

# Comments on #PSP-25-0002 - Planning & Zoning: Preliminary Subdivision Plat

Application Number: #PSP-25-0002  
Application Type: Preliminary Subdivision Plat  
Date: November 13, 2025  
Address: 6521 Mitchell Mill Road



## THIS DOCUMENT IS NOT YOUR PERMIT.

The Rolesville Planning Department has reviewed your application for a Preliminary Subdivision Plat Application and has responded with a set of comments that require your attention. These comments must be addressed in full before an approval will be issued.

Reviewing this document on GovWell, our online portal, will allow you to view interactive markups on the document. If you are viewing this as a PDF or offline, a list of all comments will be provided below in this cover sheet. These comments must be acknowledged before a permit is issued.

After you have addressed all comments, please upload corrected versions of the plans by clicking [here](#) or by visiting <https://app.govwell.com/record/4b4157b6-0d72-4b39-90c1-481f929109a2>.

## Contacts

**Eddie Henderson**  
Parks & Recreation

ehenderson@rolesvillenc.gov

Updates Requested

**Elizabeth Powell**  
Wake County Watershed Mgmt

elizabeth.powell@wake.gov

Approved

**Jacob Butler**  
Interim Fire Chief

jbutler@rolesvillenc.gov

Approved

**Jacqueline Thompson**  
On-Call Civil Engineer

jacqueline.thompson@bolton-menk.com

Updates Requested

**Joshua Zhang**

NC DOT

jpzhang@ncdot.gov

Updates Requested

**Meredith Gruber**

Senior Planner

mgruber@rolesvillenc.gov

Updates Requested

**Michael Elabarger**

Interim Planning Director

melabarger@rolesvillenc.gov

Updates Requested

**Michele Raby**

Planner II

mraby@rolesvillenc.gov

Updates Requested

**Stephen Wolf**

Wake County Deputy Fire Marshal

stephen.wolf@wake.gov

Updates Requested

**Tanner Hayslette**

Planner II

thayslette@rolesvillenc.gov

Updates Requested

**Tim Beasley**

City of Raleigh - Public Utilities

timothy.beasley@raleighnc.gov

Updates Requested

**Brittany Lingle**

Wake County Deputy Fire Marshal

brittany.lingle@wake.gov

Updates Requested

## Comments

1



Jacqueline Thompson  
On-Call Civil Engineer

Update submittal (PSP-25-0002)

Page 1 • October 23, 2025, 8:52am

2



Michele Raby  
Planner II

1. Add ANX-25-01 with approval date to the previous entitlement table.
2. Change Site Data under Jurisdiction from ETJ.

Page 1 • October 21, 2025, 8:05am

3



Michael Elabarger  
Interim Planning Director

this is being referred to as both PSP-25-04 and PSP-25-0002 (GovWell) please add both.

Page 1 • November 6, 2025, 5:38pm

4



Elizabeth Powell  
Wake County Watershed Mgmt

No comments from Wake County at this time. Wake County will make comments when Construction Drawings are submitted to our portal (SEC/SWF permits).

Page 1 • October 23, 2025, 10:07am

5



Jacqueline Thompson  
On-Call Civil Engineer

Please include the watershed the project is located within.

Page 1 • October 23, 2025, 8:53am

6



Joshua Zhang  
NC DOT

NCDOT Driveway Permit/Encroachment Approvals Needed

Page 1 • October 17, 2025, 3:06pm

7



Jacqueline Thompson  
On-Call Civil Engineer

Please update the required parking

Page 1 • October 23, 2025, 9:02am

8



Michael Elabarger  
Interim Planning Director

Contact GIS/911 to start street naming and address attainment - ideally those are all on the PSP, allowing that info to flow swiftly onto CID and FSP w/o a further thought.

Page 1 • November 6, 2025, 5:39pm

9



Jacqueline Thompson  
On-Call Civil Engineer

Update submittal number on the title block for all sheets

Page 2 • October 23, 2025, 9:04am

10



Meredith Gruber  
Senior Planner

Checklist Site Layout Sheets item 24: Will there be a proposed easement for a monument sign or ground sign? (Repeat for other entrance into Rolesville Estates.)

Page 7 • November 5, 2025, 6:50am

11  Stephen Wolf  
Wake County Deputy Fire Marshal

**\*\* Please provide cul-de-sac detail**

Page 7 • November 13, 2025, 8:42am

12  Meredith Gruber  
Senior Planner

**Checklist Site Layout Sheets items 4 & 5: label open space lots and provide active/passive calculations; label amenity center area(s).**

Page 7 • November 5, 2025, 6:48am

13  Jacqueline Thompson  
On-Call Civil Engineer

**Please include a typical section for the greenway - See the Town's Standards Manual for Town requirements**

Page 7 • October 23, 2025, 9:05am

14  Jacqueline Thompson  
On-Call Civil Engineer

**Please include sight triangles**

Page 8 • October 23, 2025, 9:07am

15  Eddie Henderson  
Parks & Recreation

**Revise to show bike line per the Town's 2022 Bike plan: [https://www.rolesvillenc.gov/sites/default/files/uploads/rolesville\\_bikeplan\\_final\\_appendices\\_august2022.pdf](https://www.rolesvillenc.gov/sites/default/files/uploads/rolesville_bikeplan_final_appendices_august2022.pdf)**

Page 8 • October 28, 2025, 11:52am

16  Jacqueline Thompson  
On-Call Civil Engineer

**While we recognize the typical section shows dimensions, please also label sidewalk widths and materials on the site plan. EX) 5' CONCRETE WALK**

Page 8 • October 23, 2025, 9:10am

17  Jacqueline Thompson  
On-Call Civil Engineer

**On all streets, please label ROW as public vs. private.**

Page 8 • October 23, 2025, 9:24am

18



Jacqueline Thompson  
On-Call Civil Engineer

Please label cul-de-sac dimensions, including ROW dimension

Page 8 • October 23, 2025, 9:08am

19



Jacqueline Thompson  
On-Call Civil Engineer

While we recognize the typical section shows the curb style, please label the curb style on the site plan. As a reminder, for local residential streets, standard valley curb is required due to the driveways and reducing the "cuts"; residential collector streets should have standard raised curb. See the Town's Standards Manual for reference.

Page 8 • October 23, 2025, 9:14am

20



Jacqueline Thompson  
On-Call Civil Engineer

Street centerlines should include bearing and distance information, including curve radii; minimum centerline radii are defined by NCDOT Terrain Classifications per the Subdivision Road Minimum Construction Standards.

Page 8 • October 24, 2025, 2:44pm

21



Jacqueline Thompson  
On-Call Civil Engineer

Label curb radii. Radii must meet fire requirements.

Page 8 • October 23, 2025, 9:16am

22



Jacqueline Thompson  
On-Call Civil Engineer

Label the greenway dimensions and material.

Page 8 • October 23, 2025, 9:10am

23



Eddie Henderson  
Parks & Recreation

The original parkland location was not in this area and was not wetlands. Confirm if the proposed parkland is all wetlands as the Town has interest to build a pocket park. Is the active open space also included in this parkland?

Page 10 • October 28, 2025, 11:45am

24



Tanner Hayslette  
Planner II

In the Rezoning Conditions, Condition 7 says that the Parkland Dedication shall be addressed at the PSP stage, not CD's. Please narrow down to a more exact location of the parkland.

Page 10 • October 28, 2025, 11:45am

25



Eddie Henderson  
Parks & Recreation

Revise to show bike line per the Town's 2022 Bike plan: [https://www.rolesvillenc.gov/sites/default/files/uploads/rolesville\\_bikeplan\\_final\\_appendices\\_august2022.pdf](https://www.rolesvillenc.gov/sites/default/files/uploads/rolesville_bikeplan_final_appendices_august2022.pdf)

Page 11 • October 28, 2025, 11:52am

26



Meredith Gruber  
Senior Planner

Checklist Preservation Plan items 1, 3, 5, 6, & 8-12: Complete Tree Survey and Vegetation Preservation Plan as per PSP checklist. Include Critical Root Zone compliance.

Page 12 • November 5, 2025, 6:53am

27



Tim Beasley  
City of Raleigh - Public Utilities

You will also need a FH at this intersection with Fowler Rd.

Page 13 • October 30, 2025, 2:18pm

28



Tim Beasley  
City of Raleigh - Public Utilities

Again this would need a tee with 3 gate valves.

Page 13 • October 30, 2025, 2:13pm

29



Tim Beasley  
City of Raleigh - Public Utilities

The waterline must be extended along the Fowler Rd frontage of the dev and end with BOAs.

Page 13 • October 30, 2025, 2:13pm

30



Tim Beasley  
City of Raleigh - Public Utilities

Please submit all future submittals through Raleigh's Permit and Development Portal.

Page 13 • October 30, 2025, 2:18pm

31



Tim Beasley  
City of Raleigh - Public Utilities

Sanitary sewer must be extended to the upstream adjacent parcels.

Page 13 • October 30, 2025, 2:14pm

32



Tim Beasley  
City of Raleigh - Public Utilities

Prior to CD approval, the project engineer must evaluate the sewer capacity within the Rolesville Crossing PS considering this dev's flow, Rolesville Crossing and Broadmoor to assure there is adequate capacity within the PS.

Page 13 • October 30, 2025, 2:16pm

33



Tim Beasley  
City of Raleigh - Public Utilities

Please include the Raleigh Water standard utility notes.

Page 13 • October 30, 2025, 2:13pm

34



Tim Beasley  
City of Raleigh - Public Utilities

Please show full water and sewer extensions.

Page 13 • October 30, 2025, 1:52pm

35



Tim Beasley  
City of Raleigh - Public Utilities

This intersection would need a tee with 3 gate valves.

Page 13 • October 30, 2025, 2:12pm

36



Tim Beasley  
City of Raleigh - Public Utilities

The waterline would need to be a minimum of 8".

Page 13 • October 30, 2025, 2:11pm

37



Tim Beasley  
City of Raleigh - Public Utilities

Water must be extended along the dev frontage of Mitchell Mill Rd and end with a blow off assembly.

Page 13 • October 30, 2025, 2:12pm

38



Joshua Zhang  
NC DOT

Lot 31 needs to have its driveway located as far south as possible to maximize the internally protected stem

Page 14 • October 17, 2025, 3:10pm

39



Jacqueline Thompson  
On-Call Civil Engineer

Ensure minimum separation is being provided between sanitary and storm.

Page 14 • October 23, 2025, 9:20am

40



Jacqueline Thompson  
On-Call Civil Engineer

Ensure minimum requirements are being provided between storm and water (hydrant).

Page 15 • October 23, 2025, 9:21am

41



Eddie Henderson  
Parks & Recreation

Depending on location of the parkland this greenway and easement should be labeled as private

Page 16 • October 28, 2025, 11:57am

42



Jacqueline Thompson  
On-Call Civil Engineer

Consider shifting catch basin to allow for the pedestrian ramp to be constructed and the curb transition to occur without conflict.

Page 17 • October 23, 2025, 9:26am

43



Meredith Gruber  
Senior Planner

Checklist Grading item 5: Label existing areas of vegetation.

Page 18 • November 5, 2025, 6:58am

44



Jacqueline Thompson  
On-Call Civil Engineer

Grading will be finalized during CID review, but please ensure the entire site (including sidewalk and greenways) are considering ADA compliance.

Page 19 • October 23, 2025, 9:28am

45



Jacqueline Thompson  
On-Call Civil Engineer

While grading will be finalized during CIDs, please include top and bottom of wall elevations.

Page 20 • October 23, 2025, 9:29am

46



Jacqueline Thompson  
On-Call Civil Engineer

During CDs, it will be expected to see building pads graded and FFE provided for reference. At this time, please just keep that in mind and ensure that grading fits within the site with 3:1 or flatter slopes (or retaining walls).

Page 20 • October 24, 2025, 2:48pm

47



Meredith Gruber  
Senior Planner

Checklist Erosion Control items 5 & 11: Label existing areas of vegetation and Critical Root Zones.

Page 23 • November 5, 2025, 6:57am

48



Jacqueline Thompson  
On-Call Civil Engineer

Please adjust the text to fit

Page 23 • October 23, 2025, 9:35am

49



Jacqueline Thompson  
On-Call Civil Engineer

Correct text on title block

Page 29 • October 24, 2025, 2:49pm

50



Jacqueline Thompson  
On-Call Civil Engineer

Correct text in the title block

Page 30 • October 24, 2025, 2:49pm

# ROLESVILLE ESTATES

## PRELIMINARY SUBDIVISION PLAT

PSP-25-XX

SUBMITTAL 1: 10.01.25

REZ 24-04

6520 FOWLER ROAD & 6521 MITCHELL MILL ROAD  
TOWN OF ROLESVILLE  
WAKE COUNTY, NORTH CAROLINA

PERMITS AND APPROVALS		
TYPE	PERMIT NUMBER	DATE
TOWN OF ROLESVILLE - REZONING	REZ-24-04	AUG 5, 2025
TOWN OF ROLESVILLE - PSP		
TOWN OF ROLESVILLE - STORMWATER		
TOWN OF ROLESVILLE - EROSION CONTROL		
CITY OF RALEIGH - SEWER		
CITY OF RALEIGH - WATER		
TOWN OF ROLESVILLE - CID		
NCDOT - DRIVEWAY		
NCDOT - ENCROACHMENT		
NCDEQ 401		
USACE 404		



VICINITY MAP

SCALE: 1" = 1,000'

