAVATION ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PHASE/STAGE EROSION CONTROL TO ALLOW FOR CONSTRUCTION. NOTE: CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION DEVICES AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL. GRADING ACTIVITY SHALL BE PROHIBITED IN THE AREAS OF THE SEDIMENT CONTROL DEVICES/SEDIMENT TRAPS UNTIL THE AREAS UPSTREAM OF THESE DEVICES HAVE BEEN STABILIZED AND APPROVED.

PHASE II - SHEET C-4

- BEGIN INSTALLING UPSTREAM STORM DRAINAGE SYSTEM. INSTALL APPROVED INLET PROTECTION. TERMINATE STORM DRAINAGE SYSTEM AT TEMPORARY SEDIMENT TRAP DEVICES UNTIL SUCH DEVICES HAVE BEEN APPROVED FOR REMOVAL. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR DUE TO THE ROUTINGS OF THE STORM DRAINAGE SYSTEM AND ACTUAL FIELD CONDITIONS. NOTE: SEDIMENT BASINS SHALL BE FUNCTIONAL THROUGHOUT GRADING AND EXCAVATING.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDE AREAS WITHIN FIFTEEN (15) DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION. NOTE: THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNDISTURBED DURING CONSTRUCTION OF THE BUILDING PADS AND ASSOCIATED PARKING/DRIVE AREAS ADJACENT TO THESE DEVICES UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND APPROVED.
- WHEN SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCING, SEDIMENT BASINS, ETC., AND SEED OUT OR PAVE ANY RESULTING BARE AREAS. CONNECT UPSTREAM STORM DRAINAGE.

GRADING/EROSION CONTROL NOTES

- ALL GRADING, BACKFILLING, EXCAVATION, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORTS. REFER TO THESE REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
- CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 800-632-4949 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY DIGGING.
- THE EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EARTHWORK.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED AND REPAIRED AT A MINIMUM OF WEEKLY BASIS AND AFTER EVERY RAIN EVENT.
- ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LOADED RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- PURSUANT TO G.S. 113A-57(2), THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THAT ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PURSUANT TO G.S. 113A-57(3), PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- ALL CUT AND FILL SLOPES AND CHANNEL SLOPES/DEVELOPMENTS WHICH ARE NOT TO BE PAVED, SHALL BE SEEDED UNTIL A GOOD STAND OF GRASS IS OBTAINED IN ACCORDANCE WITH:  
A. 100 LBS PER 1,000 SQUARE FOOT GROUND LIME/STONE OR EQUIVALENT. NO SOIL TEST REQUIRED FOR INITIAL ESTABLISHMENT.  
B. 20 LBS OF 10-10-10 FERTILIZER OR EQUIVALENT PER 1,000 SQUARE FOOT.  
C. VARIETIES TO BE SEEDED:  
1. SPRING SEEDING - MARCH 1 - APRIL 30; SPRING OATS 2.5 LBS PER 1,000 SQUARE FOOT.  
2. SUMMER SEEDING - MAY 1 - AUGUST 1; WEEPING LOVE GRASS AT 2 OZ. PER SQUARE FOOT MIXED WITH 1 BUSHEL OF SAWDUST FOR UNIFORM SEEDING.  
3. ASPHALT MULCH 6 GALLONS PER 1,000 SQUARE FOOT. ALL SEEDING WILL BE MULCHED.  
10. SEE LANDSCAPE PLAN FOR PERMANENT SEEDING.
- ALL FINISHED SURFACES SHOULD SLOPE AWAY FROM BUILDING, TOWARDS DRAINAGE OUTLETS FOR POSITIVE DRAINAGE AND TO AVOID STANDING WATER.

TEMPORARY SEEDING IN NORTH CAROLINA

| SEEDING MIXTURE            |   | RATE (lb/acre) |
|----------------------------|---|----------------|
| SPECIES                    |   |                |
| LATE WINTER & EARLY SPRING | RYE (GRAIN)<br>ANNUAL LESPEDEZA (KOBE)<br>IN PIEDMONT AND COASTAL PLAIN,<br>KOREAN IN MOUNTAINS   | 120            |
| SUMMER                     | GERMAN MILLET<br>OMIT ANNUAL LESPEDEZA WHEN DURATION OF<br>TEMPORARY COVER IN THE PIEDMONT AND<br>MOUNTAINS, A SMALL-STEMMED SUNGRASS                           | 50             |
| FALL                       | RYE (GRAIN)<br>IS NOT TO EXTEND BEYOND JUNE<br>MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE.  | 40             |
| LATE WINTER & EARLY SPRING | SEEDING DATES:<br>MOUNTAINS - ABOVE 2500 ft. FEB. 15 - MAY 15<br>BELOW 2500 ft. FEB. 1 - MAY 1<br>PIEDMONT - JAN. 1 - MAY 1<br>COASTAL PLAIN - DEC. 1 - APR. 15 | 120            |
| SUMMER                     | MOUNTAINS - MAY 15 - AUG. 15<br>PIEDMONT - MAY 1 - AUG. 15<br>COASTAL PLAIN - APR. 15 - AUG. 15   |                |
| FALL                       | MOUNTAINS - AUG. 15 - DEC. 15<br>COASTAL PLAIN AND PIEDMONT - AUG. 15 - DEC. 30   |                |

**SOIL AMENDMENTS**  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LBS/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LBS/ACRE 10-10-10 FERTILIZER

**MULCH**  
APPLY 4,000 LBS/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE**  
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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City of Raleigh Development Approval

City of Raleigh Review Officer

| REVISIONS |            | NO.                                | DATE | DESCRIPTION | BY |
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| KL        |            |                                    |      |             |    |
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| 2         | 06-01-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V2 |      |             |    |
| 3         | 09-2023    | VARIANCE VAR-23-02 SUBMITTAL       |      |             |    |
| 4         | 11-01-2024 | SITE DEVELOPMENT PLAN SUBMITTAL V3 |      |             |    |
| 5         | 01-02-2025 | SITE DEVELOPMENT PLAN SUBMITTAL V4 |      |             |    |

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CLIENT:  
BULLARD RESTAURANT GROUP  
9131 ANSON WAY, # 305  
RALEIGH, NC 27615

PROPOSED RETAIL AND  
RESTAURANT DEVELOPMENT  
6000 ROGERS ROAD  
ROLESVILLE, NORTH CAROLINA

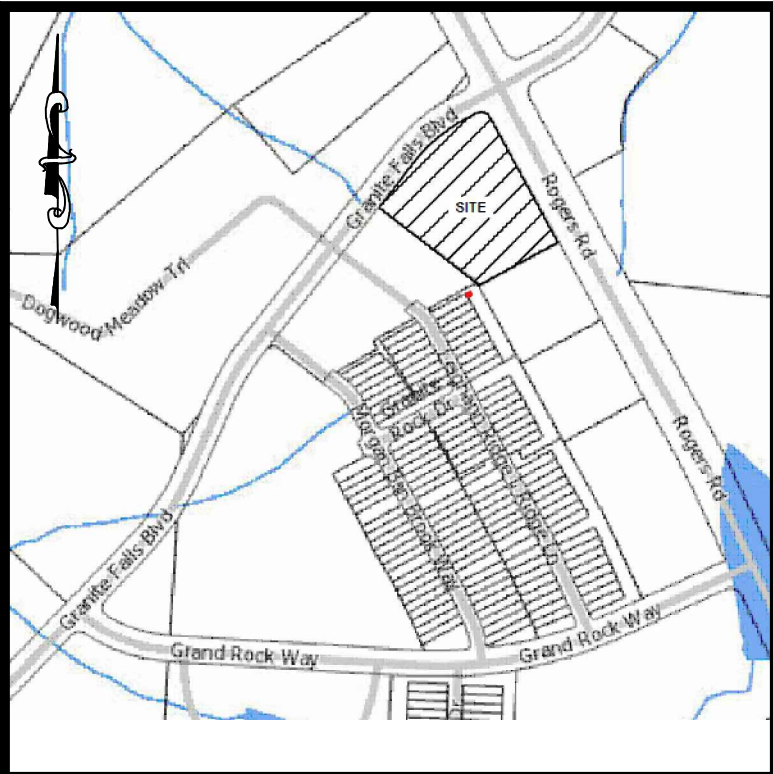
EROSION CONTROL PLAN - PHASE I

|             |                 |
|-------------|-----------------|
| PROJECT NO. | BUL-2103        |
| FILENAME:   | BUL2103-ECF.dwg |
| DRAWN BY:   | RCN             |
| SCALE:      | 1"= 20'         |
| DATE:       | 12-06-2022      |
| SHEET NO.   | C-3             |









VICINITY MAP  
NTS

CONTRACTOR TO INSTALL ROOF DRAINS  
AROUND BUILDING AND EXTEND TO OUTLET  
AT 2% MINIMUM. COORDINATE DOWNSPOUT  
LOCATIONS WITH ARCHITECT.

N/F  
PEARCE, FRANK C JR  
REID: 0053650  
BOM: 1993 Pg: 839  
PIN: 1759.1961 9137  
DB: 5742 Pg: 202  
ZONING: RL

C.B. TOP = 405.40'  
INV. OUT(NE) = 402.60'

GRANITE FALLS BOULEVARD  
BOOK OF MAPS 2018, PAGE 2072  
100' RIGHT-OF-WAY

C.B. TOP = 405.40'  
INV. IN(SW) = 402.09'  
INV. IN(SW) = 402.09'  
INV. OUT(SE) = 401.99'

C.B. TOP = 405.40'  
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INV. IN(SW) = 402.09'  
INV. OUT(SE) = 401.99'

N/F  
GRANITE RIDGE TOWNHOMES, LLC  
DEED BOOK 1456Z, PAGE 1861  
BOOK OF MAPS 2019, PAGE 1859  
PIN: 1759712139  
ZONING: R&PUD

N/F  
GRANITE RIDGE TOWNHOMES, LLC  
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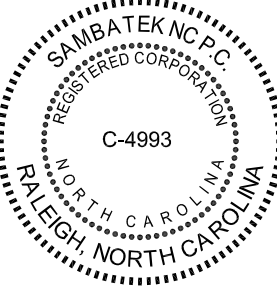
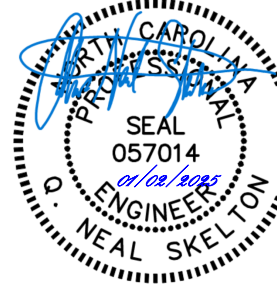
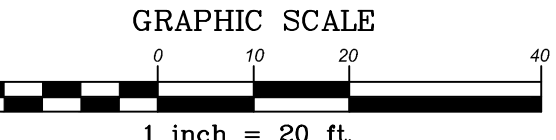
SMH  
RIM = 418.9'  
INV. IN (NE) = 409.1'  
INV. OUT (SE) = 409.8'

N/F  
R LEGACY LLC  
DEED BOOK 1745Z, PAGE 2180  
BOOK OF MAPS 2005, PAGE 2307  
PIN: 1759715098  
ZONING: R&PUD

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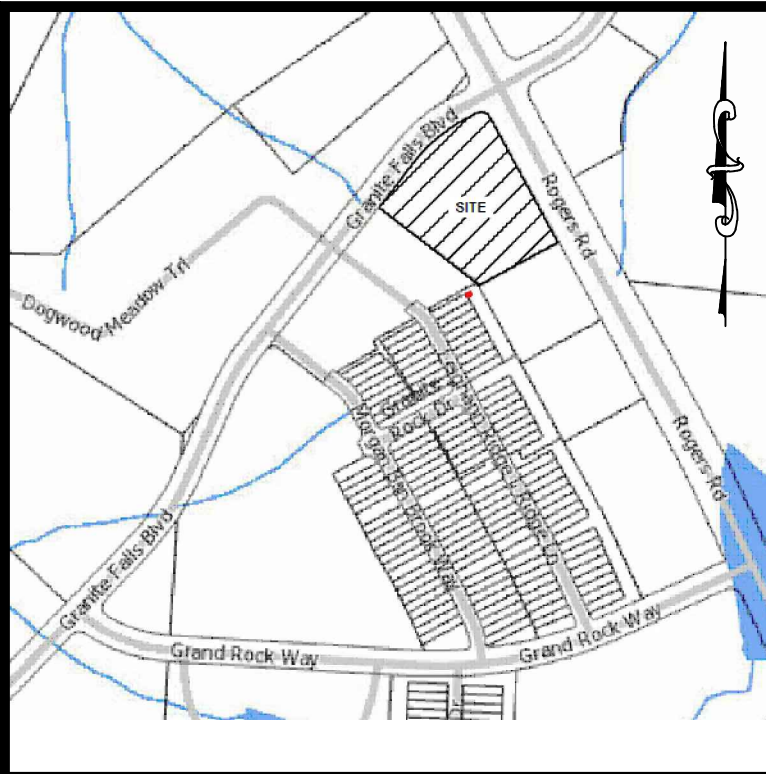
CLIENT:  
BULLARD RESTAURANT GROUP  
9131 ANSON WAY, # 305  
RALEIGH, NC 27615

PROPOSED RETAIL AND  
RESTAURANT DEVELOPMENT  
6000 ROGERS ROAD  
ROLESVILLE, NORTH CAROLINA  
INLET DRAINAGE AREA MAP

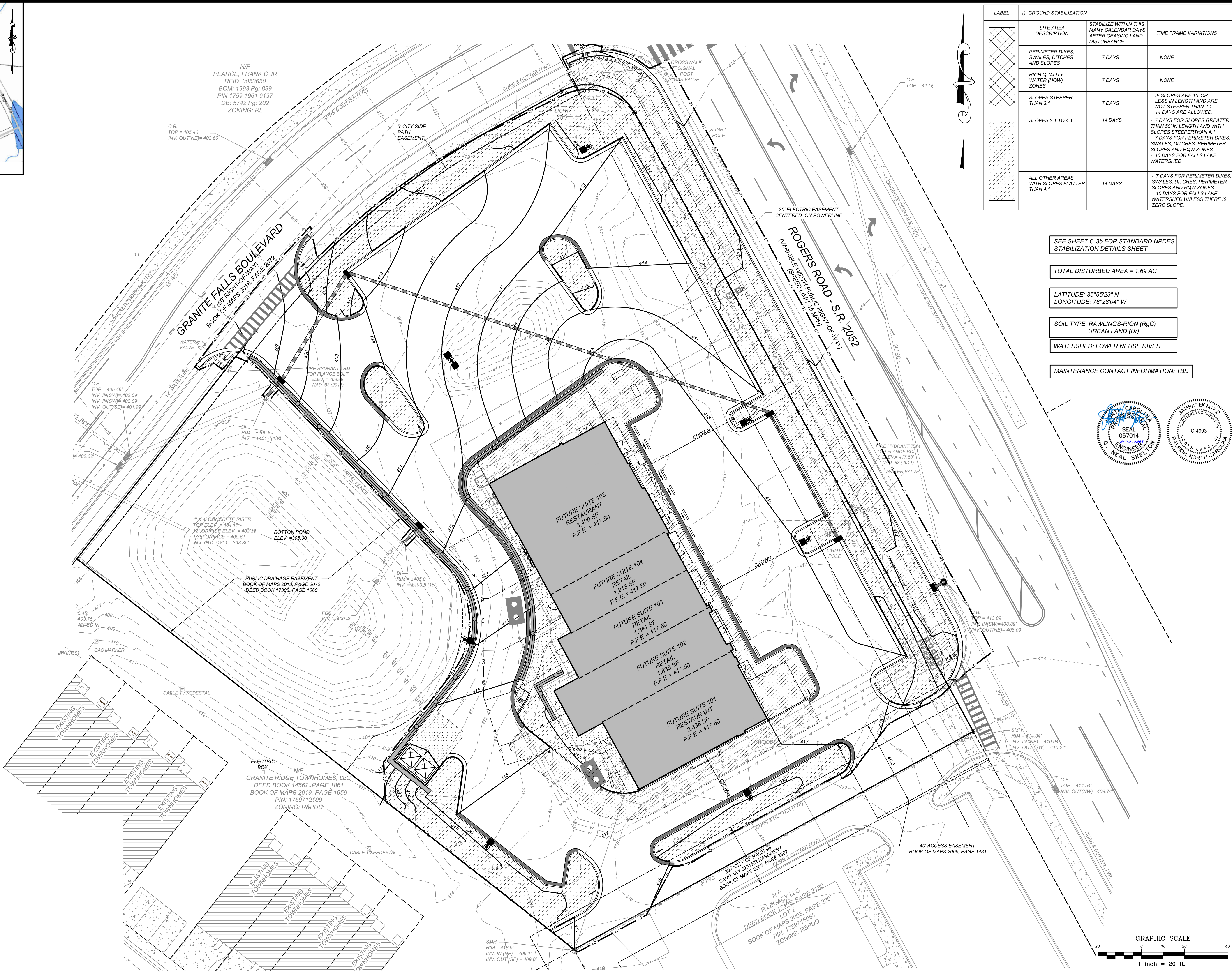
|             |            |
|-------------|------------|
| PROJECT NO. | BUL-2103   |
| FILENAME:   | BUL2103-GP |
| DRAWN BY:   | RCN        |
| SCALE:      | 1"= 20'    |
| DATE:       | 12-06-2022 |
| SHEET NO.   |            |

C-4a





VICINITY MAP  
NTS



| LABEL | 1) GROUND STABILIZATION                      |   |  |
|-------|--|---|--|
|       | SITE AREA DESCRIPTION                        | STABILIZE WITHIN THIS MANY CALENDAR DAYS AFTER CEASING LAND DISTURBANCE | TIME FRAME VARIATIONS  |
|       | PERIMETER DIKES, SWALES, DITCHES AND SLOPES  | 7 DAYS  | NONE   |
|       | HIGH QUALITY WATER (HOW) ZONES               | 7 DAYS  | NONE   |
|       | SLOPES STEEPER THAN 3:1                      | 7 DAYS  | IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED  |
|       | SLOPES 3:1 TO 4:1                            | 14 DAYS   | - 7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH AND WITH SLOPES STEEPER THAN 4:1<br>- 7 DAYS FOR PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND HOW ZONES<br>- 10 DAYS FOR FALLS LAKE WATERSHED |
|       | ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1 | 14 DAYS   | - 7 DAYS FOR PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND HOW ZONES<br>- 10 DAYS FOR FALLS LAKE WATERSHED UNLESS THERE IS ZERO SLOPE.  |

SEE SHEET C-3b FOR STANDARD NPDES STABILIZATION DETAILS SHEET

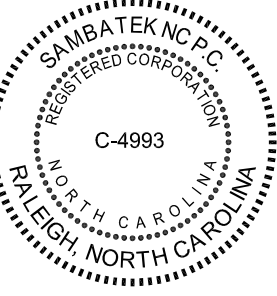
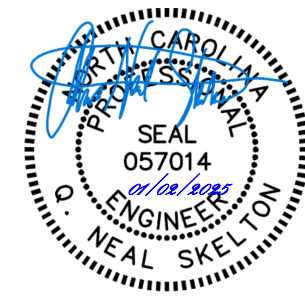
TOTAL DISTURBED AREA = 1.69 AC

LATITUDE: 35°55'23" N  
LONGITUDE: 78°28'04" W

SOIL TYPE: RAWLINGS-RION (RgC)  
URBAN LAND (Ur)

WATERSHED: LOWER NEUSE RIVER

MAINTENANCE CONTACT INFORMATION: TBD



| REVISIONS |            |            |            |            | DESCRIPTION | DATE | BY |
|-----------|------------|------------|------------|------------|-------------|------|----|
| KL        | STH        | STH        | STH        | STH        |             |      |    |
| 1         | 02-24-2023 | 06-01-2023 | 09-20-2023 | 11-01-2024 | 01-02-2025  |      |    |
| 1         | 02-24-2023 | 06-01-2023 | 09-20-2023 | 11-01-2024 | 01-02-2025  |      |    |
| 2         | 06-01-2023 | 09-20-2023 | 11-01-2024 | 01-02-2025 |             |      |    |
| 3         | 09-20-2023 | 11-01-2024 | 01-02-2025 |            |             |      |    |
| 4         | 11-01-2024 | 01-02-2025 |            |            |             |      |    |
| 5         | 01-02-2025 |            |            |            |             |      |    |

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CLIENT:  
BULLARD RESTAURANT GROUP  
9131 ANSON WAY, # 305  
RALEIGH, NC 27615

PROPOSED RETAIL AND RESTAURANT DEVELOPMENT  
6000 ROGERS ROAD  
ROLESVILLE, NORTH CAROLINA  
NPDES STABILIZATION PLAN

|             |            |
|-------------|------------|
| PROJECT NO. | BUL-2103   |
| FILENAME:   | NPDES      |
| DRAWN BY:   | RCN        |
| SCALE:      | 1" = 20'   |
| DATE:       | 12-06-2022 |
| SHEET NO.   | C-5        |



**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**  
Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

| Required Ground Stabilization Timeframes                   |   |   |
|--|---|---|
| Site Area Description                                      | Stabilize within this many calendar days after ceasing land disturbance | Timeframe variations  |
| (a) Perimeter dikes, swales, ditches, and perimeter slopes | 7   | None  |
| (b) High Quality Water (HQW) Zones                         | 7   | None  |
| (c) Slopes steeper than 3:1                                | 7   | If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed   |
| (d) Slopes 3:1 to 4:1                                      | 14  | -7 days for slopes greater than 50' in length and with slopes steeper than 4:1<br>-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones<br>-10 days for Falls Lake Watershed |
| (e) Areas with slopes flatter than 4:1                     | 14  | -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones<br>-10 days for Falls Lake Watershed unless there is zero slope  |

**Note:** After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

| Temporary Stabilization  | Permanent Stabilization   |
|--|---|
| <ul style="list-style-type: none"><li>Temporary grass seed covered with straw or other mulches and tackifiers</li><li>Hydroseeding</li><li>Rollled erosion control products with or without temporary grass seed</li><li>Appropriately applied straw or other mulch</li><li>Plastic sheeting</li></ul> | <ul style="list-style-type: none"><li>Permanent grass seed covered with straw or other mulches and tackifiers</li><li>Geotextile fabrics such as permanent soil reinforcement matting</li><li>Hydroseeding</li><li>Shrubs or other permanent plantings covered with mulch</li><li>Uniform and evenly distributed ground cover sufficient to restrain erosion</li><li>Structural methods such as concrete, asphalt or retaining walls</li><li>Rollled erosion control products with grass seed</li></ul> |

