

#### WMCPA – ROLESVILLE, WENDELL, ZEBULON WATERSHED MANAGEMENT CONSTRUCTION PLAN APPROVAL

	Fifth Third Bank –						
Project Name	Rolesville Wallbrook	Watershed	Lower Neuse	Jurisdiction	Rolesville		
		Date Processing		Disturbed			
Date Received	02/27/2025	Initiated	03/03/2025	Acreage	0.59		
S&E Permit		S&E					
Number	SEC-141990-2025	Plan Review Fee	\$100.00 PAID	S&E Permit Fee	\$148.00 PAID		
SW Permit	;	sw					
Number	SWF-141991-2025	Plan Review Fee	\$250.00 PAID	SW Permit Fee	\$250.00 PAID		
Financial Respons	• • •	Engine	er:				
	nala Brooks, VP	Na		ineering Group, LLO			
	untain Square Plaza			Kennedy Blvd Ste 23	30		
Address: Cincin	nati, OH 45202		ress: <u>Tampa, Flo</u>				
Phone: 513-5	34-0706	Ph	one: <u>(813) 434-4</u>	1770 			
Email:Tamm	nala.brooks@53.com	Eı	mail: <u>N/A</u>				
Plan Date/Revis	ion Date: 03/24/2025						
Tidii Date/Nevis	1011 Date: 05/24/2025						
	The above-referenced erosion control and stormwater management plans have been reviewed and approved						
			-				
Approval Date:	<ol> <li>Please provide appr</li> </ol>	oval from the town o	of Rolesville once re	eceived.			
04/08/2025	The Fifth Third Bank is approved to limit the maximum impervious surface area to 18,187 SF (0.42 acres) that has been dispersed over the proposed building, driveway, parking area, and sidewalk area. The project shall						
	· · · · · · · · · · · · · · · · · · ·	•	***				
	provide stormwater control				ty) with a storm/utility		
infrastructure that connects into an existing system. See approved site data below.							
Approved Site Data:							
Permitted	Road (SF)	ots (SF)	Other (SF)	Total (	SF)		
Impervious (SF)	- \- /	ν- /	( /	18,187			
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#### **Conditions of Approval**

Items marked with an "X" were noted as conditions of the Stormwater and Sediment and Erosion Control Plan approval.

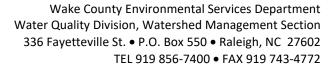
References for Erosion and Sediment Control: Wake County Unified Development Ordinance (UDO) Article 10

References for Stormwater Management are as follows:

**ROLESVILLE**: Town of Rolesville Land Development Ordinance Appendix B: Flood Damage Prevention and Stormwater Management, Section 1.2 Stormwater Management\_effective June 1, 2021.

**WENDELL**: Town of Wendell Unified Development Ordinance (UDO) <u>Chapter 6: Environmental Protection</u>, adopted 7/26/10.

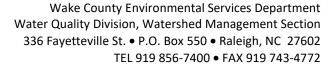
**ZEBULON**: Town of Zebulon, NC Code of Ordinances: <u>Chapter 151</u>