**EXHIBIT B**

**Fowler Road Rezoning Conditions  
July 16, 2025**

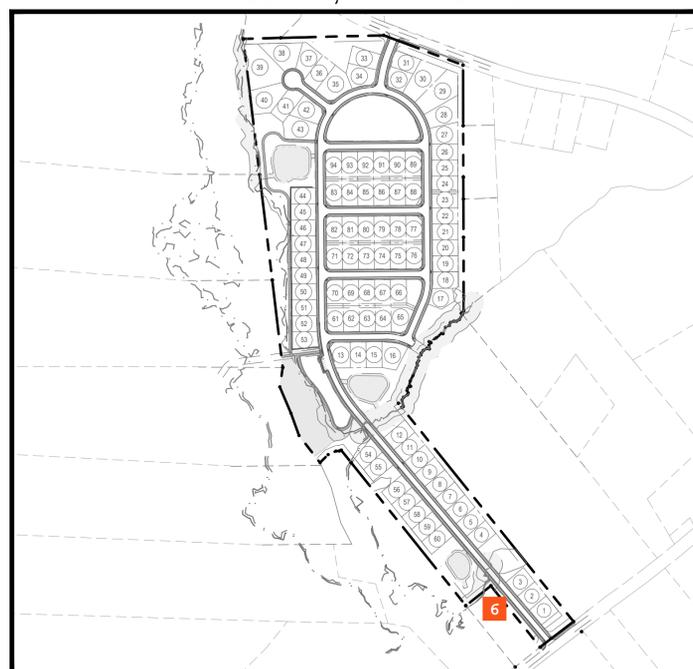
- The development of the property shall be in substantial conformance with the accompanying Concept Plan. Locations shown for committed elements including, but not limited to greenways, streets, and open areas shown on the Concept Plan, may be adjusted to conform to LDO requirements or as permitted as a minor adjustment by the Land Development Administrator.
- The following uses shall be prohibited:
  - Dwelling, single-family attached;
  - Dwelling, double family;
  - Dwelling, multiple family;
  - Boarding House/Dormitory;
  - Family Care Facility;
  - Live-work unit;
  - Residential Care; and
  - Telecommunications tower.
- There shall be a maximum of 100 single-family detached units.
- All single-family detached dwellings shall adhere to the following conditions:
  - Siding Material:**
    - If masonry (such as brick veneer or faux stone product) is not the predominant first floor finish (greater than 50%), then the front elevation shall have at least two (2) styles of fiber cement siding (i.e. lap, shake, or board and batten, etc.);
    - Vinyl material is prohibited except for soffits, fascia, and corner boards;
    - No dwelling unit shall be constructed with an exterior elevation or color palette that is identical to the dwelling unit on either side or directly across the street.
  - Garages:** A minimum 2-car side-by-side (not tandem) garage shall be provided;

**EXHIBIT B**

**Fowler Road Rezoning Conditions  
July 16, 2025**

- Roofs:** Roof materials shall be asphalt shingles, metal, copper, wood, or a combination of these materials.
- Building Foundations:**
  - Building foundations along the front facade shall have an exposed height above finished grade of at least 18" and must be finished with masonry product such as brick veneer or faux stone product.
  - Any foundation facing a public street must be finished with masonry product such as brick veneer or faux stone product.
- Rear Yard Amenity:** An unenclosed patio, deck, or screened-in porch of at least 64 square feet.
- Pollinator Garden:** The development shall include at least one pollinator garden. The pollinator garden shall be a landscaped garden in which at least seventy five percent (75%) of all plants, excluding grasses, are native milkweeds and other nectar-rich flowers. The final location(s) of pollinator garden shall be determined at subsequent stages of approval and will be identified on the landscape plan submitted with the construction drawings. The pollinator garden shall be constructed prior to the issuance of the 75<sup>th</sup> residential building permit.
- Community Amenities:** The development shall include one tot-lot and one dog park. Locations will be determined at subsequent stages of approval and will be identified on the construction drawings. The tot-lot and dog park shall be constructed prior to the issuance of the 75<sup>th</sup> residential building permit.
  - the area dedicated to the Town of Rolesville shall be credited to this project as active open space;
  - the area dedicated to the Town of Rolesville shall count toward the Town's recreation open space dedication requirements; and
  - the developer shall be relieved of the obligation to construct any improvements within the Dedicated Park Land that are shown on the Concept Plan.

[SIGNATURE PAGE FOLLOWS]



PROJECT PLAN

SCALE: 1" = 400'

**OWNER:**

BARBARA ANN JONES RICHARDS  
7925 STONY HILL ROAD  
WAKE FOREST, NC 17587

**DEVELOPER:**

HOPPER COMMUNITIES  
CONTACT: BILL HARRELL  
2403 MIDDWAY DRIVE  
RALEIGH, NC 27608  
P: 919.618.9929

**ENGINEER:**

BATEMAN CIVIL SURVEY COMPANY  
EVA KING, PE  
2524 RELIANCE AVE.  
APEX, NC 27539  
P: 919.557.1080 #144

SHEET NUMBER	SHEET TITLE
C000	COVER
C100	OVERALL EXISTING CONDITIONS
C101	EXISTING CONDITIONS
C102	EXISTING CONDITIONS
C103	EXISTING CONDITIONS
C104	EXISTING CONDITIONS
C200	OVERALL SITE PLAN
C201	SITE PLAN
C202	SITE PLAN
C203	SITE PLAN
C204	SITE PLAN
C300	TREE PRESERVATION PLAN
C400	OVERALL UTILITY PLAN
C401	UTILITY PLAN
C402	UTILITY PLAN
C403	UTILITY PLAN
C404	UTILITY PLAN
C500	OVERALL GRADING PLAN
C501	GRADING PLAN
C502	GRADING PLAN
C503	GRADING PLAN
C504	GRADING PLAN
C700	OVERALL EROSION CONTROL STAGE 1
C701	EROSION CONTROL STAGE 1
C702	EROSION CONTROL STAGE 1
C703	EROSION CONTROL STAGE 1
C704	EROSION CONTROL STAGE 1
C705	OVERALL EROSION CONTROL STAGE 2
C706	EROSION CONTROL STAGE 2
C707	EROSION CONTROL STAGE 2
C708	EROSION CONTROL STAGE 2
C709	EROSION CONTROL STAGE 2

SITE DATA	
OWNER	RICHARDS, BARBARA ANN JONES
SITE ADDRESS	7925 STONY HILL RD
DEED BOOK / PAGE	WAKE FOREST NC 27587-7514
PIN	1730 / 526
REAL ID	1768602816
	37538
OWNER	RICHARDS, BARBARA ANN JONES
SITE ADDRESS	7925 STONY HILL RD
DEED BOOK / PAGE	WAKE FOREST NC 27587-7514
PIN	1386 / 356
REAL ID	1767696199
	59680
ACREAGE	46.11 AC
EXISTING USE	VACANT
ZONING	RH-CZ
JURISDICTION	TOWN OF ROLESVILLE ETJ
RIVER BASIN	NEUSE
FEMA MAP	MAP# 3720176800K, 3720176600K DATED 07/19/2022
<b>DEVELOPMENT TYPE - RESIDENTIAL</b>	
JURISDICTION	TOWN OF ROLESVILLE
PROPOSED USE	SINGLE FAMILY RESIDENTIAL
MAXIMUM DENSITY ALLOWED	6 DU/AC
PROPOSED MAXIMUM DENSITY	2.2 DU/AC
MAXIMUM NUMBER OF LOTS ALLOWED	100 UNITS
NUMBER OF LOTS PROPOSED	94 UNITS
MIN. LOT AREA REQUIRED	7,500 SF
MIN. SED LOT AREA PROPOSED	9,000 SF
PROPOSED LOT WIDTH	75'
<b>BUILDING SETBACKS - TYPE OF USE</b>	
PRIMARY STREET	15'
SIDE STREET	15'
SIDE LOT LINE	15'
REAR LOT LINE	10'
<b>PARKING</b>	
PARKING CALCS.	1 SPACE / 20 MAILBOXES
PARKING REQUIRED	XX SPACES
PARKING PROVIDED	7 SPACES
ADA PARKING CALCS.	1 TO 25 = 1
ADA PARKING REQUIRED	1 SPACE
ADA PARKING PROVIDED	1 SPACE
<b>IMPERVIOUS</b>	
NET TRACT AREA	46.11 AC (2,008,357 SF)
ROW DEDICATION	16,468 SF
NEW TRACT AREA	45.73 AC
EXISTING IMPERVIOUS	0.086 AC (3,765 SF)
TREE PROTECTION AREA	5.16 AC
<b>OPEN SPACE</b>	
OPEN SPACE REQUIRED	6.92 AC (15%)
OPEN SPACE PROPOSED	15.46 AC (35.87%)
ACTIVE OPEN SPACE	MINIMUM 3.46 AC (7.5%)

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE TOWN OF ROLESVILLE, NORTH CAROLINA AND THAT THIS PLAT HAS BEEN APPROVED BY THE SUBDIVISION ADMINISTRATION OF THE TOWN OF ROLESVILLE FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS OF WAKE COUNTY.

SUBDIVISION ADMINISTRATOR, TOWN OF ROLESVILLE

DATE \_\_\_\_\_

ROLESVILLE, NORTH CAROLINA

I, \_\_\_\_\_, REVIEW OFFICER OF THE TOWN OF ROLESVILLE, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

DATE \_\_\_\_\_ REVIEW OFFICER \_\_\_\_\_



**Bateman Civil Survey Company**  
Engineers • Surveyors • Planners  
2524 Reliance Avenue, Apex, North Carolina 27539  
Phone: 919.577.1080 Fax: 919.577.1081  
NCBELS FIRM No. C-2378

**SOURCES OF INFORMATION:**

- EXISTING SURVEY OF SITE PROVIDED BY ROBINSON & PLANTE, P.C., 970 TRINITY ROAD, RALEIGH, NC 27506, DATED 10/14/2024
- EXISTING LIDAR CONTOURS ONSITE AND OUTSIDE OF SITE FROM WAKE COUNTY IMPAS DATED 2025.
- PARCEL INFORMATION OUTSIDE OF SURVEYED BOUNDARY FROM WAKE COUNTY IMPAS DATED 2025
- PRELIMINARY WETLAND INFORMATION PROVIDED BY SOIL & ENVIRONMENTAL CONSULTANS, INC, 8412 FALLS OF NEUSE ROAD, SUITE 104, RALEIGH, NC 27615, DATED 8/9/2024

REV#	DATE	DESCRIPTION



Date: 10/01/2025

Project #: P250897

SHEET

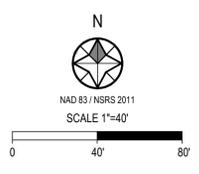
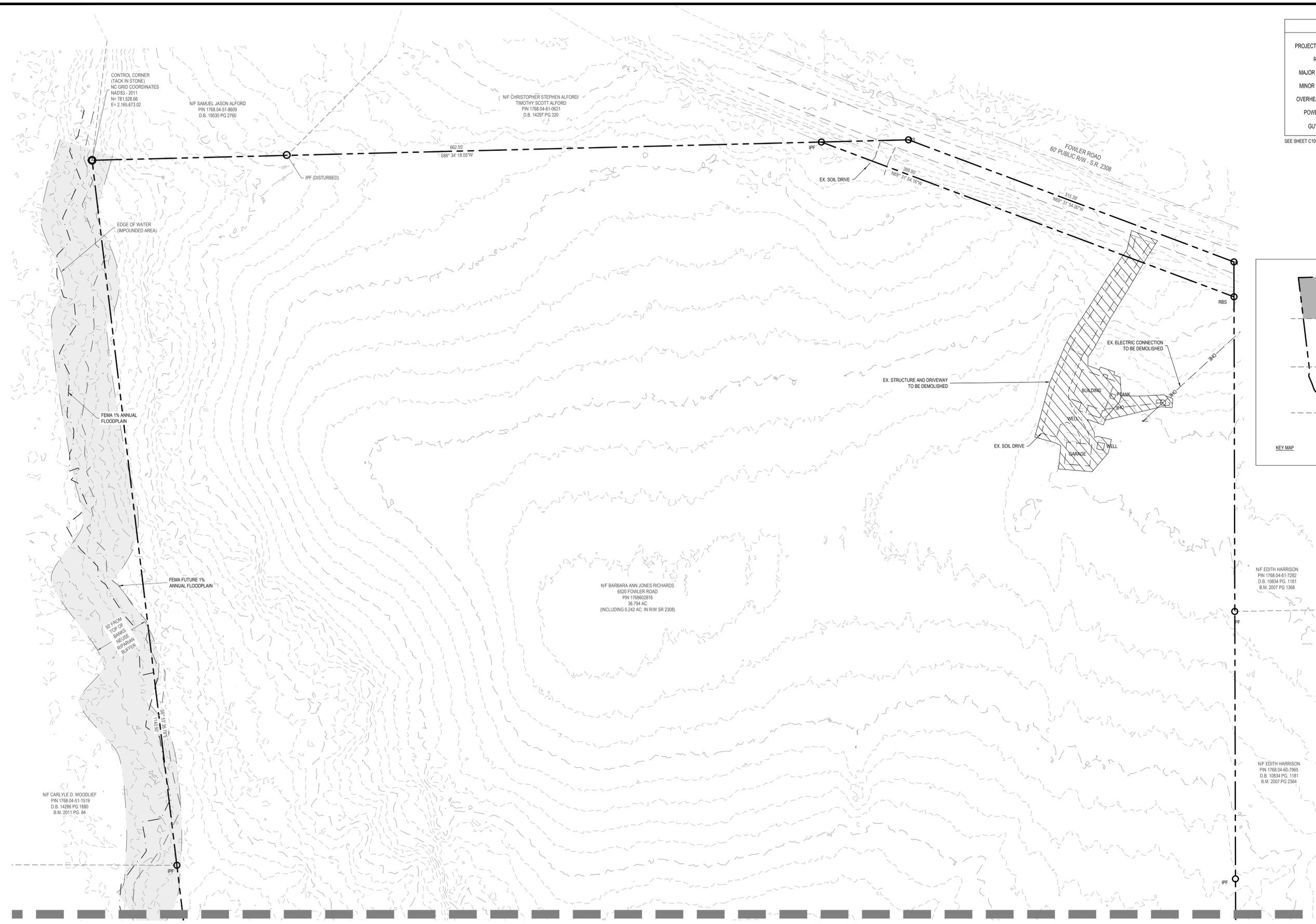
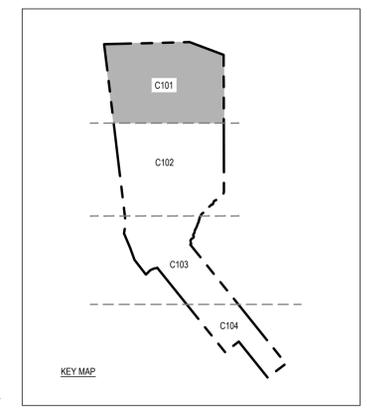
C000



PRELIMINARY  
NOT FOR CONSTRUCTION

LEGEND	
EXISTING	
PROJECT BOUNDARY	---
ROW	---
MAJOR CONTOUR	296
MINOR CONTOUR	294
OVERHEAD POWERLINE	—O—H—E—
POWER POLE	⊙
GUY WIRE	⋈

SEE SHEET C100 FOR GENERAL NOTES.