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

**EQUIPMENT AND VEHICLE MAINTENANCE**

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

**LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

**PAINT AND OTHER LIQUID WASTE**

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

**PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

**EARTHEN STOCKPILE MANAGEMENT**

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

**CONCRETE WASHOUTS**

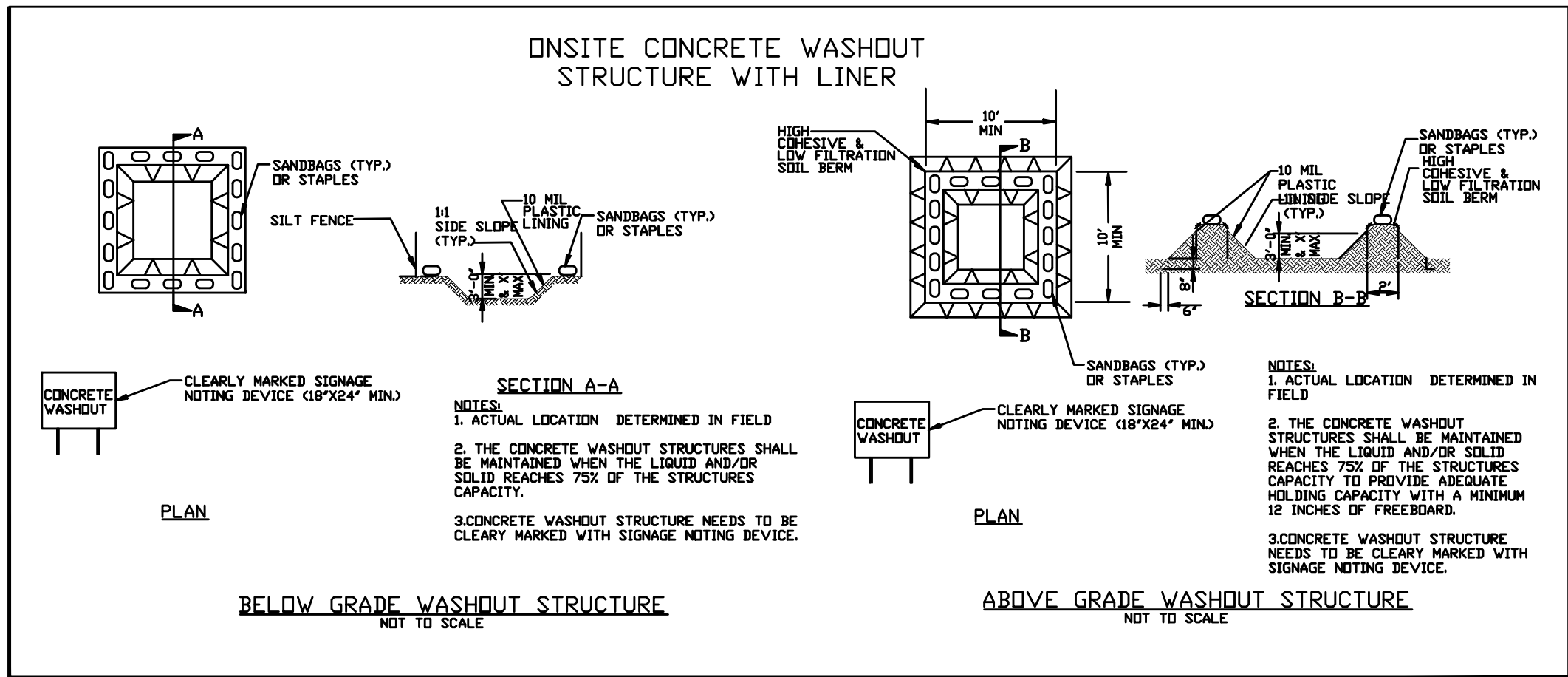
- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

**HERBICIDES, PESTICIDES AND RODENTICIDES**

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

**HAZARDOUS AND TOXIC WASTE**

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.



**NCG01 GROUND STABILIZATION AND MATERIALS HANDLING**

EFFECTIVE: 04/01/19

**PART III**  
**SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**  
Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

| Inspect  | Frequency (during normal business hours)  | Inspection records must include:   |
|--|---|--|
| (1) Rain gauge maintained in good working order              | Daily   | Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rainfall measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division. |
| (2) E&SC Measures  | At least once per 7 calendar days and within 24 hours of a rain event $\geq 1.0$ inch in 24 hours | 1. Identification of the measures inspected.<br>2. Date and time of the inspection.<br>3. Name of the person performing the inspection.<br>4. Indication of whether the measures were operating properly.<br>5. Description of maintenance needs for the measure.<br>6. Description, evidence, and date of corrective actions taken.   |
| (3) Stormwater discharge outfalls (SDOs)                     | At least once per 7 calendar days and within 24 hours of a rain event $\geq 1.0$ inch in 24 hours | 1. Identification of the discharge outfalls inspected.<br>2. Date and time of the inspection.<br>3. Name of the person performing the inspection.<br>4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration.<br>5. Indication of visible sediment leaving the site.<br>6. Description, evidence, and date of corrective actions taken.   |
| (4) Perimeter of site  | At least once per 7 calendar days and within 24 hours of a rain event $\geq 1.0$ inch in 24 hours | 8. If no self-inspection is found outside the limits, then a record of the following shall be made:<br>1. Actions taken to clean up or stabilize the sediment that has left the site limits.<br>2. Description, evidence, and date of corrective actions taken, and<br>3. An explanation as to the actions taken to control future releases.   |
| (5) Streams or wetlands onsite or offsite (where accessible) | At least once per 7 calendar days and within 24 hours of a rain event $\geq 1.0$ inch in 24 hours | If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made:<br>1. Description, evidence and date of corrective actions taken, and<br>2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item 2(a) of this permit.  |
| (6) Ground stabilization measures                            | After each phase of grading   | 1. The phase of grading/installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover).<br>2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.                    |

**NOTE:** The rain inspection resets the required 7 calendar day inspection requirement.

**PART II, SECTION G, ITEM (4)**  
**DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

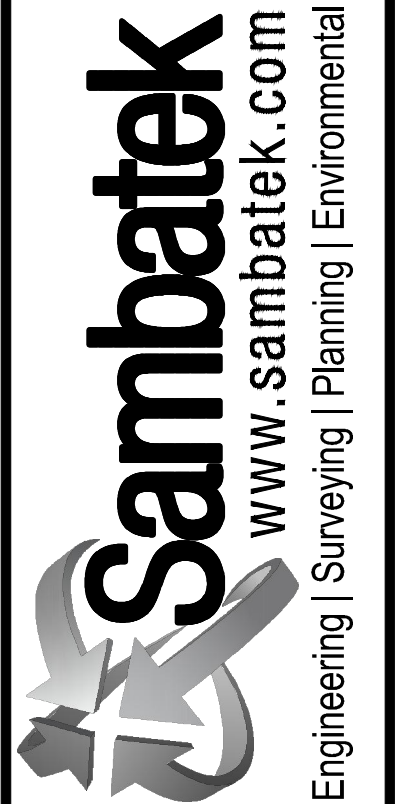
Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item 2(c) and (d) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

**NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING**

EFFECTIVE: 04/01/19

| REVISIONS |   |            |                                    |             |            |
|-----------|---|------------|------------------------------------|-------------|------------|
| KL        | 1 | 02-24-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V1 | 2           | 06-01-2023 |
| KL        | 2 | 06-01-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V2 | 3           | 09-2023    |
| KL        | 3 | 09-2023    | VARIANCE VAR-23-02 SUBMITTAL       | 4           | 11-01-2024 |
| KL        | 4 | 11-01-2024 | SITE DEVELOPMENT PLAN SUBMITTAL V3 | 5           | 01-02-2025 |
| KL        | 5 | 01-02-2025 | SITE DEVELOPMENT PLAN SUBMITTAL V4 | NO.         | DATE       |
| KL        | 6 |            |                                    | DESCRIPTION | BY         |



**PROPOSED RETAIL AND RESTAURANT DEVELOPMENT**  
6000 ROGERS ROAD  
ROLESVILLE, NORTH CAROLINA

**NPDES DETAILS**

**PROJECT NO.** BUL-2103  
**FILENAME:** BIS1807-NPDES2  
**DRAWN BY:** RCN  
**SCALE:** N.T.S.  
**DATE:** 12-06-2022  
**SHEET NO.** C-6







**NOTE TO CONTRACTOR:**  
GENERAL CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES FOR VERIFICATION OF EXACT LOCATION AND DEPTH PRIOR TO ANY CONSTRUCTION.

UTILITY INFORMATION SHOWN IS A COMBINATION OF SURVEY AND COUNTY AS-BUILTS.



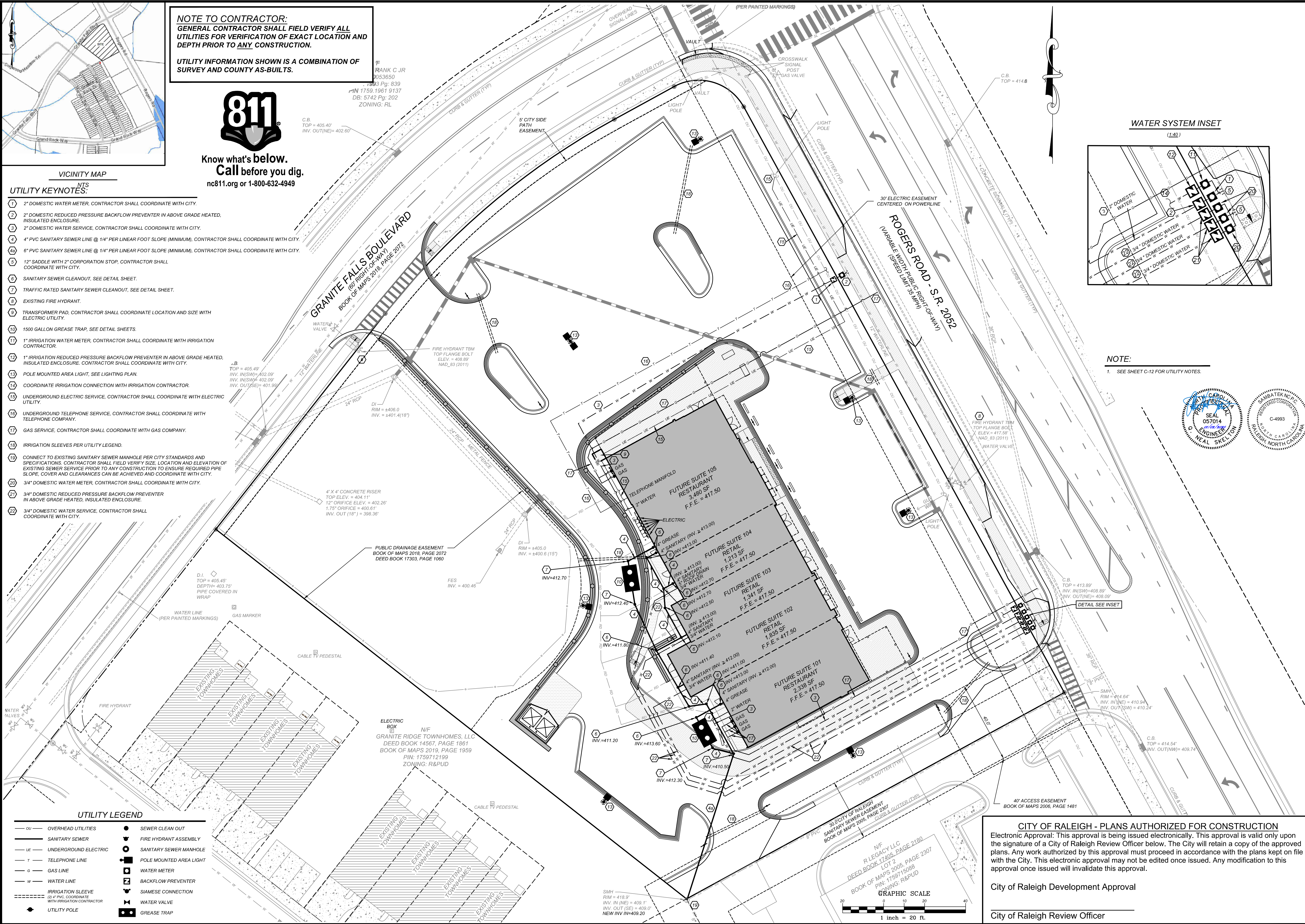
Know what's below.  
Call before you dig.  
nc811.org or 1-800-632-4949

#### UTILITY KEYNOTES:

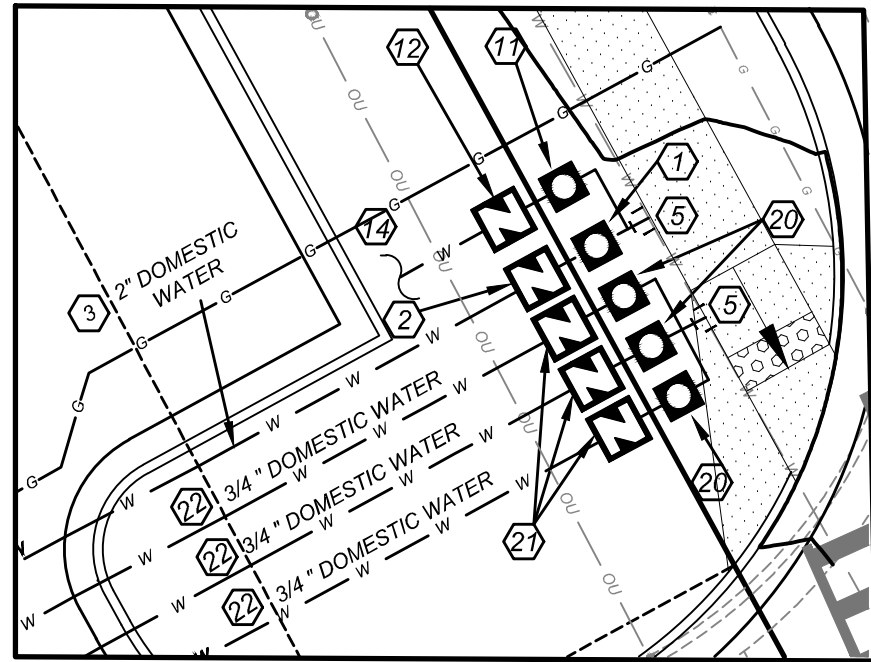
- 2" DOMESTIC WATER METER, CONTRACTOR SHALL COORDINATE WITH CITY.
- 2" DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTER IN ABOVE GRADE HEATED, INSULATED ENCLOSURE.
- 2" DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY.
- 4" PVC SANITARY SEWER LINE @ 1/4" PER LINEAR FOOT SLOPE (MINIMUM), CONTRACTOR SHALL COORDINATE WITH CITY.
- 6" PVC SANITARY SEWER LINE @ 1/4" PER LINEAR FOOT SLOPE (MINIMUM), CONTRACTOR SHALL COORDINATE WITH CITY.
- 12" SADDLE WITH 2" CORPORATION STOP, CONTRACTOR SHALL COORDINATE WITH CITY.
- SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
- TRAFFIC RATED SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
- EXISTING FIRE HYDRANT.
- TRANSFORMER PAD, CONTRACTOR SHALL COORDINATE LOCATION AND SIZE WITH ELECTRIC UTILITY.
- 1500 GALLON GREASE TRAP, SEE DETAIL SHEETS.
- 1" IRRIGATION WATER METER, CONTRACTOR SHALL COORDINATE WITH IRRIGATION CONTRACTOR.
- 1" IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER IN ABOVE GRADE HEATED, INSULATED ENCLOSURE, CONTRACTOR SHALL COORDINATE WITH CITY.
- POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN.
- COORDINATE IRRIGATION CONNECTION WITH IRRIGATION CONTRACTOR.
- UNDERGROUND ELECTRIC SERVICE, CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY.
- UNDERGROUND TELEPHONE SERVICE, CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY.
- GAS SERVICE, CONTRACTOR SHALL COORDINATE WITH GAS COMPANY.
- IRRIGATION SLEEVES PER UTILITY LEGEND.
- CONNECT TO EXISTING SANITARY SEWER MANHOLE PER CITY STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL FIELD VERIFY SIZE, LOCATION AND ELEVATION OF EXISTING SEWER SERVICE PRIOR TO ANY CONSTRUCTION TO ENSURE REQUIRED PIPE SLOPE, COVER AND CLEARANCES CAN BE ACHIEVED AND COORDINATE WITH CITY.
- 3/4" DOMESTIC WATER METER, CONTRACTOR SHALL COORDINATE WITH CITY.
- 3/4" DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTER IN ABOVE GRADE HEATED, INSULATED ENCLOSURE.
- 3/4" DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY.

#### UTILITY LEGEND

- |               |                                       |   |                         |
|---------------|---------------------------------------|---|-------------------------|
| — ou —        | OVERHEAD UTILITIES                    | ● | SEWER CLEAN OUT         |
| — SS —        | SANITARY SEWER                        | ⊕ | FIRE HYDRANT ASSEMBLY   |
| — UE —        | UNDERGROUND ELECTRIC                  | ⊙ | SANITARY SEWER MANHOLE  |
| — T —         | TELEPHONE LINE                        | ⊕ | POLE MOUNTED AREA LIGHT |
| — G —         | GAS LINE                              | ⊕ | WATER METER             |
| — W —         | WATER LINE                            | ⊕ | BACKFLOW PREVENTER      |
| — I —         | IRRIGATION SLEEVE                     | ⊕ | SIAMSESE CONNECTION     |
| — 2" 4" PVC — | COORDINATE WITH IRRIGATION CONTRACTOR | ⊕ | WATER VALVE             |
| ●             | UTILITY POLE                          | ⊕ | GREASE TRAP             |

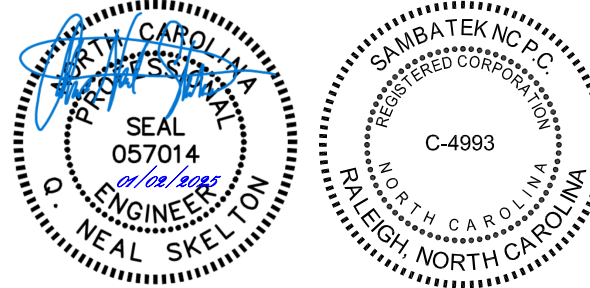


#### WATER SYSTEM INSET



#### NOTE:

- SEE SHEET C-12 FOR UTILITY NOTES.



#### CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval

City of Raleigh Review Officer

| REVISIONS |            |                                    |     |      | BY          |    |
|-----------|------------|------------------------------------|-----|------|-------------|----|
| NO.       | DATE       | DESCRIPTION                        | NO. | DATE | DESCRIPTION | BY |
| 1         | 02-24-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V1 | KL  |      |             |    |
| 2         | 06-01-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V2 | STH |      |             |    |
| 3         | 09-2023    | VARIANCE VAR-23-02 SUBMITTAL       | STH |      |             |    |
| 4         | 11-01-2024 | SITE DEVELOPMENT PLAN SUBMITTAL V3 | STH |      |             |    |
| 5         | 01-02-2025 | SITE DEVELOPMENT PLAN SUBMITTAL V4 | STH |      |             |    |



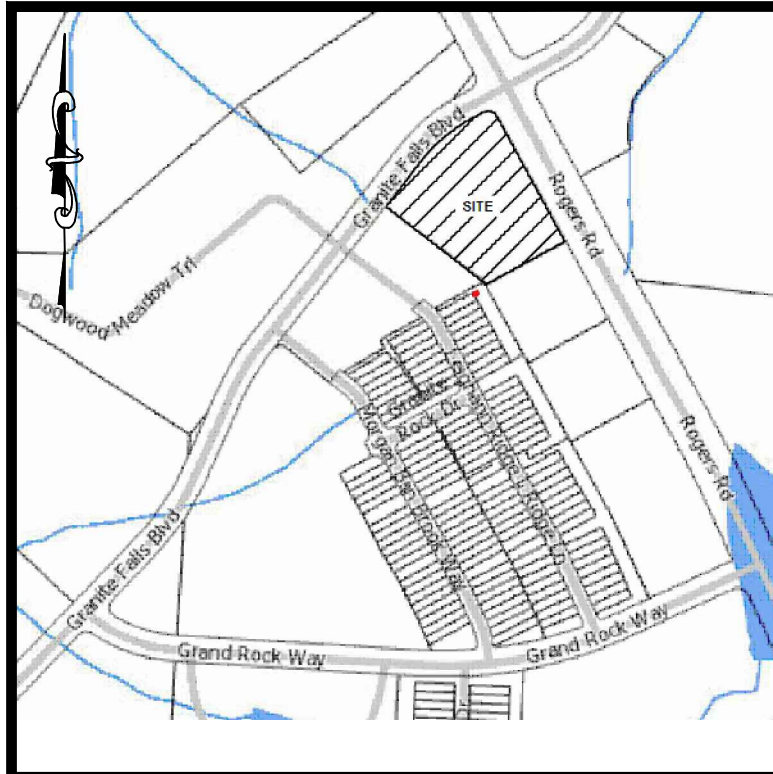
CLIENT:  
BULLARD RESTAURANT GROUP  
9131 ANSON WAY, # 305  
RALEIGH, NC 27615

PROPOSED RETAIL AND RESTAURANT DEVELOPMENT  
6000 ROGERS ROAD  
ROLESVILLE, NORTH CAROLINA

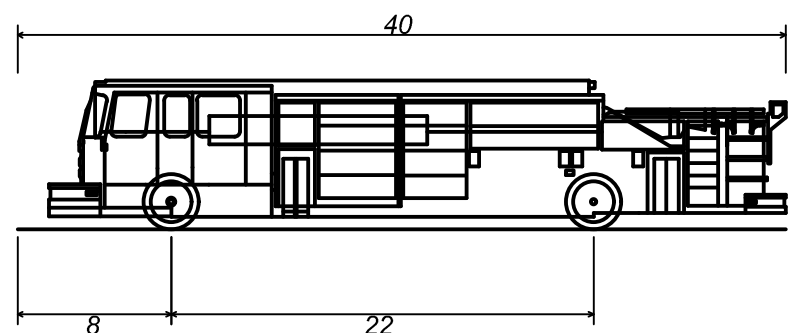
#### UTILITY PLAN

|             |            |
|-------------|------------|
| PROJECT NO. | BUL-2103   |
| FILENAME:   | BUL2103-UP |
| DRAWN BY:   | RCN        |
| SCALE:      | 1"= 20'    |
| DATE:       | 12-06-2022 |
| SHEET NO.   | C-7        |





