PRINCIPAL

USES

PARKS/PUBLIC

RECREATION

FACILITIES

SITE DATA TABLE

OWNER

ENGINEER:

DEVELOPER:

SURVEYOR:

SITE ADDRESS

DEED BOOK / PAGE

PLAT BOOK / PAGE

ENVIRONMENTAL CONSULTANT

KENNETH INVESTMENTS, LLC

10030 GREEN LEVEL CHURCH RD, STE 802

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RESEARCH TRIANGLE, NC 27709

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STEVE GEORGE

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KNIGHTDALE, NC 27545

PHONE: 919 557-1080 Ext 109 josh@batemancivilsurvey.com

WAKE FOREST, NC 27587-6356

1757384572 . 1757385064 . 1757375975

1757375865, 1757375765, 1757375665 1757375575, 1757375464, 1757375365

1757375276, 1757378303, 1757378109.

JOSH DAVIDSON 2524 RELIANCE AVE

APEX, NC 27539

4928 UNIVERSAL DR

1757378013, 1757368816

BM2007 / 01224

PARKING CALCULATIONS

ALLOWED

MINIMUM REQ'D

3 PER GROSS ACRE PLUS 1 PER 1000 SF OF GROSS FLOOR

0 SF of FLOOR = 0 SPACES

ADA CALC'S 26-50 PARKING

SPACES REQUIRE ONE VAN

ACCESSIBLE AND ONE

AREA OF BUILDINGS

5.09 Ac * 3 = 15.26

STANDARD

PROPOSED

SPACES

28 SPACES

SPACES)

NO MAXIMUM (INCLUDES 4 VAN ACCESIBLE ADA

PROJECT REZONING WAS SUBMITTED AUGUST 2022. THE PROPERTY'S RM-CZ

ZONING DISTRICT IS THEREFORE SUBJECT TO LDO SECTION 3.1.B/3.1.2.B/TABLE 3.1.2.

CLUSTER DEVELOPMENT STANDARDS FOR MINIMUM LOT AREA (SIZE), WIDTH, AND

BUILDING SETBACKS IN EFFECT AS OF AUGUST 2022. SPECIFICALLY, THIS IS PRIOR

TO THE APRIL 4. 2023 ADOPTION OF TEXT AMENDMENT TA-23-02 WHICH MODIFIED

THESE CLUSTER DEVELOPMENT STANDARDS.

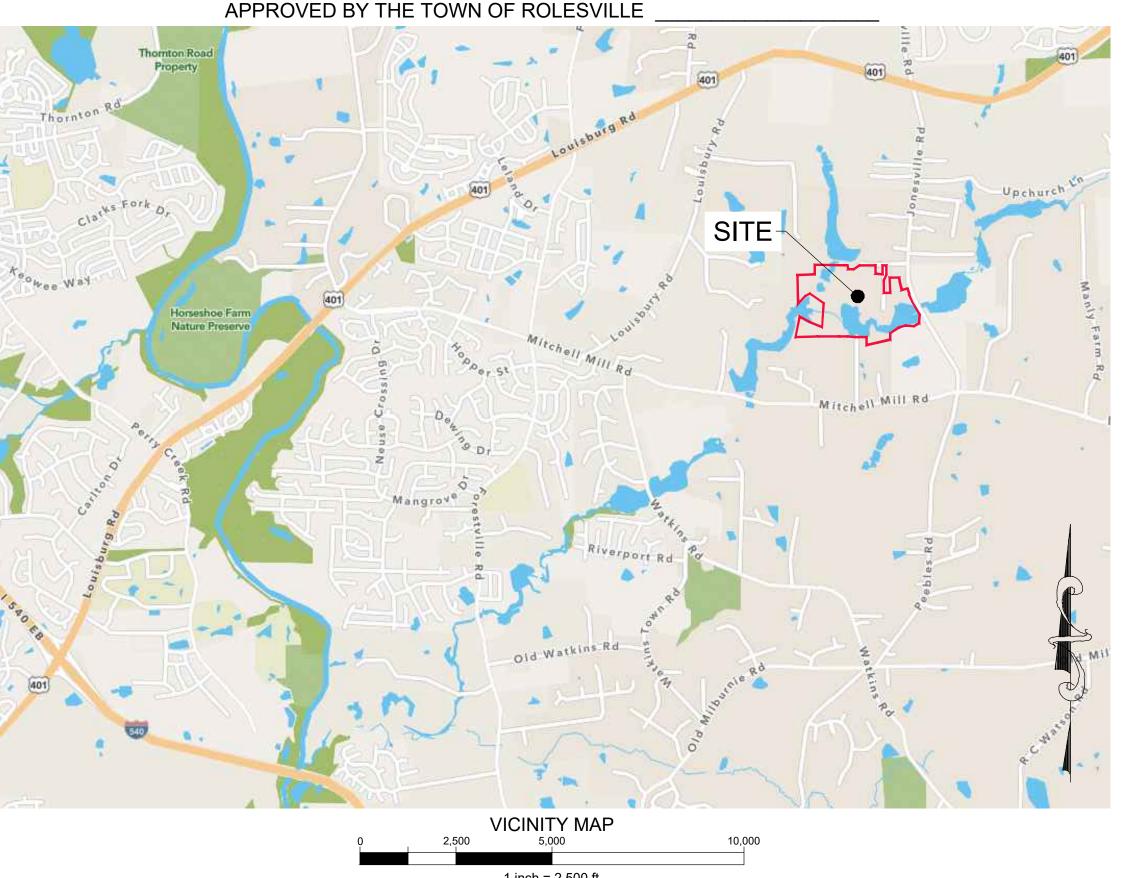
019248 / 01884 (all parcels)

CONSTRUCTION DRAWINGS FOR

HARRIS CREEK FARMS

TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

CASE NUMBER: CID-25-??



APPROVED BY THE TOWN OF ROLESVILLE
Thornton Rd Thornton Rd Thornton Rd Thornton Rd Thornton Rd Upchurch in
CINE FORK OF SITE
Teomes Wat
Horseshoe Farm Nature Preserve
Nature Preserve
Mitchell Mill Rd
Mangrov [®] Or Ma
Riverport Rd Po
Old-Watkins-Rd William Rd William
VICINITY MAP
0 2,500 5,000 10,000
1 inch = 2,500 ft

Town of Rolesville
Planning Department 502 Southtown Circle Rolesville, NC 27511
Wake County Watershed Management Waverly F. Atkins Building 337 S. Salisbury St Raleigh, NC 27601 Contact: Karen Pageeau Phone: (919) 796-8769 Emai: karyn.pageau@wakegov.com
City of Raleigh Public Utilities Dept. One Exchange Plaza Suite 620 Raleigh, NC 27602 Phone: (919) 996-3245 Email: publicutilityinfo@raleighnc.gov

Raleigh, NC 27607

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT APPROVED STORMWATER MGMT.□SWF-FLOOD STUDY
SWF-

ENVIRONMENTAL CONSULTANT SIGNATURE

N.C. UNDERGROUND UTILITIES 3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

THE CSC GROUP 10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519 Engineer QUANTECH ENGINEERING 15000 Weston Parkway Cary, N.C. 27513 (919) 996-9455

Sheet List Table

Overall Existing conditions

Existing Tree Survey

Tree Removal Plan

Tree Save Plan

Overall Site Plan

SITE PLAN SHEET 1 of 6

SITE PLAN SHEET 2 of 6

SITE PLAN SHEET 3 of 6

SITE PLAN SHEET 4 of 6

SITE PLAN SHEET 5 of 6

SITE PLAN SHEET 6 of 6

SITE PLAN Data & Details

Overall Erosion Control Plan

EC Plan Stage 1 Sheet 1 of 6

EC Plan Stage 1 Sheet 2 of 6

EC Plan Stage 1 Sheet 3 of 6

EC Plan Stage 1 Sheet 4 of 6

EC Plan Stage 1 Sheet 5 of 6

EC Plan Stage 1 Sheet 6 of 6

EC Plan Stage 2 Sheet 1 of 6

EC Plan Stage 2 Sheet 2 of 6

EC Plan Stage 2 Sheet 3 of 6

EC Plan Stage 2 Sheet 4 of 6 EC Plan Stage 2 Sheet 5 of 6

EC Plan Stage 2 Sheet 6 of 6

EC HOMEBUILDER PLAN

Erosion Control Details

Erosion Control Details

Erosion Control Details

SCM 1 Plan

SCM 2 Plan

SCM Details

Overall Utility Plan

47 UTILITY PLAN SHEET 4 of 6

48 UTILITY PLAN SHEET 5 of 6

49 UTILITY PLAN SHEET 6 of 6

Utility Details

52 Landscaping Details

UTILITY PLAN SHEET 1 of 6

UTILITY PLAN SHEET 2 of 6

UTILITY PLAN SHEET 3 of 6

Overall Landscaping Plan

Street A Plan & Profile

Street B Plan & Profile

Street C Plan & Profile 0+00 - 11+00

Street C Plan & Profile 11+00 - 24+50

Street D and E Plan & Profiles

Sewer Outfall Plan & Profiles

SCM 1 Storm Alignments & Profiles

SCM 2 Storm Alignments & Profiles

Storm East Alignments & Profiles

62 Jonesville Road Widening and Striping Plan

Road Widening & Striping Details

Road Widening & Striping Details

Road Widening & Striping Details Mitchell Waterline 0+00 to 12+50

Mitchell Waterline 12+50 to 25+00

Mitchell Waterline 37+50 to 50+00

Mitchell Waterline 50+00 to 62+50 Mitchell Waterline 62+50 to 75+00

Mitchell Waterline 75+00 to 84+00

Jonesville Rd Waterline 0+00 to 10+00

Jonesville Rd Waterline 10+00 to 20+00

Jonesville Rd Waterline 20+00 to 30+00

Mitchell Mill Striping Plan

Mitchell Mill Grading Plan

67 Road Widening & Striping Details

72 Mitchell Waterline 25+00 to 37+50

Jonesville Road Grading and Drainage Plan & Profiles

Overall Grading & Drainage Plan

Grading & Drainage plan sheet 1 of 6

Grading & Drainage plan sheet 2 of 6 Grading & Drainage plan sheet 3 of 6

Grading & Drainage plan sheet 4 of 6

Grading & Drainage plan sheet 5 of 6

Grading & Drainage plan sheet 6 of 6

SITE PLAN Disc Golf

Sheet Title

Sheet

Number

4

11

30

41

ateman Civil Survey Compan 524 Reliance Avenue 9-557-1080 ext 109

Jurisdiction / Municipality Town of Rolesville 502 Southtown Cir Rolesville, NC 27571 Phone: 919-554-6517

Other Consultants

Sheet map:

53676

FINAL DRAWING - FOR **REVIEW PURPOSES ONLY**

Issued / Print Date: 2025-May-30 (17:00) File Name: 1 Cover.dwg

Last Saved by: Tim Newsome

Drawn by: TAN

HARRIS CREEK **FARMS**

CID-25-??

PROGRESS DRAWINGS DO NOT USE FOR CONSTRUCTION

No. Date

REVISIONS

Sheet Title:

COVER

GENERAL NOTES:

- 1. THE CONTRACTOR SHALL MARK THE LIMITS OF THE STREAM BUFFER AND WETLANDS WITH ORANGE TREE PROTECTION FENCE WITH APPROPRIATE SIGNAGE. TREE PROTECTION FENCE SHALL BE INSTALLED ALONG THE OUTER ZONE OF ANY NEUSE RIVER BUFFER OR CAPE FEAR BUFFER OR IF THERE IS ANY CONSTRUCTION WITHIN 50 FEET OF THE BUFFER EDGE. THIS MUST BE DONE PRIOR TO STARTING ANY CLEARING AND MUST BE DONE TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- 2. IF THE DEVELOPER HAS RECEIVED APPROVAL TO WORK IN THE FIRST 20-FEET OF A STREAM BUFFER, THEN THE LAST 30-FOOT BOUNDARY SHALL BE MARKED IN THE AREA ADJACENT TO THIS WORK. OTHERWISE THE ENTIRE 50-FEET SHALL BE MARKED. THIS MARKING SHALL REMAIN IN PLACE UNTIL ALL ADJACENT DISTURBED AREAS HAVE BEEN COMPLETED AND STABILIZED.
- 3. CONTRACTOR WILL INSTALL TEMPORARY DIVERSION DITCHES WHEN SETTING UP EROSION CONTROL
- MEASURES IN THE SAME LOCATION AS THE PERMANENT DITCHES (7 DAY GROUND COVER REQUIRED).

 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL LOCAL, COUNTY, OR STATE REQUIRED
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THE SITE.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY
- COMPANY'S (ELECTRIC, GAS, TELEPHONE, ETC.)
- 7. THE CONTRACTOR SHALL BE AWARE OF ANY OVERHEAD POWER LINES AND SHALL TAKE ALL NECESSARY PRECAUTION TO ENSURE THAT PERSONNEL AND TRAFFIC ARE SAFE AT ALL TIMES.
- THE UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, CHARTED OR UNCHARTED, LOCATED OR UNLOCATED. ANY AND ALL WORK PERFORMED TO REPAIR UTILITIES DAMAGED BY THE UTILITY CONTRACTOR MUST MEET THE APPROVAL OF THE ASSOCIATED UTILITY COMPANY AND THE UTILITY CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY SUCH REPAIRS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLACEMENT OF A SUITABLE BACKFILL MATERIAL AND SHALL PLACE MATERIAL IN 12" LAYERS AND COMPACT SAID FILL TO A 95% STANDARD PROCTOR.
- 10. THE CONTRACTOR SHALL BE COGNIZANT OF THE EROSION CONTROL DEVICES FOR THIS PROJECT AND SHALL MAKE EVERY EFFORT TO ASSURE THAT ALL SUCH DEVICES ARE KEPT CLEAN AND IN APPROPRIATE WORKING ORDER. AFTER EACH STORM OR RAINFALL EVENT, ALL COLLECTED SEDIMENT SHALL BE REMOVED AND THE DEVICES RETURNED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL REIMBURSE ANY FINES, DUE TO EROSION CONTROL FAILURES, TO THE OWNER/DEVELOPER.
- 11. THE CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL DURING ALL PHASES OF THIS CONSTRUCTION IN ACCORDANCE WITH NCDOT AND ALL MUNICIPALITY STANDARDS.
- 12. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MOST CURRENT EDITION OF THE ORDINANCE.
- 14. THE CONTRACTOR SHALL OBTAIN A LANE CLOSURE PERMIT (IF APPLICABLE) FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAFFIC LANE FROM THE PUBLIC WORKS DEPARTMENT-TRANSPORTATION OPERATION DIVISION AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT A STREET
- CUT PERMIT (IF APPLICABLE)

 16. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- 17. THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB AND GUTTER, SIDEWALKS AND STREET TO EXISTING CONDITION OR BETTER.
- 18. ANY CHANGES OR DEVIATIONS FROM THESE PLANS NO MATTER HOW MINOR SHALL BE DONE ONLY WITH THE EXPRESS "PRE-APPROVAL" OF THE PROJECT ENGINEER.
- 19. IT IS REQUIRED BY THE STATE, THAT THE ENGINEER CERTIFY THE AS-BUILT CONDITIONS OF THE UTILITIES AFTER THEY HAVE BEEN CONSTRUCTED. IT IS THEREFORE NECESSARY THAT THE ENGINEER WITNESS AND MONITOR THE CONSTRUCTION PROCESS. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE ENGINEER, WITH AT LEAST 48 HOURS OF ADVANCE NOTICE OF WHEN THE CONSTRUCTION WILL TAKE PLACE SO THAT PROPER INSPECTIONS CAN BE MADE.
- 20. ALL EROSION CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE LOCAL
- 21. TO PREVENT SHORT CIRCUITING OF SEDIMENT TRAPS, ALL TRAPS CALL FOR SILT FENCE FLOW DIVERSIONS
- 22. TEMPORARY DIVERSION DITCHES SHALL BE INSTALLED ALONG THE SIDES OF THE CLEARING AREA UNTIL
- SUCH TIME AS THE TYPICAL ROADWAY SECTION CAN BE ESTABLISHED.

 23. NO EROSION CONTROL MEASURES MAY BE REMOVED WITHOUT THE PRIOR APPROVAL OF BOTH THE
- PROJECT ENGINEER AND LOCAL INSPECTOR.

 24. THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY GROUND COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PERMANENT GROUNDCOVER WILL BE PROVIDED FOR ALL
- DISTURBED AREAS WITHIN 14 CALENDAR DAYS. (PER GENERAL STATUTE 113A-57 PARAGRAPH 2 & 3).

 25. NO DISTURBED AREA SHALL BE ALLOWED TO REMAIN UNPROTECTED AND MUST BE MULCHED AND SEEDED WITHIN 14 DAYS OF WHEN WORK WAS CONDUCTED.
- 26. SEEDING OF THE SHOULDERS SHALL BE IN ACCORDANCE WITH THE EROSION CONTROL DETAIL SHEET WITH
- THESE PLANS.
- 27. THE WATER LINES SHALL BE BURIED A MINIMUM OF 3' DEEP, FROM THE TOP OF THE FINISHED GROUND ELEVATION TO THE TOP OF THE PIPE THROUGH THE ENTIRE LENGTH OF THE PIPE.
- 28. THE METER SETTERS SHALL BE PLACED AT LEAST SIX (6) FEET FROM THE PROPERTY LINE BETWEEN THE LOTS AND NO MORE THAN TEN (10) FEET FROM THE PROPERTY LINE BETWEEN THE LOTS. THE METER SETTERS SHALL BE LOCATED ONE (1) FOOT WITHIN THE RIGHT-OF-WAY NEAR THE LOT CORNER OF EACH LOT (UNLESS RESTRICTED BY SIDEWALK IN WHICH CASE WILL BE PLACED A REASONABLE DISTANCE FROM THE SIDEWALK BUT NO FURTHER THAN 6 FEET).
- 29. EACH WATER LINE TAP SHALL BE INDIVIDUAL AND MADE A MINIMUM OF 12" APART.
- 30. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY OF THE RADIUS CURVATURE, OR TWENTY (20) FEET FROM THE INTERSECTION OF RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT ENCROACH ON THE MINIMUM CORNER CLEARANCE.
- 31. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH THE ADA AND LOCAL STANDARD. WHERE SIDEWALK IS NOT REQUIRED ALONG THE PUBLIC ROW, CURB IS TO BE DEPRESSED AT ALL RAMP LOCATIONS.
- 32. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, PARKED VEHICLE OR OTHER OBJECT.
- 33. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS.
 34. EXISTING UNUSED UTILITY SERVICES SHALL BE ABANDONED AT MAIN AND REMOVED FROM THE ROW OR
- EASEMENT.

 35. ALL STRUCTURAL STORM WATER SCM'S SHALL BE LOCATED OUTSIDE OF NCDOT RIGHT OF WAYS. A
- PERMANENT PUBLIC DRAINAGE EASEMENT SHALL BE LOCATED OUTSIDE OF NCDOT RIGHT OF WAYS. A PERMANENT PUBLIC DRAINAGE EASEMENT SHALL BE LOCATED OUTSIDE OF THE NCDOT RIGHT OF WAY(S) FOR ACCESS. NCDOT ASSUMES NO RESPONSIBLITY FOR THE OPERATION & MAINTENANCE OR LIABILITY OF THE STRUCTURAL STORMWATER SCM'S.
- 36. ALL ROADWAY DITCHES MUST BE STABLE BEFORE THEY WILL BE TAKEN INTO THE STATE SYSTEM.
 37. LOTS DENOTED WITH AN ASTERISK (*) NEXT TO THE LOT NUMBER MEANS THERE IS A 100 YR FLOOD
- EASEMENT WHICH CONSISTS OF THE 100 YR FLOOD PLAIN (BACK WATER) PLUS 1' (OBTAINED FROM GIS ELEVATIONS) OR THE LOT HAS FLOOD HAZARD SOILS ON IT.
- 38. BEFORE ACQUIRING A BUILDING PERMIT FOR LOTS MARKED BY AN * (ASTERISK) THE BUILDER MAY NEED TO OBTAIN A FLOOD HAZARD AREA INFORMATION. THE BUILDER'S ENGINEER, ARCHITECT AND/OR SURVEYOR (AS APPROPRIATE) MUST CERTIFY ON ANY PERMIT THAT ALL FLOOD HAZARD REQUIREMENTS ARE MET.
- 39. THERE SHALL BE NO FILLING OR ERECTION OF PERMANENT STRUCTURES IN THE AREAS OF FLOOD HAZARD SOILS OR FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) 100 YEAR FLOOD ZONES UNTIL A FLOOD STUDY IS APPROVED.

SITE SPECIFIC NOTES:

- 1. OVERALL TOPOGRAPHIC INFORMATION WAS TAKEN FROM WAKE COUNTY GIS. STREET SECTIONS
- AND LOCATION OF EXISTING PAVEMENT AND STRUCTURES PROVIDED BY THE SURVEYOR.
 2. BOUNDARY INFORMATION WAS TAKEN FROM INFORMATION PROVIDED BY THE SURVEYOR.
- ALL LOTS WILL BE SINGLE FAMILY RESIDENTIAL.
- 4. LOCAL RESIDENTIAL STREET RIGHT-OF-WAY WIDTHS SHALL BE 50' AND HAVE 24' WIDE ASPHALT PAVEMENT SECTION WITH 30 INCH VALLEY CURB & GUTTER. COLLECTOR RESIDENTIAL STREETS SHALL HAVE 60' RIGHT-OF-WAY WIDTHS AND HAVE 30' ASPHALT PAVEMENT SECTION WITH 30" STANDARD CURB \$ GUTTER.
- CUL-DE-SACS SHALL HAVE A 50' RADIUS; ASPHALT PAVEMENT RADII WITHIN CUL-DE-SAC SHALL BE 35'.

THERE ARE NO FEMA FLOOD BOUNDARIES ON THIS SITE ACCORDING TO CURRENT FIRM PANEL.

404/401 PERMITS WILL NOT BE NEEDED.

MA 22-08 REZONING CONDITIONS:

- 1. THE SUBJECT PROPERTY SHALL BE DEVELOPED IN GENERAL COMPLIANCE WITH THE MAP AMENDMENT
- (CONDITIONAL REZONING) CONCEPT PLAN DATED 01-01-24.

 THE DEVELOPMENT SHALL CONSIST OF MAXIMUMS OF 120 SINGLE FAMILY DETACHED DWELLING UNITS/LOTS
- AS DETAILED IN THE MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN DATED 01-01-24.

 3. SINGLE FAMILY DETACHED DWELLING UNIT FACADE ANTI-MONOTONY: IN ORDER TO PROMOTE VARIATION IN HOME APPEARANCE, NO SINGLE FAMILY FRONT FACADE SHALL BE DUPLICATED FOR THREE LOTS IN A ROW, OR DIRECTLY ACROSS THE STREET. FOR THE CORNER LOTS, THIS SHALL APPLY TO THE LOTS DIAGONALLY ACROSS THE INTERSECTION.
- 4. ALL GARAGE DOORS SHALL EITHER CONTAIN WINDOWS OR CARRIAGE STYLE ADORNMENTS.
- 5. SINGLE FAMILY DETACHED DWELLING UNITS SHALL:
- A. BE A MINIMUM OF 1,500 HEATED SQUARE FEET.
- HAVE CEMENTITIOUS SIDING THAT SHALL VARY IN TYPE AND COLOR WITH BRICK, SHAKES, BOARD AND BATTEN, OR STONE ACCENTS PROVIDED AS DECORATIVE FEATURES.
- C. HAVE AT LEAST TWO TYPES OF FINISHES ON THE FRONT: LAP SIDING, MASONRY, SHAKES, AND BOARD
- 6. A HOME OWNERS ASSOCIATION (HOA) SHALL BE CREATED AND ALL OPEN SPACES OBSERVED IN MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN DATED 01-01-24, SHALL BE OWNED AND MAINTAINED
- 7. FOUNDATIONS: ALL FOUNDATIONS ARE TO BE MONOLITHIC POURED SLAB FOUNDATIONS. TOP OF SLABS SHALL BE ELEVATED A MINIMUM OF 18" ABOVE FINISHED GRADE FOR ALL DWELLING UNITS. ALL FOUNDATIONS SHALL BE TREATED WITH MASONRY ON THE FRONT AND STREET-FACING SIDES FOR A
- 8. RECREATIONAL AMENITIES: THE FOLLOWING RECREATIONAL AMENITIES SHALL BE CONSTRUCTED AS OBSERVED IN MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN DATED 01-01-24. PUBLIC GREENWAY (APPROXIMATELY 5,600 LINEAR FEET), PRIVATE MULTI-USE PATHS (APPROXIMATELY 410 LINEAR FEET), GAZEBOS, PLAYGROUNDS, AND A DOG PARK, AMENITIES SHALL BE BUILT PRIOR TO ISSUANCE OF THE BUILDING PERMIT FOR THE 70TH LOT.
- 9. LANDSCAPING: AT LEAST 20 PERCENT (20%) OF ALL LANDSCAPING REQUIRED BY THE LDO, THAT DOES NOT ALREADY QUALIFY UNDER LDO 6.2, SHALL UTILIZE PLANT MATERIALS LISTED AS NATIVE POLLINATOR PLANTS BY THE NORTH CAROLINA WILDLIFE FEDERATION, WHERE EVERGREEN PLANTINGS OR STREET TREES ARE REQUIRED BY THE LDO, NATIVE POLLINATOR PLANTINGS SHALL NOT BE REQUIRED. SUCH PLANTINGS SHALL NOT BE REQUIRED. SUCH PLANTINGS SHALL NOT BE REQUIRED. SUCH PLANTINGS SHALL BE CLEARLY SHOWN IN CONSTRUCTION DRAWINGS AND INSTALLED AS PART OF SUBDIVISION INFRASTRUCTURE. NOTHING HEREIN SHALL BE CONSTRUCTED TO LIMIT THE PLANT MATERIALS PERMITTED ON THE INDIVIDUAL RESIDENTIAL LOTS.
- 10. SIDEWALK EASEMENT: THE DEVELOPMENT SHALL ATTEMPT TO PROCURE AN EASEMENT FROM THE OWNERS OF THOSE PROPERTIES WITH PINS: 1757-48-1376 AND 1757-38-8408 IN ORDER TO PROVIDE A 5' WIDE SIDEWALK RUNNING FROM THE DEVELOPMENT'S PROPOSED ACCESS TO JONESVILLE ROAD TO THE INTERSECTION WITH UNIVERSAL DRIVE. IF THE DEVELOPMENT PROCURES EASEMENTS FROM BOTH PROPERTY OWNERS, THE SIDEWALK SHALL BE LOCATED WITHIN SAID EASEMENTS AND CONSTRUCTED CONSISTENT WITH THE TOWN OF ROLESVILLE TRANSPORTATION PLAN, AND SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE ONE HUNDREDTH (100TH) BUILDING PERMIT. IF THE DEVELOPMENT IS UNABLE TO PROCURE AN EASEMENT FROM EITHER OF THE PROPERTY OWNER PRIOR TO THE ISSUANCE OF THE FIRST (1ST) BUILDING PERMIT, THEN THE DEVELOPMENT SHALL PAY A FEE-IN-LIEU FOR THE SIDEWALK CONSTRUCTION TO THE TOWN OF ROLESVILLE. THE FEE-IN-LIEU SHALL BE PAID PRIOR TO THE ISSUANCE OF THE ONE HUNDREDTH (100TH) BUILDING PERMIT.
- 11. <u>UNIVERSAL DRIVE:</u> THE DEVELOPMENT SHALL ATTEMPT TO PROCURE A MINIMUM 20' WIDE ACCESS EASEMENT FROM THE OWNER OF THAT PROPERTY WITH PIN: 1757-38-8408 FOR VEHICULAR INGRESS AND EGRESS TO AND FROM GIDEON DRIVE AND JONESVILLE ROAD. THIS EASEMENT SHALL BE RECORDED WITH THE WAKE COUNTY REGISTRY. IF THE EASEMENT IS OBTAINED AND RECORDED, THE DEVELOPMENT SHALL PAVE THE EASEMENT AREA WITH A 20' WIDE ASPHALT SURFACE COAT OVER TOP OF THE EXISTING PRIVATE GRAVEL ACCESS DRIVE. THE PAVING SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE ONE HUNDREDTH (100TH) BUILDING PERMIT.
- 12. PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT FOR A DWELLING UNIT, THE DEVELOPMENT SHALL DONATE THIRTY FIVE THOUSAND DOLLARS AND NO CENTS (\$35,000.00) TO HOMES FOR HEROES.
- 13. HISTORICAL MONUMENT: THE DEVELOPMENT SHALL DEDICATE A 10-FOOT BY 10-FOOT AREA LOCATED NEXT TO THE GAZEBO AND GREENWAY PARKING AREA ALONG JONESVILLE ROAD TO ALLOW THE TOWN OF
- ROLESVILLE TO PLACE A HISTORICAL MONUMENT RELATED TO THE JONESVILLE AREA.

 14. NAMING OF ROADS: PRIOR TO THE NAMING OF ANY PUBLIC ROADS WITHIN THE DEVELOPMENT, THE PROPERTY OWNER SHALL FORMALLY REQUEST SUGGESTED ROAD NAMES FROM JONESVILLE COMMUNITY CONNECT AND WILL SUBMIT THOSE SUGGESTED NAMES TO THE POST OFFICE FOR APPROVAL. IF THE NUMBER OF THOSE APPROVED NAMES ARE EQUAL OR GREATER THAN THE NUMBER OF PUBLIC STREETS WITHIN THE DEVELOPMENT, THE DEVELOPMENT SHALL EXCLUSIVELY USE THOSE APPROVED ROAD NAMES WITHIN THE DEVELOPMENT. IF THE NUMBER OF THOSE APPROVED NAMES IS LESS THAN THE NUMBER OF

PUBLIC ROADS WITHIN THE DEVELOPMENT, THE DEVELOPMENT SHALL USE ALL OF THOSE APPROVED NAMES

AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR NAMING THE REMAINING PUBLIC ROADS. 15. BLASTING: THE PROPERTY OWNER SHALL COMPLY WITH ALL WAKE COUNTY AND NORTH CAROLINA REGULATIONS RELATED TO BLASTING. $\,$ SEE 29 CFR 1926.900-909 & 13 NCAC 07F .0703-.0712. ANY PERSON DETONATING EXPLOSIVES ON THE PROPERTY SHALL FIRST NOTIFY THE TOWN OF ROLESVILLE THAT A BLAST IS PLANNED. SUCH NOTIFICATION SHALL BE RECEIVED AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO THE PLANNED DETONATION AND SHALL GIVE THE TIME (WITHIN 30 MINUTES) OF THE PLANNED DETONATION AND THE LOCATION WHERE THE BLASTING IS TO BE DONE. THE PERSON DETONATING THE EXPLOSIVES SHALL GIVE AN EQUIVALENT NOTICE TO EACH PROPERTY OWNER THAT IS LOCATED WITHIN 1000 FEET OF THE PROPOSED BLASTING LOCATION. AT LEAST 60 DAYS PRIOR TO ANY BLASTING WITH EXPLOSIVE MATERIALS ON THE PROPERTY, THE PROPERTY OWNER WILL NOTIFY THE HOMEOWNERS WITHIN 1000 FEET OF THE PROPERTY OF THE EXPECTED BLASTING AND SHALL PROVIDE AN OPPORTUNITY FOR A PRE-BLASTING INSPECTION ("PBI") OF THE HOMEOWNER'S PROPERTY (INCLUDING STRUCTURES AND WELLS) TO ESTABLISH A BASELINE CONDITION OF THE HOMEOWNER'S PROPERTY. IF A NOTICED HOMEOWNER PROVIDES A WRITTEN ELECTION FOR A PBI AND PROVIDES REASONABLE ACCESS TO ITS PROPERTY AT REASONABLE TIMES, PROPERTY OWNER THROUGH ITS CONSULTANT ("BLASTING CONSULTANT") WILL CAUSE A PBI WITH REGARD TO SUCH HOMEOWNER'S PROPERTY TO BE PERFORMED PRIOR TO BLASTING ACTIVITIES. CONTACT INFORMATION FOR THE PURPOSE OF REPORTING DAMAGE CAUSED BY BLASTING SHALL BE PROVIDED. IF A PBI WAS PERFORMED AND THE HOMEOWNER PROVIDES NOTICE OF DAMAGE CAUSED BY BLASTING WITHIN 30 DAYS FOLLOWING BLASTING, THE PROPERTY OWNER SHALL CAUSE AN AFTER BLASTING INSPECTION ("ABI") TO BE PERFORMED AND IF A COMPARISON OF THE PBI TO THE ABI INDICATES THAT DAMAGE WAS CAUSED BY PROPERTY OWNER'S BASTING, IN THE REASONABLE OPINION OF THE BLASTING CONSULTANT, THE PROPERTY OWNER SHALL MAKE COMMERCIALLY REASONABLE EFFORTS TO REPAIR SUCH DAMAGE WITHIN 180 DAYS OF FOLLOWING COMPLETION OF BLASTING ACTIVITIES ON THE PROPERTY. ALL BLASTING OPERATIONS SHALL BE COVERED IN SUCH MANNER AS TO PREVENT FRAGMENTS OF ROCK, GRAVEL, EARTH, TREES, OR OTHER SUBSTANCES OR MATERIALS FROM BEING THROWN AGAINST OR UPON LOTS, BUILDINGS, UTILITY LINES, OR ANY STREET OR HIGHWAY. WHENEVER BLASTING IS BEING CONDUCTED IN THE VICINITY OF GAS, ELECTRIC, WATER, FIRE ALARM, TELEPHONE, TELEGRAPH, OR STEAM UTILITIES, THE BLASTER SHALL NOTIFY THE APPROPRIATE REPRESENTATIVE OF SUCH UTILITIES AT LEAST 24 HOURS IN ADVANCE OF BLASTING SPECIFYING THE LOCATION AND INTENDED TIME OF SUCH BLASTING. HOURS OF DETONATION SHALL BE LIMITED AS PROVIDED BY THE ROLESVILLE TOWN CODE. PERSONS RESPONSIBLE FOR BLASTING OPERATIONS SHALL MAINTAIN A RECORD OF EACH BLAST. ALL ORIGINAL BLASTING RECORDS SHALL BE RETAINED BY THE PERSONS RESPONSIBLE FOR THE BLASTING OPERATIONS FOR AT LEAST FIVE YEARS

FOLLOWING THE CESSATION OF THE BLASTING OPERATIONS AND SHALL BE AVAILABLE FOR INSPECTION BY

THE FIRE MARSHAL UPON REQUEST.



Cary, N.C. 27513

(919) 996-9455

QUANTECH ENGINEERING
INNOVATIVE SOLUTIONS | ENGINEERING THE FUTURE
Firm # F-1517

15000 Weston Parkway

Surveyor



Jurisdiction / Municipality

Rolesville, NC 27571
Phone: 919-554-6517

PSP-24-05

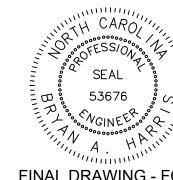
Other Consultants

Sheet map:



Town of Rolesville

Seal:



FINAL DRAWING - FOR REVIEW PURPOSES ONLY

Issued / Print Date: 2025-May-30 (17:01)
File Name: 1 Cover.dwg

Last Saved by: Tim Newsome

Project[.]

Drawn by: TAN

HARRIS CREEK FARMS

CID-25-??

PROGRESS DRAWINGS
DO NOT USE FOR
CONSTRUCTION

No. Date Description

Sheet Title:

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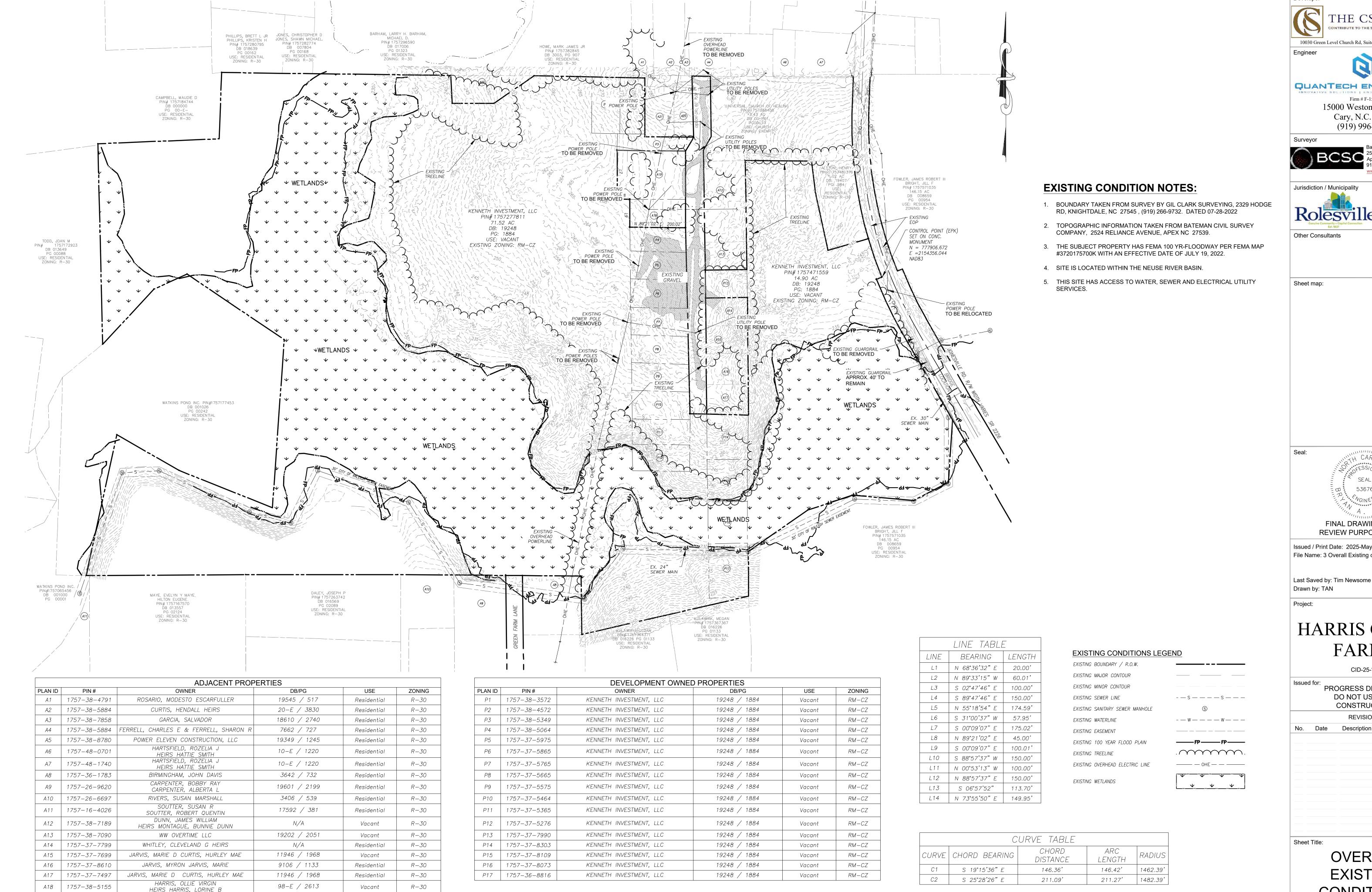
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N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL
TOLL FREE 811 or (800)632-4949

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY



8518 / 367

19170 / 1070

17501 / 945

12-E / 3295

Residential

Vacant

Residential

Residential

R - 30

R - 30

R - 30

R - 30

A19

A20

A21

A22

1757-38-5249

1757-27-7811

1757-38-5562

1757-28-9559

CHEN, PING LI, FANXING

ROUSE, ELLEN CURTIS

QUIRINO, MARIA ESTELA

WILDER, THOMAS H III

WILDER, MAGGIE



9-557-1080 ext 109 Town of Rolesville

502 Southtown Cir

Rolesville, NC 27571 Phone: 919-554-6517

53676

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Issued / Print Date: 2025-May-30 (17:01) File Name: 3 Overall Existing conditions.dwg

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HARRIS CREEK **FARMS**

CID-25-??

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REVISIONS

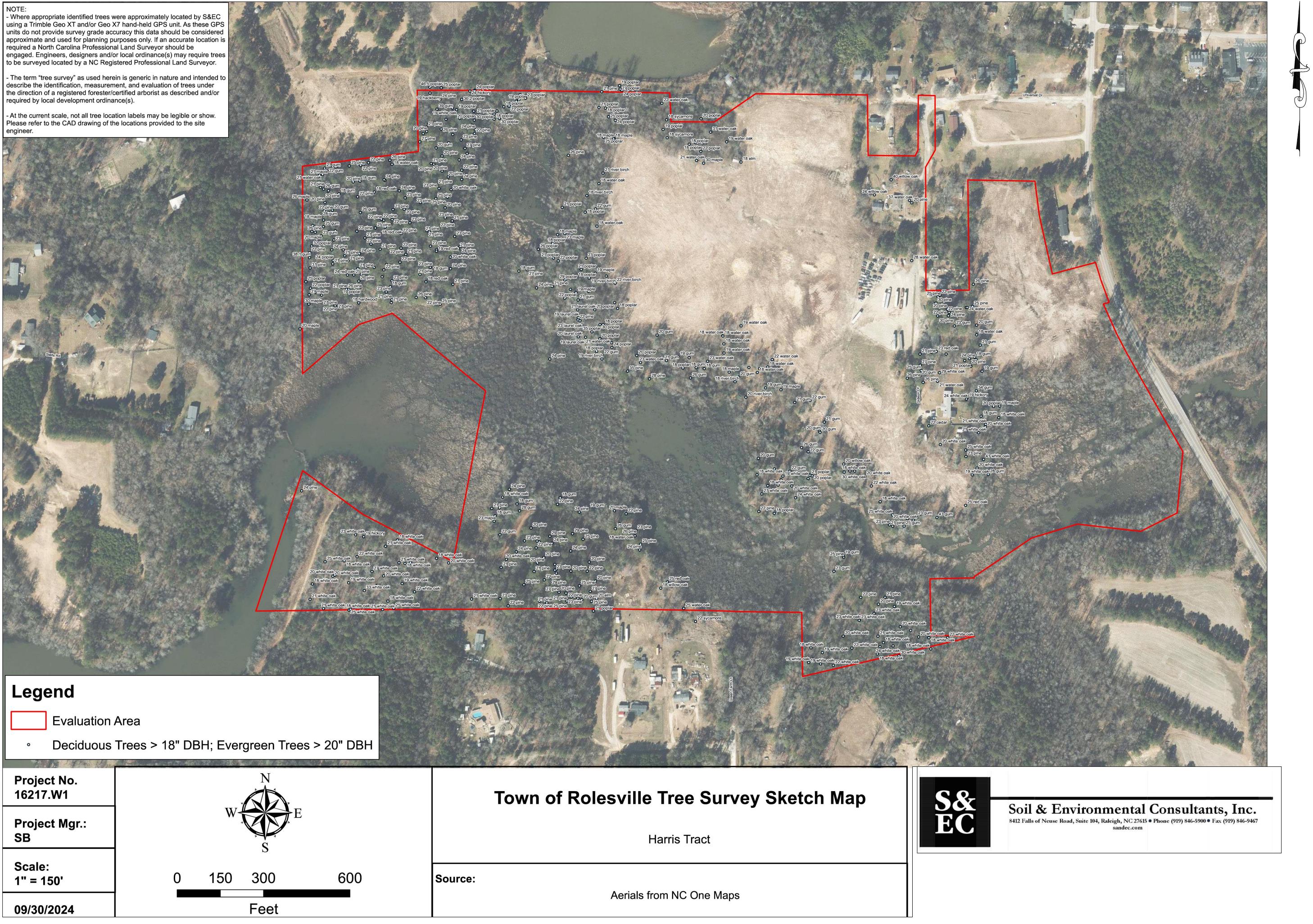
OVERALL EXISTING CONDITIONS

N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949

GRAPHIC SCALE

(IN FEET) 1 inch = 150 ft



N.C. UNDERGROUND UTILITIES 3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949

THE CSC GROUP 10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519

QUANTECH ENGINEERING

15000 Weston Parkway Cary, N.C. 27513 (919) 996-9455

Jurisdiction / Municipality Town of Rolesville 502 Southtown Cir Rolesville, NC 27571

Other Consultants

Bateman Civil Survey Company

REVIEW PURPOSES ONLY

Issued / Print Date: 2025-May-30 (17:02) File Name: 3 Overall Existing conditions.dwg