**Bateman Civil Survey Company**  
Engineers • Surveyors • Planners  
2524 Reliance Avenue, Apex, North Carolina 27539  
Phone: 919.577.1080 Fax: 919.577.1081  
NCBELS FIRM No. C-2378



**ROLESVILLE ESTATES**  
PRELIMINARY SUBDIVISION PLAT  
PSP-22-XX  
TOWN OF ROLESVILLE | WAKE COUNTY | NORTH CAROLINA

REV.#	DATE	DESCRIPTION

EXISTING CONDITIONS

Design By: SSD  
Date: 10.01.25  
Project #: P250897

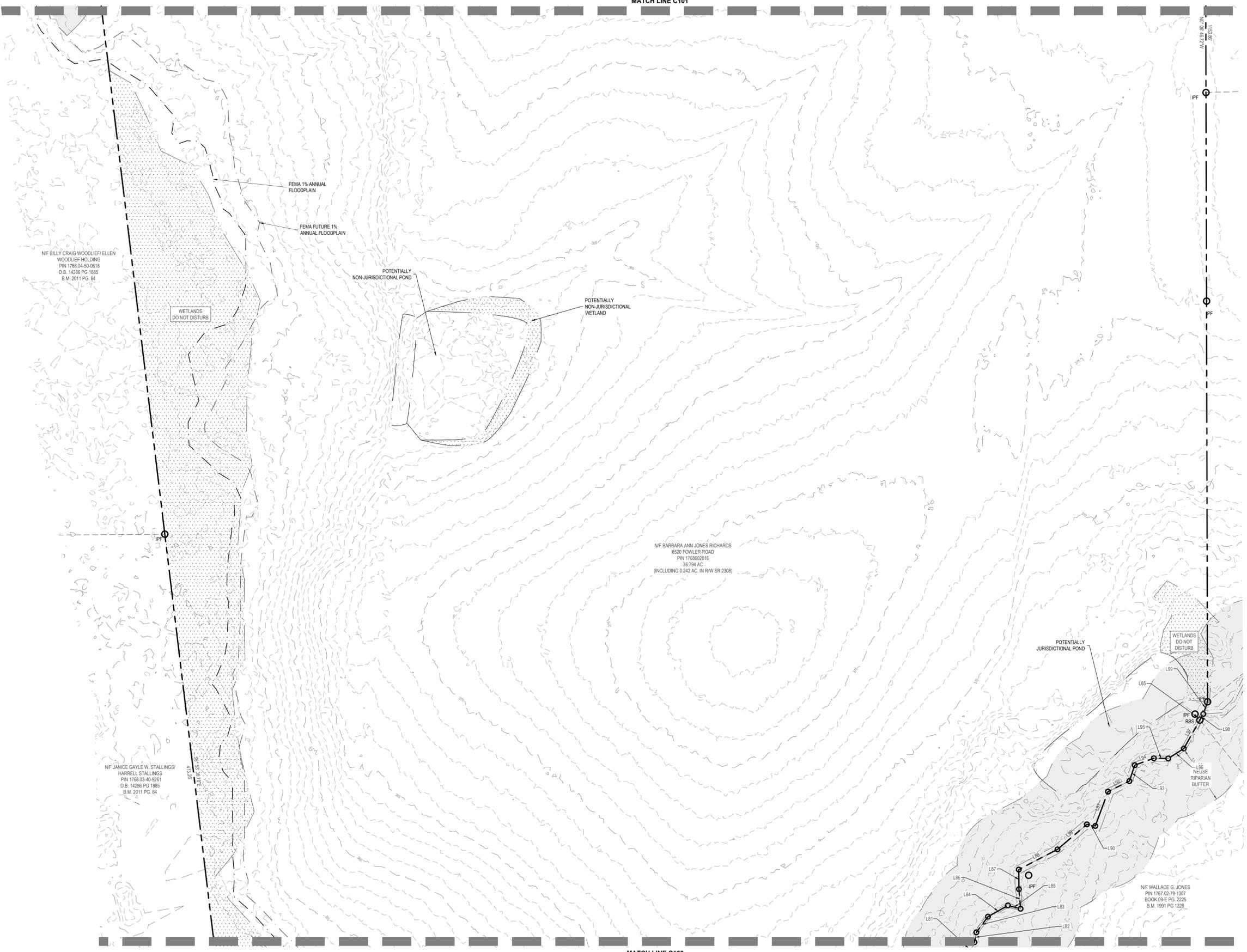
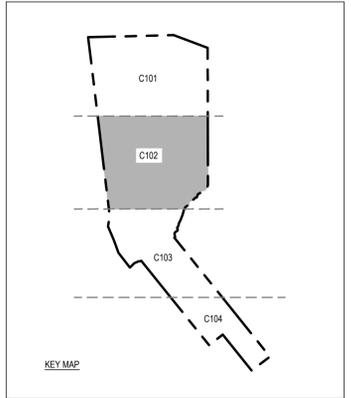
SHEET  
C101

MATCH LINE C101

MATCH LINE C103

LEGEND	
EXISTING	
PROJECT BOUNDARY	---
ROW	---
MAJOR CONTOUR	---295---
MINOR CONTOUR	---294---
OVERHEAD POWERLINE	---OHE---
POWER POLE	⊙
GUY WIRE	⋈

SEE SHEET C100 FOR GENERAL NOTES.



NF BILLY CRAIG WOODLIEFF ELLEN  
WOODLIEFF HOLDING  
PIN 1788.04-50-0618  
D.B. 14286 PG 1185  
B.M. 2011 PG 94

FEMA 1% ANNUAL  
FLOODPLAIN

FEMA FUTURE 1%  
ANNUAL FLOODPLAIN

POTENTIALLY  
NON-JURISDICTIONAL  
POND

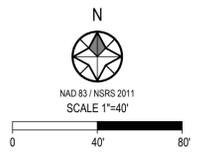
POTENTIALLY  
NON-JURISDICTIONAL  
WETLAND

WETLANDS  
DO NOT DISTURB

NF BARBARA ANN JONES RICHARDS  
6520 FOWLER ROAD  
PIN 1768.02-09-0216  
35.794 AC  
(INCLUDING 0.242 AC. IN RW SR 2308)

NF JANICE GAYLE W. STALLINGS/  
HARRELL STALLINGS  
PIN 1788.03-40-5287  
D.B. 14286 PG 1185  
B.M. 2011 PG 94

NF WALLACE G. JONES  
PIN 1767.02-78-1307  
BOOK 09-E PG. 2225  
B.M. 1991 PG 1328



PRELIMINARY  
NOT FOR CONSTRUCTION

**Bateman Civil Survey Company**  
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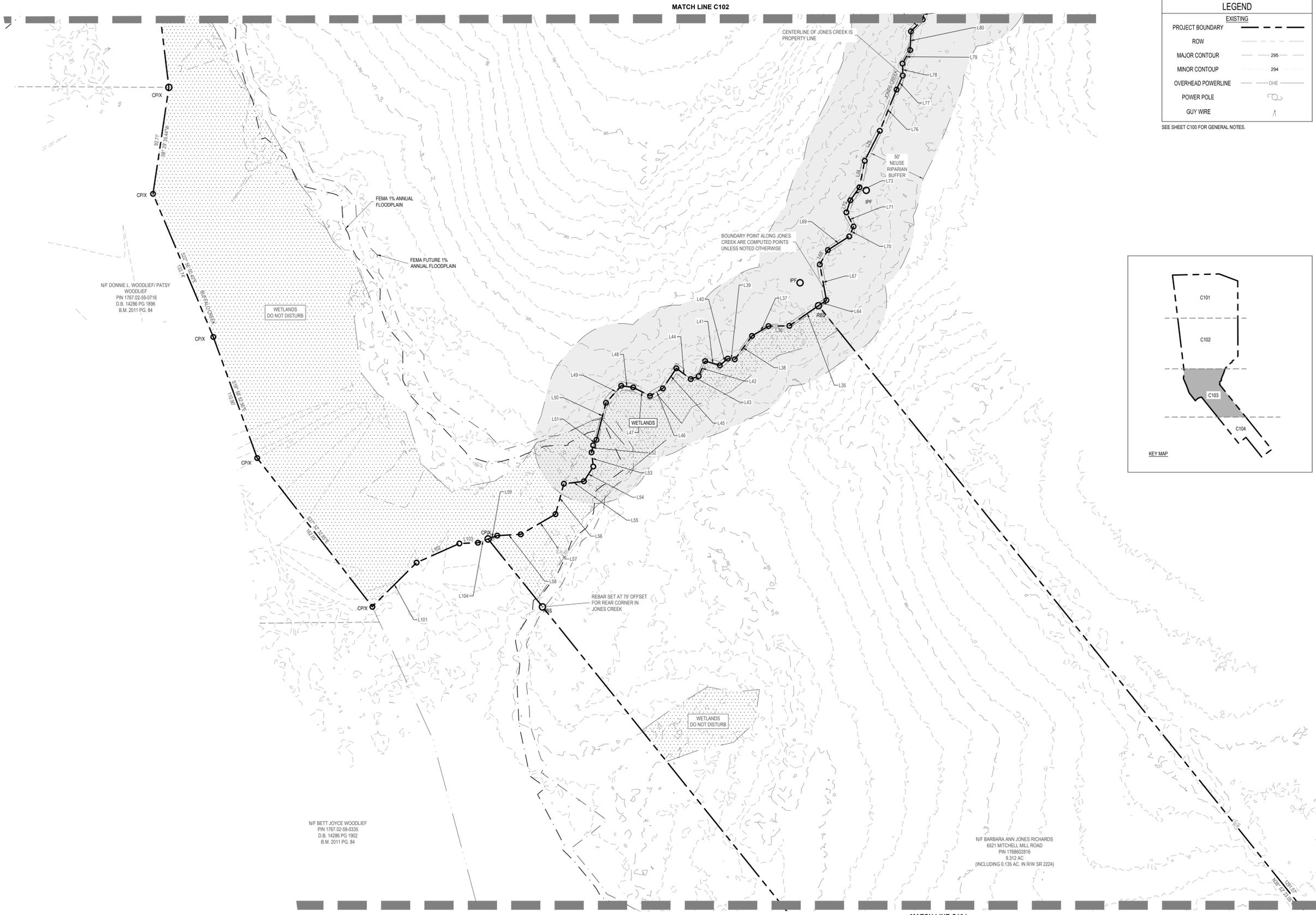
**ROLESVILLE ESTATES**  
PRELIMINARY SUBDIVISION PLAT  
PSP-22-XX  
TOWN OF ROLESVILLE | WAKE COUNTY | NORTH CAROLINA

REV.#	DATE	DESCRIPTION

**EXISTING CONDITIONS**

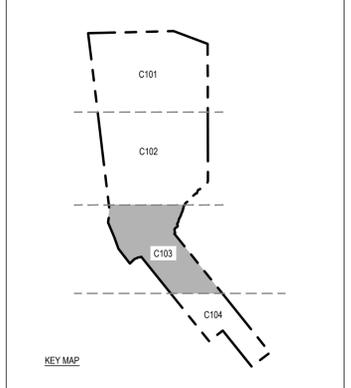
Design By: SSD  
Date: 10.01.25  
Project #: P250897

SHEET  
C102



LEGEND	
EXISTING	
PROJECT BOUNDARY	---
ROW	---
MAJOR CONTOUR	---295---
MINOR CONTOUR	---294---
OVERHEAD POWERLINE	---OHE---
POWER POLE	○
GUY WIRE	—/—

SEE SHEET C100 FOR GENERAL NOTES.