VICINITY MAP  
NTS

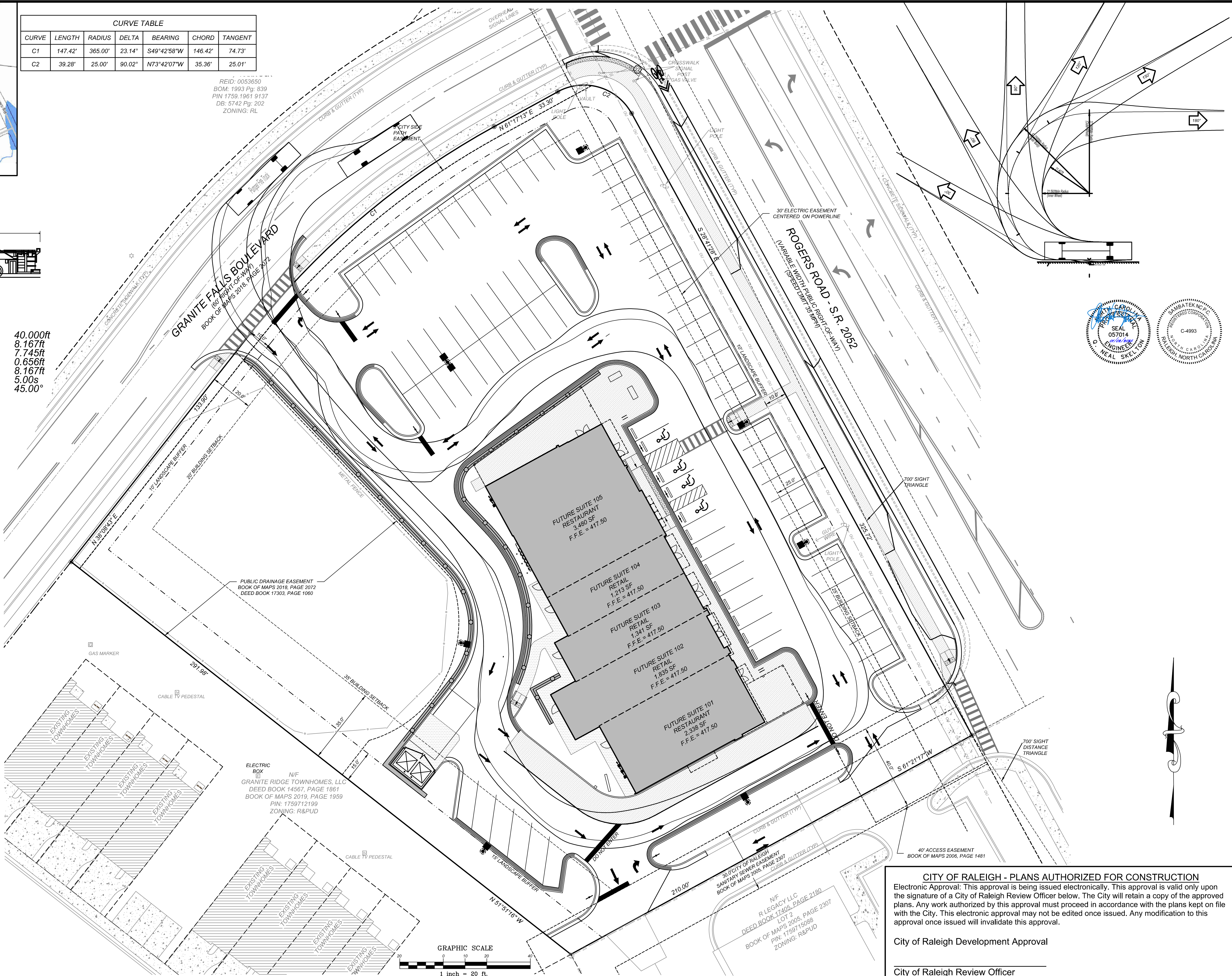


Fire Truck  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Max Wheel Angle

40.000ft  
8.167ft  
7.745ft  
0.656ft  
8.167ft  
5.00s  
45.00°

| CURVE TABLE |         |         |        |             |         |         |
|-------------|---------|---------|--------|-------------|---------|---------|
| CURVE       | LENGTH  | RADIUS  | DELTA  | BEARING     | CHORD   | TANGENT |
| C1          | 147.42' | 365.00' | 23.14° | S49°42'58"W | 146.42' | 74.73'  |
| C2          | 39.28'  | 25.00'  | 90.02° | N73°42'07"W | 35.36'  | 25.01'  |

REID: 0053650  
BOM: 1993 Pg: 839  
PIN: 1759.1961 9137  
DB: 5742 Pg: 202  
ZONING: RL



Know what's below.  
Call before you dig.  
nc811.org or 1-800-632-4949

SITE LEGEND

- SPILL CURB
- HANDICAP RAMP
- HANDICAP STALL
- PROPOSED CONCRETE
- EXISTING CONCRETE
- PROPERTY LINE
- SIGN
- BOLLARD
- EX. FIRE HYDRANT
- FENCE
- POLE MOUNTED AREA LIGHT
- PROPERTY CORNER
- FINISH FLOOR ELEVATION

| REVISIONS |            |                                    |     |  |
|-----------|------------|------------------------------------|-----|--|
| NO.       | DATE       | DESCRIPTION                        | BY  |  |
| 1         | 02-24-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V1 | KL  |  |
| 2         | 06-01-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V2 | STH |  |
| 3         | 09-2023    | VARIANCE VAR-23-02 SUBMITTAL       | STH |  |
| 4         | 11-01-2024 | SITE DEVELOPMENT PLAN SUBMITTAL V3 | STH |  |
| 5         | 01-02-2025 | SITE DEVELOPMENT PLAN SUBMITTAL V4 | STH |  |

**Sambatek**  
www.sambatek.com  
Engineering | Surveying | Planning | Environmental

CLIENT:  
BULLARD RESTAURANT GROUP  
9131 ANSON WAY # 305  
RALEIGH, NC 27615

PROPOSED RETAIL AND  
RESTAURANT DEVELOPMENT  
6000 ROGERS ROAD  
ROLESVILLE, NORTH CAROLINA  
FIRE TRUCK TURN PLAN

PROJECT NO: BUL-2103  
FILENAME: BUL2103-TT  
DRAWN BY: RCN  
SCALE: 1" = 20'  
DATE: 12-06-2022  
SHEET NO:

C-7a

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**  
Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval

City of Raleigh Review Officer





VICINITY MAP  
NTS

TURF NOTES:

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- RIP ENTIRE AREA TO 6 INCHES IN DEPTH.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF TIME SHOULD BE OVER 60% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

\*APPLY: AGRICULTURAL LIMESTONE - 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)  
FERTILIZER - 1,000 LBS/ACRE - 10-10-10  
SUPERPHOSPHATE - 500 LBS/ACRE 20% ANALYSIS  
MULCH - 2 TONS/ACRE - SMALL GRAIN STRAW  
ANCHOR - ASPHALT EMULSION @ 300 GALS/ACRE

SOD PREPARATION:  
FOLLOW PREPARATION AS DIRECTED FOR STEPS 1-5 ABOVE. IMMEDIATELY WATER SOD UPON INSTALLATION AND CONTINUE UNTIL ROOTS ARE ESTABLISHED.

- CONTRACTOR SHALL WATER AND MAINTAIN ALL LAWN AREAS UNTIL AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED.
- ONCE AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED, THE CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS AND MONITOR THE LAWN AREAS UNTIL THE GRASS REACHES A HEIGHT OF 4 INCHES TALL.
- AT THE TIME THE GRASS REACHES A HEIGHT OF 4 INCHES TALL, THE CONTRACTOR SHALL MOW THE GRASS TO THE HEIGHT OF 3 INCHES AND TURN OVER THE LAWN MAINTENANCE TO THE OWNER.
- AN ACCEPTABLE STAND OF GRASS SHALL BE 92% COVERAGE OR BETTER.

LANDSCAPE NOTES:

- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
- PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
- ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.
- ALL AREAS NOT MULCHED SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE AREA SPECIFIED ON PLANS WITH "REBEL" HYBRID TALL FESCUE OR EQUIVALENT AS PRESCRIBED IN THE SEEDING SCHEDULE AS SHOWN ON THIS SHEET.
- SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
- TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
- COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
- VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
- MULCH ALL AREAS, THAT ARE NOT SEEDED OR SODDED, WITH SHREDDED HARDWOOD MULCH TO A DEPTH OF 3"-4", UNLESS SPECIFIED DIFFERENTLY ON PLAN.
- THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
- SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO INSTALLATION, SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
- ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
- TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
- THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT.

LANDSCAPE REQUIREMENTS:

STREET YARD BUFFER:

1. Small trees shall be located under overhead power lines. Such small trees shall be at least one and one-half inches in caliper at the time of installation and two such trees shall be installed or maintained for every 40 linear feet of streetscape, rather than one larger tree per 40 feet required above.  
2. One street tree of at least two and one-half inches in caliper  
LDO 6.2.2.2.E. WESTERN PROPERTY PERIMETER BUFFER  
Perimeter Buffer: Type 3 between GC and RM (see R&PD); 10' Width\* Four (4) trees per 100 linear feet. Two (2) understory tree per 100 linear feet. Sixty (60) shrubs per 100 linear feet. Six (6) foot wall.  
\*Variance approved reducing perimeter buffer width from 25' to 10'

LDO 6.2.2.2.D.6. THOROUGHFARE STREETSCAPE BUFFERS  
The buffer shall occupy 100% the length (except for driveways and sidewalks) between VUA and ROW thoroughfare so as to provide a semi-opaque screen or barrier from off-site view. Required street buffer width = 10'.  
\*Variance approved reducing street buffer width from 30' to 10'

LDO 6.2.2.1.C.3. PERIMETER (STORMWATER POND) EASEMENT BUFFER  
Where there is a perimeter easement (such as a drainage or utility easement) that does not allow for the installation of the buffer, then the required buffer shall be placed as close to the property line adjacent to the easement as possible.

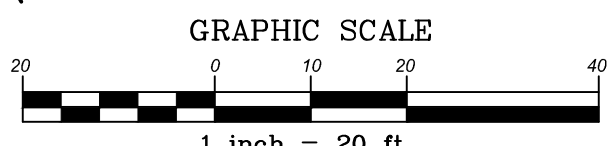
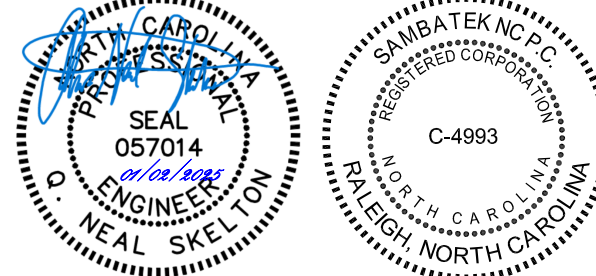
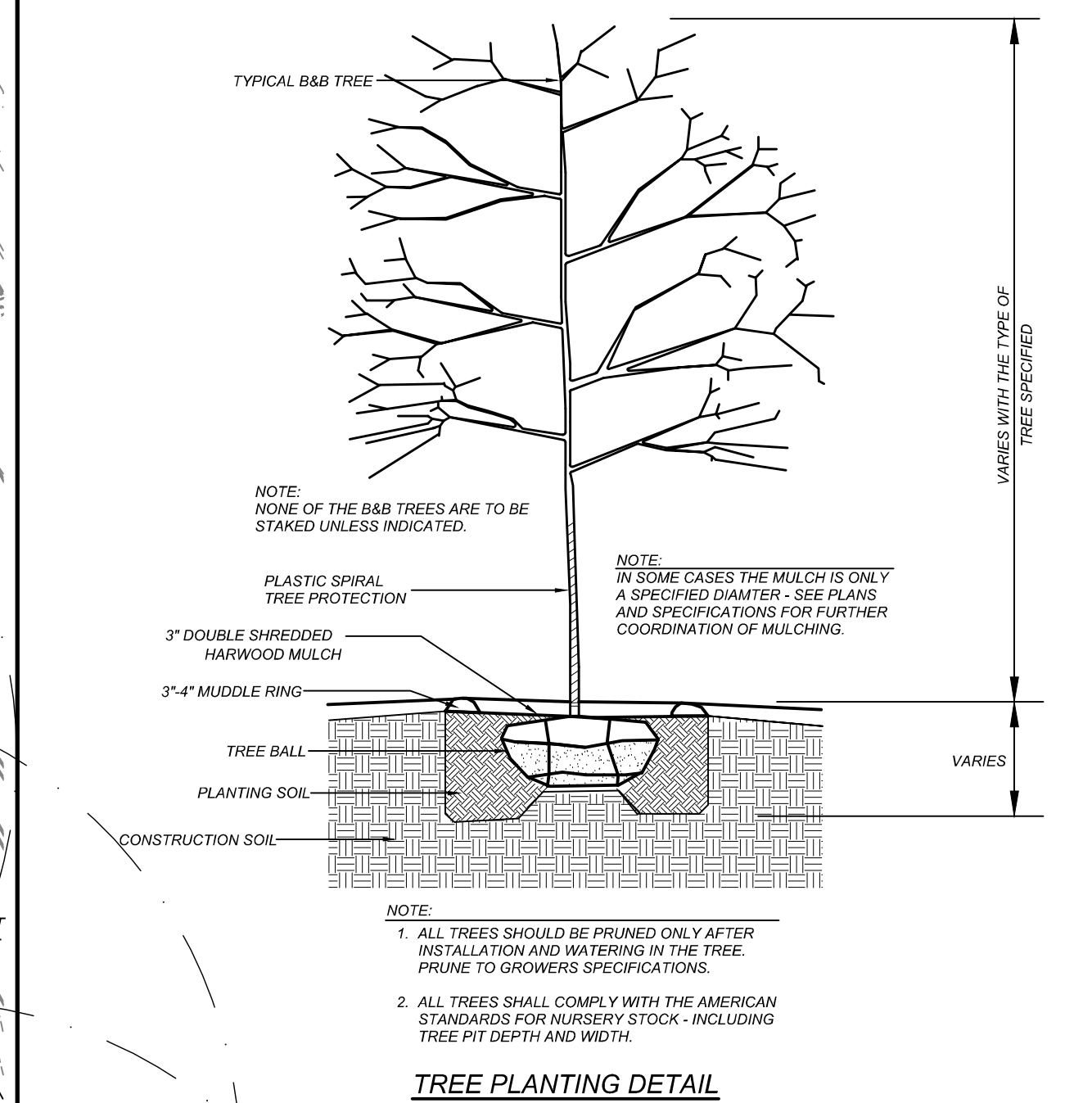
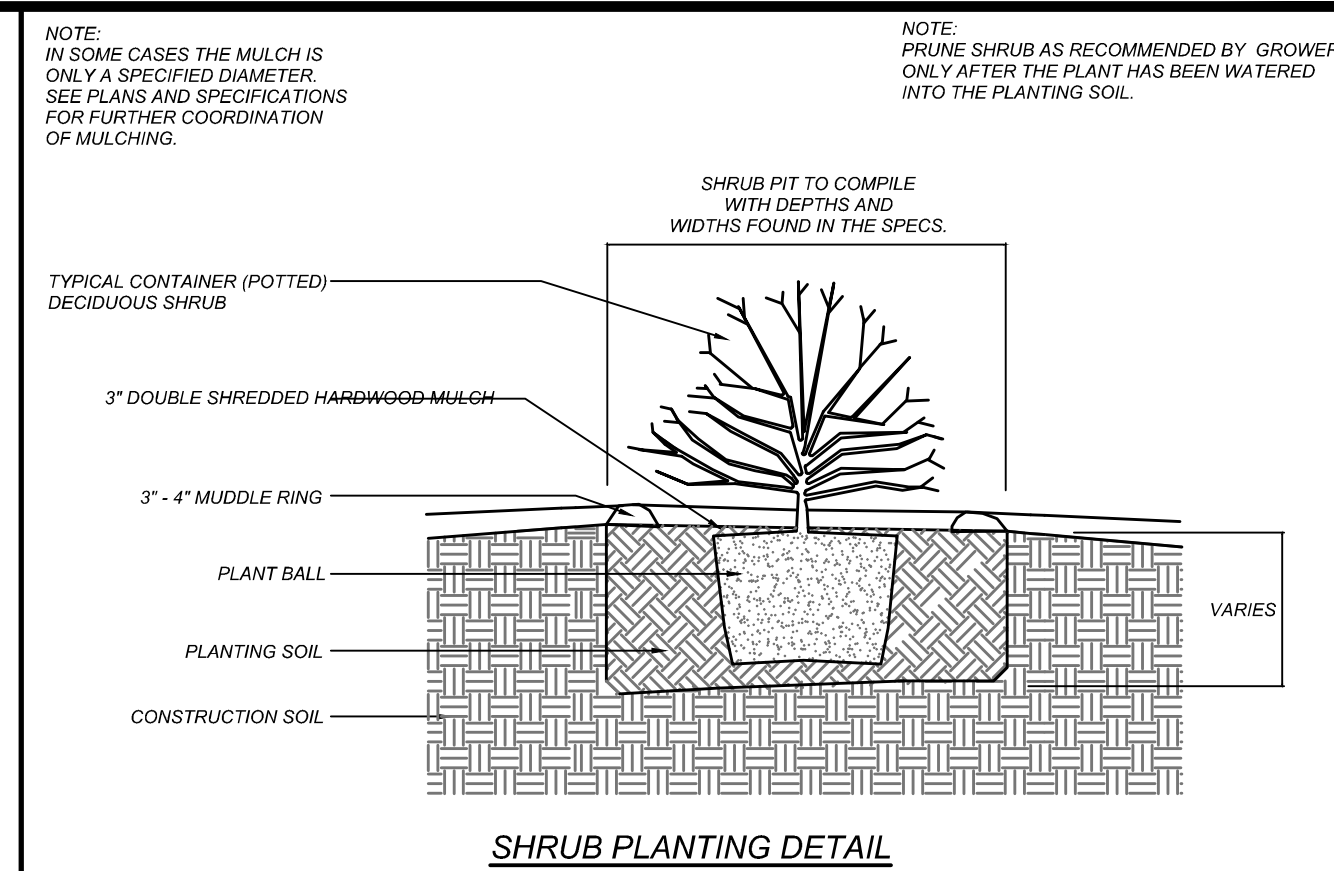
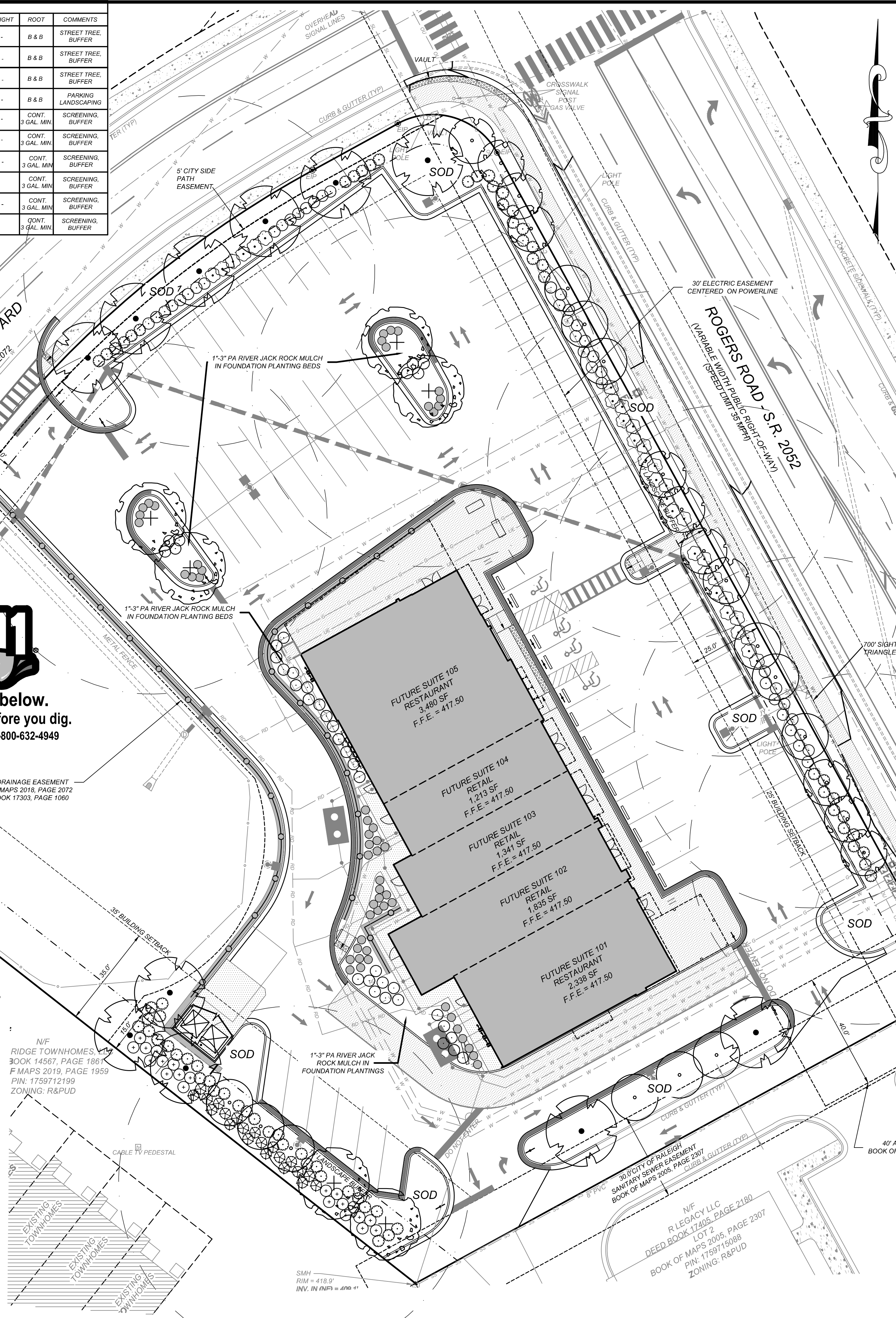
LANDSCAPE CALCULATIONS:

|   | REQUIRED | PROPOSED |
|---|----------|----------|
| Western Property Perimeter Buffer : Length = 122 LF |          |          |
| CANOPY TREE   | 5        | 5        |
| UNDERSTORY TREE                                     | 3        | 3        |
| SHRUBS  | 74       | 74       |
| Street Yard Buffer                                  |          |          |
| Roger's Road = 337 LF                               |          |          |
| UNDERSTORY TREE                                     | 17       | 17       |
| Granite Falls BLVD = 219 LF                         |          |          |
| CANOPY TREE   | 6        | 6        |

| PLANTING SCHEDULE (SEE LANDSCAPING NOTE #12)                                      |     |    |  |                        |         |        |                   |                     |
|---|-----|----|--|------------------------|---------|--------|-------------------|---------------------|
| SYMBOL  | KEY | NO | BOTANICAL NAME                                     | COMMON NAME            | CALIPER | HEIGHT | ROOT              | COMMENTS            |
|  | RO  | 11 | QUERCUS RUBRA                                      | NORTHERN RED OAK       | 2.5"    | -      | B & B             | STREET TREE, BUFFER |
|  | JL  | 11 | SYRINGA RETICULATA                                 | JAPANESE TREE LILAC    | 1.5"    | -      | B & B             | STREET TREE, BUFFER |
|  | CM  | 12 | LAGERSTROEMIA INDICA 'CATAWBA'                     | CATAWBA CREPE MYRTLE   | 1.5"    | -      | B & B             | STREET TREE, BUFFER |
|  | TA  | 6  | TILIA AMERICANA VAR. AMERICANA                     | AMERICAN LINDEN        | 2.5"    | -      | B & B             | PARKING LANDSCAPING |
|  | ICH | 78 | ILEX CRENATA HELLERI                               | HELLERS JAPANESE HOLLY | -       | -      | CONT. 3 GAL. MIN. | SCREENING, BUFFER   |
|  | IH  | 53 | RHAPHIOLEPSIS INDICA X DELACOURII 'GEORGIA PETITE' | DWARF INDIAN HAWTHORNE | -       | -      | CONT. 3 GAL. MIN. | SCREENING, BUFFER   |
|  | BWV | 69 | BERBERIS VERRUCULOSA                               | WARTY BARBERRY         | -       | -      | CONT. 3 GAL. MIN. | SCREENING, BUFFER   |
|  | AGE | 32 | ABELIA X 'EDWARD GOUCHER'                          | EDWARD GOUCHER ABELIA  | -       | -      | CONT. 3 GAL. MIN. | SCREENING, BUFFER   |
|  | IGC | 21 | ILEX GLABRA 'COMPACTA'                             | COMPACT INKBERRY       | -       | -      | CONT. 3 GAL. MIN. | SCREENING, BUFFER   |
|  | VTC | 21 | VIBURNUM TINUS 'COMPACTUM'                         | COMPACT LAURUSTINUS    | -       | -      | CONT. 3 GAL. MIN. | SCREENING, BUFFER   |



