

FOR
KALAS FALLS

WAKE COUNTY SCHOOL BOARD

401 (LOUISBURG RD.)

FOWLER ROAD

ROLESVILLE ROAD

MITCHELL MILL RD.

PHASE 1

PHASE 2

PHASE 3

PHASE 4

PHASE 5

REQUIRED APPROVALS	
PERMIT	PERMIT NUMBER:
TOWN OF ROLESVILLE SPECIAL USE PERMIT	SUP 19-01
TOWN OF ROLESVILLE PRELIMINARY PLAT	PSP-24-04
TOWN OF ROLESVILLE CONSTRUCTION DOCUMENTS	TBD
WAKE COUNTY EROSION CONTROL	TBD
CITY OF RALEIGH UTILITIES	TBD

SHEET LIST	
Sheet Number	Sheet Title
G-001	Cover Sheet
G-002	Conditions of Approval
G-003	Lot Areas and Open Space Plan
CV100	Existing Conditions
CX100	Demolition Plan
CS100	Overall Site Plan
CS401	Site Plan Area A
CS402	Site Plan Area B
CS403	Site Plan Area C
CS110	Signage & Striping Plan
CS500	Site Details
CS501	Site Details
CS502	Site Details
CS503	Site Details
CS504	Site Details
CT200	Road Plan & Profile
CT201	Road Plan & Profile
CT202	Road Plan & Profile
CU100	Utility Plan Overall
CU110	Utility Tables
CU200	Outfall Plan & Profile
CU401	Utility Plan Area A
CU402	Utility Plan Area B
CU403	Utility Plan Area C
CU500	Utility Details
CU501	Utility Details
CU502	Utility Details
CU503	Utility Details
CU504	Utility Details
CU505	Utility Details
CU506	Utility Details
CE100	ESC Phase 1 Overall
CE400	ESC Phase 1 Area A
CE401	ESC Phase 1 Area B
CE402	ESC Phase 1 Area C
CE110	ESC Phase 2 Overall
CE410	ESC Phase 2 Area A
CE411	ESC Phase 2 Area B
CE412	ESC Phase 2 Area C
CE413	ESC Phase 2 Offsite Area
CE130	NPDES PLAN
CE500	ESC Details
CE501	ESC Details
CE502	ESC Details
CE503	ESC Details
CE504	ESC Details
CG100	Grading & Drainage Overall
CG400	Grading & Drainage Area A
CG401	Grading & Drainage Area B
CG402	Grading & Drainage Area C
CG403	Grading & Drainage Offsite
CD110	Storm Drainage Tables
CD200	Storm Drainage Plan & Profiles
CD201	Culvert Crossing Plan & Profile
CD500	Drainage Details
CD501	Drainage Details
CD502	Drainage Details
LP100	Landscape Plan Overall
LP401	Landscape Plan Area A
LP402	Landscape Plan Area B
LP403	Landscape Plan Area C
LP500	Landscape Details

THE REZONING FOR THIS DEVELOPMENT
WAS APPROVED ON 11/19/2019 (MA-19-02)
AND AS SUCH, THE PROJECT FALLS UNDER
THE GOVERNANCE OF THE 2004 UDO.
PLEASE SEE SHEET G002 FOR REZONING AND
SPECIAL USE PROJECT SPECIFIC CONDITIONS.

PROJECT TEAM	
PROPERTY OWNER:	MITCHELL MILL ROAD INVESTORS LLC CONTACT: KARL BLACKLEY 105 WESTON ESTATES WAY CARY, NC 27513 919-481-3000
ENGINEER:	AMERICAN ENGINEERING ASSOCIATES-SOUTHEAST, PA CONTACT: JAKOB KLEIN 4020 WESTCHASE BLVD, SUITE 450 RALEIGH, NC 27607
DEVELOPER:	MITCHELL MILL ROAD INVESTORS LLC CONTACT: KARL BLACKLEY 105 WESTON ESTATES WAY CARY, NC 27513 919-481-3000
SURVEYOR:	WITHERS RAVENEL CONTACT: MATT TIMLIN 115 MACKENAN DRIVE CARY, NC 27511 919-469-3340
BUFFER/WETLAND:	WITHERS RAVENEL CONTACT: TROY BEASLEY 219 STATION ROAD, STE. 201 WILMINGTON, NC 28405

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Inspector at 919-996-3245 or <https://cityworks.raleighnc.gov/pucontractors/New> and schedule a Pre-construction meeting prior to beginning any construction.

Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify the Divisions in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

FOR INFORMATION ONLY

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NO.

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KALAS FALLS
PHASE 5
CONSTRUCTION DOCUMENTS

TOWN OF ROLESVILLE,
WAKE COUNTY, NC

JOB NUMBER: R180115

CHECKED BY: JI

DRAWN BY: GE, R

DATE: 12-23-2024

SHEET TITLE:

COVER SHEET

SHEET NO.:

G-001



APPROVED FOR COMPLIANCE

Case # _____ Project: _____

By: _____ Date: _____

These plans have been approved for compliance with the Town Code of Ordinance, UDO, and Standard Specifications & Construction Details, subject to statements & conditions hereby incorporated by reference.


**EROSION AND SEDIMENT CONTROL, STORMWATER
AND FLOODPLAIN MANAGEMENT
APPROVED**

EROSION CONTROL ☐ S-xxxx

STORMWATER MGMT. ☐ S-xxxx

FLOOD STUDY ☐ _____

DATE xx/xx/20

 **WAKE
COUNTY**

ENVIRONMENTAL CONSULTANT SIGNATURE

North Carolina 811
www.nc811.org
*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
<http://nc811.org/remoteticketentry.htm>

- a. THE MAXIMUM DEVELOPMENT DENSITY SHALL BE 2.1 DWELLING UNITS PER ACRE
- b. PERMITTED USES SHALL ONLY INCLUDE SINGLE FAMILY DETACHED DWELLINGS, TOWNHOUSES, NEIGHBORHOOD RECREATION CENTER, OPEN SPACE, GREENWAY, AND ASSOCIATED ACCESSORY USES
- c. TOTAL NUMBER OF DWELLING UNITS ON THE SUBJECT PROPERTY SHALL NOT EXCEED 550, AND NOT MORE THAN 95 OF THESE DWELLING UNITS ARE PERMITTED TO BE TOWNHOMES.
- d. THE MINIMUM LOT SIZE FOR SINGLE FAMILY DETACHED DWELLINGS SHALL BE 6,000 SQUARE FEET, WITH A MINIMUM LOT WIDTH OF 50'.
- e. DEVELOPMENT OF THE SUBJECT PROPERTY SHALL INCLUDE 250% OF THE UDO REQUIRED OPEN SPACE, AS SUCH REQUIREMENTS EXIST AS OF THE DATE OF THIS ZONING.
- f. A TYPE A BUFFER (WITH BERM, IF PERMITTED) WILL BE INSTALLED AND MAINTAINED ALONG THE SUBJECT PROPERTY'S FRONTAGE ALONG ROLESVILLE ROAD.
- g. UP TO 460' OF PRIVACY FENCE AND UP TO 400' OF TYPE A BUFFER SHALL BE INSTALLED AND MAINTAINED ALONG THE COMMON PROPERTY LINE OF THE STALLINGS PROPERTY (WAKE COUNTY PIN 1768-30-6321) ON BOTH SIDES OF DRESDEN DRIVE AND ALONG THE EXISTING POND DAM. THE FENCE WITHIN THE POND AREA SHALL BE PLACED SO THAT THERE IS NO IMPACT TO THE EXISTING STATE MANDATED BUFFER.
- h. THE EXISTING DRIVEWAY THROUGH THE SUBJECT PROPERTY (FROM ROLESVILLE ROAD) THAT SERVES AS ACCESS FOR THE STALLINGS TRACT (WAKE COUNTY PIN 1768-30-6321) AND WOOLFIELD TRACT (1768-30-8414) SHALL BE REALIGNED BY THE DEVELOPER TO ALLOW CONNECTION, AND AT NO TIME SHALL ACCESS TO THOSE PROPERTIES BE BLOCKED WITHOUT PROVIDING FOR ANOTHER MEANS OF INGRESS/EGRESS.
- i. ALL HOMES CONSTRUCTED ON THE PROPERTY SHALL INCLUDE EITHER CRAWL SPACE FOUNDATIONS OR STEM WALL FOUNDATIONS. ANY STEM WALL FOUNDATIONS SHALL HAVE A BRICK VENEER AROUND THE FULL PERIMETER OF THE HOUSE.
- j. TRANSPORTATION IMPROVEMENTS: TO ADDRESS TRANSPORTATION IMPACTS REASONABLY EXPECTED TO BE GENERATED BY THE DEVELOPMENT, PRIOR TO REQUEST FOR THE FIRST BUILDING PERMIT FOR THE PROPERTY, THE FOLLOWING IMPROVEMENTS SHALL BE CONSTRUCTED AND INSTALLED AS RECOMMENDED BY THE KALAS/WATKINS FAMILY PROJECT/TIA DATED AUGUST 24, 2019, ON FILE WITH THE TOWN OF ROLESVILLE: ROLESVILLE ROAD AT SITE DRIVEWAY A:
 - i. CONSTRUCT DRIVEWAY A AS A FULL-MOVEMENT ACCESS POINT ONTO ROLESVILLE ROAD WITH ONE INGRESS LANE AND ONE EGRESS LANE;
 - ii. CONSTRUCT AN EXCLUSIVE EASTBOUND RIGHT-TURN LANE WITH 100 FEET OF FULL- WIDTH STORAGE AND APPROPRIATE TAPES ON DRIVEWAY A;
 - iii. CONSTRUCT AN EXCLUSIVE NORTHBOUND LEFT-TURN LANE WITH 100 FEET OF FULL- WIDTH STORAGE AND APPROPRIATE TAPER ON ROLESVILLE ROAD; AND
 - iv. CONSTRUCT AN EXCLUSIVE SOUTHBOUND RIGHT-TURN LANE WITH 100 FEET OF FULL-WIDTH STORAGE AND APPROPRIATE TAPER ON ROLESVILLE ROAD.

3. TRANSPORTATION IMPROVEMENTS: TO ADDRESS TRANSPORTATION IMPACTS REASONABLY EXPECTED TO BE GENERATED BY THE DEVELOPMENT, PRIOR TO REQUEST FOR THE FIRST BUILDING PERMIT FOR THE PROPERTY, THE FOLLOWING IMPROVEMENTS SHALL BE CONSTRUCTED AND INSTALLED AS RECOMMENDED BY THE KALAS/WATKINS FAMILY PROPERTY TIA DATED AUGUST 24, 2019, ON FILE WITH THE TOWN OF ROLESVILLE: ROLESVILLE ROAD AT SITE DRIVEWAY B:

- i. CONSTRUCT DRIVEWAY B AS A FULL-MOVEMENT ACCESS POINT ONTO ROLESVILLE ROAD WITH ONE INGRESS LANE AND ONE EGRESS LANE;
- ii. CONSTRUCT AN EXCLUSIVE NORTHBOUND LEFT-TURN LANE WITH 100 FEET OF FULL- WIDTH STORAGE AND APPROPRIATE TAPER ON ROLESVILLE ROAD; AND
- iii. CONSTRUCT AN EXCLUSIVE SOUTHBOUND RIGHT-TURN LANE WITH 50 FEET OF FULL- WIDTH STORAGE AND APPROPRIATE TAPER ON ROLESVILLE ROAD.

TRANSPORTATION IMPROVEMENTS: TO ADDRESS TRANSPORTATION IMPACTS REASONABLY EXPECTED TO BE GENERATED BY THE DEVELOPMENT, PRIOR TO REQUEST FOR THE FIRST BUILDING PERMIT FOR THE PROPERTY, THE FOLLOWING IMPROVEMENTS SHALL BE CONSTRUCTED AND INSTALLED AS RECOMMENDED BY THE KALAS/WATKINS FAMILY PROPERTY TIA DATED AUGUST 24, 2019, ON FILE WITH THE TOWN OF ROLESVILLE: ROLESVILLE ROAD AT SITE DRIVEWAY C:

- i. CONSTRUCT DRIVEWAY C AS A FULL-MOVEMENT ACCESS POINT ONTO ROLESVILLE ROAD WITH ONE INGRESS LANE AND ONE EGRESS LANE;
- ii. CONSTRUCT AN EXCLUSIVE EASTBOUND RIGHT-TURN LANE WITH 100 FEET OF FULL- WIDTH STORAGE AND APPROPRIATE TAPER ON DRIVEWAY C;
- iii. CONSTRUCT AN EXCLUSIVE NORTHBOUND LEFT-TURN LANE WITH 100 FEET OF FULL- WIDTH STORAGE AND APPROPRIATE TAPER ON ROLESVILLE ROAD; AND
- iv. CONSTRUCT AN EXCLUSIVE SOUTHBOUND RIGHT-TURN LANE WITH 100 FEET OF FULL-WIDTH STORAGE AND APPROPRIATE TAPER ON ROLESVILLE ROAD.

m. TRANSPORTATION IMPROVEMENTS: TO ADDRESS TRANSPORTATION IMPACTS REASONABLY EXPECTED TO BE GENERATED BY THE DEVELOPMENT, THE PROPERTY OWNER OR DEVELOPER WILL PROVIDE FOR THE FOLLOWING IMPROVEMENT IN ACCORDANCE WITH AND SUBJECT TO THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) AND TOWN OF ROLESVILLE (TOWN) APPROVAL AND STANDARDS AND SPECIFICATIONS AS RECOMMENDED BY THE KALAS/WATKINS FAMILY PROPERTY TIA DATED AUGUST 24, 2019, ON FILE WITH THE TOWN OF ROLESVILLE IN ACCORDANCE WITH THE FOLLOWING:

ROLESVILLE ROAD AT MITCHELL MILL ROAD

- i. THE TOWN MAY PROVIDE A FULL SIGNAL WARRANT ANALYSIS ("TOWN WARRANT ANALYSIS") PRIOR TO APPROVAL OF THE PLAT CONTAINING THE 100' LOT TO BE DEVELOPED UNDER THE SUBJECT PROPERTY. IF A SIGNAL IS WARRANTED AS PART OF THE TOWN WARRANT ANALYSIS, TRAFFIC SIGNAL EASEMENTS TO ACCOMMODATE TRAFFIC SIGNAL EQUIPMENT SHALL BE PROVIDED BY THE OWNER OR DEVELOPER TO THE

EXTENT SUCH PROPERTY IS OWNED AND CONTROLLED BY THE OWNER OR DEVELOPER AND, WITHIN 12 MONTHS OF BEING WARRANTED AND APPROVED BY THE TOWN OF ROLEVILLE AND THE NCODT, THE PROPERTY OWNER OR DEVELOPER SHALL DESIGN, CONSTRUCT AND INSTALL A TRAFFIC SIGNAL SUBJECT TO FINAL APPROVAL BY THE TOWN OF ROLEVILLE AND THE NCODT.