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Drawn by: TAN

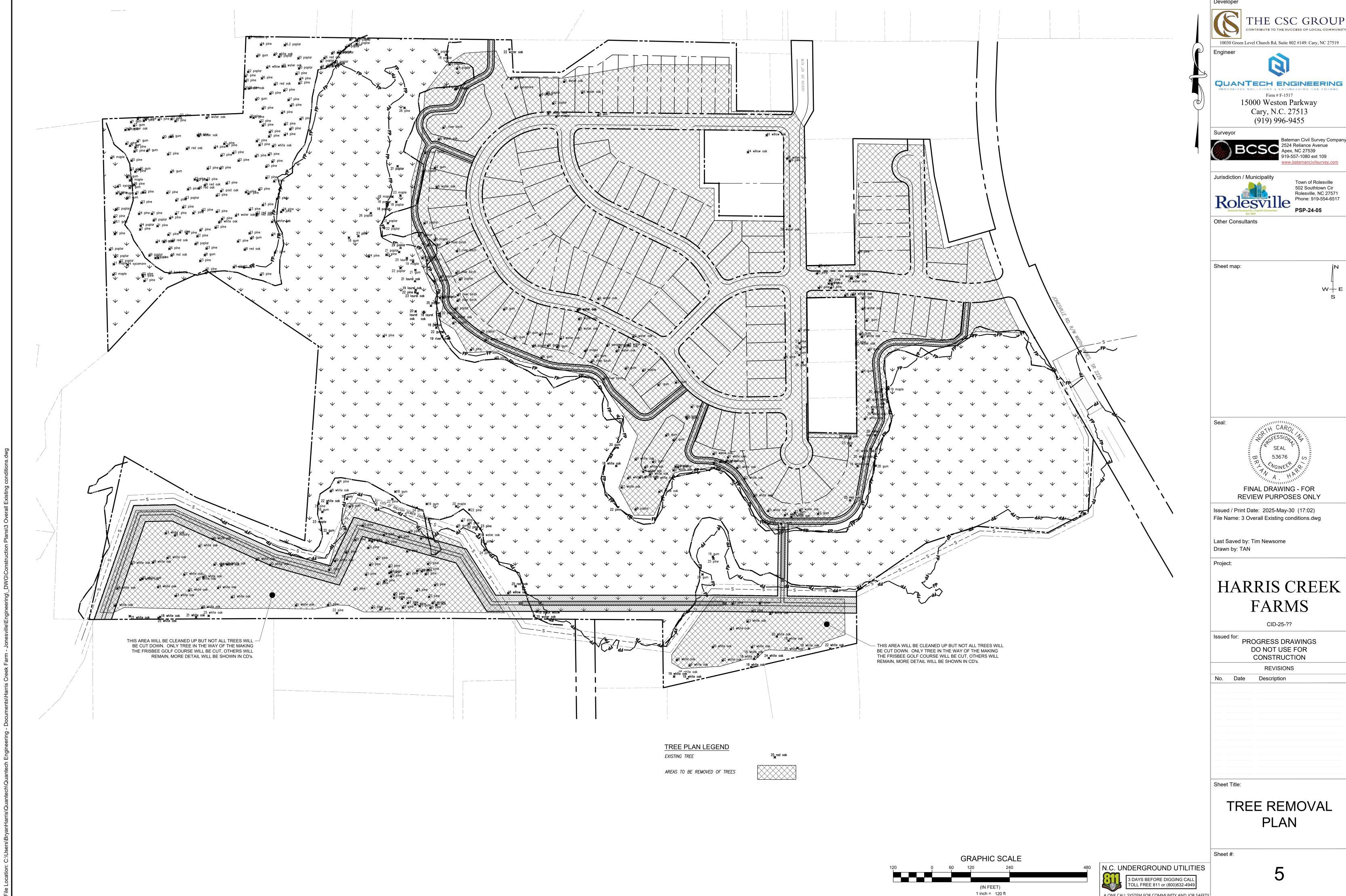
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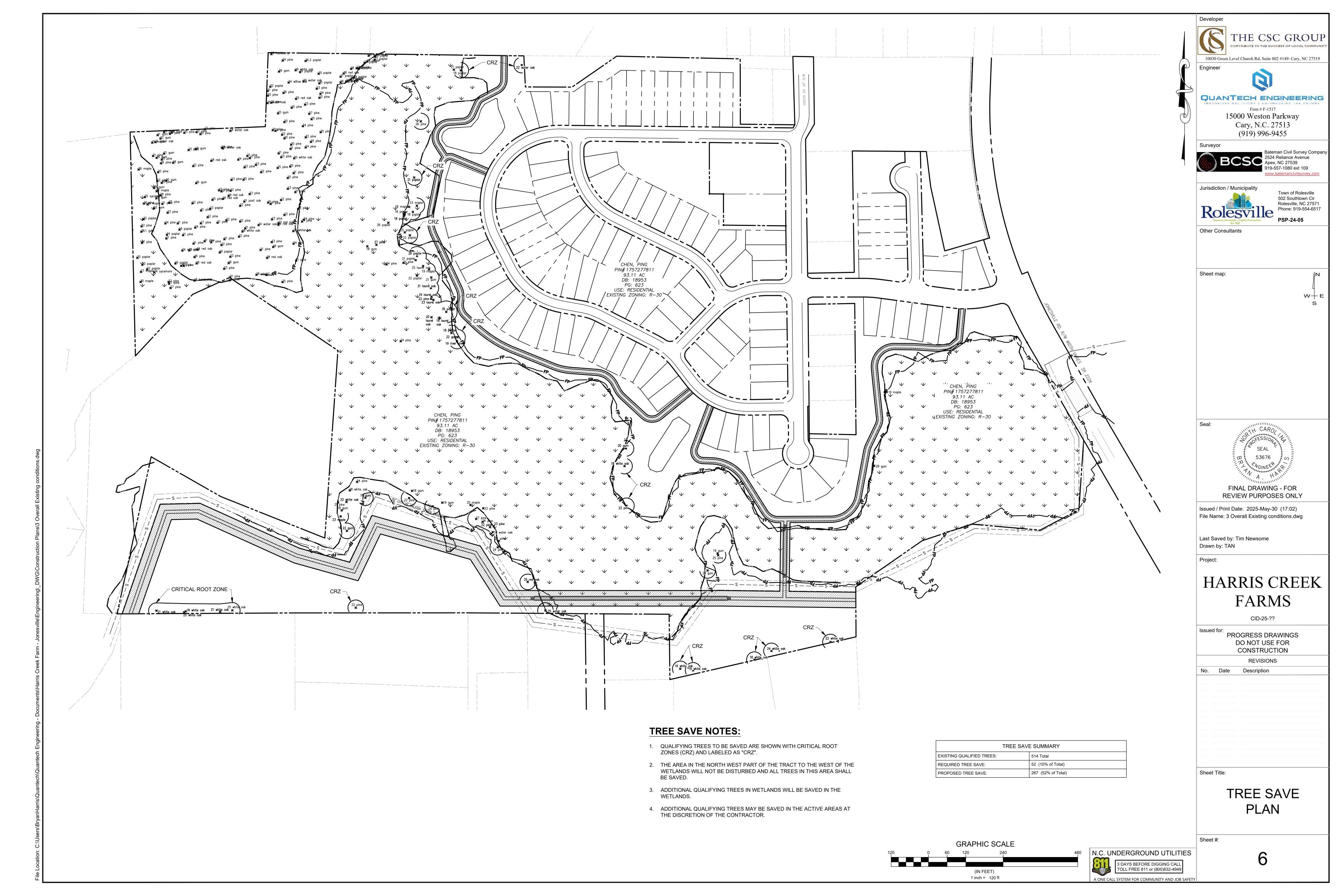
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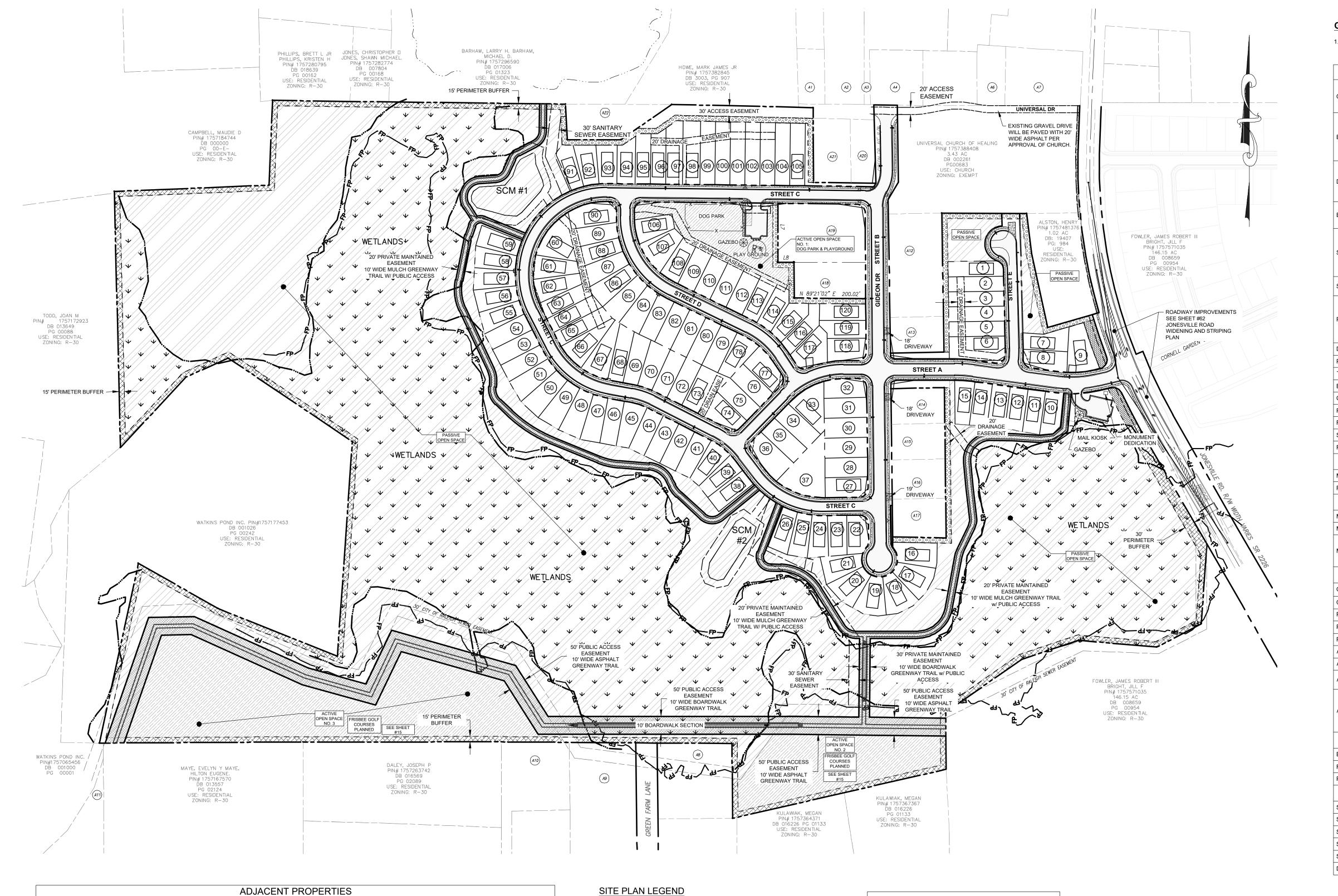
PROGRESS DRAWINGS
DO NOT USE FOR
CONSTRUCTION

Date

EXISTING TREE SURVEY







20' REAR SETBACK 5' SIDE **→** SETBACK 20' FRONT SETBACK 20' DRIVEWAY WIDTH, TYPICAL TYPICAL LOT LAYOUT

GENERAL SITE NOTES:

1. SEE SHEET 14 FOR ROADWAY SECTIONS AND LINE & CURVE TABLES.

SITE D	DATA TABLE
OWNER	KENNETH INVESTMENTS, LLC Contact: STEPHAN GEORGE 10030 GREEN LEVEL CHURCH RD, STE 802 CARY, NC 27519
ENGINEER:	QUANTECH ENGINEERING BRYAN A. HARRIS, PE 15000 WESTON PARKWAY, STE. 174 CARY, NC 27513 PHONE: (919) 815-9987 EMAIL: BRYAN@QUANTECHENG.COM
DEVELOPER:	THE CSC GROUP, LLC STEVE GEORGE 600 PARK OFFICES DRIVE, STE 372 RESEARCH TRIANGLE, NC 27709 PHONE: (919) 815-9987
ENVIRONMENTAL CONSULTANT	MORRIS & RITCHIE ASSOCIATES 530 HINTON POND ROAD, SUITE 104 KNIGHTDALE, NC 27545
SURVEYOR:	BATEMAN CIVIL SURVEY COMPANY JOSH DAVIDSON 2524 RELIANCE AVE APEX, NC 27539 PHONE: 919 557-1080 Ext 109 josh@batemancivilsurvey.com
SITE ADDRESS	4928 UNIVERSAL DR WAKE FOREST, NC 27587-6356
PIN:	1757277811, 1757471559, 1757383572, 1757384572, 1757384572, 1757375865, 1757375865, 1757375575, 1757375575, 1757375576, 1757375576, 1757375464, 1757375365, 1757375276, 1757378109, 1757378013, 1757368816
DEED BOOK / PAGE	019248 / 01884 (all parcels)
PLAT BOOK / PAGE	BM2007 / 01224
TOTAL SITE AREA:	94.99 AC
EXISTING ZONING:	RM-CZ
CURRENT USE:	RESIDENTIAL OLUCTER (MEDIUM DENOITY
PROPOSED USE	RESIDENTIAL-CLUSTER (MEDIUM DENSITY
RIVER BASIN	NEUSE (UDDER) 02020201
SUB WATERSHED FEMA FIRM PANEL #:	NEUSE (UPPER) - 03020201 3720175700K
MAXIMUM DENSITY ALLOWED: PROPOSED DENSITY:	5.0 UNITS / AC 120 UNITS / 94.99 AC = 1.26 UNITS / AC S (CLUSTER)
LOIS	S (CLUSTER)
	·
MINIMUM LOT WIDTH	42.0 FT
MINIMUM LOT WIDTH MINIMUM LOT AREA MINIMUM BUILDING SETBACKS:	·
MINIMUM LOT AREA MINIMUM BUILDING SETBACKS:	42.0 FT 6,000 SF FRONT: 20' REAR: 20' CORNER: 10'
MINIMUM LOT AREA MINIMUM BUILDING SETBACKS:	42.0 FT 6,000 SF FRONT: 20' REAR: 20' CORNER: 10' SIDE: 5'
MINIMUM LOT AREA MINIMUM BUILDING SETBACKS: OPENSPACE (MED	42.0 FT 6,000 SF FRONT: 20' REAR: 20' CORNER: 10' SIDE: 5' DIUM DENSITY, CLUSTER)
MINIMUM LOT AREA MINIMUM BUILDING SETBACKS: OPENSPACE (MEDITED 12%)	42.0 FT 6,000 SF FRONT: 20' REAR: 20' CORNER: 10' SIDE: 5' DIUM DENSITY, CLUSTER) 11.40 AC
MINIMUM LOT AREA MINIMUM BUILDING SETBACKS: OPENSPACE (MEDITION OPEN SPACE (PROPOSED)	42.0 FT 6,000 SF FRONT: 20' REAR: 20' CORNER: 10' SIDE: 5' DIUM DENSITY, CLUSTER) 11.40 AC 63.31 AC
MINIMUM LOT AREA MINIMUM BUILDING SETBACKS: OPENSPACE (MEDITION OPEN SPACE (REQUIRED 12%) OPEN SPACE (PROPOSED) PASSIVE (REQUIRED)	42.0 FT 6,000 SF FRONT: 20' REAR: 20' CORNER: 10' SIDE: 5' DIUM DENSITY, CLUSTER) 11.40 AC 63.31 AC 5.70 AC 55.75 AC
MINIMUM LOT AREA MINIMUM BUILDING SETBACKS: OPENSPACE (MEDITED 12%) OPEN SPACE (PROPOSED) PASSIVE (REQUIRED) PASSIVE (PROPOSED)	42.0 FT 6,000 SF FRONT: 20' REAR: 20' CORNER: 10' SIDE: 5' DIUM DENSITY, CLUSTER) 11.40 AC 63.31 AC 5.70 AC 55.75 AC
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MINIMUM LOT AREA MINIMUM BUILDING SETBACKS: OPENSPACE (MED OPEN SPACE (REQUIRED 12%) OPEN SPACE (PROPOSED) PASSIVE (REQUIRED) PASSIVE (PROPOSED) PASSIVE (NOT IN SCM OR ENVIRONMENTAL AREAS; ACTIVE (REQUIRED)	42.0 FT 6,000 SF FRONT: 20' REAR: 20' CORNER: 10' SIDE: 5' DIUM DENSITY, CLUSTER) 11.40 AC 63.31 AC 5.70 AC 55.75 AC 7.11 AC 5.70 AC
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THE CSC GROUP 10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519 QUANTECH ENGINEERING 15000 Weston Parkway Cary, N.C. 27513 (919) 996-9455 Jurisdiction / Municipality Other Consultants

Firm # F-1517

ateman Civil Survey Compan 2524 Reliance Avenue

> Town of Rolesville 502 Southtown Cir Rolesville, NC 27571 Phone: 919-554-6517

19-557-1080 ext 109

FINAL DRAWING - FOR **REVIEW PURPOSES ONLY**

Issued / Print Date: 2025-May-30 (17:03) File Name: 7 Overall Site Plan.dwg

Last Saved by: Tim Newsome

Drawn by: TAN

HARRIS CREEK **FARMS**

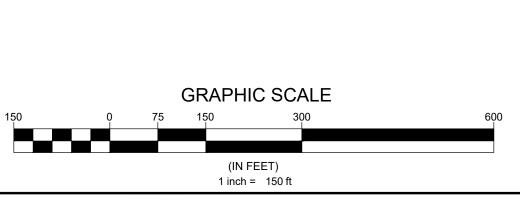
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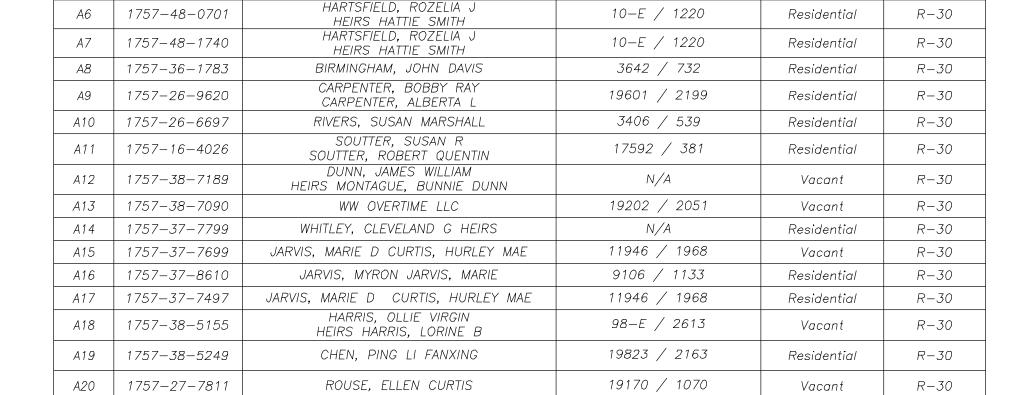
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Sheet Title:

OVERALL SITE PLAN







DB/PG

19545 / 517

20-E / 3830

18610 / 2740

7662 / 727

19349 / 1245

17501 / 945

12-E / 3295

ZONING

R - 30

PROPOSED R.O.W.

PROPOSED LOT LINE

EXISTING WETLANDS

PROPOSED BUILDING SETBACK

USE

Residential

Residential

Residential

Residential

Residential

Residential

Residential

OWNER

ROSARIO, MODESTO ESCARFULLER

CURTIS, HENDALL HEIRS

GARCIA, SALVADOR

FERRELL, CHARLES E & FERRELL, SHARON F

POWER ELEVEN CONSTRUCTION, LLC

QUIRINO, MARIA ESTELA

WILDER, THOMAS H III

WILDER, MAGGIE

PLAN ID

PIN#

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A3 1757-38-7858

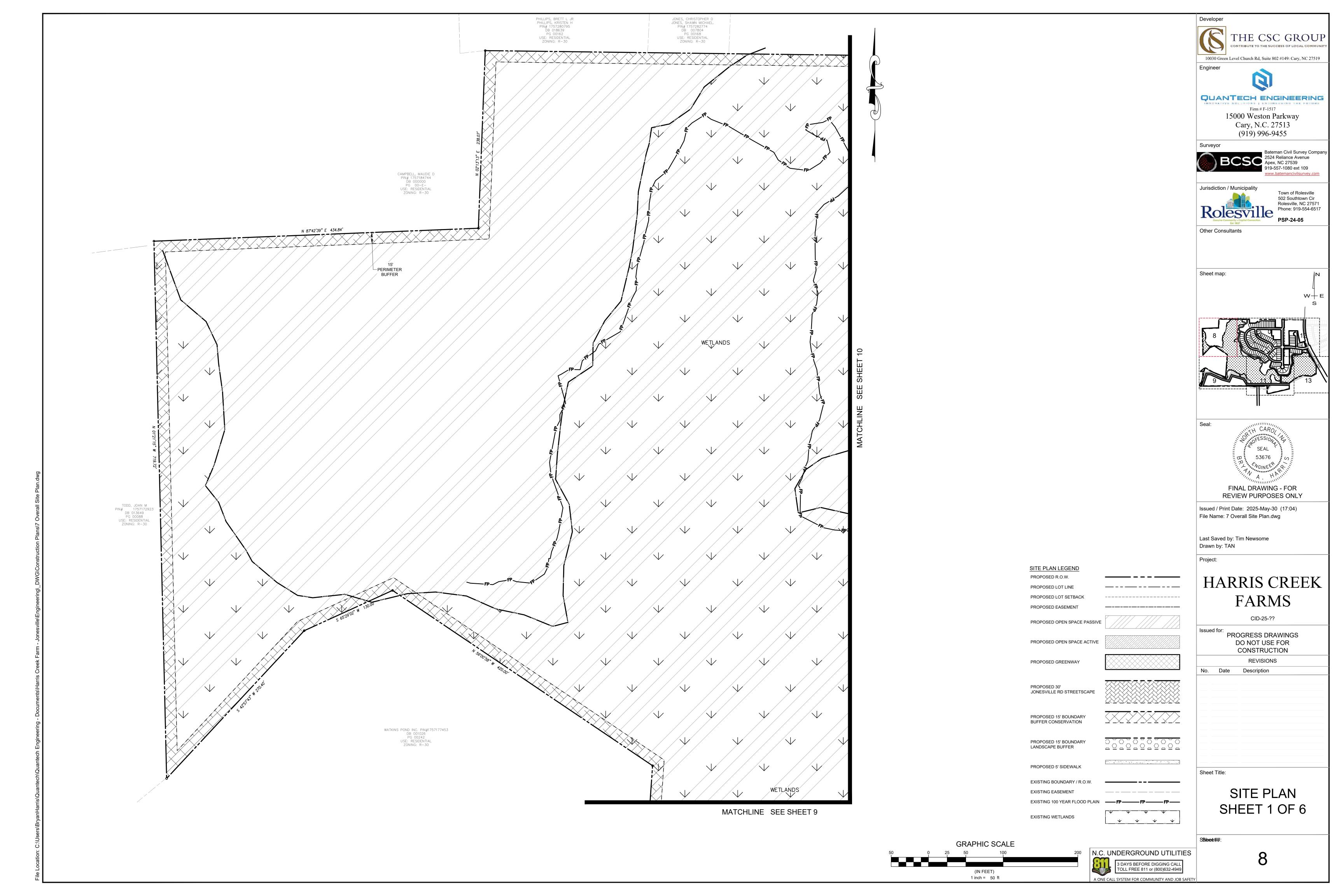
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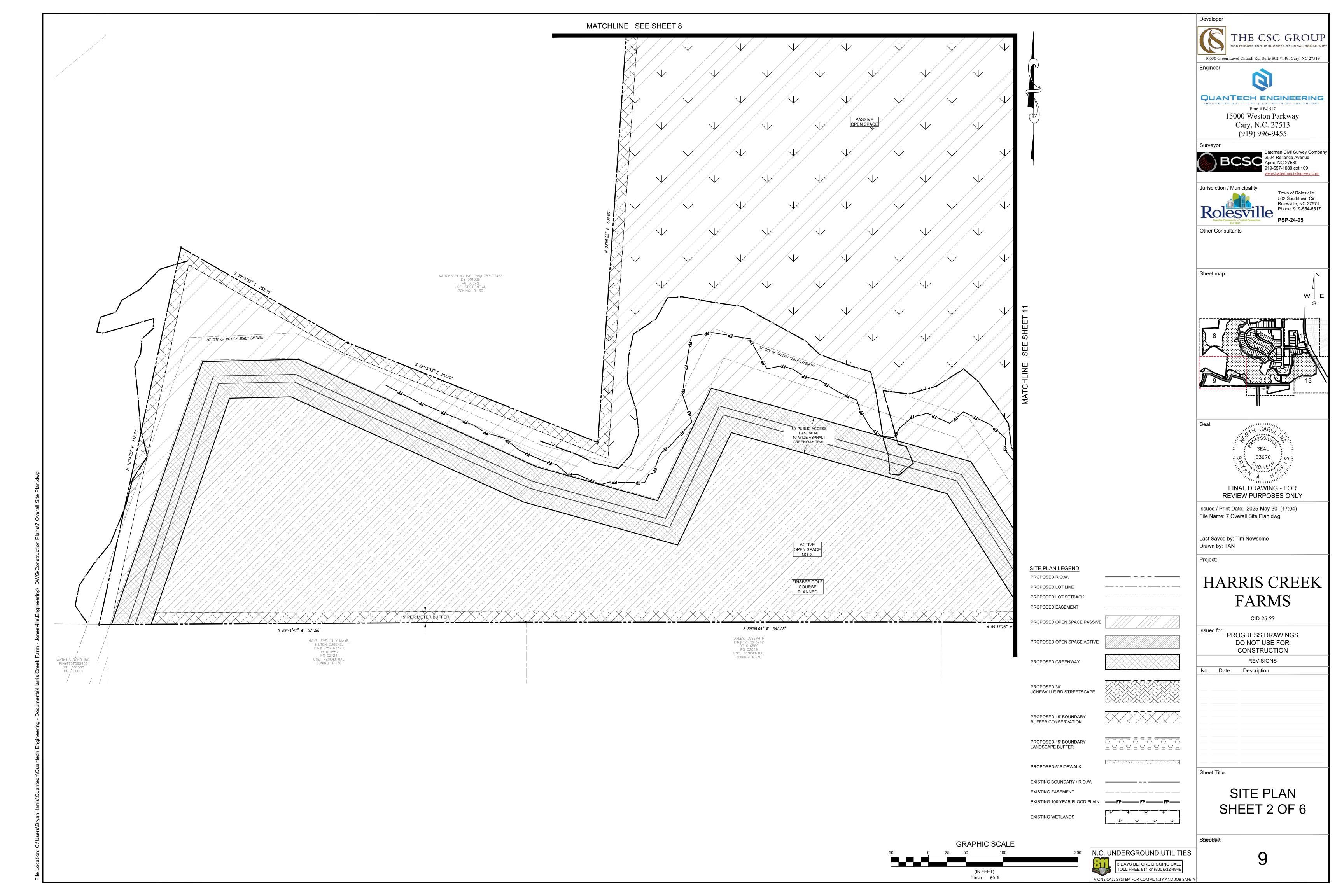
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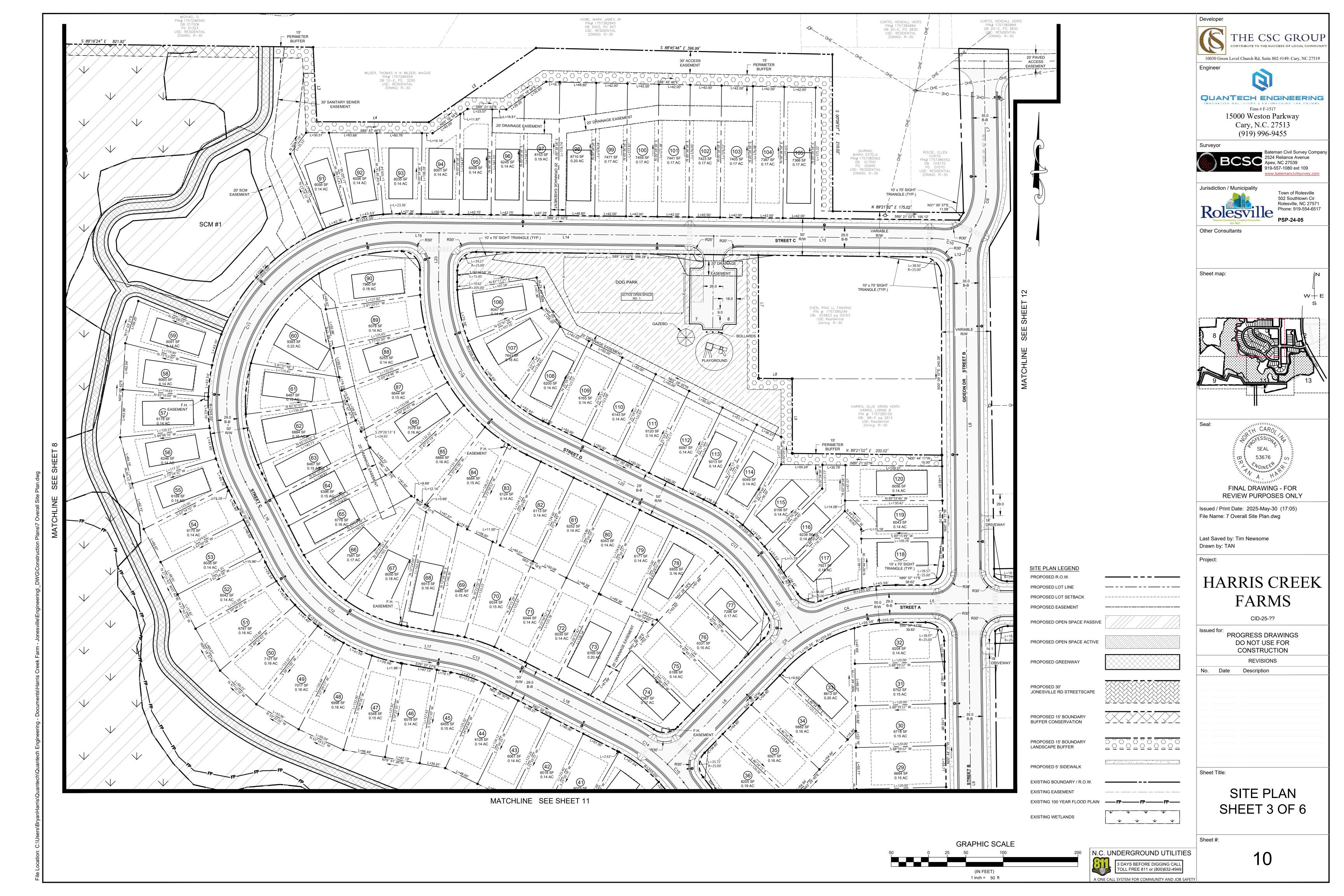
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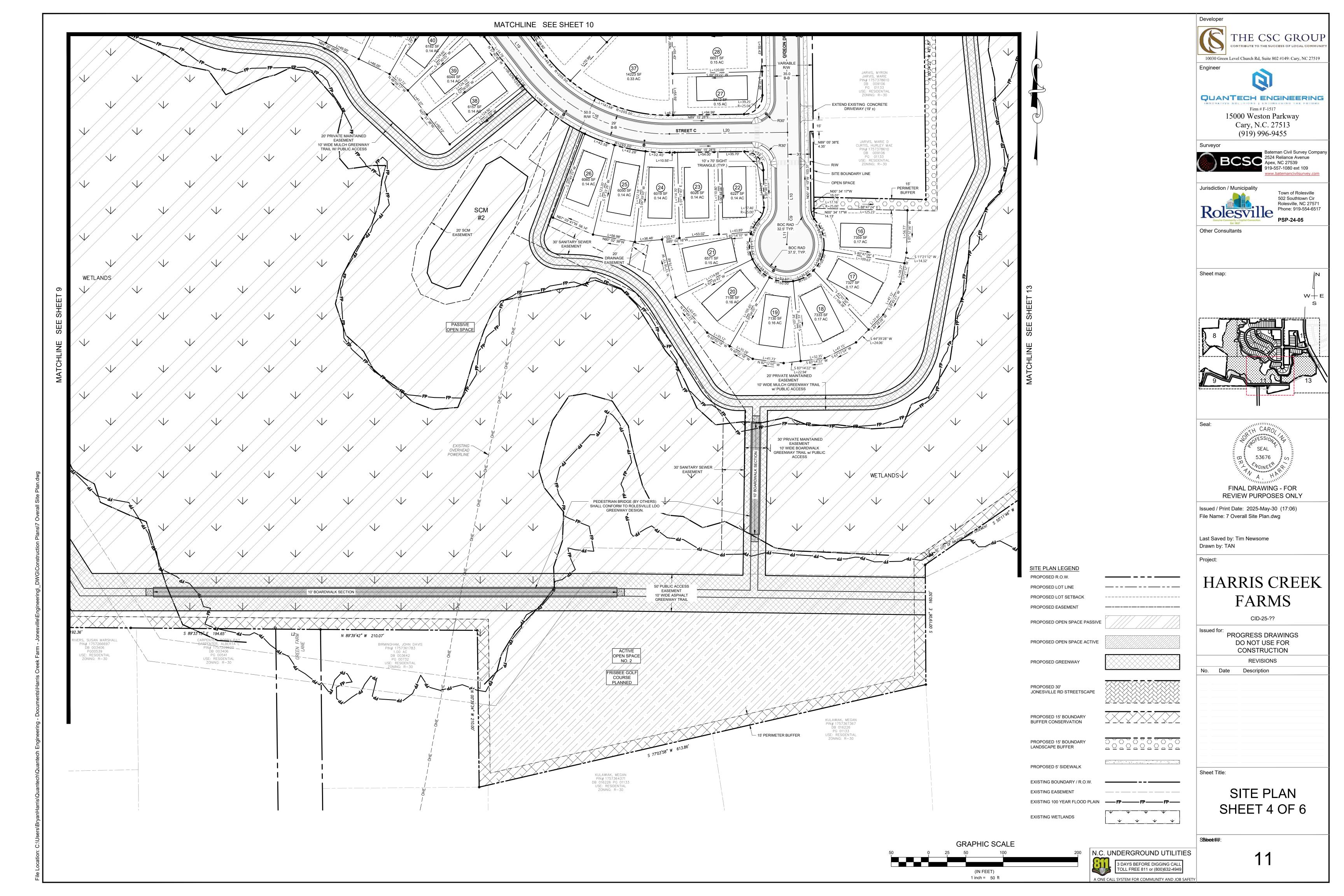
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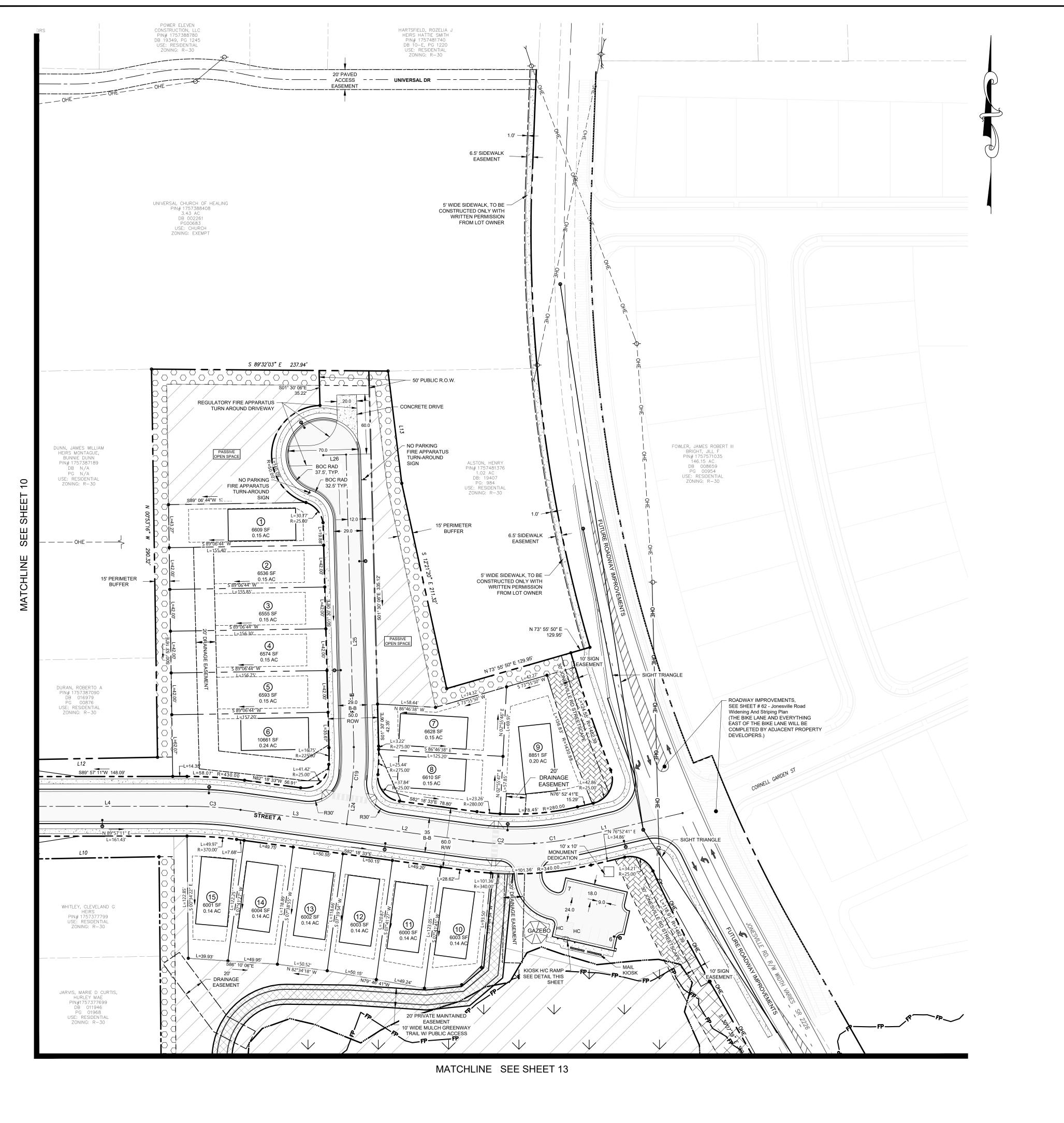
PROPOSED EASEMENT PROPOSED OPEN SPACE PASSIVE PROPOSED OPEN SPACE ACTIVE PROPOSED GREENWAY PROPOSED 30' JONESVILLE RD STREETSCAPE PROPOSED 15' BOUNDARY BUFFER CONSERVATION PROPOSED 15' BOUNDARY LANDSCAPE BUFFER PROPOSED 5' SIDEWALK EXISTING BOUNDARY / R.O.W. EXISTING EASEMENT EXISTING 100 YEAR FLOOD PLAIN

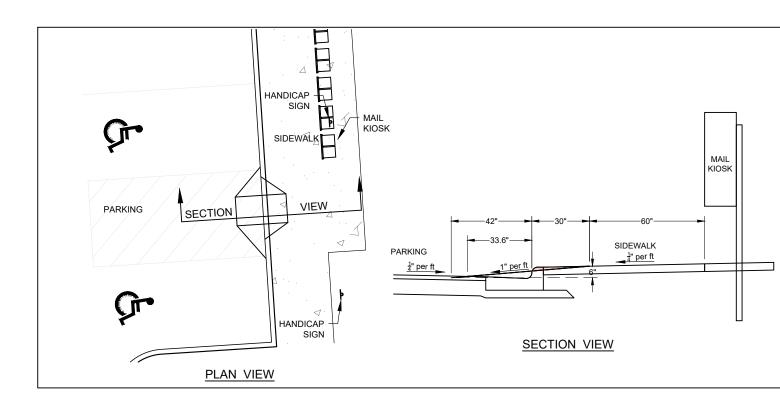




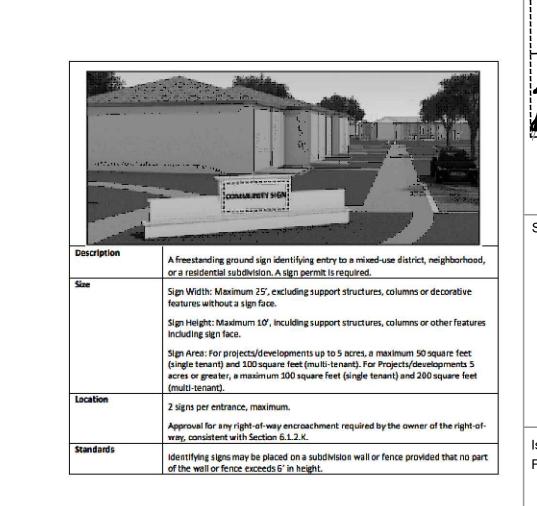


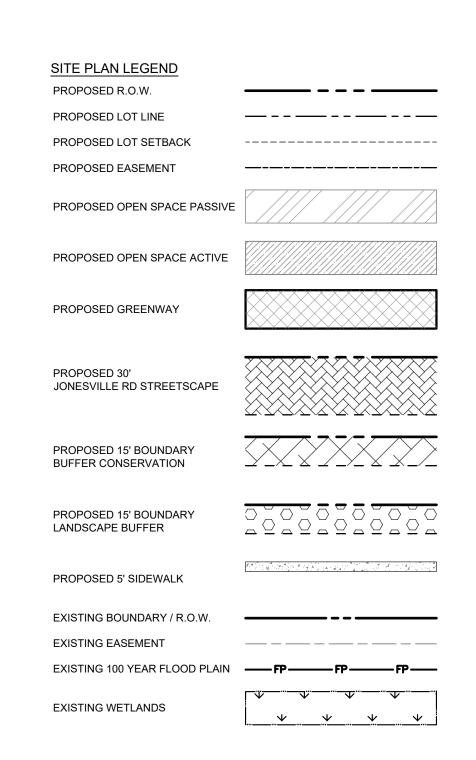






HANDICAP RAMP AT KIOSK DETAIL





			GRAPH	IIC SCALE		
50	0	25	50	100	200	N.C. UN
			-	FEET) n = 50 ft	_	A ONE CALL

N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL
TOLL FREE 811 or (800)632-4949

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

	Developer
	THE CSC GROUP CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUNITY 10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519
	10050 Green Eever Charen Ra, State 602 #115. Cary, 110 27515
LK	Engineer
_	QUANTECH ENGINEERING
	Firm # F-1517
	15000 Weston Parkway
	Cary, N.C. 27513
	(919) 996-9455
	Cumiaira

Bateman Civil Survey Company
2524 Reliance Avenue
Apex, NC 27539
919-557-1080 ext 109
www.batemancivilsurvey.com

Jurisdiction / Municipality

Town of Rolesville
502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517

PSP-24-05

Other Consultants

W + E S S 13

FINAL DRAWING - FOR REVIEW PURPOSES ONLY

Issued / Print Date: 2025-May-30 (17:07)
File Name: 7 Overall Site Plan.dwg

Last Saved by: Tim Newsome
Drawn by: TAN

Project:

HARRIS CREEK FARMS

CID-25-??