## WMCPA – ROLESVILLE, WENDELL, ZEBULON WATERSHED MANAGEMENT CONSTRUCTION PLAN APPROVAL

	1.	A mandatory preconstruction meeting is required between the owner, contractor, and Wake County prior to issuance of the Stormwater and Land Disturbance Permits. Please call to schedule this meeting at your convenience. Please contact Jeevan Neupane, PE, CESSWI at 919-819-8907 to schedule the preconstruction meeting.				
	2.	Grading, other than for installation of soil erosion and sedimentation control measures, is prohibited prior to the issuance of a Certificate of Compliance. [10-30-7(D)]				
	3.	Contractor shall follow plans strictly and maintain contact with Wake County prior to making any field modifications to erosion and sediment control devices. No devices shall be removed without prior approval from Wake County.				
	4.	Wake County's sedimentation pollution control program is <u>performance oriented</u> , requiring protection of the natural resources and adjoining properties. If at any time during the project it is determined that the Erosion and Sedimentation Control Plan is inadequate to meet the requirements of the Erosion and Sedimentation Control Ordinance of Wake County, this office may require revisions in the plan and its implementation to ensure compliance with the Ordinance.				
	5.	As of April 1, 2019, all new construction activities are required to complete and submit an electronic Notice of Intent (eNOI) form requesting a Certificate of Coverage (COC) under the NCG010000 Construction General Permit. After the form is reviewed and found to be complete, you will receive a link with payment instructions for the applicable annual permit fee. After the fee is processed, you will receive the COC via email. As the Financially Responsible Party shown on the FRO form submitted for this project, you MUST obtain the COC prior to commencement of any land disturbing activity. The eNOI form and fee details may be accessed at <a href="deq.nc.gov/NCG01">deq.nc.gov/NCG01</a> . Please direct questions about the eNOI form to the <a href="Stormwater Program staff">Stormwater Program staff</a> in the Raleigh central office. If the owner/operator of this project changes in the future, the new responsible party must obtain a new COC.				
	6.	SUBDIVISIONS ONLY Builders are required to obtain grading permits for cumulative disturbance over one acre (including non-contiguous lots).				
North	Caroli	na General Statute § 113A-61 (c) - Right to Appeal the Decision				
	7.	The applicant has the right to appeal modifications of this decision per North Carolina General Statute § 113A-61(c).				
appro	val or s	COA - All Conditions of Approval (COA) must be completed and approved by Wake County prior to final plat ignoff of the Certificate of Occupancy (C.O.) for future building permits. Items required prior to final plat or nit approval are checked and listed below.				
$\boxtimes$	8.	As-Built Plans – Upon completion of required improvements, an as-built plan of required stormwater improvements must be submitted (must indicate that stormwater improvements were constructed in accordance with the approved plan).				
	9.	Maintenance Plan				
	$\boxtimes$	The developer must record and reference on the record plat, a maintenance plan providing instruction about annual maintenance tasks and associated costs for at least a 20-year period.				
	$\boxtimes$	It will be the responsibility of the property owners' association or lot owner to update the maintenance plan at least every 10 years.				
$\boxtimes$	10.	Maintenance Agreement				
		The developer must record and reference on the record plat, a maintenance agreement or restrictive covenant that sets for the property owners' association's or lot owner's continuing responsibilities for maintenance, including how cost will be apportioned among lot owners served.				





## WMCPA – ROLESVILLE, WENDELL, ZEBULON WATERSHED MANAGEMENT CONSTRUCTION PLAN APPROVAL

		b. The maintenance agreement must provide that the association and its individual members are jointly and severable liable for maintenance.				
		All maintenance documents required must be submitted prior to record plat approval and must be referenced				
$\boxtimes$	11.		on the record plat. For developments not requiring record plats, documentation must be submitted prior to			
		building permit issuance.				
			Performance Guarantee – The municipality may not approve a record plat or issue a building permit until			
$\boxtimes$	12.		stormwater improvements required of the developer have been completed or a performance guarantee has			
	been provided.					
Applic	able R	egula	tions			
	13.	Parties Responsible for Maintenance of Improvements				
			The developer must maintain stormwater improvements until accepted by a property owners' association			
	$\boxtimes$	a.	or lot owner. The developer must disclose which party will be responsible for continued maintenance on			
			the record plat.			
			Before improvements are accepted for maintenance by the property owners' association or lot owner,			
	$\boxtimes$	b.	the developer must certify to the property owners association or lot owner and the county that			
		improvements are complete and functioning as designed.				
$\boxtimes$	14.	Enforcement and Penalties				
	$\boxtimes$	Failure to complete required improvements or failure to maintain improvements as required by the				
		approved plan are violations and subject to a fine of up to \$1,000 per day.				
			Inspection of Stormwater Improvements – Wake County agents have the right to inspect sites to			
	$\boxtimes$	b.	determine whether stormwater improvements are being installed and maintained in compliance with the			
			ordinance.			
			dity of Plan, Lapse of Approval – An approved erosion and sedimentation control plan is valid for 2			
$\boxtimes$	15.	cale	calendar years from the date of approval. If a land disturbance permit has not been obtained within the 2-year			
		period, the erosion and sedimentation control plan approval becomes null and void.				
$\boxtimes$	16.					
			S&EC plan approval and land disturbance permit issued must be prominently displayed until all			
	a. construction is complete, all permanent sediments		construction is complete, all permanent sedimentation and erosion control measures are installed and			
			the site has been stabilized. A copy of the approved plan must be kept on file at the job site.			
		No person shall initiate a land-disturbing activity until notifying Wake County of the date that the land-				
		b.	disturbing activity will begin.			
$\boxtimes$	17.	Authority				
County officials may enter any property, public or private, at reasonable times for		County officials may enter any property, public or private, at reasonable times for the purpose of				
		investigating and inspecting the sites of any land-disturbing activity. No person shall refuse entry or access				
	$\boxtimes$	a.				
			and presents appropriate credentials, nor shall any person obstruct, hamper, or interfere with any such			
representatives while in the process of carrying out their official duties.						
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Wake County Environmental Services Department Water Quality Division, Watershed Management Section 336 Fayetteville St. • P.O. Box 550 • Raleigh, NC 27602 TEL 919 856-7400 • FAX 919 743-4772