IF THE SIGNAL IS NOT WARRANTED BY THE TOWN WARRANT ANALYSIS, THE OWNER OR DEVELOPER SHALL PROVIDE A FULL SIGNAL WARRANT ANALYSIS ("OWNER WARRANT ANALYSIS") PRIOR TO APPROVAL OF THE PLAT CONTAINING THE 300' LOT TO BE DEVELOPED UPON THE SUBJECT PROPERTY. IF A SIGNAL IS WARRANTED AS PART OF THE OWNER WARRANT ANALYSIS, TRAFFIC SIGNAL EASEMENTS TO ACCOMMODATE TRAFFIC SIGNAL EQUIPMENT SHALL BE PROVIDED BY THE OWNER OR DEVELOPER TO THE EXTENT SUCH PROPERTY IS OWNED AND CONTROLLED BY THE OWNER OR DEVELOPER AND, WITHIN 12 MONTHS OF BEING WARRANTED AND APPROVED BY THE TOWN OF ROLEVILLE AND THE NCODT, THE PROPERTY OWNER OR DEVELOPER SHALL DESIGN, CONSTRUCT AND INSTALL A TRAFFIC SIGNAL SUBJECT TO FINAL APPROVAL BY THE TOWN OF ROLEVILLE AND THE NCODT.

IF THE SIGNAL IS NOT WARRANTED BY THE OWNER WARRANT ANALYSIS, THE TOWN MAY PROVIDE A FINAL FULL SIGNAL WARRANT ANALYSIS ("FINAL WARRANT ANALYSIS") PRIOR TO APPROVAL OF THE PLAT CONTAINING THE 300' LOT TO BE DEVELOPED UPON THE SUBJECT PROPERTY. IF A SIGNAL IS WARRANTED AS PART OF THE FINAL WARRANT ANALYSIS, TRAFFIC SIGNAL EASEMENTS TO ACCOMMODATE TRAFFIC SIGNAL EQUIPMENT SHALL BE PROVIDED BY THE OWNER OR DEVELOPER TO THE EXTENT SUCH PROPERTY IS OWNED AND CONTROLLED BY THE OWNER OR DEVELOPER AND, WITHIN 12 MONTHS OF BEING WARRANTED AND APPROVED BY THE TOWN OF ROLEVILLE AND THE NCODT, THE PROPERTY OWNER OR DEVELOPER SHALL DESIGN, CONSTRUCT AND INSTALL A TRAFFIC SIGNAL SUBJECT TO FINAL APPROVAL BY THE TOWN OF ROLEVILLE AND THE NCODT.

ALL TRAFFIC SIGNALS TO BE INSTALLED SHALL BE CONSTRUCTED WITH STEEL POLES WITH MAST ARMS APPROVED BY THE TOWN AND NCODT.

TO ADDRESS CONCERNS RELATED TO THE TIMING OF FUTURE ROLEVILLE ROAD WIDENING, SPECIFICALLY AS IT RELATES TO THAT PORTION OF ROLEVILLE ROAD FRONTAGE BETWEEN THE NORTHERN AND SOUTHERN BOUNDARIES OF THE SUBJECT PROPERTY THAT IS NOT PART OF THIS APPLICATION (THE "ROLEVILLE ROAD RIGHT-OF-WAY GAP"), THE DEVELOPER SHALL WIDEN THE ROLEVILLE ROAD RIGHT-OF-WAY GAP TO ONE-HALF OF ITS ULTIMATE SECTION. DEVELOPER'S OBLIGATIONS HEREUNDER ARE SUBJECT TO NCODT APPROVAL, AND THERE BEING SUFFICIENT RIGHT-OF-WAY (AND ASSOCIATED EASEMENTS) FOR SUCH IMPROVEMENTS AT THE TIME THE DEVELOPER IS PERFORMING ITS OTHER ROADWAY WIDENING OBLIGATIONS FOR THE SUBJECT PROPERTY.

ALL ZONING CONDITIONS ATTACHED TO THE RESIDENTIAL PLANNED UNIT DEVELOPMENT CONDITIONAL USE ZONING DISTRICT (R&PUD-CZ) AS APPROVED BY CASE: MA 19-02 SHALL COMPLY WITH THE PUD MASTER PLAN.

i. WITH RESPECT TO THE ZONING CONDITION RELATED TO THE TRAFFIC SIGNAL, IF A SIGNAL IS FOUND TO BE WARRANTED BUT THE TOWN DESIRES A ROUNDABOUT OR TRAFFIC FACILITY OTHER THAN A SIGNAL TO ADDRESS THE INTERSECTION AT MITCHELL MILL ROAD AND ROLESVILLE ROAD, THE DEVELOPER AGREES TO CONTRIBUTE A PAYMENT-IN-LIEU EQUAL TO THE COST OF CONSTRUCTION OF THE SIGNAL TO THE TOWN FOR THE ALTERNATE TRAFFIC FACILITY. THE TOWN'S ACCEPTANCE OF SUCH PAYMENT-IN-LIEU SHALL BE DEEMED A COMPLETE SATISFACTION OF THE ZONING CONDITION RELATED TO THE TRAFFIC SIGNAL.

b. THE OWNER /DEVELOPER RESERVES THE RIGHT TO DRAIN THE EXISTING PONDS ON THE PROPERTY IF IT IS DETERMINED THAT REPAIR OR RECONSTRUCTION ARE NOT FEASIBLE OF ANY OF THE PONDS OR WILL BE UNSAFE FOR THE SURROUNDING AREA.

c. TO THE EXTENT POSSIBLE, THE DEVELOPER SHALL STRIPE ON-STREET PARKING SPACES WITHIN THE PUBLIC RIGHT-OF-WAY TO ALLOW FOR CONVENIENT ACCESS TO THE PUBLIC GREEN WAY.

- a. GENERAL ARCHITECTURAL REQUIREMENTS OF THE NEIGHBORHOOD WILL BE GOVERNED BY RECORDED CONDITIONS, COVENANTS AND RESTRICTIONS. THE DEVELOPER SHALL SUBMIT A COPY OF THE CONDITIONS, COVENANTS AND RESTRICTIONS TO THE TOWN OF ROSELVILLE TO ALLOW THE TOWN ATTORNEY TO REVIEW THEM BEFORE RECORDATION.
- b. ALL REQUIRED OPEN SPACE AND DRAINAGE EASEMENTS WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, WITH THE EXCEPTION OF THE PUBLIC GREENWAY.
- c. IF UNMARKED HUMAN BURIALS OR HUMAN SKELETAL REMAINS ARE ENCOUNTERED AS A RESULT OF OBSTRUCTION OR AGRICULTURAL ACTIVITIES, DISTURBANCE OF THE REMAINS SHALL CEASE IMMEDIATELY AND SHALL NOT RESUME WITHOUT AUTHORIZATION FROM EITHER THE TOWN CUMULICAL EXAMINER OR THE STATE ARCHAEOLOGIST.
- d. AT NO TIME SHALL DEVELOPMENT ACTIVITIES EXCEED THE NOISE STANDARDS SET FOR THE IN ROSELVILLE TOWN CODE

1. SEE SHEET CV100 FOR PROPERTY LINE INFORMATION FOR EXISTING PARCEL

OF ORDINANCES CHAPTER 130.

SUBJECT TO THE APPROVAL OF THE UNITED STATES POSTAL SERVICE THE DEVELOPER SHALL PROVIDE AT LEAST TWO MAIL KIOSKS SEPARATED BY AT LEAST 500 LINEAR FEET WITHIN THE SUBDIVISION FOR MAIL SERVICE.

PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT FOR ANY PARTICULAR PHASE OF THE DEVELOPMENT, ALL GREENWAYS IN THAT PHASE SHALL BE COMPLETED INCLUDING DEDICATION OF A THIRTY-FOOT PUBLIC GREENWAY EASEMENT, CONSTRUCTION OF TEN-FOOT PAVED TRAILS AND ALL APPLICABLE SIGNAGE. ONCE COMPLETED TO THE TOWN'S SATISFACTION THE TOWN WILL ACCEPT OWNERSHIP AND MAINTENANCE OF THE PUBLIC GREENWAY. THIS CONDITION MAY BE SATISFIED BY POSTING A SURETY IN THE AMOUNT OF 125% COST OF THE INFRASTRUCTURE IMPROVEMENT BEING DEFERRED.

SIDEWALKS TO RESIDENCES MAY EXTEND FROM THE RESIDENTIAL DRIVEWAYS OR FROM PUBLIC SIDEWALKS. IT IS NOT REQUIRED THAT RESIDENTIAL WALKS CONNECT TO PUBLIC SIDEWALKS.

ONSITE AMENITIES TO INCLUDE A COMMUNITY SWIMMING POOL AND PLAYGROUND AREA SHALL BE PROVIDED PRIOR TO THE ISSUANCE OF THE 50TH BUILDING PERMIT IN PHASE II. THE AMENITY SITE IS SUBJECT TO FURTHER REVIEW AND APPROVAL BY THE TOWN THROUGH THE SITE PLAN REVIEW PROCESS.

CUL-DE-SAC LENGTH MAY EXCEED 250' DUE TO TOPOGRAPHY AND STREAM BUFFERS OF THE SITE CONDITIONS.

GARAGES MAY FACE THE STREET.

TWO-CAR GARAGE DOORS MAY BE SINGLE OR DOUBLE.

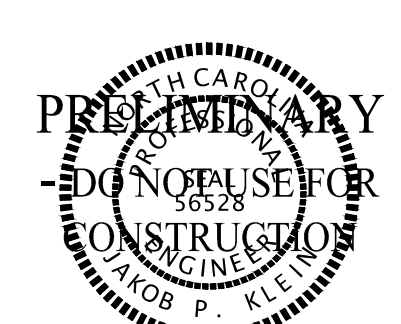
DEVELOPMENT IS NOT REQUIRED TO BE IN SEQUENTIAL PHASES.

BECAUSE OF EXISTING DIFFICULT TOPOGRAPHY OF THE SITE, ALLEYS ARE NOT REQUIRED TO SERVE EVERY DWELLING.

a. CONDITIONS (A) THROUGH (H) IN PARAGRAPH 2, CONDITION FOR SINGLE-FAMILY RESIDENTIAL SHALL ALSO APPLY TO TOWNHOUSE DEVELOPMENT.

b. IF PRIVATE STREETS ARE APPROVED WITH THE TOWNHOUSE SITE PLAN, THEN THE FRONT FACADE OF A TOWNHOUSE

OR A TOWNHOUSE GARAGE MAY BE SET BACK EIGHTEEN FEET (18') FROM THE BACK OF CURB.
TOWNHOUSE STRUCTURE MAY EXCEED SIX UNITS.
LEAST ONE VOLLEYBALL COURT SHALL BE BUILT AT THE SAME TIME THAT THE PUBLIC GREENWAY IS CONSTRUCTED.
THE BACK OF A TOWNHOUSE STRUCTURE SHALL NOT BE CLOSER THAN 25' TO ANOTHER TOWNHOUSE STRUCTURE.
THE SETBACKS BETWEEN STRUCTURES SHALL BE NO LESS THAN 16'.
GARAGES AND GARAGE DOORS MAY BE SINGLE OR DOUBLE.

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KALAS FALLS
PHASE 5
CONSTRUCTION DOCUMENTS

TOWN OF ROLESVILLE,
WAKE COUNTY, NC

JOB NUMBER:	R18011
CHECKED BY:	J
DRAWN BY:	GE, R
DATE:	12-23-202
SHEET TITLE:	

SHEET NO.:
G-002



Lots Areas		Lots Areas		Lots Areas		Lots Areas		Lots Areas	
Parcel No.	Area (sf)	Parcel No.	Area (sf)	Parcel No.	Area (sf)	Parcel No.	Area (sf)	Parcel No.	Area (sf)
1	2967	21	2762	41	2670	61	2482	81	2897
2	2404	22	2763	42	2739	62	2976	82	2398
3	2524	23	2287	43	2738	63	2907	83	2398
4	2947	24	2288	44	2670	64	2407	84	2398
5	2402	25	2288	45	3034	65	2407	85	2398
6	2427	26	2288	46	2898	66	2407	86	2897
7	2507	27	2766	47	2403	67	2407	87	2904
8	2644	28	2763	48	2407	68	2908	88	2412
9	3467	29	2285	49	2412	69	2900	89	2421
10	3036	30	2304	50	2416	70	2400	90	2429
11	2424	31	2378	51	2925	71	2405	91	2437
12	2402	32	2514	52	2905	72	2423	92	2924
13	2435	33	3314	53	2411	73	2455	93	2968
14	2524	34	2900	54	2417	74	3028	94	2469
15	3250	35	2400	55	2423	75	2956	95	2923
16	2813	36	2400	56	2425	76	2416		
17	2287	37	2400	57	2916	77	2402		
18	2285	38	2400	58	2952	78	2402		
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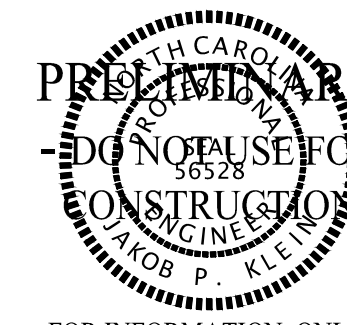
PRELIMINARY
- DO NOT USE FOR
CONSTRUCTION

JOB NUMBER:	R180115
CHECKED BY:	JK
DRAWN BY:	GE, RC
DATE:	12-23-2024
SHEET TITLE:	
LOT AREAS AND OPEN SPACE PLAN	
SHEET NO.:	
G-003	

North Carolina 811
www.nc.811.org

*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
<http://nc811.org/remoteticketentry.htm>





FOR INFORMATION, ONLY

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AND MAY BE CONTRARY TO THE LAW.