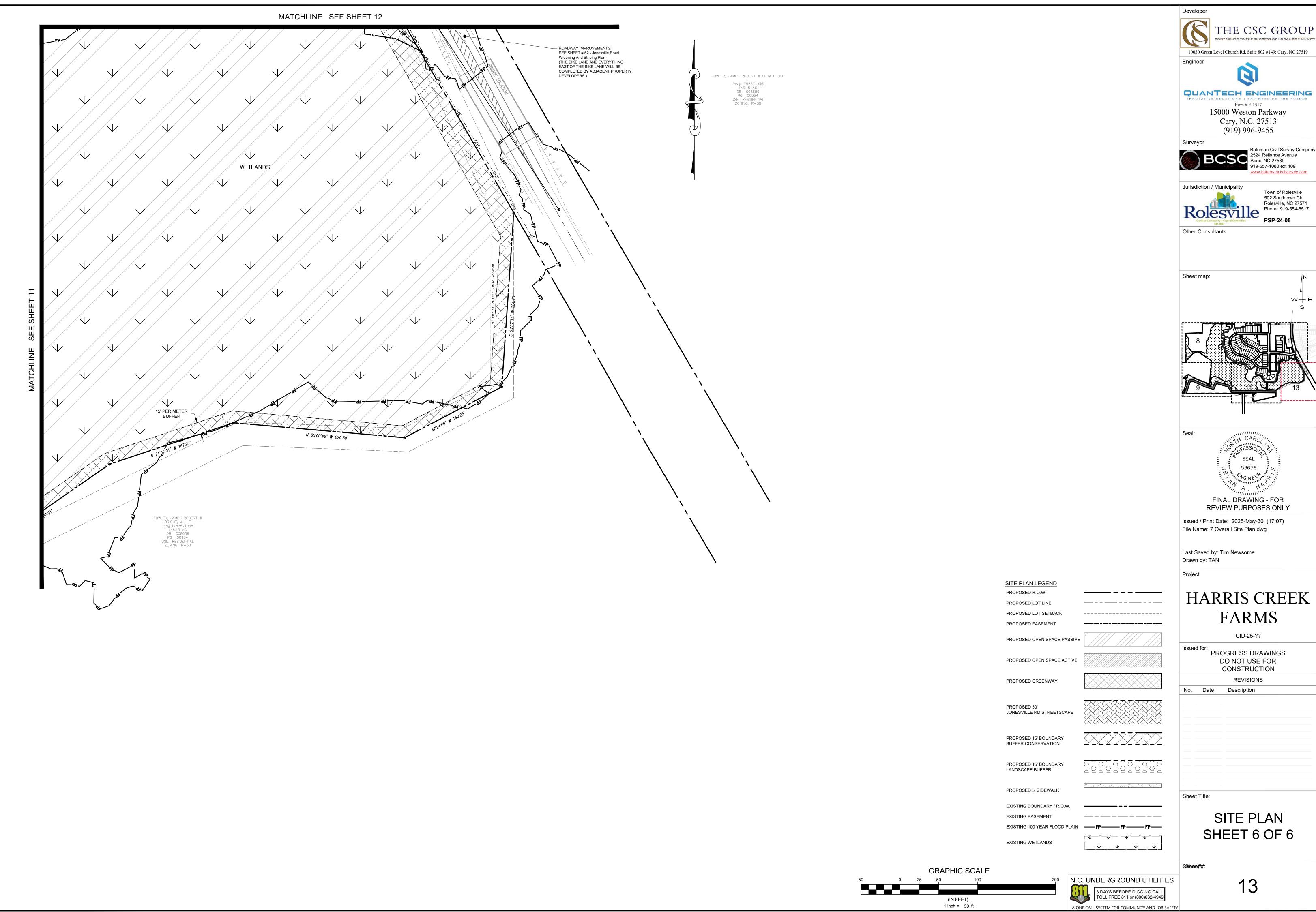
PROGRESS DRAWINGS
DO NOT USE FOR
CONSTRUCTION

No. Date Description

Sheet Title:

SITE PLAN SHEET 5 OF 6

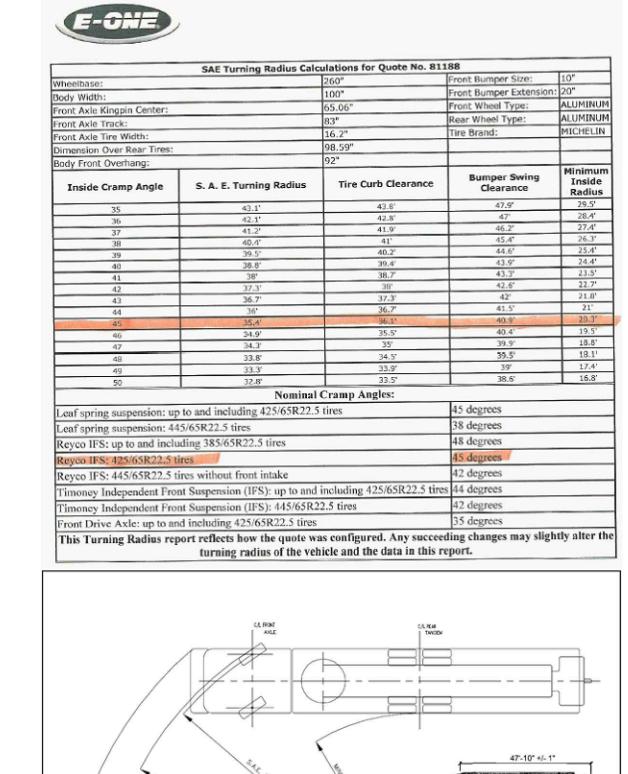
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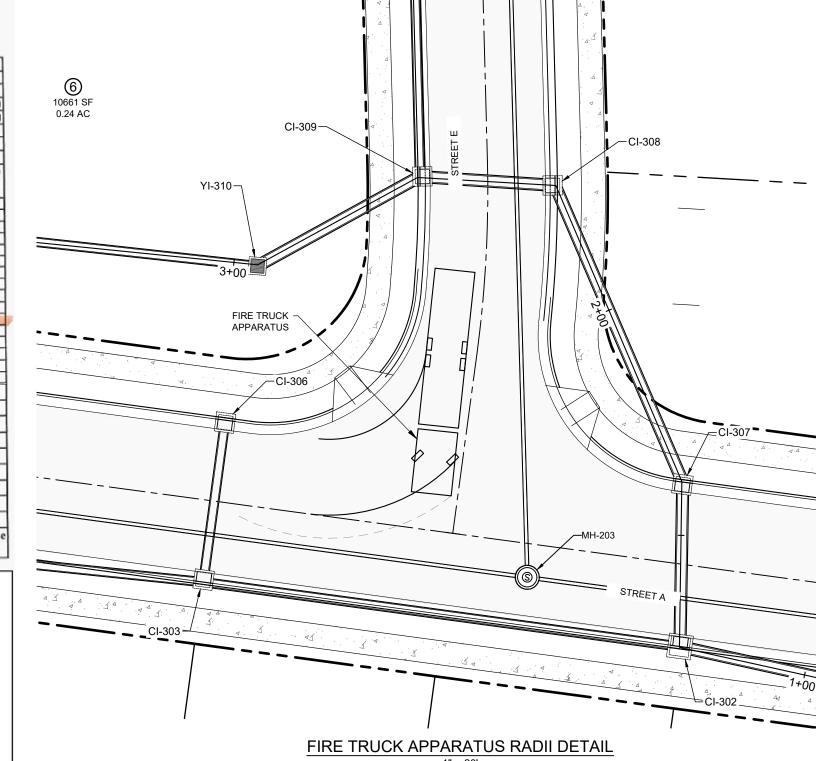


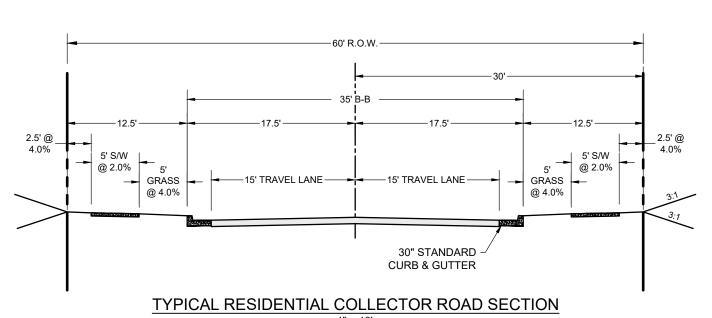
HARRIS CREEK

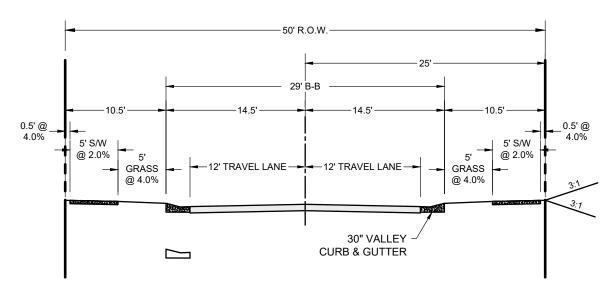
Street Centerline Line Table		
Line #	Length (ft)	BEARING
L1	101.59	N76° 52' 41"E
L2	235.96	S82° 18' 33"E
L3	235.96	S82° 18' 33"E
L4	217.09	N89° 57' 11"E
L5	94.23	N89° 57' 11"E
L6	199.48	N44° 10' 45"E
L7	167.95	N00° 55' 12"W
L8	456.14	N00° 25' 00"W
L9	382.47	N00° 44' 11"W
L10	102.62	N00° 44' 11"W
L11	21.31	N04° 15' 55"E
L12	1.97	N73° 49' 16"W
L13	292.04	N89° 21' 02"W
L14	367.89	N89° 21' 02"W
L15	51.75	N89° 21' 02"W
L16	107.86	S26° 59' 02"E
L17	64.12	S79° 37' 27"E
L18	195.83	S62° 58' 47"E
L19	70.35	S37° 40' 48"E
L20	158.26	N89° 15' 29"E
L21	91.42	N33° 35' 40"W
L22	238.98	N64° 00' 09"W
L23	65.45	N00° 38' 58"E
L24	37.82	S07° 41' 27"W
L25	294.26	S01° 30' 06"E
L26	23.00	S88° 29' 54"W

Street Centerline Curve Table		
Curve #	Length (ft)	Radius
C1	58.31	310.00
C2	54.29	310.00
C3	54.02	400.00
C4	135.16	230.00
C5	51.60	230.00
* C7	53.30	100.00
* C8	53.30	100.00
* C9	26.19	300.00
* C10	47.52	150.00
C11	472.21	230.00
C12	211.31	230.00
C13	62.61	230.00
C14	68.88	230.00
C15	32.68	230.00
C16	213.00	230.00
C17	122.07	230.00
C18	259.53	230.00
C19	40.11	250.00



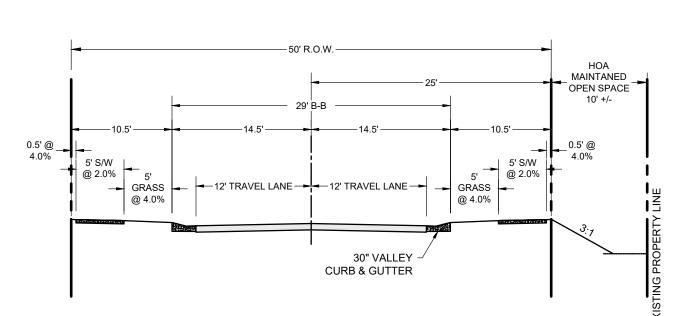


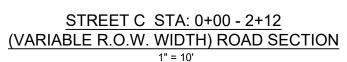


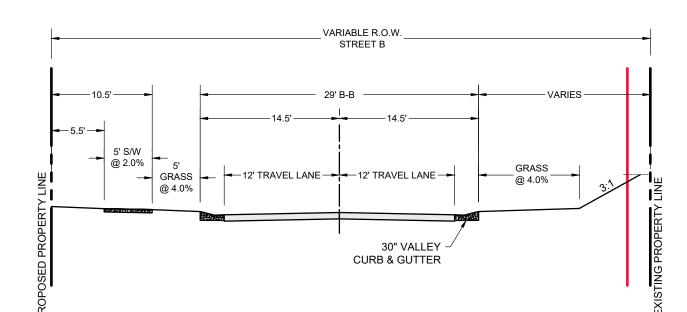


TYPICAL RESIDENTIAL LOCAL ROAD SECTION

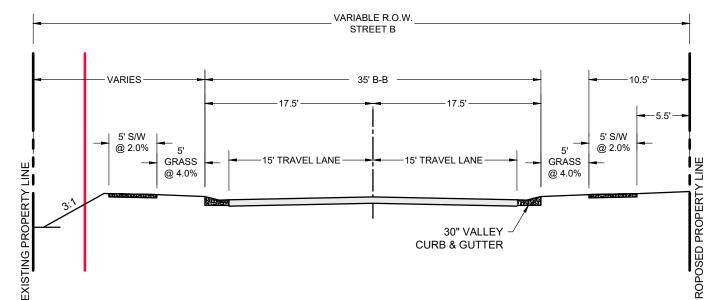
NOTE: STREET A FROM JONESVILLE RD TO GIDEON RD IS A COLLECTOR ROAD THE REMAINDER OF STREET A IS A LOCAL ROAD







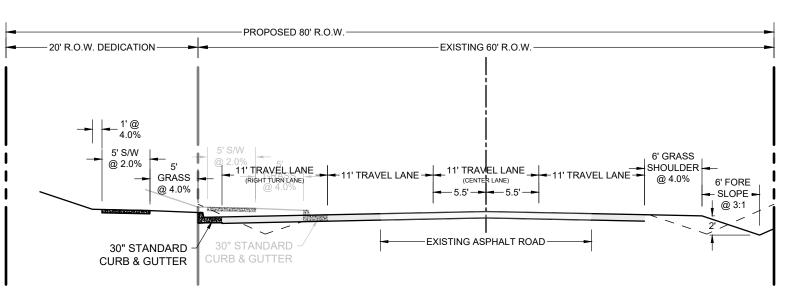
STREET B STA: 0+00 - 2+30 (Gidion Dr. north of street C north intersection) ROAD SECTION



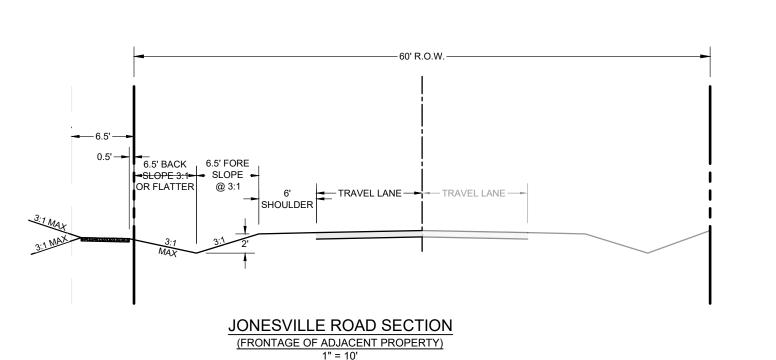
3 AXLE LADDER TRUCK

VALUES BANED ON 45" AND COMMP AND E

STREET B STA: 2+80 - 12+10 Gidion Dr. south of street C north intersection) ROAD SECTION

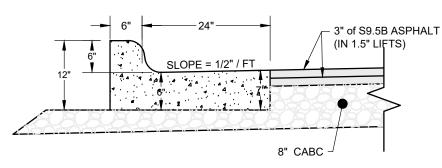


JONESVILLE ROAD SECTION (PROPERTY FRONTAGE) 1" = 10'

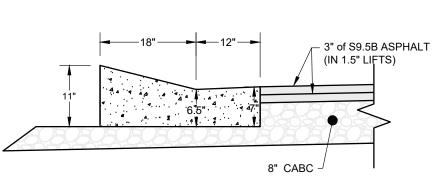


SIDEWALK NOTES

- 1. WHERE IT IS NECESSARY TO REMOVE A PORTION OF EXISTING SIDEWALKS OR DRIVEWAYS, SAW A NEAT EDGE ALONG THE PAVEMENT TO BE RETAINED APPROXIMATELY 2 INCHES DEEP WITH A CONCRETE SAW BEFORE BREAKING THE ADJACENT PAVEMENT AWAY.
- 2. CONSTRUCT CONCRETE IN ACCORDANCE WITH TOWN STANDARDS AND NCDOT STANDARDS & SPECIFICATIONS SECTION 825 AND AND GIVE SIDEWALK FINISH, EXCEPT AS OTHERWISE PROVIDED HEREIN.
- 3. BROOM THE CONCRETE SURFACE IN A TRANSVERSE DIRECTION TO TRAFFIC MAKE JOINT SPACING NO LESS THAN 5 FEET. WHERE EXISTING SIDEWALKS ARE BEING WIDENED, LINE UP NEW TRANSVERSE JOINTS WITH EXISTING JOINTS IN THE ADJACENT SIDEWALK. SEAL EXPANSION JOINTS WHERE SIDEWALK AND CURB RAMPS ARE PLACED ADJACENT TO CONCRETE CURB AND/OR GUTTER. DO NOT SEAL GROOVE JOINTS.
- 4. DO NOT PLACE BACKFILL ADJACENT TO THE SIDEWALK, DRIVEWAY OR CURB RAMP UNTIL AT LEAST 3 CURING DAYS, AS DEFINED IN ARTICLE 825-9, HAVE ELAPSED UNLESS OTHERWISE APPROVED. COMPACT BACKFILL TO A
- DEGREE COMPARABLE TO THE ADJACENT UNDISTURBED MATERIAL.
- 5. DO NOT PLACE VEHICLES ON THE COMPLETED WORK UNTIL 7 CURING DAYS, AS DEFINED IN ARTICLE 825-9, HAVE ELAPSED. WHEN HIGH EARLY STRENGTH CONCRETE IS USED, VEHICLES WILL BE PERMITTED ON THE COMPLETED WORK AFTER 3 CURING DAYS HAVE ELAPSED.
- 6. INSTALL DETECTABLE WARNINGS FOR PROPOSED CURB RAMPS IN ACCORDANCE WITH THE CONTRACT
- 7. PRIOR TO PLACING DETECTABLE WARNINGS IN EXISTING CONCRETE CURB RAMPS, SAW CUT TO THE FULL DEPTH OF THE CONCRETE, FOR OTHER MATERIAL REMOVE AS NECESSARY, AND ADJUST THE EXISTING SUBGRADE TO
- 8. PLACE ALL DETECTABLE WARNINGS IN ACCORDANCE TO MANUFACTURE'S RECOMMENDATIONS.



30" CONCRETE STANDARD CURB & GUTTER



30" CONCRETE VALLEY CURB & GUTTER



QUANTECH ENGINEERING Firm # F-1517

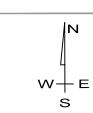
15000 Weston Parkway

Cary, N.C. 27513 (919) 996-9455





Other Consultants



53676 FINAL DRAWING - FOR **REVIEW PURPOSES ONLY**

Issued / Print Date: 2025-May-30 (17:09) File Name: 7 Overall Site Plan.dwg

Last Saved by: Tim Newsome Drawn by: TAN

HARRIS CREEK **FARMS**

CID-25-??

Issued for: PROGRESS DRAWINGS DO NOT USE FOR CONSTRUCTION

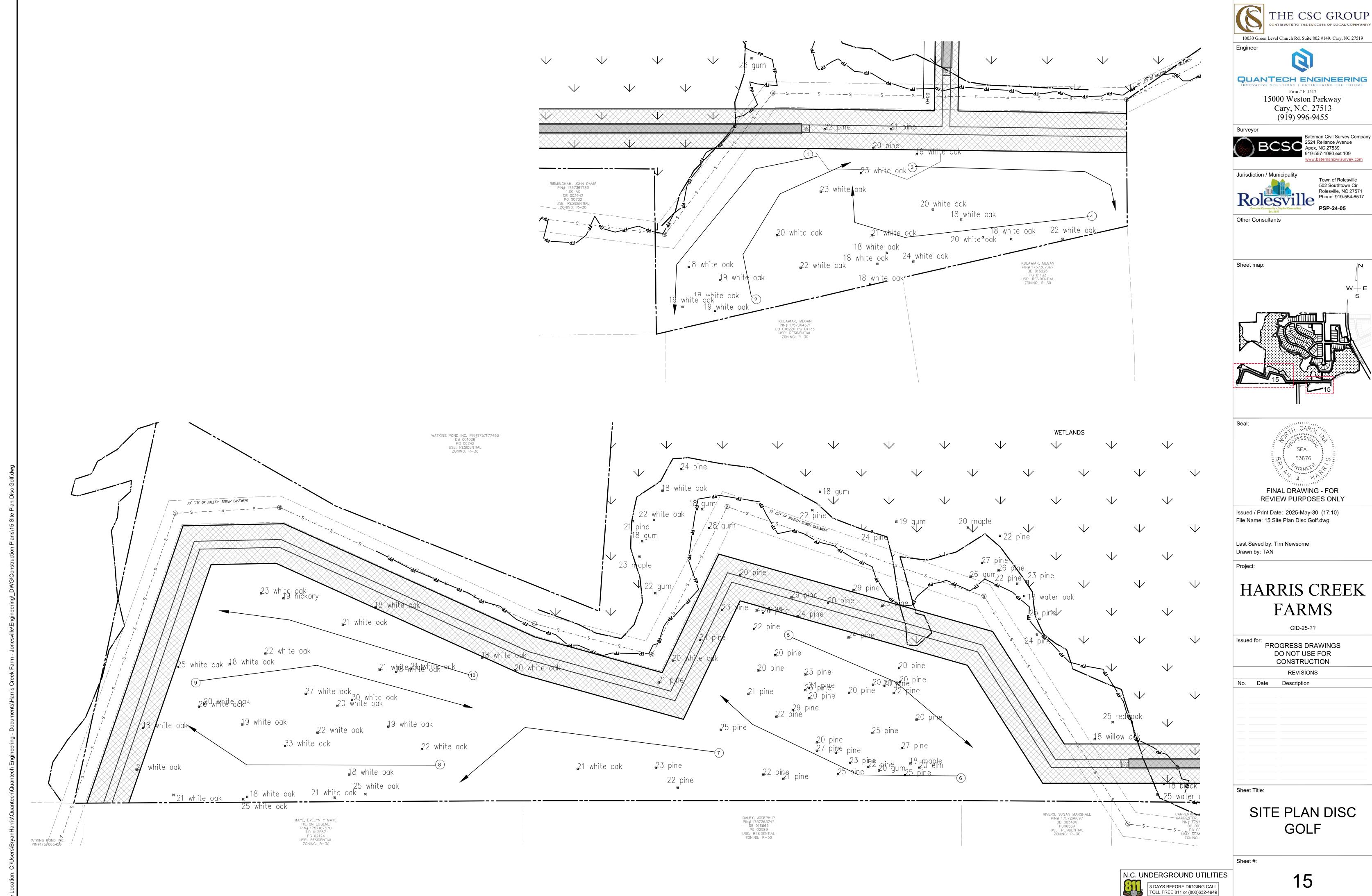
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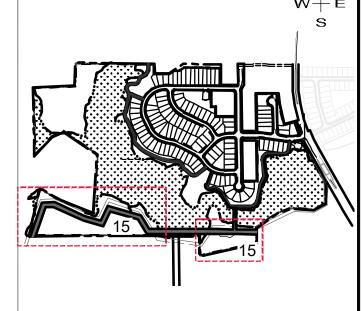
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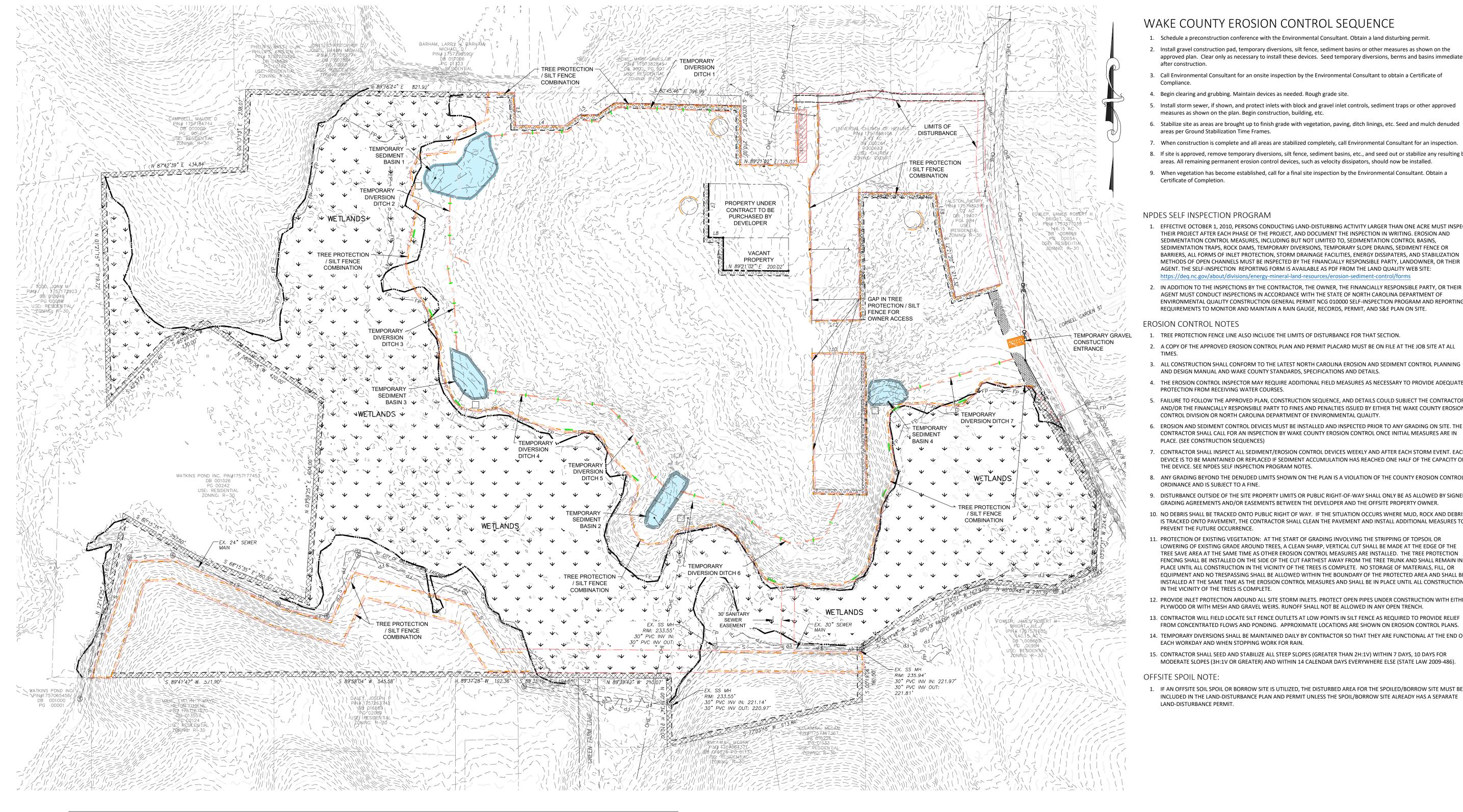
Sheet Title:

SITE PLAN DATA & **DETAILS**









HARRIS CREEK SKIMMER BAŞIN TABLE Width (ft) Depth (ft) Top Elevation Weir (ft) Skimmer (in) Orifice (in) Dewatering Time (days) Skimmer Basin # Length (ft) Outlet Elevation 2.5 BASIN 1 SEE PLANS SEE PLANS BASIN 2 SEE PLANS SEE PLANS 237.5 234.5 2.5 BASIN 3 SEE PLANS SEE PLANS 230 228 2.5 23 BASIN 4 SEE PLANS SEE PLANS

HARRIS CREEK			
I 4!	MATERIAL		
Location	TEMPORARY	PERMANENT	
TEMPORARY DITCH 1	NAG SC150BN	NAG SC150BN	
TEMPORARY DITCH 2	STRAW AND NETTING	STRAW AND NETTING	
TEMPORARY DITCH 3	STRAW AND NETTING	STRAW AND NETTING	
TEMPORARY DITCH 4	NAG SC150BN	NAG SC150BN	
TEMPORARY DITCH 5	STRAW AND NETTING	STRAW AND NETTING	
TEMPORARY DITCH 6	NAG SC150BN	NAG SC150BN	
TEMPORARY DITCH 7	STRAW AND NETTING	STRAW AND NETTING	

DISTURBED AREA = 45.28 ACRES

LIMITS OF DISTURBANCE TREE PROTECTION/SILT FENCE COMBINATION

TEMPORARY DIVERSION DITCH TEMPORARY CONSTRUCTION ENTRANCE

EROSION CONTROL PLAN LEGEND

SILT FENCE OUTLET

TEMPORARY SEDIMENT BASIN

SKIMMER

ARC INLET PROTECTION

WATTLE

INLET PROTECTION

WAKE COUNTY EROSION CONTROL SEQUENCE

- 1. Schedule a preconstruction conference with the Environmental Consultant. Obtain a land disturbing permit.
- 2. Install gravel construction pad, temporary diversions, silt fence, sediment basins or other measures as shown on the approved plan. Clear only as necessary to install these devices. Seed temporary diversions, berms and basins immediately
- 3. Call Environmental Consultant for an onsite inspection by the Environmental Consultant to obtain a Certificate of
- 4. Begin clearing and grubbing. Maintain devices as needed. Rough grade site.
- 5. Install storm sewer, if shown, and protect inlets with block and gravel inlet controls, sediment traps or other approved measures as shown on the plan. Begin construction, building, etc.
- 6. Stabilize site as areas are brought up to finish grade with vegetation, paving, ditch linings, etc. Seed and mulch denuded areas per Ground Stabilization Time Frames.
- 7. When construction is complete and all areas are stabilized completely, call Environmental Consultant for an inspection.
- 8. If site is approved, remove temporary diversions, silt fence, sediment basins, etc., and seed out or stabilize any resulting bare
- areas. All remaining permanent erosion control devices, such as velocity dissipators, should now be installed. 9. When vegetation has become established, call for a final site inspection by the Environmental Consultant. Obtain a

- EFFECTIVE OCTOBER 1, 2010, PERSONS CONDUCTING LAND-DISTURBING ACTIVITY LARGER THAN ONE ACRE MUST INSPECT THEIR PROJECT AFTER EACH PHASE OF THE PROJECT, AND DOCUMENT THE INSPECTION IN WRITING. EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO, SEDIMENTATION CONTROL BASINS, SEDIMENTATION TRAPS, ROCK DAMS, TEMPORARY DIVERSIONS, TEMPORARY SLOPE DRAINS, SEDIMENT FENCE OR BARRIERS, ALL FORMS OF INLET PROTECTION, STORM DRAINAGE FACILITIES, ENERGY DISSIPATERS, AND STABILIZATION METHODS OF OPEN CHANNELS MUST BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY, LANDOWNER, OR THEIR AGENT. THE SELF-INSPECTION REPORTING FORM IS AVAILABLE AS PDF FROM THE LAND QUALITY WEB SITE:
- IN ADDITION TO THE INSPECTIONS BY THE CONTRACTOR, THE OWNER, THE FINANCIALLY RESPONSIBLE PARTY, OR THEIR AGENT MUST CONDUCT INSPECTIONS IN ACCORDANCE WITH THE STATE OF NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY CONSTRUCTION GENERAL PERMIT NCG 010000 SELF-INSPECTION PROGRAM AND REPORTING REQUIREMENTS TO MONITOR AND MAINTAIN A RAIN GAUGE, RECORDS, PERMIT, AND S&E PLAN ON SITE.

EROSION CONTROL NOTES

ORDINANCE AND IS SUBJECT TO A FINE.

Certificate of Completion.

after construction.

- TREE PROTECTION FENCE LINE ALSO INCLUDE THE LIMITS OF DISTURBANCE FOR THAT SECTION.
- 2. A COPY OF THE APPROVED EROSION CONTROL PLAN AND PERMIT PLACARD MUST BE ON FILE AT THE JOB SITE AT ALL
- AND DESIGN MANUAL AND WAKE COUNTY STANDARDS, SPECIFICATIONS AND DETAILS.
- 4. THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
- FAILURE TO FOLLOW THE APPROVED PLAN, CONSTRUCTION SEQUENCE, AND DETAILS COULD SUBJECT THE CONTRACTOR AND/OR THE FINANCIALLY RESPONSIBLE PARTY TO FINES AND PENALTIES ISSUED BY EITHER THE WAKE COUNTY EROSION
- CONTROL DIVISION OR NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY. 6. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR SHALL CALL FOR AN INSPECTION BY WAKE COUNTY EROSION CONTROL ONCE INITIAL MEASURES ARE IN
- PLACE. (SEE CONSTRUCTION SEQUENCES) 7. CONTRACTOR SHALL INSPECT ALL SEDIMENT/EROSION CONTROL DEVICES WEEKLY AND AFTER EACH STORM EVENT. EACH
- DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF OF THE CAPACITY OF THE DEVICE. SEE NPDES SELF INSPECTION PROGRAM NOTES. 8. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL
- 9. DISTURBANCE OUTSIDE OF THE SITE PROPERTY LIMITS OR PUBLIC RIGHT-OF-WAY SHALL ONLY BE AS ALLOWED BY SIGNED
- GRADING AGREEMENTS AND/OR EASEMENTS BETWEEN THE DEVELOPER AND THE OFFSITE PROPERTY OWNER.
- 10. NO DEBRIS SHALL BE TRACKED ONTO PUBLIC RIGHT OF WAY. IF THE SITUATION OCCURS WHERE MUD, ROCK AND DEBRIS IS TRACKED ONTO PAVEMENT, THE CONTRACTOR SHALL CLEAN THE PAVEMENT AND INSTALL ADDITIONAL MEASURES TO PREVENT THE FUTURE OCCURRENCE.
- 11. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS. FILL. OR INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION
- 12. PROVIDE INLET PROTECTION AROUND ALL SITE STORM INLETS. PROTECT OPEN PIPES UNDER CONSTRUCTION WITH EITHER PLYWOOD OR WITH MESH AND GRAVEL WEIRS. RUNOFF SHALL NOT BE ALLOWED IN ANY OPEN TRENCH.
- 13. CONTRACTOR WILL FIELD LOCATE SILT FENCE OUTLETS AT LOW POINTS IN SILT FENCE AS REQUIRED TO PROVIDE RELIEF FROM CONCENTRATED FLOWS AND PONDING. APPROXIMATE LOCATIONS ARE SHOWN ON EROSION CONTROL PLANS.
- 14. TEMPORARY DIVERSIONS SHALL BE MAINTAINED DAILY BY CONTRACTOR SO THAT THEY ARE FUNCTIONAL AT THE END OF EACH WORKDAY AND WHEN STOPPING WORK FOR RAIN.
- 15. CONTRACTOR SHALL SEED AND STABILIZE ALL STEEP SLOPES (GREATER THAN 2H:1V) WITHIN 7 DAYS, 10 DAYS FOR MODERATE SLOPES (3H:1V OR GREATER) AND WITHIN 14 CALENDAR DAYS EVERYWHERE ELSE (STATE LAW 2009-486).

OFFSITE SPOIL NOTE:

1. IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THE DISTURBED AREA FOR THE SPOILED/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A SEPARATE LAND-DISTURBANCE PERMIT.

10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519

QUANTECH ENGINEERING Firm # F-1517 15000 Weston Parkway

Cary, N.C. 27513

(919) 996-9455

Engineer

Jurisdiction / Municipality

Other Consultants

ateman Civil Survey Compar

Town of Rolesville

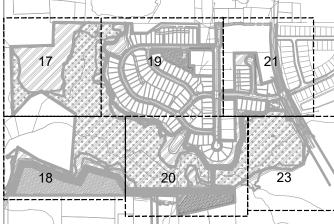
502 Southtown Cir

Rolesville, NC 27571

Phone: 919-554-6517

524 Reliance Avenue

9-557-1080 ext 109



SEAL 53676

Issued / Print Date: 2025-May-30 (17:11)

File Name: 16 Overall Erosion Control Plan.dwg

Last Saved by: Jthodge

Drawn by: TAN

HARRIS CREEK **FARMS**

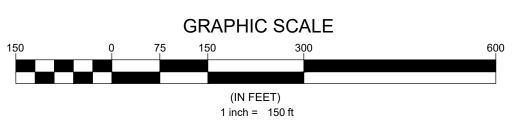
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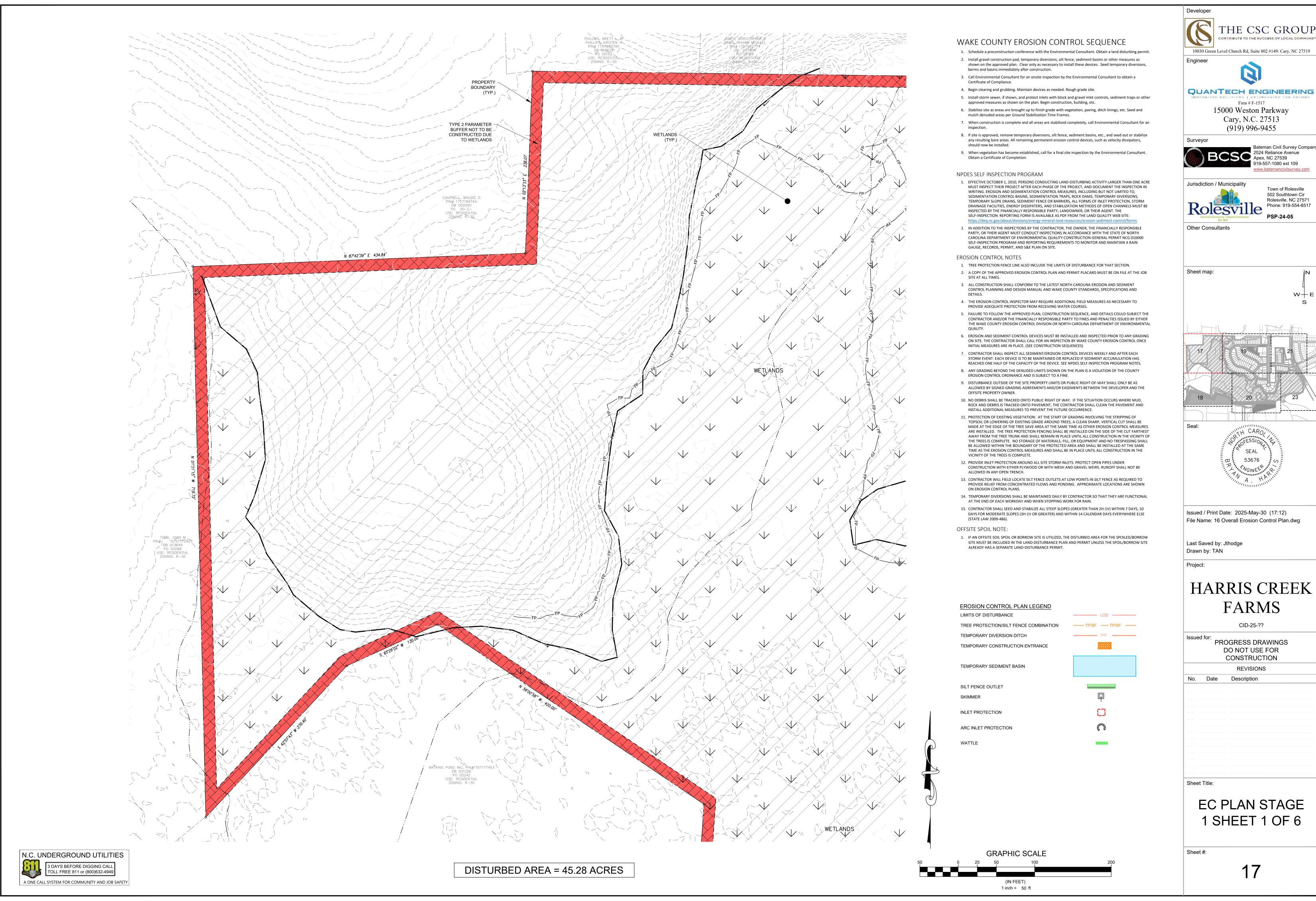
REVISIONS No. Date Description

Sheet Title:

OVERALL **EROSION CONTROL PLAN**







10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519

15000 Weston Parkway Cary, N.C. 27513

> Bateman Civil Survey Compan 524 Reliance Avenue 19-557-1080 ext 109

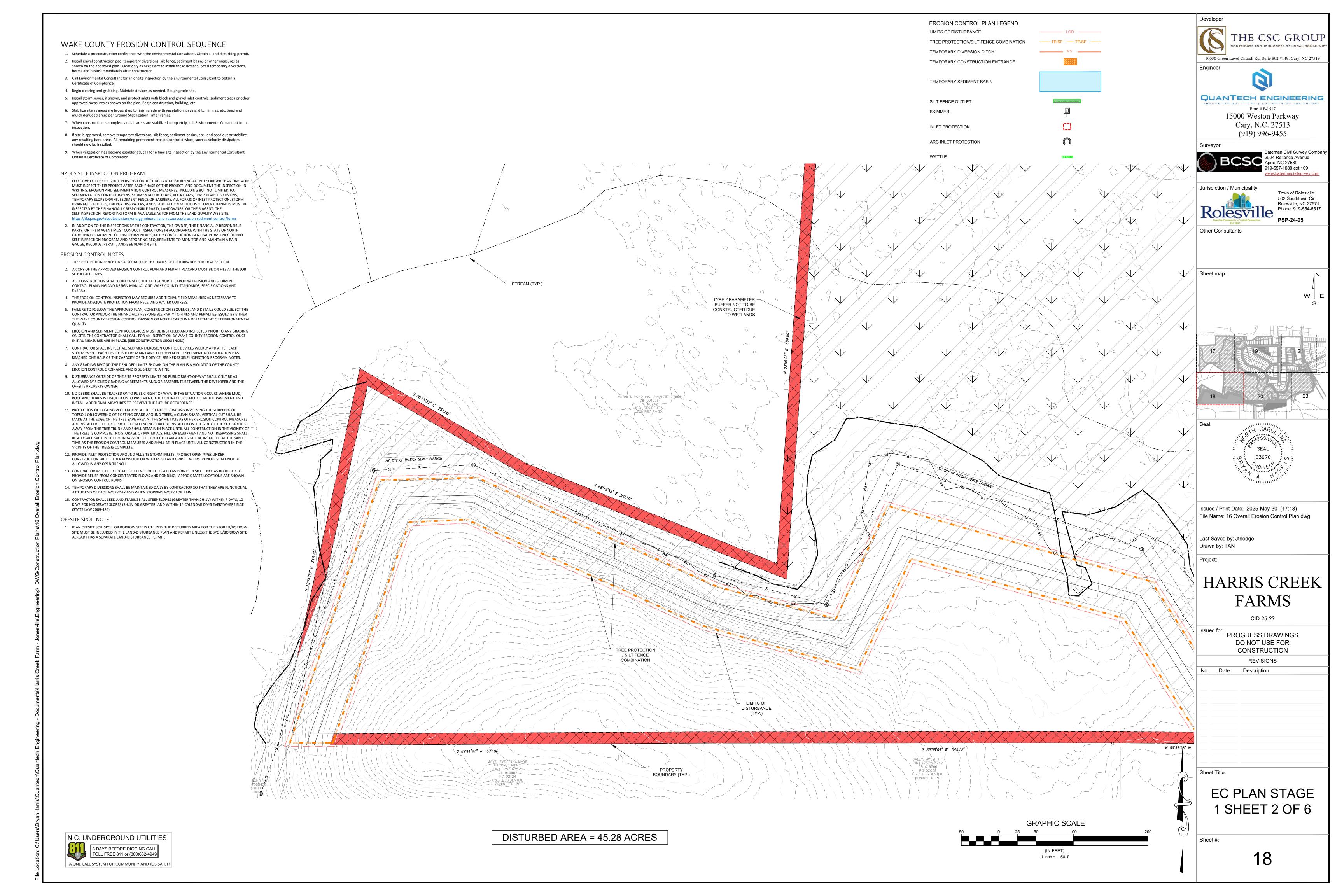
Town of Rolesville 502 Southtown Cir Rolesville, NC 27571 Phone: 919-554-6517

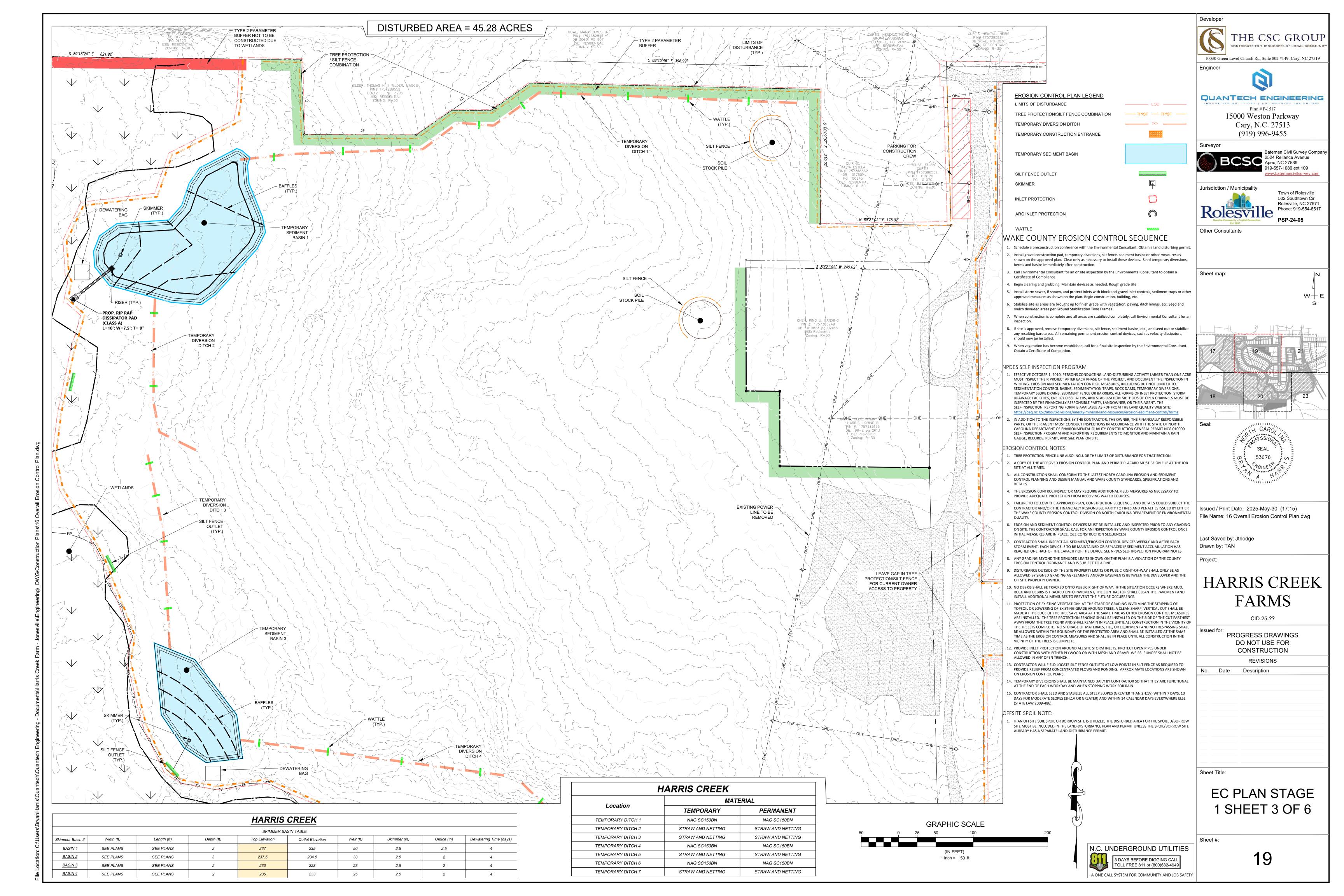
HARRIS CREEK

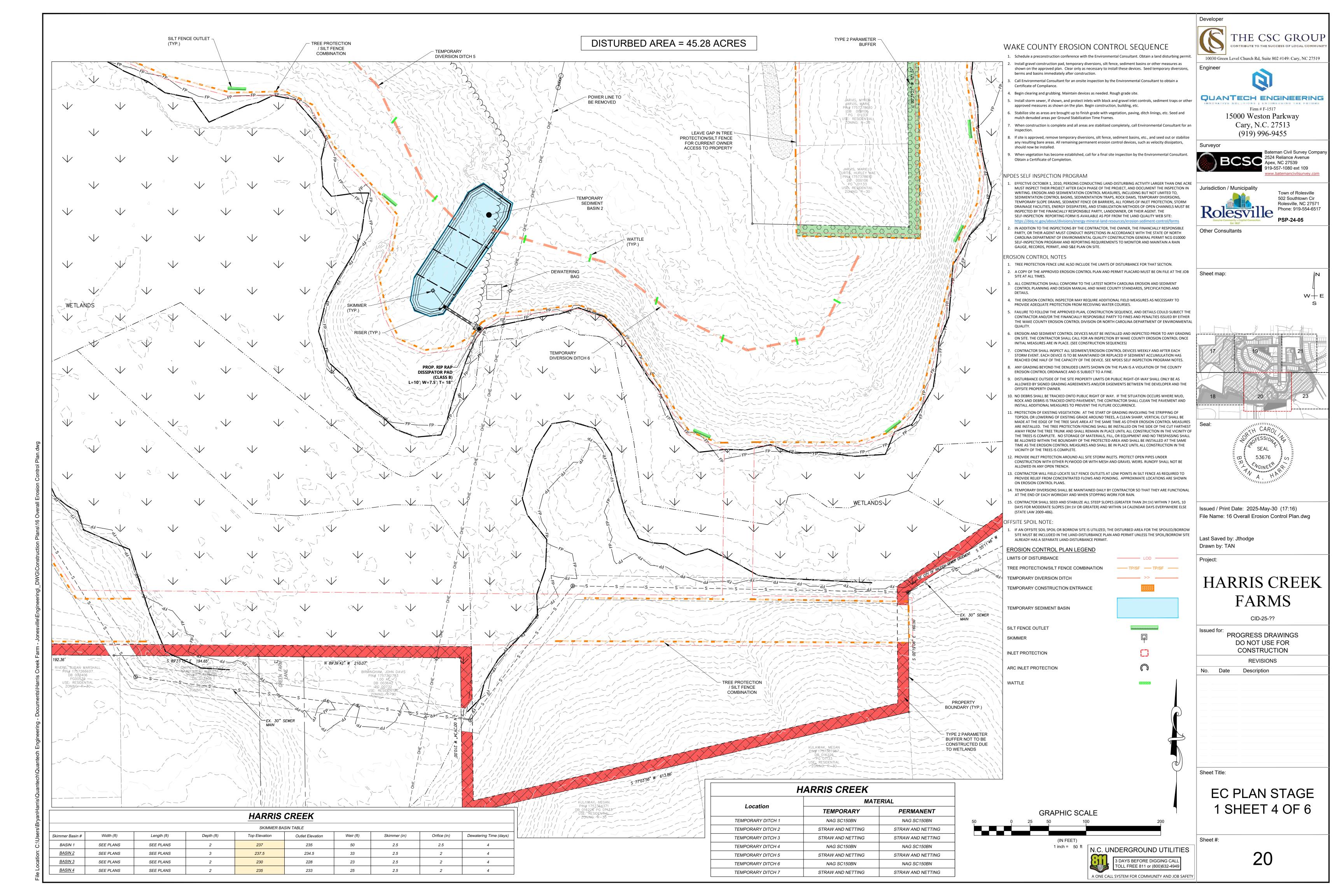
PROGRESS DRAWINGS DO NOT USE FOR CONSTRUCTION

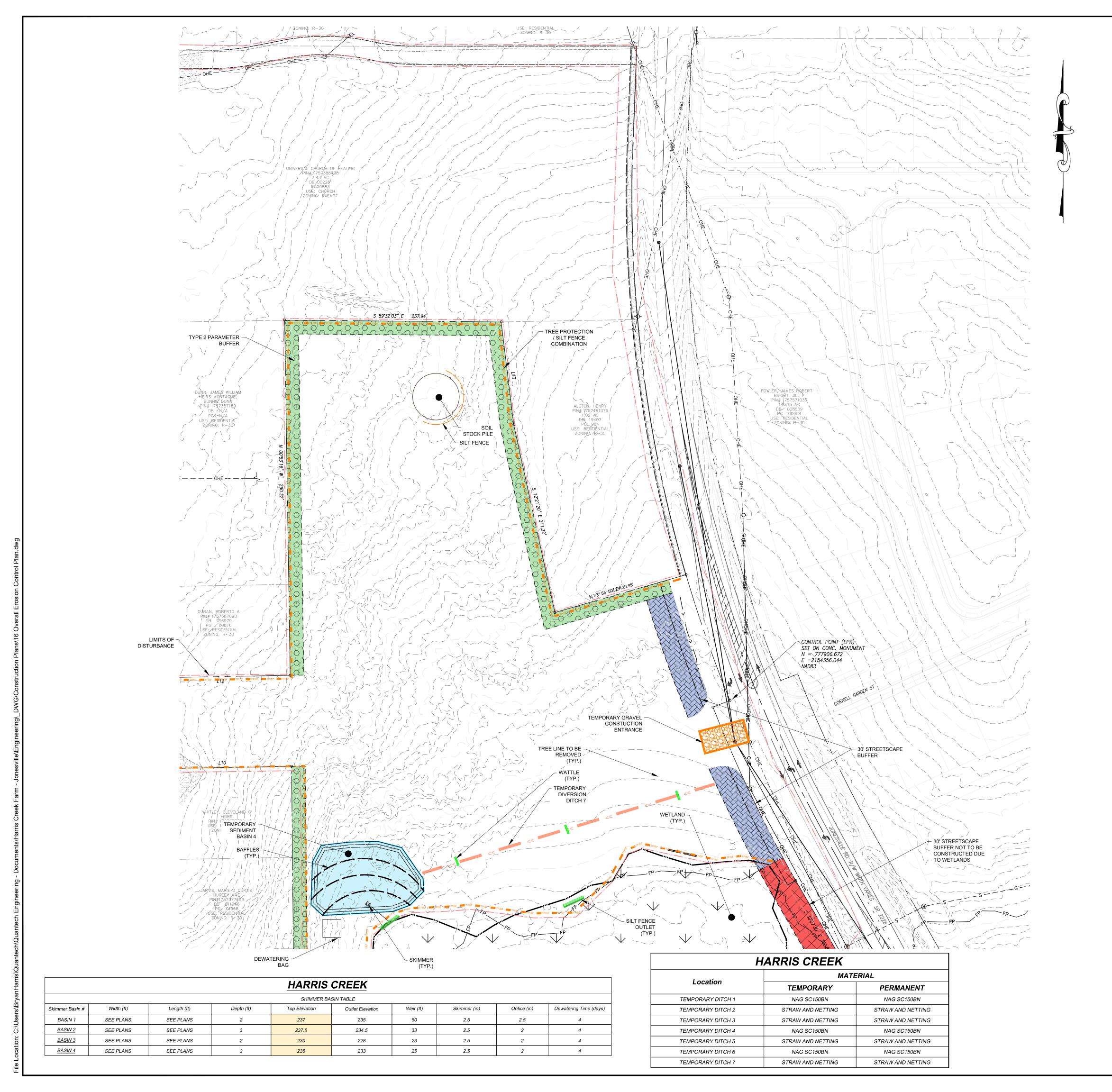
REVISIONS

EC PLAN STAGE 1 SHEET 1 OF 6









WAKE COUNTY EROSION CONTROL SEQUENCE

- 1. Schedule a preconstruction conference with the Environmental Consultant. Obtain a land disturbing permit 2. Install gravel construction pad, temporary diversions, silt fence, sediment basins or other measures as
- shown on the approved plan. Clear only as necessary to install these devices. Seed temporary diversions, berms and basins immediately after construction.
- 3. Call Environmental Consultant for an onsite inspection by the Environmental Consultant to obtain a Certificate of Compliance.
- 4. Begin clearing and grubbing. Maintain devices as needed. Rough grade site.
- 5. Install storm sewer, if shown, and protect inlets with block and gravel inlet controls, sediment traps or other approved measures as shown on the plan. Begin construction, building, etc.
- 6. Stabilize site as areas are brought up to finish grade with vegetation, paving, ditch linings, etc. Seed and mulch denuded areas per Ground Stabilization Time Frames.