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nc811.org or 1-800-632-4949



| REVISIONS |            |                                    |     |      | BY          |    |
|-----------|------------|------------------------------------|-----|------|-------------|----|
| NO.       | DATE       | DESCRIPTION                        | NO. | DATE | DESCRIPTION | BY |
| 1         | 02-24-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V1 | KL  |      |             |    |
| 2         | 06-01-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V2 | STH |      |             |    |
| 3         | 09-2023    | VARIANCE VAR-23-02 SUBMITTAL       | STH |      |             |    |
| 4         | 11-01-2024 | SITE DEVELOPMENT PLAN SUBMITTAL V3 | STH |      |             |    |
| 5         | 01-02-2025 | SITE DEVELOPMENT PLAN SUBMITTAL V4 | STH |      |             |    |



CLIENT:  
BULLARD RESTAURANT GROUP  
9131 ANSON WAY, # 305  
RALEIGH, NC 27615

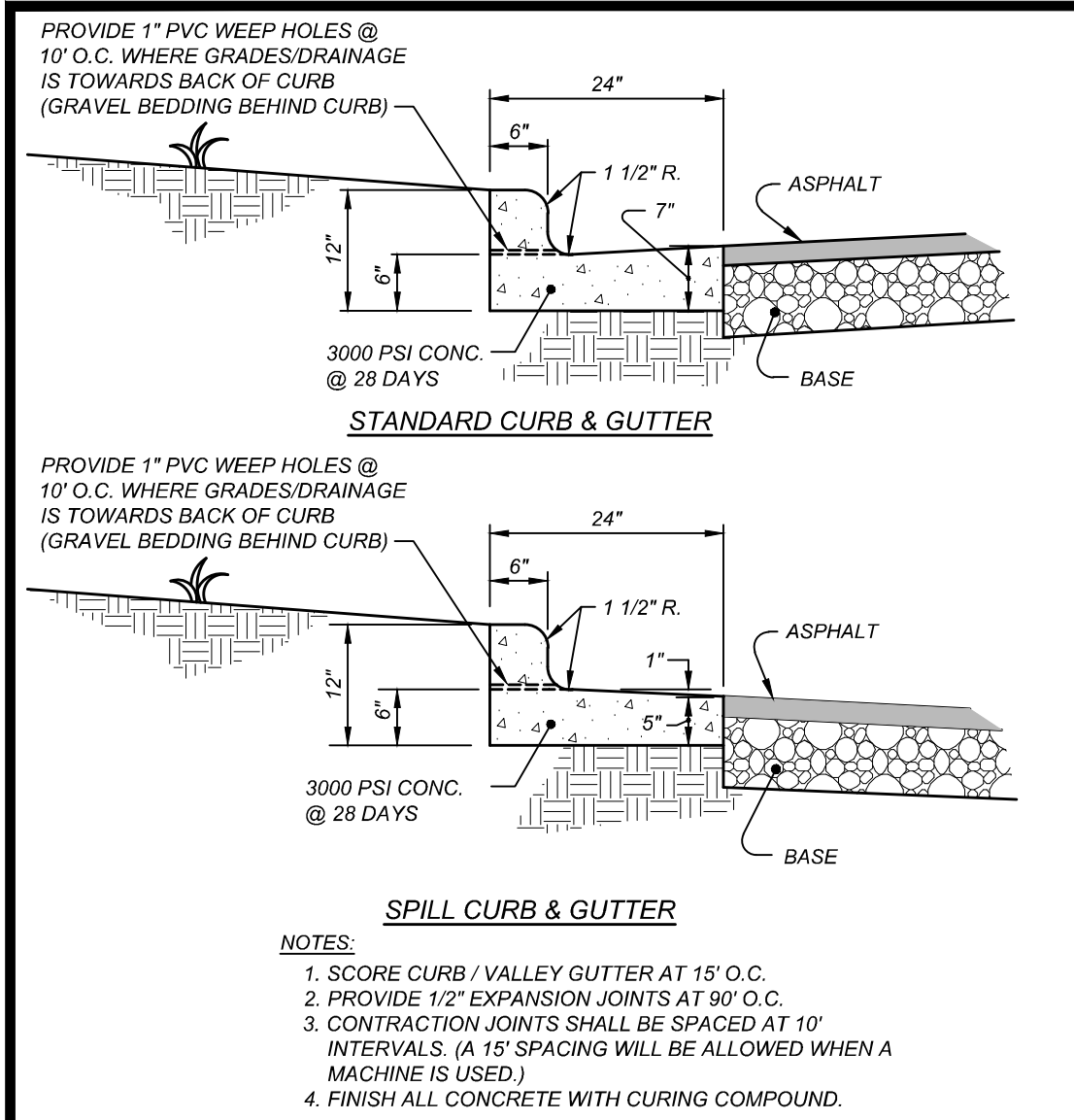
PROPOSED RETAIL AND RESTAURANT DEVELOPMENT  
6000 ROGERS ROAD  
ROLESVILLE, NORTH CAROLINA  
LANDSCAPE PLAN

|             |            |
|-------------|------------|
| PROJECT NO. | BUL-2103   |
| FILENAME:   | BUL2103-LS |
| DRAWN BY:   | RCN        |
| SCALE:      | 1" = 20'   |
| DATE:       | 12-06-2022 |
| SHEET NO.   | C-8        |