KALAS FALLS
PHASE 5
CONSTRUCTION DOCUMENTS
TOWN OF ROLESVILLE,

JOB NUMBER: R180115

CHECKED BY: JK

DRAWN BY: GE, RC

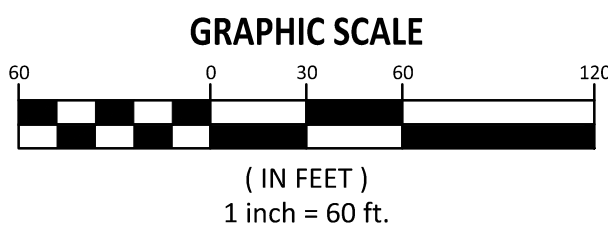
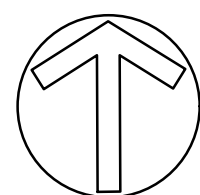
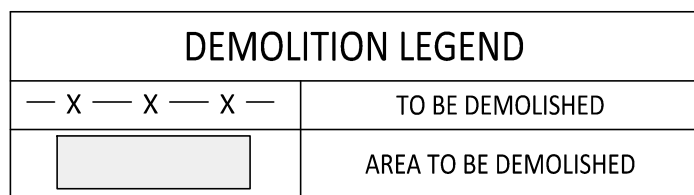
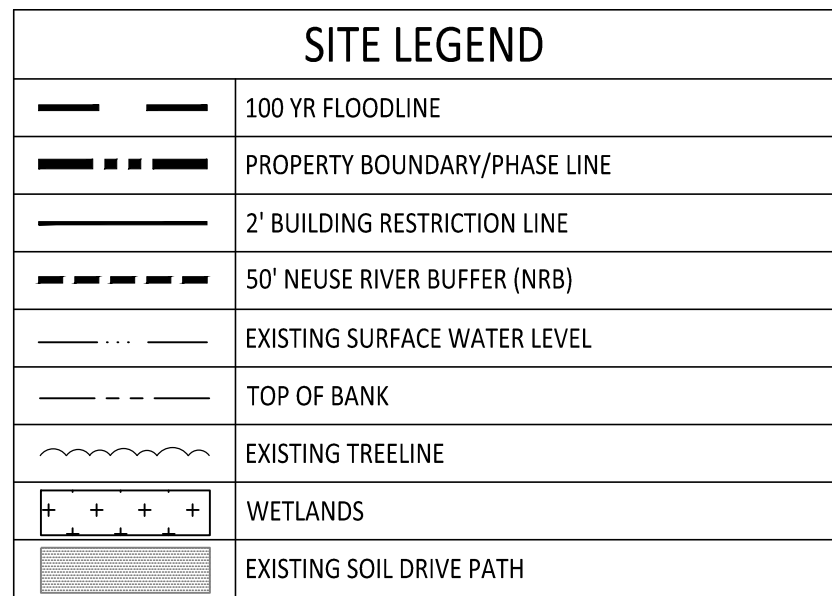
DATE: 12-23-2024

SHEET TITLE:

DEMOLITION PLAN

SHEET NO.:

CX100



NO.	DATE	REVISION:
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PHASE 5
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B NUMBER: R180115

CHECKED BY: JK

AWN BY: _____ GE, RC _____

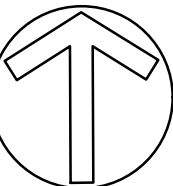
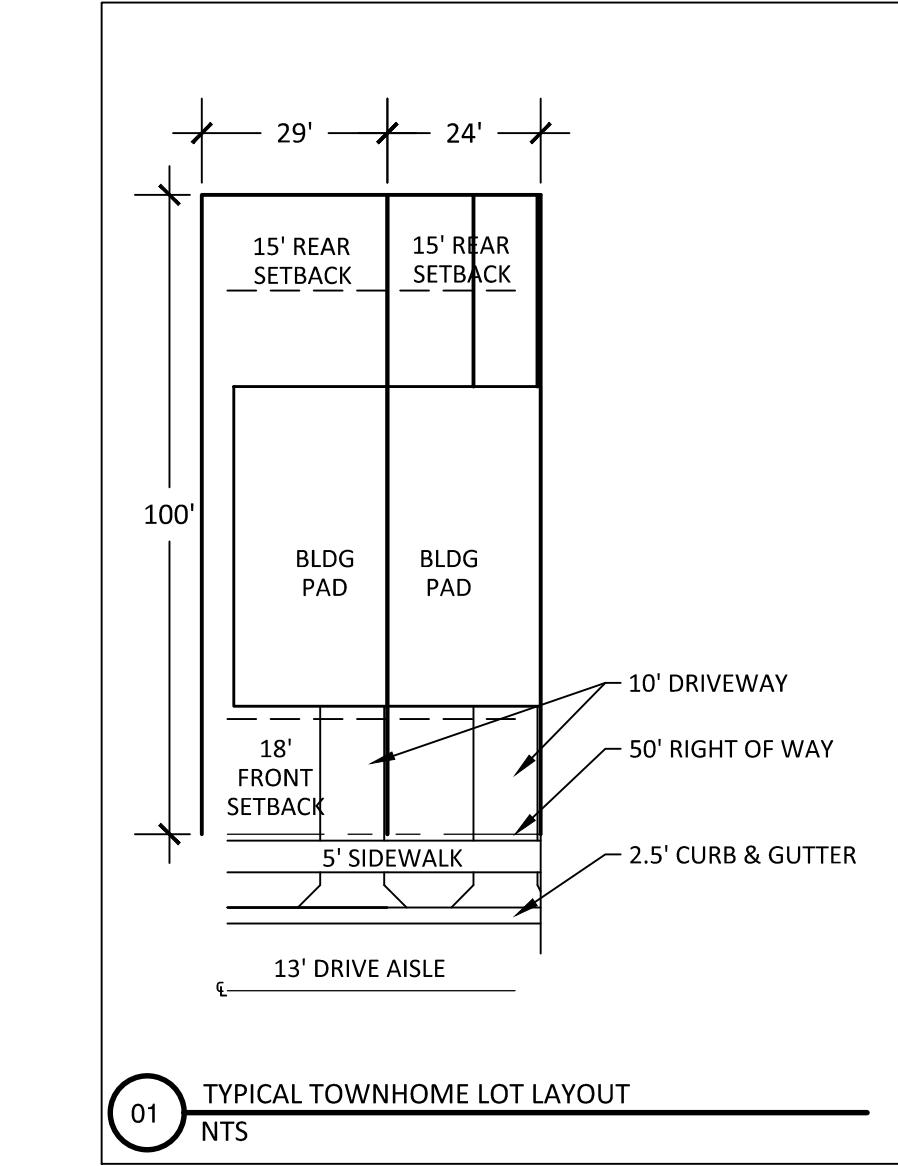
DATE: 12-23-2024

MEET TITLE:

OVERALL SITE PLAN

SHEET NO.:

CS100



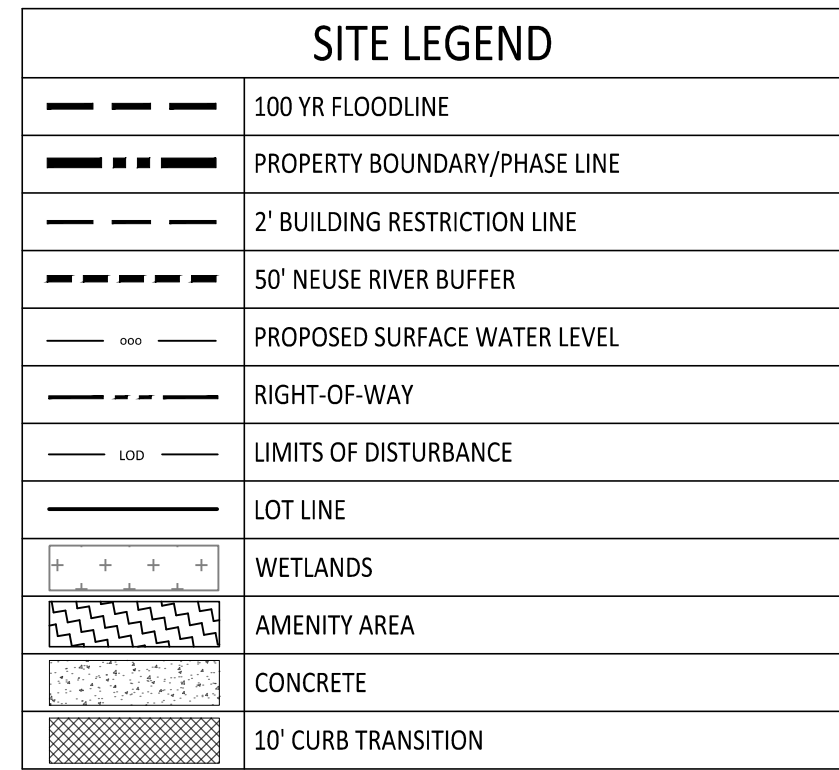
GRAPHIC SCALE



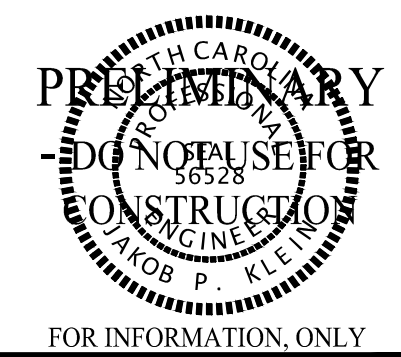
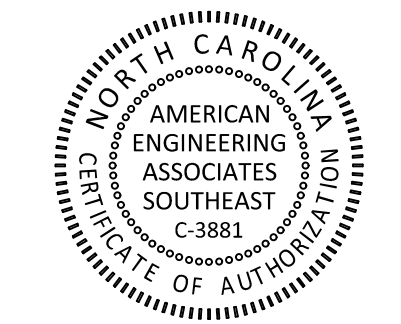
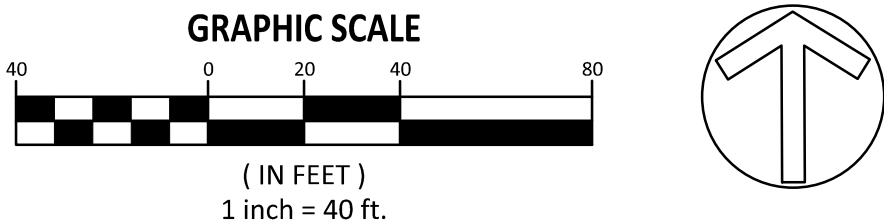
inch = 60 ft.



North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
<http://nc811.org/remoteticketentry.htm>



- NOTES:**
1. AMENITY SPACE SIGNIFIED ON THIS PLAN SHEET IS TO CONTAIN AT LEAST ONE (1) VOLLEYBALL COURT AS CONDITIONED IN SUP 19-01 DATED JANUARY 7, 2020. TO BE CONSTRUCTED AT THE SAME TIME AS THE PUBLIC GREENWAY.
 2. V-W IS VARIABLE WIDTH (APPLICABLE TO EASEMENTS)
 3. PAE IS PEDESTRIAN ACCESS EASEMENT
 4. TCE IS TEMPORARY CONSTRUCTION EASEMENT
 5. COR IS CITY OF RALEIGH

[illegible]

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KALAS FALLS
PHASE 5
CONSTRUCTION DOCUMENTS

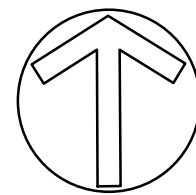
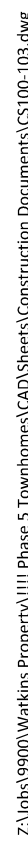
TOWN OF ROLESVILLE,
WAKE COUNTY, NC

JOB NUMBER:	R180115
CHECKED BY:	JK
DRAWN BY:	GE, RC
DATE:	12-23-2024

SITE PLAN AREA A

SHEET NO.:
CS401





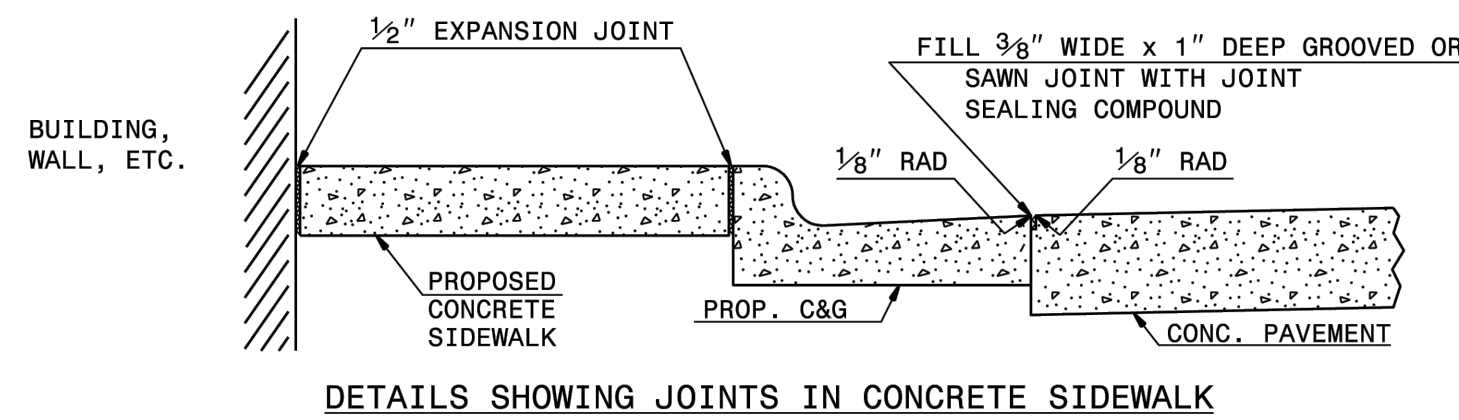
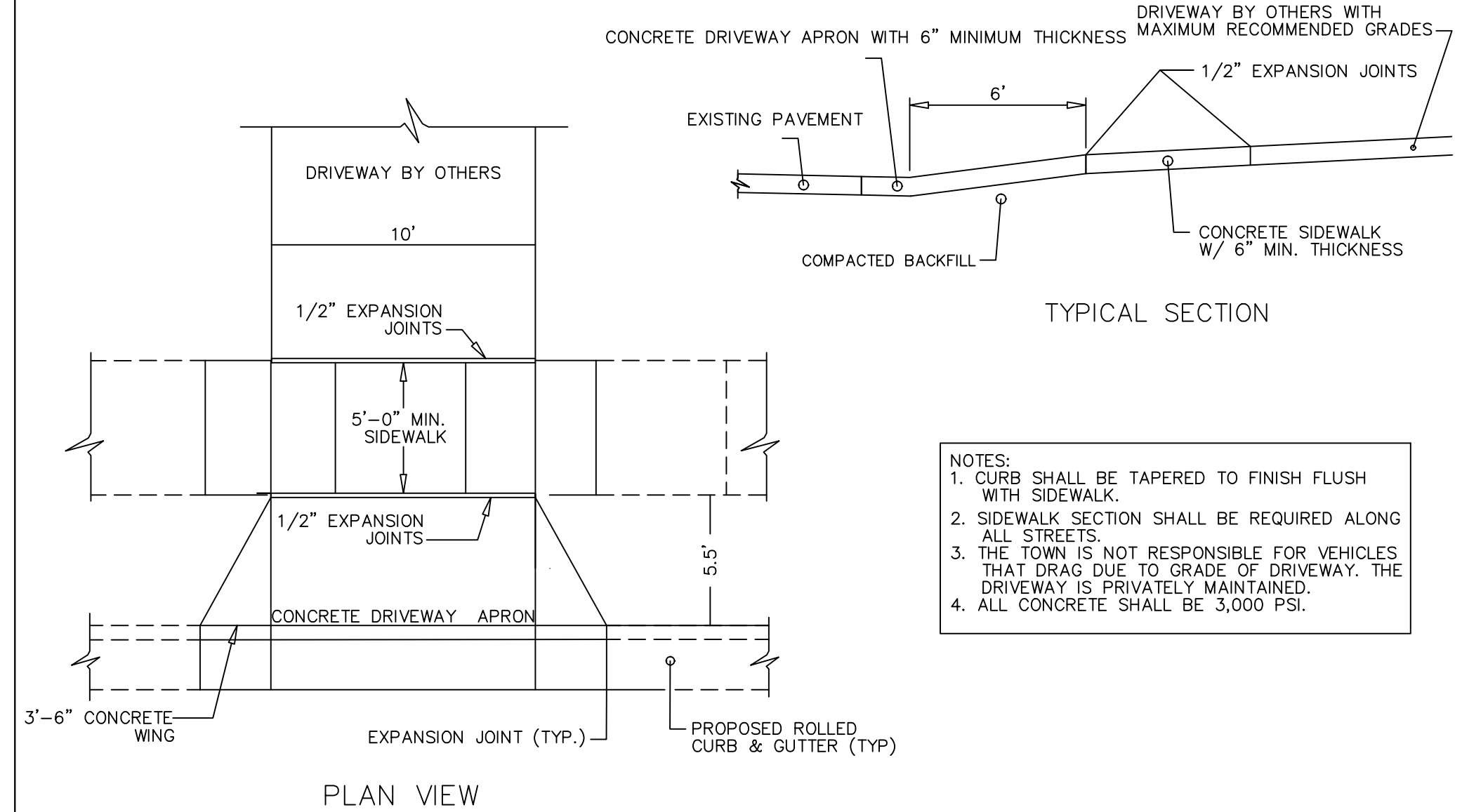
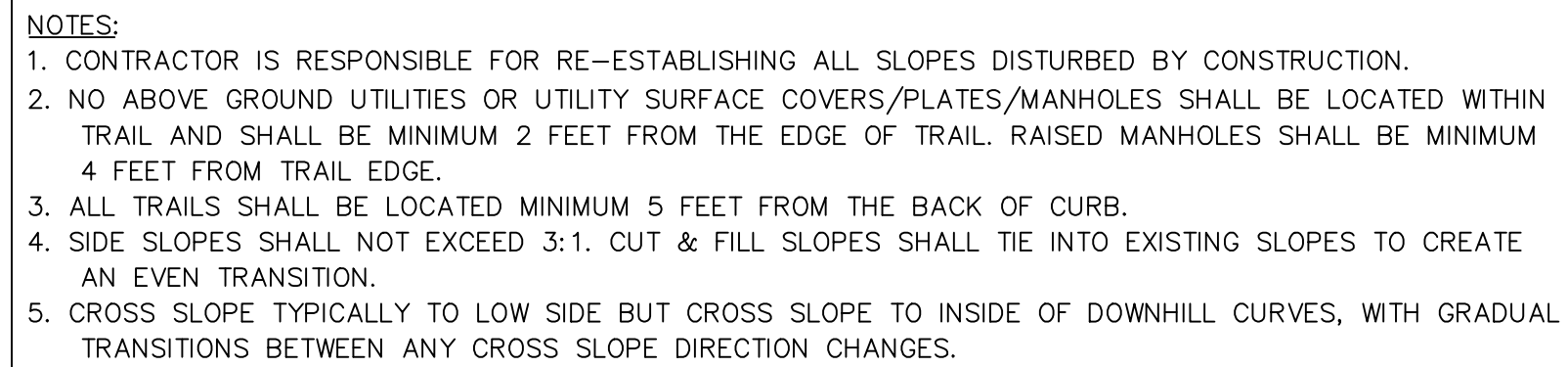
NOTES:

1. V-W IS VARIABLE WIDTH (APPLICABLE TO EASEMENTS)
2. PAE IS PEDESTRIAN ACCESS EASEMENT
3. COR IS CITY OF RALEIGH

North Carolina 811
www.nc811.org
*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
<http://nc811.org/remoteticketentry.htm>



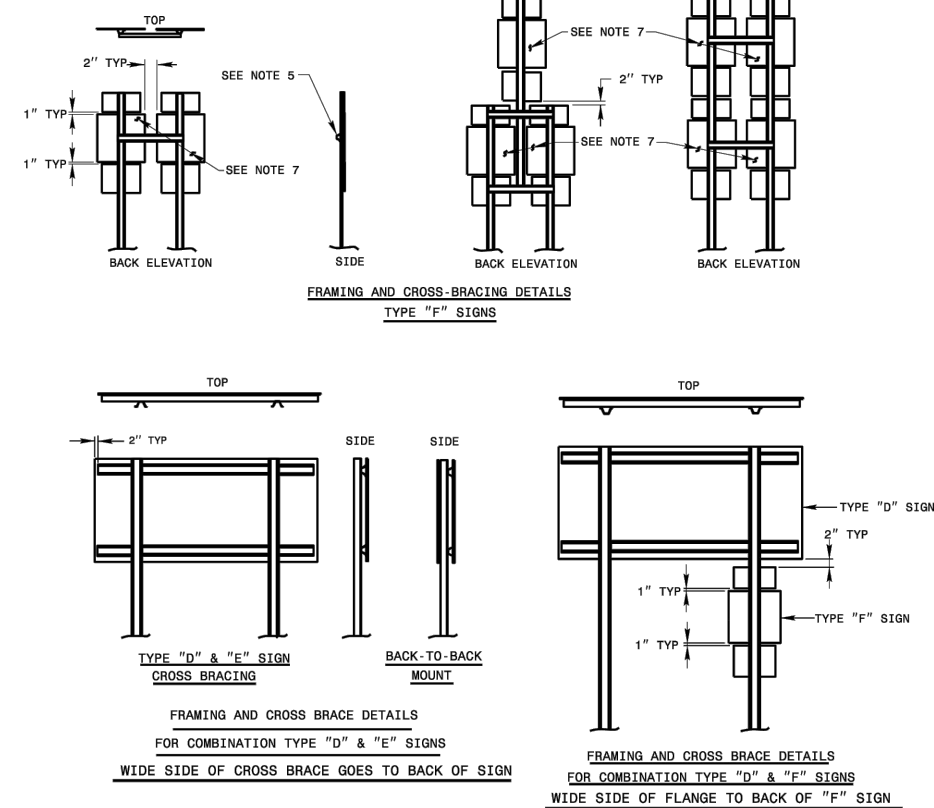
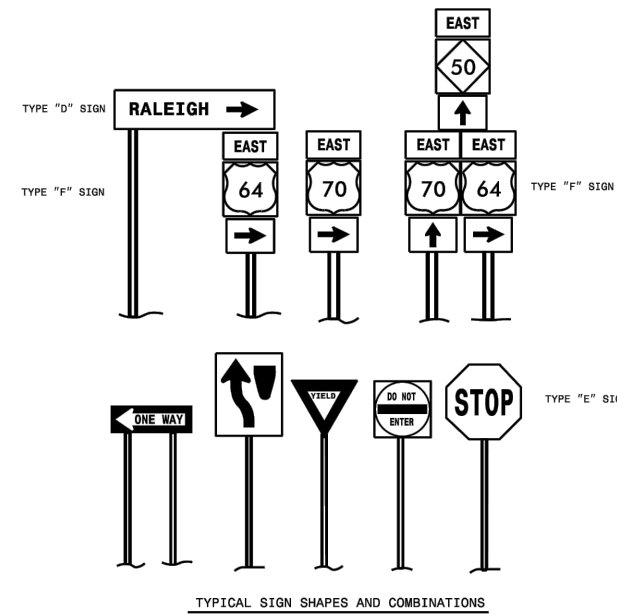
SHEET NO.:
CS110



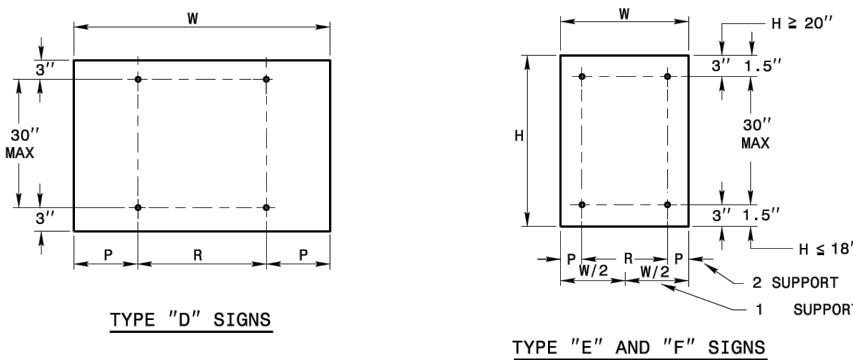
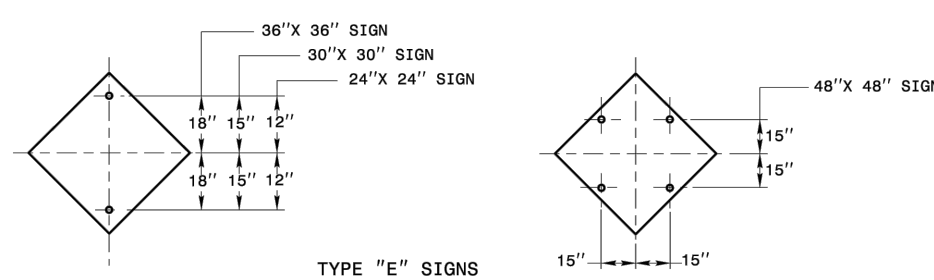
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STIPULATION FOR REUSE

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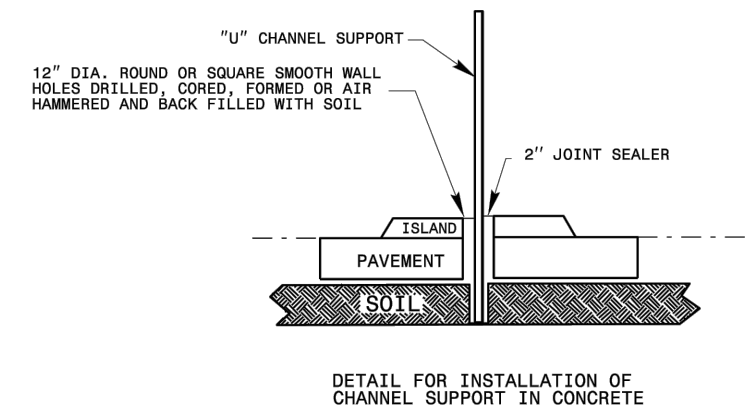
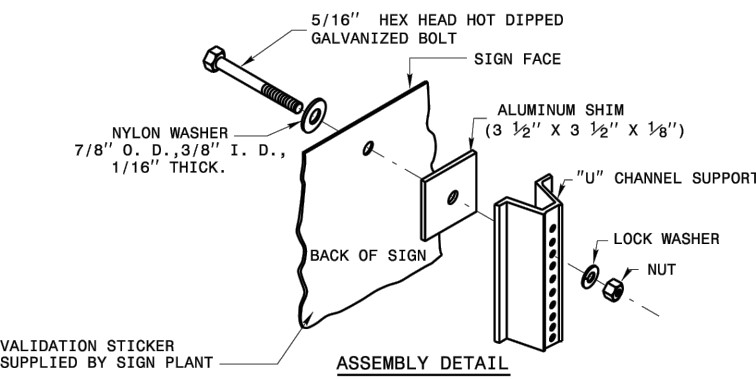
- [illegible]



	NO. SUPPORTS		
	2	3 *	4 *
P	.207W	.145W	.107W
R	.586W	.355W	.262W

* MINIMUM 4 FT. BETWEEN CHANNEL SUPPORTS

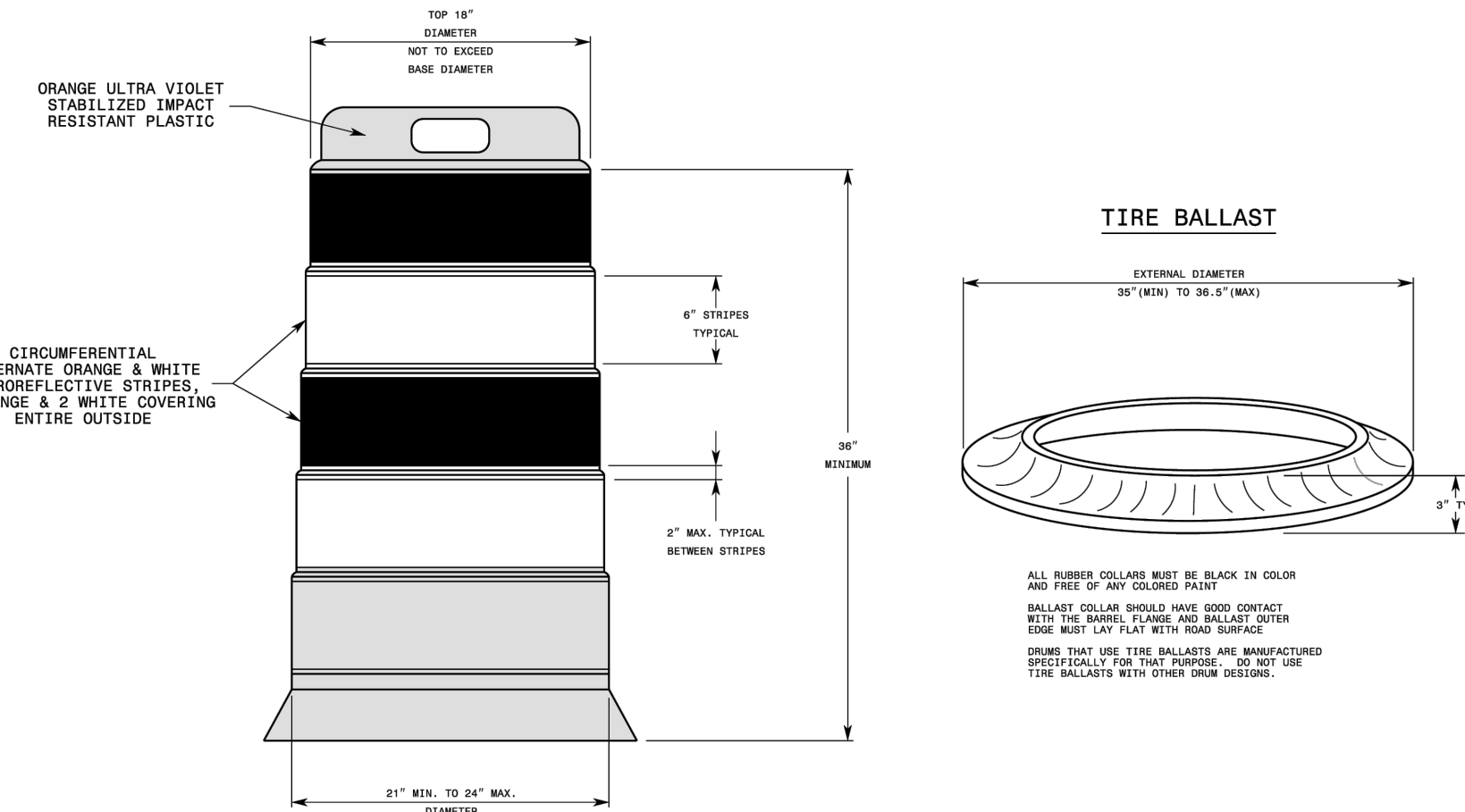
HOLE PUNCHING DETAIL



DETAIL FOR INSTALLATION OF
CHANNEL SUPPORT IN CONCRETE

ROADWAY STANDARD DRAWING FOR MOUNTING OF TYPE 'D', 'E' AND 'F' SIGNS ON 'U' CHANNEL SUPPORTS	1-24 STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
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SHEET 2 OF 2
904.50