7. When construction is complete and all areas are stabilized completely, call Environmental Consultant for an

- 8. If site is approved, remove temporary diversions, silt fence, sediment basins, etc., and seed out or stabilize any resulting bare areas. All remaining permanent erosion control devices, such as velocity dissipators,
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NPDES SELF INSPECTION PROGRAM

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EROSION CONTROL NOTES

- 1. TREE PROTECTION FENCE LINE ALSO INCLUDE THE LIMITS OF DISTURBANCE FOR THAT SECTION.
- 2. A COPY OF THE APPROVED EROSION CONTROL PLAN AND PERMIT PLACARD MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
- 3. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL AND WAKE COUNTY STANDARDS, SPECIFICATIONS AND
- 4. THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
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- 7. CONTRACTOR SHALL INSPECT ALL SEDIMENT/EROSION CONTROL DEVICES WEEKLY AND AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF OF THE CAPACITY OF THE DEVICE. SEE NPDES SELF INSPECTION PROGRAM NOTES.
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- 9. DISTURBANCE OUTSIDE OF THE SITE PROPERTY LIMITS OR PUBLIC RIGHT-OF-WAY SHALL ONLY BE AS ALLOWED BY SIGNED GRADING AGREEMENTS AND/OR EASEMENTS BETWEEN THE DEVELOPER AND THE
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- 11. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND TREES, A CLEAN SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA AND SHALL BE INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.
- 12. PROVIDE INLET PROTECTION AROUND ALL SITE STORM INLETS. PROTECT OPEN PIPES UNDER CONSTRUCTION WITH EITHER PLYWOOD OR WITH MESH AND GRAVEL WEIRS. RUNOFF SHALL NOT BE
- 13. CONTRACTOR WILL FIELD LOCATE SILT FENCE OUTLETS AT LOW POINTS IN SILT FENCE AS REQUIRED TO PROVIDE RELIEF FROM CONCENTRATED FLOWS AND PONDING. APPROXIMATE LOCATIONS ARE SHOWN ON EROSION CONTROL PLANS.
- 14. TEMPORARY DIVERSIONS SHALL BE MAINTAINED DAILY BY CONTRACTOR SO THAT THEY ARE FUNCTIONAL AT THE END OF EACH WORKDAY AND WHEN STOPPING WORK FOR RAIN.
- 15. CONTRACTOR SHALL SEED AND STABILIZE ALL STEEP SLOPES (GREATER THAN 2H:1V) WITHIN 7 DAYS, 10 DAYS FOR MODERATE SLOPES (3H:1V OR GREATER) AND WITHIN 14 CALENDAR DAYS EVERYWHERE ELSE

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ALREADY HAS A SEPARATE LAND-DISTURBANCE PERMIT.

EROSION CONTROL PLAN LEGEND

LIMITS OF DISTURBANCE

TREE PROTECTION/SILT FENCE COMBINATION TEMPORARY DIVERSION DITCH

TEMPORARY CONSTRUCTION ENTRANCE

TEMPORARY SEDIMENT BASIN

SILT FENCE OUTLET INLET PROTECTION

ARC INLET PROTECTION

DISTURBED AREA = 45.28 ACRES

1 inch = 50 ft

CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUN

10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519



QUANTECH ENGINEERING Firm # F-1517 15000 Weston Parkway

Cary, N.C. 27513

Bateman Civil Survey Compar

Town of Rolesville

502 Southtown Cir

Rolesville, NC 27571

Phone: 919-554-6517

524 Reliance Avenue

19-557-1080 ext 109

(919) 996-9455



Jurisdiction / Municipality

Other Consultants

SEAL 53676

Issued / Print Date: 2025-May-30 (17:18) File Name: 16 Overall Erosion Control Plan.dwg

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HARRIS CREEK **FARMS**

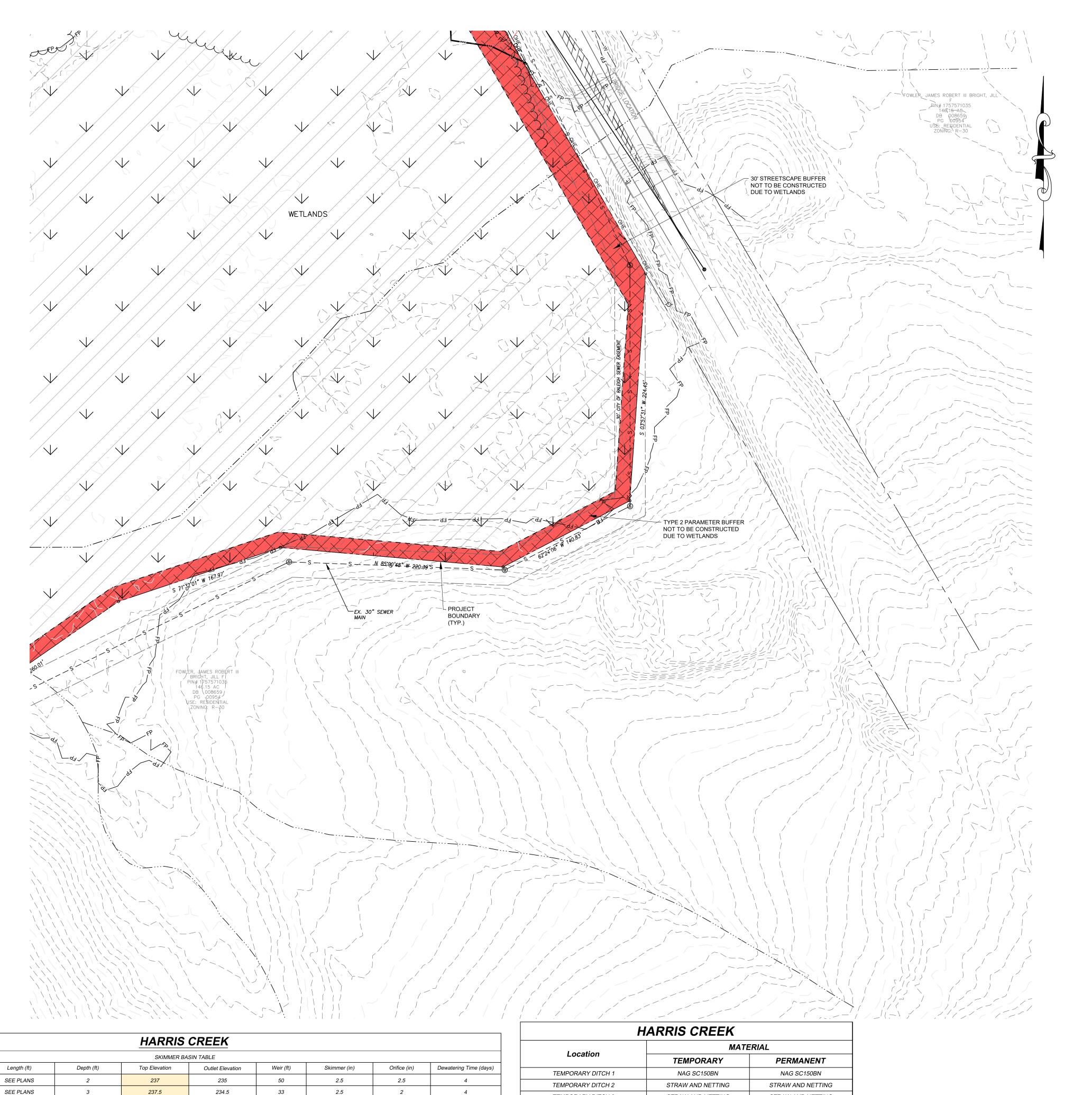
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PROGRESS DRAWINGS DO NOT USE FOR

CONSTRUCTION REVISIONS

Date

EC PLAN STAGE 1 SHEET 5 OF 6



TEMPORARY DITCH 3

TEMPORARY DITCH 4

TEMPORARY DITCH 5

TEMPORARY DITCH 6

TEMPORARY DITCH 7

STRAW AND NETTING

NAG SC150BN

STRAW AND NETTING

NAG SC150BN

STRAW AND NETTING

STRAW AND NETTING

NAG SC150BN

STRAW AND NETTING

NAG SC150BN

STRAW AND NETTING

Width (ft)

SEE PLANS

SEE PLANS

SEE PLANS

SEE PLANS

230

235

228

233

2.5

2.5

Skimmer Basin #

BASIN 2

BASIN 4

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- 4. Begin clearing and grubbing. Maintain devices as needed. Rough grade site.
- 5. Install storm sewer, if shown, and protect inlets with block and gravel inlet controls, sediment traps or other approved measures as shown on the plan. Begin construction, building, etc.
- 6. Stabilize site as areas are brought up to finish grade with vegetation, paving, ditch linings, etc. Seed and mulch denuded areas per Ground Stabilization Time Frames.
- 7. When construction is complete and all areas are stabilized completely, call Environmental Consultant for an inspection.
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- https://deq.nc.gov/about/divisions/energy-mineral-land-resources/erosion-sediment-control/form 2. IN ADDITION TO THE INSPECTIONS BY THE CONTRACTOR, THE OWNER, THE FINANCIALLY RESPONSIBLE PARTY, OR THEIR AGENT MUST CONDUCT INSPECTIONS IN ACCORDANCE WITH THE STATE OF NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY CONSTRUCTION GENERAL PERMIT NCG 010000

SELF-INSPECTION PROGRAM AND REPORTING REQUIREMENTS TO MONITOR AND MAINTAIN A RAIN

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GAUGE, RECORDS, PERMIT, AND S&E PLAN ON SITE.

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- 7. CONTRACTOR SHALL INSPECT ALL SEDIMENT/EROSION CONTROL DEVICES WEEKLY AND AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF OF THE CAPACITY OF THE DEVICE. SEE NPDES SELF INSPECTION PROGRAM NOTES.
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EROSION CONTROL PLAN LEGEND

LIMITS OF DISTURBANCE

TREE PROTECTION/SILT FENCE COMBINATION TEMPORARY DIVERSION DITCH

TEMPORARY CONSTRUCTION ENTRANCE

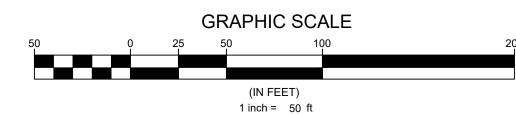
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TEMPORARY SEDIMENT BASIN

SILT FENCE OUTLET SKIMMER INLET PROTECTION ARC INLET PROTECTION

WATTLE

DISTURBED AREA = 45.28 ACRES







15000 Weston Parkway

Cary, N.C. 27513 (919) 996-9455 Bateman Civil Survey Compar 524 Reliance Avenue

Jurisdiction / Municipality

Other Consultants

Sheet map:

Apex, NC 27539

19-557-1080 ext 109

Town of Rolesville

502 Southtown Cir Rolesville, NC 27571

Phone: 919-554-6517



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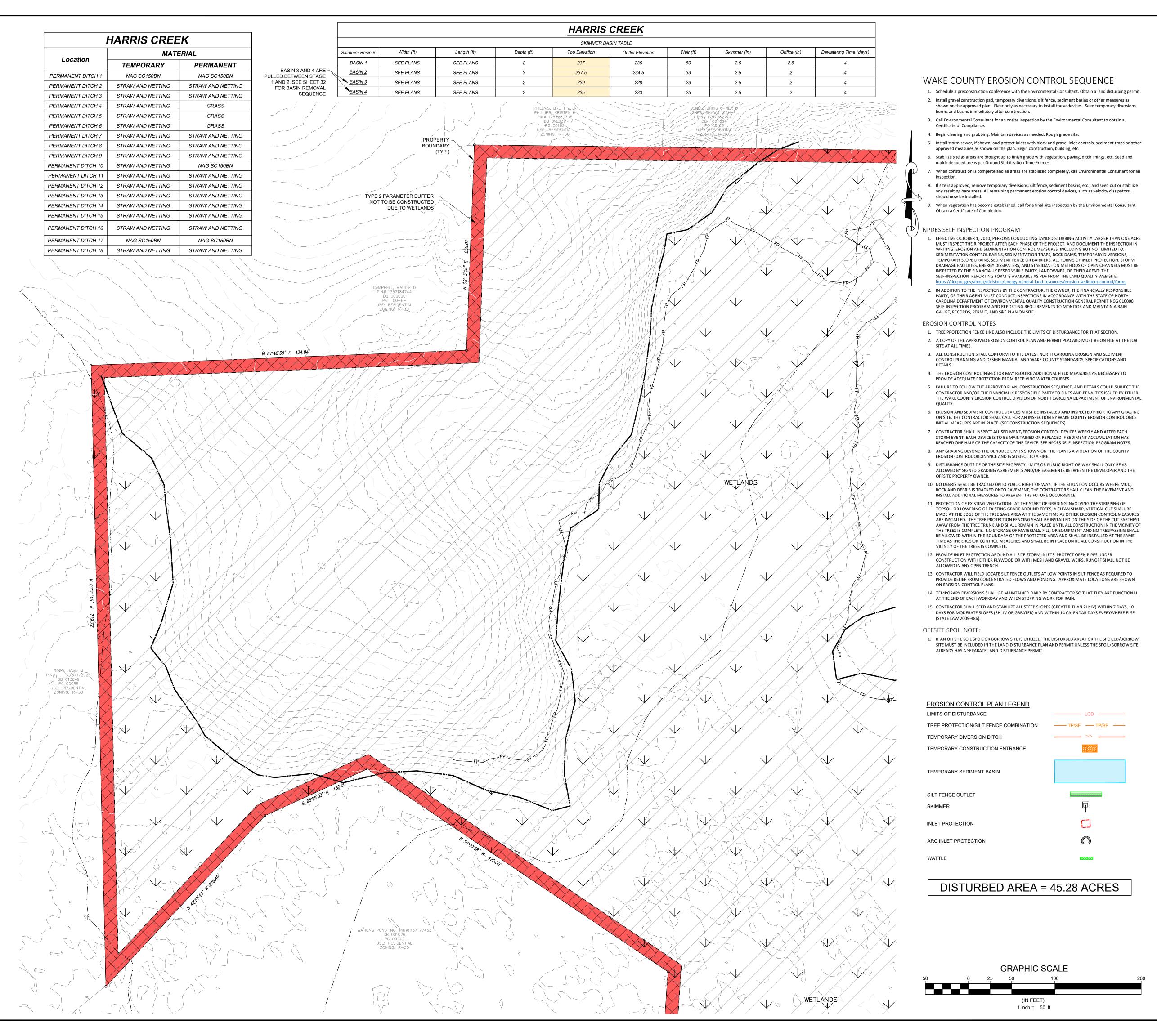
HARRIS CREEK **FARMS**

PROGRESS DRAWINGS DO NOT USE FOR CONSTRUCTION

lo.	Date	Description

REVISIONS

EC PLAN STAGE 1 SHEET 6 OF 6



N.C. UNDERGROUND UTILITIES

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949 THE CSC GROUP
CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUNI
10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519

Engineer

Cary, N.C. 27513

(919) 996-9455

QUANTECH ENGINEERING

Firm # F-1517
15000 Weston Parkway

Survey



Bateman Civil Survey Compan 2524 Reliance Avenue Apex, NC 27539 919-557-1080 ext 109 www.batemancivilsurvey.com

Town of Rolesville

502 Southtown Cir Rolesville, NC 27571

Phone: 919-554-6517

Jurisdiction / Municipality

Rolesvill

Other Consultants

Sheet map:

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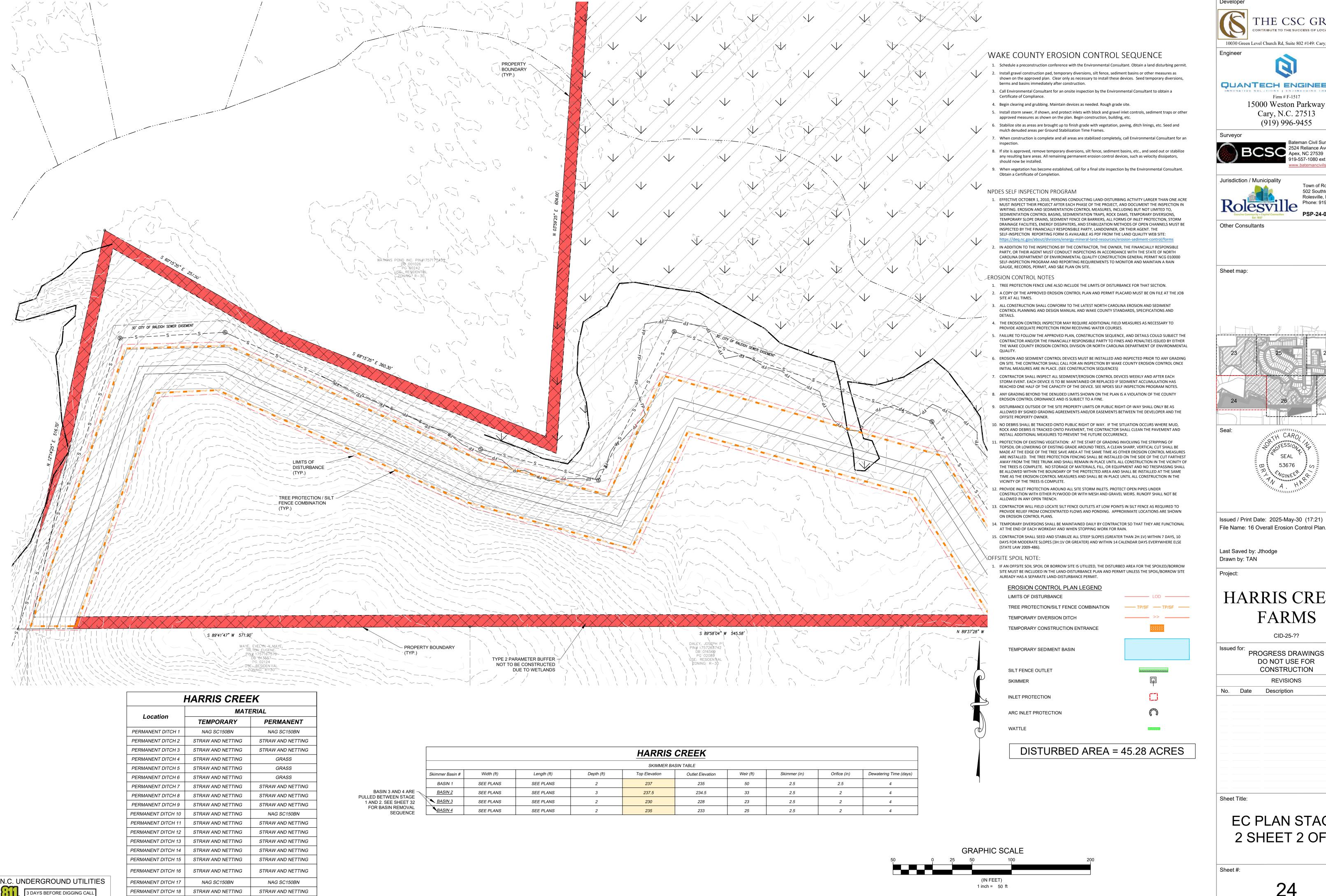
REVISIONS

Date Description

Sheet Title:

EC PLAN STAGE 2 SHEET 1 OF 6

Sheet #:



TOLL FREE 811 or (800)632-4949

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519

Cary, N.C. 27513

QUANTECH ENGINEERING Firm # F-1517

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Jurisdiction / Municipality

Town of Rolesville 502 Southtown Cir Rolesville, NC 27571 Phone: 919-554-6517

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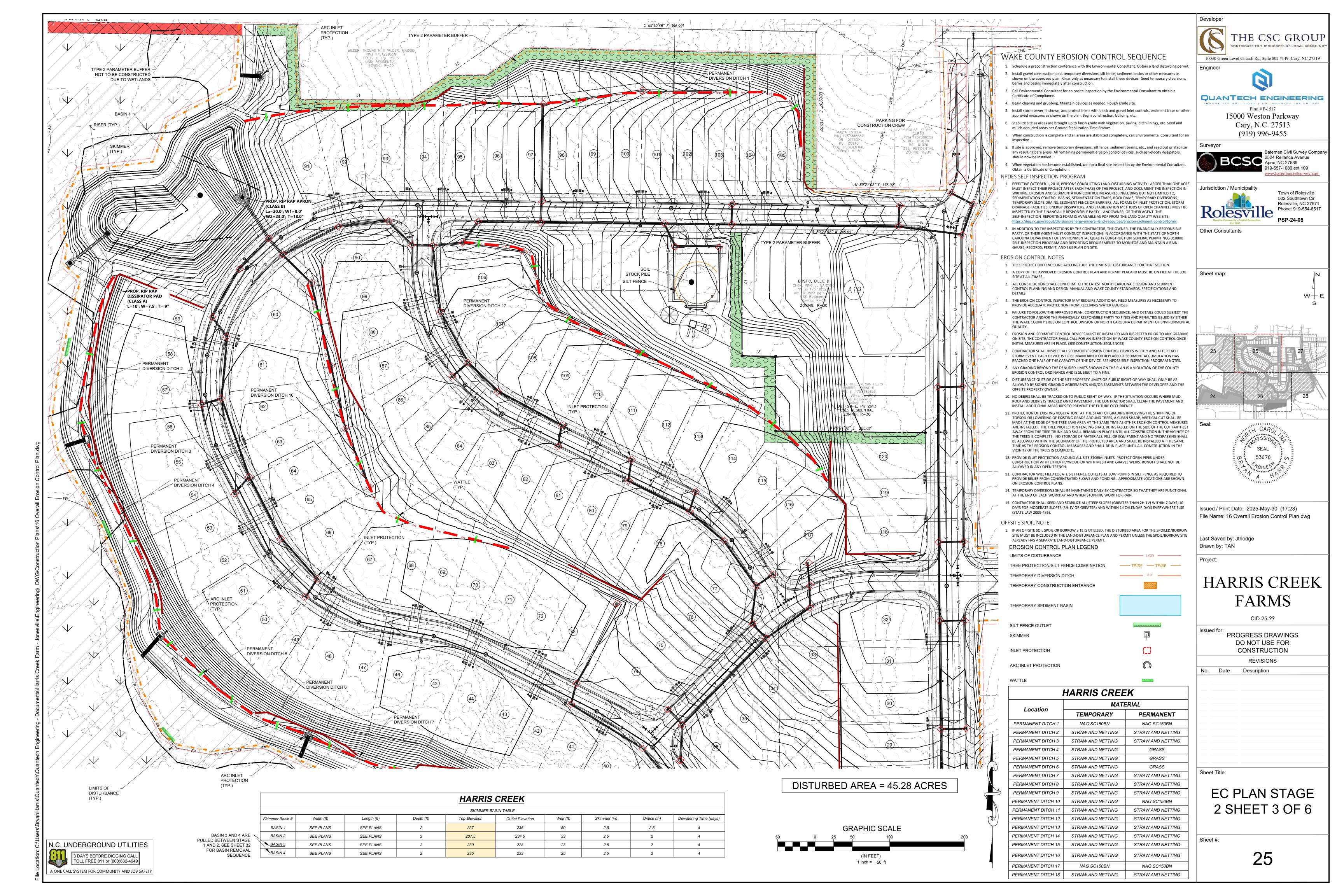
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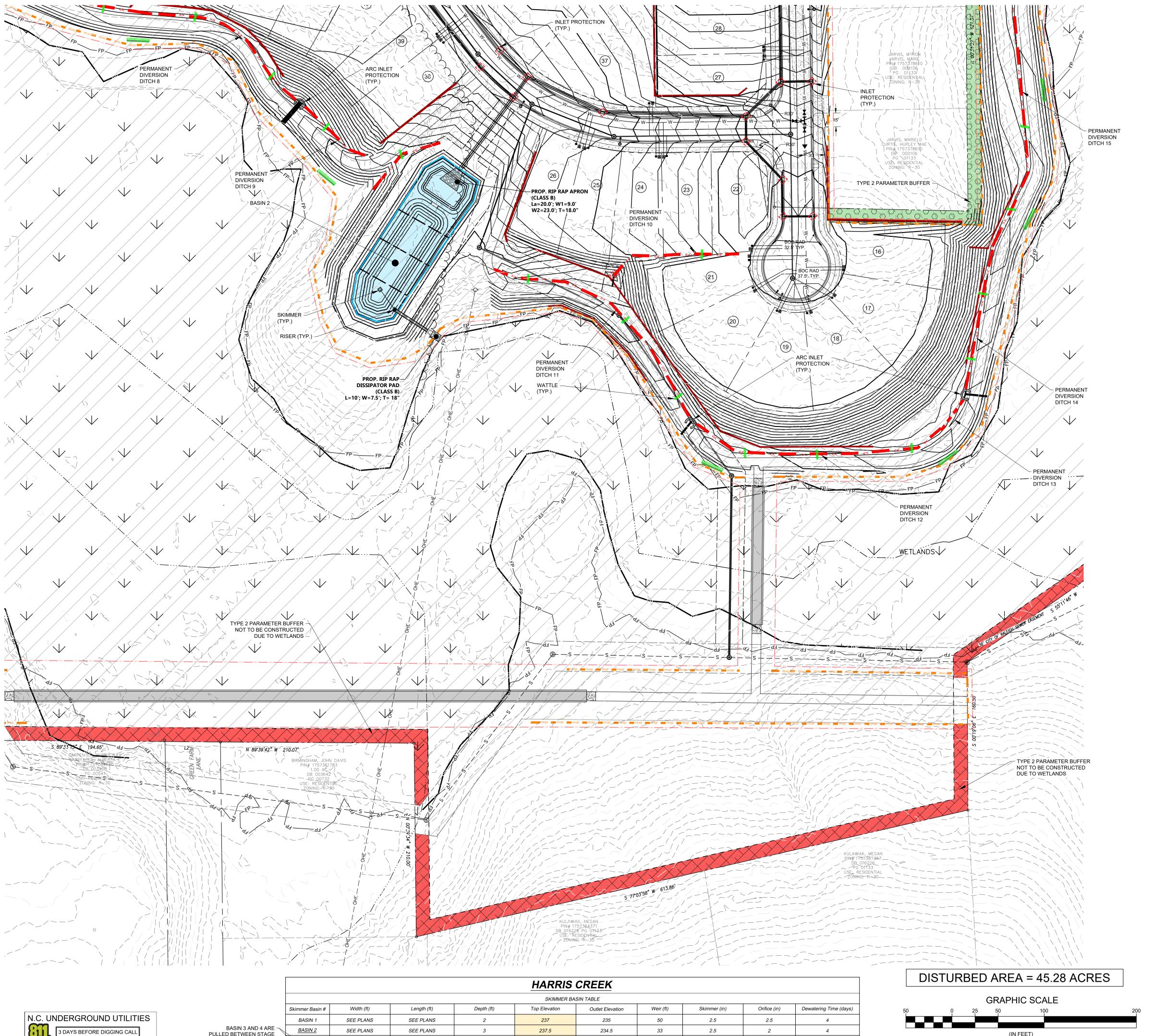
HARRIS CREEK **FARMS**

PROGRESS DRAWINGS DO NOT USE FOR CONSTRUCTION

REVISIONS No. Date Description

EC PLAN STAGE 2 SHEET 2 OF 6





PULLED BETWEEN STAGE

1 AND 2. SEE SHEET 32

FOR BASIN REMOVAL

SEQUENCE

BASIN 3

SEE PLANS

SEE PLANS

SEE PLANS

230

228

23

2.5

TOLL FREE 811 or (800)632-4949

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

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- 1. Schedule a preconstruction conference with the Environmental Consultant. Obtain a land disturbing permit. 2. Install gravel construction pad, temporary diversions, silt fence, sediment basins or other measures as shown on the approved plan. Clear only as necessary to install these devices. Seed temporary diversions,
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TEMPORARY DIVERSION DITCH TEMPORARY CONSTRUCTION ENTRANCE

TEMPORARY SEDIMENT BASIN

SILT FENCE OUTLET

INLET PROTECTION

ARC INLET PROTECTION

1 inch = 50 ft

ı	HARRIS CREEK
	MATERIAL

HANNO ONLLN				
Lasation	MATERIAL			
Location	TEMPORARY	PERMANENT		
PERMANENT DITCH 1	NAG SC150BN	NAG SC150BN		
PERMANENT DITCH 2	STRAW AND NETTING	STRAW AND NETTING		
PERMANENT DITCH 3	STRAW AND NETTING	STRAW AND NETTING		
PERMANENT DITCH 4	STRAW AND NETTING	GRASS		
PERMANENT DITCH 5	STRAW AND NETTING	GRASS		
PERMANENT DITCH 6	STRAW AND NETTING	GRASS		
PERMANENT DITCH 7	STRAW AND NETTING	STRAW AND NETTING		
PERMANENT DITCH 8	STRAW AND NETTING	STRAW AND NETTING		
PERMANENT DITCH 9	STRAW AND NETTING	STRAW AND NETTING		
PERMANENT DITCH 10	STRAW AND NETTING	NAG SC150BN		
PERMANENT DITCH 11	STRAW AND NETTING	STRAW AND NETTING		
PERMANENT DITCH 12	STRAW AND NETTING	STRAW AND NETTING		
PERMANENT DITCH 13	STRAW AND NETTING	STRAW AND NETTING		
PERMANENT DITCH 14	STRAW AND NETTING	STRAW AND NETTING		
PERMANENT DITCH 15	STRAW AND NETTING	STRAW AND NETTING		
PERMANENT DITCH 16	STRAW AND NETTING	STRAW AND NETTING		
PERMANENT DITCH 17	NAG SC150BN	NAG SC150BN		
PERMANENT DITCH 18	STRAW AND NETTING	STRAW AND NETTING		





15000 Weston Parkway Cary, N.C. 27513 (919) 996-9455

QUANTECH ENGINEERING



Jurisdiction / Municipality

Other Consultants

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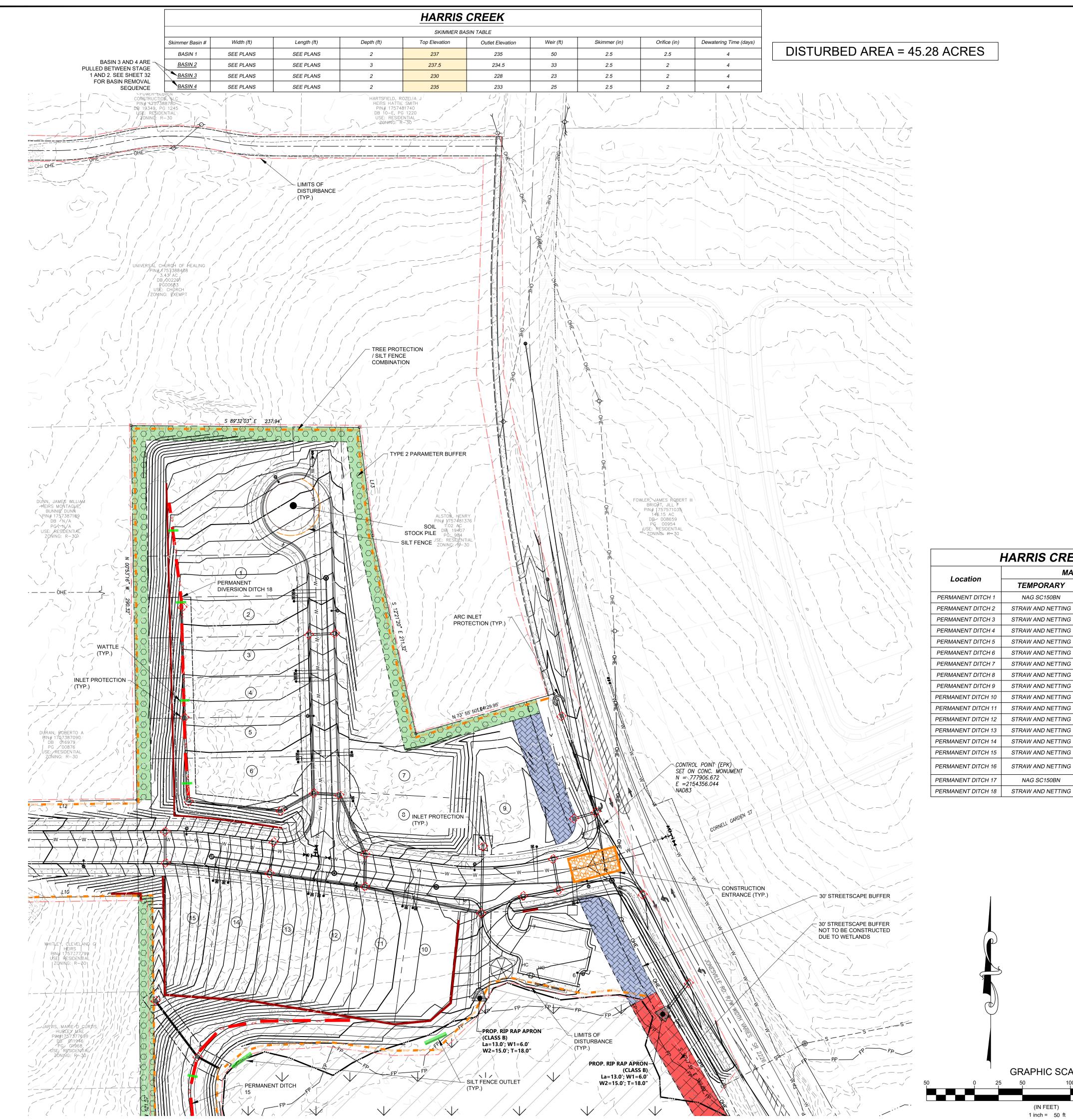
HARRIS CREEK **FARMS**

REVISIONS

PROGRESS DRAWINGS DO NOT USE FOR CONSTRUCTION

EC PLAN STAGE

2 SHEET 4 OF 6



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EROSION CONTROL PLAN LEGEND LIMITS OF DISTURBANCE

TREE PROTECTION/SILT FENCE COMBINATION

TEMPORARY DIVERSION DITCH

TEMPORARY SEDIMENT BASIN

TEMPORARY CONSTRUCTION ENTRANCE

SILT FENCE OUTLET

INLET PROTECTION

WATTLE

ARC INLET PROTECTION

_____ LOD _____

QUANTECH ENGINEERING Firm # F-1517 15000 Weston Parkway Cary, N.C. 27513 (919) 996-9455 Jurisdiction / Municipality Other Consultants

Developer

Engineer

CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUN

Bateman Civil Survey Compar

Town of Rolesville

502 Southtown Cir

Rolesville, NC 27571

Phone: 919-554-6517

524 Reliance Avenue

19-557-1080 ext 109

Apex, NC 27539

10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519

Issued / Print Date: 2025-May-30 (17:26) File Name: 16 Overall Erosion Control Plan.dwg

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HARRIS CREEK **FARMS**

PROGRESS DRAWINGS DO NOT USE FOR

CONSTRUCTION **REVISIONS**

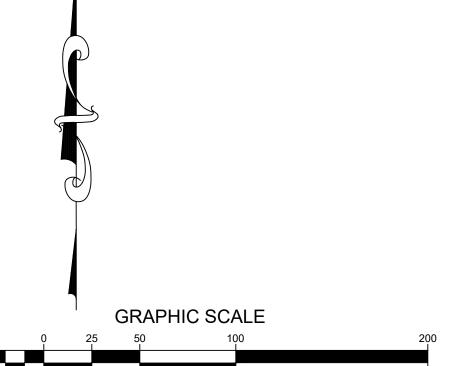
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EC PLAN STAGE 2 SHEET 5 OF 6

N.C. UNDERGROUND UTILITIES

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949



1 inch = 50 ft

HARRIS CREEK

TEMPORARY

NAG SC150BN

STRAW AND NETTING

NAG SC150BN

MATERIAL

PERMANENT

NAG SC150BN

STRAW AND NETTING

STRAW AND NETTING

GRASS

GRASS

STRAW AND NETTING

STRAW AND NETTING

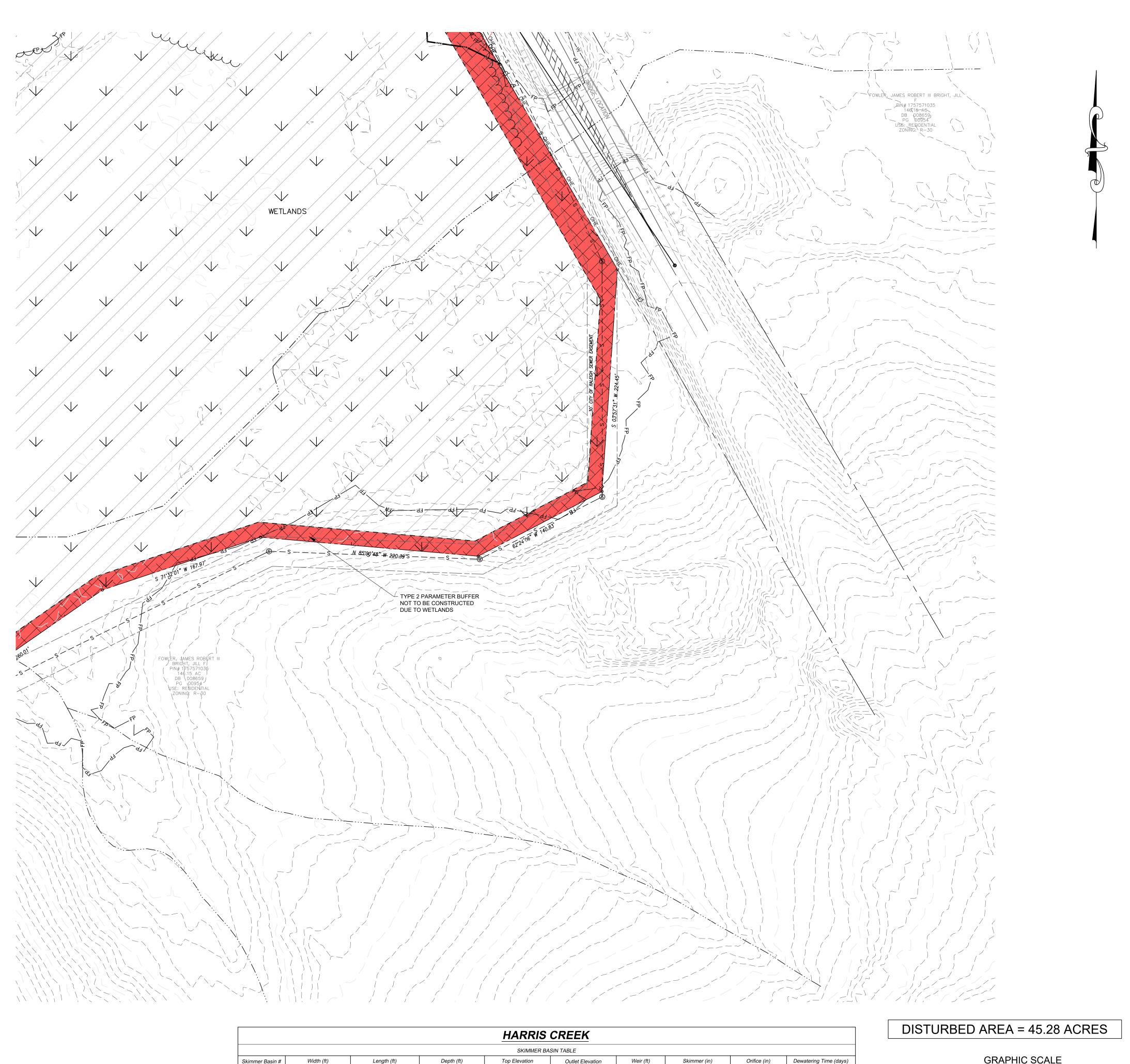
STRAW AND NETTING

NAG SC150BN

STRAW AND NETTING

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STRAW AND NETTING



SEE PLANS

SEE PLANS

SEE PLANS

SEE PLANS

<u>BASIN 2</u>

BASIN 3

BASIN 4

BASIN 3 AND 4 ARE

PULLED BETWEEN STAGE

1 AND 2. SEE SHEET 32

FOR BASIN REMOVAL

SEQUENCE

N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

SEE PLANS

SEE PLANS

SEE PLANS

SEE PLANS

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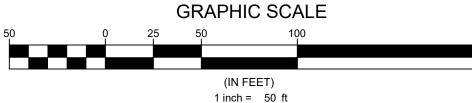
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4

WAKE COUNTY EROSION CONTROL SEQUENCE

- Schedule a preconstruction conference with the Environmental Consultant. Obtain a land disturbing permit.
 Install gravel construction pad, temporary diversions, silt fence, sediment basins or other measures as shown on the approved plan. Clear only as necessary to install these devices. Seed temporary diversions,
- berms and basins immediately after construction.3. Call Environmental Consultant for an onsite inspection by the Environmental Consultant to obtain a Certificate of Compliance.
- 4. Begin clearing and grubbing. Maintain devices as needed. Rough grade site.
- 5. Install storm sewer, if shown, and protect inlets with block and gravel inlet controls, sediment traps or other
- approved measures as shown on the plan. Begin construction, building, etc.Stabilize site as areas are brought up to finish grade with vegetation, paving, ditch linings, etc. Seed and mulch denuded areas per Ground Stabilization Time Frames.
- 7. When construction is complete and all areas are stabilized completely, call Environmental Consultant for an inspection.
- inspection.8. If site is approved, remove temporary diversions, silt fence, sediment basins, etc., and seed out or stabilize
- any resulting bare areas. All remaining permanent erosion control devices, such as velocity dissipators, should now be installed.
- When vegetation has become established, call for a final site inspection by the Environmental Consultant.Obtain a Certificate of Completion.