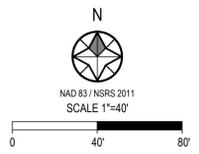
**Bateman Civil Survey Company**  
Engineers • Surveyors • Planners  
2524 Reliance Avenue, Apex, North Carolina 27539  
Phone: 919.577.1080 Fax: 919.577.1081  
NCBELS FIRM No. C-2378

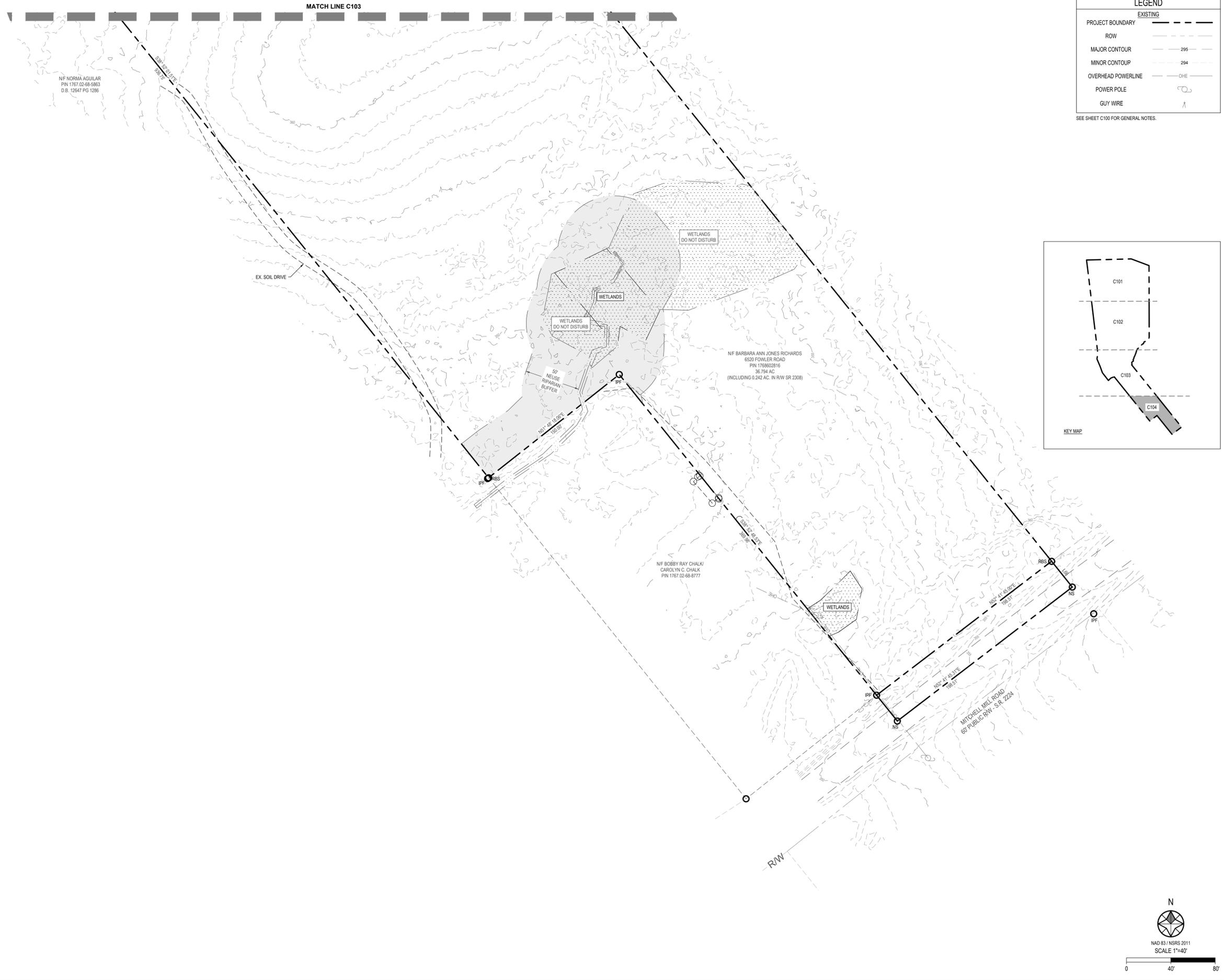


**ROLESVILLE ESTATES**  
PRELIMINARY SUBDIVISION PLAT  
PSP-22-XX  
TOWN OF ROLESVILLE | WAKE COUNTY | NORTH CAROLINA

REV #	DATE	DESCRIPTION

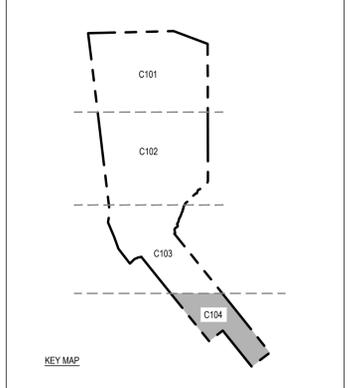
<b>EXISTING CONDITIONS</b>	Design By: SSD	SHEET
	Date: 10.01.25	C103
	Project #: P250897	





LEGEND	
EXISTING	
PROJECT BOUNDARY	---
ROW	---
MAJOR CONTOUR	---295---
MINOR CONTOUR	---294---
OVERHEAD POWERLINE	---OHE---
POWER POLE	⊙
GUY WIRE	⋈

SEE SHEET C100 FOR GENERAL NOTES.



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NOT FOR CONSTRUCTION

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NCBELS FIRM No. C-2378

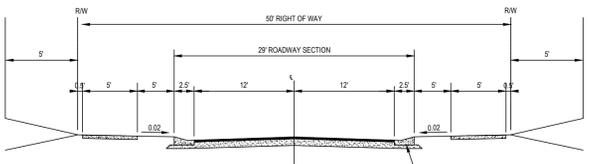


**ROLESVILLE ESTATES**  
**PRELIMINARY SUBDIVISION PLAT**  
**PSP-22-XX**  
TOWN OF ROLESVILLE | WAKE COUNTY | NORTH CAROLINA

REV #	DATE	DESCRIPTION

<b>EXISTING CONDITIONS</b>	Design By: SSD	<b>SHEET</b> <b>C104</b>
	Date: 10.01.25	
	Project #: P250897	

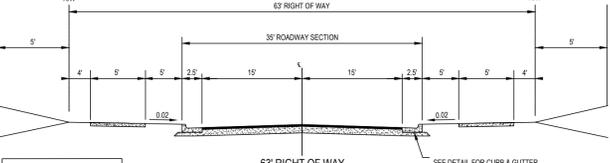
- PROJECT NOTES:**
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, NCDEQ, AND ALL OTHER APPLICABLE LOCAL, STATE, AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES, INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE) NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL THE UTILITIES BEING LOCATED.
  3. ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
  4. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
  6. THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND HARDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
  7. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE OF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
  10. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
  11. ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (85,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.
  12. THE TYPICAL ROAD SECTIONS ABOVE ARE MINIMUM REQUIREMENTS AND MAY NEED TO BE ADJUSTED DUE TO CBR TESTING RESULTS.
  13. CONTRACTOR TO CONSULT GEOTECH ENGINEER TO INVESTIGATE THE PARKING AREA AND PROVIDE A PAVEMENT STRUCTURE BASED ON SOIL CONDITIONS.
  14. CONTRACTOR SHALL PROVIDE SUBGRADE, BASE, AND PAVEMENT TESTING IN ACCORDANCE WITH NC DOT STANDARDS.
  15. CONTRACTOR TO ENSURE THAT ADA SPACE AND AISLE AS WELL AS CROSSWALK DO NOT EXCEED 2 PERCENT MAXIMUM SLOPE IN ANY DIRECTION.



MINIMUM PAVEMENT DESIGN  
7" S15 C  
#4 B.C.

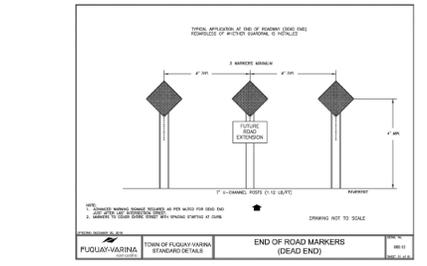
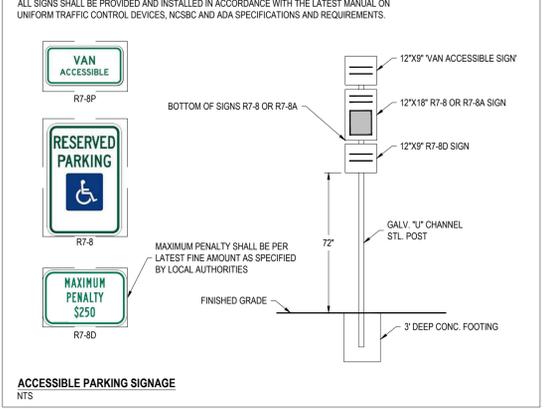
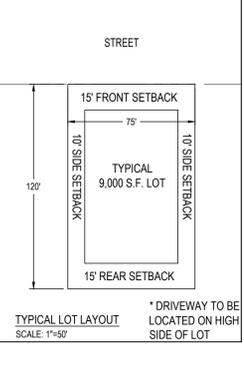
50' RIGHT OF WAY  
29' ROADWAY SECTION  
SECTION VIEW

- NOTES:**
1. ALL STREETS ARE PUBLIC.
  2. NORMAL CROWN OF 0.02 PER FOOT UNLESS OTHERWISE REQUIRED TO HAVE SUPERELEVATION.
  3. PAVEMENT DESIGN SHALL BE REQUIRED AND APPROVED BY TOWN OF ROLESVILLE.
  4. PAVEMENT DESIGN SHALL BE AS SHOWN OR AS DESIGNED BY GEOTECHNICAL ENGINEER, WHICHEVER IS GREATER.

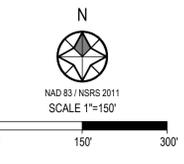
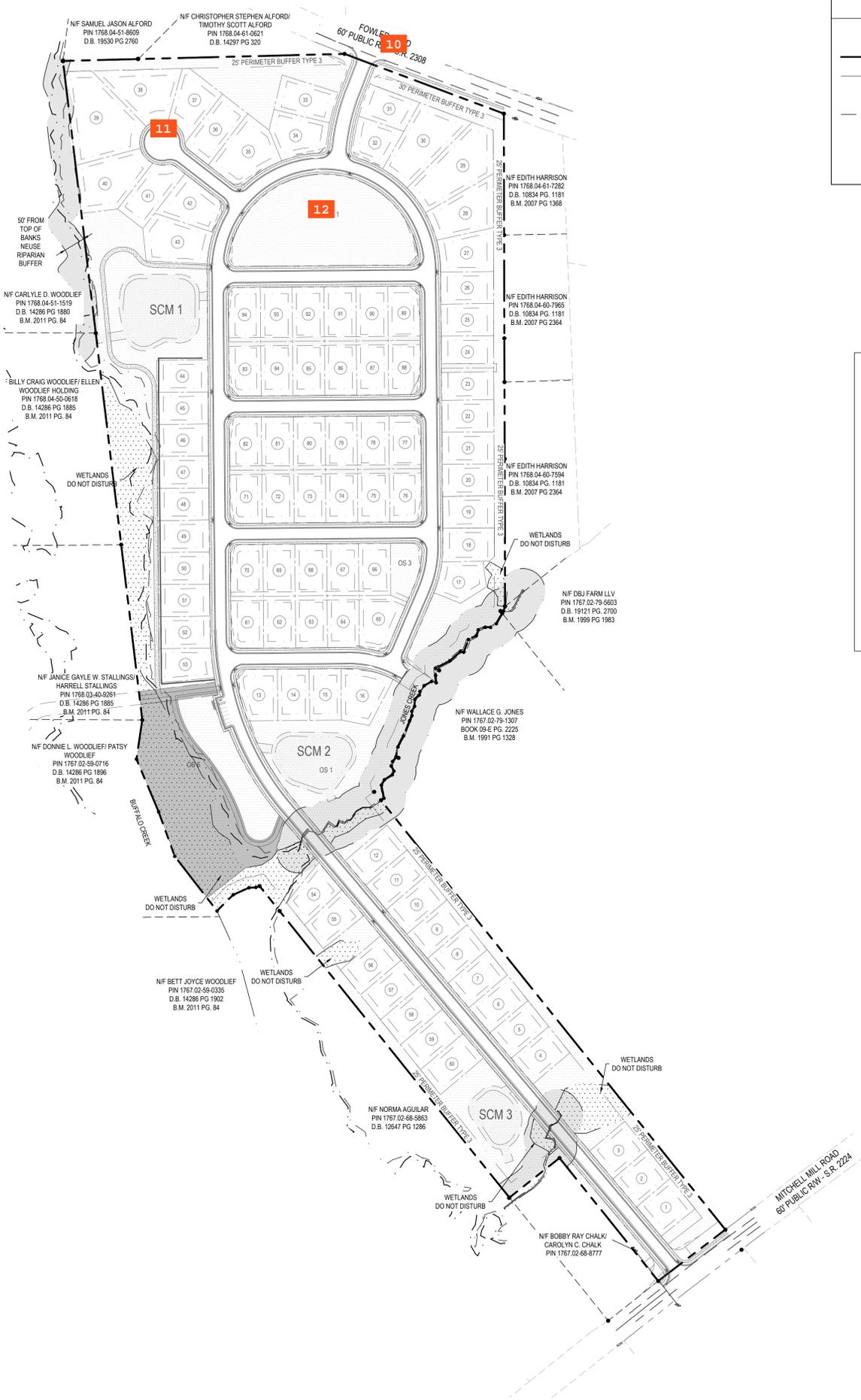
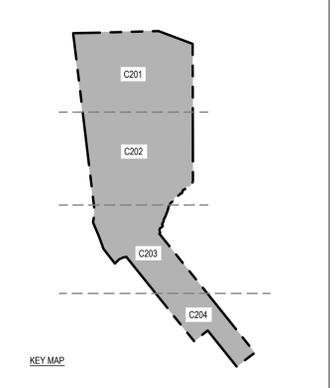


MINIMUM PAVEMENT DESIGN  
7" S15 C  
#4 B.C.

63' RIGHT OF WAY  
35' ROADWAY SECTION  
SECTION VIEW



LEGEND	
EXISTING	PROPOSED
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PRELIMINARY  
NOT FOR CONSTRUCTION

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**ROLESVILLE ESTATES**  
PRELIMINARY SUBDIVISION PLAN  
PSP-22-XX  
TOWN OF ROLESVILLE / WAKE COUNTY / NORTH CAROLINA

REV #	DATE	DESCRIPTION

OVERALL SITE PLAN

Design By: SSD  
Date: 10.01.25  
Project #: P250897

SHEET  
C200



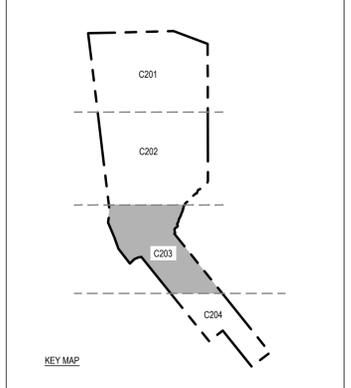




**LEGEND**

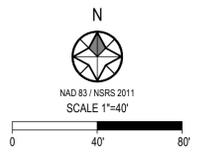
EXISTING	PROPOSED
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SEE SHEET C200 FOR PROJECT NOTES.