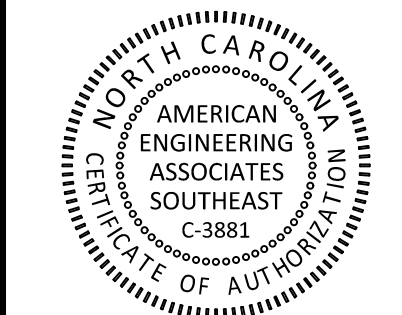


GENERAL NOTES

1. BALLASTING SHALL BE ACHIEVED BY THE SAND BAG, TIRE-SIDEWALL, OR PREFORMED WEIGHTED BASE METHODS. USE THE TIRE BALLAST AS SPECIFIED BY THE MANUFACTURER. DO NOT PLACE BALLAST ON TOP OF THE DIRM.
2. IF NECESSARY PLACE THE NAME OF THE AGENCY, CONTRACTOR, OR SUPPLIER ON NON-RETROREFLECTIVE DIRM SURFACES. SHOW THE LETTERS AND NUMBERS USING A NON-RETROREFLECTIVE COLOR AND NOT OVER 2" IN HEIGHT.
3. ALL DRUMS MUST BE LISTED ON THE DEPARTMENT'S APPROVED PRODUCT LIST.
4. REFER TO THE STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES FOR ADDITIONAL INFORMATION.

ROADWAY STANDARD DRAWING FOR	DRUMS	1-24	STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
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SHEET 1 OF 1
1130.0



FOR INFORMATION, ONLY

[illegible]

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KALAS FALLS
PHASE 5
CONSTRUCTION DOCUMENTS

TOWN OF ROLESVILLE,
WAKE COUNTY, NC

JOB NUMBER: R18011

CHECKED BY: _____

DRAWN BY: GE R

DATE: 12.22.2023

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SITE DETAILS

11 _____

SHEET NO.:

CS502

North Carolina 811
www.nc811.org
*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
<http://nc811.org/remoteticketentry.htm>

*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
<http://nc811.org/remoteticketentry.htm>

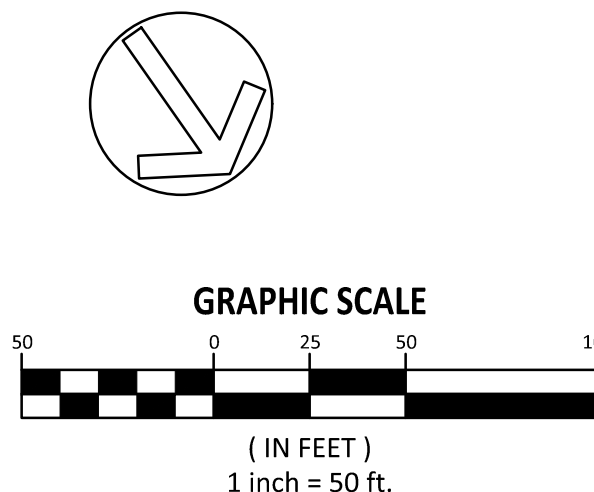
Public
Water Distribution / Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

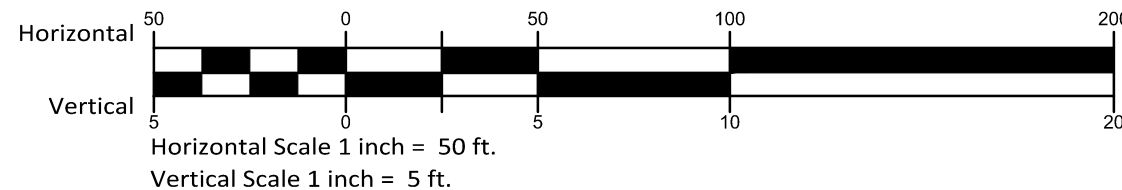
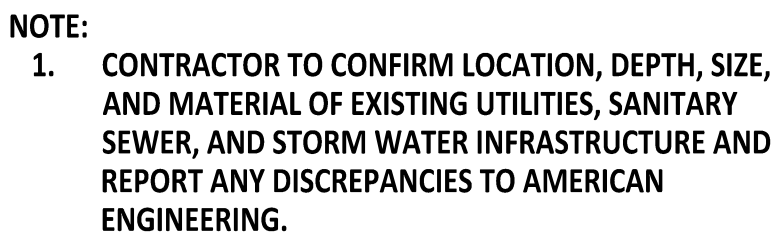
City of Raleigh
Public Utilities Department Permit #



FOR INFORMATION, ONLY



GRAYMONT OAKS DR. PLAN



KALAS FALLS
PHASE 5
CONSTRUCTION DOCUMENTS

TOWN OF ROLESVILLE,
WAKE COUNTY, NC

JOB NUMBER:	R180115
CHECKED BY:	JK
DRAWN BY:	GE, RO
DATE:	12-23-2024
SHEET TITLE:	

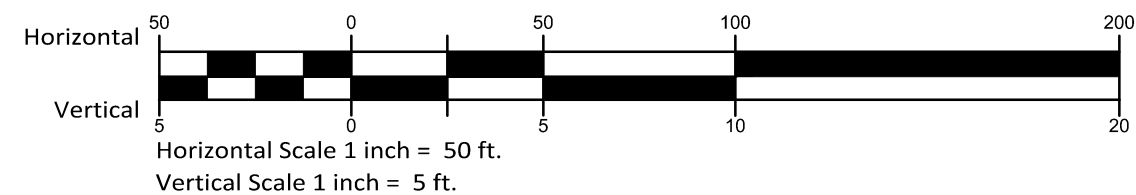
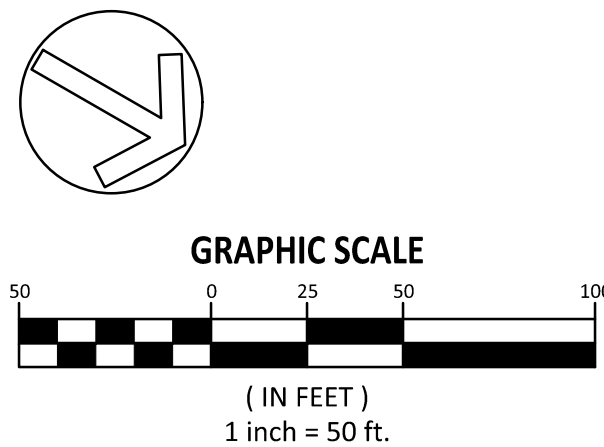
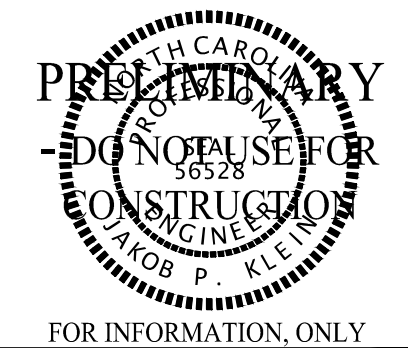
GRAYMONT OAKS DR. PLAN & PROFILE

SHEET NO.:
CT200

Public
Water Distribution / Extension System

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City of Raleigh
Public Utilities Department Permit # _____



North 811
Carolina
www.nc.811.org

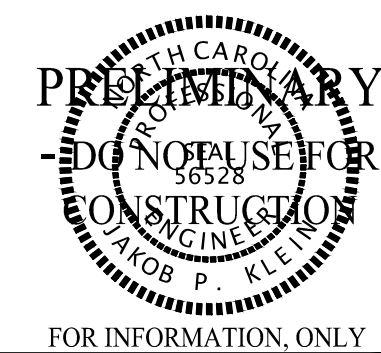
*** 3 Days Before Digging ***

North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
<http://nc811.org/remoteticketentry.htm>

SHEET NO.:
CT201

City of Raleigh
Public Utilities Department Permit #

City of Raleigh
Public Utilities Department Permit #



JOB NUMBER:	R180115
CHECKED BY:	JK
DRAWN BY:	GE, RC
DATE:	12-23-2024

SHEET NO.:
CT202

ATTENTION CONTRACTORS

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Inspector at 919-996-3245 or <https://cityworks.raleighnc.gov/pucontractors/New> and schedule a Pre-construction meeting prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify the Divisions in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

Public

Sewer Collection / Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit #

Public













Water Distribution / Extension System

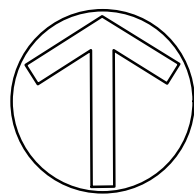
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit #

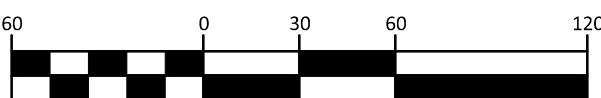
STANDARD CITY OF RALEIGH UTILITY NOTES

1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
2. Utility separation requirements:
 - a) A Distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to wateline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - c) Where it is possible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to wateline specifications.
 - d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved specify DIP materials & a concrete grade having 6" min. clearance (per CORPUD details W- 41 & S-49).
 - f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
4. Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
5. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
6. SEWER BYPASS PUMPING - A bypass plan sealed by an NC Professional Engineer shall be provided to Raleigh Water prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook.
7. 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
8. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
9. Install 3/4" copper* water services with meters located at ROW or within a 2x2' Wateline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
10. Inspections of 4" and larger water mains of the private distribution system will be inspected as part of the infrastructure permit.
11. Private sewer mains as part of a collection system are permitted and inspected under the private Infrastructure permit for sewer.
12. Any water or sewer services on private property that will be installed under Construction Drawings may require a Plumbing Utility Permit in the City of Raleigh. Consult with the Engineering Inspection Coordinator during the pre-construction meeting on the necessary permits.
13. Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
14. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
15. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
16. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
17. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FOG Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 996-4516 or fog@raleighnc.gov for more information.
18. Cross-connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.
19. The devices shall meet the American Society of Sanitary Engineering (ASSE) standards and be on the University of Southern California approval list.
20. The device and installation shall meet the guidelines of Appendix A - Guidelines and Requirements for the Cross Connection Program in Raleigh's Service Area.
21. The devices shall be installed and tested (both, initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact Cross_connection@raleighnc.gov for more information.
22. NOTICE for projects that involve an oversized main or urban main replacement. Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.
23. Private sub-metering - No resale of water shall occur without approval of the North Carolina Utility Commission. Sub-metering shall be in accordance with Section 1400 of the "SAFE DRINKING WATER ACT".

SITE LEGEND	
	100 YR FLOODLINE
	PROPERTY BOUNDARY/PHASE LINE
	2' BUILDING RESTRICTION LINE
	50' NEUSE RIVER BUFFER
	PROPOSED SURFACE WATER LEVEL
	RIGHT-OF-WAY
	LIMITS OF DISTURBANCE
	LOT LINE
	WETLANDS
	AMENITY AREA
	CONCRETE
	10' CURB TRANSITION



GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.



*** 3 Days Before Digging ***
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Remote Ticket Entry
[p://nc811.org/remoteticketentry.htm](http://nc811.org/remoteticketentry.htm)



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KALAS FALLS
PHASE 5
CONSTRUCTION DOCUMENTS

TOWN OF ROLESVILLE,
WAKE COUNTY, NC

JOB NUMBER: R180115

CHECKED BY: JK

DRAWN BY: GE, RC

DATE: 12-23-2024

SHEET TITLE:

10. *Journal of the American Medical Association*, 2000; 283: 2689-2694.

UTILITY PLAN

OVERALL

OVERALL

1. *Journal of Management Studies*, 1997, 34, 1, 1-14.