NPDES SELF INSPECTION PROGRAM

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EROSION CONTROL PLAN LEGEND

LIMITS OF DISTURBANCE

TREE PROTECTION/SILT FENCE COMBIL

TREE PROTECTION/SILT FENCE COMBINATION

TEMPORARY DIVERSION DITCH

TEMPORARY SEDIMENT BASIN

TEMPORARY CONSTRUCTION ENTRANCE

>> =

SKIMMER

SILT FENCE OUTLET

INLET PROTECTION

ARC INLET PROTECTION

HARRIS CREEK			
	MATERIAL		
Location	TEMPORARY	PERMANENT	
PERMANENT DITCH 1	NAG SC150BN	NAG SC150BN	
PERMANENT DITCH 2	STRAW AND NETTING	STRAW AND NETTING	
PERMANENT DITCH 3	STRAW AND NETTING	STRAW AND NETTING	
PERMANENT DITCH 4	STRAW AND NETTING	GRASS	
PERMANENT DITCH 5	STRAW AND NETTING	GRASS	
PERMANENT DITCH 6	STRAW AND NETTING	GRASS	
PERMANENT DITCH 7	STRAW AND NETTING	STRAW AND NETTING	
PERMANENT DITCH 8	STRAW AND NETTING	STRAW AND NETTING	
PERMANENT DITCH 9	STRAW AND NETTING	STRAW AND NETTING	
PERMANENT DITCH 10	STRAW AND NETTING	NAG SC150BN	
PERMANENT DITCH 11	STRAW AND NETTING	STRAW AND NETTING	
PERMANENT DITCH 12	STRAW AND NETTING	STRAW AND NETTING	
PERMANENT DITCH 13	STRAW AND NETTING	STRAW AND NETTING	
PERMANENT DITCH 14	STRAW AND NETTING	STRAW AND NETTING	
PERMANENT DITCH 15	STRAW AND NETTING	STRAW AND NETTING	
PERMANENT DITCH 16	STRAW AND NETTING	STRAW AND NETTING	
PERMANENT DITCH 17	NAG SC150BN	NAG SC150BN	
PERMANENT DITCH 18	STRAW AND NETTING	STRAW AND NETTING	

THE CSC GROUP
CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUNI

10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519

Engineer

QUANTECH ENGINEERING

Cary, N.C. 27513
(919) 996-9455

Surveyor

Bateman Civil Survey Compan
2524 Reliance Avenue
Apex, NC 27539
919-557-1080 ext 109
www.batemancivilsurvey.com

Jurisdiction / Municipality

Town of Rolesville
502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517

PSP-24-05

Other Consultants

Sheet map:

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Issued / Print Date: 2025-May-30 (17:27)
File Name: 16 Overall Erosion Control Plan.dwg

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HARRIS CREEK FARMS

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PROGRESS DRAWINGS
DO NOT USE FOR
CONSTRUCTION

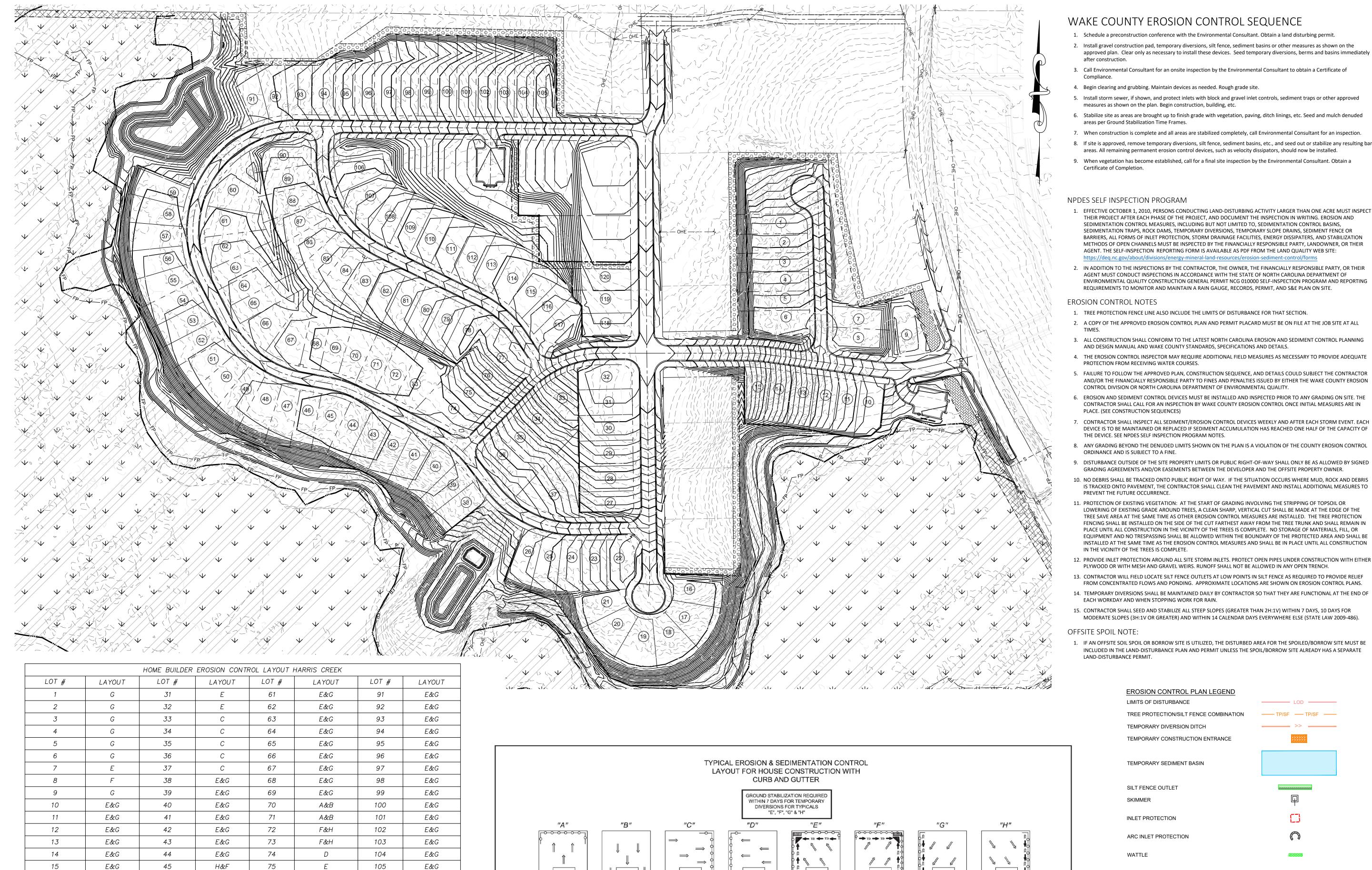
REVISIONS

No. Date Description

Sheet Title:

EC PLAN STAGE 2 SHEET 6 OF 6

Sheet



HOUSE

ASPHALT STREET WITH ROADSIDE CURB AND GUTTER

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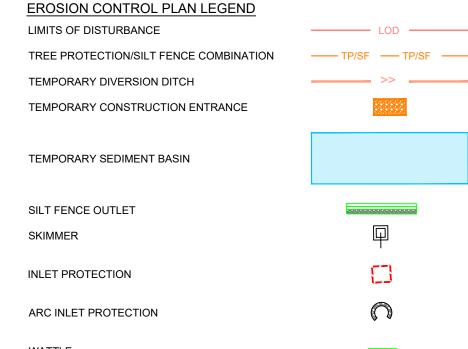
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10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519 Engineer

Cary, N.C. 27513

(919) 996-9455

QUANTECH ENGINEERING Firm # F-1517 15000 Weston Parkway



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HARRIS CREEK **FARMS**

CID-25-??

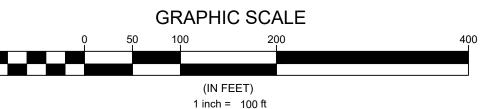
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REVISIONS

No. Date Description

Sheet Title:

HOMEBUILDER PLAN



N.C. UNDERGROUND UTILITIES 3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those un attended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	Identification of the measures inspected, Date and time of the inspection, Name of the person performing the inspection, Indication of whether the measures were operating properly, Description of maintenance needs for the measure, Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDCs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	Identification of the discharge outfalls inspected, Date and time of the inspection, Name of the person performing the inspection, Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, Indication of visible sediment leaving the site, Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: Actions taken to clean up or stabilize the sediment that has left the site limits, Description, evidence, and date of corrective actions taken, and an An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	 The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover).

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

. Documentation that the required ground stabilization

measures have been provided within the required timeframe or an assurance that they will be provided as SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPIN

to E&SC measures.

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for

inspection at all times during normal business hours. (a) Each E&SC measure has been installed Initial and date each E&SC measure on a copy and does not significantly deviate from the of the approved E&SC plan or complete, date locations, dimensions and relative elevations | and sign an inspection report that lists each shown on the approved E&SC plan.

E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial (b) A phase of grading has been completed. Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the

onstruction phase. (c) Ground cover is located and installed Initial and date a copy of the approved E&SC in accordance with the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications. (d) The maintenance and repair Complete, date and sign an inspection report. requirements for all E&SC measures

report to indicate the completion of the

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make

(a) This General Permit as well as the Certificate of Coverage, after it is received.

(b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

(a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,

(b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit, (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include

properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems, (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,

(e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and

(f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States

SELF-INSPECTION, RECORDKEEPING AND REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences: (a) Visible sediment deposition in a stream or wetland.

They are 25 gallons or more,

 They are less than 25 gallons but cannot be cleaned up within 24 hours, They cause sheen on surface waters (regardless of volume), or

• They are within 100 feet of surface waters (regardless of volume).

Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.

(d) Anticipated bypasses and unanticipated bypasses.

(e) Noncompliance with the conditions of this permit that may endanger health or the

. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800)

deposition in a

may endanger

health or the

environment[40

Reporting Timeframes (After Discovery) and Other Requirements (a) Visible sediment | • Within 24 hours, an oral or electronic notification Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition Division staff may waive the requirement for a written report on a

> If the stream is named on the NC 303(d) list as impaired for sedimentmonitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.

(b) Oil spills and Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and release of location of the spill or release. substances per Ite 1(b)-(c) above A report at least ten days before the date of the bypass, if possible

passes [40 CFR The report shall include an evaluation of the anticipated quality and 122.41(m)(3)] effect of the bypass Within 24 hours, an oral or electronic notification bypasses [40 CFR Within 7 calendar days, a report that includes an evaluation of the 122.41(m)(3)] quality and effect of the bypass

(e) Noncompliance Within 24 hours, an oral or electronic notification with the conditions Within 7 calendar days, a report that contains a description of the of this permit that noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not

been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(I)(6). Division staff may waive the requirement for a written report on a case-by-case basis.



NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT nplementing the details and specifications on this plan sheet will result in the construction

activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

	Re	equired Ground Stabil	lization Timeframes	
Site Area Description		Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations	
(a)	Perimeter dikes, swales, ditches, and perimeter slopes	7	None	
(b)	High Quality Water (HQW) Zones	7	None	
(c)	Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed	
(d)	Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed	
(e)	Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zone -10 days for Falls Lake Watershed unless there is zero slope	

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below

without temporary grass seed

Hydroseeding

Plastic sheeting

Temporary grass seed covered with straw or · Permanent grass seed covered with straw or other mulches and tackifiers other mulches and tackifiers

 Rolled erosion control products with or reinforcement matting Hydroseeding Appropriately applied straw or other mulch
 Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover

Geotextile fabrics such as permanent soil

sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls

Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures Apply flocculants at the concentrations specified in the NC DWR List of Approved

or surrounded by secondary containment structures.

PAMS/Flocculants and in accordance with the manufacturer's instructions. Provide ponding area for containment of treated Stormwater before discharging

Store flocculants in leak-proof containers that are kept under storm-resistant cover

QUIPMENT AND VEHICLE MAINTENANCE

Maintain vehicles and equipment to prevent discharge of fluids.

Identify leaks and repair as soon as feasible, or remove leaking equipment from the

. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible). Remove leaking vehicles and construction equipment from service until the problem has been corrected.

Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

Never bury or burn waste. Place litter and debris in approved waste containers. Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.

Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.

Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers. Anchor all lightweight items in waste containers during times of high winds.

Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow. Dispose waste off-site at an approved disposal facility. 9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

Do not dump paint and other liquid waste into storm drains, streams or wetlands Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.

Contain liquid wastes in a controlled area.

Containment must be labeled, sized and placed appropriately for the needs of site. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from

PORTABLE TOILETS

Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.

Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.

Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

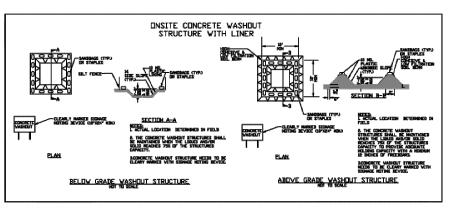
EARTHEN STOCKPILE MANAGEMENT

Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably

Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile

Provide stable stone access point when feasible. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.





CONCRETE WASHOUTS

Do not discharge concrete or cement slurry from the site. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility. Manage washout from mortar mixers in accordance with the above item and in

addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for

review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or

discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum,

install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the

approving authority. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary

products, follow manufacturer's instructions. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

IERBICIDES, PESTICIDES AND RODENTICIDES

Store and apply herbicides, pesticides and rodenticides in accordance with label

Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.

Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately. 4. Do not stockpile these materials onsite.

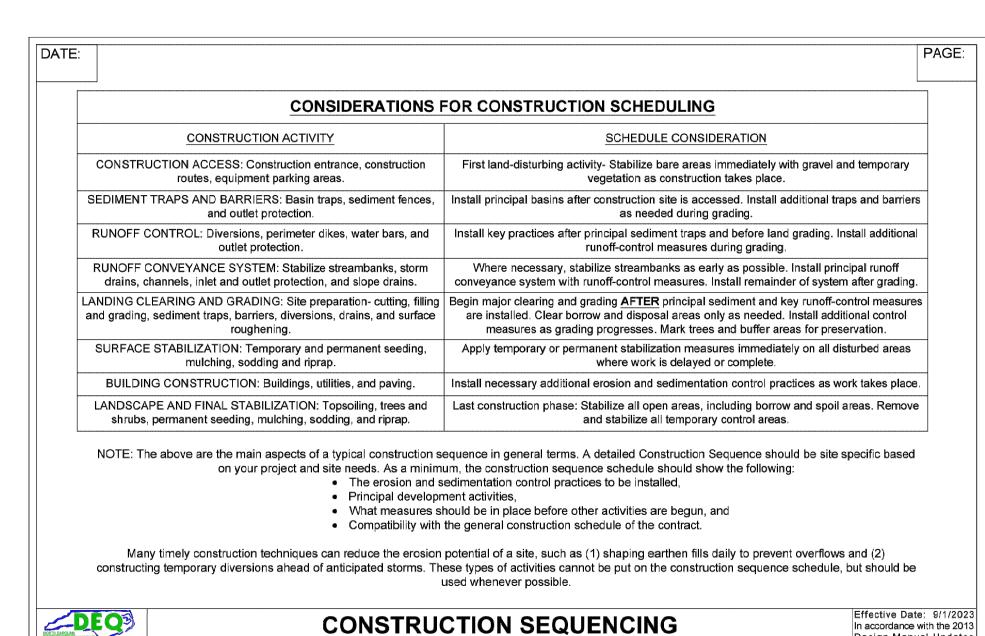
HAZARDOUS AND TOXIC WASTE

Create designated hazardous waste collection areas on-site.

Place hazardous waste containers under cover or in secondary containment. 3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19



In accordance with the 2013 Design Manual Updates 1. Construct and maintain all erosion and sediment control practices and measures in accordance with the approved SPACING GUIDE FOR SLOPE BREAKS sedimentation control plan and construction schedule. 2. Remove good topsoil from areas to be graded and filled, and SPACING (FT) SLOPE preserve it for use in finishing the grading of all critical areas. 2:1 Scarify areas to be topsoiled to a minimum depth of 2 inches before placing topsoil. Steep Slopes 3:1 35 Clear and grub areas to be filled by removing trees, vegetation,

4:1 45 roots, or other objectionable material that would affect the planned stability of the fill. 15-25% 50 Ensure that fill material is free of brush, rubbish, rocks, logs, 10-15% stumps, building debris, and other materials inappropriate for Long Slopes 125 6-10% constructing stable fills. Place all fill in layers not to exceed 9 inches in thickness, and 3-6% 200 compact the layers as required to reduce erosion, slippage, <3% settlement, or other related problems. Do not incorporate frozen, soft, mucky, or highly compressible

Use slope breaks, such as diversions, wattles, or benches, as appropriate, to reduce materials into fill slopes. the length of cut-and-fill slope to limit sheet and rill erosion and prevent gullying. 8. Do not place fill on a frozen foundation, due to possible

1. Periodically check all graded areas and the supporting erosion and sedimentation control practices, especially after heavy rainfalls.

MAINTENANCE:

sedimentation control plan.

STAIR STEPPING CUT SLOPES

2. Promptly remove all sediment from diversions and other water-disposal practices. If washouts or breaks occur, repair immediately. 4. Prompt maintenance of small eroded areas before they become

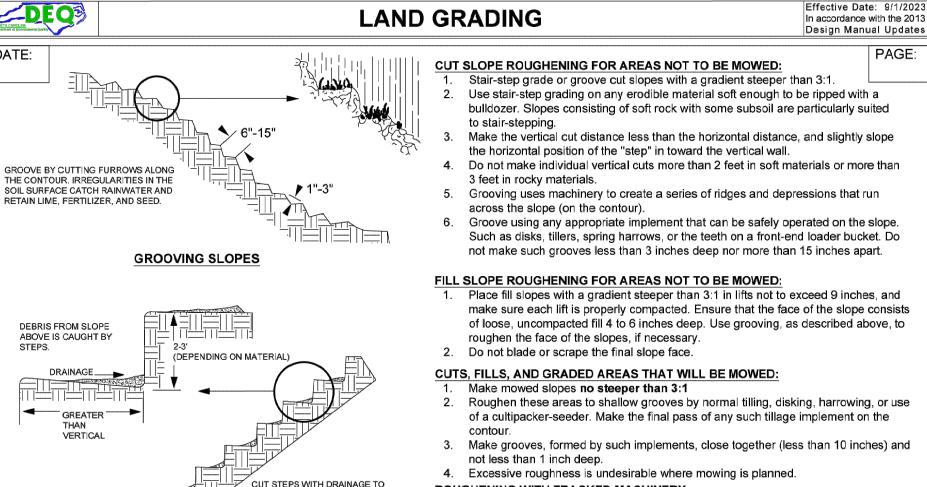
significant gullies is an essential part of an effective erosion and

9. Keep diversions and other water conveyance measures free of sediment during all phases of development.

subsidence and slippage.

10. Handle seeps or springs encountered during construction in accordance with approved methods (subsurface drain). 11. Permanently stabilize all graded areas immediately after final grading is completed on each area in the grading plan. Apply temporary stabilization measures on all graded areas when work is to be interrupted or delayed for 30 days or longer.

12. Show topsoil, stockpiles, borrow areas, and spoil areas on the plans, and make sure they are adequately protected from erosion. Include final stabilization of these areas in the plan.



THE BACK. AVOID LOW SPOTS.

Make grooves, formed by such implements, close together (less than 10 inches) and 4. Excessive roughness is undesirable where mowing is planned.

ROUGHENING WITH TRACKED MACHINERY: Limit roughening with tracked machinery to sandy soils to avoid undue compaction of the soil surface. Tracking is generally not as effective as the other roughening

methods described. 2. Operate tracked machinery up and down the slope to leave horizontal depressions in the soil. Do not back-blade during the final grading operation.

SEED AND MULCH ROUGHENED AREAS IMMEDIATELY TO OBTAIN OPTIMUM SEED

GERMINATION AND GROWTH. SURFACE ROUGHENING

Effective Date: 9/1/2023 In accordance with the 2013 Design Manual Updates

> N.C. UNDERGROUND UTILITIES 3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949

Developer 10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519

QUANTECH ENGINEERING 15000 Weston Parkway Cary, N.C. 27513 (919) 996-9455

> 524 Reliance Avenue Apex. NC 27539 9-557-1080 ext 109

Jurisdiction / Municipality Town of Rolesville 502 Southtown Cir Rolesville, NC 27571 Phone: 919-554-6517

Other Consultants

Sheet map:



SEAL 53676

Issued / Print Date: 2025-May-30 (17:28) File Name: 16 Overall Erosion Control Plan.dwg

Last Saved by: Jthodge Drawn by: TAN

HARRIS CREEK **FARMS**

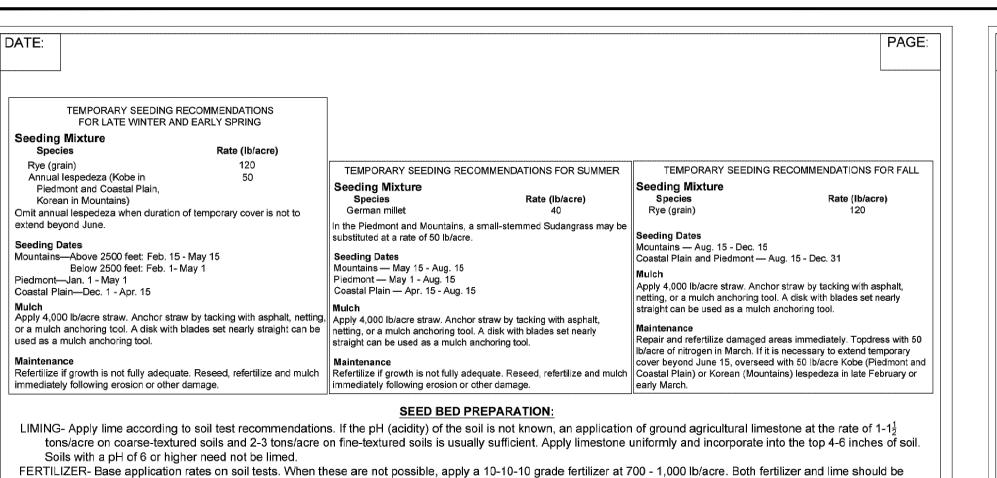
PROGRESS DRAWINGS DO NOT USE FOR CONSTRUCTION

REVISIONS No. Date Description

Sheet Title: **EROSION** CONTROL

Sheet #:

DETAILS



incorporated into the top 4-6 inches of soil. If a hydraulic seeder is used, do not mix seed and fertilizer more than 30 minutes before application.

Planting is to be done immediately after finished grades are obtained and seedbed preparation is completed.

DEQ3

SURFACE ROUGHENING- If recent tillage operations have resulted in a loose surface additional roughening may not be required, except to break up large clods. If rainfall

be a smooth even soil surface with a loosen uniformly fine texture. All ridges and depressions shall be removed and filled to provide the approved surface drainage.

TEMPORARY SEEDING

NOTES:

WAKE

MAINTENANCE NOTES:

INSPECT ONCE A WEEK AND AFTER EVERY 1" RAINFALL

PLAN VIEW

SECTION 'A-A'

NO WELL-DEFINED CHANNEL

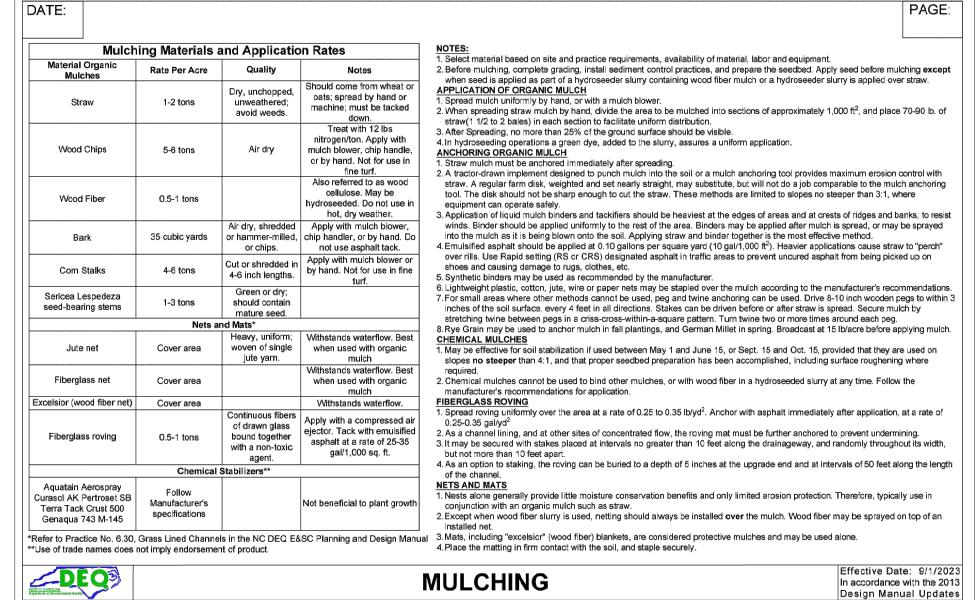
causes the surface to become sealed or crusted, loosen it just prior to seeding by raking, harrowing, or other suitable methods for fine grading. The finished grade shall

DATE: PAGE: NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR FALL NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR LATE WINTER AND EARLY SPRING NON-INVASIVE PERMANENT SEEDING RECOMMENDATIONS FOR SUMMER SEEDING MIXTURE Hard Fescue 15 lbs/acre Species **SEEDING MIXTURE** Switchgrass 2.5-3.5 lbs/acre* 5 lbs/acre Centipede Indian Grass 5-7 lbs/acre* Indian Woodoats 1.5-2.5 lbs/acre* Indian Woodoats 1.5-2.5 lbs/acre* 5-7 lbs/acre* Big Bluestem Virginia Wild Rye 4-6 lbs/acre Virginia Wild Rye 4-6 lbs/acre* Indian Woodoats 1.5-2.5 lbs/acre* Virginia Wild Rye 4-6 lbs/acre* *Depending upon mix with other species. See table 6.11.d *Depending upon mix with other species See table 6.11.d from Chapter 6 of the NC | *Depending upon mix with other species. See table 6.11.d from from Chapter 6 of the NC Erosion and Sediment Control Erosion and Sediment Control Planning | Chapter 6 of the NC Erosion and Sediment Control Planning and Planning and Design Manual. and Design Manual. Design Manual. Seeding Dates Coastal or Eastern Piedmont for Centipede- Sept. 1 - May 1 Seeding Dates Seeding Dates Coastal and Piedmont for Indian Woodoats and Virginia Mountains - July 15- Aug 15 Mountains - Hard Fescue- Aug 1 - June 1 Wild Rye- Feb 15 - April 1 Piedmont - Aug 15 - Oct 15 Mountains- Switchgrass, Indian Grass, Big Bluestem- Dec 1 - April 15 Mountains for Indian Woodoats and Virginia Wild Rye-Piedmont and Coastal- Switchgrass, Indian Grass, Big Bluestem-March 1 - May 15 | Dec 1 - April 1 Indian Woodoats and Virginia Wild Rye Coastal- Indian Woodoats and Virginia Wild Rye- Sept 1 - Nov 1 Maintenance: are both sun and shade tolerant. Significant maintenance may be required to obtain desired Maintenance: cover. Hard Fescue is not recommended for slopes > 5%. Prefers shade. LIMING- Apply lime according to soil test recommendations. If the pH (acidity) of the soil is not known, an application of ground agricultural limestone at the rate of 1 to $1\frac{1}{2}$ tons/acre on coarse0textured soils and 2-3 tons/acre on fine-textured soils is usually sufficient. Apply limestone uniformly and incorporate into the top 4-6 inches of soil. Soils with a pH of 6 or higher need not be limed. FERTILIZER- Base application rates on soil tests. When these are not possible, apply a 10-10-10 grade fertilizer at 700-1,000 lb/acre. Both fertilizer and lime should be incorporated into the top 4-6 inches of

soil. If a hydraulic seeder is used, do not mix seed and fertilizer more than 30 minutes before application. SURFACE ROUGHENING- If recent tillage operations have resulted in a loose surface additional roughening may not be required, except to break up large clods. If rainfall causes the surface to become sealed or crusted, loosen it just prior to seeding by raking, harrowing, or other suitable methods for fine grading, the finished grade shall be a smooth even soil surface with a loosen uniformly fine texture. all ridges and depressions shall be removed and filled to provide the approved surface drainage. Planting is to be done immediately after finished grades are obtained and seedbed preparation is NOTES:

Permanent seeding, sodding or other means of stabilization are required when all construction work is completed according to the NPDES timeframes table. A North Carolina Department of Agriculture soils test (or equal) is highly recommended to be obtained for all areas to be seeded, sprigged, sodded or planted. Use a seeding mix that will produce fast0growing nurse crops and includes non-invasive species that will eventually provide a permanent groundcover. Soil blankets may be used in lieu of nurse crops. Mat, tack or crimp mulch, as needed to stabilize seeded areas until root establishment. Mulch must cover at leaser 80% of the soil surface.

Ground cover shall be maintained until permanent vegetation is established and stable against accelerated erosion. Effective Date: 9/1/2023 **DEQ** PERMANENT SEEDING In accordance with the 2013 Design Manual Updates



NOTES:

1. INSTALL SILT FENCE OR TREE PROTECTION FENCE TO ENSURE CONSTRUCTION ENTRANCE IS USED BY VEHICLES.

2. IF MUD IS NOT REMOVED FROM TIRES AFTER VEHICLE TREES OF THE VEHICLE MUST BE

MAINTENANCE NOTES:

1. THE GRAVEL CONSTRUCTION ENTRANCE MUST BE MAINTAINED IN A CONDITION TO PREVENT TRACKING OR DIRECT FLOW OF

REPLACEMENT OF STONE MAY BE NECESSARY TO ENSURE THE GRAVEL ENTRANCE FUNCTIONS PROPERLY.

REPLENISHMENT OF STONE MAY BE NECESSARY.

FREQUENT CHECKS OF THE DEVICE AND TIMELY MAINTENANCE SHOULD BE COMPLETED.
 ANY MATERIAL TRACKED ONTO THE ROADWAY SHALL BE CLEANED UP IMMEDIATELY.

NEW CONSTRUCTION -

MUD ONTO ADJACENT ROADWAYS

TRAVELS OVER STONE, THE TIRES OF THE VEHICLE MUST BE WASHED BEFORE ENTERING PUBLIC ROADS.

Town of Rolesville 502 Southtown Cir Rolesville, NC 27571 Phone: 919-554-6517 Other Consultants

Jurisdiction / Municipality

Developer

Engineer

CONTRIBUTE TO THE SUCCESS OF LOCAL COMMU

10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519

QUANTECH ENGINEERING

Firm # F-1517

15000 Weston Parkway

Cary, N.C. 27513

(919) 996-9455

ateman Civil Survey Compar

24 Reliance Avenue

9-557-1080 ext 109

www.batemancivilsurvey.com

Apex, NC 27539

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HARRIS CREEK **FARMS**

CID-25-??

PROGRESS DRAWINGS DO NOT USE FOR CONSTRUCTION

REVISIONS No. Date Description

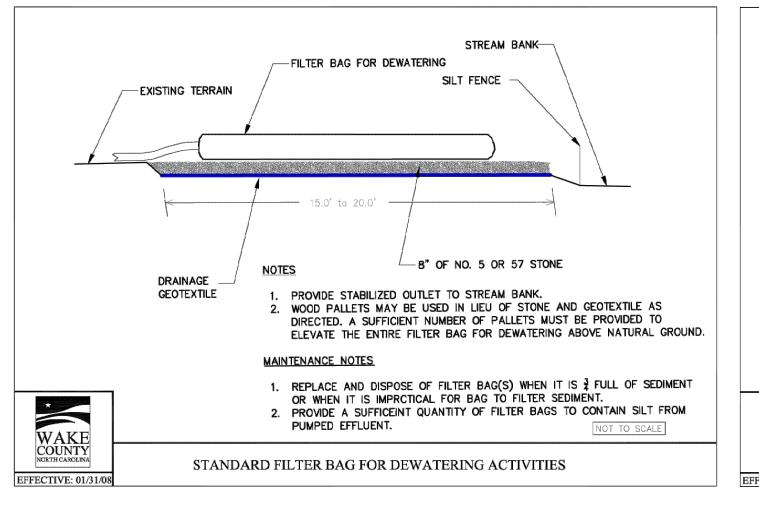
Sheet Title:

EROSION CONTROL DETAILS

N.C. UNDERGROUND UTILITIES

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFE

3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949



TEMPORARY DIVERSION DITCH TO BE USED TO INTERCEPT FLOW AND/OR DIVERT TO A SEDIMENT CONTROL MEASURE OR BMP.

AFTER DRAINAGE AREA IS PERMANENTLY STABILIZED, PLACE WASTE MATERIAL IN DITCH TO BLEND WITH NATURAL GROUND AND STABILIZE.

CROSS SECTIONAL VIEW

STANDARD TEMPORARY DIVERSION DITCH

WASTE MATERIAL-COMPACT,

SEED & MULCH AFTER

2. STABILIZE DIVERSION DITCH BERM WITH TEMPORARY SEEDING, MULCH WITH TAC, AND/OR EROSION CONTROL NETTING.

SILT SHALL BE REMOVED WHEN DITCH IS ONE-HALF FULL.

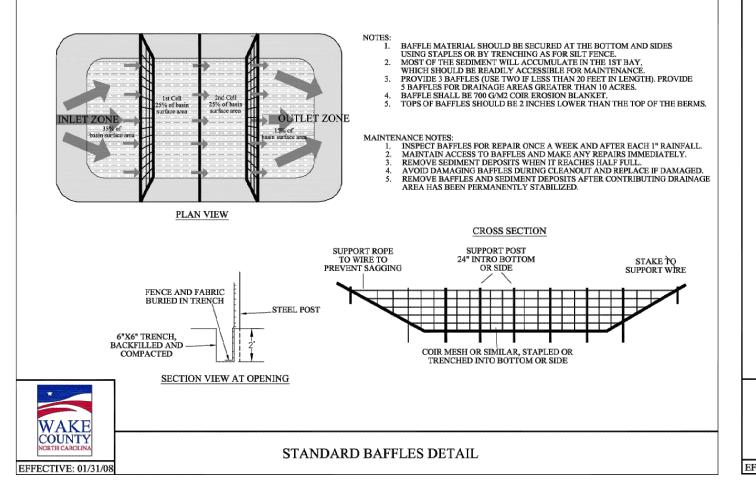
DITCH SHALL BE RECONSTRUCTED WHEN DAMAGED BY EQUIPMENT OR COVERED BY FILL.

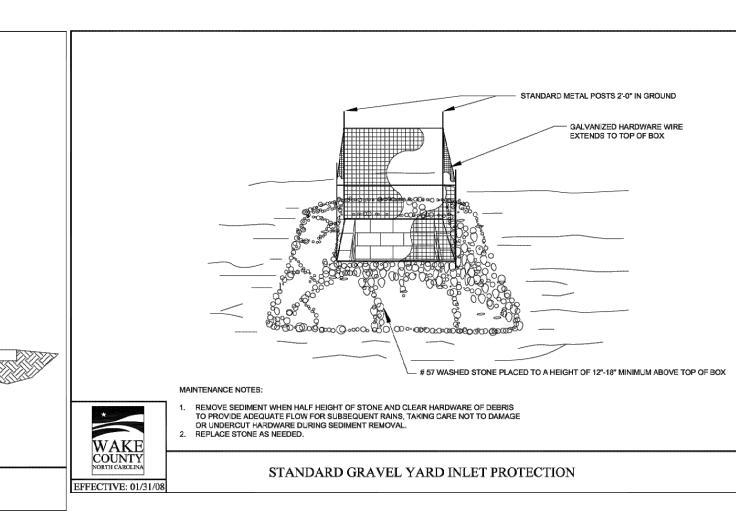
CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED.

Effective Date: 9/1/2023

In accordance with the 2013

Design Manual Updates





2"-3" STONE TO BE USED (SURGE STONE OR RAILROAD

<u>PLAN VIEW</u>

EXISTING ROADWAY -

PROPOSED STREET WHICHEVER IS

-FABRIC UNDER STON

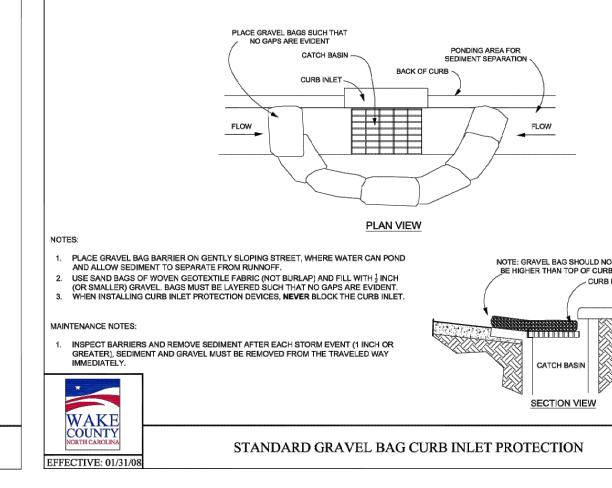
CROSS SECTION

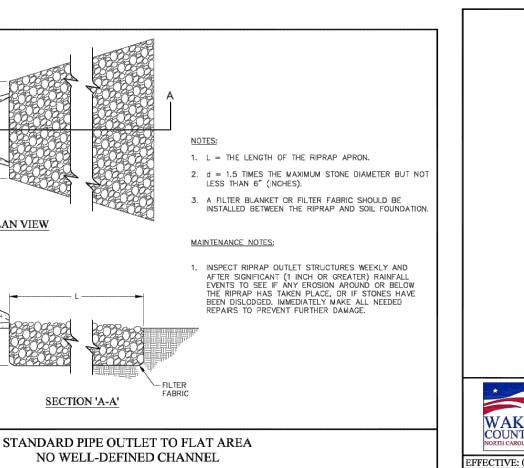
STANDARD CONSTRUCTION ENTRANCE

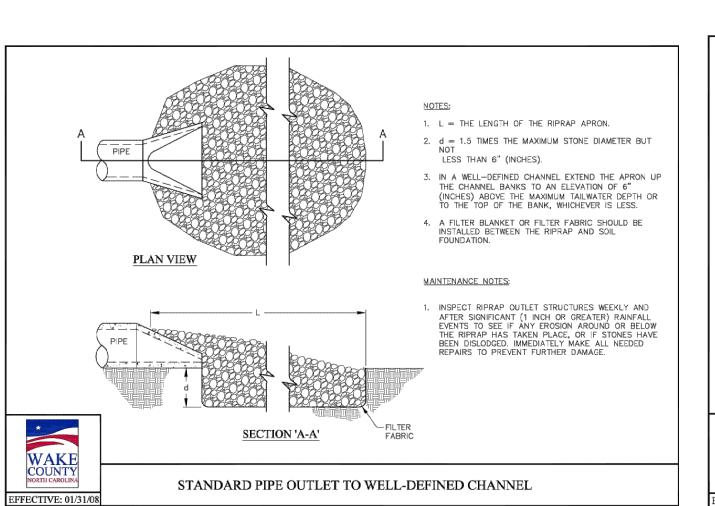
GREATER

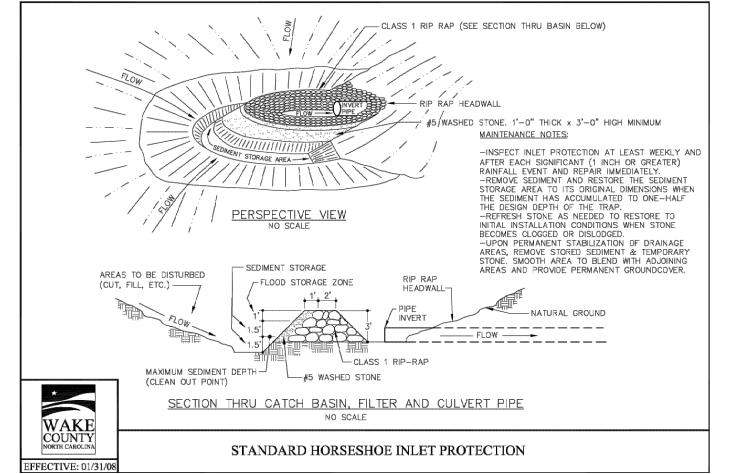
EXISTING ROADWAY

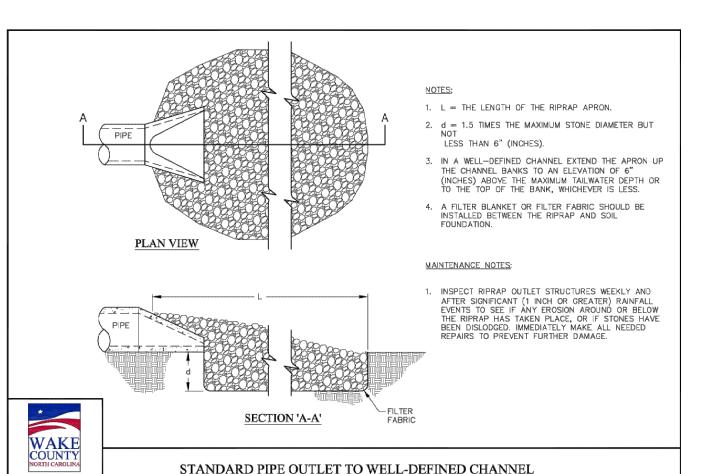
WAKE COUNTY NORTH CAROLINA









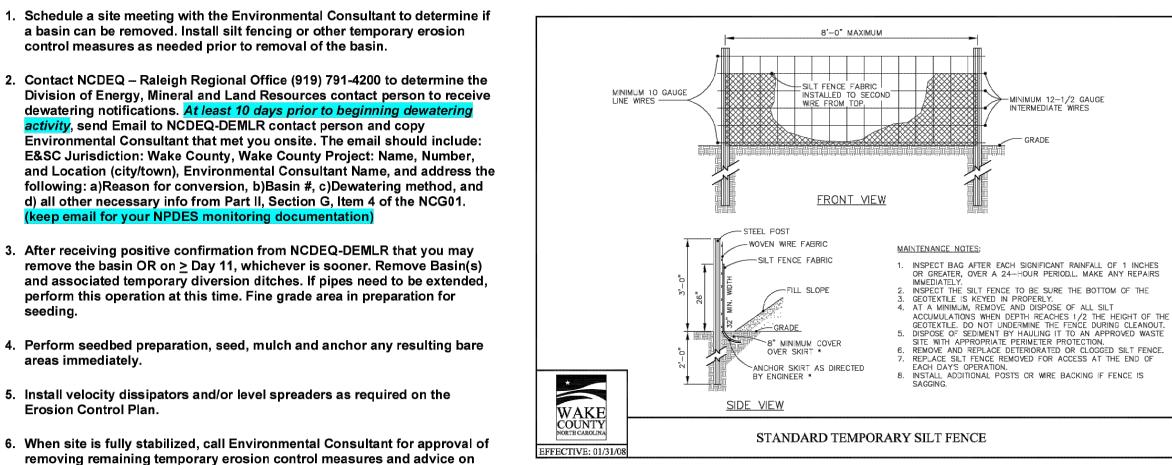


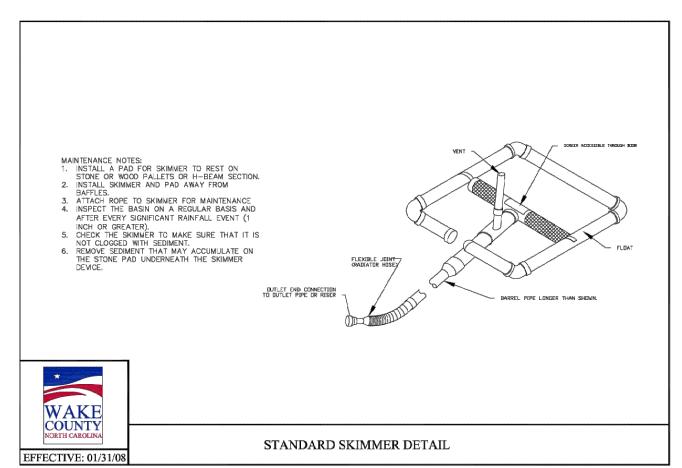
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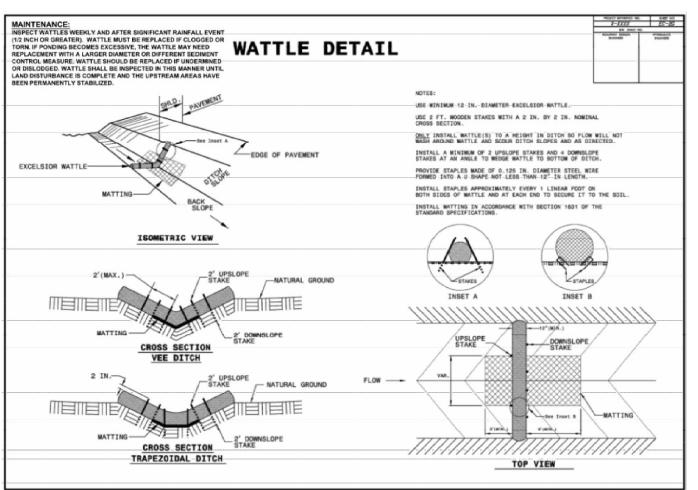
DATE:

- 1. Remove and properly dispose of all trees, brush, stumps, and other objectionable material. Fill and compact all ditches and gullies that will be crossed by machinery to 1. Inspect diversion dikes at least weekly and after each rainfall of 1.0 natural ground level or above.
- 2. Disk the base of the dike before placing fill.
- 3. Ensure that the constructed cross section meets all design requirements.
- Compact the dike by tracking with construction equipment.
- Divert all sediment laden water into a temporary sediment trap or sediment basin. Runoff from undisturbed areas should empty into an outlet protection device such as a level spreader or riprap outlet structure unless well stabilized natural outlets exist. 6. Ensure that the top of the dike is not lower at any point than the design elevation
- plus the specified settlement after it has been compacted.
- Leave sufficient area along the dike to permit machine re-grading and cleanout. 8. Immediately seed and mulch the dike after its construction, and stabilize the flow
- inch or greater. 2. Immediately remove sediment from the flow area and repair the dike.
 - Check outlets, and make timely
 - when area above the temporary diversion dike is permanently with the natural surface.

repairs as needed to avoid gully formation. stabilized, remove the dike, and fill and stabilized the channel to blend







MAINTENANCE NOTES;

1. INSPECT THE DEVICE AFTER 1 INCHES OR GREATER, OVER A 24—HOUR PERIOD FOR DAMAGE, SEDIMENT ACCUMULATION AND

DAMAGE, SEDIMENT ACCOMPLATION AND PROPER FUNCTION.

2. REMOVE SEDIMENT FROM THE DEVICE WHEN ACCUMULATIONS REACH ONE—HALF THE HEIGHT OF THE BASIN AREA FORMED BY THE DEVICE.

3. REPLACE THE WASHED STONE AS NEEDED TO

REPLACE THE WASHED STUNE AS NEEDED TO ALLOW WATER TO DRAIN THROUGH THE DEVICE BETWEEN RAINFALL EVENTS. CLEAN OUT THE DEVICE WHEN IT IS CLOGGED WITH DEBRIS. CHECK PLYWOOD IF DAMAGED. REPLACE IF

S. CHECK PLYWOOD IF DAMAGED. REPLACE IF NEEDED.

6. IF THE DEVICE IS TO REMAIN ON THE PROJECT AT THE COMPLETION OF CONSTRUCTION ACTIVITIES, THE DEVICE SHOULD BE CLEAN AND IN PROPER SHAPE AT THE TIME OF FINAL INSPECTION. IF IT IS REMOVED, ALL ACCUMULATED SILT SHOULD BE REMOVED AND THE AREA SEEDED.