NF DONNIE L. WOODLIEF/PATSY WOODLIEF  
PIN 1767 02-58-0716  
D.B. 14286 PG 1896  
B.M. 2011 PG. 84

NF BETT JOYCE WOODLIEF  
PIN 1767 02-59-0335  
D.B. 14286 PG 1902  
B.M. 2011 PG. 84



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**ROLESVILLE ESTATES**  
PRELIMINARY SUBDIVISION PLAN  
PSP-22-XX  
TOWN OF ROLESVILLE | WAKE COUNTY | NORTH CAROLINA

REV#	DATE	DESCRIPTION

**SITE PLAN**

Design By: SSD  
Date: 10.01.25  
Project #: P250897

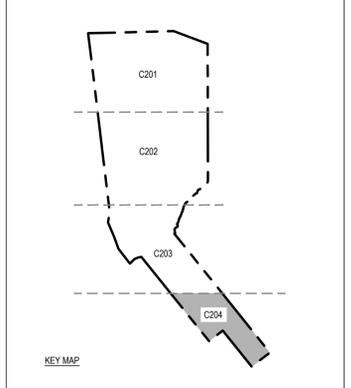
SHEET  
C203



**LEGEND**

EXISTING	PROPOSED
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SEE SHEET C200 FOR PROJECT NOTES.



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NCBELS FIRM No. C-2378

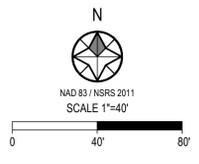
**ROLESVILLE ESTATES**  
PRELIMINARY SUBDIVISION PLAN  
PSP-22-XX  
TOWN OF ROLESVILLE | WAKE COUNTY | NORTH CAROLINA

REV #	DATE	DESCRIPTION

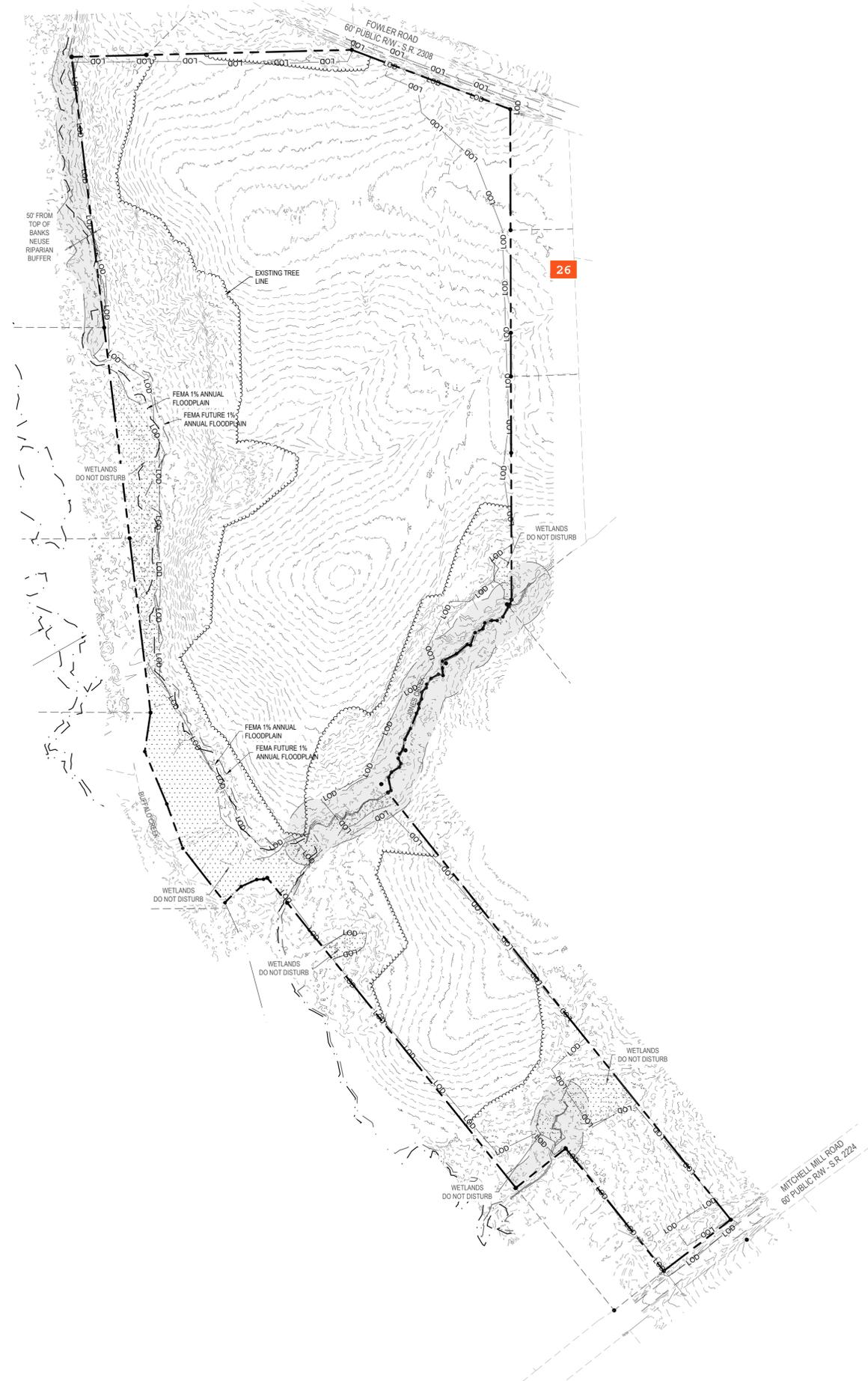
**SITE PLAN**

Design By: SSD  
Date: 10.01.25  
Project #: P250897

SHEET  
C204



- TREE PRESERVATION NOTES:**
1. EXISTING TREE LINE TAKEN FROM AERIAL.
  2. HATCHED AREA SHOWS PRESERVED TREE AREA, CALCULATIONS CAN BE FOUND IN THE SITE DATE TABLE ON SHEET C000.
  3. EXISTING TREE CONDITION SURVEY WILL BE PERFORMED BY CERTIFIED ARBORIST BEFORE CONSTRUCTION DRAWINGS ARE SUBMITTED.
  4. LIMITS OF DISTURBANCE DOUBLES AS TREE PROTECTION FENCE
  5. THE CRZ SHALL REMAIN FREE OF ALL BUILDINGS, MATERIALS, REFUSE, AND DEBRIS.
  6. DISTURBANCE OF CRZ SHALL NOT EXCEED 25% OF ANY TREE.
  7. CRZ AREAS WILL BE MARKED WITH TEMPORARY SIGNS ON SITE.



LEGEND	
EXISTING	
PROJECT BOUNDARY	---
ROW	---
MAJOR CONTOUR	---
MINOR CONTOUR	---
OVERHEAD POWERLINE	---OHE---
POWER POLE	⊙
GUY WIRE	⋈

PRELIMINARY  
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NCBELS FIRM No. C-2378



**ROLESVILLE ESTATES**  
PRELIMINARY SUBDIVISION PLAN  
PSP-22-XX  
TOWN OF ROLESVILLE | WAKE COUNTY | NORTH CAROLINA

REV #	DATE	DESCRIPTION

**TREE PRESERVATION PLAN**

Design By: SSD  
Date: 10.01.25  
Project #: P250897

SHEET  
C300

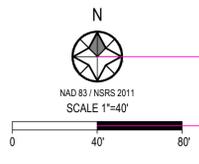
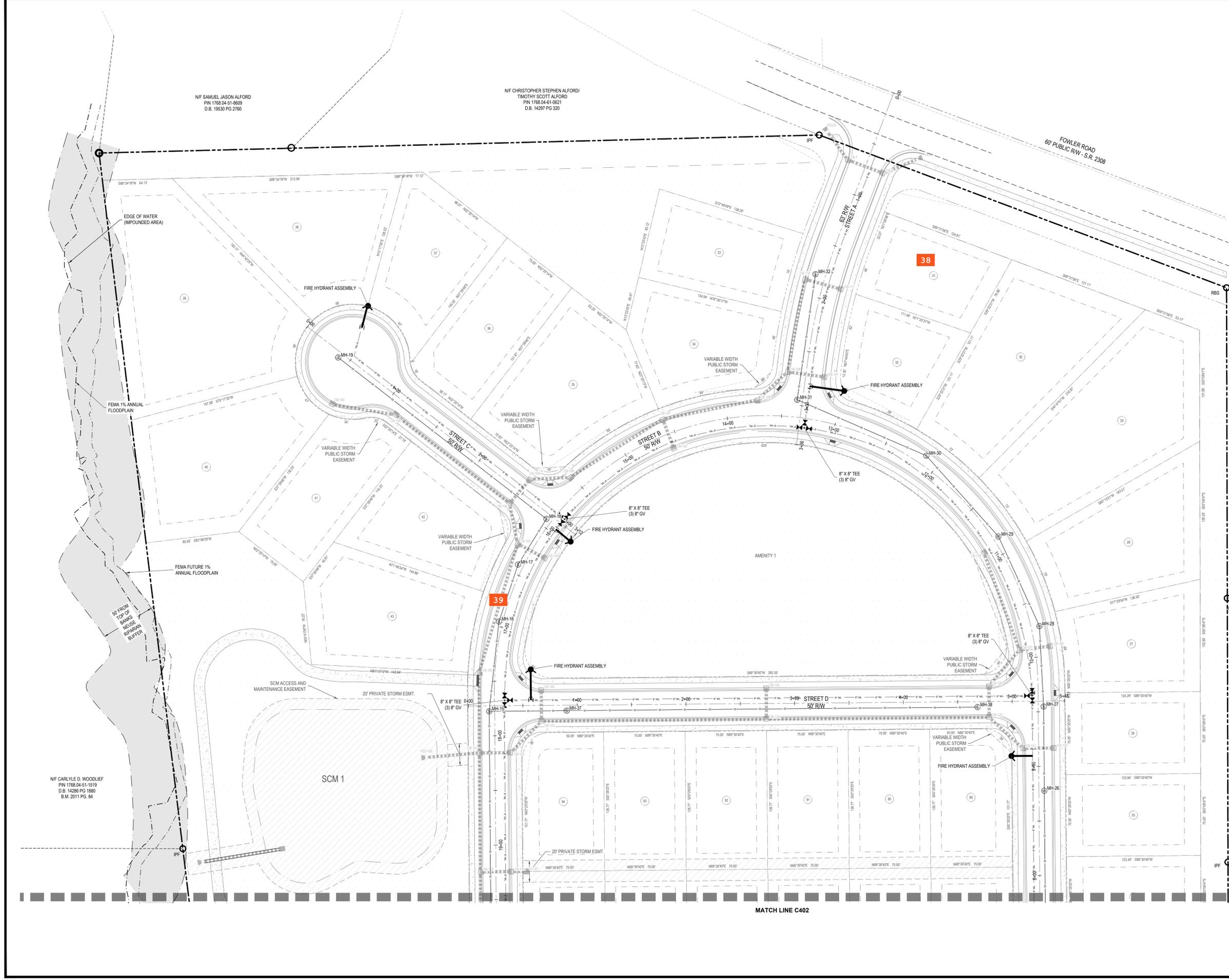
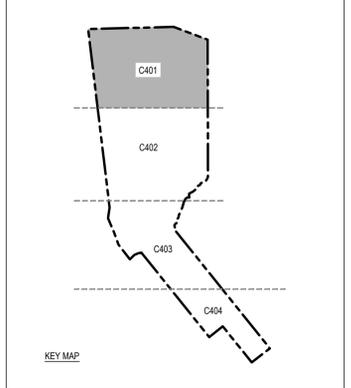




REV#	DATE	DESCRIPTION

**LEGEND**

EXISTING	PROPOSED
---	---
N/A	PROJECT BOUNDARY
N/A	ROW
N/A	SETBACK
N/A	EASEMENTS
N/A	LOT LINE
N/A	6" WATERLINE
N/A	HYDRANT
N/A	WATER METER
N/A	VALVE
N/A	REDUCER
N/A	BLOWOFF
N/A	SEWER PIPE
N/A	MANHOLE
N/A	CLEANOUT
N/A	STORM PIPE
N/A	STORM EASEMENT