# WMCPA – ROLESVILLE, WENDELL, ZEBULON WATERSHED MANAGEMENT CONSTRUCTION PLAN APPROVAL

Agents and officials of the County will periodically inspect land-disturbing activities to en with the North Carolina Sedimentation Pollution Control Act, this article, or rules or orde							
		b.	issued pursuant to this article, and to determine whether the measures required in the erosion and				
			sedimentation control plan are effective in controlling erosion and sedimentation resulting from land-				
disturbing activity.			disturbing activity.				
	Any land-disturbing activity will be the responsibility of the person(s) conducting the land disturbing				pility of the person(s) conducting the land disturbing		
	c. activity, including the property owners. Failure to prevent off site sedimentation will be deemed a			o prevent off site sedimentation will be deemed a			
	violation of the erosion and sedimentation control regulations of this article.				rol regulations of this article.		
		15A NCAC 2B.0714 – Due to the location of this project, it should be noted that a rule to protect and maintain					
		existi	ng buffers along watercourses i	in all of Wake Coun	ty became effective in 2006. The Neuse River Riparian		
		Area I	Protection and Maintenance Ru	ule applies to all per	rennial and intermittent streams, lakes, ponds and		
		estua	ries in Wake County with fores	t vegetation on the	adjacent land or "riparian area". In riparian areas with		
		existi	ng forest vegetation in the first	30 feet directly adj	acent to the stream, the rule prohibits land disturbance,		
					eet of land next to the water. In riparian areas with forest		
		vegetation that is less than 30 feet wide, the rule prohibits land disturbance, new development and fertilizer use					
		within the area that contains forest vegetation (but not the entire 50-foot riparian area). For more information					
		about this riparian area rule, please contact the Division of Water Quality's Wetland/401 Unit at 919-707-3631.					
		Wake County enforces the Neuse Buffer Rules in both the Cape Fear River Basin and the Neuse River Basin except					
	when superseded by the Jordan Buffer Rules [15A NCAC 02B.0265].				C 02B.0265].		
Wak	e Count	y Wate	ershed Management Section is n	ot responsible for su	bject approvals of other Local, State or Federal Agencies. The		
			· · · · · · · · · · · · · · · · · · ·	·	pliance with Federal Emergency Management Area Flood		
_				•	r or other water quality regulations/requirements, U.S. Army		
•	_	4		• •	on/requirements, and/or any Federal and State water quality		
	_		· · · · · · · · · · · · · · · · · · ·	•	ns or permit requirements. The approval issued in this letter		
cann	ot supe	rsede	any other required permit or app	oroval.			
Envi	ronmei	ntal	Jeevan Neupane, PE,		Jeevan.neupane@wake.gov		
Consultan			CESSWI	Contact Info:	919-819-8907		
Fnvi	ronmei	ntal	CO OND M	Contact Info:	Elizabeth.powell@wake.gov		
	neer:		Elizabeth Powell		919-856-7422		
8.							
			Elizabeth Powell, PE				