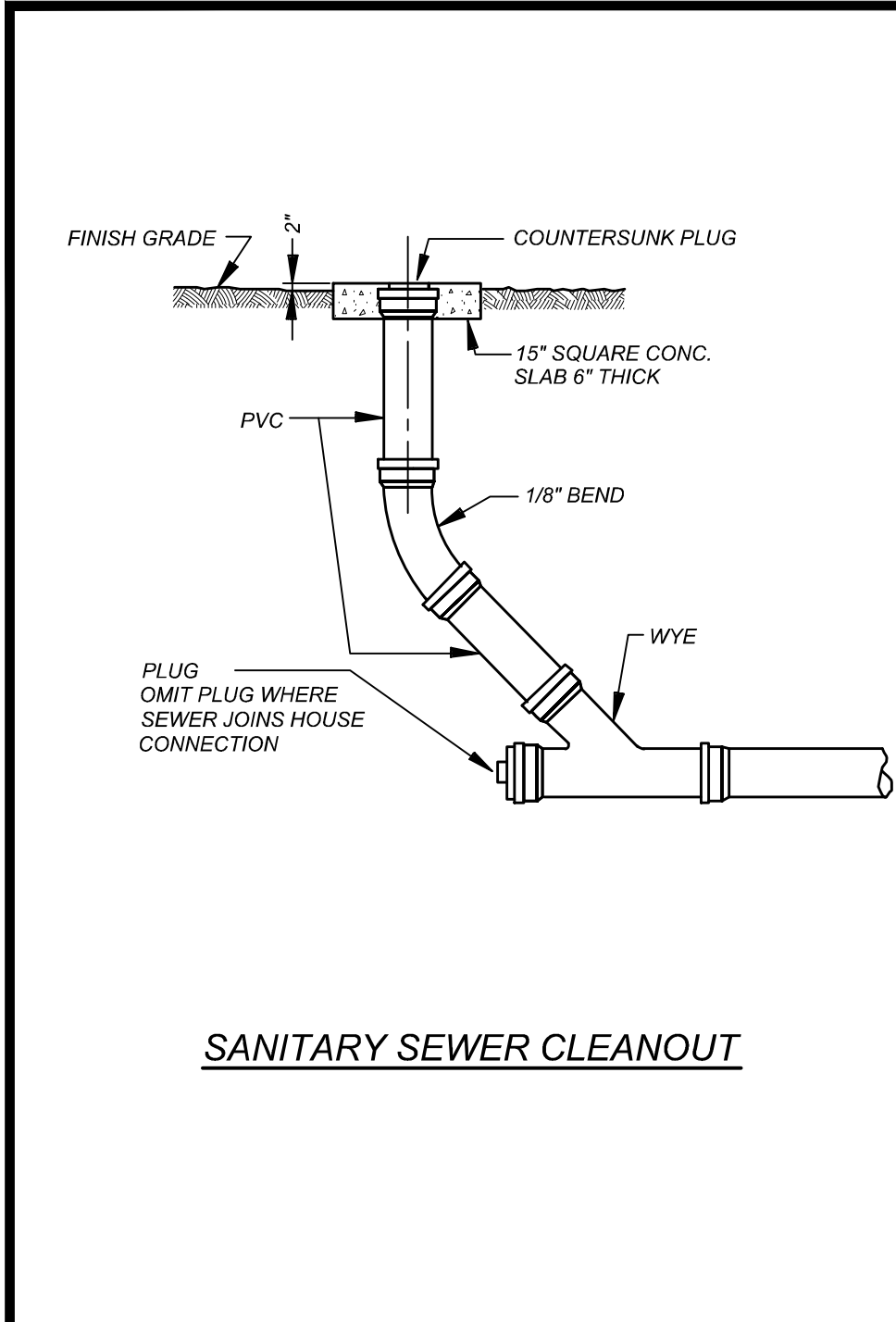




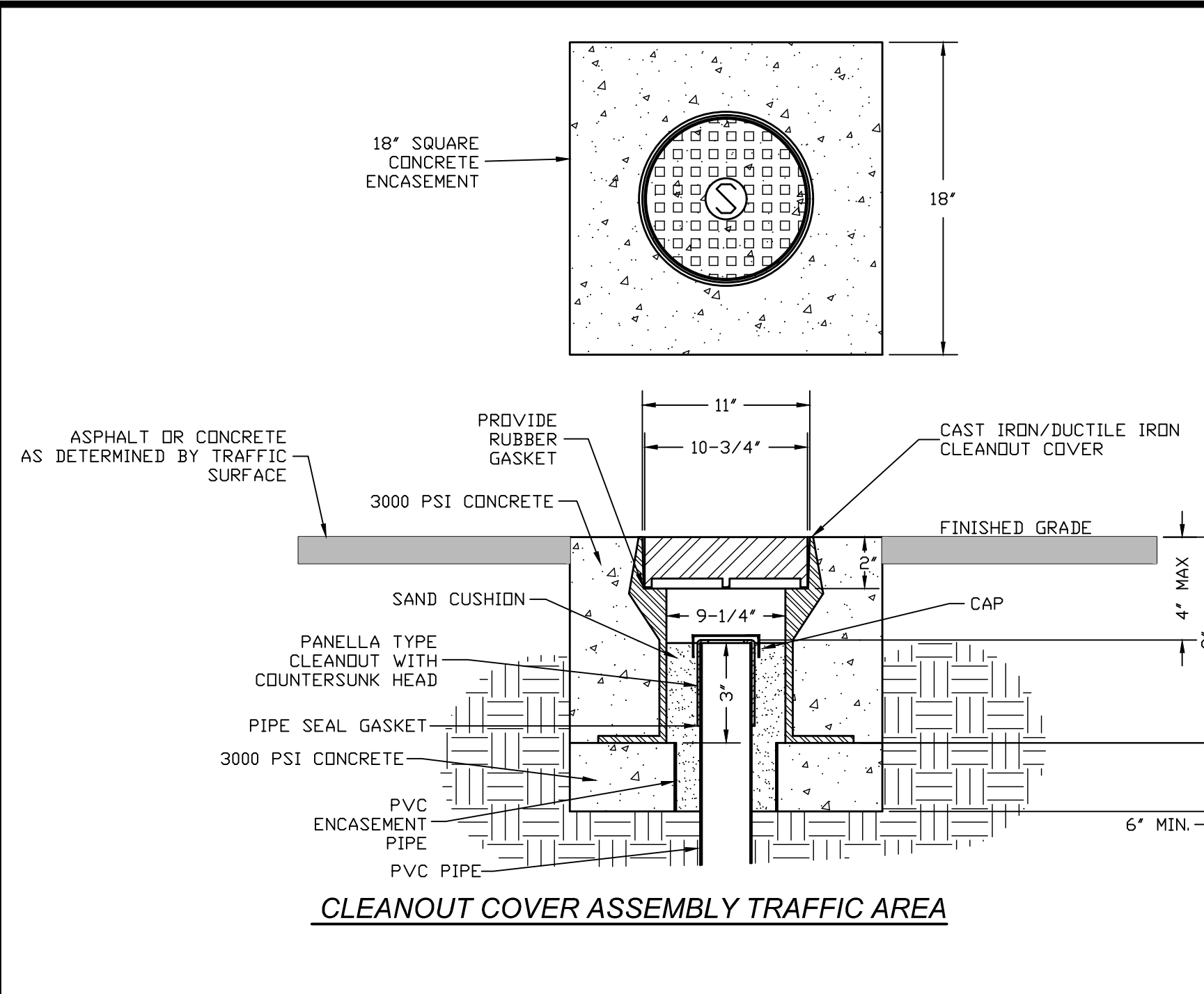




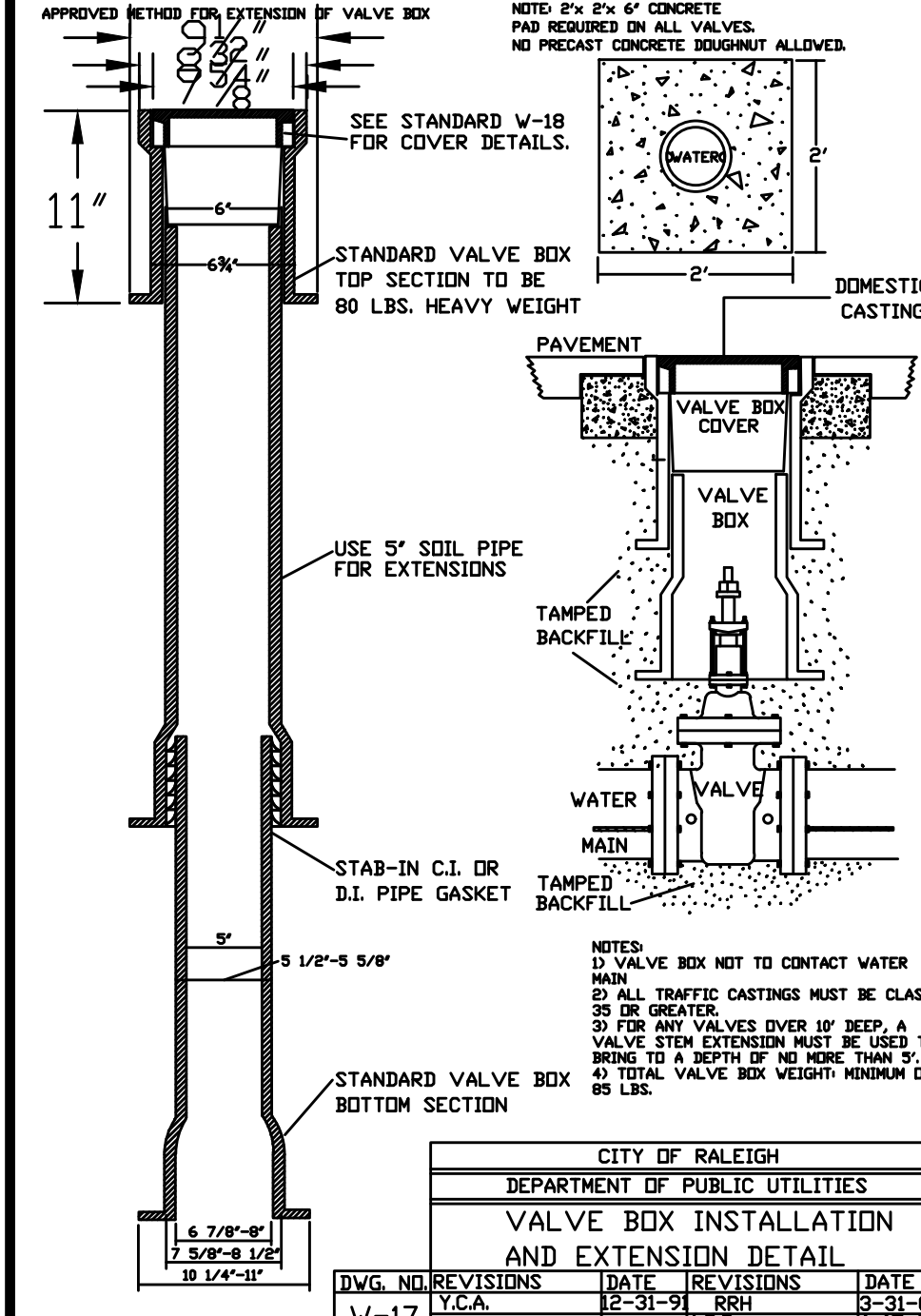




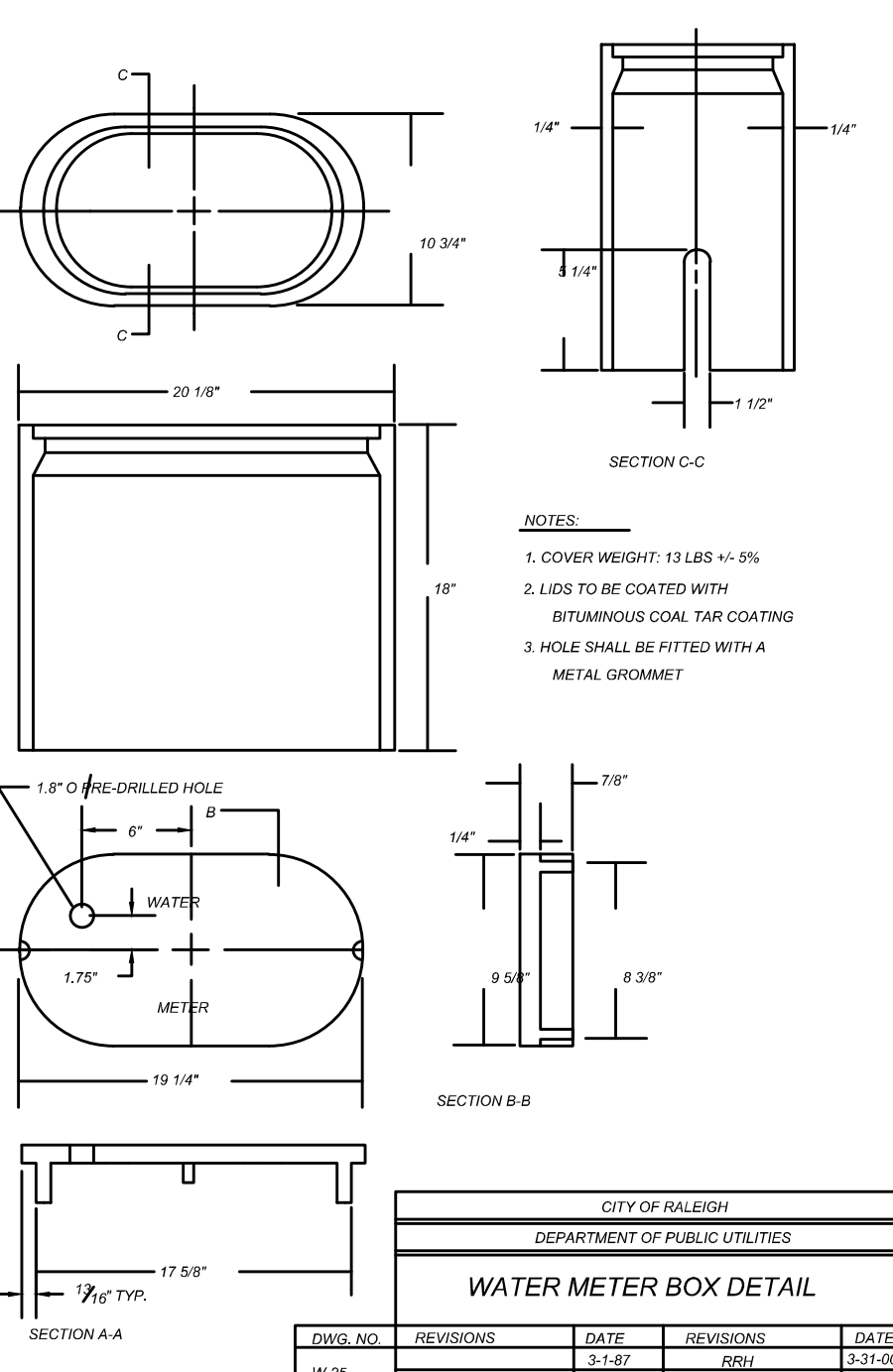
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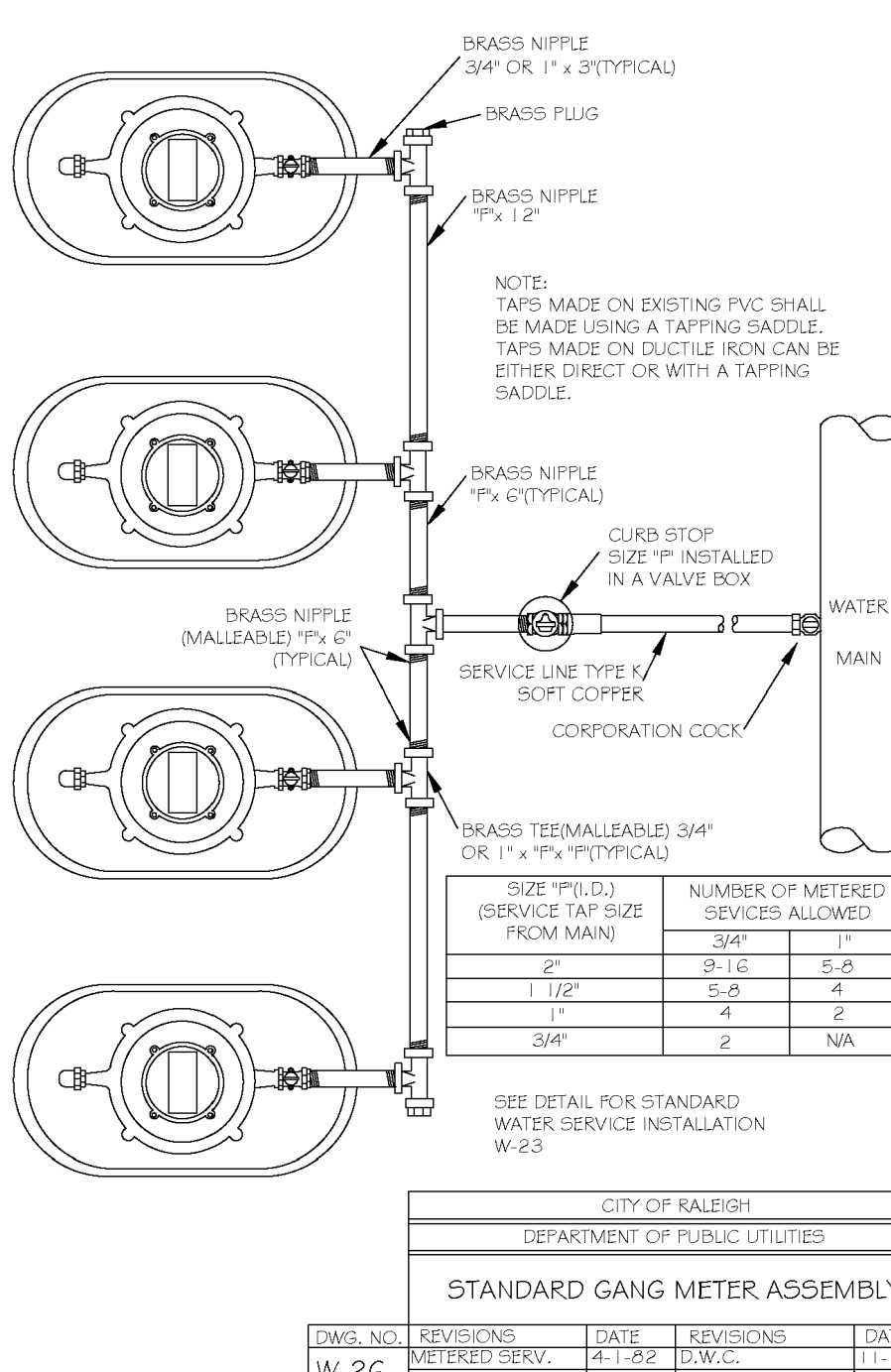
CLEANOUT COVER ASSEMBLY TRAFFIC AREA



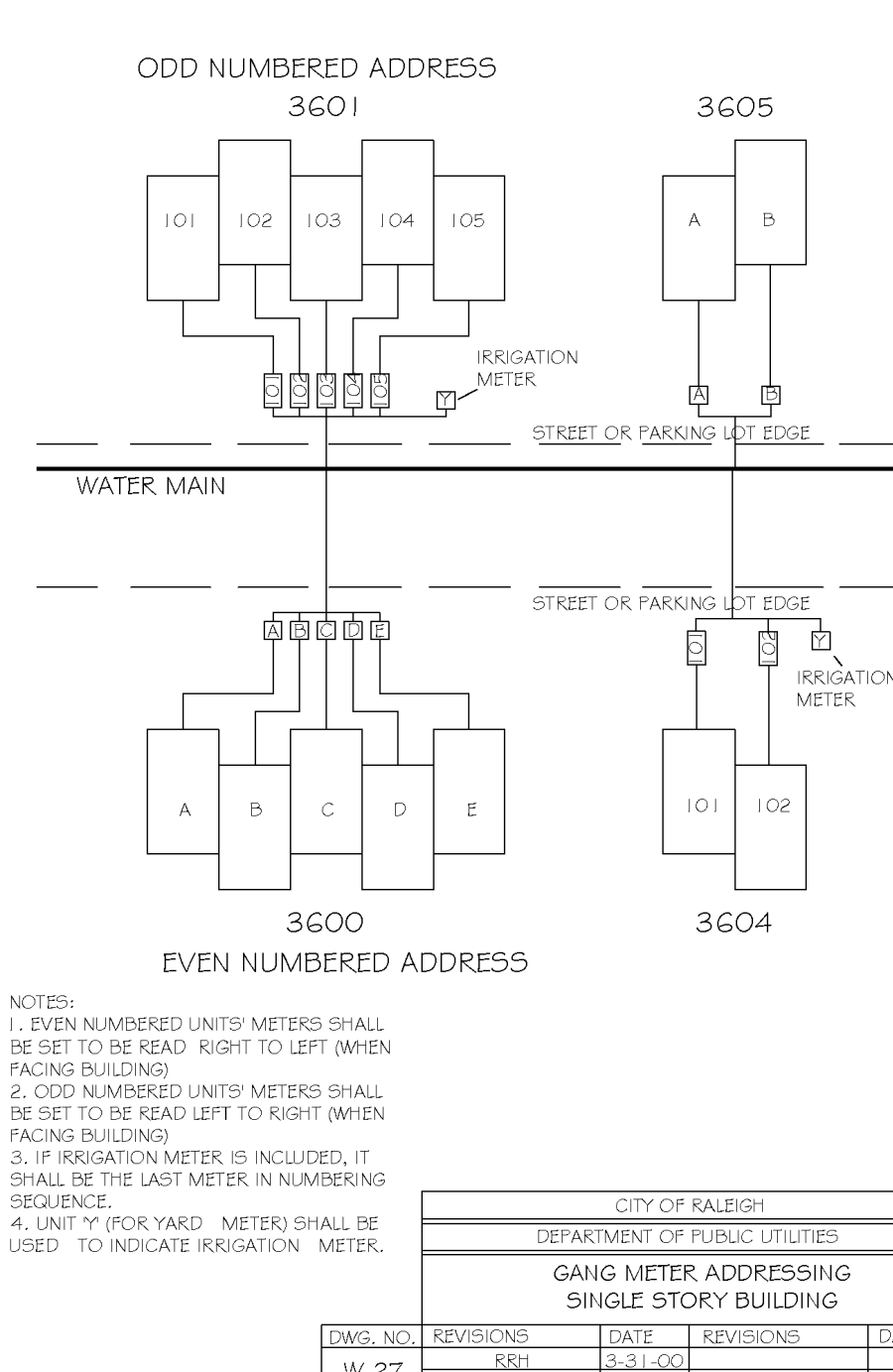
CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
VALVE BOX INSTALLATION  
AND EXTENSION DETAIL



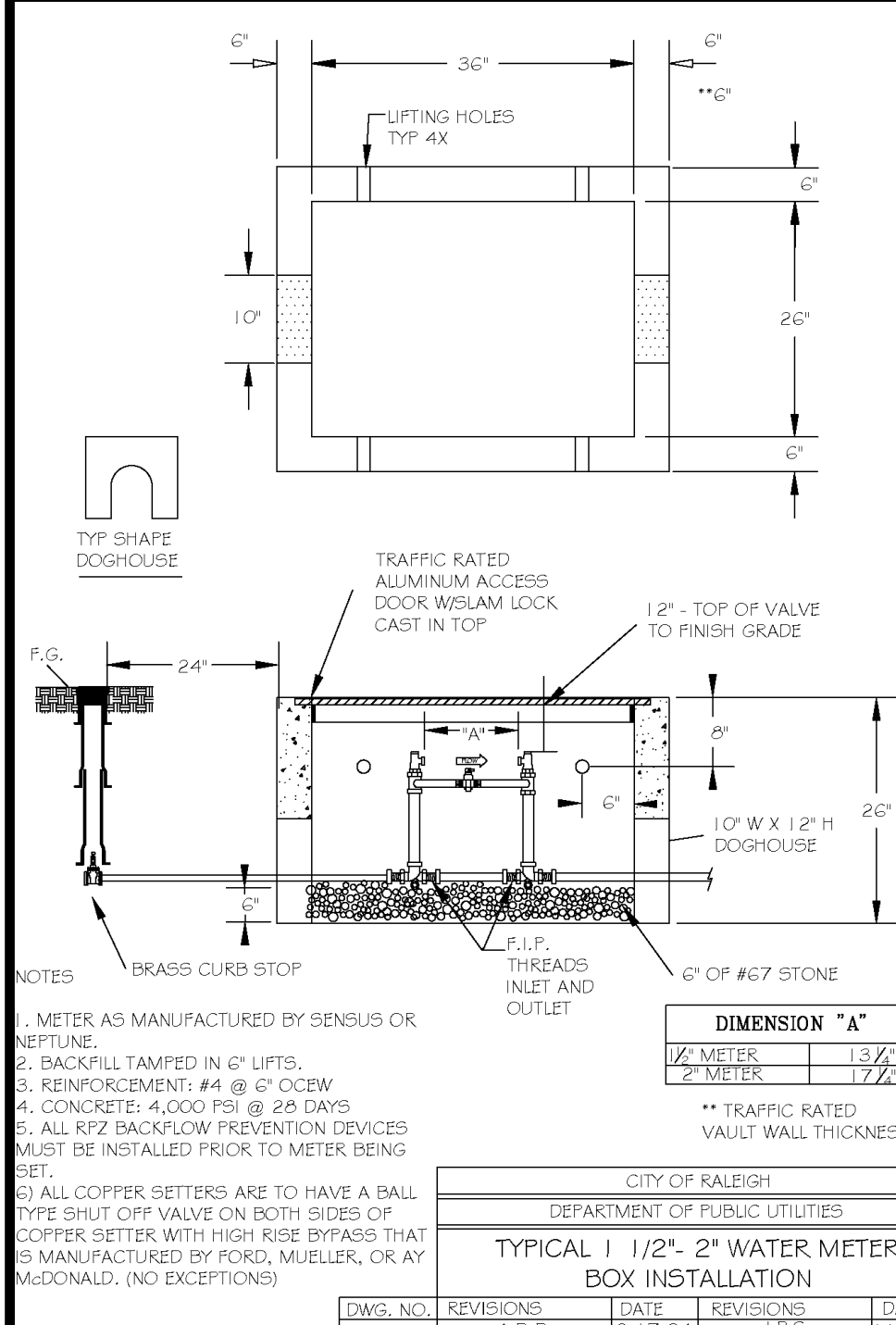
CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
WATER METER BOX DETAIL



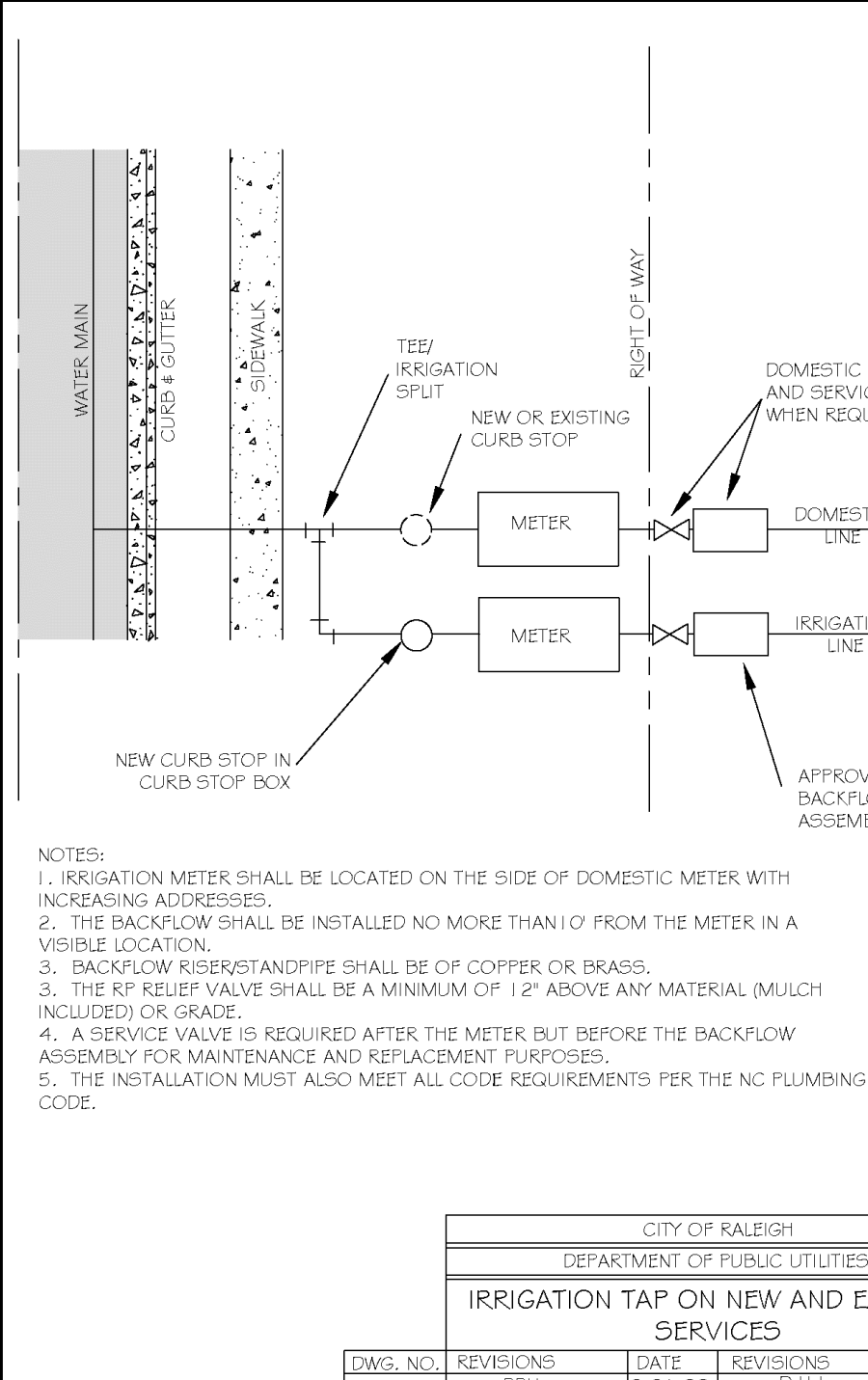
CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
STANDARD GANG METER ASSEMBLY



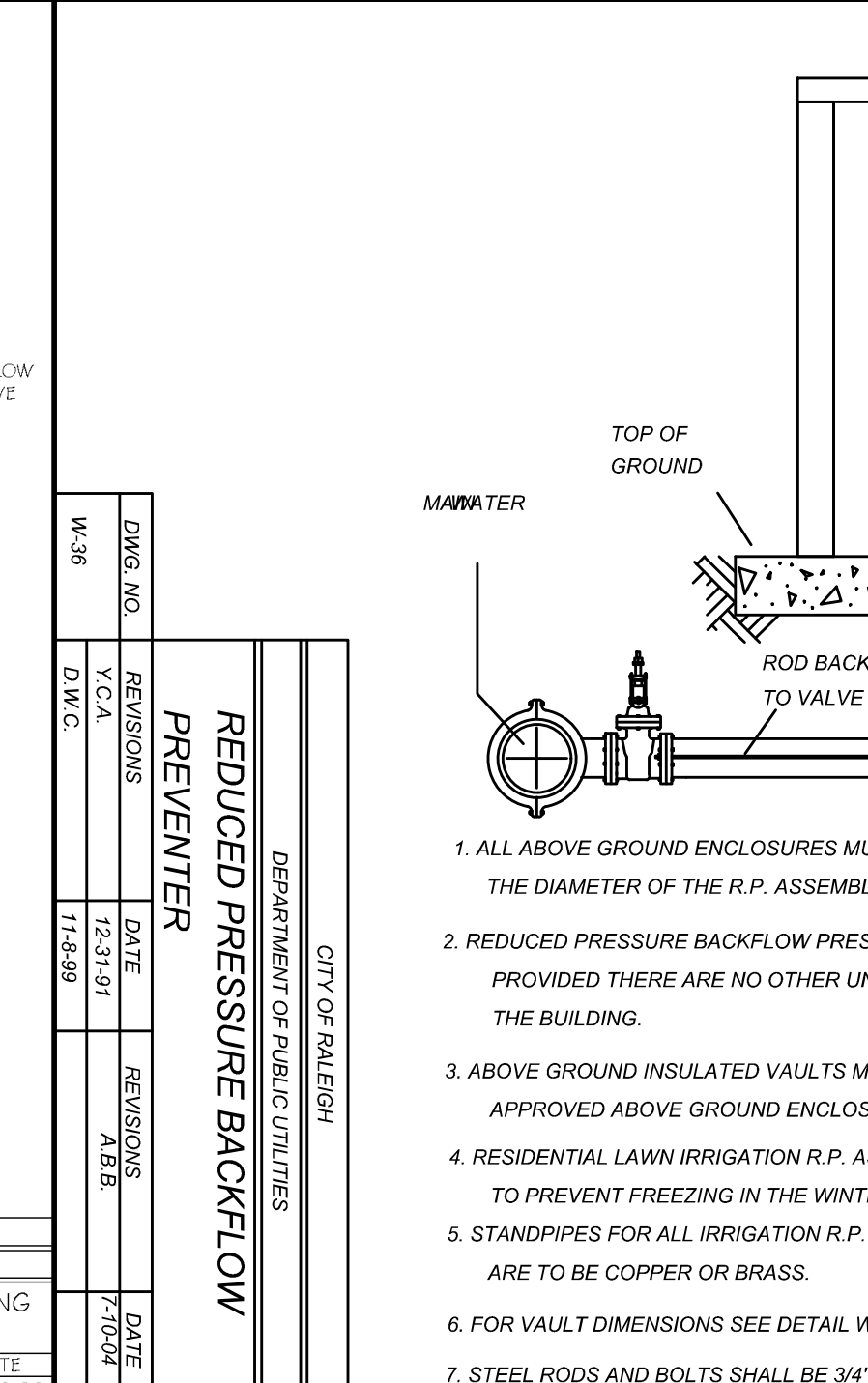
CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
GANG METER ADDRESSING  
SINGLE STORY BUILDING



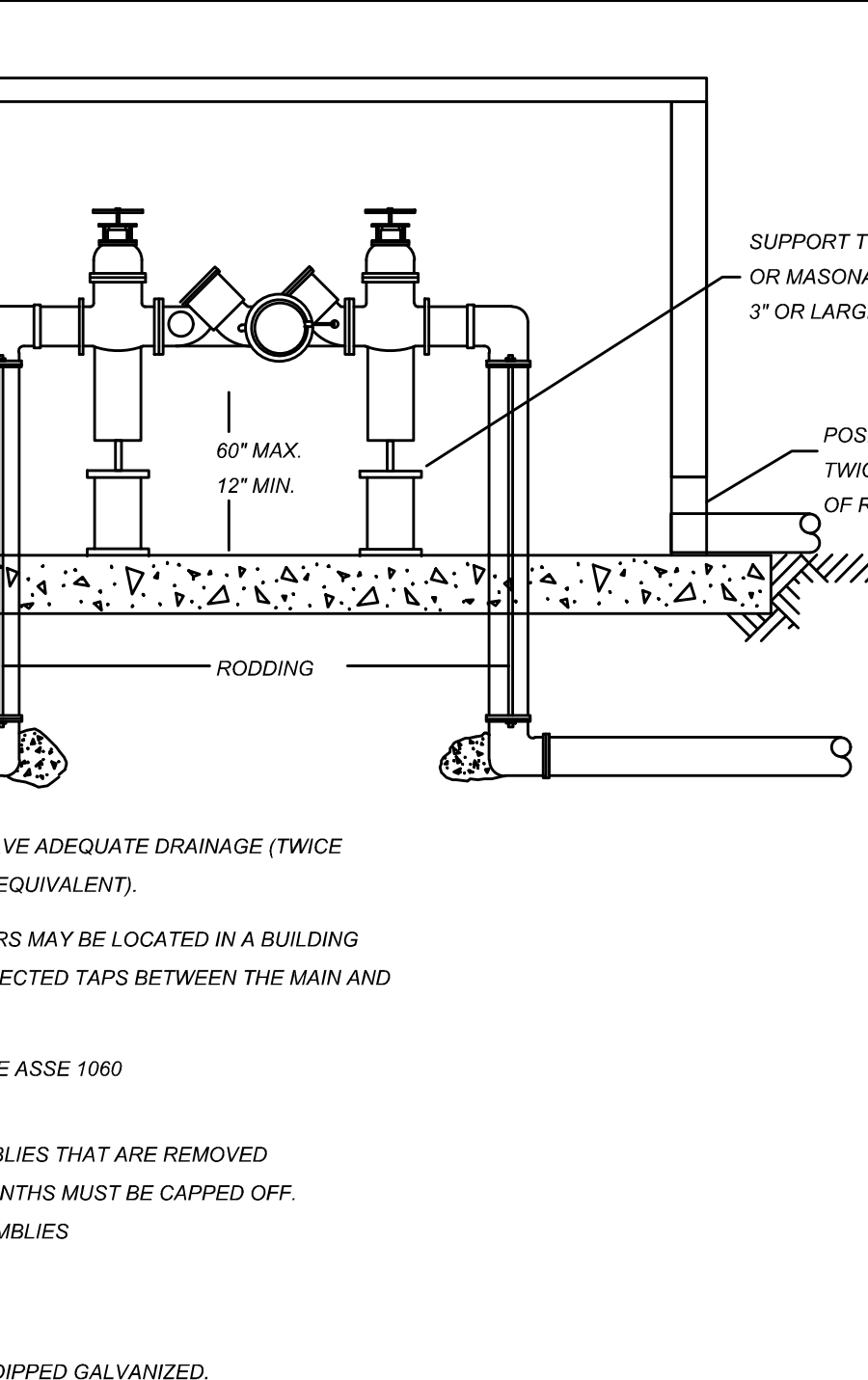
CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
TYPICAL 1/2\"/>