SHEET NO.:

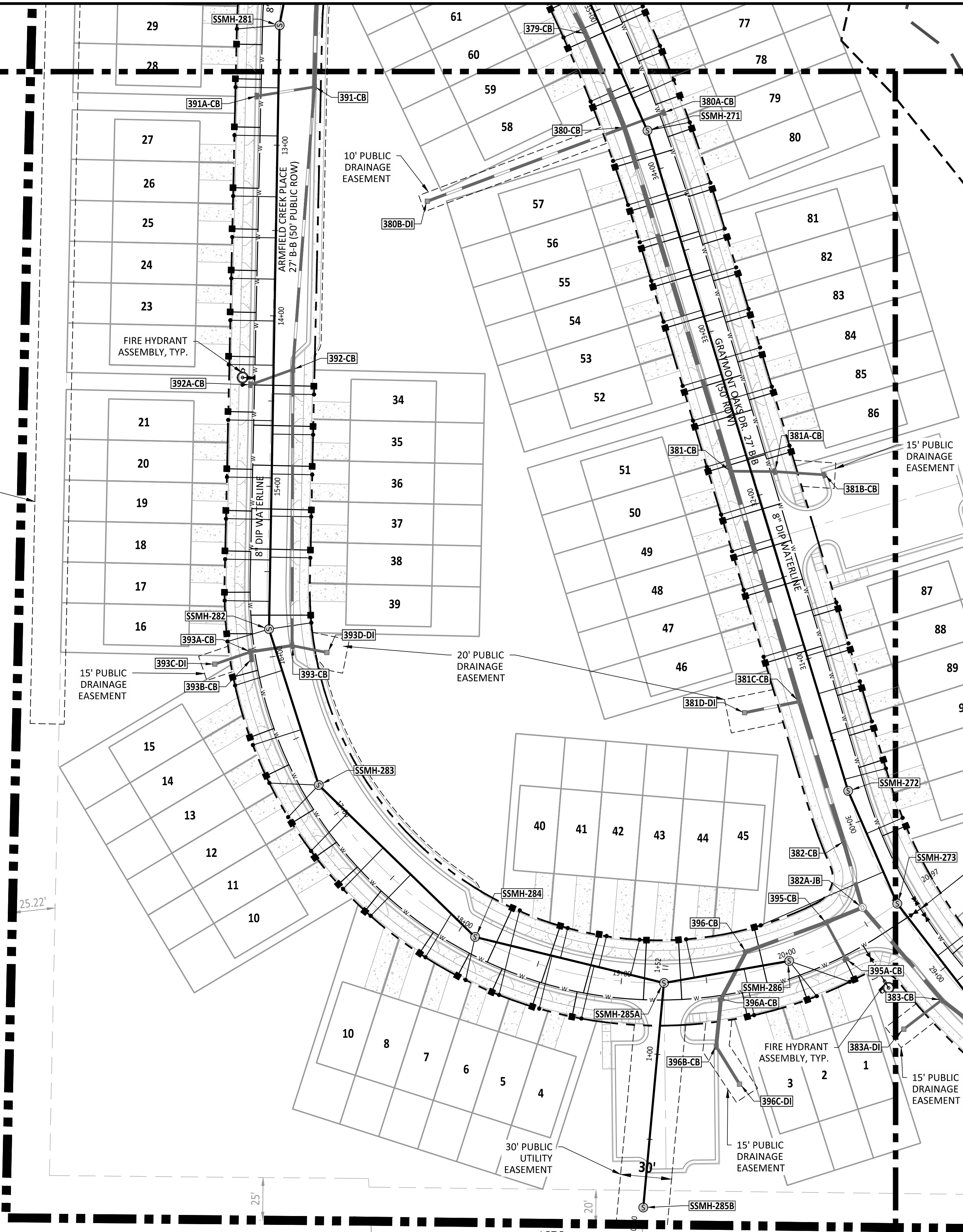
SHEET NO.: **CH-100**

CU100

AREA A

AREA B

20' PUBLIC
DRAINAGE
EASEMENT



ANNIE H. MOODY
ZONING: R-30
D.B. 3750, PG. 587
B.M. 1986, PG. 862
PIN NO. 1767.01-06-9438

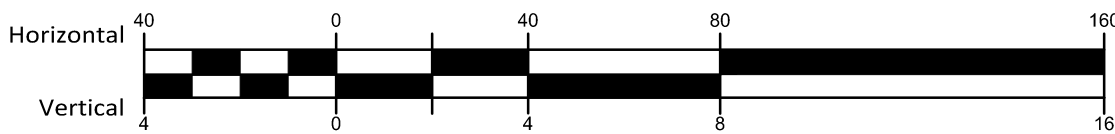
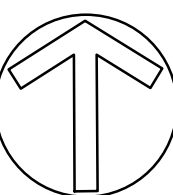
BERNARD B. BAILEY
ZONING: R-30
D.B. 10888, PG. 2739
PIN NO. 1767.01-15-3885

BERNARD B. BAILEY
ZONING: R-30
D.B. 3235, PG. 171
PIN NO. 1767.01-15-6769

GRAPHIC SCALE

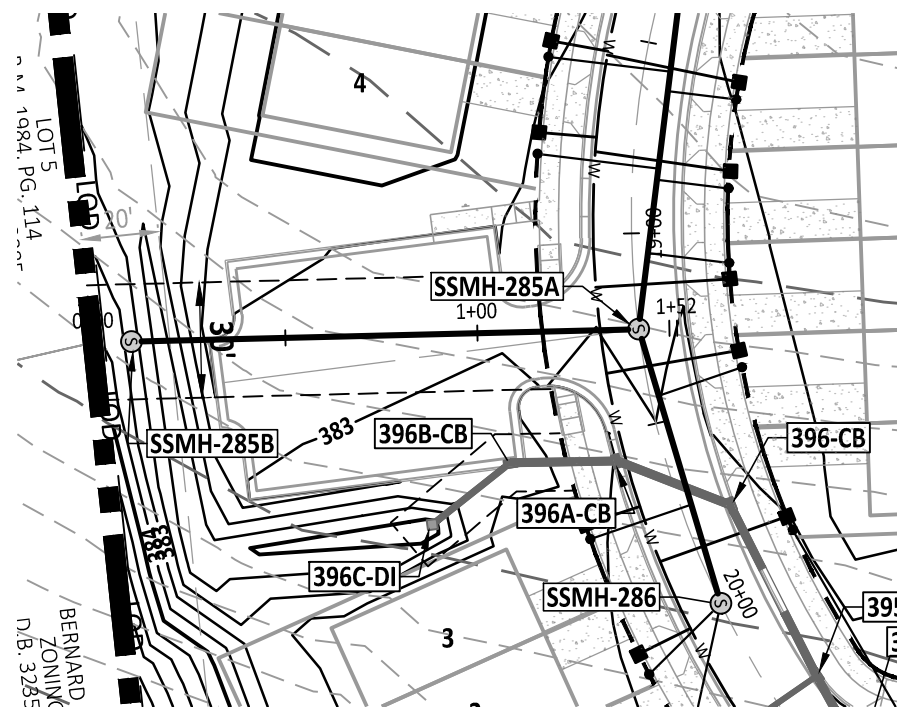


(IN FEET)
1 inch = 40 ft.

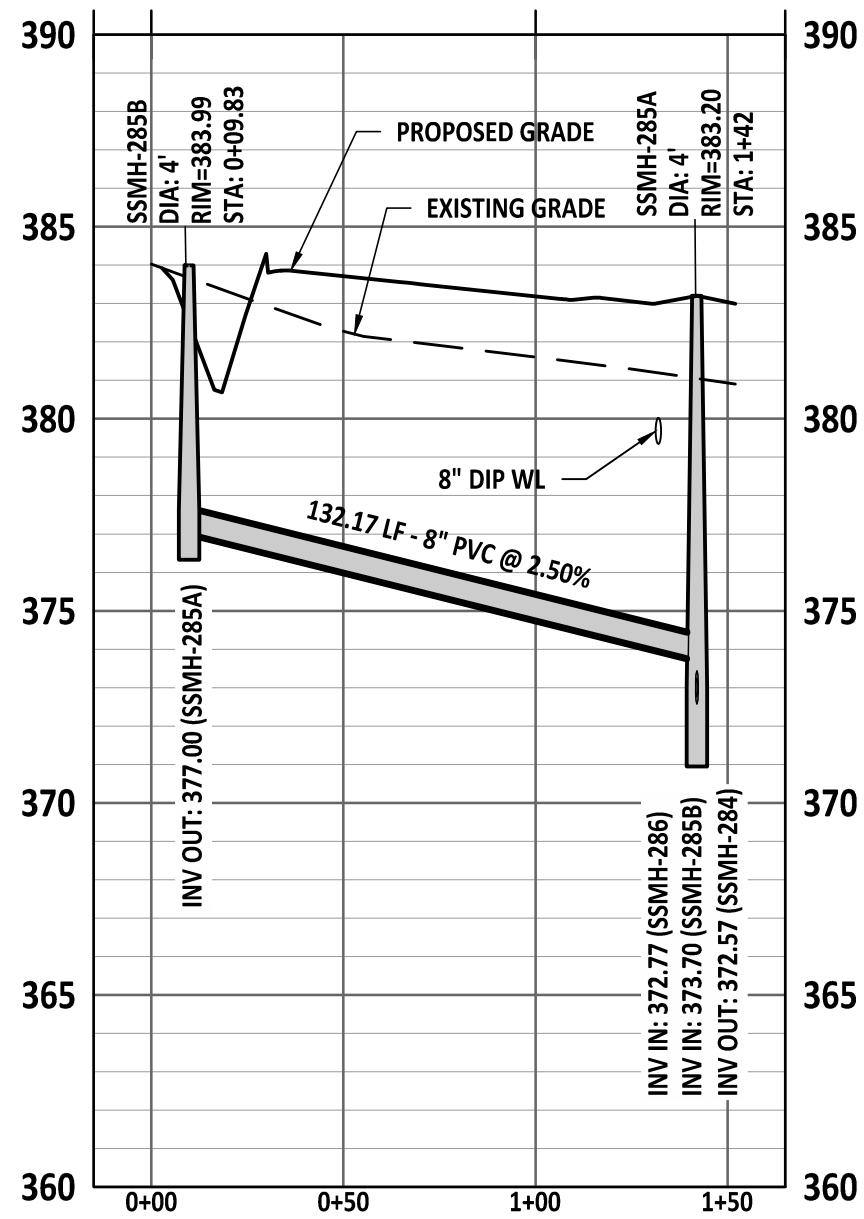


SITE LEGEND

---	100 YR FLOODLINE
- - - -	PROPERTY BOUNDARY/PHASE LINE
---	2' BUILDING RESTRICTION LINE
---	50' NEUSE RIVER BUFFER
---	PROPOSED SURFACE WATER LEVEL
---	RIGHT-OF-WAY
---	LIMITS OF DISTURBANCE
---	LOT LINE
+	WETLANDS
+	AMENITY AREA
+	CONCRETE
+	10' CURB TRANSITION



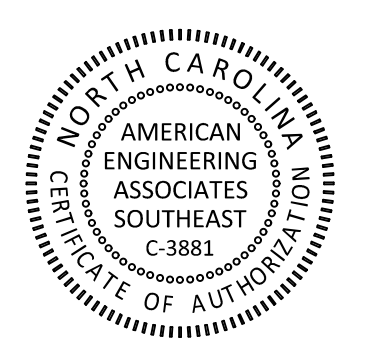
SSMH-285B TO SSMH-285A PLAN



SSMH-285B TO SSMH-285A PROFILE

Public
Sewer Collection / Extension System
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City of Raleigh
Public Utilities Department Permit # _____

Public
Water Distribution / Extension System
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City of Raleigh
Public Utilities Department Permit # _____



FOR INFORMATION, ONLY

NO. DATE REVISION:

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KALAS FALLS
PHASE 5
CONSTRUCTION DOCUMENTS
TOWN OF ROLESVILLE,
WAKE COUNTY, NC

JOB NUMBER: R180115
CHECKED BY: JK
DRAWN BY: GE, RC
DATE: 12-23-2024
SHEET TITLE:

UTILITY PLAN
AREA B

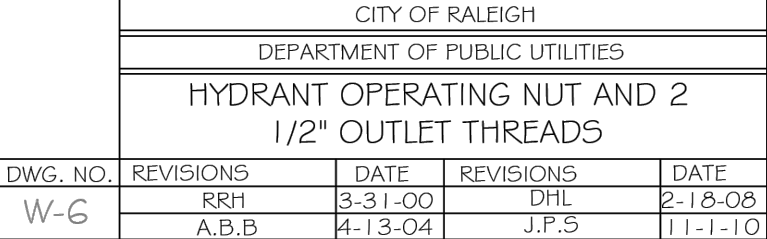
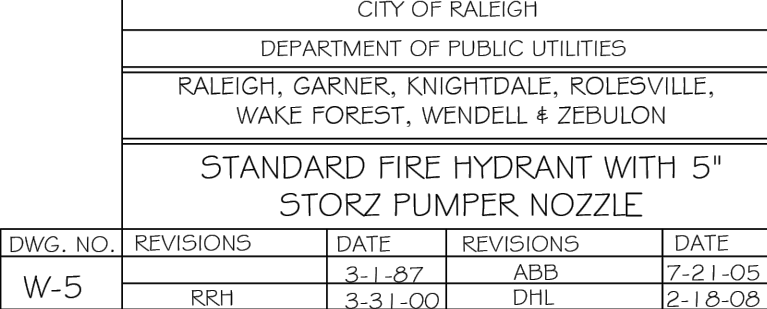
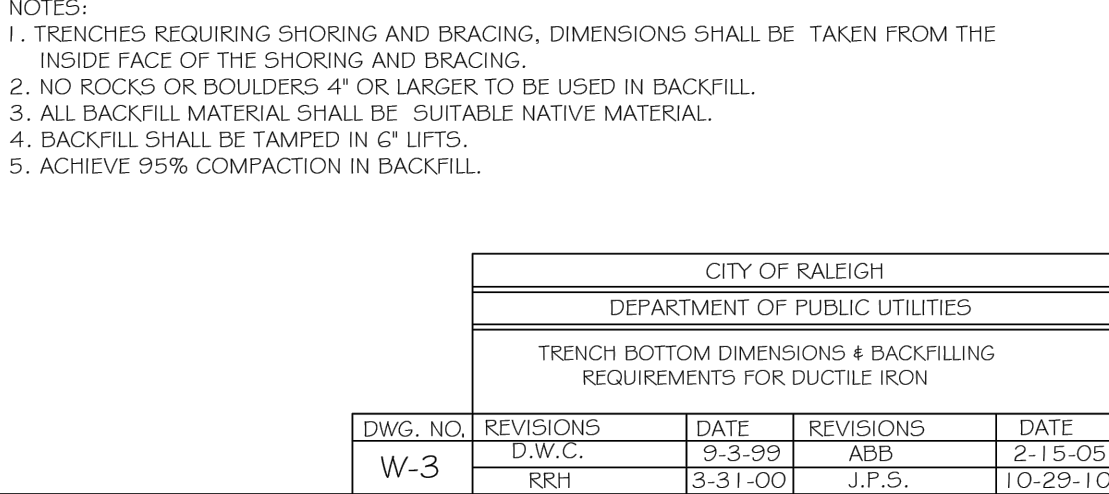
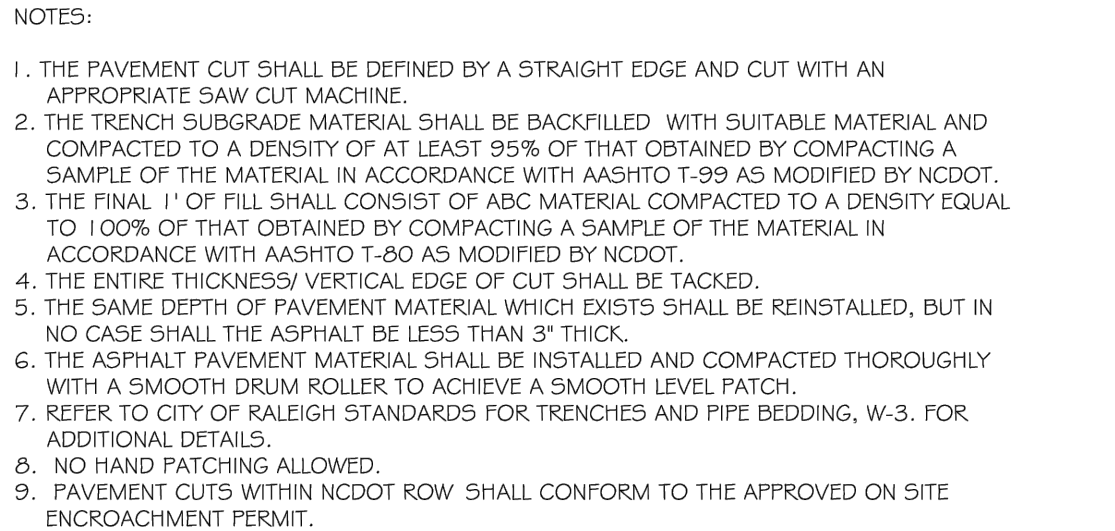
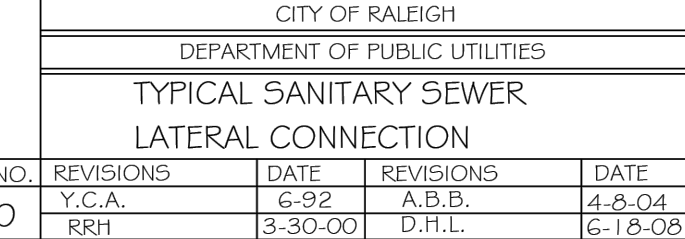
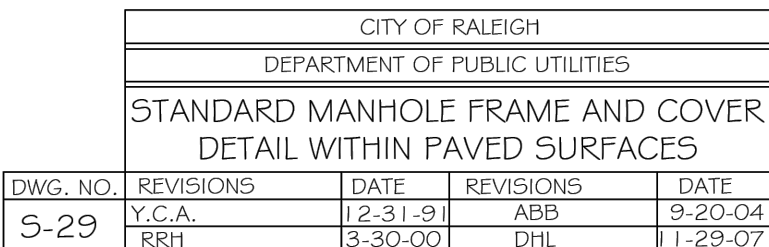
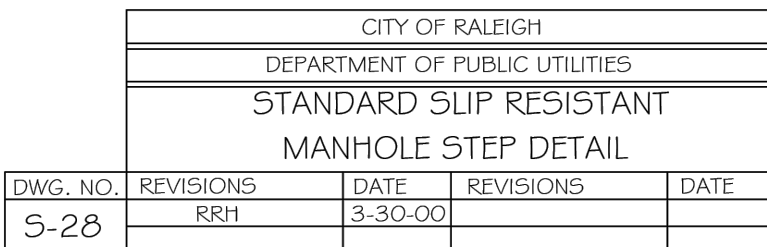
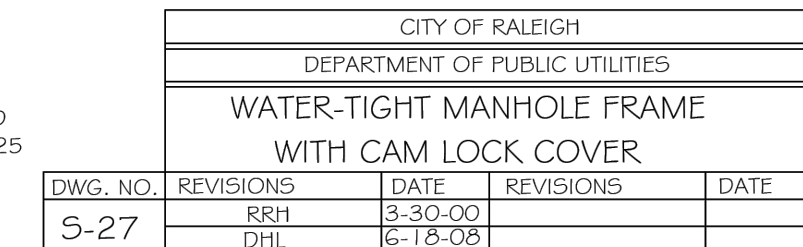
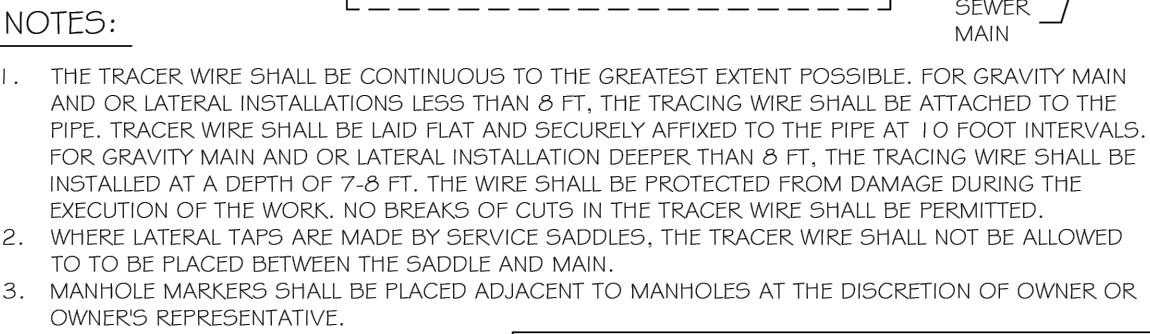
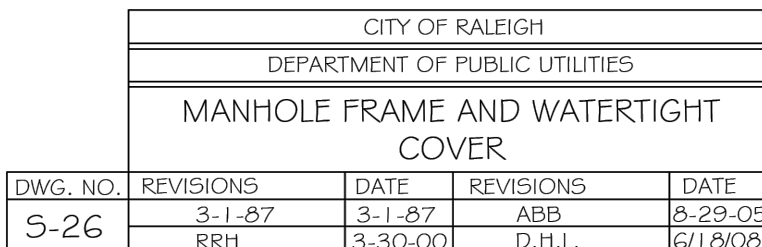
SHEET NO.:
CU402