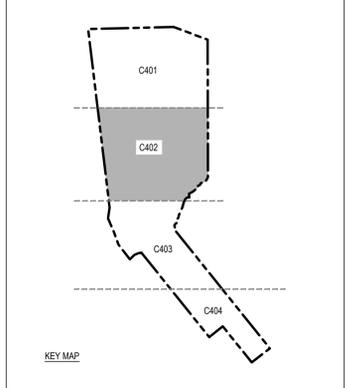




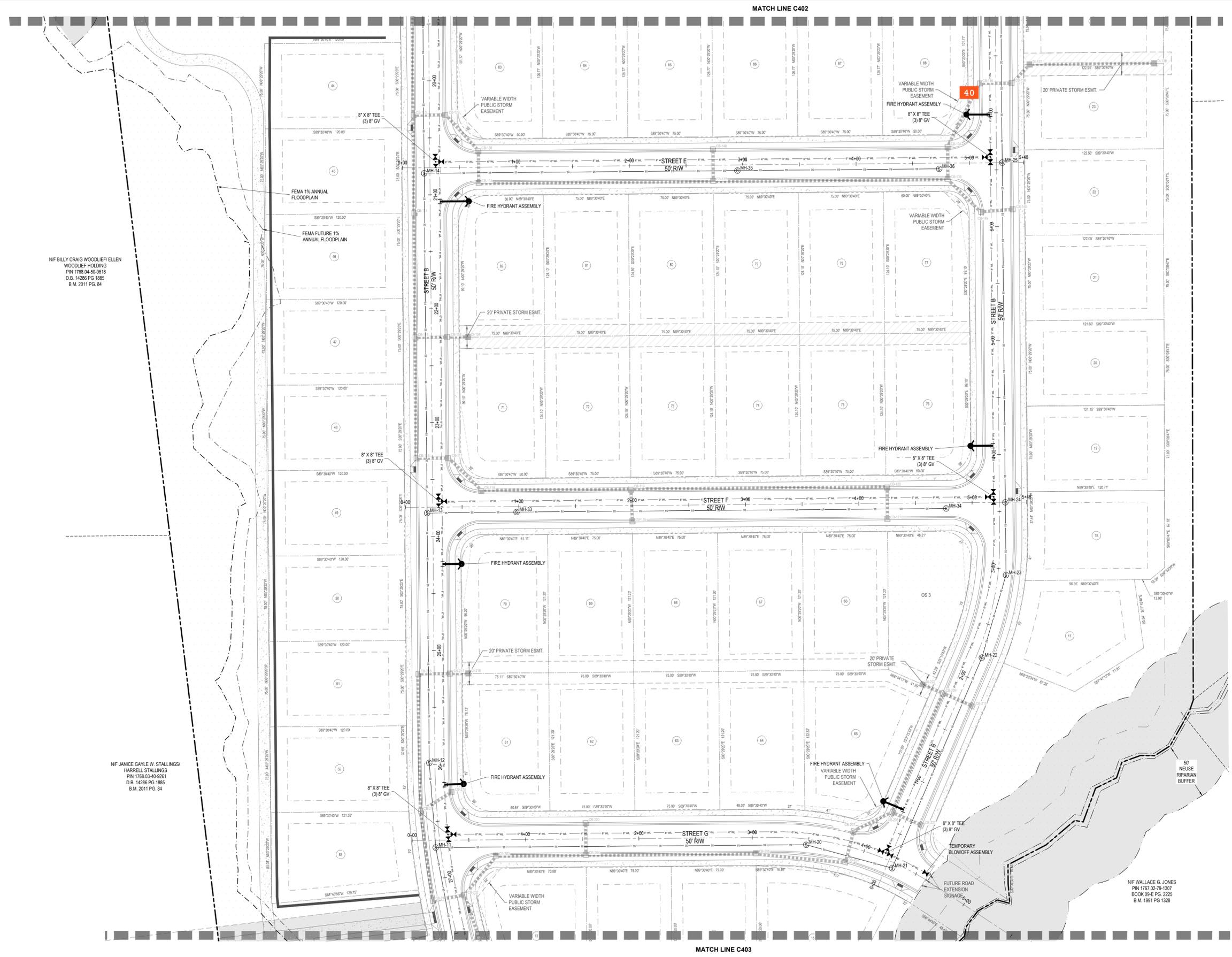
REV #	DATE	DESCRIPTION

Design By:	SSD	SHEET
Date:	10.01.25	C402
Project #:	P250897	

LEGEND	
EXISTING	PROPOSED
---	--- PROJECT BOUNDARY
---	--- ROW
---	--- SETBACK
---	--- EASEMENTS
---	--- LOT LINE
---	--- 6" WATERLINE
---	--- HYDRANT
---	--- WATER METER
---	--- VALVE
---	--- REDUCER
---	--- BLOWOFF
---	--- SEWER PIPE
---	--- MANHOLE
---	--- CLEANOUT
---	--- STORM PIPE
---	--- STORM EASEMENT



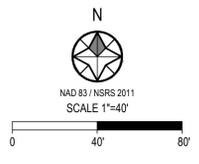
SEE SHEET C400 FOR UTILITY NOTES.



NF BILLY CRAIG WOODLIEFF ELLEN  
WOODLIEFF HOLDING  
PIN 1788.04-50-0618  
D.B. 14286 PG 1885  
B.M. 2011 PG. 84

NF JANICE GAYLE W. STALLINGS/  
HARRELL STALLINGS  
PIN 1788.03-40-5281  
D.B. 14286 PG 1885  
B.M. 2011 PG. 84

NF WALLACE G. JONES  
PIN 1767.02-79-1307  
BOOK 09-E PG. 2225  
B.M. 1991 PG 1328





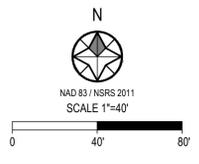
REV #	DATE	DESCRIPTION

Design By: SSD	SHEET C403
Date: 10.01.25	
Project #: P250897	



**LEGEND**

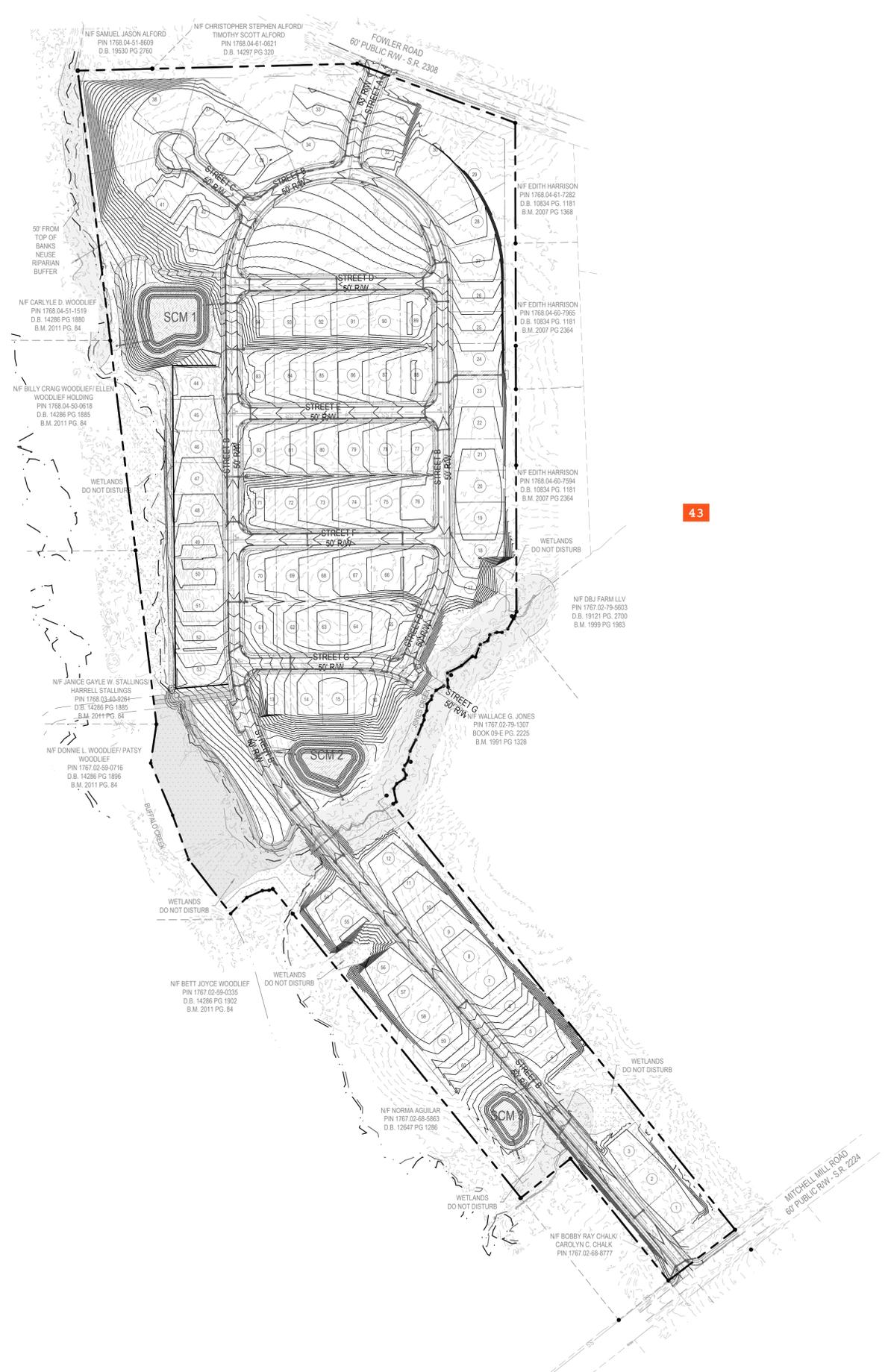
EXISTING	PROPOSED
PROJECT BOUNDARY	PROJECT BOUNDARY
ROW	ROW
SETBACK	SETBACK
EASEMENTS	EASEMENTS
LOT LINE	LOT LINE
6" WATERLINE	6" WATERLINE
HYDRANT	HYDRANT
WATER METER	WATER METER
VALVE	VALVE
REDUCER	REDUCER
BLOWOFF	BLOWOFF
SEWER PIPE	SEWER PIPE
MANHOLE	MANHOLE
CLEANOUT	CLEANOUT
STORM PIPE	STORM PIPE
STORM EASEMENT	STORM EASEMENT



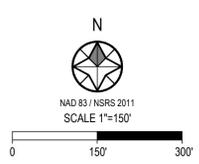
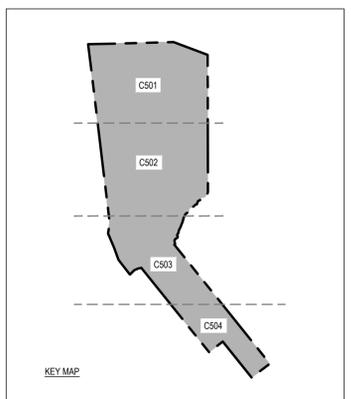


**GRADING AND STORM DRAINAGE NOTES:**

- REFER TO SHEET C100 FOR GENERAL NOTES
- THE CONTRACTOR SHALL REPORT ANY GRADE DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
- THE MAXIMUM SLOPE ALONG ANY HANDICAP ACCESSIBLE PATHWAY SHALL NOT EXCEED 5.0% AND SHALL NOT EXCEED A 2.0% CROSS SLOPE. HANDICAP RAMPS INDICATED ON PLANS SHALL BE A MAXIMUM OF 1/12 SLOPES WITH A MAXIMUM RISE OF 30" BETWEEN LANDINGS. NON-CURB CUT RAMPS SHALL HAVE HANDRAILS AND GUARDS PER DETAILS WITH 5' LANDINGS AT THE BOTTOM AND TOP OF RAMP.
- ALL AREAS WHERE UNPAVED AREAS SLOPE ONTO PAVED AREAS, A 2' WIDE FLAT AREA WITH A SLOPE OF 2% TOWARDS THE PAVED AREA SHALL BE PROVIDED TO PREVENT ORGANICS WASHOUT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND RECEIVING STORM DRAINAGE SYSTEMS REMAIN CLEAN OF SEDIMENT AND DEBRIS. PRIOR TO OWNER ACCEPTANCE OF SYSTEM, THE CONTRACTOR SHALL COORDINATE AND PROVIDE A VISUAL OBSERVATION VIDEO OF ALL STORM DRAINAGE IMPROVEMENTS 12" AND LARGER. THE VISUAL OBSERVATION SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S REPRESENTATION.
- REFER TO EROSION CONTROL DETAILS SHEET FOR THE SEQUENCE OF CONSTRUCTION.
- INTERIM GRADING SHALL BE PROVIDED THAT ENSURES THE PROTECTION OF STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DRAINAGE CAUSED BY SETTLEMENTS, LATERAL MOVEMENT, UNDERMINING, AND WASHOUT.
- INTERIM GRADING SHALL BE PROVIDED TO DIRECT WATER AWAY FROM BUILDINGS AND PREVENT PONDING.
- THE ROOF LEADERS WHERE POSSIBLE TO UNDERGROUND SYSTEM. CONTRACTOR TO FIELD VERIFY, LOCATE AND INSTALL WHERE POSSIBLE OR AS SHOWN ON PLANS. WHERE ROOF LEADERS DAYLIGHT, A GRADE A SPLASH BLOCK APPROVED BY THE OWNER'S REPRESENTATIVE SHALL BE INSTALLED.
- MAXIMUM SLOPE ACROSS ANY HANDICAPPED PARKING SPACE AND AISLE SHALL NOT EXCEED 2% IN ANY DIRECTION.
- PROPOSED CONTOURS ARE APPROXIMATE. SPOT ELEVATIONS AND ROADWAY PROFILES SHALL BE USED IN CASE OF DISCREPANCY.
- PLACE BACKFILL AND FILL MATERIALS IN LAYER NOT MORE THAN EIGHT INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. PLACE BACKFILL AND FILL MATERIALS EVENLY ON ALL SIDES TO REQUIRED ELEVATIONS, AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE. COMPACTS SOIL TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL UP TO TWO FEET OF FINISHED GRADE. COMPACT SOIL TO NOT LESS THAN 98 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL FOR THE FINAL TWO FEET.
- SITE GRADING IMMEDIATELY ADJACENT TO FOUNDATION OF BUILDING SHALL SLOPE NOT LESS THAN 1/4" AWAY FROM MINIMUM DISTANCE OF 10 FEET. ALTERNATIVE METHOD SHALL BE PROVIDED TO DIVERT WATER AWAY FROM FOUNDATION VIA SWALES SLOPED AT A MINIMUM OF 2% OR IMPERVIOUS SURFACES SLOPED AWAY AT A MINIMUM OF 2% AWAY FROM BUILDING.
- CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF EXISTING MANHOLES, METERS, VALVES, ETC. AS REQUIRED TO MEET NEW FINISHED GRADES.
- CONTRACTOR SHALL SLOPE GRADES TO ASSURE POSITIVE STORMWATER FLOW TO KEEP WATER FROM POOLING ALONG CURBS AND WALLS.
- TOP OF WALL ELEVATIONS INDICATE THE ELEVATION AT THE TOP OF THE CAP, UNLESS OTHERWISE NOTED.
- BOTTOM OF WALL ELEVATIONS INDICATE THE ELEVATION OF THE FINISHED GRADE.
- WALLS GREATER THAN 4 FT IN HEIGHT WILL REQUIRE ENGINEERING DESIGN APPROVAL.
- CATCH BASIN RIM ELEVATION INDICATES BACK OF CURB ELEVATION UNLESS OTHERWISE NOTED.