WASHED STONE FILTER

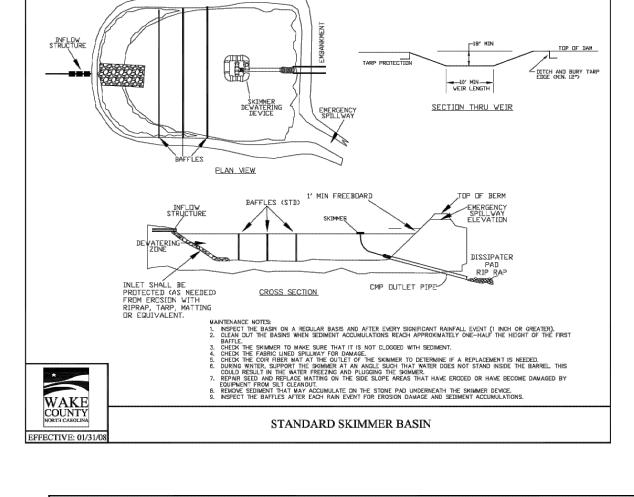
STANDARD PIPE INLET PROTECTION (PLYWOOD & STONE)

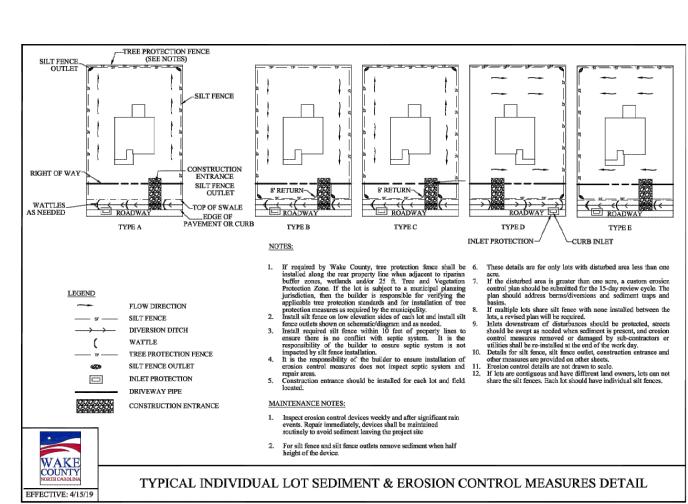
- 3/4" EXTERIOR

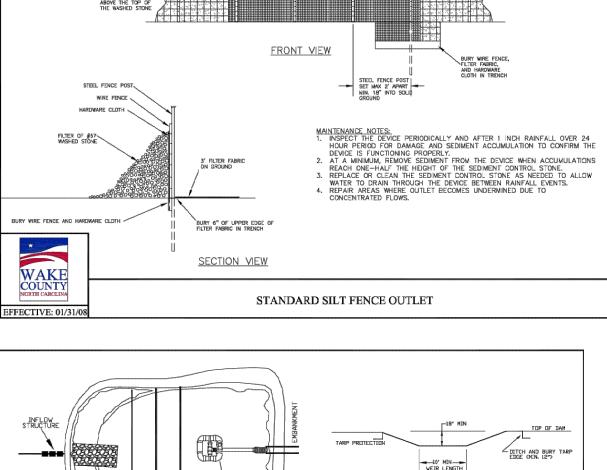
PLYWOOD INLET PROTECTION

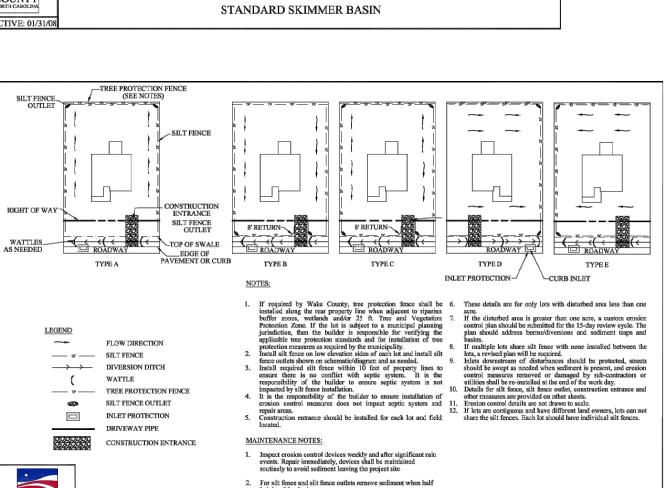
STONE FILTER INLET PROTECTION

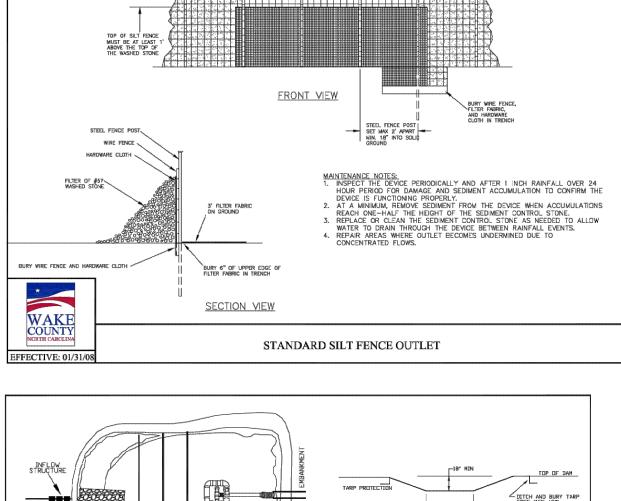
UPSTREAM END OF

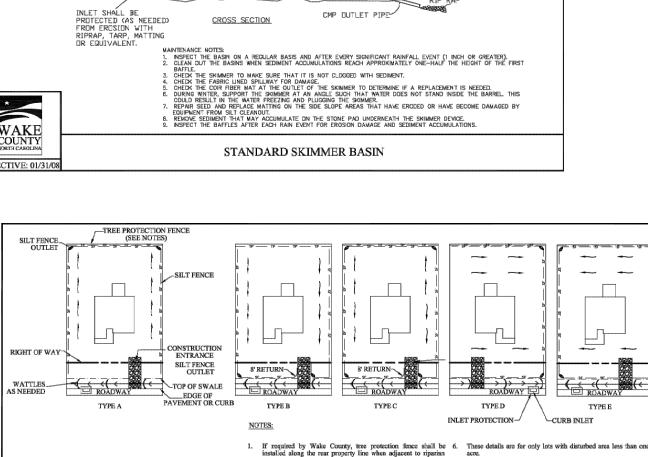












HARRIS CREEK **FARMS**

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Issued / Print Date: 2025-May-30 (17:33)

Last Saved by: Jthodge

File Name: 16 Overall Erosion Control Plan.dwg

CID-25-??

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REVISIONS						
No.	Date	Description				

Sheet Title:

Developer

Engineer

Jurisdiction / Municipality

Other Consultants

Sheet map:

Rolesville

THE CSC GROUP

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10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519

QUANTECH ENGINEERING

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15000 Weston Parkway

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9-557-1080 ext 109

www.batemancivilsurvey.com

Town of Rolesville

502 Southtown Cir

Rolesville, NC 27571

Phone: 919-554-6517

32 EC DETAILS

Sheet #:

portion in accordance with design requirements. **DIVERSION DIKE (PERIMETER PROTECTION)**

Effective Date: 9/1/2023 In accordance with the 2013 Design Manual Updates Required Wake County Basin Removal Sequence

a basin can be removed. Install silt fencing or other temporary erosion

dewatering notifications. At least 10 days prior to beginning dewatering

d) all other necessary info from Part II, Section G, Item 4 of the NCG01.

perform this operation at this time. Fine grade area in preparation for

5. Install velocity dissipators and/or level spreaders as required on the

when site can be issued a Certificate of Completion. Note: A meeting

should also be scheduled with the Environmental Consultant to determine

when a basin may be converted for stormwater use. Some municipalities

areas immediately.

Erosion Control Plan.

may also require this.

activity, send Email to NCDEQ-DEMLR contact person and copy

control measures as needed prior to removal of the basin.

DATE:

DEQ3

DATE:

- Side slopes should be 2:1 or flatter in all cases and 3:1 or flatter where vehicles cross.
- 2. Diversions should have stable outlets, either natural or constructed. Site spacing may need to be adjusted for field conditions to use the most suitable areas for water disposal. Install the diversion as soon as the right-of-way has been cleared
- Disk the base for the constructed ridge before placing fill.
- Track the ridge to compact it to the design cross section. Locate the outlet on an undisturbed area. Adjust field spacing on the diversion to use the most stable outlet areas. When natural
- areas are not deemed satisfactory, provide outlet protection. Immediately seed and mulch the portions of the diversions not subject to construction traffic. Areas to be crossed by vehicles should be stabilized with gravel.

Spacing of Water Bars on Right-of-Way Less than 100 ft Wide Slope (%) Spacing (ft) <5 125 100 5 to 10 10 to 20 75 20 to 35

MAINTENANCE:

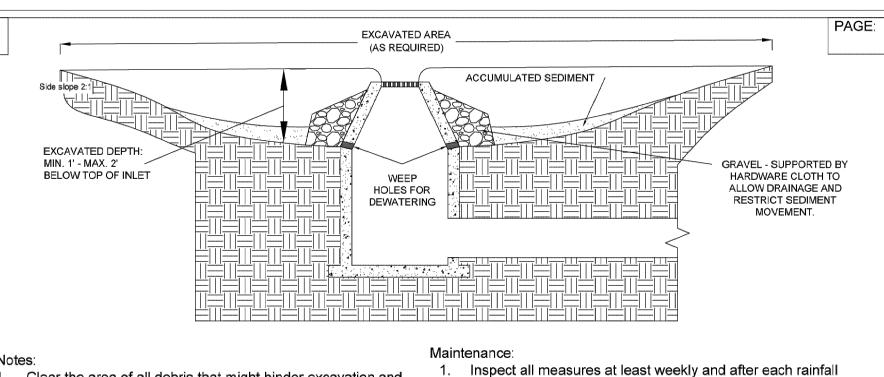
>35

- 1. Inspect all measures at least weekly and after each rainfall of 1.0 inch or greater. Inspect diversions for wear and repair immediately.
- Immediately remove sediment from the flow area, and repair the dike.
- 3. Check outlet areas, and make timely repairs
- as needed. 4. Once permanent road drainage is established and the area above the temporary right-of-way diversions are permanently stabilized, removed the dike, fill the channel to blend with
- the natural ground and appropriately stabilize all disturbed areas.

DEQ3

RIGHT-OF-WAY DIVERSIONS (WATER BARS)

Effective Date: 9/1/2023 In accordance with the 2013 Design Manual Updates

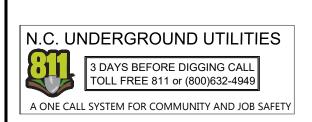


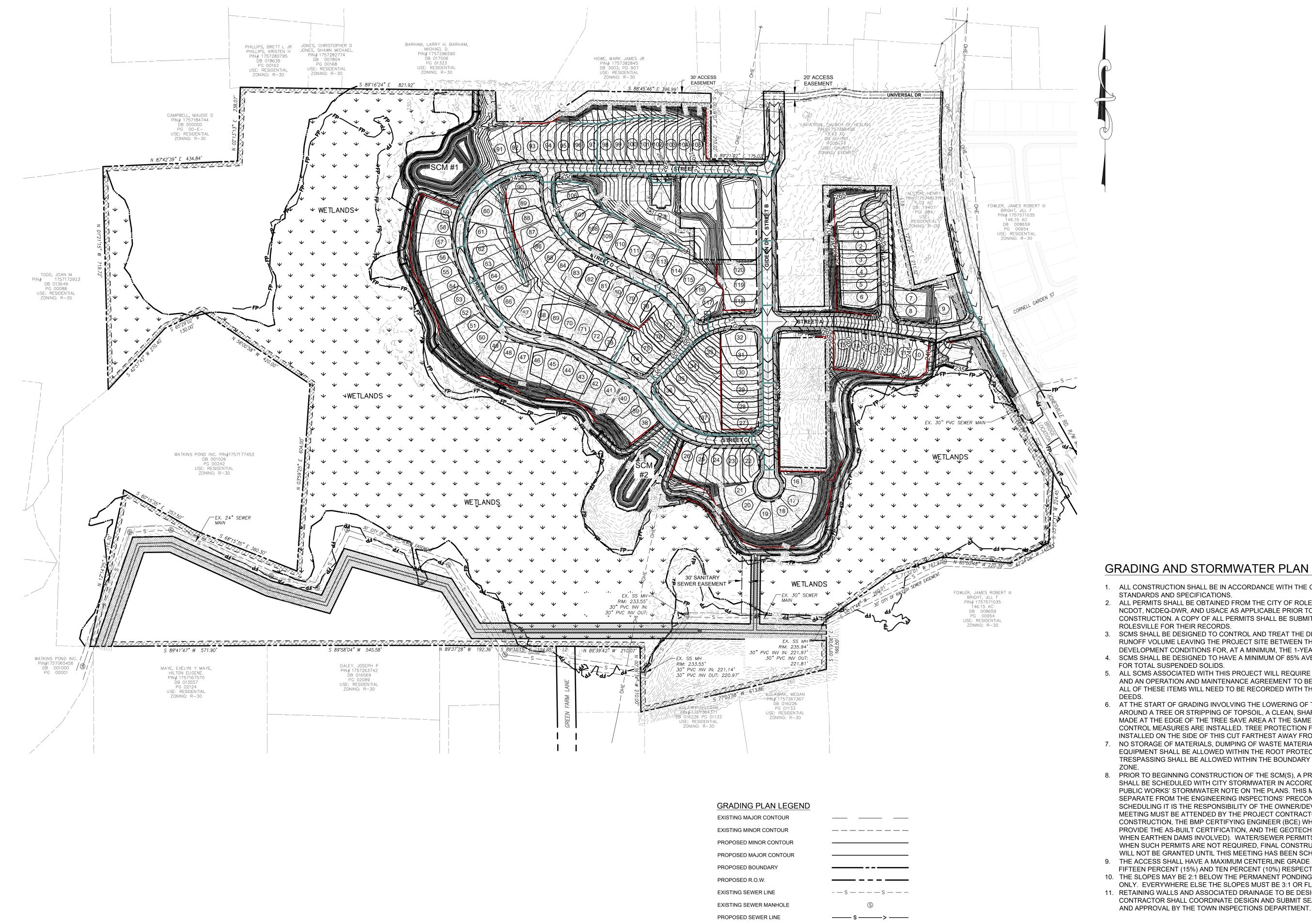
- Clear the area of all debris that might hinder excavation and
- disposal of spoil. Grade the approach to the inlet uniformly.
- Protect weep holes by gravel. When the contributing drainage area has been permanently stabilized, seal weep holes, fill the basin with stable soil to

final grading elevations, compact it properly and stabilize.

- of 1.0 inch or greater. 2. Clean, and properly maintain the excavated basin after every storm until the contributing drainage area has been
- permanently stabilized. 3. remove sediment when the volume of the basin has been
- reduced by one-half.
- 4. Spread all excavated material evenly over the surrounding land area or stockpile and stabilize appropriately

EXCAVATED DROP INLET PROTECTION (TEMPORARY)





PROPOSED SEWER MANHOLE

EXISTING WATER LINE

PROPOSED WATERLINE

EXISTING EASEMENT

PROPOSED EASEMENT

PROPOSED STORM PIPE

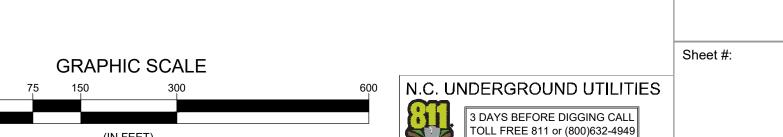
PROPOSED RETAINING WALL

PROPOSED STORM WATER INLET

GRADING AND STORMWATER PLAN NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROLESVILLE
- STANDARDS AND SPECIFICATIONS. 2. ALL PERMITS SHALL BE OBTAINED FROM THE CITY OF ROLESVILLE, WAKE COUNTY.
- NCDOT, NCDEQ-DWR, AND USACE AS APPLICABLE PRIOR TO BEGINNING CONSTRUCTION. A COPY OF ALL PERMITS SHALL BE SUBMITTED TO THE TOWN OF ROLESVILLE FOR THEIR RECORDS.
- 3. SCMS SHALL BE DESIGNED TO CONTROL AND TREAT THE DIFFERENCE IN STORMWATER RUNOFF VOLUME LEAVING THE PROJECT SITE BETWEEN THE PRE- AND POST-DEVELOPMENT CONDITIONS FOR, AT A MINIMUM, THE 1-YEAR, 24-HOUR STORM. 4. SCMS SHALL BE DESIGNED TO HAVE A MINIMUM OF 85% AVERAGE ANNUAL REMOVAL FOR TOTAL SUSPENDED SOLIDS.
- 5. ALL SCMS ASSOCIATED WITH THIS PROJECT WILL REQUIRE MAINTENANCE EASEMENTS AND AN OPERATION AND MAINTENANCE AGREEMENT TO BE NOTED ON THE FINAL PLAT. ALL OF THESE ITEMS WILL NEED TO BE RECORDED WITH THE COUNTY REGISTER OF
- 6. AT THE START OF GRADING INVOLVING THE LOWERING OF THE EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THIS CUT FARTHEST AWAY FROM THE TREE TRUNK.
- NO STORAGE OF MATERIALS, DUMPING OF WASTE MATERIALS, FILL, OR PARKING OF EQUIPMENT SHALL BE ALLOWED WITHIN THE ROOT PROTECTION ZONE, AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE ROOT PROTECTION
- 8. PRIOR TO BEGINNING CONSTRUCTION OF THE SCM(S), A PRECONSTRUCTION MEETING SHALL BE SCHEDULED WITH CITY STORMWATER IN ACCORDANCE WITH THE STANDARD PUBLIC WORKS' STORMWATER NOTE ON THE PLANS. THIS MEETING SHOULD BE SEPARATE FROM THE ENGINEERING INSPECTIONS' PRECONSTRUCTION MEETING AND SCHEDULING IT IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER/ENGINEER. THE MEETING MUST BE ATTENDED BY THE PROJECT CONTRACTOR RESPONSIBLE FOR SCM CONSTRUCTION, THE BMP CERTIFYING ENGINEER (BCE) WHO HAS BEEN SECURED TO PROVIDE THE AS-BUILT CERTIFICATION, AND THE GEOTECHNICAL ENGINEER (REQUIRED WHEN EARTHEN DAMS INVOLVED). WATER/SEWER PERMITS WILL NOT BE ISSUED OR WHEN SUCH PERMITS ARE NOT REQUIRED, FINAL CONSTRUCTION DRAWING APPROVAL WILL NOT BE GRANTED UNTIL THIS MEETING HAS BEEN SCHEDULED.
- 9. THE ACCESS SHALL HAVE A MAXIMUM CENTERLINE GRADE AND CROSS-SLOPE OF FIFTEEN PERCENT (15%) AND TEN PERCENT (10%) RESPECTIVELY.
- 10. THE SLOPES MAY BE 2:1 BELOW THE PERMANENT PONDING ELEVATION INSIDE THE SCM
- ONLY. EVERYWHERE ELSE THE SLOPES MUST BE 3:1 OR FLATTER. 11. RETAINING WALLS AND ASSOCIATED DRAINAGE TO BE DESIGNED BY OTHERS. CONTRACTOR SHALL COORDINATE DESIGN AND SUBMIT SEALED PLAN FOR REVIEW

(IN FEET) 1 inch = 150 ft



A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY



Town of Rolesville 502 Southtown Cir Rolesville, NC 27571

Other Consultants

FINAL DRAWING - FOR REVIEW PURPOSES ONLY

Issued / Print Date: 2025-May-30 (17:36) File Name: 33 Overall Grading & Drainage Plan.dwg

Last Saved by: Tim Newsome

Drawn by: TAN

HARRIS CREEK **FARMS**

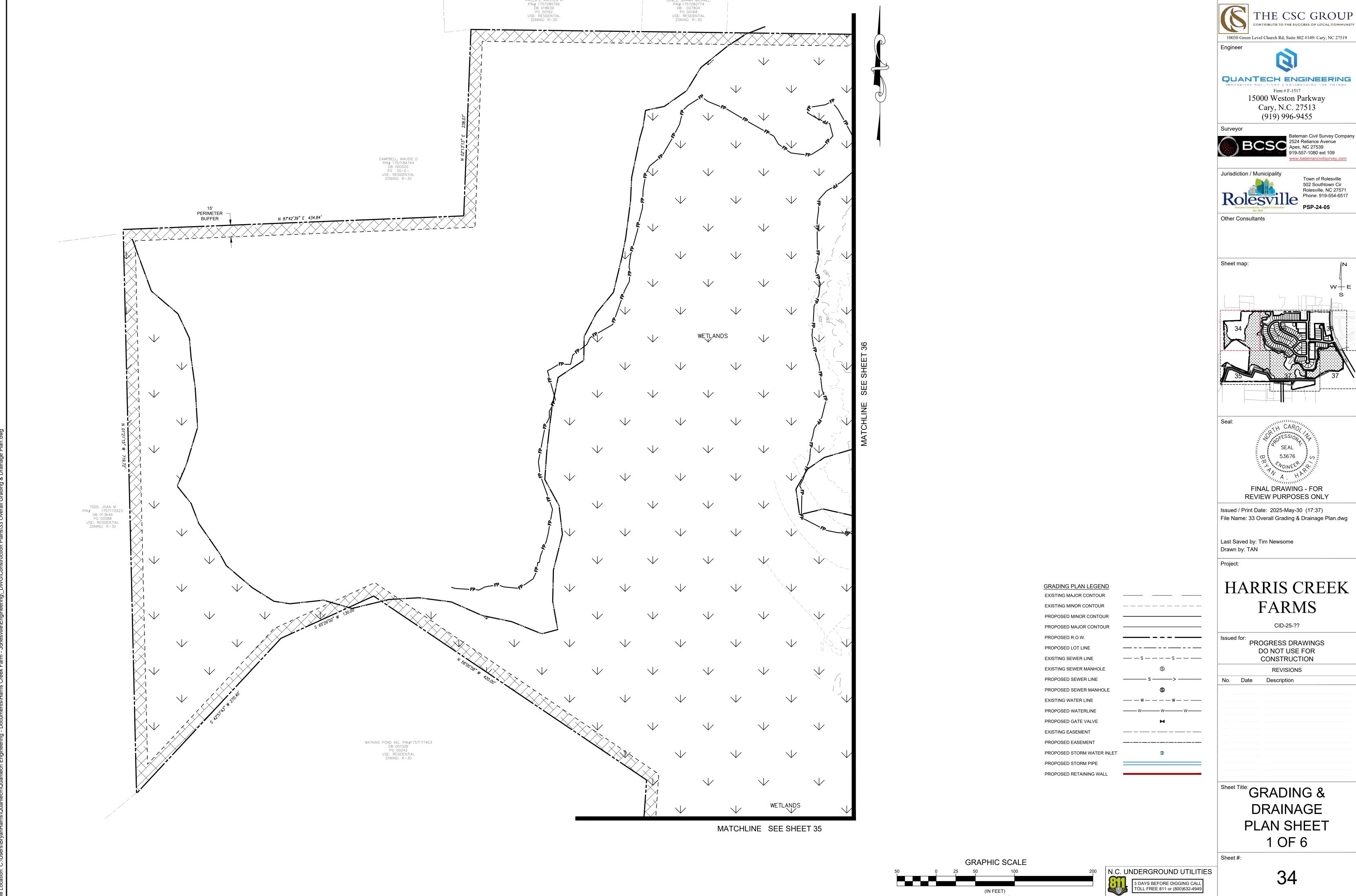
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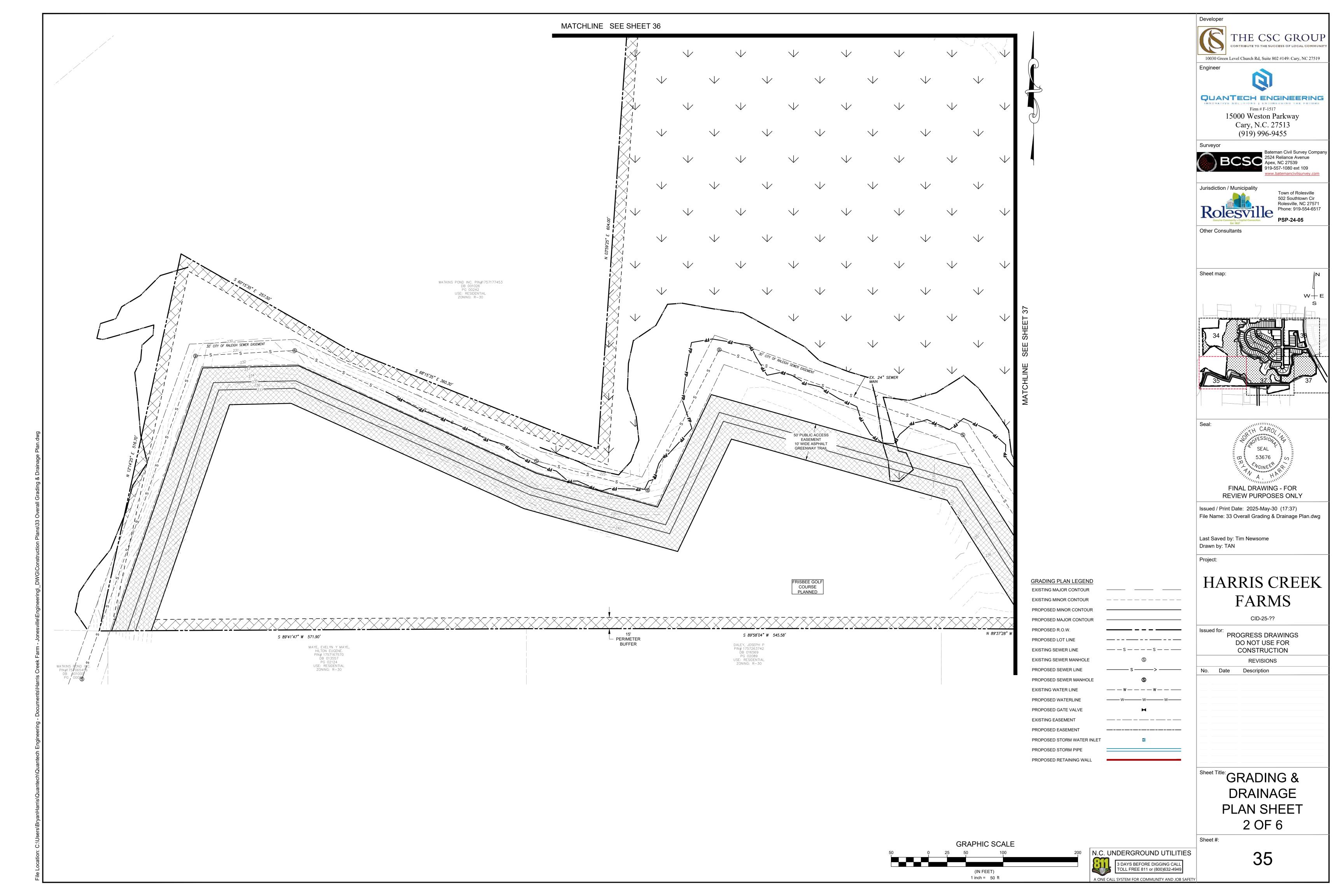
CONSTRUCTION REVISIONS

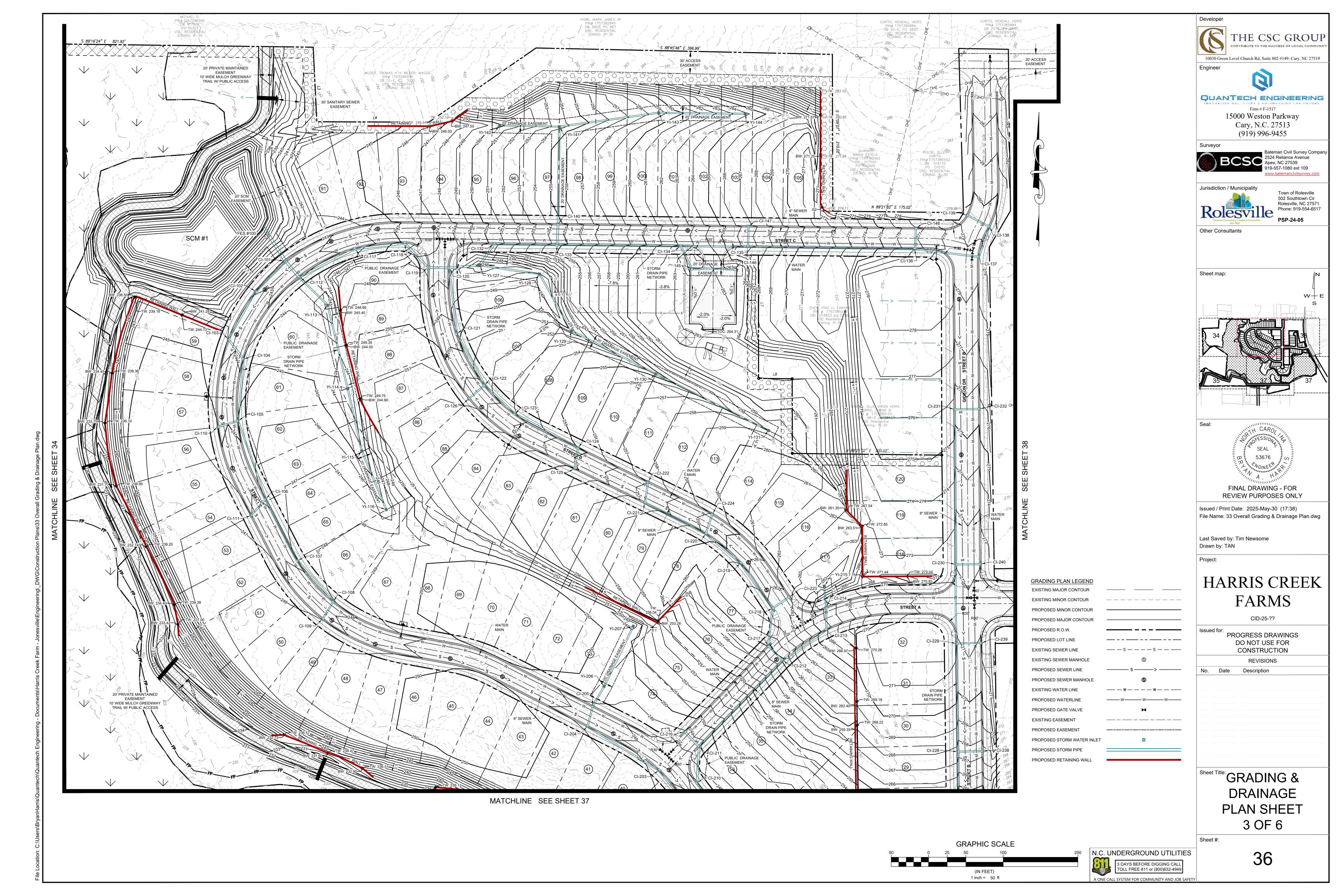
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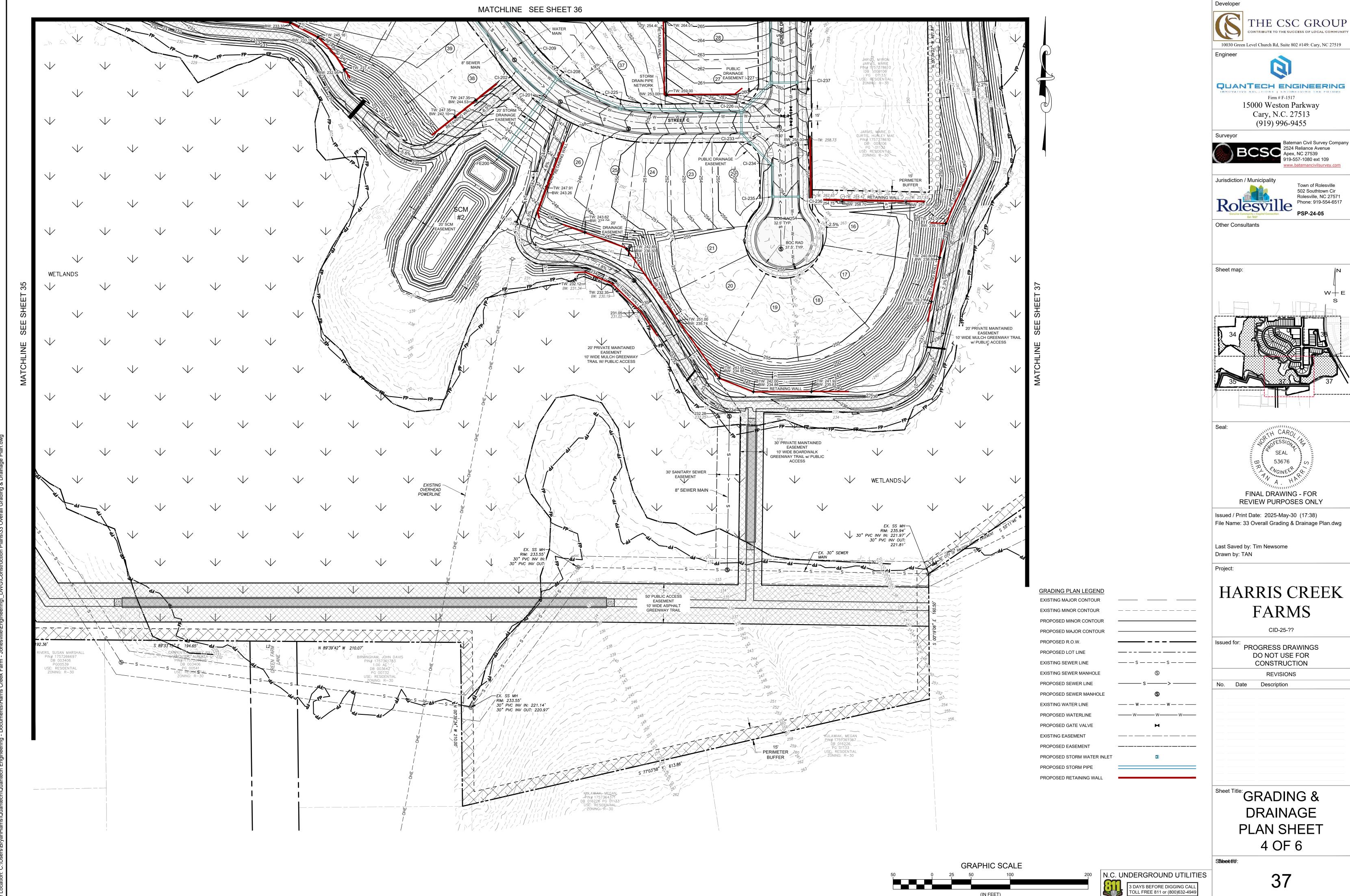
OVERALL GRADING & DRAINAGE PLAN



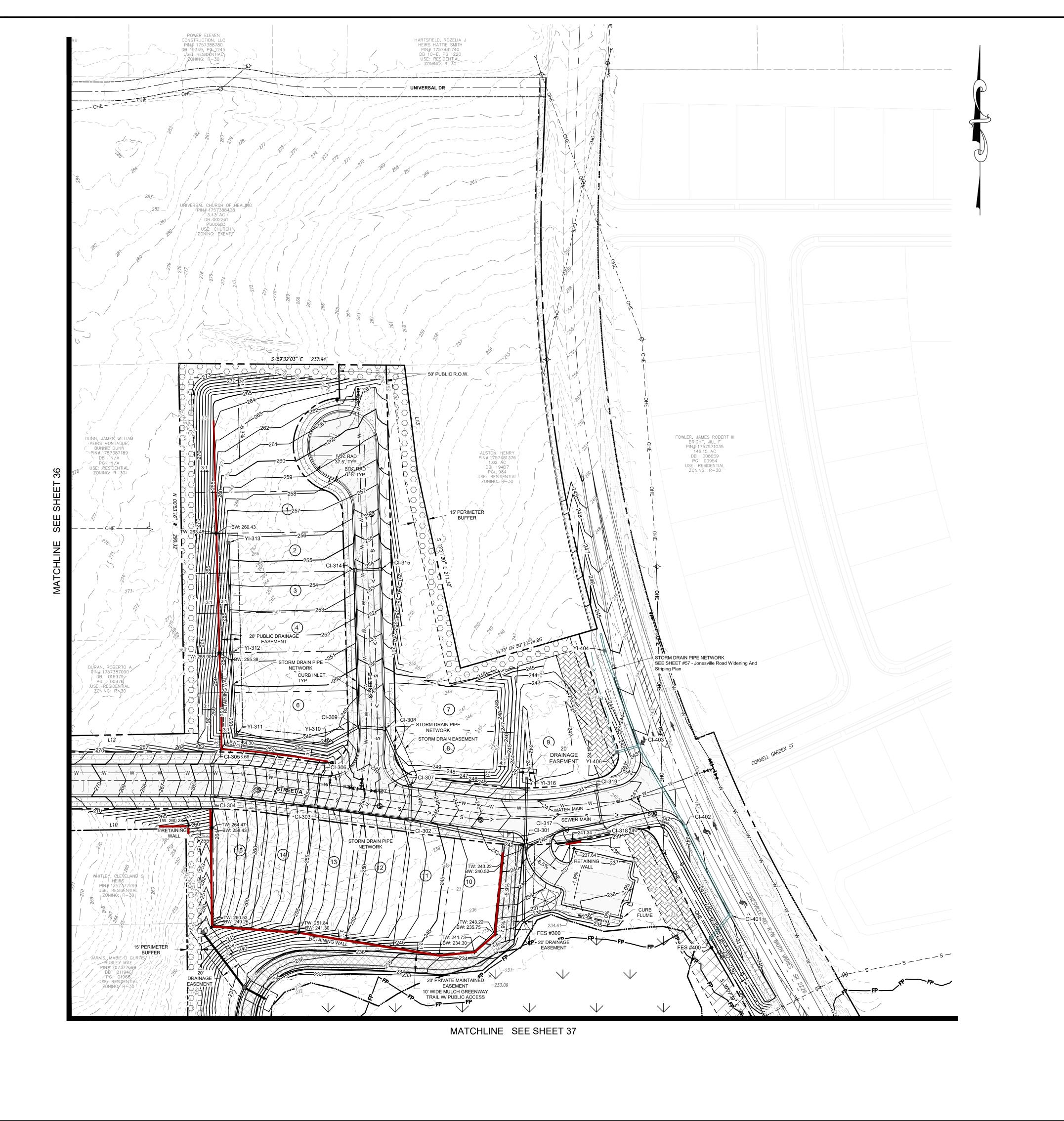
(IN FEET) 1 inch = 50 ft







(IN FEET) 1 inch = 50 ft



GRADING PLAN LEGEND EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR PROPOSED MINOR CONTOUR PROPOSED MAJOR CONTOUR PROPOSED R.O.W. PROPOSED LOT LINE — - s - - - - s - - - -EXISTING SEWER LINE EXISTING SEWER MANHOLE PROPOSED SEWER LINE PROPOSED SEWER MANHOLE EXISTING WATER LINE PROPOSED WATERLINE PROPOSED GATE VALVE EXISTING EASEMENT _____ PROPOSED EASEMENT PROPOSED STORM WATER INLET PROPOSED STORM PIPE PROPOSED RETAINING WALL

GRAPHIC SCALE

50 0 25 50 100 200 N.C. UNDERGR

(IN FEET)
1 inch = 50 ft

GRAPHIC SCALE

A ONE CALL SYSTEM FOR

N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL
TOLL FREE 811 or (800)632-4949

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

Developer					
THE CSC GROUP CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUNIT 10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519					
Engineer					
QUANTECH ENGINEERING					
Firm # F-1517					
15000 Weston Parkway					
Cary, N.C. 27513					
(919) 996-9455					
Surveyor					
Bateman Civil Survey Compan 2524 Reliance Avenue Apex, NC 27539					

Rolesville

Rolesville

Town of Rolesville
502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517

Other Consultants

SEAL 53676

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HARRIS CREEK
FARMS
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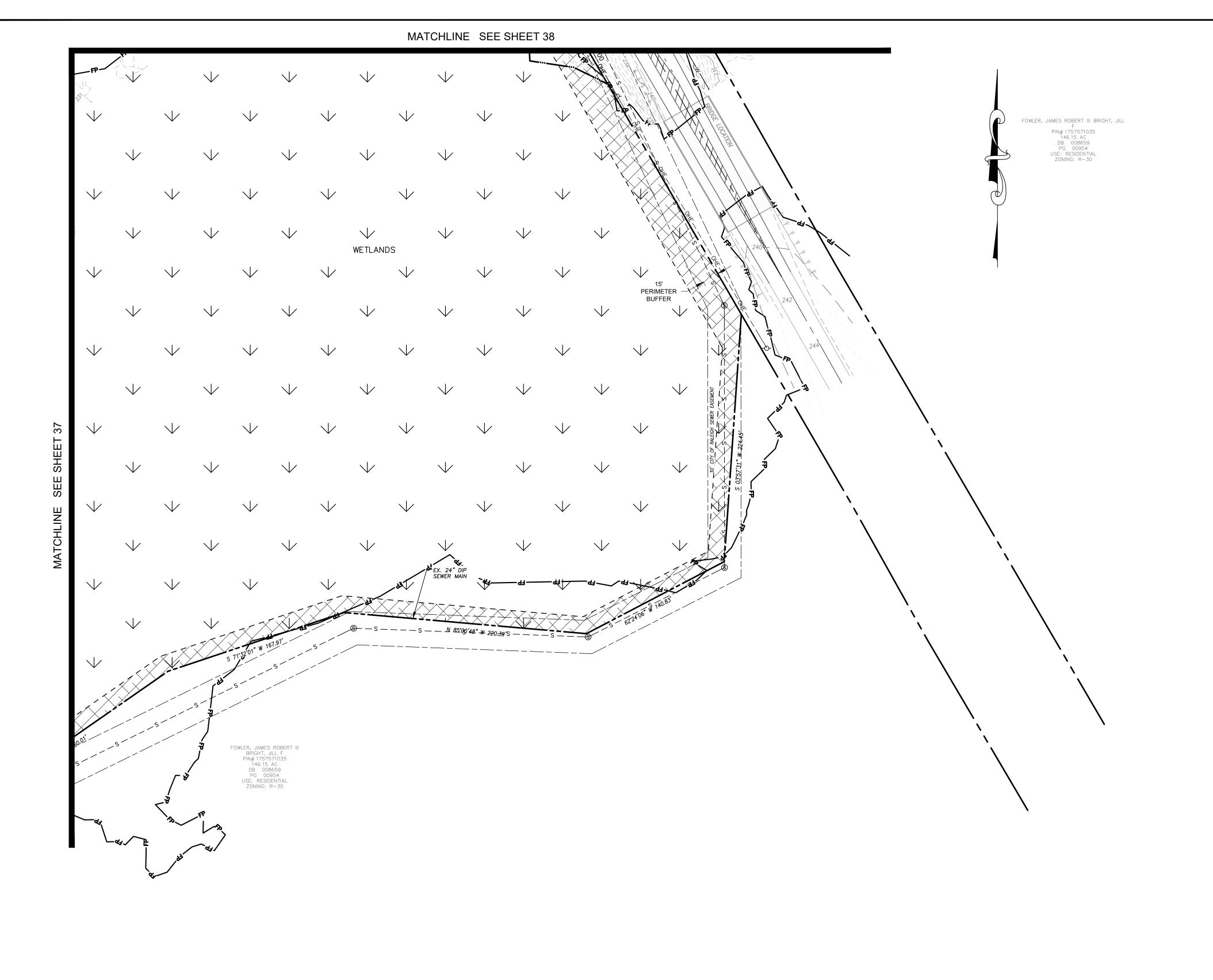
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Sheet Title: GRADING & DRAINAGE PLAN SHEET

5 OF 6

38

GGING CALL 800)632-4949



GRADING PLAN LEGEND EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR _____ PROPOSED MINOR CONTOUR PROPOSED MAJOR CONTOUR PROPOSED R.O.W. PROPOSED LOT LINE — – S – – – S – – – — EXISTING SEWER LINE EXISTING SEWER MANHOLE PROPOSED SEWER LINE PROPOSED SEWER MANHOLE EXISTING WATER LINE PROPOSED WATERLINE PROPOSED GATE VALVE EXISTING EASEMENT _____ PROPOSED EASEMENT PROPOSED STORM WATER INLET PROPOSED STORM PIPE

PROPOSED RETAINING WALL

Town of Rolesville 502 Southtown Cir Rolesville, NC 27571 Other Consultants FINAL DRAWING - FOR REVIEW PURPOSES ONLY Issued / Print Date: 2025-May-30 (17:39) File Name: 33 Overall Grading & Drainage Plan.dwg Last Saved by: Tim Newsome Drawn by: TAN HARRIS CREEK **FARMS** CID-25-?? PROGRESS DRAWINGS DO NOT USE FOR CONSTRUCTION REVISIONS No. Date Description

10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519

QUANTECH ENGINEERING

15000 Weston Parkway Cary, N.C. 27513 (919) 996-9455

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50 ft

N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL
TOLL FREE 811 or (800)632-4949

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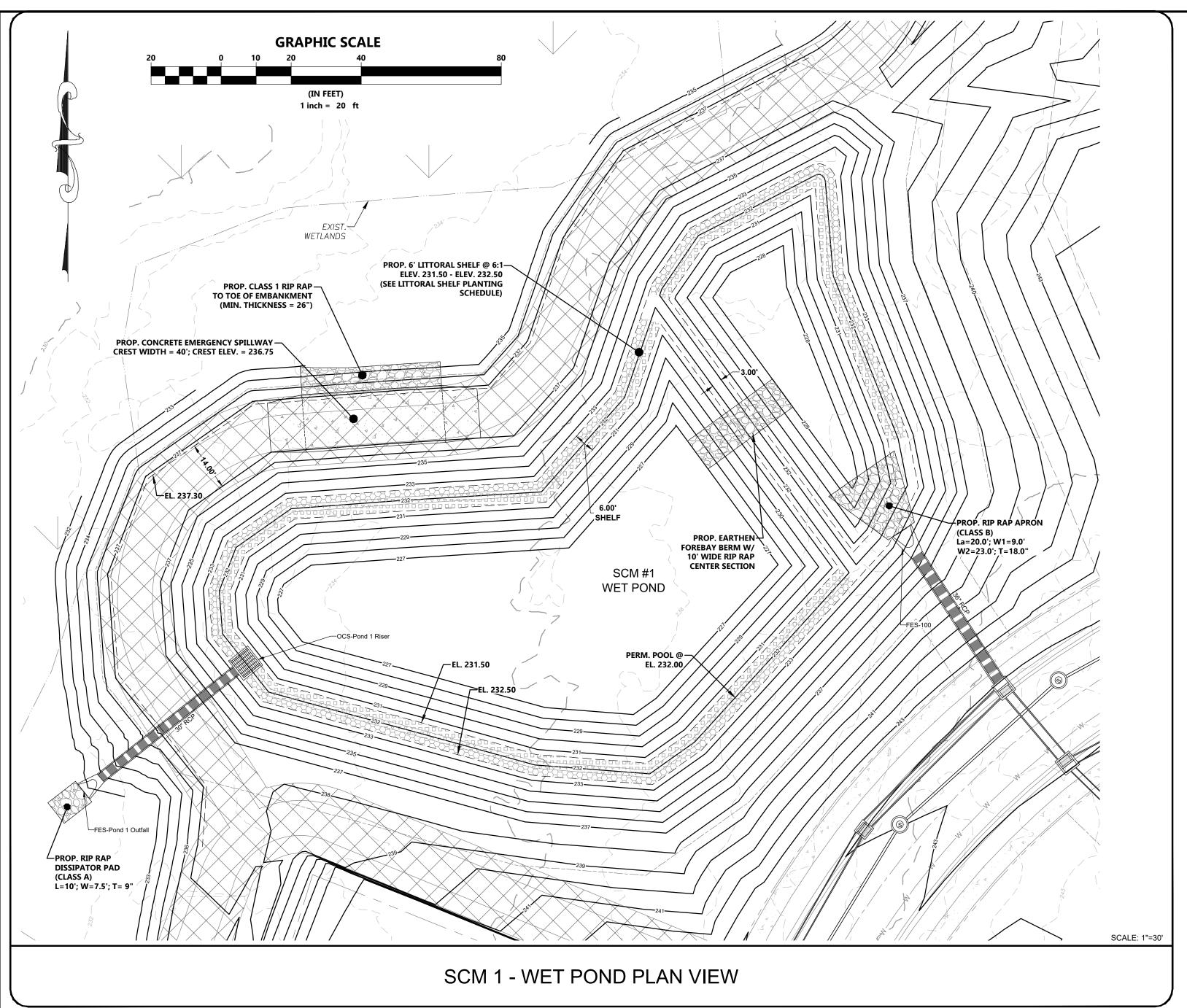
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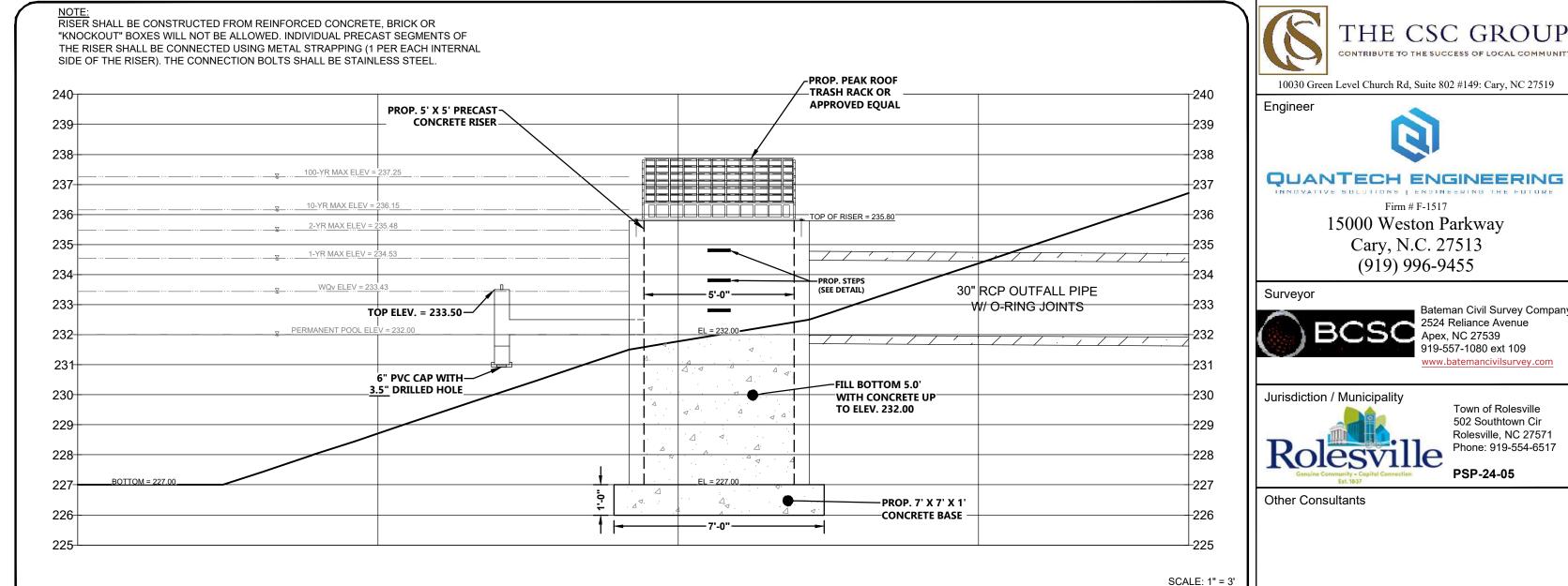
DRAINAGE