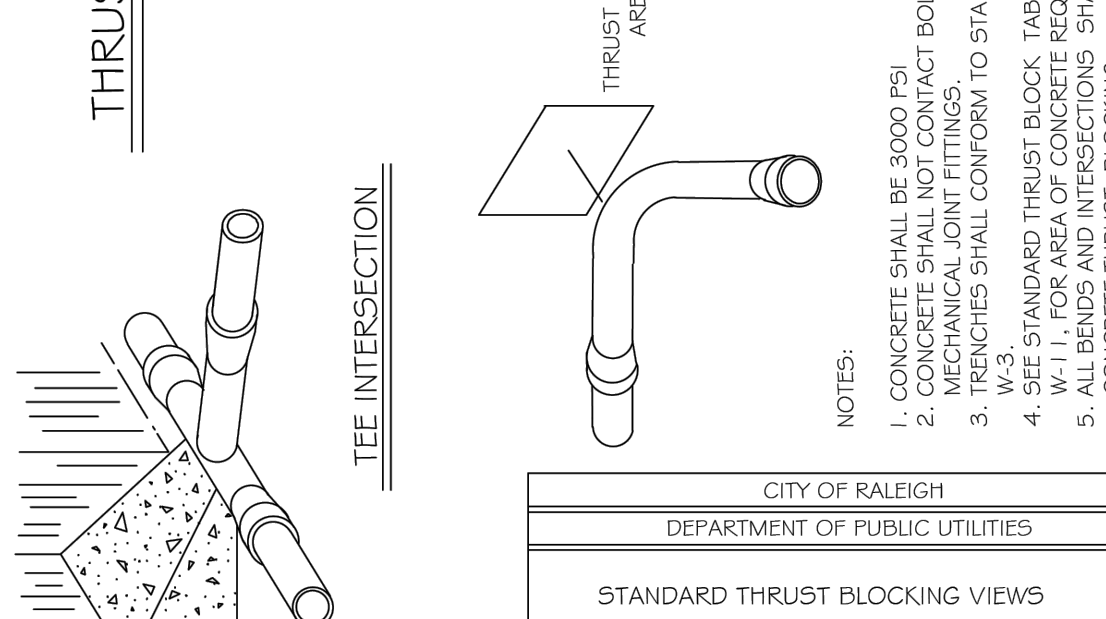
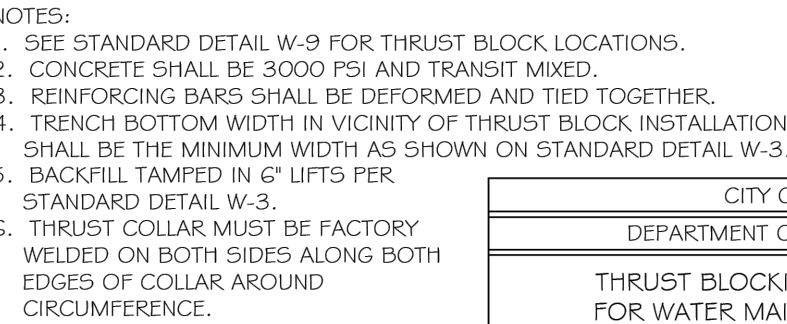


STIPULATION FOR REUSE

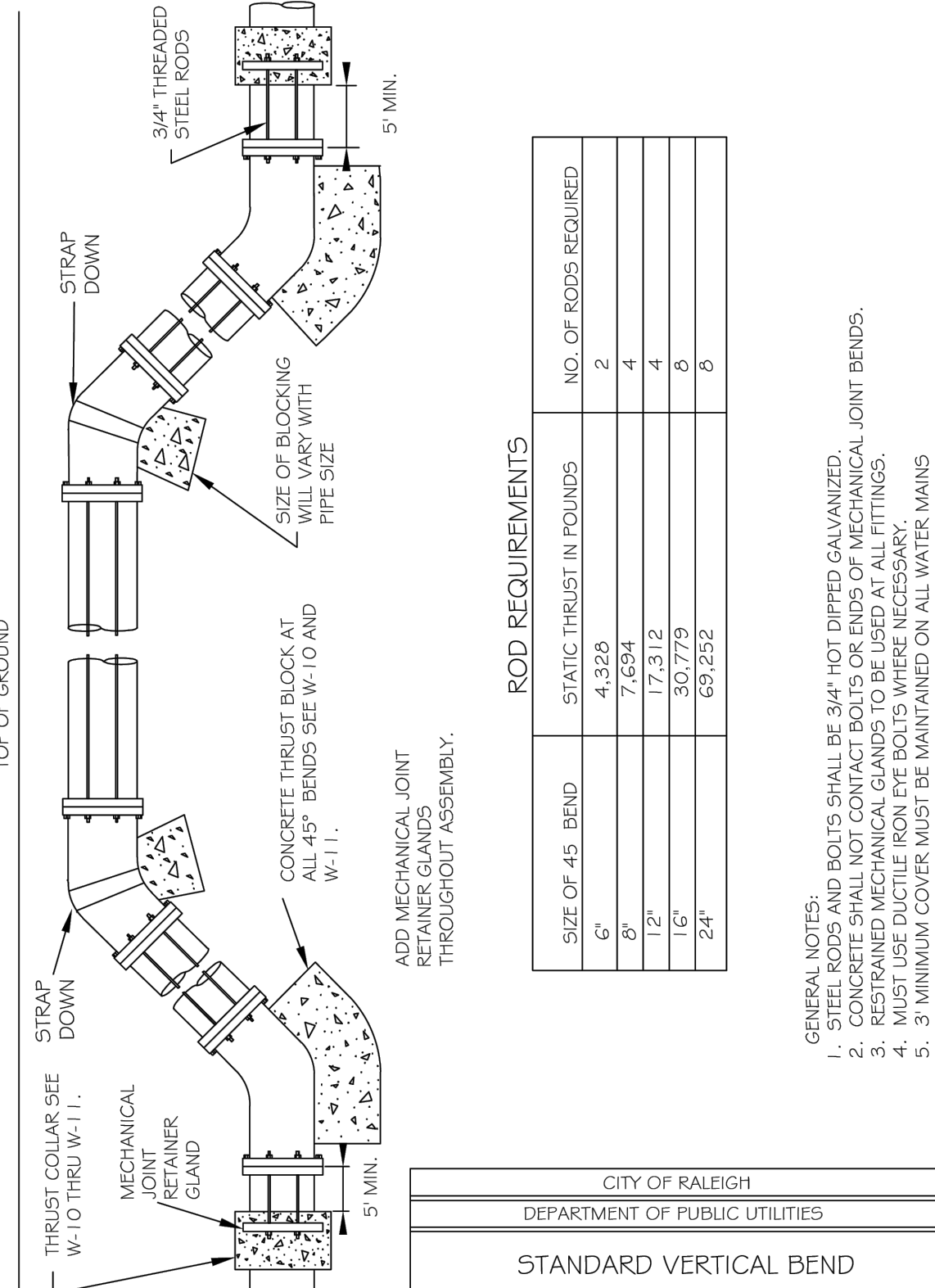
THIS DRAWING WAS PREPARED FOR USE ON THE SPECIFIC SITE, NAMED HEREON CONTEMPORANEOUSLY WITH ITS ISSUANCE DATE AS LISTED, HEREON, AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXCEPT ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

SHEET NO.:
CU500





REACTION BEARING AREAS ARE IN SQUARE FEET MEASURED IN A VERTICAL PLANE IN THE TRENCH SIDE AT AN ANGLE OF 90° TO THE THRUST VECTOR.	CITY OF RALEIGH				
	DEPARTMENT OF PUBLIC UTILITIES				
	THRUST BLOCKING DESIGN QUANTITY TABLE				
USE 6" - 90' BEND VALUE FOR HYDRANTS FOR ADDITIONAL SAFETY FACTOR.	DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
	W-10	D.W.C.	6-23-99		



POTABLE WATER

CENTERLINE OF MAIN # MARKER

PLASTIC MARKER

TOP OF GRADE

12" HOLE FILLED WITH CONCRETE

4'-6"