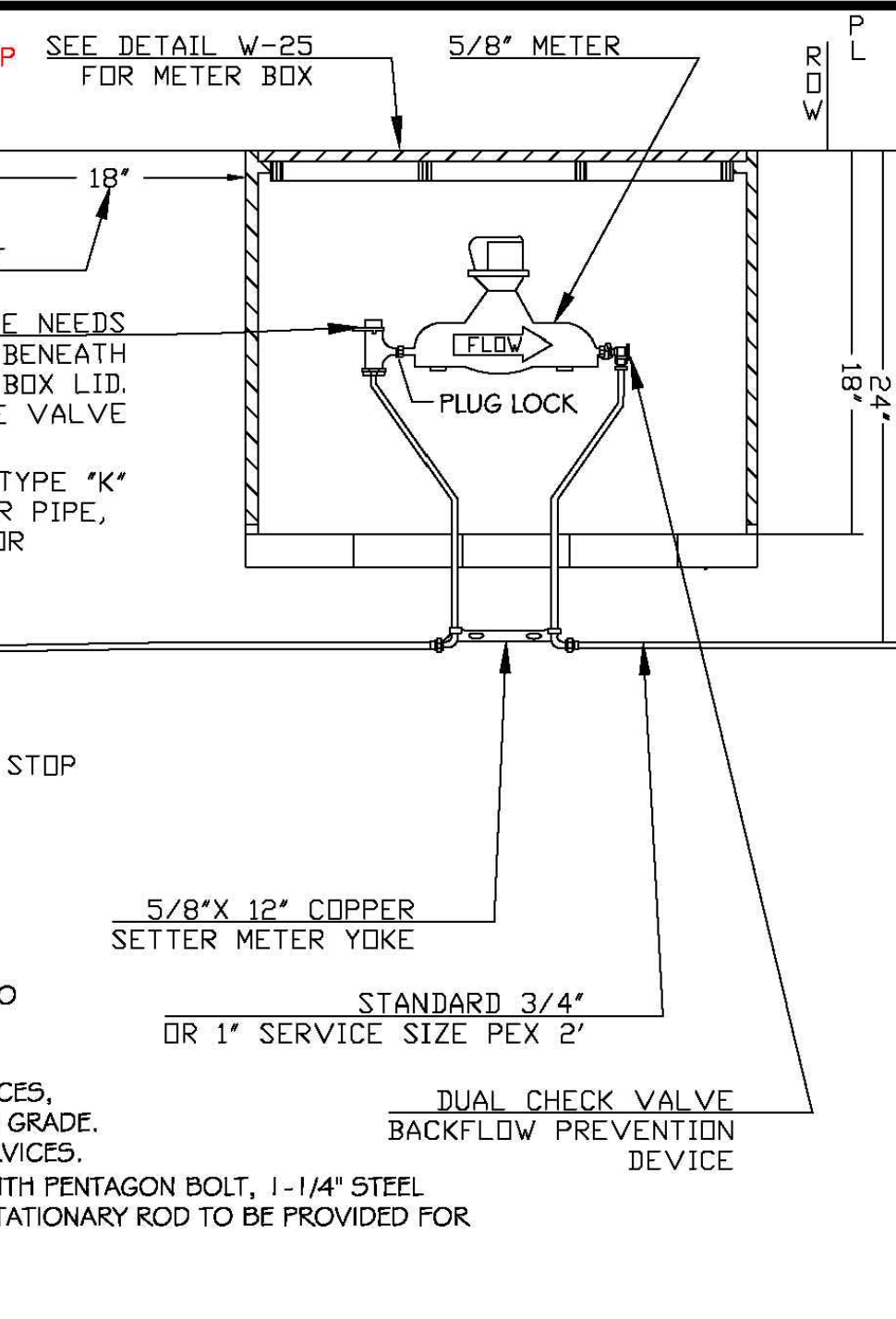
CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
IRRIGATION TAP ON NEW AND EXISTING  
SERVICES



CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
REDUCED PRESSURE BACKFLOW  
PREVENTER



1. ALL ABOVE GROUND ENCLOSURES MUST HAVE ADEQUATE DRAINAGE (TWICE THE DIAMETER OF THE R.P. ASSEMBLY OR EQUIVALENT).
2. REDUCED PRESSURE BACKFLOW PREVENTERS MAY BE LOCATED IN A BUILDING PROVIDED THERE ARE NO OTHER UNPROTECTED TAPS BETWEEN THE MAIN AND THE BUILDING.
3. ABOVE GROUND INSULATED VAULTS MUST BE ASSE 1060 APPROVED ABOVE GROUND ENCLOSURES.
4. RESIDENTIAL LAWN IRRIGATION R.P. ASSEMBLIES THAT ARE REMOVED TO PREVENT FREEZING IN THE WINTER MONTHS MUST BE CAPPED OFF.
5. STANDPIPES FOR ALL IRRIGATION R.P. ASSEMBLIES ARE TO BE COPPER OR BRASS.
6. FOR VAULT DIMENSIONS SEE DETAIL W-30
7. STEEL RODS AND BOLTS SHALL BE 3/4\"/>



- NOTES:
1. WATER METER AS MANUFACTURED BY SENSUS, OR SCHLUMBERGER.
  2. DIRECT TAP ALLOWED ON MAINS NO LARGER THAN 16\"/>
  3. METER BOX TO BE LOCATED IN RW ADJACENT TO PROPERTY OR IN APPROVED EASEMENT ADJACENT TO RW.
  4. WHEN THE GRADE CHANGES ON EXISTING SERVICES, A COPPER RESETTER CAN BE USED TO ADJUST TO GRADE. COPPER RESETTERS ARE PROHIBITED ON NEW SERVICES.
  5. CURB STOP BOX SHALL HAVE PLUG STYLE LID WITH PENTAGON BOLT, 1-1/4\"/>

- UTILITY NOTES:
1. UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING EXACT LOCATIONS OF EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES, EITHER PUBLIC OR PRIVATE, SHOWN HEREON OR NOT SHOWN HEREON. ANY REPAIRS SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.
  2. THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS. ALL FEES SHALL BE THE RESPONSIBILITY OF DEVELOPER.
  3. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
  4. NEW LOT LIGHT FOUNDATION BASES, CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. POLES, FIXTURES, ANCHOR BOLTS & HARDWARE SHALL BE COORDINATED WITH THE OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
  5. ALL NEW LOT LIGHTS AND THE MAIN IDENTIFICATION SIGN SHALL HAVE A MINIMUM 10 FEET CLEARANCE FROM ALL OVERHEAD UTILITIES.
  6. GENERAL CONTRACTOR IS RESPONSIBLE FOR PERMITS AND/OR APPROVALS NECESSARY FOR ANY WORK IN ROADWAY OR RIGHT-OF-WAY.
  7. ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH TRENCH BACKFILL DETAIL SHOWN ON THESE PLANS.
  8. MINIMUM COVER FOR CONDUITS SHALL BE 36\"/>
  9. ALL MANHOLES, VALVES, AND MONUMENT FRAMES SHALL BE SET TO FINISH GRADE AFTER PAVING.
  10. THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS. TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA.
  11. THE MINIMUM SLOPE FOR SANITARY SEWER LINES SHALL BE AS FOLLOWS: 1/4\"/>
  12. ALL WATER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0\"/>
  13. ALL SEWER LINES SHALL HAVE A FINAL COVER DEPTH 4'-0\"/>
  14. SANITARY SEWER SERVICES SHALL BE PVC SDR 35 TO RW, THEN PVC SCH. 40 TO BUILDING. WATER SERVICE SHALL BE TYPE \"K\" COPPER.
  15. CABLE TV SERVICE ROUTING IS NOT PART OF THIS PLAN, CONTRACTOR TO COORDINATE WITH CABLE COMPANY.
  16. EXISTING MANHOLES SHOULD BE FIELD VERIFIED FOR RIMS AND INVERTS.
  17. ALL WORK SHALL BE GOVERNED BY THE LATEST EDITIONS OF THE STATE MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, BUILDING CODE, ENERGY CONSERVATION, HANDICAP ACCESSIBILITY, NATIONAL ELECTRICAL CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES AND AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
  18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
  19. CONTRACTOR SHALL GUARANTEE, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF SYSTEMS BY OWNER, EACH AND EVERY PIECE OF APPARATUS WHICH HAS BEEN INSTALLED UNDER THIS CONTRACT.
  20. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS/METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
  21. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS, FINAL RULE 290CFR PART 1926, SUBPART \"P\" APPLIES TO ALL EXCAVATIONS EXCEEDING 5 FEET IN DEPTH.
  22. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
  23. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
  24. CONTRACTOR SHALL MAINTAIN AN \"AS-BUILT\" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
  25. ONLY SEWAGE NOT CONTAINING GREASE IS ALLOWED TO BYPASS THE GREASE TRAP.
  26. ALL SANITARY SEWER SERVICES AND STORM DRAIN PIPING 8\"/>
  27. BELOW GRADE WATER SERVICE PIPING SHALL BE TYPE \"K\" HARD DRAWN COPPER TUBING WITH SILVER SOLDER JOINTS. SOLDER CONTAINING LEAD SHALL NOT BE USED FOR ANY PURPOSE ON THIS PROJECT, WHERE PIPING IS REQUIRED TO RUN BELOW BUILDING SLAB, IT SHALL BE INSTALLED WITHOUT JOINTS BELOW SLAB.
  28. WATER PIPING SHALL BE CONNECTED TO BUILDING STUBS. VERIFY LOCATIONS PRIOR TO BEGINNING WATER PIPE INSTALLATION.
  29. WASTE PIPING SHALL BE CONNECTED TO BUILDING STUBS. VERIFY LOCATIONS AND INVERTS PRIOR TO BEGINNING ANY WASTE PIPE INSTALLATION.
  30. CONTRACTOR SHALL NOTIFY \"NC ONE CALL\" AT 1-800-632-4949 AT LEAST HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE UTILITIES LOCATED. CONTRACTOR SHALL CONTRACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENTLY.
  31. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE PUBLIC UTILITIES AND CROSS CONNECTION CONTROL REGULATIONS AND STANDARDS.
  32. SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
  33. SANITARY CLEANOUTS SHALL BE PLACED NO MORE THAN 75 FEET APART. CLEAN OUTS LOCATED IN PAVEMENT AREAS SHALL HAVE HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
  34. CONNECTION OF SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH THE TOWN OF ROLESVILLE STANDARDS, INCLUDING: CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT, IF PAVEMENT CUT IS REQUIRED. CONTRACTOR SHALL PATCH PAVEMENT WITH A SECTION TO MATCH EXISTING PAVEMENT: 3\"/>
  35. RELATION OF WATER MAINS TO SEWERS:  
A. LATERAL SEPARATION OF SEWER AND WATER MAINS: WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION, IN WHICH CASE:  
1. THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR  
2. THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER LINE WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND ABOVE THE TOP OF THE SEWER.  
B. CROSSING A WATER MAIN OVER A SEWER MAIN:  
WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER MAIN, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION, IN WHICH CASE BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.  
C. CROSSING A WATER MAIN UNDER A SEWER MAIN:  
WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER MAIN BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.  
D. CROSSING A SEWER LINE OVER OR UNDER A STORM DRAIN:  
WHENEVER IT IS NECESSARY FOR A SEWER LINE TO CROSS A STORM DRAIN PIPE, THE SEWER LINES SHALL BE LAID AT SUCH AN ELEVATION THAT THE OUTSIDE OF THE SEWER LINE NEAREST TO THE OUTSIDE OF THE STORM DRAIN PIPE SHALL MAINTAIN A 12 INCH CLEAR SEPARATION DISTANCES, OR ENCASED IN EITHER CONCRETE OR DUCTILE IRON PIPE FOR AT LEAST 5 FEET ON EITHER SIDE OF THE CROSSING.
  36. UNDERGROUND CONDUITS TO SIGNS, LOT LIGHTS, ETC., SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT AS SHOWN ON THESE PLANS SHALL BE CONSIDERED TO BE SCHEMATIC WITH ACTUAL LOCATION TO BE VERIFIED BY THE GENERAL CONTRACTOR. PVC SCH. 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSING UNDER PAVED AREAS.
  37. SEE ELECTRICAL SHEETS FOR SIZE OF CONDUIT AND WIRE ON ALL ELECTRICAL SERVICE.
  38. TRANSFORMER BY ELECTRIC COMPANY. GENERAL CONTRACTOR TO PROVIDE PAD. REFER TO ELECTRIC COMPANY SPECIFICATIONS FOR PAD CONSTRUCTION.

REVISIONS

| KL | DATE       | DESCRIPTION                        |
|----|------------|------------------------------------|
| 1  | 02-24-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V1 |
| 2  | 08-01-2023 | SITE DEVELOPMENT PLAN SUBMITTAL V2 |
| 3  | 09-2023    | VARIANCE VAR-23-02 SUBMITTAL       |
| 4  | 11-01-2024 | SITE DEVELOPMENT PLAN SUBMITTAL V3 |
| 5  | 01-02-2025 | SITE DEVELOPMENT PLAN SUBMITTAL V4 |

PROJECT NO.

BUL-2103

FILENAME:

BUL2103-DTL3

DRAWN BY:

RCN

SCALE:

N.T.S.

DATE:

12-06-2022

SHEET NO.

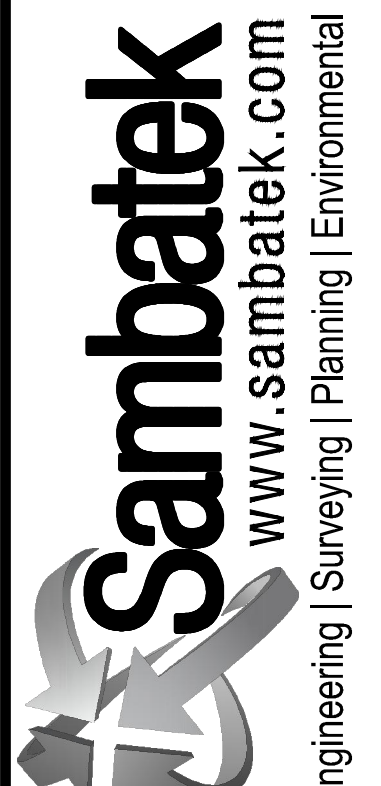
C-12

CLIENT:

BULLARD RESTAURANT GROUP  
9131 ANSON WAY, # 305  
RALEIGH, NC 27615

PROPOSED RETAIL AND  
RESTAURANT DEVELOPMENT  
6000 ROGERS ROAD  
ROLESVILLE, NORTH CAROLINA

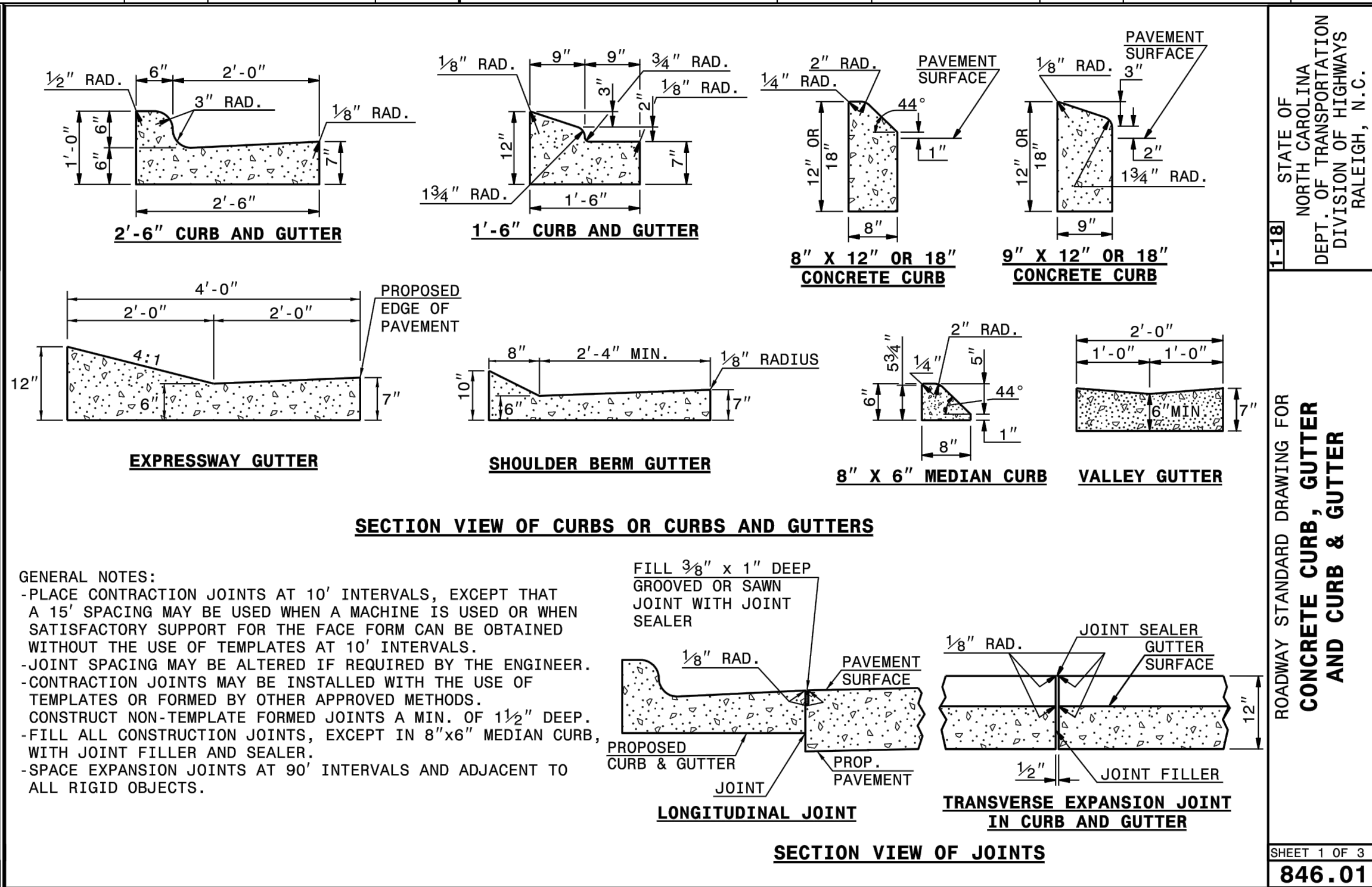
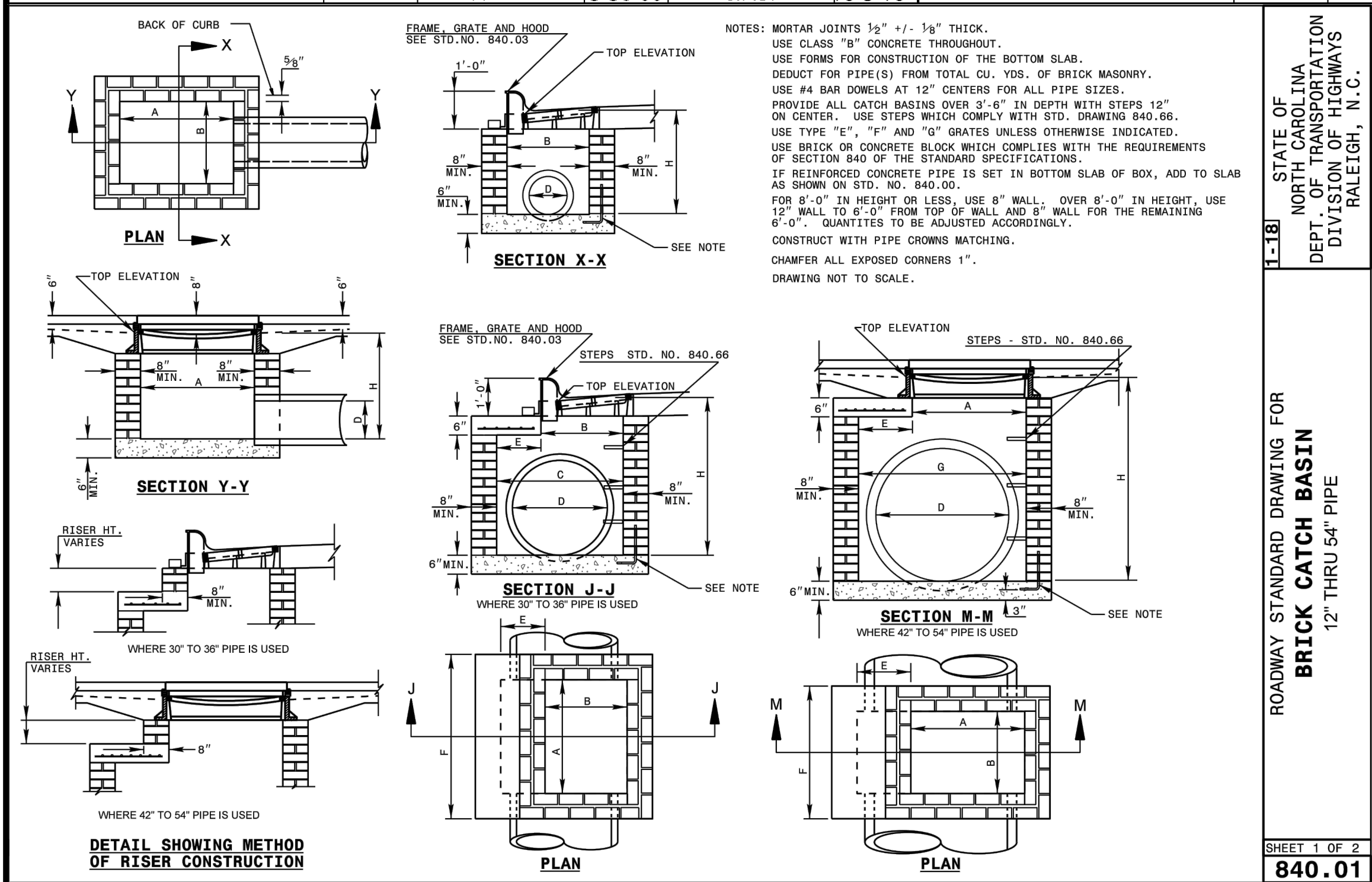
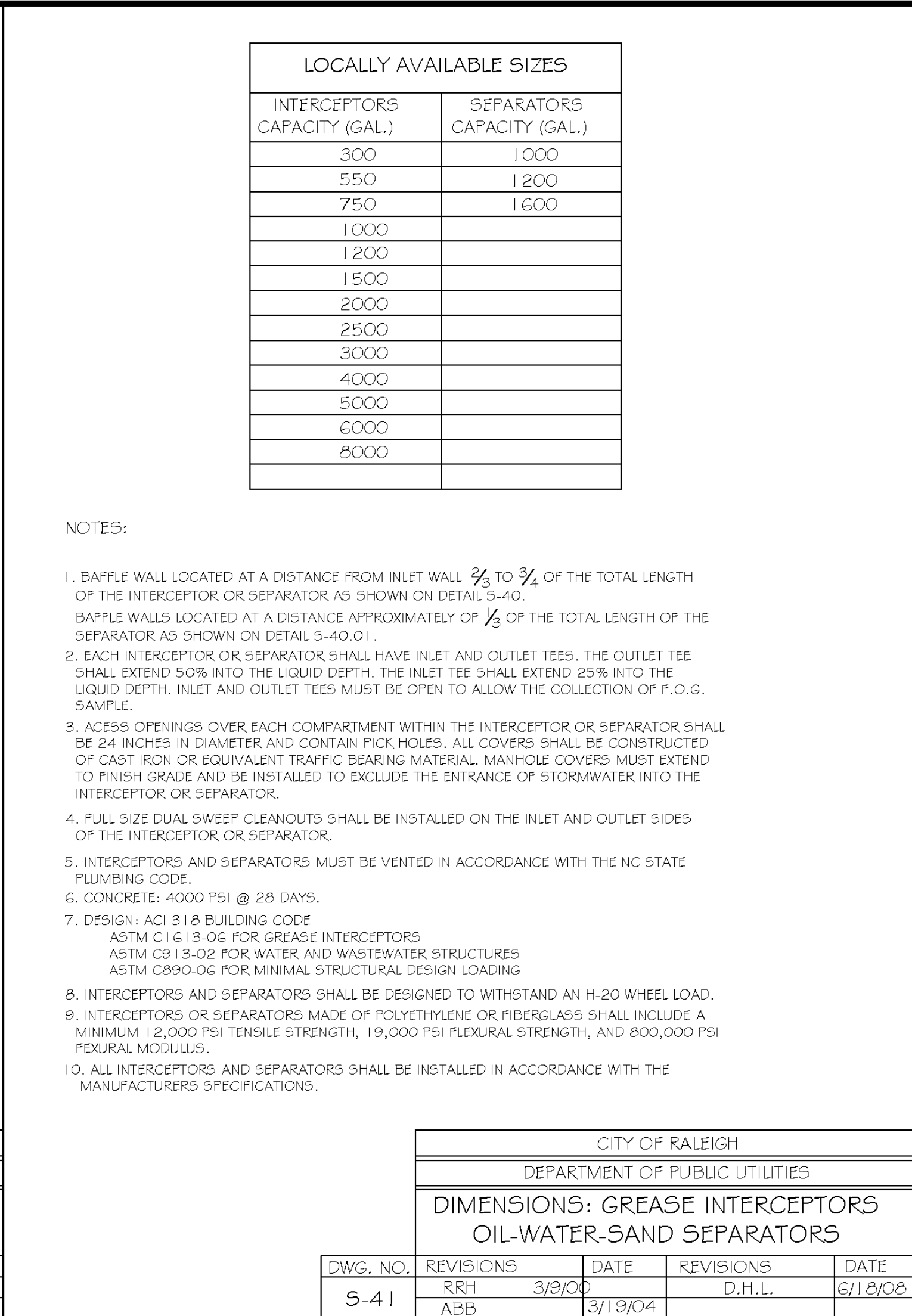
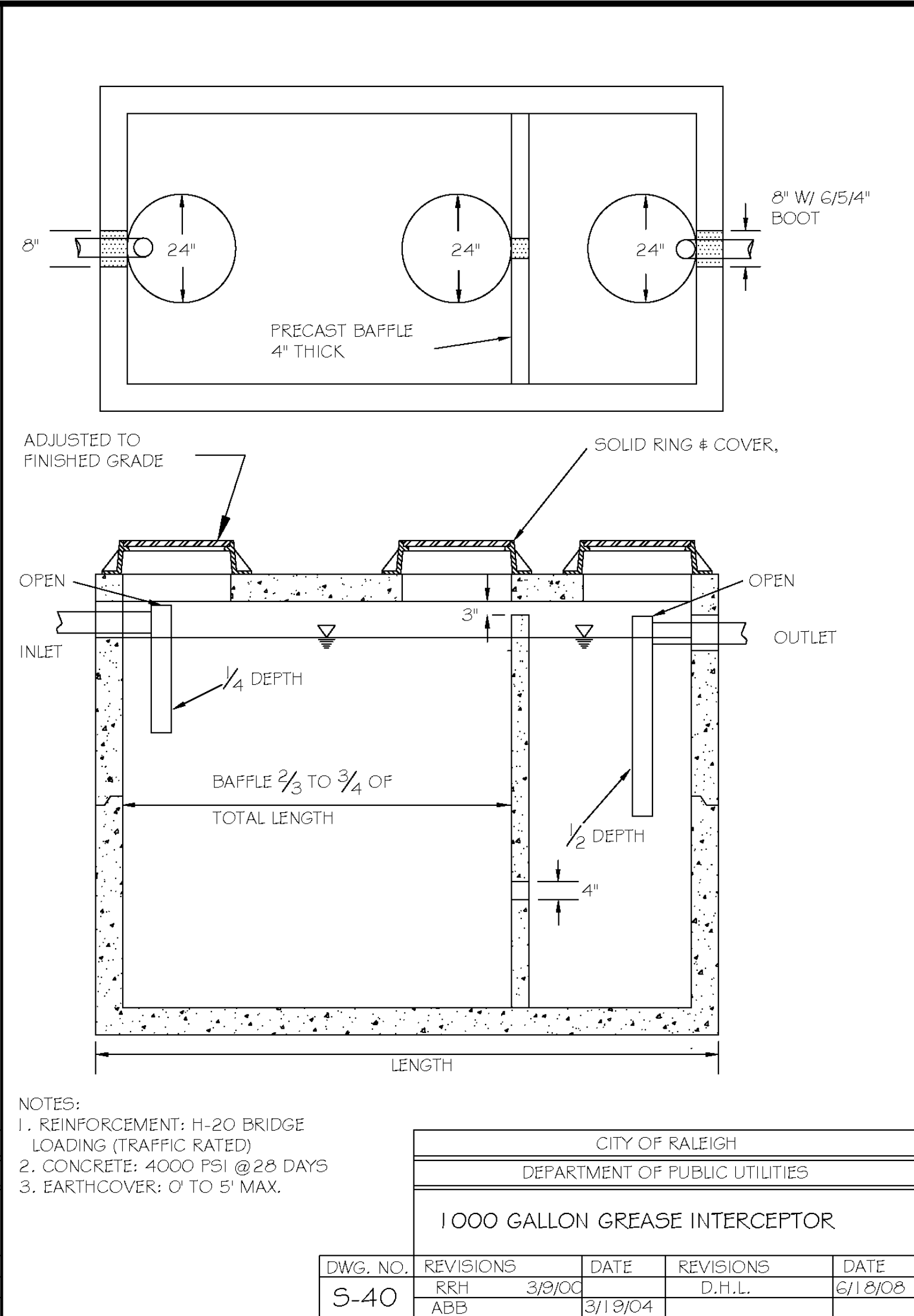
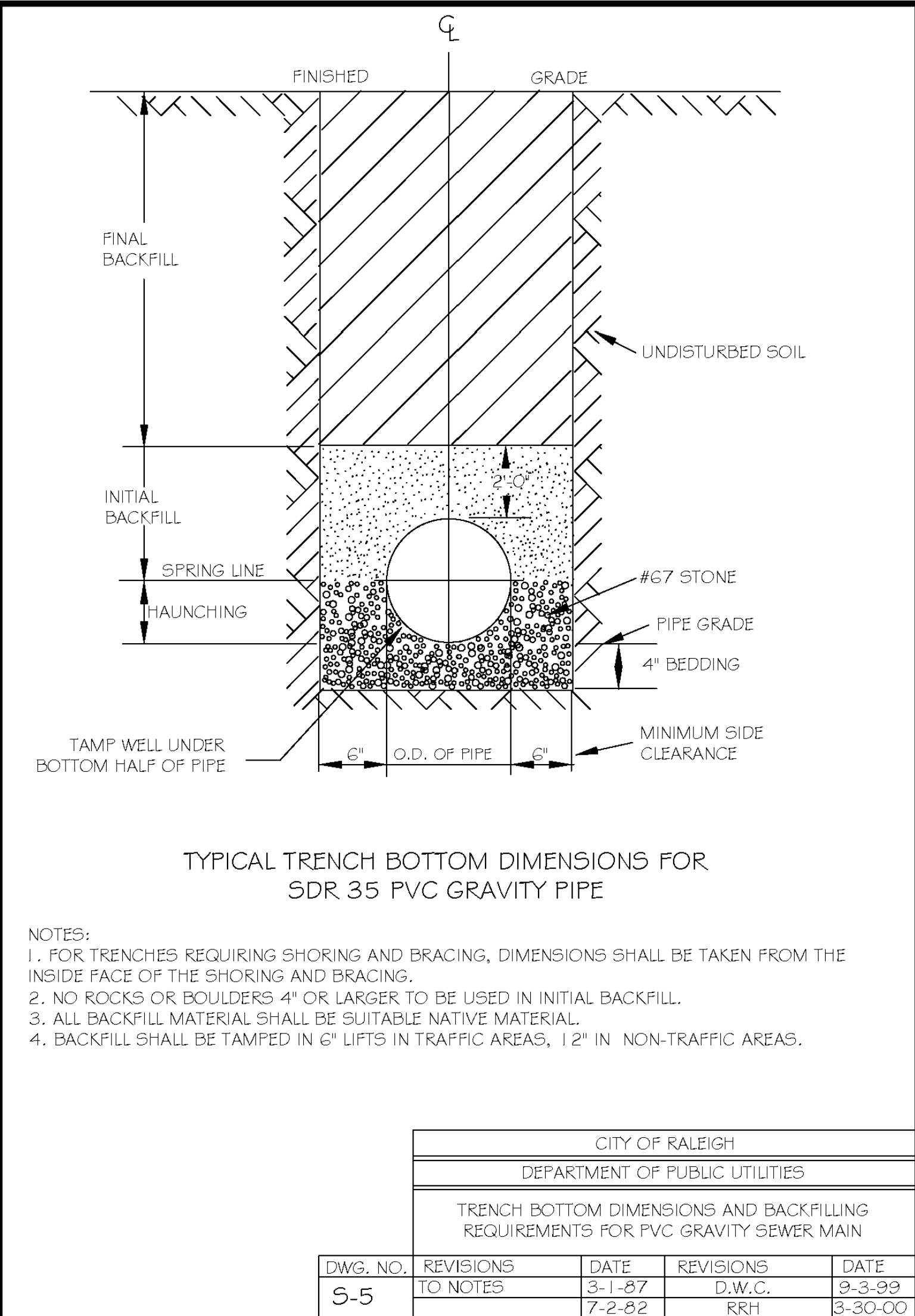
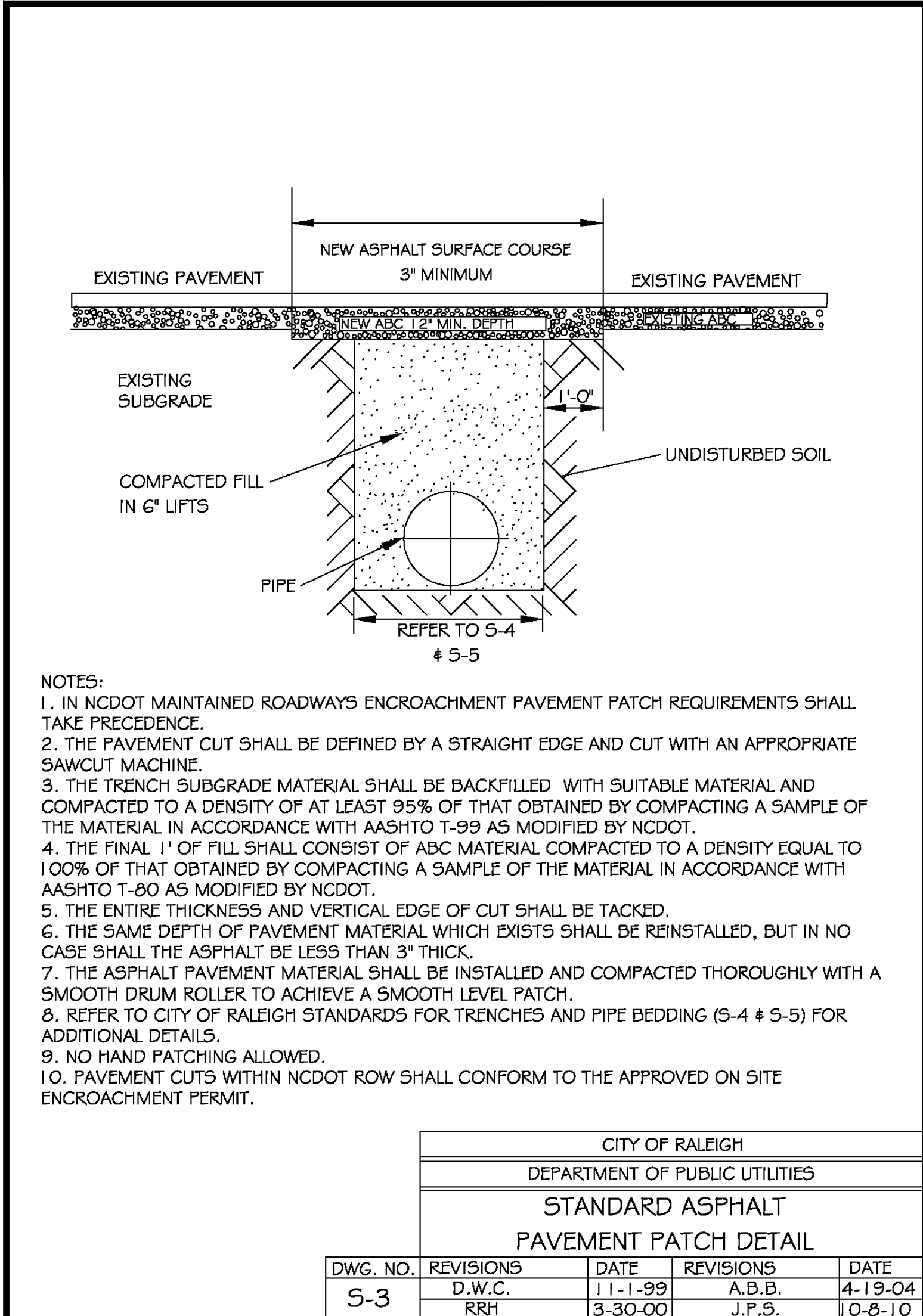
DETAILS



Engineering | Surveying | Planning | Environmental

Engineering | Surveying | Planning | Environmental





811 Know what's below. Call before you dig. nc811.org or 1-800-632-4949

PROJECT NO. BUL-2103  
FILENAME: BUL2103-DTL4  
DRAWN BY: RCN  
SCALE: N.T.S.  
DATE: 12-06-2022  
SHEET NO. C-13

PROPOSED RETAIL AND RESTAURANT DEVELOPMENT  
6000 ROGERS ROAD  
ROLESVILLE, NORTH CAROLINA

CLIENT: BULLARD RESTAURANT GROUP  
9131 ANSON WAY, # 305  
RALEIGH, NC 27615

DETAILS



ELEVATION NOTES:

- 1 DARK BRONZE STOREFRONT SYSTEM SEE DOOR & WINDOW SCHEDULE FOR MORE INFORMATION.
- 2 EXTERIOR WALL SIGNAGE UNDER SEPARATE PERMIT AND TO BE PROVIDED BY TENANT'S SIGN VENDOR. EC TO COORDINATE WITH SIGN VENDOR AND PROVIDE EMPTY J-BOX AND BLOCKING AT SIGN LOCATIONS AS REQUIRED. SEE ELEC DWGS.
- 3 METAL HANGER ROD CANOPY PROVIDED & INSTALLED BY GENERAL CONTRACTOR - UNDER SEPARATE PERMIT. G.C. TO PROVIDE BLOCKING AS REQUIRED.
- 4 HOLLOW METAL DOOR & FRAME, PAINT DOORS AND FRAMES-PAINTED AS SHOWN. REFER TO DRAWING A501.
- 5 ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS.
- 6 LINE OF ROOF BEYOND
- 7 METAL SNAP ON COMPRESSION EDGE PROVIDED GENERAL CONTRACTOR. 24 GAUGE - REFER TO DETAILS ON DRAWING A501.
- 8 "KNOX BOX" INSTALLED ON SIDE OF BRICK PIER PER LOCAL AUTHORITY REQUIREMENTS.
- 9 EMERGENCY LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS.
- 10 DECORATIVE EXTERIOR LIGHTS - REFER TO ELECTRICAL DRAWINGS.
- 11 EXTERIOR WALL PACK LIGHT - REFER TO ELECTRICAL DRAWINGS.

- 12 METAL OVERFLOW DECORATIVE NOZZLE FLANGE - REFER DETAIL 5/A502.
- 13 GAS METERS - REFER TO PLUMBING DRAWINGS.
- 14 INTERIOR ROOF DRAINS TO TIE TO STORM DRAIN - REFER CIVIL DRAWINGS BY OTHERS. REFER TO DETAIL 2/A502.
- 15 E.I.F.S. "V" GROOVE JOINT- REFER TO DETAIL 3/A501.
- 16 WOOD POST WRAPPED IN BREAK METAL TO MATCH STOREFRONT-REFER TO WINDOW SCHEDULE AND STRUCTURAL DRAWINGS.
- 17 20 GAUGE BREAK METAL TO MATCH COPING ON TOWER CAP - REFER TO WALL SECTIONS AND ENLARGED DETAILS.
- 18 PROJECTED FRAMING WRAPPER IN 20 GAUGE BREAK METAL TO MATCH M-1. REFER TO WALL SECTIONS.
- 19 METAL AWNING PROVIDED & INSTALLED BY GENERAL CONTRACTOR - UNDER SEPARATE PERMIT. G.C. TO PROVIDE BLOCKING AS REQUIRED.
- 20 METAL PATIO ROOF PROVIDED & INSTALLED BY GENERAL CONTRACTOR - UNDER SEPARATE PERMIT. G.C. TO PROVIDE BLOCKING AS REQUIRED.
- 21 BOLLARD - SEE DETAIL 8/A501.
- 22 USE 4" HEAD FRAME AT BRICK VENEER.