LEGEND	
EXISTING	PROPOSED
---	PROJECT BOUNDARY
---	ROW
---	EASEMENTS
---	LOT LINE
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	STORM PIPE
---	FLARED END SECTION
---	DROP INLET
---	CURB INLET
---	STORM EASEMENT



PRELIMINARY  
NOT FOR CONSTRUCTION

**Bateman Civil Survey Company**  
Engineers • Surveyors • Planners  
2524 Reliance Avenue, Apex, North Carolina 27539  
Phone: 919.577.1000 Fax: 919.577.1081  
NCBELS FIRM No. C-2378



**ROLESVILLE ESTATES**  
PRELIMINARY SUBDIVISION PLAN  
PSP-22-XX  
TOWN OF ROLESVILLE | WAKE COUNTY | NORTH CAROLINA

REV #	DATE	DESCRIPTION

**OVERALL GRADING PLAN**

Design By: SSD  
Date: 10.01.25  
Project #: P250897

SHEET  
C500

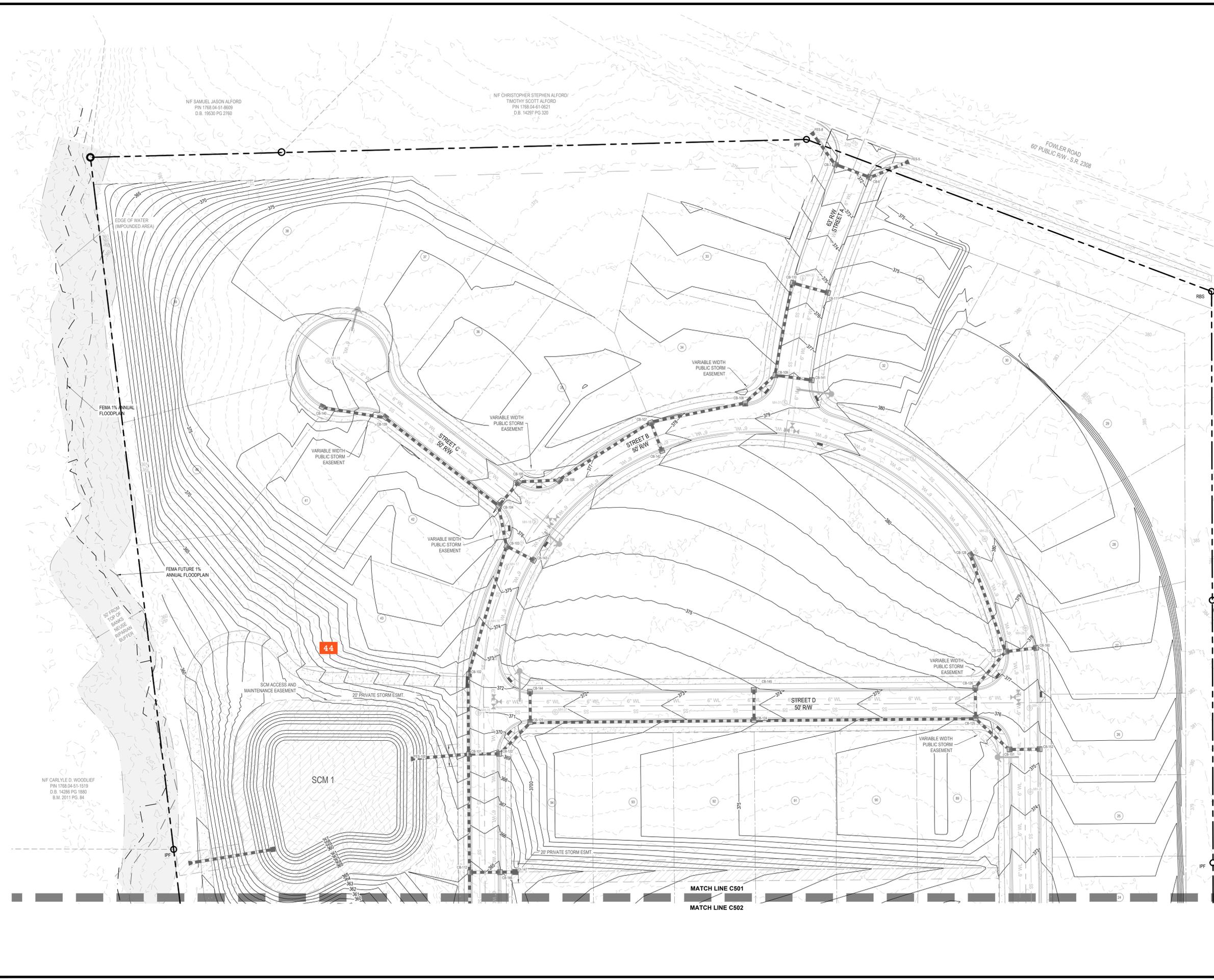
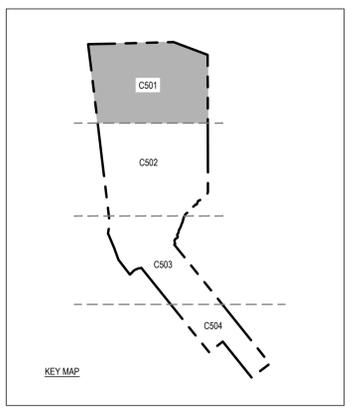


REV#	DATE	DESCRIPTION

Design By: SSD	SHEET
Date: 10.01.25	C501
Project #: P250897	

LEGEND	
EXISTING	PROPOSED
---	---
N/A	PROJECT BOUNDARY
N/A	ROW
N/A	EASEMENTS
N/A	LOT LINE
---	MAJOR CONTOUR
---	MINOR CONTOUR
N/A	STORM PIPE
N/A	FLARED END SECTION
N/A	DROP INLET
N/A	CURB INLET
N/A	STORM EASEMENT

SEE SHEET C500 FOR GRADING AND STORM NOTES.



NF SAMUEL JASON ALFORD  
PIN 1768-04-51-8603  
D.B. 19530 PG 2760

NF CHRISTOPHER STEPHEN ALFORD/  
TIMOTHY SCOTT ALFORD  
PIN 1768-04-51-8621  
D.B. 14287 PG 320

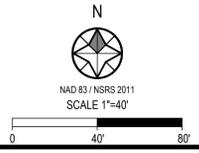
FOWLER ROAD  
60' PUBLIC RW - S.R. 2308

NF EDITH HARRISON  
PIN 1768-04-61-7282  
D.B. 10834 PG 1181  
B.M. 2007 PG 1368

NF EDITH HARRISON  
PIN 1768-04-60-7965  
D.B. 10834 PG 1181  
B.M. 2007 PG 2364

NF CARLYLE D. WOODLIEF  
PIN 1768-04-51-1519  
D.B. 14286 PG 1680  
B.M. 2011 PG 84

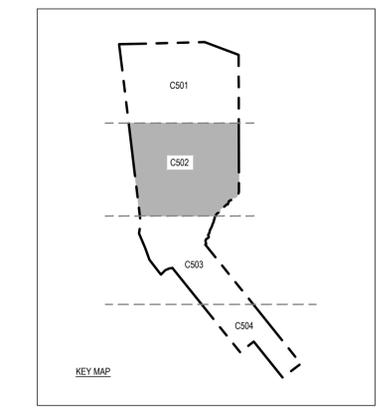
MATCH LINE C501  
MATCH LINE C502



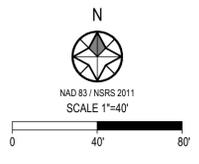
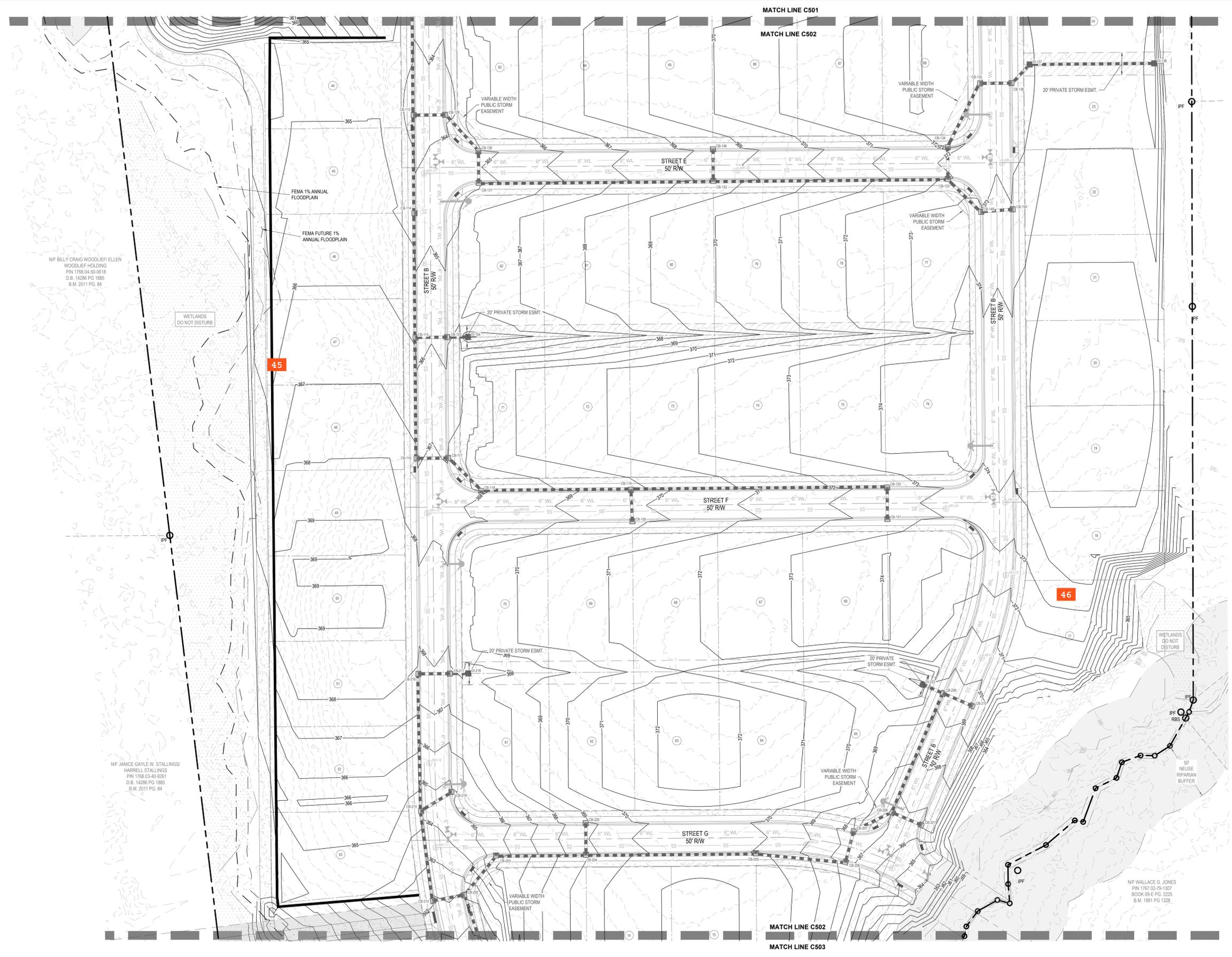
REV #	DATE	DESCRIPTION

Design By: SSD	SHEET C502
Date: 10.01.25	
Project #: P250897	

LEGEND	
EXISTING	PROPOSED
---	--- PROJECT BOUNDARY
---	--- ROW
---	--- EASEMENTS
---	--- LOT LINE
---	--- MAJOR CONTOUR
---	--- MINOR CONTOUR
---	--- STORM PIPE
---	--- FLARED END SECTION
---	--- DROP INLET
---	--- CURB INLET
---	--- STORM EASEMENT



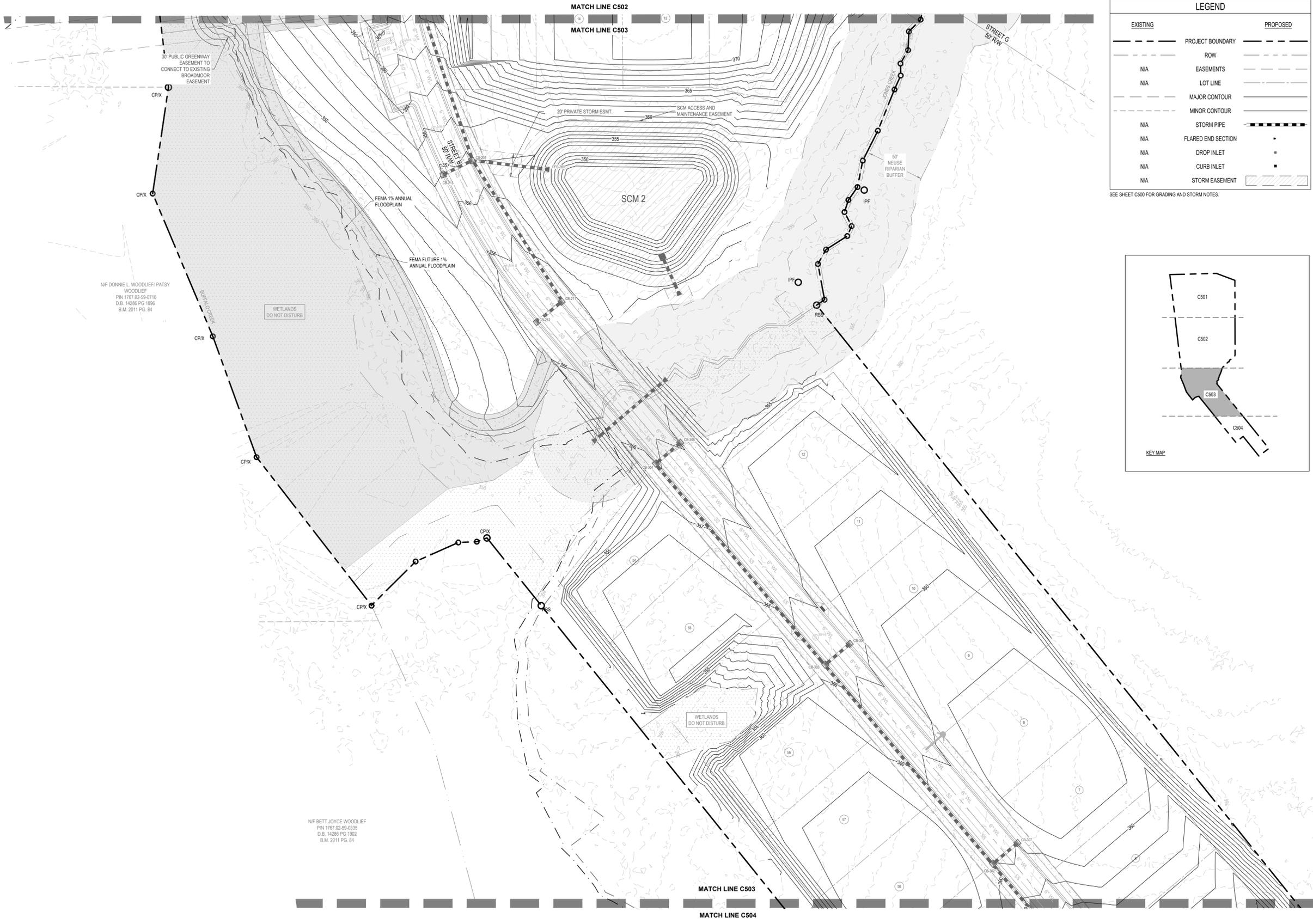
SEE SHEET C500 FOR GRADING AND STORM NOTES.