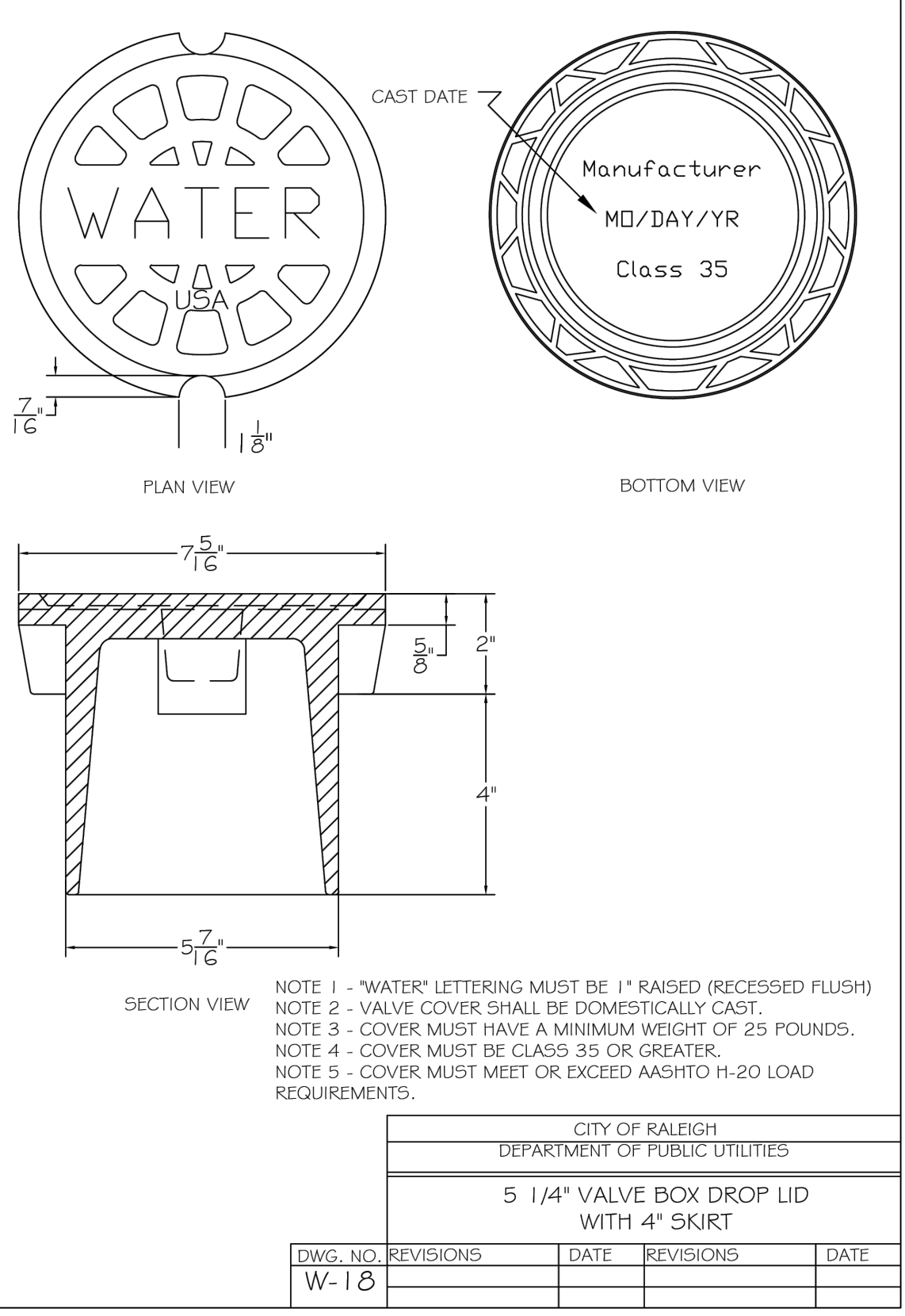
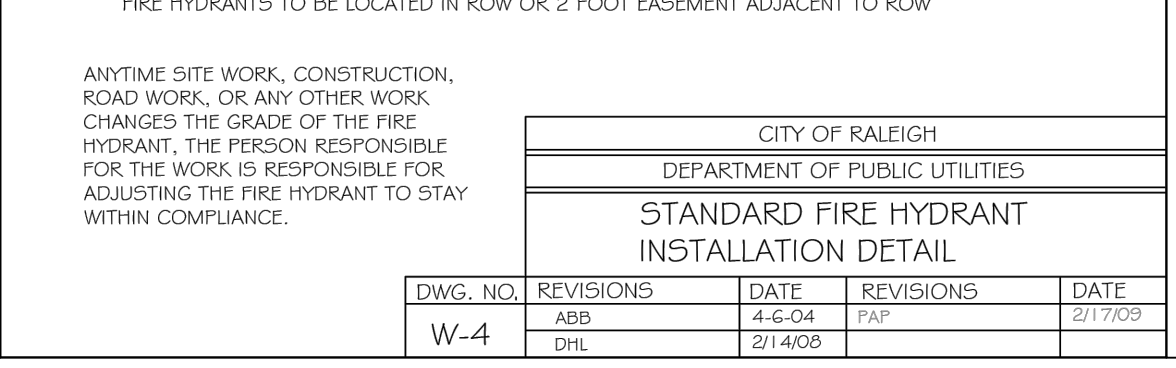
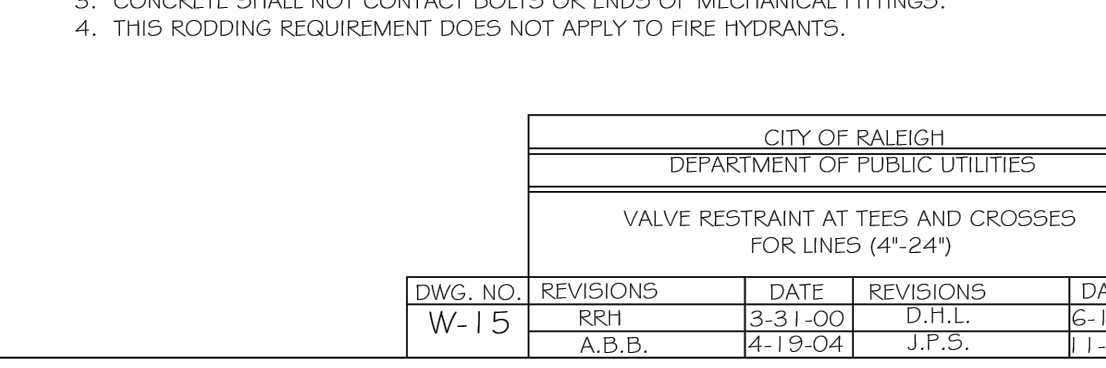
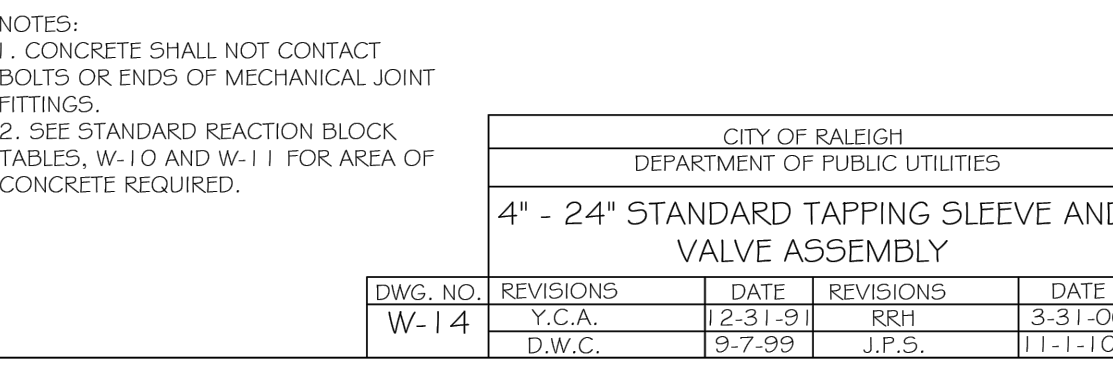
2'-6"

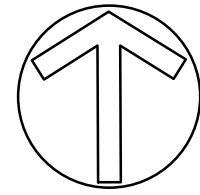
WATER MAIN









NOTES

1. POTABLE WATER MARKER TO BE BLUE IN COLOR.
2. POTABLE WATER MARKER TO BE LABELED "RALEIGH WATER".
3. TO BE SPACED ALONG CENTERLINE OF MAIN EVERY 300 FEET.
4. MARKERS TO BE ROUND AND 4" IN DIAMETER.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
STANDARD MAIN # VALVE MARKERS FOR POTABLE # REUSE WATER IN EASEMENTS					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-13	D.W.G.	9-7-99	DHL	8-16-07	
	RRH	3-31-00	J.P.S.	11-1-10	





SITE LEGEND	
	100 YR FLOODLINE
	PROPERTY BOUNDARY/PHASE LINE
	2' BUILDING RESTRICTION LINE
	50' NEUSE RIVER BUFFER
	PROPOSED SURFACE WATER LEVEL
	RIGHT-OF-WAY
	LIMITS OF DISTURBANCE
	WETLANDS

- 
- AMERICAN**
Engineering
- American Engineering Associates - Southeast, P.A.
4020 Westchase Boulevard, Suite 450
Raleigh, NC 27607
919-469-1101

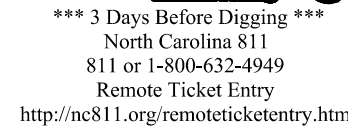









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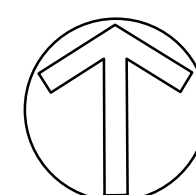
JOB NUMBER:	R180115
CHECKED BY:	JK
DRAWN BY:	GE, RC
DATE:	12-23-2024

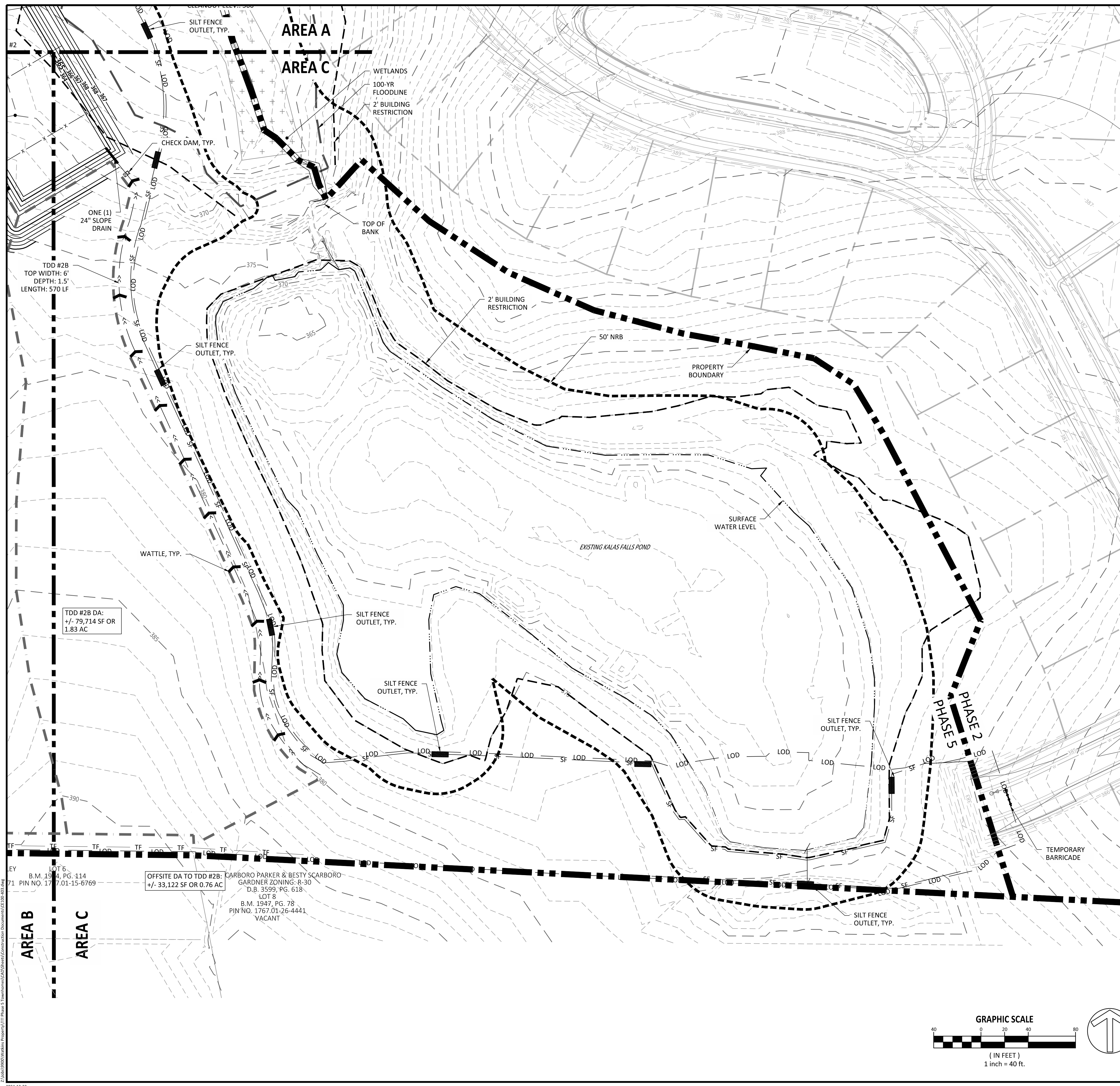
SHEET NO.:
CE400




























SITE LEGEND	
	100 YR FLOODLINE
	PROPERTY BOUNDARY/PHASE LINE
	2' BUILDING RESTRICTION LINE
	50' NEUSE RIVER BUFFER
	PROPOSED SURFACE WATER LEVEL
	RIGHT-OF-WAY
	LIMITS OF DISTURBANCE
	WETLANDS

- ## NOTES



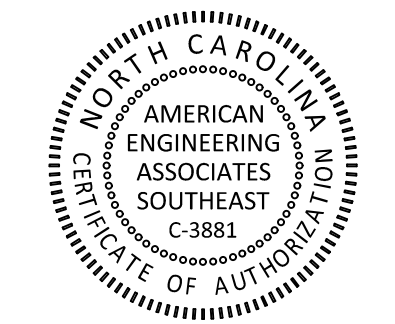
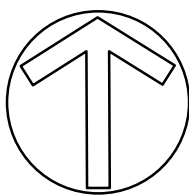
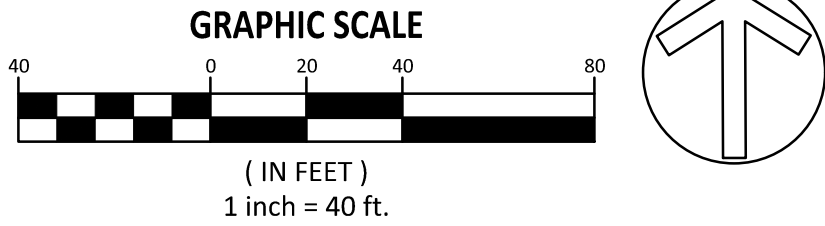


EROSION CONTROL LEGEND	
	SILT FENCE
	LIMITS OF DISTURBANCE
	TREE PROTECTION FENCE
	DRAINAGE AREA
	TEMPORARY DIVERSION DITCH
	SILT FENCE OUTLET
	SEDIMENT SACK INLET PROTECTION
	STANDARD PIPE INLET PROTECTION
	GRAVEL INLET PROTECTION
	GRAVEL CHECK DAM
	MAINTENANCE PAD
	RIPRAP DISSIPATOR
	DRAINAGE PIPE
	WATTLE
	SKIMMER
	TEMPORARY SKIMMER BASIN
	STAGING AND LAYDOWN AREA

SITE LEGEND	
	100 YR FLOODLINE
	PROPERTY BOUNDARY/PHASE LINE
	2' BUILDING RESTRICTION LINE
	50' NEUSE RIVER BUFFER
	PROPOSED SURFACE WATER LEVEL
	RIGHT-OF-WAY
	LIMITS OF DISTURBANCE
	WETLANDS

NOTES:

1. TSB IS TEMPORARY SEDIMENT BASIN.
2. TDD IS TEMPORARY DIVERSION DITCH.
3. SEE SHEET CE500 FOR TEMPORARY DIVERSION DITCH CALCULATIONS

[illegible]

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KALAS FALLS
PHASE 5
CONSTRUCTION DOCUMENTS

TOWN OF ROLESVILLE,
WAKE COUNTY, NC

JOB NUMBER:	R18011
CHECKED BY:	JL
DRAWN BY:	GE, R
DATE:	12-23-202

**ESC PHASE
1 AREA C**

SHEET NO.:
CE402