EXTERIOR MATERIAL:

| EXTERIOR INSULATION & FINISH SYSTEMS (EIFS) |  |
|---|--|
| E-1   | TYPE: E.I.F.S.<br>MANUFACTURER: DRYVIT<br>COLOR: 627A TWILIGHT GRAY<br>FINISH: SANDPABLE FINE<br>STYLE: OUTSULATION LCMD-3 |
| METAL                                       |  |
| M-1   | TYPE: 2-PIECE SNAP-ON COMPRESSION EDGING<br>MANUFACTURER: FIRESTONE UNA-CLAD<br>COLOR: EXTRA DARK BRONZE                   |
| M-2   | TYPE: METAL HANGER ROD CANOPY<br>MANUFACTURER: BY GENERAL CONTRACTOR<br>COLOR: EXTRA DARK BRONZE                           |
| M-3   | TYPE: METAL AWNING<br>MANUFACTURER: BY GENERAL CONTRACTOR<br>COLOR: EXTRA DARK BRONZE                                      |
| M-4   | TYPE: METAL PATIO ROOF & COLUMN<br>MANUFACTURER: BY GENERAL CONTRACTOR<br>COLOR: EXTRA DARK BRONZE                         |

LIGHTING

|     |   |
|-----|---|
| L-1 | EXTERIOR LIGHTING<br>TYPE: CYLINDER LIGHT<br>SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION    |
| L-2 | EXTERIOR LIGHTING<br>TYPE: HALF ROUND<br>SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION        |
| L-3 | EXTERIOR LIGHTING<br>TYPE: EMERGENCY FIXTURE<br>SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION |

PAINT

|     |  |
|-----|--|
| P-1 | TYPE: PAINT<br>MANUFACTURER: SHERWIN WILLIAMS<br>COLOR: SW7030 "ANEW GRAY" |
|-----|--|

BRICK VENEER

|     |  |
|-----|--|
| B-1 | TYPE: TRAD. BRICK WITH 3/8" JOINT<br>MANUFACTURER: GLEN-GERY<br>COLOR: EBONITE VELOUR<br>GROUT: DARK GRAY        |
| B-2 | TYPE: TRAD. BRICK WITH 3/8" JOINT<br>MANUFACTURER: TRIANGLE BRICK<br>COLOR: EVELYN BAY GRAY<br>GROUT: LIGHT GRAY |

STONE VENEER

|      |  |
|------|--|
| ST-1 | TYPE: THIN MANUFACTURED STONE VENEER<br>MANUFACTURER: PRESTIGE STONE<br>COLOR: QUARRY CUT PORTLAND MIST<br>GROUT: GRAY |
|------|--|

FIBER CEMENT SIDING

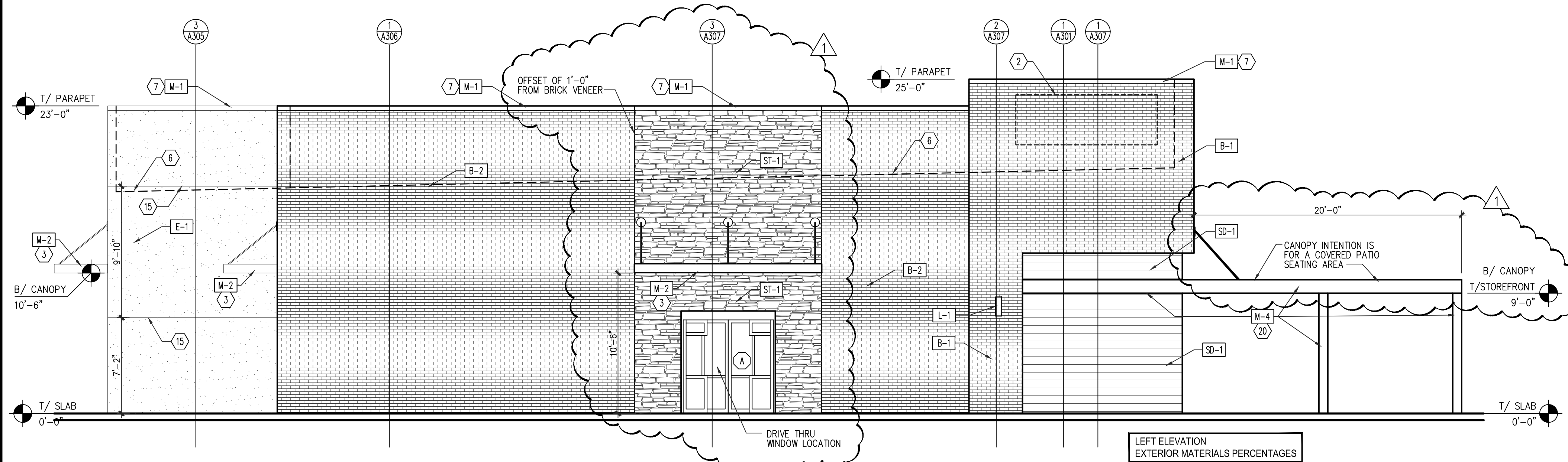
|      |  |
|------|--|
| SD-1 | TYPE: VINTAGEWOOD SIDING WITH<br>BUILT-IN RAIN SCREEN<br>MANUFACTURER: NICHINA<br>COLOR: CEDAR |
|------|--|

STOREFRONT

|      |  |
|------|--|
| SF-1 | TYPE: THERMALLY BROKEN ALUMINUM<br>FRAME WITH INSULATED GLAZING<br>MANUFACTURER: KANWEER<br>COLOR: DARK BRONZE |
|------|--|

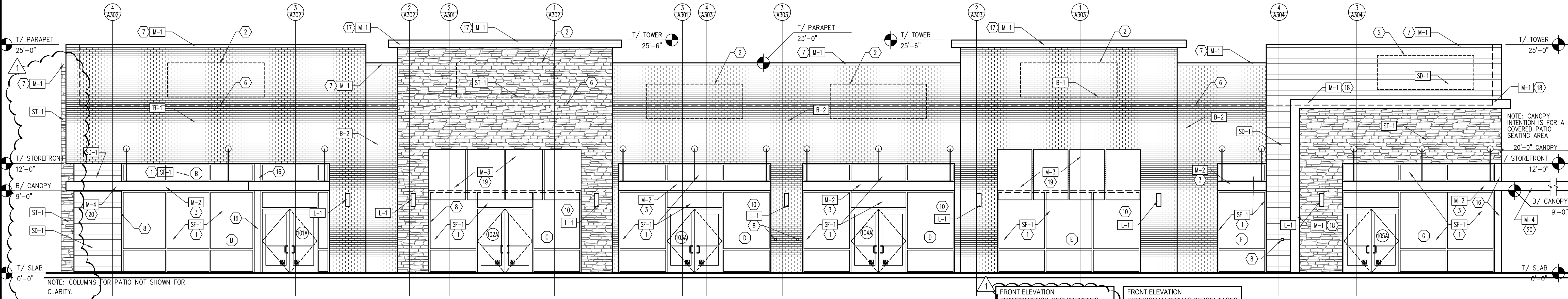
GENERAL NOTES:

1. NEW SIGNAGE AND CANOPIES BY TENANT - TO BE FILED UNDER SEPARATE PERMIT - TYPICAL.
2. SUBMIT CANOPY SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
3. COORD. WITH CIVIL DRAWINGS FOR GENERAL GRADING AND FINAL SURFACE ELEVATIONS.



2 LEFT (SOUTH) ELEVATION  
A201 SCALE: 3/16" = 1'-0"

| LEFT ELEVATION<br>EXTERIOR MATERIALS PERCENTAGES |         |            |
|--|---------|------------|
| MATERIAL   | SQ. FT. | PERCENTAGE |
| E.I.F.S. (BEYOND):                               | 284     | 15%        |
| BRICK VENEER:                                    | 1,222   | 65%        |
| STONE VENEER:                                    | 146     | 8%         |
| FIBER CEMENT SIDING:                             | 131     | 7%         |
| D/T WINDOW/DOOR:                                 | 54      | 3%         |
| AWNINGS/CANOPES/METAL:                           | 47      | 2%         |
| TOTAL:   | 1,884   | 100%       |



1 FRONT (EAST) ELEVATION  
A201 SCALE: 3/16" = 1'-0"

| FRONT ELEVATION<br>TRANSPARENCY REQUIREMENTS |         |            |
|--|---------|------------|
| MATERIAL                                     | SQ. FT. | PERCENTAGE |
| STOREFRONT/DOORS:                            | 1,121   | 39%        |
| TOTAL (TAKEN FROM<br>SLAB TO BOTTOM OF DECK) | 2,874   | 100%       |

| FRONT ELEVATION<br>EXTERIOR MATERIALS PERCENTAGES |         |            |
|---|---------|------------|
| MATERIAL  | SQ. FT. | PERCENTAGE |
| E.I.F.S.:   | 0       | 0%         |
| BRICK VENEER:                                     | 1,534   | 41%        |
| STONE VENEER:                                     | 542     | 14%        |
| FIBER CEMENT SIDING:                              | 253     | 7%         |
| STOREFRONT/DOORS:                                 | 1,121   | 30%        |
| AWNINGS/CANOPES/METAL:                            | 302     | 8%         |
| TOTAL:  | 3,752   | 100%       |

LMHT Project No. 22245

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LMHT ASSOCIATES  
7208 ACC BLVD, 2ND FLOOR,  
ROLESVILLE, NC 27571  
phone: 919.544.0397 fax: 919.544.9399

5/9/23

PROJECT: RETAIL SHOPS  
6000 ROGERS ROAD  
ROLESVILLE, NC 27571  
DRAWING: EXTERIOR ELEVATIONS

Revisions

REVISION DATE  
PLANNING COMMENTS  
5/9/2023

PROJECT DATE  
2/21/2023

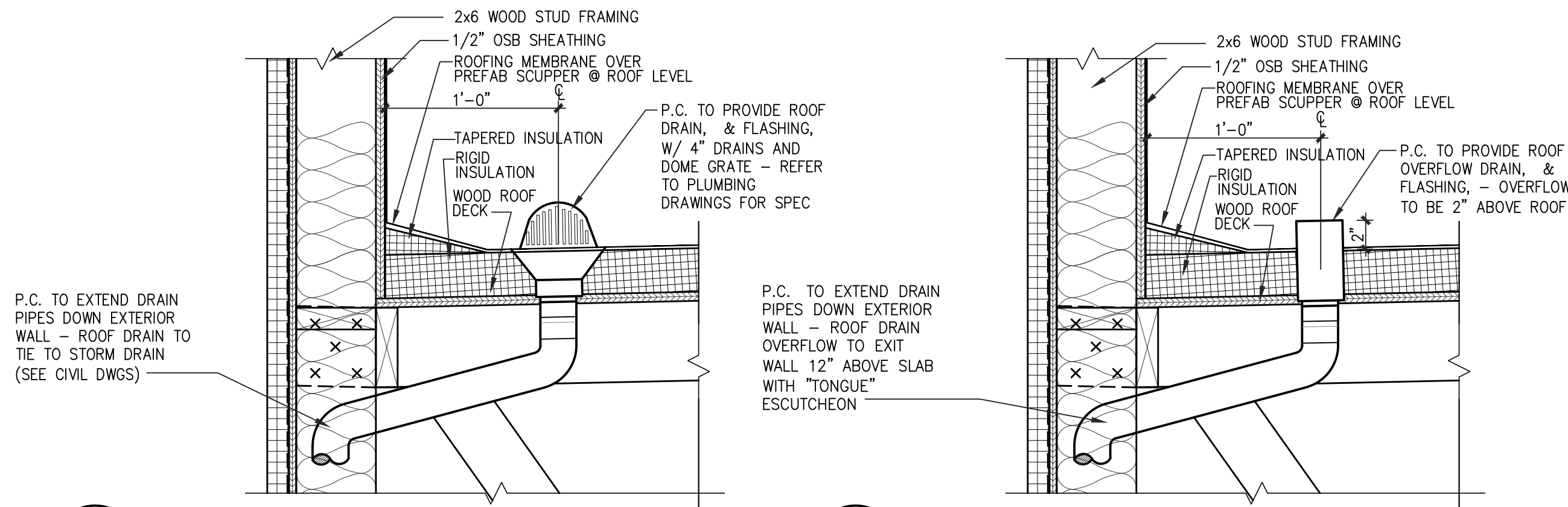
Drawn By  
MTP

Checked By  
GRL

Sheet No.

A201





4 INTERNAL ROOF DRAIN  
SCALE: 1 1/2" = 1'-0"

3 INTERNAL ROOF OVERFLOW  
SCALE: 1 1/2" = 1'-0"

## ELEVATION NOTES:

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- 2 EXTERIOR WALL SIGNAGE UNDER SEPARATE PERMIT AND TO BE PROVIDED BY TENANT'S SIGN VENDOR. EC TO COORDINATE WITH SIGN VENDOR AND PROVIDE EMPTY J-BOX AND BLOCKING AT SIGN LOCATIONS AS REQUIRED. SEE ELEC DWGS.
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- 5 ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS.
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- 16 WOOD POST WRAPPED IN BREAK METAL TO MATCH STOREFRONT - REFER TO WINDOW SCHEDULE AND STRUCTURAL DRAWINGS.
- 17 20 GAUGE BREAK METAL TO MATCH COPING ON TOWER CAP - REFER TO WALL SECTIONS AND ENLARGED DETAILS.
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- 21 BOLLARD - SEE DETAIL 8/A501.
- 22 USE 4" HEAD FRAME AT BRICK VENEER.

## EXTERIOR MATERIAL:

### EXTERIOR INSULATION & FINISH SYSTEMS (EIFS)

|     |   |
|-----|---|
| E-1 | TYPE: EIFS<br>MANUFACTURER: DRYVIT<br>COLOR: 6274 TWILIGHT GRAY<br>FINISH: SANDPABLE FINE<br>STYLE: OUTSULATION LCD-3 |
|-----|---|

### METAL

|     |  |
|-----|--|
| M-1 | TYPE: 2-PIECE SNAP-ON COMPRESSION EDGING<br>MANUFACTURER: FIRESTONE UNA-CLAD<br>COLOR: EXTRA DARK BRONZE |
| M-2 | TYPE: METAL HANGER ROD CANOPY<br>MANUFACTURER: BY GENERAL CONTRACTOR<br>COLOR: EXTRA DARK BRONZE         |
| M-3 | TYPE: METAL AWNING<br>MANUFACTURER: BY GENERAL CONTRACTOR<br>COLOR: EXTRA DARK BRONZE                    |
| M-4 | TYPE: METAL PATIO ROOF & COLUMN<br>MANUFACTURER: BY GENERAL CONTRACTOR<br>COLOR: EXTRA DARK BRONZE       |

### LIGHTING

|     |   |
|-----|---|
| L-1 | EXTERIOR LIGHTING<br>TYPE: CYLINDER LIGHT<br>SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION    |
| L-2 | EXTERIOR LIGHTING<br>TYPE: HALF ROUND<br>SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION        |
| L-3 | EXTERIOR LIGHTING<br>TYPE: EMERGENCY FIXTURE<br>SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION |

## PAINT

|     |  |
|-----|--|
| P-1 | TYPE: PAINT<br>MANUFACTURER: SHERWIN WILLIAMS<br>COLOR: SW7030 "ANEM GRAY" |
|-----|--|

## BRICK VENEER

|     |  |
|-----|--|
| B-1 | TYPE: TRAD. BRICK WITH 3/8" JOINT<br>MANUFACTURER: GLEN-GERY<br>COLOR: EBONITE VELOUR<br>GROUT: DARK GRAY        |
| B-2 | TYPE: TRAD. BRICK WITH 3/8" JOINT<br>MANUFACTURER: TRIANGLE BRICK<br>COLOR: EVELYN BAY GRAY<br>GROUT: LIGHT GRAY |

## STONE VENEER

|      |  |
|------|--|
| ST-1 | TYPE: THIN MANUFACTURED STONE VENEER<br>MANUFACTURER: PRESTIGE STONE<br>COLOR: QUARRY CUT PORTLAND MIST<br>GROUT: GRAY |
|------|--|

## FIBER CEMENT SIDING

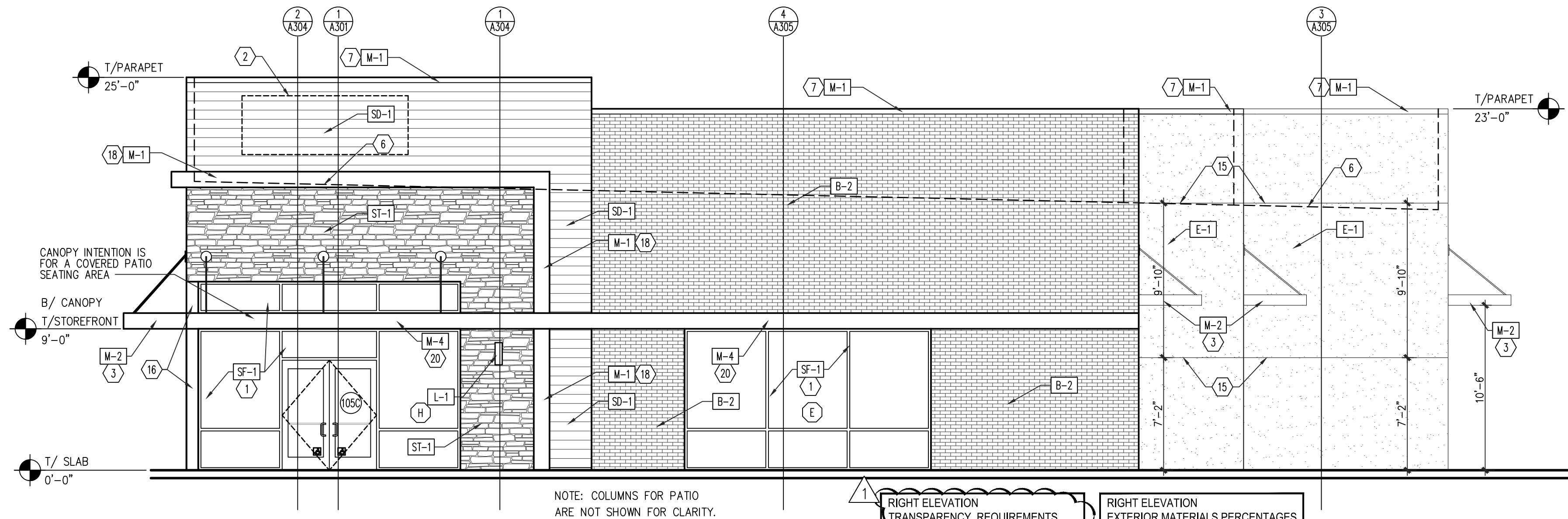
|      |  |
|------|--|
| SD-1 | TYPE: VINTAGEWOOD SIDING WITH<br>BUILT-IN RAIN SCREEN<br>MANUFACTURER: NICHINA<br>COLOR: CEDAR |
|------|--|

## STOREFRONT

|      |  |
|------|--|
| SF-1 | TYPE: THERMALLY BROKEN ALUMINUM<br>FRAME WITH INSULATED GLAZING<br>MANUFACTURER: KANWEER<br>COLOR: DARK BRONZE |
|------|--|

## GENERAL NOTES:

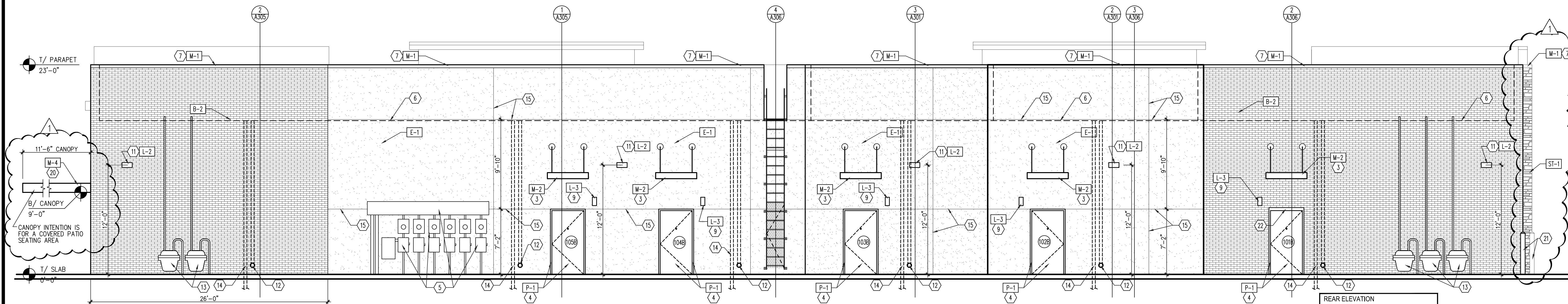
1. NEW SIGNAGE AND CANOPIES BY TENANT - TO BE FILED UNDER SEPARATE PERMIT - TYPICAL.
2. SUBMIT CANOPY SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
3. COORD. WITH CIVIL DRAWINGS FOR GENERAL GRADING AND FINAL SURFACE ELEVATIONS.



2 RIGHT (NORTH) ELEVATION  
SCALE: 3/16" = 1'-0"

| RIGHT ELEVATION<br>TRANSPARENCY REQUIREMENTS  |         |            |
|---|---------|------------|
| MATERIAL  | SQ. FT. | PERCENTAGE |
| STOREFRONT/DOORS:   | 332     | 31%        |
| TOTAL (TAKEN FROM<br>SLAB TO BOTTOM OF DECK)  | 1,071   | 100%       |
| NOTE: PER LDD SECTION 6.8.2.C, NO MIRROR WINDOW<br>GLAZING OR FAUX WINDOWS TO BE INSTALLED. |         |            |

| RIGHT ELEVATION<br>EXTERIOR MATERIALS PERCENTAGES |         |            |
|---|---------|------------|
| MATERIAL  | SQ. FT. | PERCENTAGE |
| EIFS (BEYOND):                                    | 439     | 23%        |
| BRICK VENEER:                                     | 611     | 33%        |
| STONE VENEER:                                     | 183     | 10%        |
| FIBER CEMENT SIDING:                              | 193     | 10%        |
| STOREFRONT/DOORS:                                 | 332     | 18%        |
| AWNINGS/CANOPIES/METAL:                           | 111     | 6%         |
| TOTAL:  | 1,869   | 100%       |



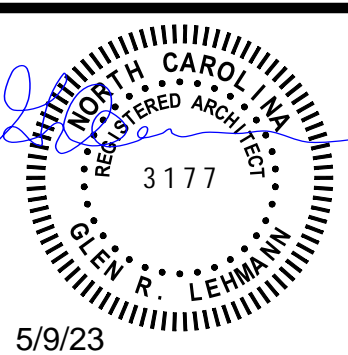
1 REAR (WEST) ELEVATION  
SCALE: 3/16" = 1'-0"

| REAR ELEVATION<br>EXTERIOR MATERIALS PERCENTAGES |         |            |
|--|---------|------------|
| MATERIAL   | SQ. FT. | PERCENTAGE |
| EIFS:  | 2,056   | 57%        |
| BRICK VENEER:                                    | 1,351   | 38%        |
| STONE VENEER:                                    | 0       | 0%         |
| FIBER CEMENT SIDING:                             | 0       | 0%         |
| STOREFRONT:                                      | 0       | 0%         |
| H.M. DOORS:                                      | 136     | 4%         |
| AWNINGS/CANOPIES/METAL:                          | 15      | 1%         |
| TOTAL:   | 3,558   | 100%       |

LMHT Project No.: 22245

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USED WITHOUT HIS WRITTEN PERMISSION

LMHT ASSOCIATES  
7208 ACC BLVD., 2ND FLOOR,  
ROLESVILLE, NC 27571  
phone: 919.544.0037 fax: 919.544.9399



PROJECT: RETAIL SHOPS  
6000 ROGERS ROAD  
ROLESVILLE, NC 27571  
DRAWING: EXTERIOR ELEVATIONS

## Revisions

REVISION DATE  
PLANNING COMMENTS  
5/9/2023

PROJECT DATE  
2/21/2023

Drawn By  
MTP

Checked By  
GRL

Sheet No.

A202