PLAN SHEET

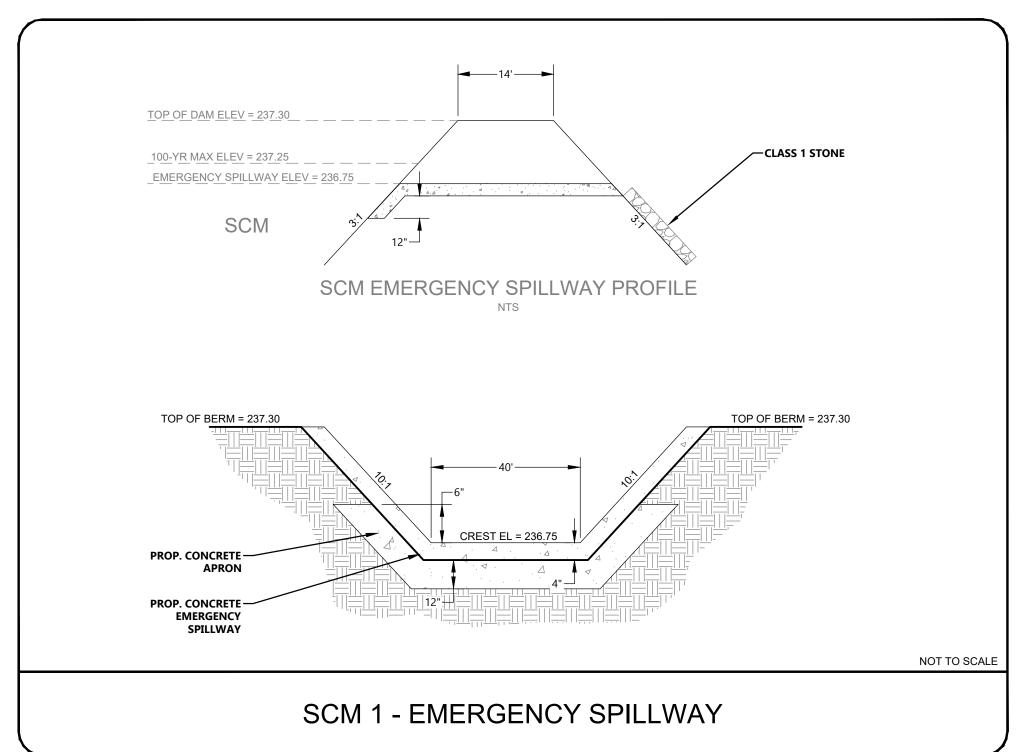
6 OF 6

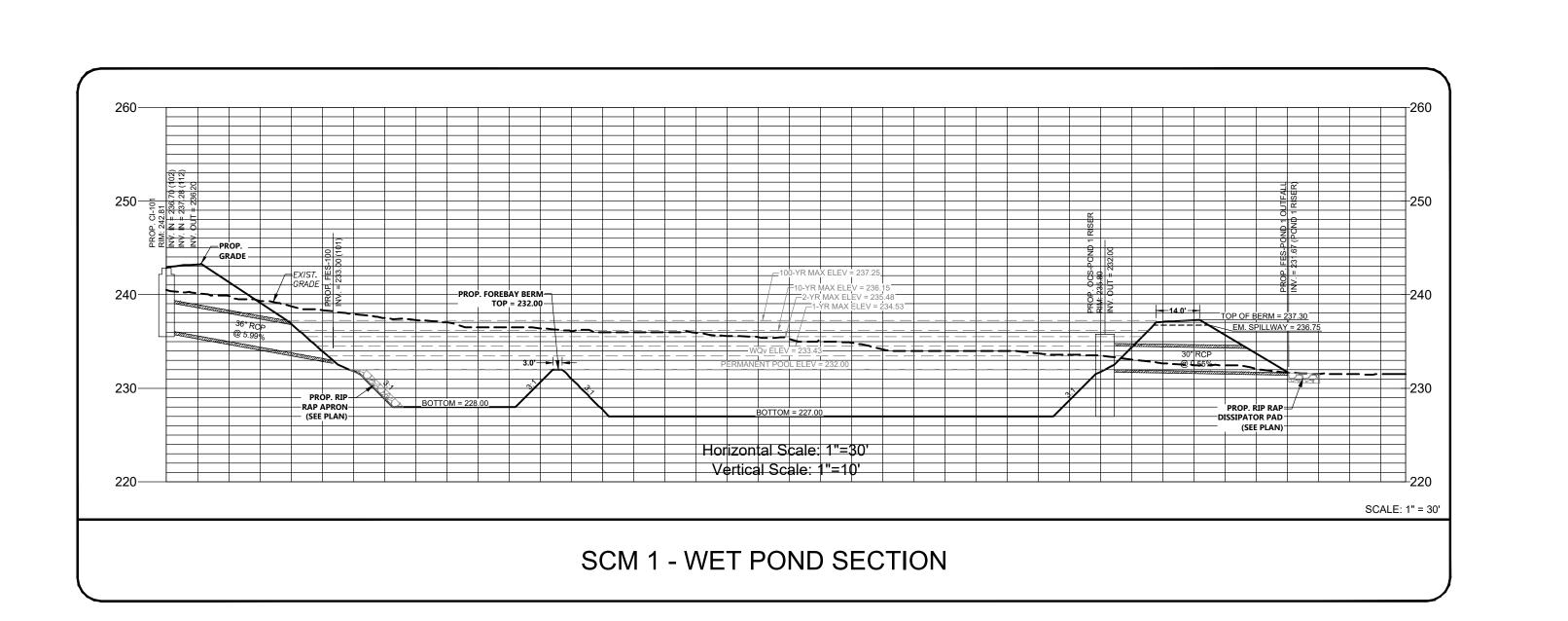
Sheet Title: GRADING &





LITTORAL SHELF PLANTING SCHEDULE						
ELEV. RANGE	SHELF AREA	SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SPACING
231.50 - 231.83	1,020 sf		ASCLEPIAS INCARNATA	SWAMP MILKWEED	255	24"-36" O.C.
231.83 - 232.17	1,042 sf		CAREX TENERA	QUILL SEDGE	265	24"-36" O.C.
232.17 - 232.50	1,063 sf		CHELONE GLABRA	WHITE TURTLEHEAD	270	24"-36" O.C.





N.C. UNDERGROUND UTILITIES 3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949

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Bateman Civil Survey Company

Town of Rolesville

502 Southtown Cir Rolesville, NC 27571 Phone: 919-554-6517

2524 Reliance Avenue

19-557-1080 ext 109

Drawn by: TAN

HARRIS CREEK **FARMS**

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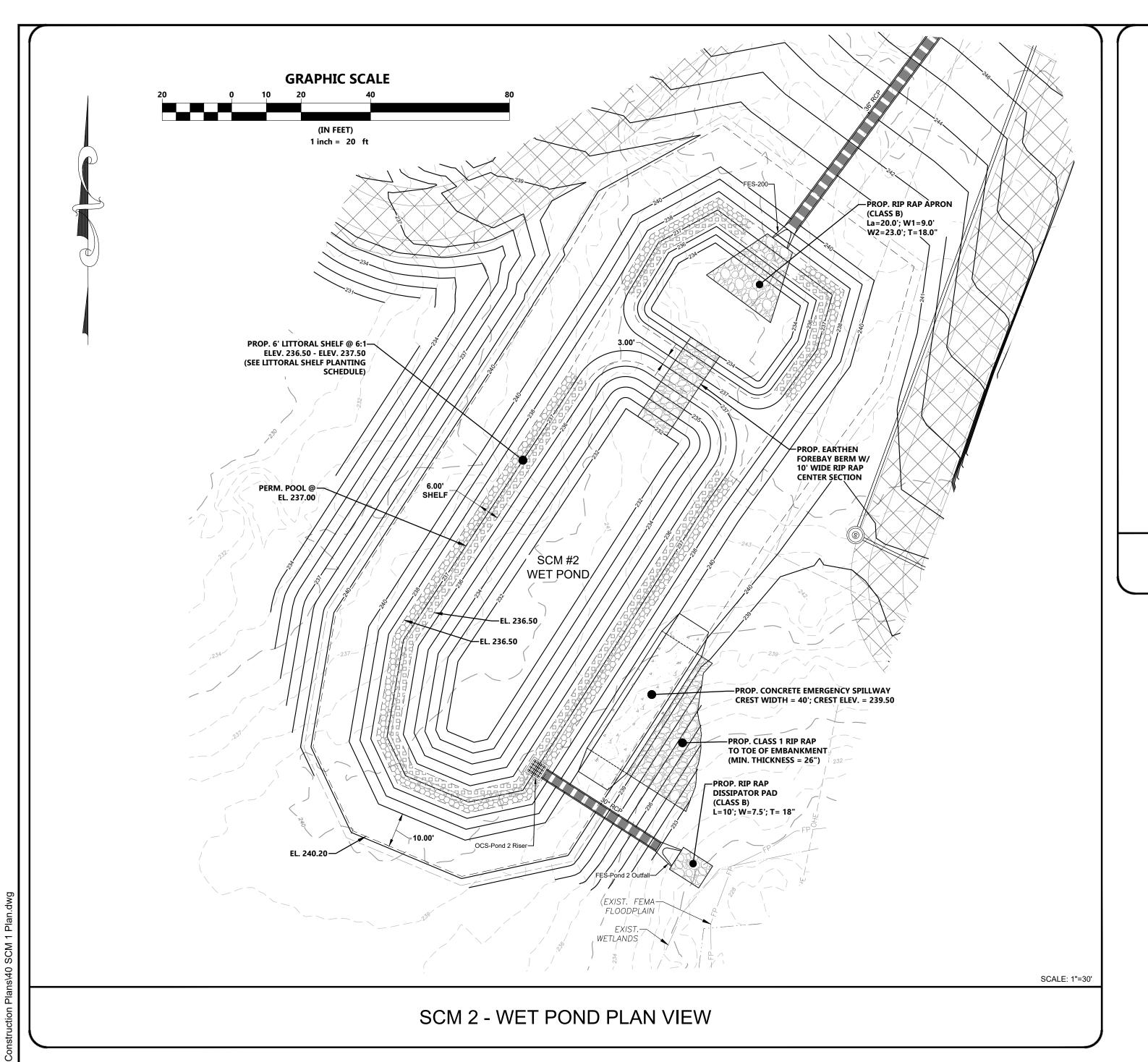
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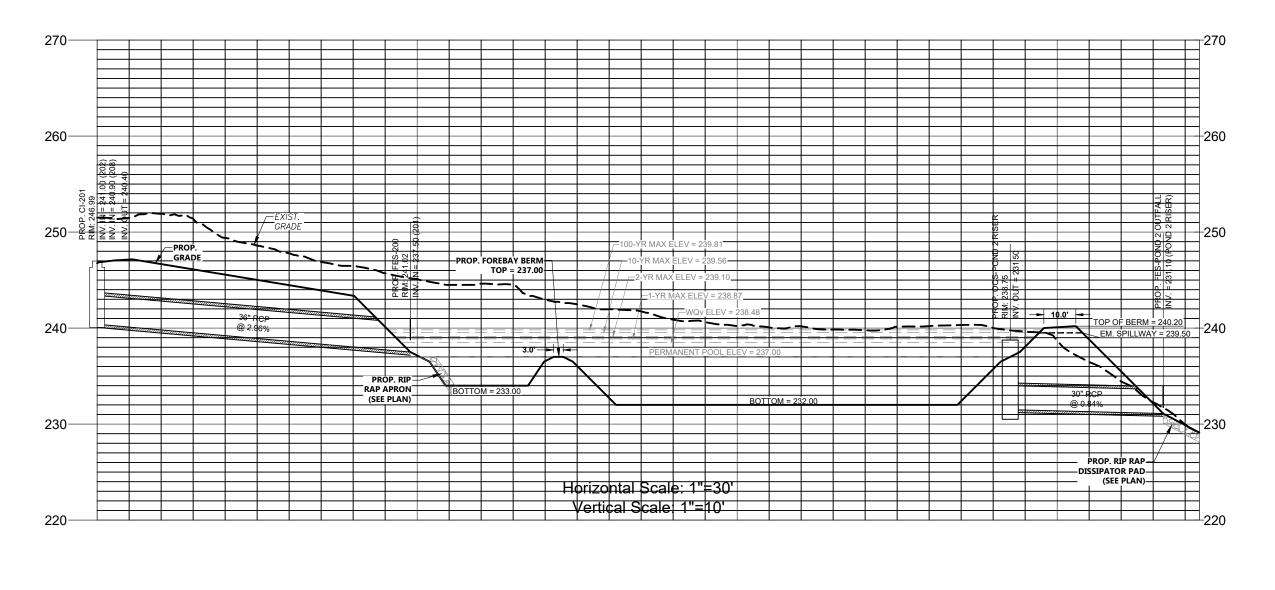
REVISIONS No. Date Description

Sheet Title:

SCM 1 PLAN

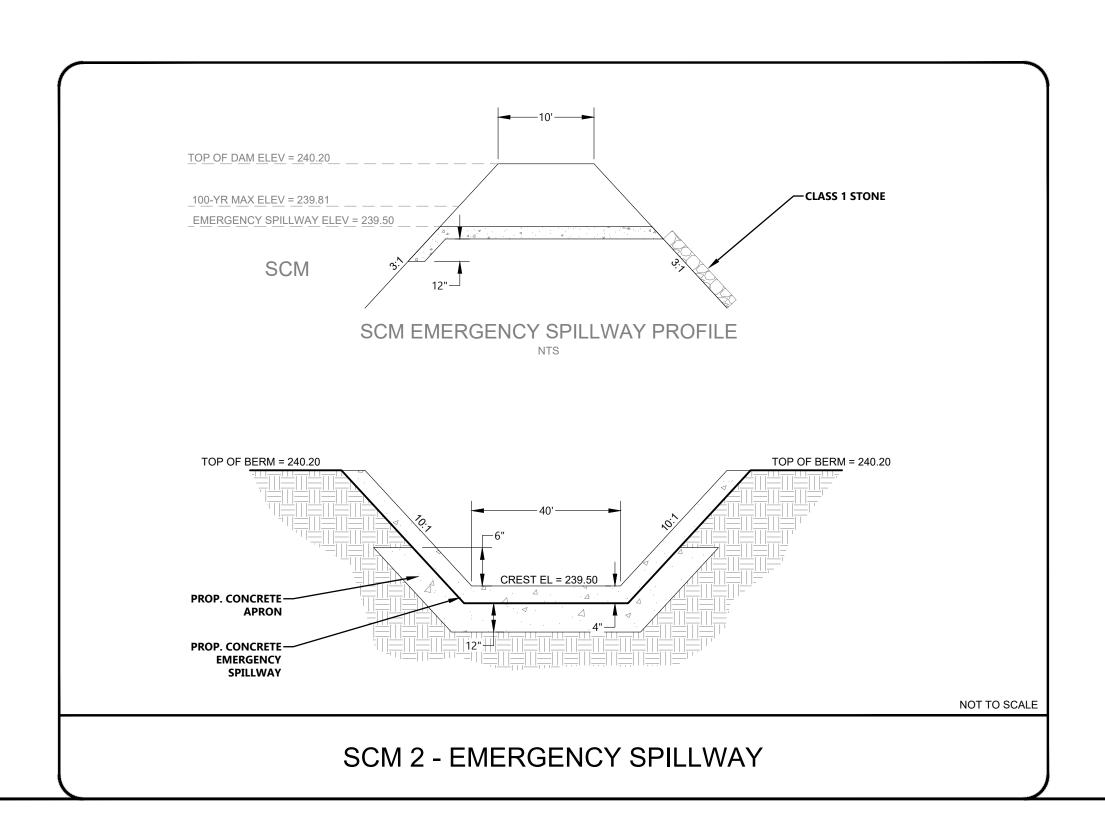
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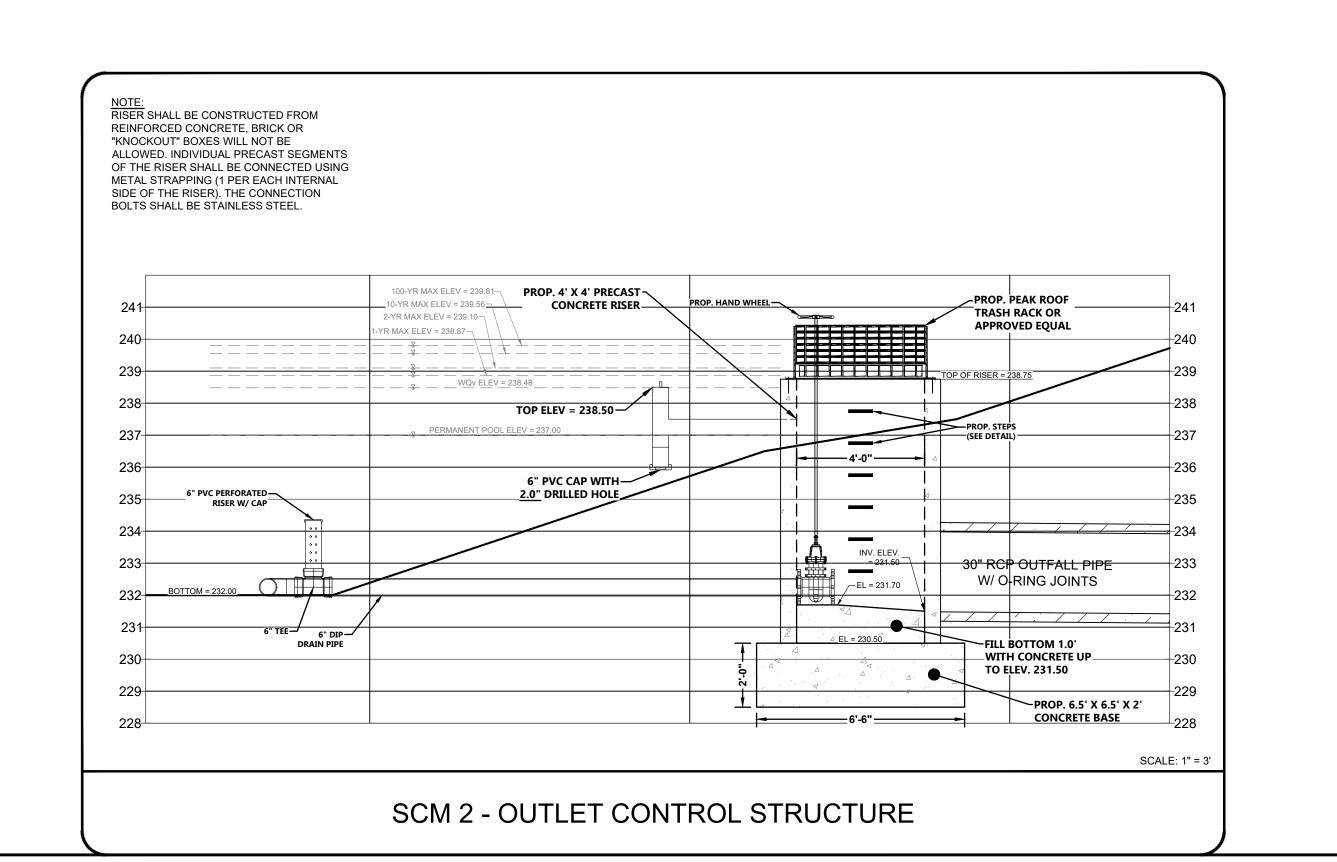
SCM 2 - WET POND SECTION

LITTORAL SHELF PLANTING SCHEDULE						
ELEV. RANGE	SHELF AREA	SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SPACING
236.50 - 236.83	696 sf		ASCLEPIAS INCARNATA	SWAMP MILKWEED	175	24"-36" O.C.
236.83 - 237.17	723 sf		CAREX TENERA	QUILL SEDGE	185	24"-36" O.C.
237.17 - 237.50	750 sf	E8-8-8-8-8-8-8-8-8-8-8-8-8-8-8-8-8-8-8-	CHELONE GLABRA	WHITE TURTLEHEAD	190	24"-36" O.C.



N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949



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CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUNITY

10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519

Engineer

Engineer

15000 Weston Parkway
Cary, N.C. 27513
(919) 996-9455

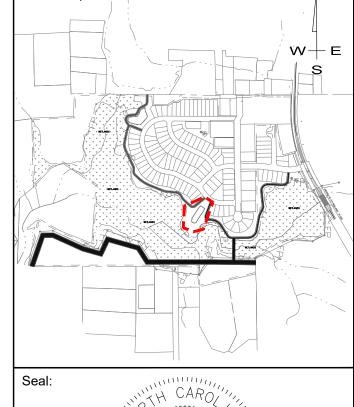
Surveyor

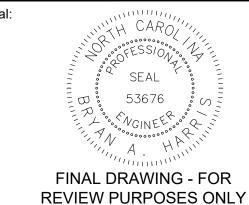
Bateman Civil Survey Company
2524 Reliance Avenue
Apex, NC 27539
919-557-1080 ext 109
www.batemancivilsurvey.com

Jurisdiction / Municipality

Town of Rolesville
502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517
PSP-24-05

Other Consultants





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HARRIS CREEK FARMS

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Sheet Title:

SCM 2 PLAN

Sheet #:

41

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HARRIS CREEK **FARMS**

CID-25-??

REVISIONS

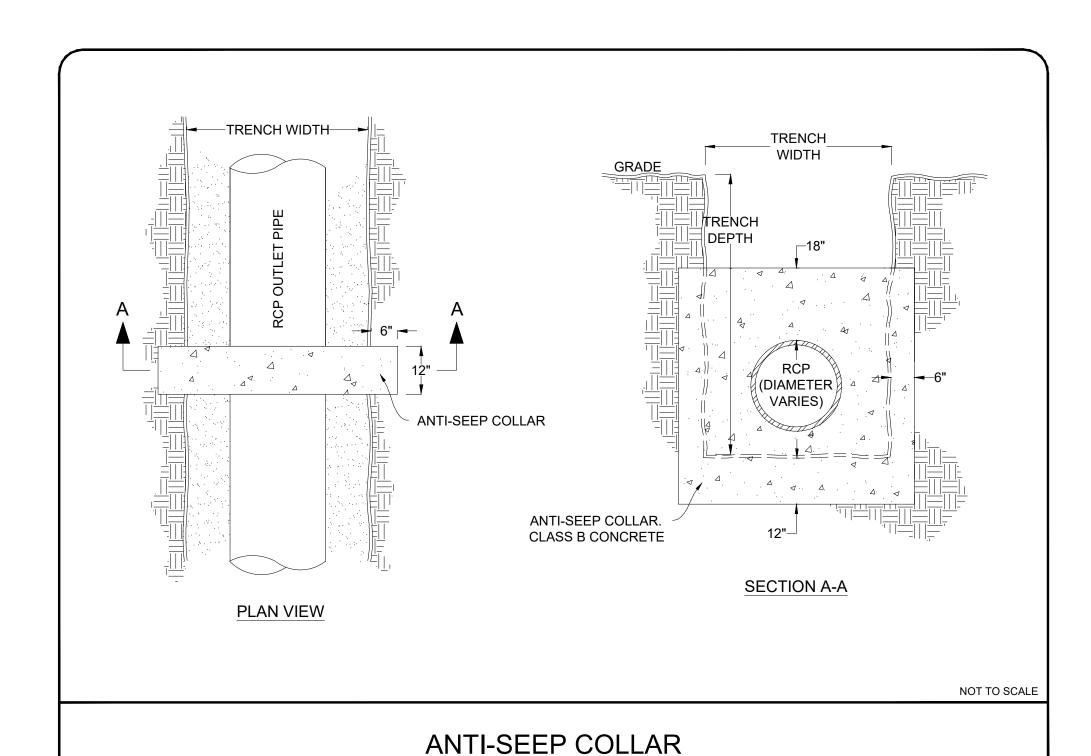
PROGRESS DRAWINGS DO NOT USE FOR CONSTRUCTION

No. Date Description

Sheet Title:

SCM DETAILS

Sheet #:



SCM NOTES:

EMBANKMENTS

- 1. ALL EARTHEN FILLS SHALL BE CLEARED, GRUBBED AND STRIPPED OF ALL VEGETATIVE MATERIAL, TOPSOIL, AND ORGANIC MATTER
- 2. A CUTOFF TRENCH (KEY TRENCH) OF A MINIMUM WIDTH OF FIVE FEET (5'), CENTERED ON THE CENTERLINE OF THE DAM, SHALL BE INCORPORATED. THE CUTOFF TRENCH SHALL EXTEND TO A MINIMUM DEPTH OF TWO FEET (2'), HOWEVER IN ALL CASES IT SHALL
- EXTEND INTO SOILS SUITABLE FOR THE EMBANKMENT FOUNDATION. 3. SOIL MATERIALS USED FOR EARTH FILL WHICH ARE CONSIDERED PERMEABLE OR WHICH EXHIBIT SIGNIFICANT SHRINK/SWELL, SHALL NOT BE USED IN THE EMBANKMENT UNLESS A SPECIFIC DETAILED DESIGN REPORT FROM A GEOTECHNICAL ENGINEER IS SUBMITTED
- AND ACCEPTED AS PART OF THE PLAN APPROVAL.
- 4. ALL EMBANKMENTS SHALL BE METHODICALLY BACK-FILLED WITH HIGHLY IMPERMEABLE MATERIAL AND COMPACTED TO AT LEAST NINETY-FIVE PERCENT (95%) OF STANDARD PROCTOR DENSITY. 5. THE MINIMUM TOP WIDTH OF THE DAM SHALL BE TEN FEET (10') SO UNIMPEDED ACCESS AROUND THE FACILITY CAN BE OBTAINED.
- 6. AN ADDITIONAL FIVE PERCENT (5%) OF THE DESIGN HEIGHT OF AN EARTHEN EMBANKMENT DAM SHALL BE ADDED TO THE TOP OF DAM ELEVATION DURING FILL PLACEMENT TO NEGATE FUTURE SETTLEMENT OF THE EMBANKMENT AND UNDERLYING SOILS. 7. ALL DISTURBED GROUND AREAS AND EMBANKMENTS SURROUNDING THE POND SHALL HAVE PERMANENT GROUND COVER
- ESTABLISHED IN ACCORDANCE WITH DURHAM GUIDELINES PRIOR TO FINAL ACCEPTANCE. SERICEA LESPEDEZA, WEEPING LOVEGRASS AND CROWN VETCH SHALL NOT BE INCORPORATED INTO THE GROUND COVER FOR THE DAM EMBANKMENT, AS THESE TYPES OF VEGETATION ARE DIFFICULT TO MAINTAIN, ENCOURAGE BURROWING ANIMAL HABITATS, AND PREVENT A THOROUGH INSPECTION OF THE DAM EMBANKMENT.
- 8. CONCRETE DAMS AND CONCRETE SPILLWAY STRUCTURES SHALL BE DESIGNED AND BUILT IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE'S (ACI) LATEST GUIDELINES. PARTICULAR ATTENTION SHALL BE PAID TO DESIGN AND ANALYSIS, WATER TIGHTNESS, CONCRETE QUALITY, AND CONSTRUCTION PRACTICES. STRUCTURES SHALL BE DESIGNED AND CONSTRUCTED TO MAINTAIN WATER-TIGHTNESS BY CONTROLLING AND LIMITING CRACKING WITH PROPER JOINT DESIGN AND SPACING.
- 9. THE DAM SAFETY LAW OF 1967 (15A NCAC 02K .0201) REQUIRES ANY PERSON WHO PROPOSES TO CONSTRUCT, ALTER OR REMOVE A DAM TO FILE A STATEMENT WITH THE STATE DAM SAFETY ENGINEER CONCERNING THE LOCATION OF THE DAM, INCLUDING THE NAME OF THE STREAM AND COUNTY, HEIGHT, PURPOSE, AND IMPOUNDMENT CAPACITY, AT LEAST 10 DAYS BEFORE THE START OF CONSTRUCTION. IF THE STATE DETERMINES THAT THE DAM IS NOT EXEMPT FROM THE LAW, ADDITIONAL REQUIREMENTS IN ACCORDANCE WITH THE DAM SAFETY LAW OF 1967 AS AMENDED WILL BE IMPOSED.

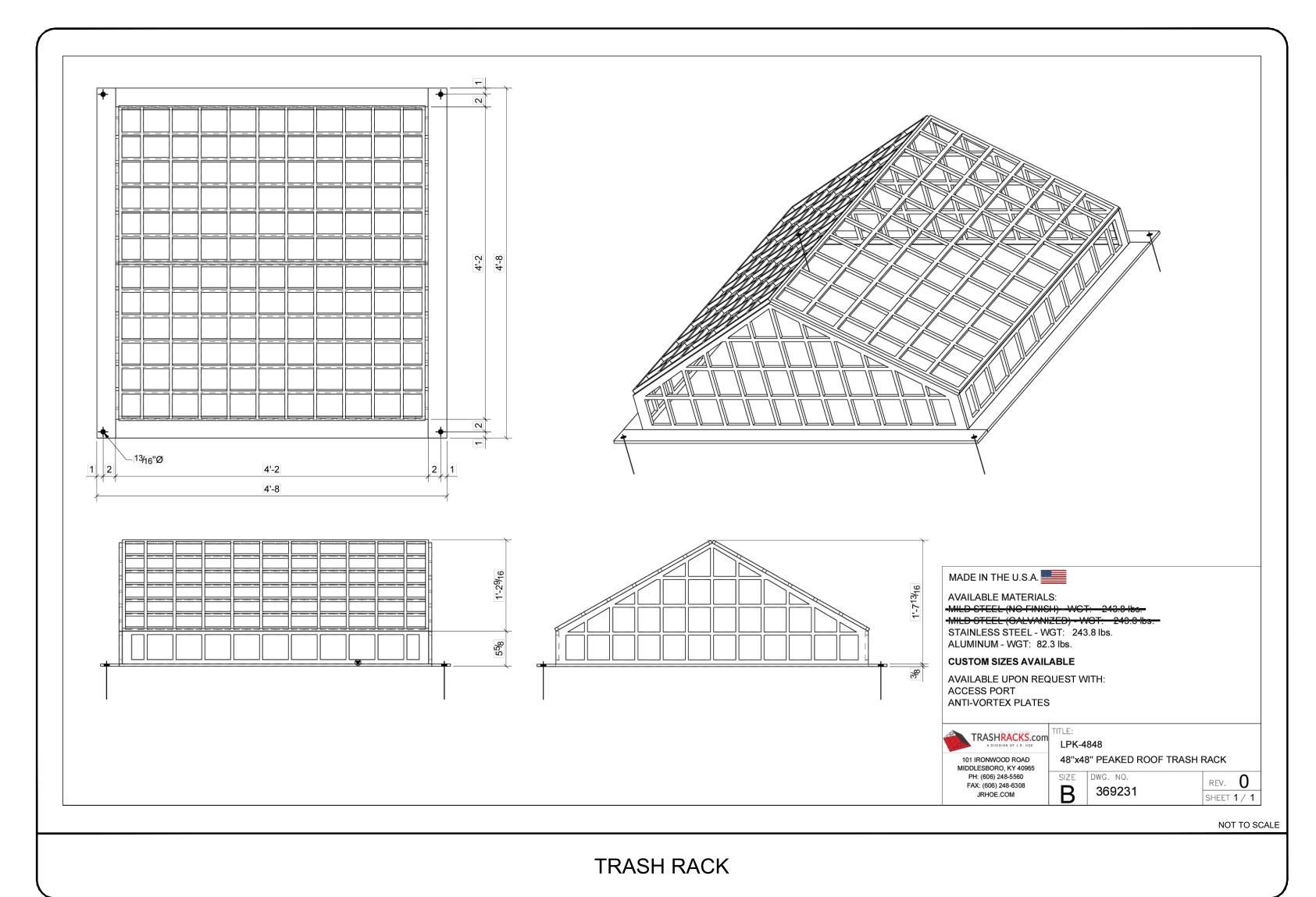
<u>OUTLETS</u>

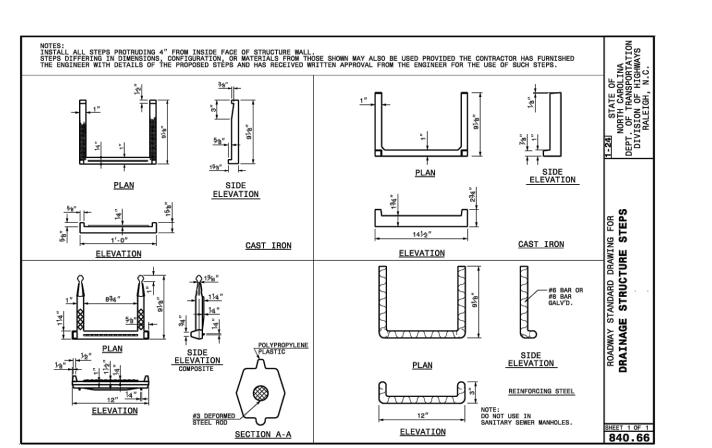
- 10. ALL RISER STRUCTURES, INCLUDING WEIR WALL TYPE STRUCTURES AND FLASHBOARD RISERS, SHALL BE CONSTRUCTED PRINCIPALLY OF REINFORCED CONCRETE. BRICK/CONCRETE BLOCK AND MORTAR TYPE STRUCTURES WILL NOT BE ACCEPTED. THE USE OF BRICK/CONCRETE BLOCK IN SOME ELEMENTS OF A RISER STRUCTURE MAY BE ACCEPTABLE. SUCH PROPOSALS WILL BE
- CONSIDERED ON A CASE-BY-CASE BASIS. 11. ALL RISER STRUCTURES SHALL BE LOCATED SUCH THAT DIRECT ACCESS FROM THE DAM EMBANKMENT CAN BE ACHIEVED. RISER STRUCTURES SITED COMPLETELY WITHIN THE LIMITS OF THE PERMANENT POOL WILL NOT BE ACCEPTABLE; AT LEAST ONE SIDE OF THE RISER SHALL BE ACCESSIBLE BY FOOT DURING PERMANENT POOL CONDITIONS.
- 12. ACCESS SHALL ALWAYS BE PROVIDED TO THE INSIDE AND INVERT OF THE RISER STRUCTURE. THIS CAN BE ACCOMPLISHED BEST WITH THE PROVISION OF A TRASH RACK ACCESS HATCH OR A MANHOLE LID AND THE PROVISION OF STEPS DOWN THE INSIDE FACE OF THE RISER. WHEN THE TOP OF THE RISER IS GREATER THAN FOUR FEET ABOVE THE ADJACENT GROUND SURFACE, STEPS UP THE OUTSIDE FACE OF THE RISER SHALL BE PROVIDED AS WELL.

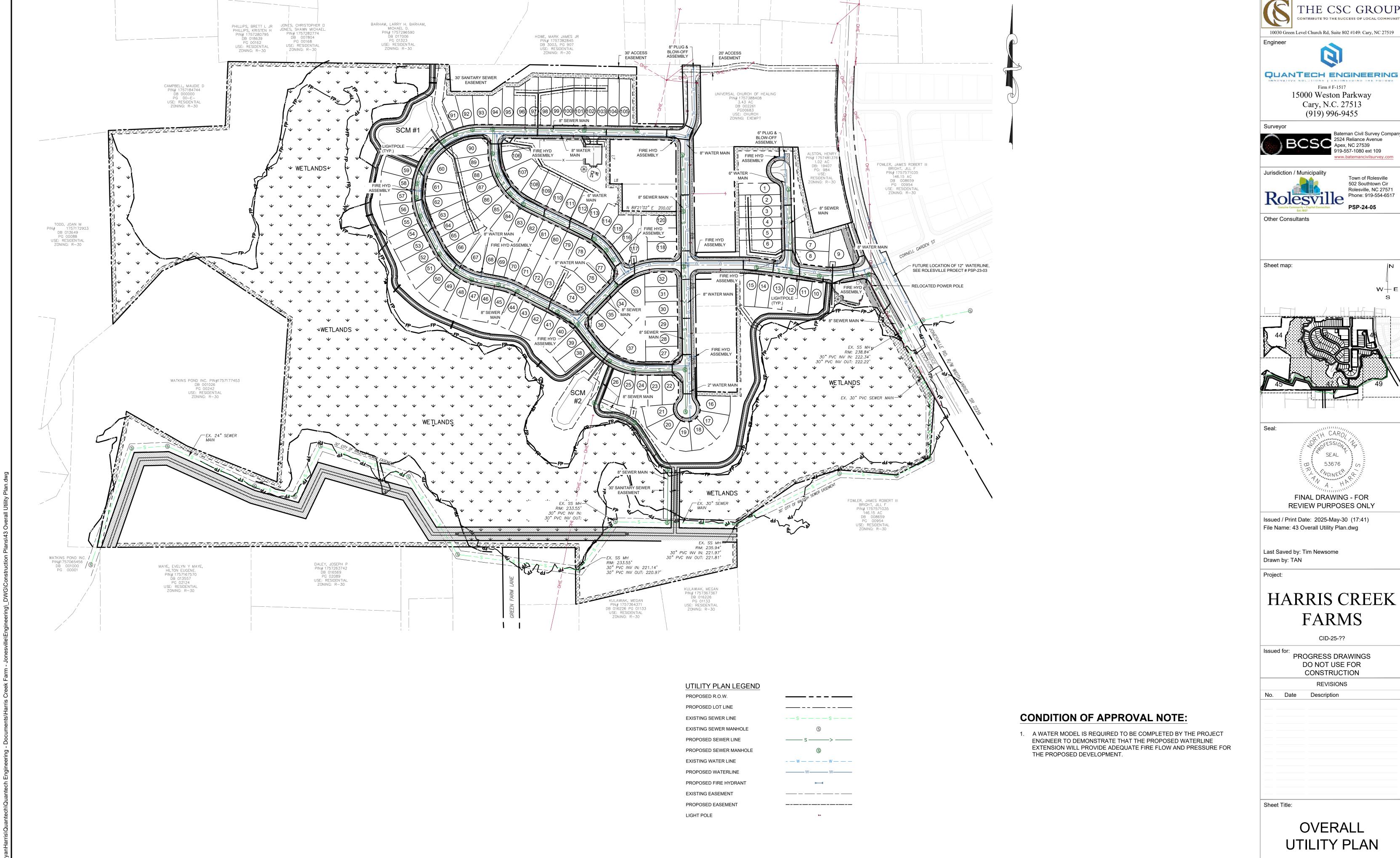
TRASH RACKS

- 13. TOP-MOUNTED (OVERFLOW) TRASH RACKS SHALL BE BOLTED TO THE TOP OF THE STRUCTURE WITH STAINLESS STEEL HARDWARE. MOUNTING THE TRASH RACK TO THE RISER IN SHEAR SHALL BE PROHIBITED.
- 14. ALL RISER TRASH RACKS SHALL HAVE A LOCKING ACCESS HATCH WITH A MINIMUM CLEAR SPACE OPENING OF 2' BY 3' AND AN ACCEPTED DESIGN LIFE OF 75 YEARS.
- 15.INSTALL A DEVICE TO HOLD THE TRASH RACK ACCESS HATCH IN THE OPEN POSITION SUCH THAT IT DOES NOT CAUSE BREAKAGE OR OTHER DAMAGE.

- 16. STEPS IN THE RISER SHALL LINE UP WITH THE REQUIRED TRASH RACK ACCESS HATCH. THE ACCESS HATCH SHALL BE A MINIMUM OF 2' BY 3' IN SIZE. NO OTHER INTERNAL STRAPS OR PARTS OF THE RISER AND/OR TRASH RACK WILL INHIBIT ACCESS TO THE RISER WHEN USING THE TRASH RACK ACCESS HATCH.
- 17.PROVIDE STEPS OUTSIDE THE RISER AS NEEDED TO PROVIDE ACCESS.







N.C. UNDERGROUND UTILITIES

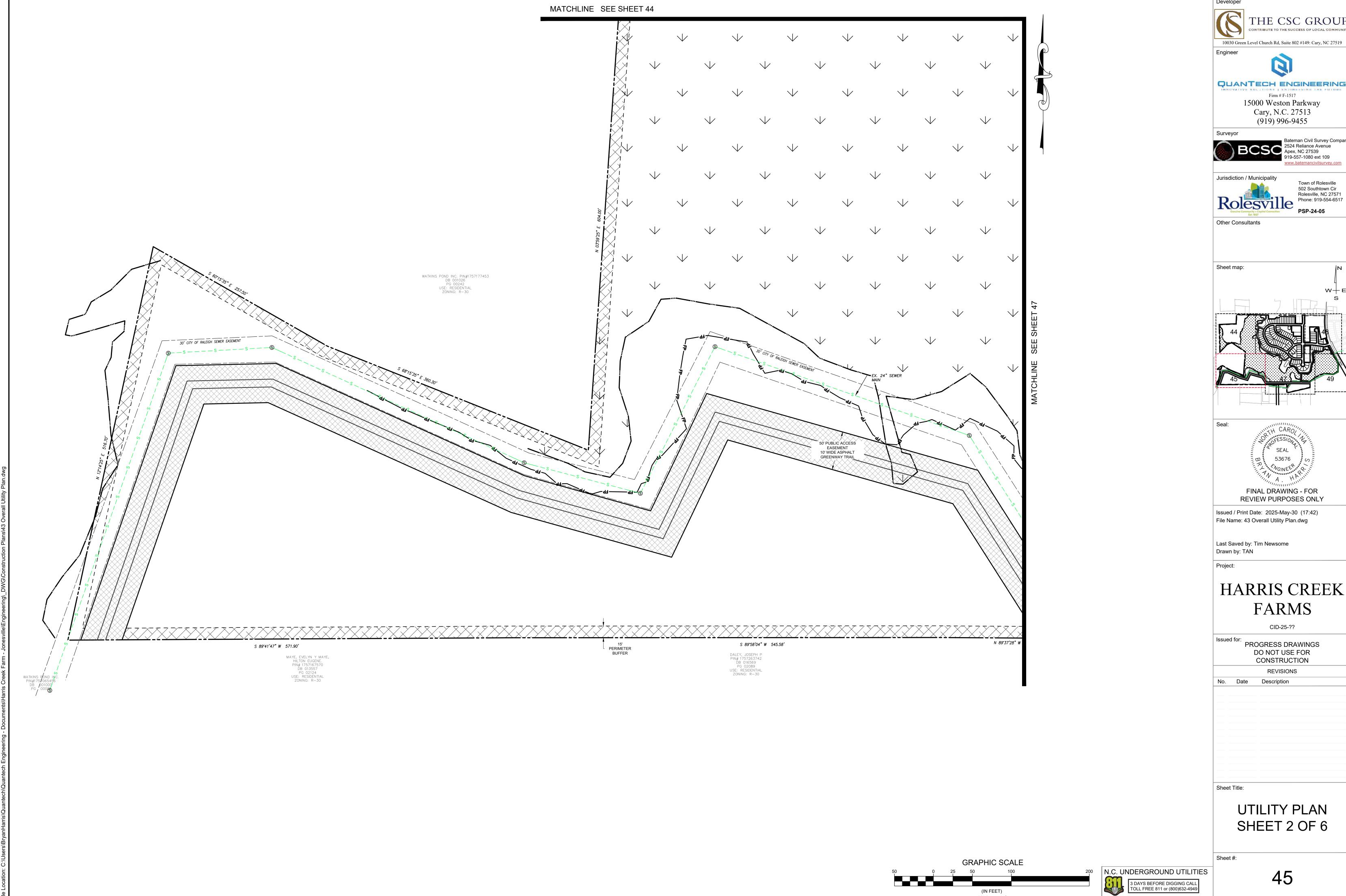
3 DAYS BEFORE DIGGING CALL
TOLL FREE 811 or (800)632-4949

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

GRAPHIC SCALE

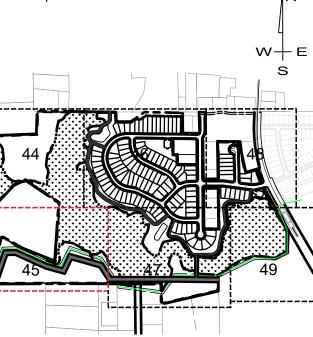
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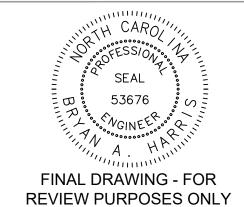




10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519 QUANTECH ENGINEERING 15000 Weston Parkway Cary, N.C. 27513



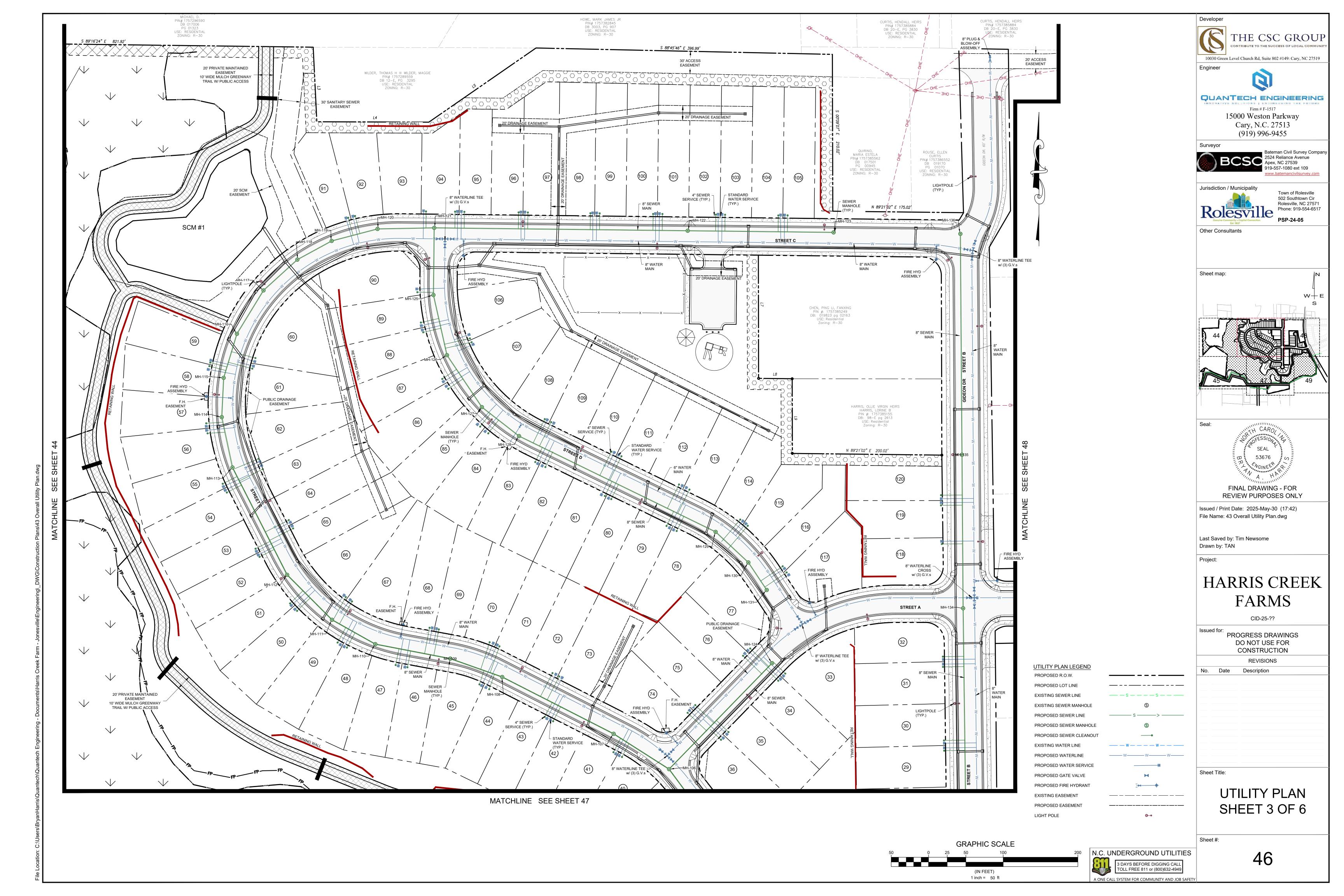


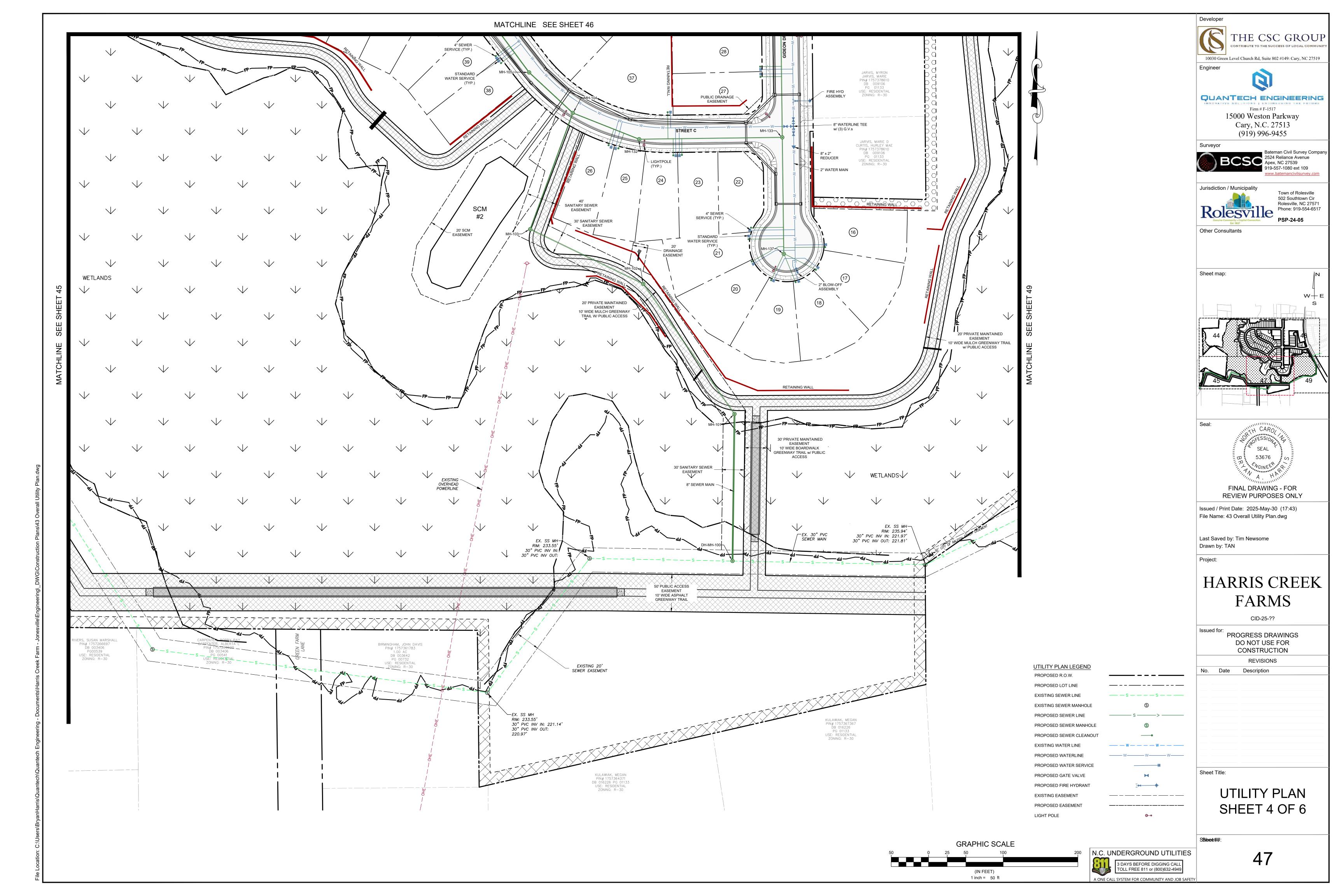


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HARRIS CREEK

SHEET 2 OF 6









Cary, N.C. 27513 (919) 996-9455

Surveyor



Jurisdiction / Municipality

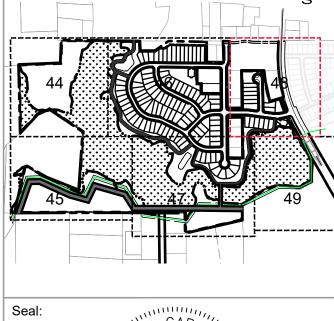
Rolesville

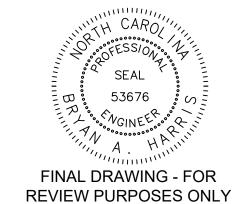
Town of Rolesville
502 Southtown Cir
Rolesville, NC 27571
Phone: 919-554-6517

PSP-24-05

Other Consultants

et map:





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Project

HARRIS CREEK FARMS

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No. Date Description

Sheet Title:

UTILITY PLAN SHEET 5 OF 6

Sheet #:

48

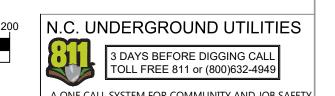
UTILITY PLAN LEGEND PROPOSED R.O.W. PROPOSED LOT LINE **EXISTING SEWER LINE** EXISTING SEWER MANHOLE PROPOSED SEWER LINE PROPOSED SEWER MANHOLE PROPOSED SEWER CLEANOUT EXISTING WATER LINE ---- --- --- ---PROPOSED WATERLINE PROPOSED WATER SERVICE PROPOSED GATE VALVE PROPOSED FIRE HYDRANT EXISTING EASEMENT ______ PROPOSED EASEMENT

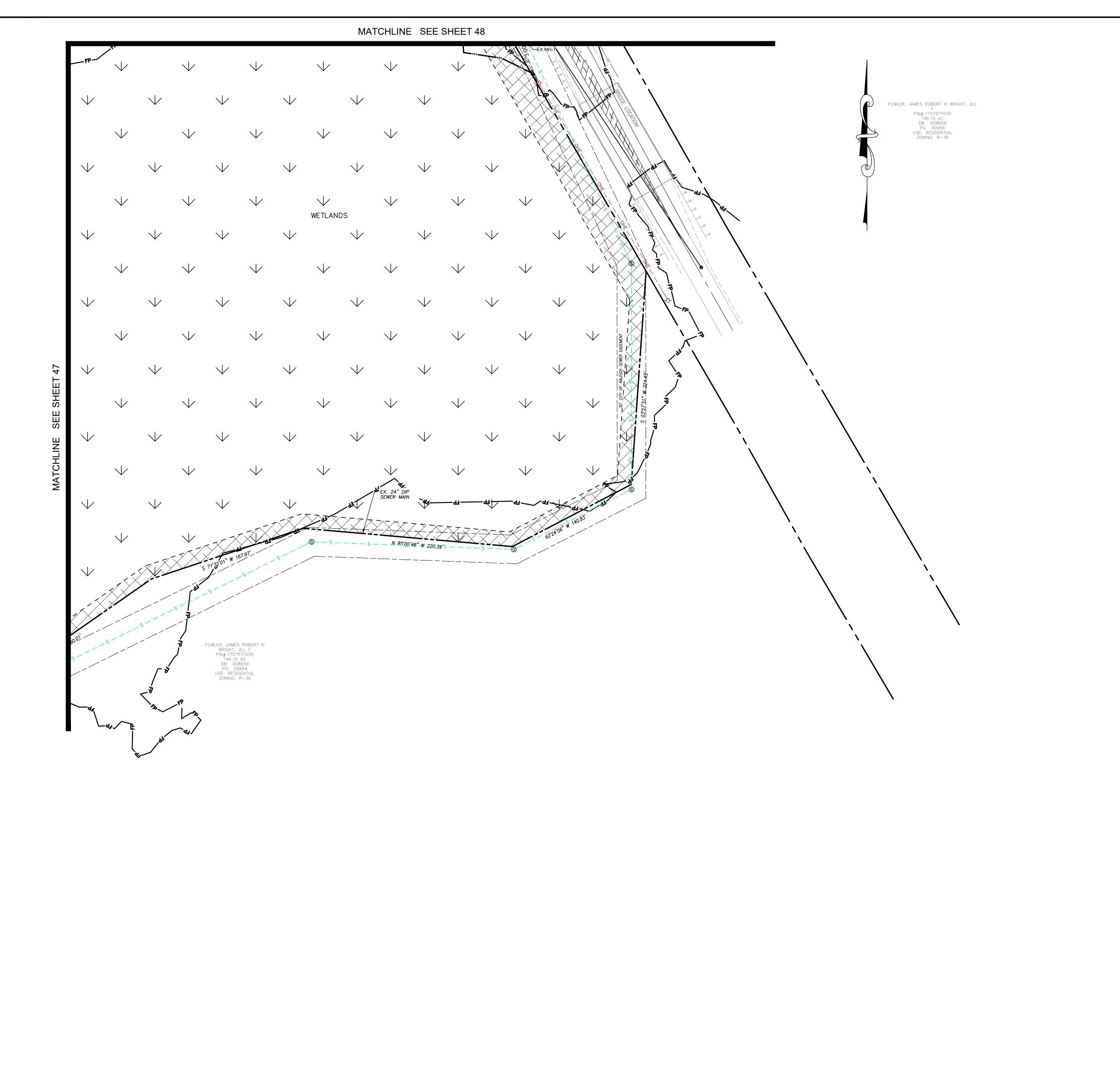
GRAPHIC SCALE

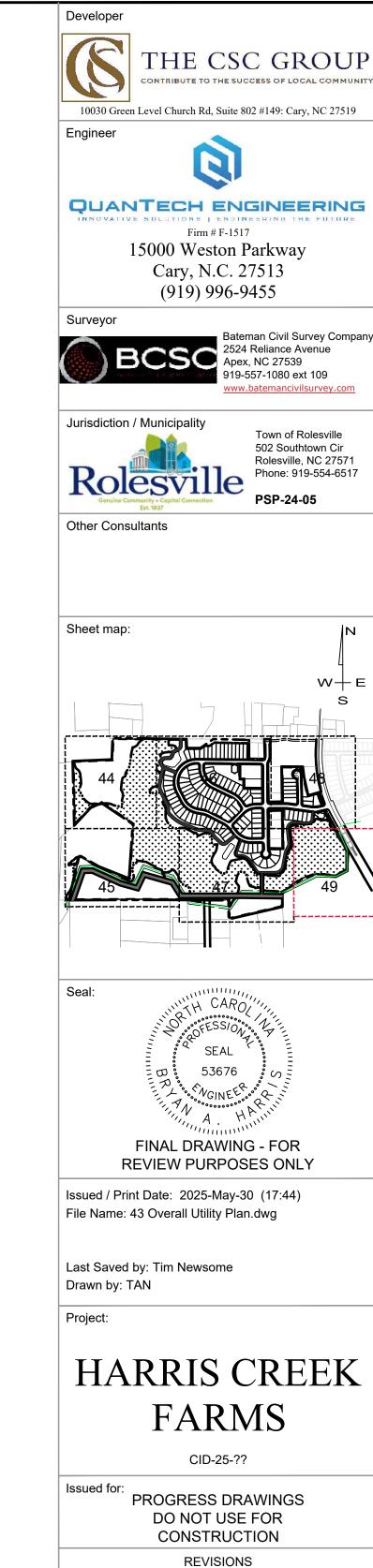
0 25 50 100 200

(IN FEET)
1 inch = 50 ft

LIGHT POLE







HARRIS CREEK **FARMS**

Town of Rolesville 502 Southtown Cir Rolesville, NC 27571 Phone: 919-554-6517

CID-25-??

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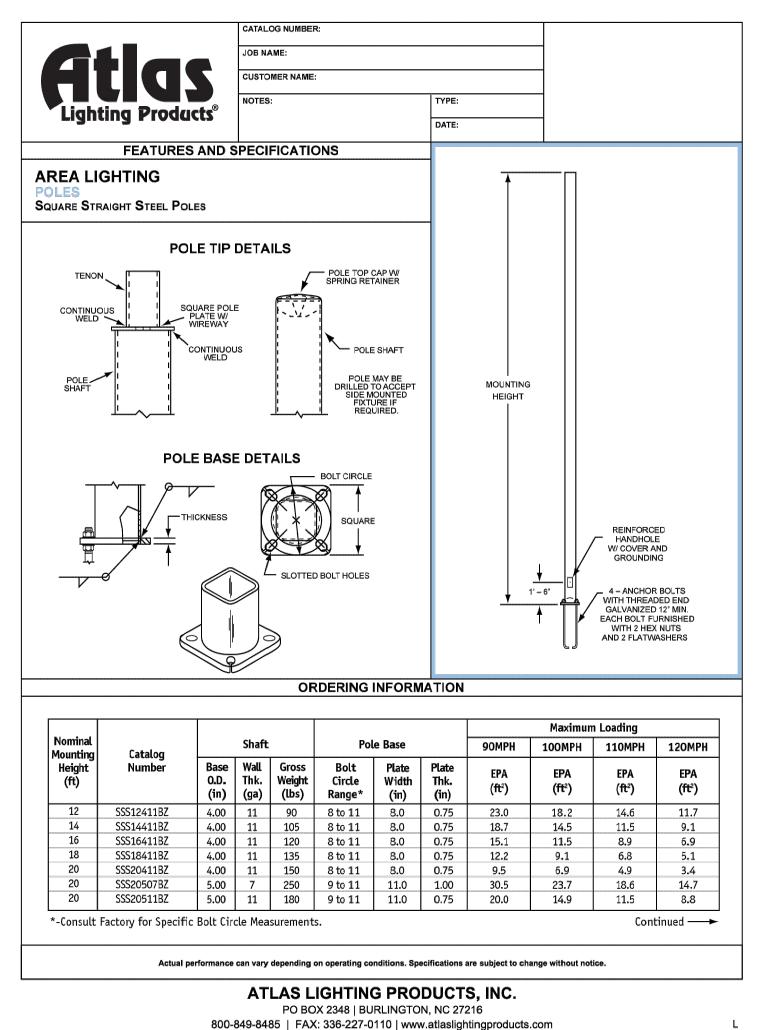
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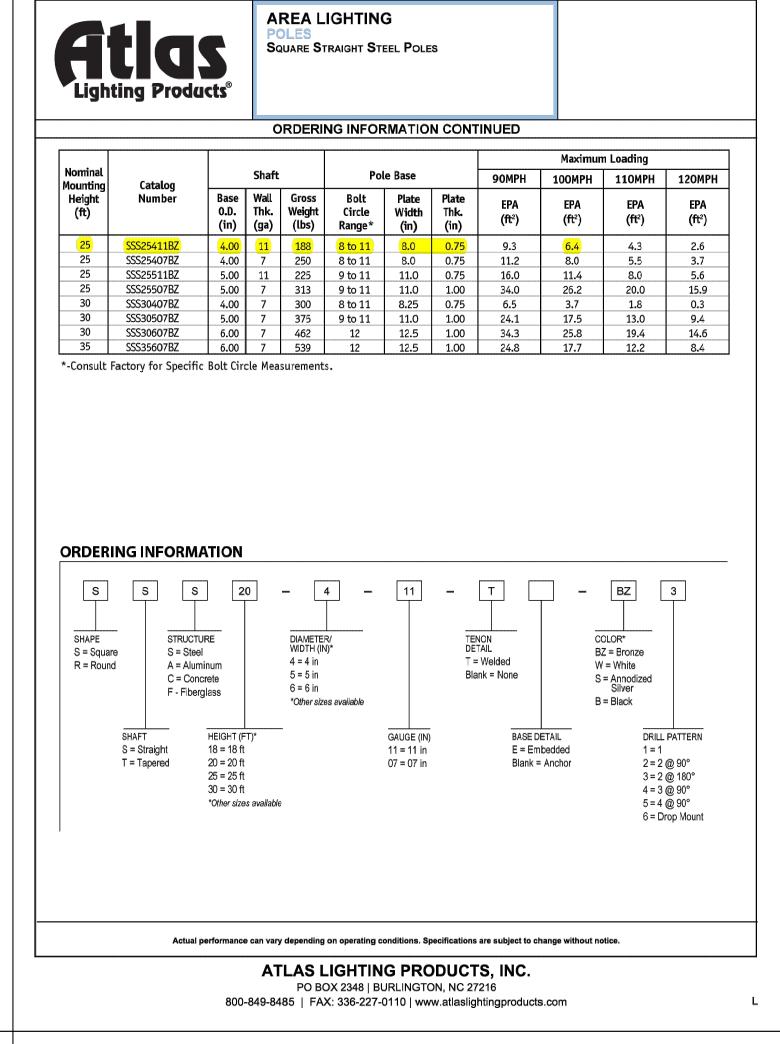
UTILITY PLAN SHEET 6 OF 6

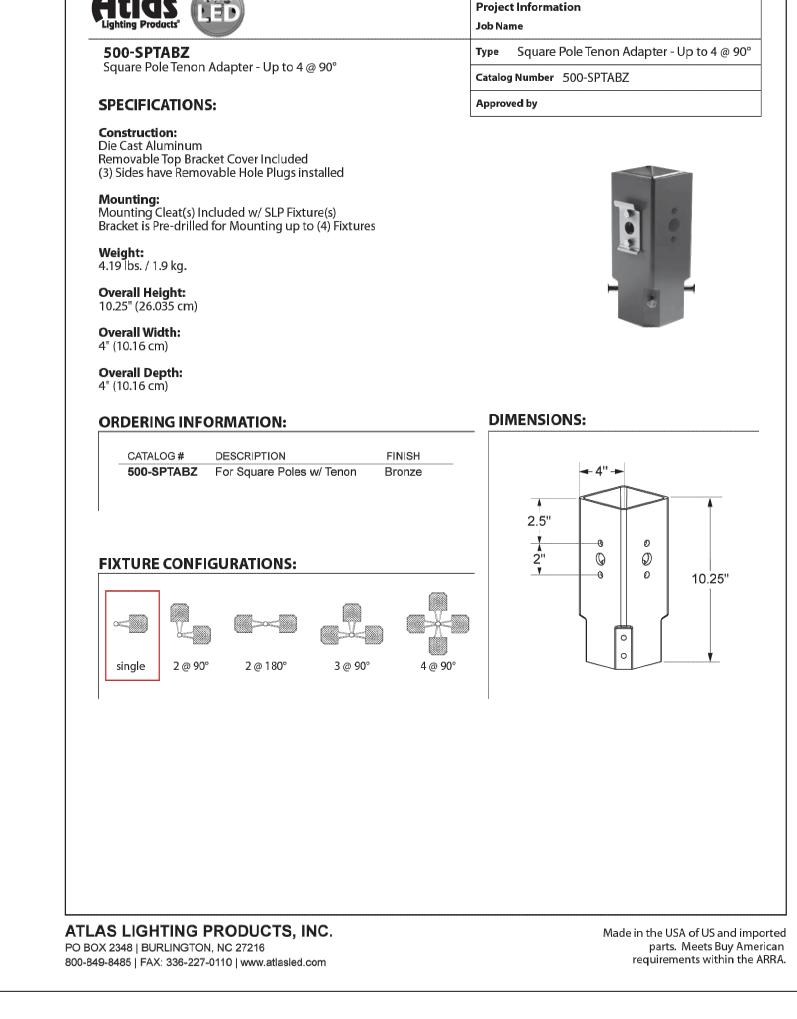
49

GRAPHIC SCALE

N.C. UNDERGROUND UTILITIES 3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949









¹LED Life Span Based Upon LM-80 Test Results

ATLAS LIGHTING PRODUCTS, INC.

800-849-8485 | FAX: 336-227-0110 | www.atlasled.com

PO BOX 2348 | BURLINGTON, NC 27216

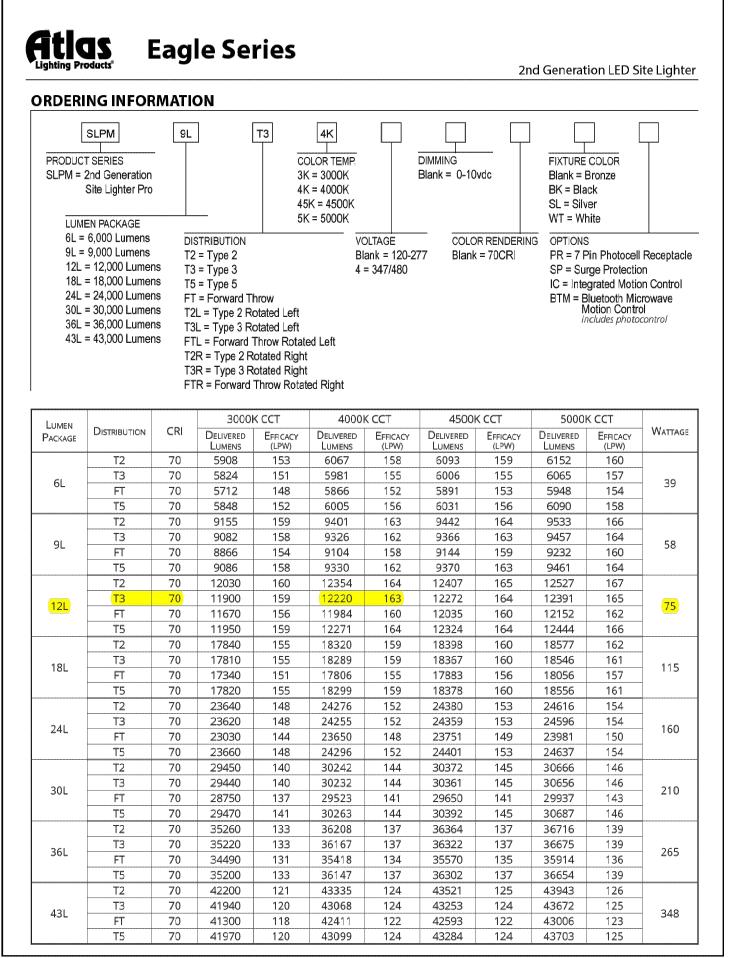
Rebates and Incentives are available in many areas.

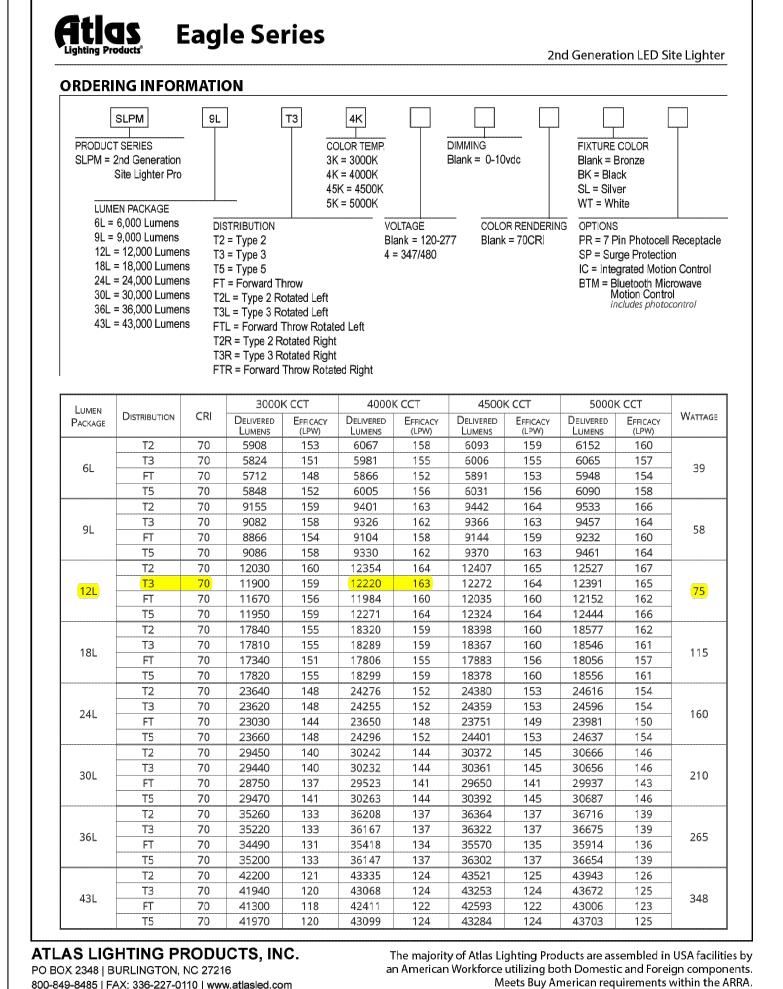
Meets Buy American requirements within the ARRA.

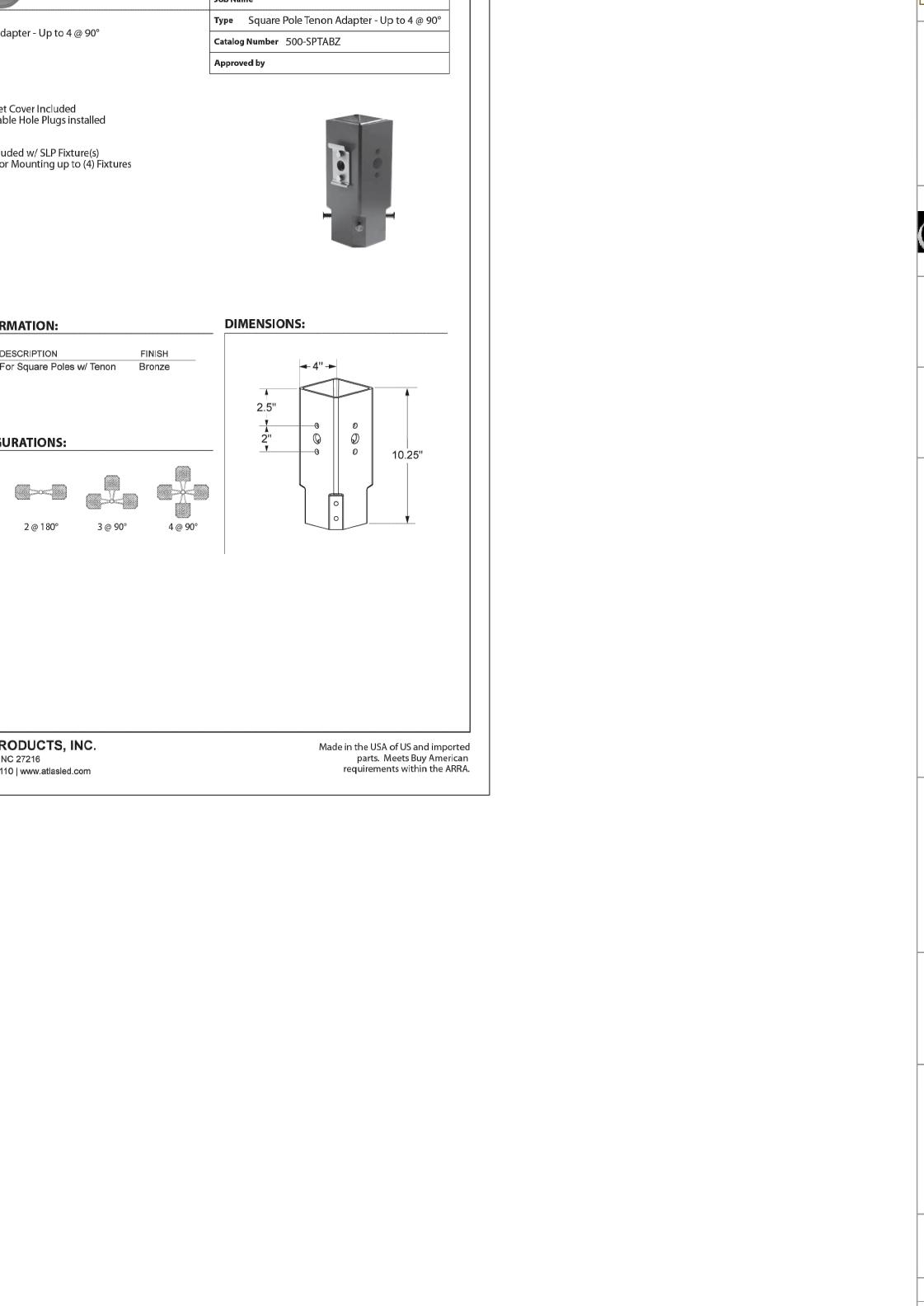
Contact an Atlas Representative for more information.

*The majority of Atlas Lighting Products are assembled in USA facilities by

an American Workforce utilizing both Domestic and Foreign components.







GRAPHIC SCALE (IN FEET) 1 inch = 50 ft

N.C. UNDERGROUND UTILITIES 3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFET

THE CSC GROUP CONTRIBUTE TO THE SUCCESS OF LOCAL COMMU 10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519 Engineer

QUANTECH ENGINEERING 15000 Weston Parkway Cary, N.C. 27513

Developer



(919) 996-9455

Jurisdiction / Municipality

Other Consultants

Sheet map:



Town of Rolesville

502 Southtown Cir Rolesville, NC 27571

Phone: 919-554-6517

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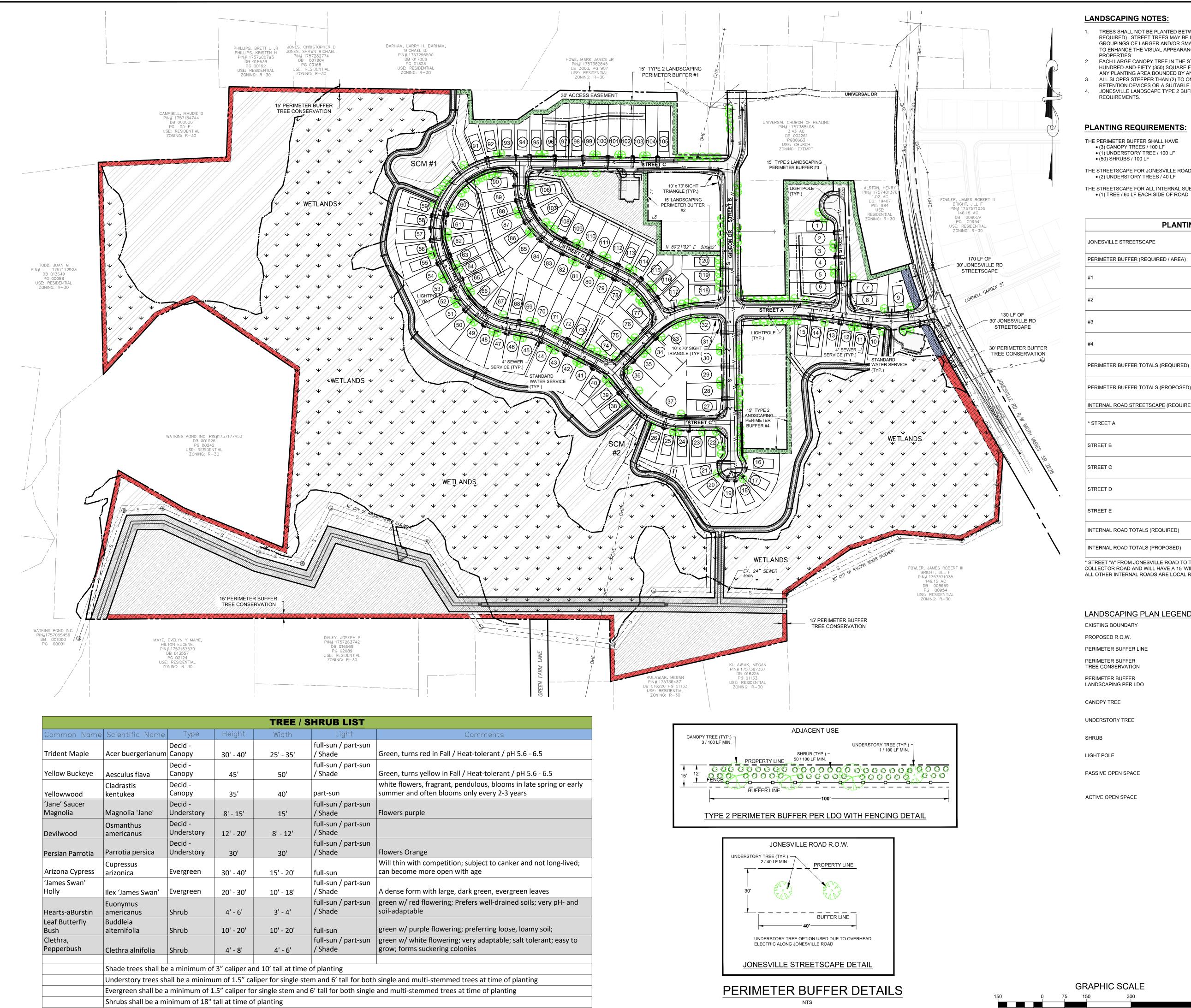
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Sheet Title:

UTILITY **DETAILS**

Sheet #:



- TREES SHALL NOT BE PLANTED BETWEEN THE CURB AND SIDEWALK (A GRASS STRIP IS REQUIRED). STREET TREES MAY BE INSTALLED IN A LINEAR FASHION OR IN CLUSTERS OR GROUPINGS OF LARGER AND/OR SMALL TREES IN COMBINATION WITH ASSOCIATED PLANTINGS TO ENHANCE THE VISUAL APPEARANCE OF THE STREETSCAPE AND VIEWS FROM THE ADJACENT
 - EACH LARGE CANOPY TREE IN THE STREETSCAPE SHALL BE PROVIDED WITH AT LEAST THREE HUNDRED-AND-FIFTY (350) SQUARE FEET OF PERVIOUS GROUND AREA FOR ROOT GROWTH.
 - ANY PLANTING AREA BOUNDED BY AN IMPERVIOUS SURFACE SHALL BE AT LEAST 10 FEET WIDE. ALL SLOPES STEEPER THAN (2) TO ONE (1) SHALL BE STABILIZED WITH PERMANENT SLOPE RETENTION DEVICES OR A SUITABLE COMBINATION OF PLANTINGS AND RETENTION DEVICES.
 - JONESVILLE LANDSCAPE TYPE 2 BUFFER WILL COUNT TOWARDS THE STREETSCAPE

PLANTING REQUIREMENTS:

- THE PERIMETER BUFFER SHALL HAVE • (3) CANOPY TREES / 100 LF • (1) UNDERSTORY TREE / 100 LF
- THE STREETSCAPE FOR JONESVILLE ROAD SHALL HAVE
- THE STREETSCAPE FOR ALL INTERNAL SUBDIVISION ROADS SHALL HAVE

PLANTING	CALCULATIONS
JONESVILLE STREETSCAPE	300 LF / 40 = 7.5 x (2) = 15 UNDERSTORY TREES
PERIMETER BUFFER (REQUIRED / AREA)	
#1	1,170 LF / 100 = 11.7 x (3) = 36 CANOPY TREES 1,170 LF / 100 = 11.7 x (1) = 12 UNDERSTORY TREE 1,170 LF / 100 = 11.7 x (50) = 585 SHRUBS
#2	560 LF / 100 = 5.6 x (3) = 17 CANOPY TREES 560 LF / 100 = 5.6 x (1) = 6 UNDERSTORY TREES 560 LF / 100 = 5.6 x (50) = 280 SHRUBS
#3	1,220 LF / 100 = 12.2 x (3) = 37 CANOPY TREES 1,220 LF / 100 = 12.2 x (1) = 13 UNDERSTORY TREE 1,220 LF / 100 = 12.2 x (50) = 610 SHRUBS
#4	830 LF / 100 = 8.3 x (3) = 25 CANOPY TREES 830 LF / 100 = 8.3 x (1) = 9 UNDERSTORY TREES 830 LF / 100 = 8.3 x (50) = 415 SHRUBS
PERIMETER BUFFER TOTALS (REQUIRED)	115 CANOPY TREES 40 UNDERSTORY TREES 1,890 SHRUBS
PERIMETER BUFFER TOTALS (PROPOSED)	115 CANOPY TREES 40 UNDERSTORY TREES 1,890 SHRUBS
INTERNAL ROAD STREETSCAPE (REQUIRED /	STREET)
* STREET A	1,125 LF / 60 = 18.75 x (1) = 19 19 / SIDE = 38 CANOPY TREES (OR 76 UNDERSTORY TREES)
STREET B	1,245 LF / 60 = 20.75 x (1) = 21 21 / SIDE = 42 CANOPY TREES (OR 84 UNDERSTORY TREES)
STREET C	2,360 LF / 60 = 39.33 x (1) = 40 40 / SIDE = 80 CANOPY TREES (OR 160 UNDERSTORY TREES)
STREET D	705 LF / 60 = 11.75 x (1) = 12 12 / SIDE = 24 CANOPY TREES (OR 48 UNDERSTORY TREES)
STREET E	370 LF / 60 = 6.17 x (1) = 7 7 / SIDE = 14 CANOPY TREES (OR 28 UNDERSTORY TREES)
INTERNAL ROAD TOTALS (REQUIRED)	198 TREES

* STREET "A" FROM JONESVILLE ROAD TO THE INTERSECTION OF STREET "B" (GIDEON DR.) IS A COLLECTOR ROAD AND WILL HAVE A 15' WIDE STREETSCAPE. THE REMAINDER OF STREET "A" AND ALL OTHER INTERNAL ROADS ARE LOCAL ROADS AND WILL HAVE A 10' WIDE STREETSCAPE.

LANDSCAPING PLAN LEGEND

(IN FEET) 1 inch = 150 ft

PERIMETER BUFFER LINE

> N.C. UNDERGROUND UTILITIES 3 DAYS BEFORE DIGGING CALL TOLL FREE 811 or (800)632-4949 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFET

Developer THE CSC GROUP CONTRIBUTE TO THE SUCCESS OF LOCAL COMMUN 10030 Green Level Church Rd, Suite 802 #149: Cary, NC 27519

QUANTECH ENGINEERING Firm # F-1517

> 15000 Weston Parkway Cary, N.C. 27513 (919) 996-9455

Bateman Civil Survey Compan

2524 Reliance Avenue Apex, NC 27539 19-557-1080 ext 109

Jurisdiction / Municipality Town of Rolesville 502 Southtown Cir Rolesville, NC 27571 Phone: 919-554-6517

Other Consultants

Sheet map:

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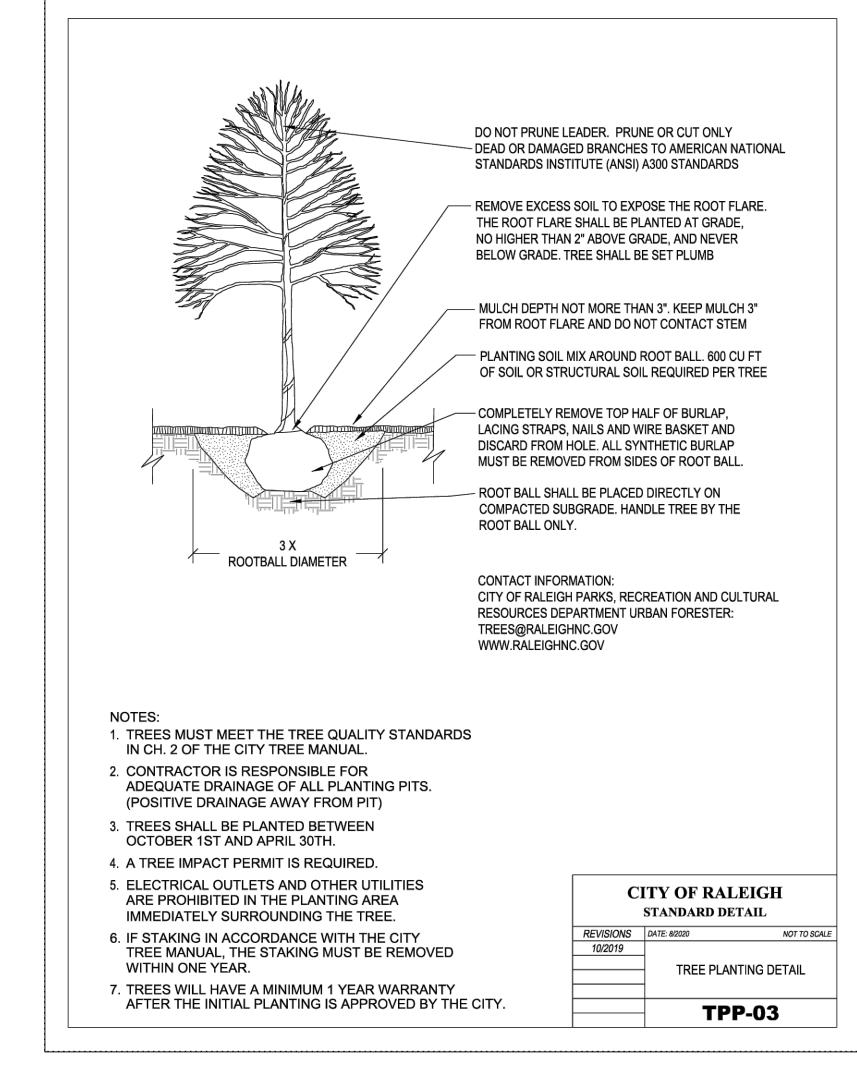
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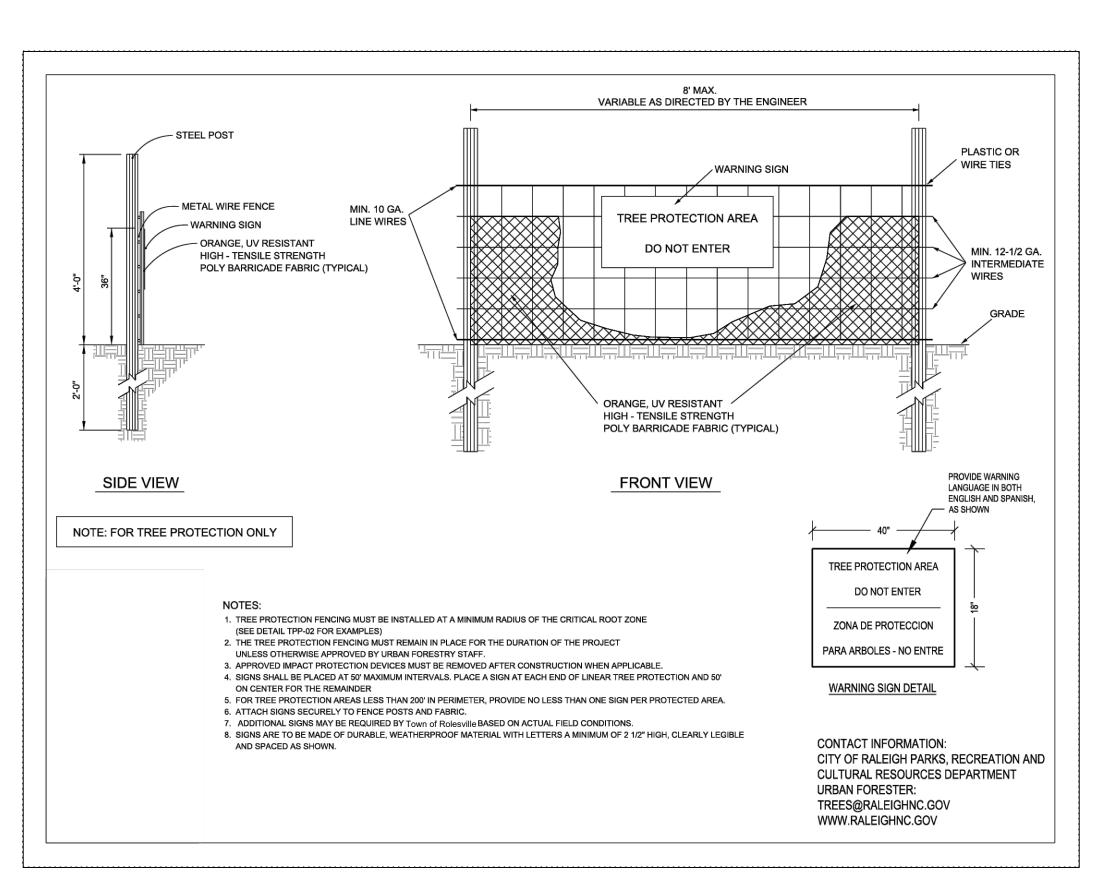
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REVISIONS No. Date Description

OVERALL LANDSCAPING **PLAN**

51

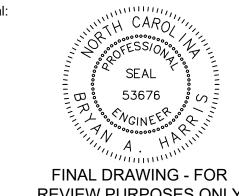




GRAPHIC SCALE

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HARRIS CREEK **FARMS**

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LANDSCAPING **DETAILS**

N.C. UNDERGROUND UTILITIES

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