NF BILLY CRAIG WOODLIEFF ELLEN WOODLIEFF HOLDING  
PIN 1768.04-50-0618  
D.B. 14286 PG. 1885  
B.M. 2011 PG. 94

NF JANICE GAYLE W. STALLINGS/ HARRELL STALLINGS  
PIN 1768.03-40-5261  
D.B. 14286 PG. 1885  
B.M. 2011 PG. 94

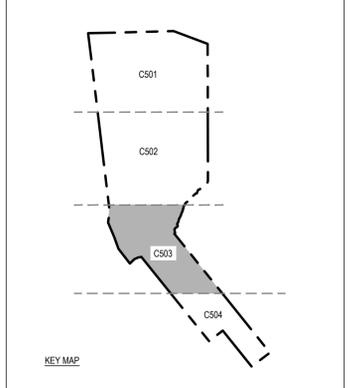
NF WALLACE G. JONES  
PIN 1767.02-78-1307  
BOOK 09-E PG. 2225  
B.M. 1991 PG. 1328



**LEGEND**

EXISTING	PROJECT BOUNDARY	PROPOSED
- - - - -	PROJECT BOUNDARY	- - - - -
- - - - -	ROW	- - - - -
- - - - -	EASEMENTS	- - - - -
- - - - -	LOT LINE	- - - - -
- - - - -	MAJOR CONTOUR	- - - - -
- - - - -	MINOR CONTOUR	- - - - -
- - - - -	STORM PIPE	- - - - -
- - - - -	FLARED END SECTION	- - - - -
- - - - -	DROP INLET	- - - - -
- - - - -	CURB INLET	- - - - -
- - - - -	STORM EASEMENT	- - - - -

SEE SHEET C500 FOR GRADING AND STORM NOTES.



NF DONNIE L. WOODLIEF/PATSY WOODLIEF  
PIN 1767 02-68-0716  
D.B. 14286 PG 1896  
B.M. 2011 PG. 84

NF BETT JOYCE WOODLIEF  
PIN 1767 02-69-0305  
D.B. 14286 PG 1902  
B.M. 2011 PG. 84

PRELIMINARY  
NOT FOR CONSTRUCTION

**Bateman Civil Survey Company**  
Engineers • Surveyors • Planners  
2524 Reliance Avenue, Apex, North Carolina 27539  
Phone: 919.577.1000 Fax: 919.577.1081  
NCBELS FIRM No. C-2378



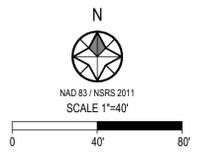
**ROLESVILLE ESTATES**  
PRELIMINARY SUBDIVISION PLAN  
PSP-22-XX  
TOWN OF ROLESVILLE | WAKE COUNTY | NORTH CAROLINA

REV #	DATE	DESCRIPTION

**GRADING PLAN**

Design By: SSD  
Date: 10.01.25  
Project #: P250897

SHEET  
C503

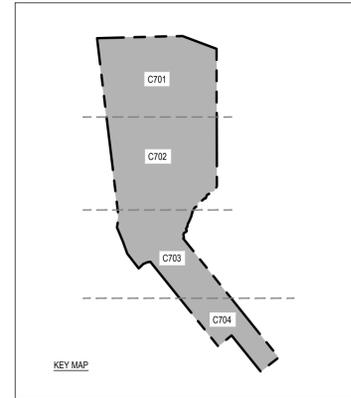






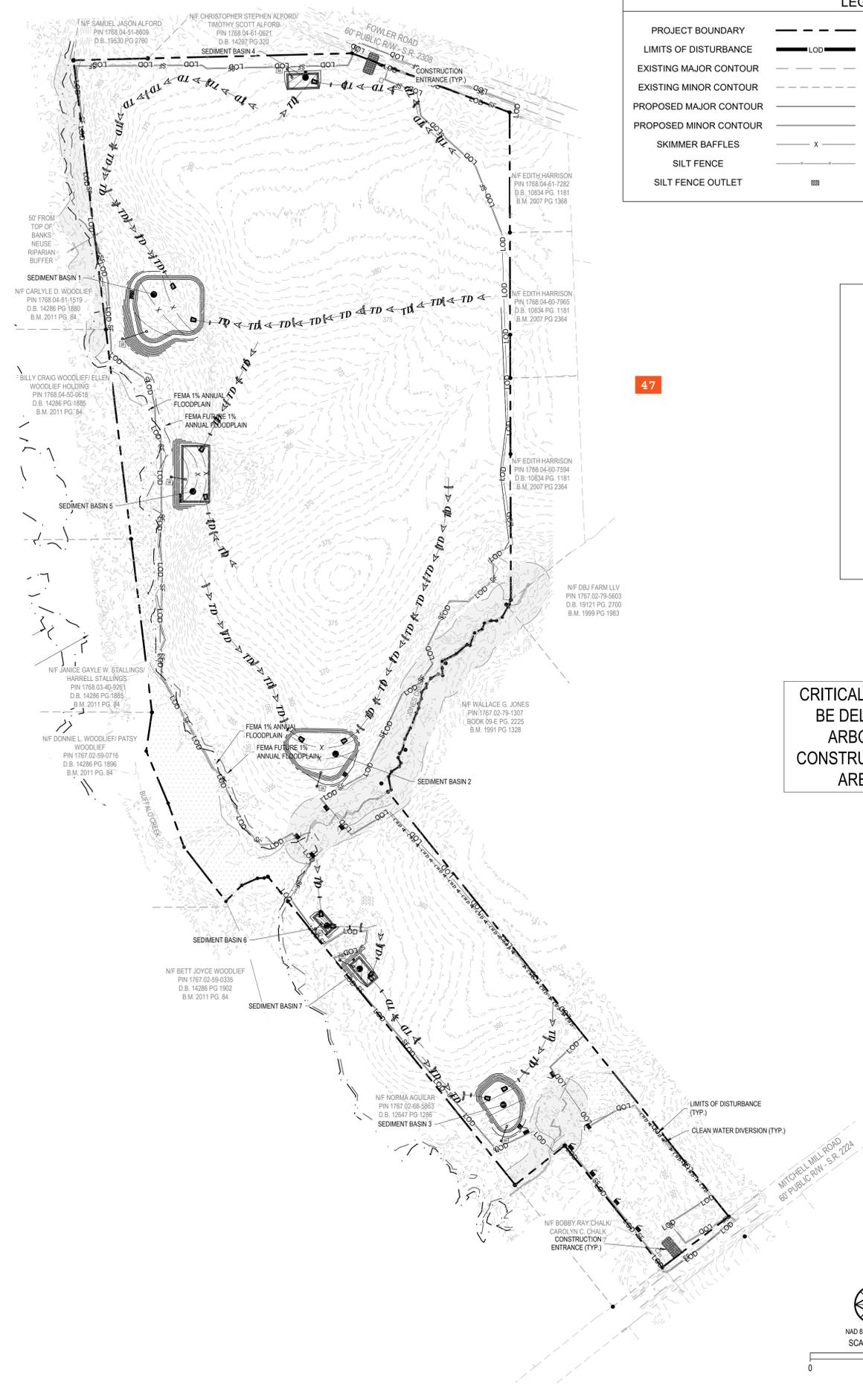
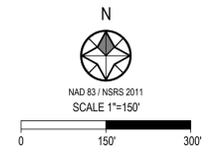
REV #	DATE	DESCRIPTION

LEGEND	
PROJECT BOUNDARY	--- PD --- PD ---
LIMITS OF DISTURBANCE	--- LOD ---
EXISTING MAJOR CONTOUR	-----
EXISTING MINOR CONTOUR	-----
PROPOSED MAJOR CONTOUR	-----
PROPOSED MINOR CONTOUR	-----
SKIMMER BAFFLES	— x —
SILT FENCE	— [ ] —
SILT FENCE OUTLET	— [ ] —
PERMANENT DIVERSION DITCH	→ PD → PD →
CLEAN WATER DIVERSION DITCH	→ CWD → CWD →
TEMPORARY DIVERSION DITCH	→ TD → TD →
ARC INLET PROTECTION	— [ ] —
WATTLE	— [ ] —
CHECK DAM	— [ ] —
SKIMMER WEIR	— [ ] —
INLET PROTECTION	— [ ] —
CONSTRUCTION ENTRANCE	— [ ] —

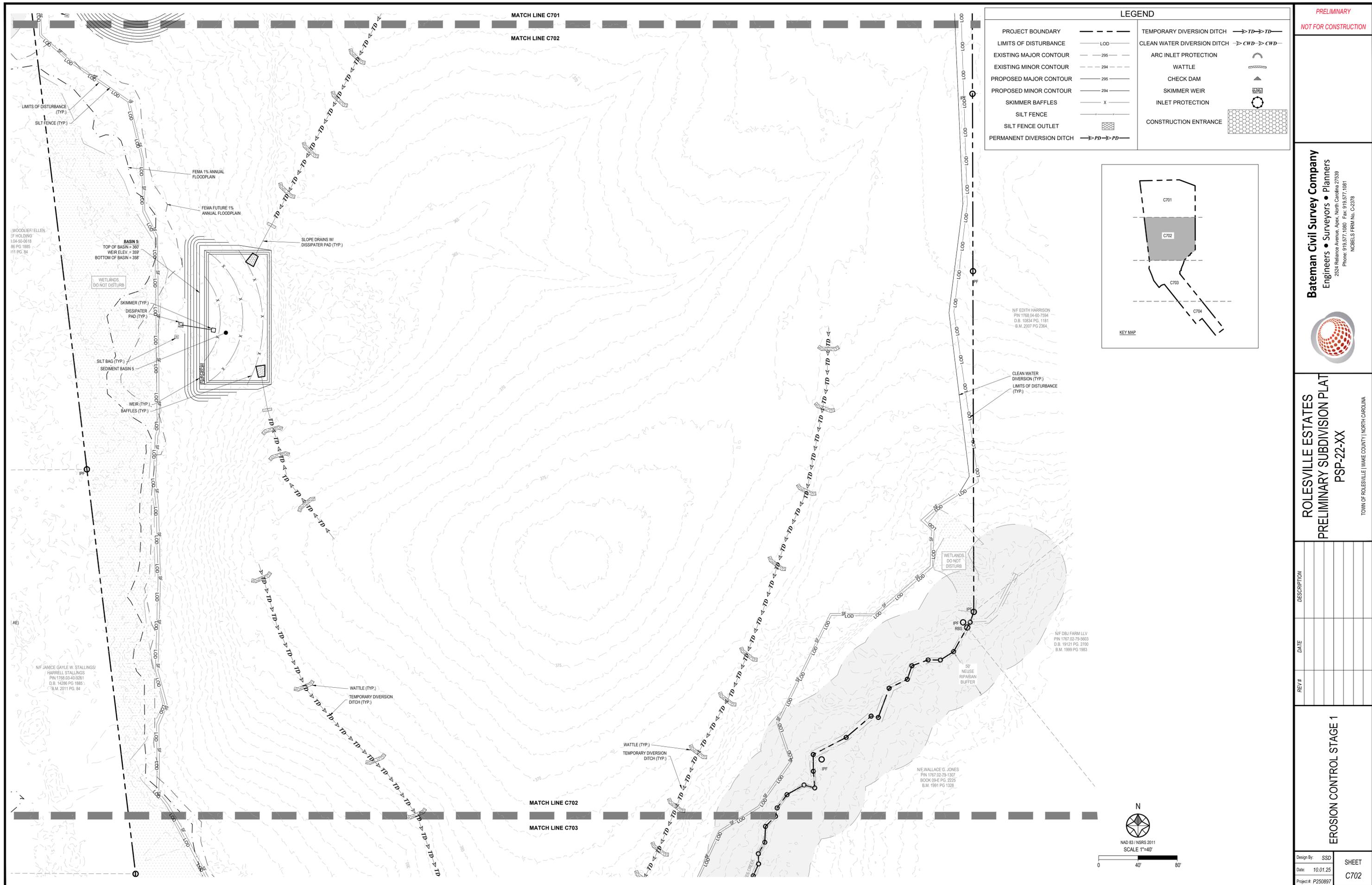


47

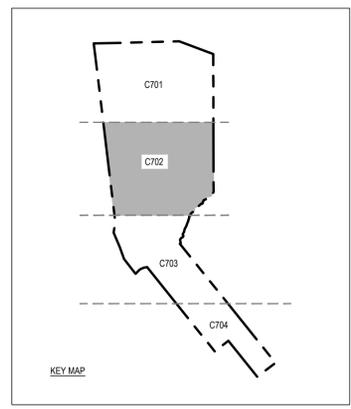
CRITICAL ROOT ZONE WILL  
BE DELINEATED BY AN  
ARBORIST BEFORE  
CONSTRUCTION DRAWINGS  
ARE SUBMITTED







LEGEND	
PROJECT BOUNDARY	---
LIMITS OF DISTURBANCE	LOD
EXISTING MAJOR CONTOUR	--- 295 ---
EXISTING MINOR CONTOUR	--- 294 ---
PROPOSED MAJOR CONTOUR	--- 295 ---
PROPOSED MINOR CONTOUR	--- 294 ---
SKIMMER BAFFLES	X
SILT FENCE	---
SILT FENCE OUTLET	---
PERMANENT DIVERSION DITCH	→ PD → PD ←
TEMPORARY DIVERSION DITCH	→ TD → TD ←
CLEAN WATER DIVERSION DITCH	→ CWD → CWD ←
ARC INLET PROTECTION	⤿
WATTLE	
CHECK DAM	▲
SKIMMER WEIR	⊕
INLET PROTECTION	⊙
CONSTRUCTION ENTRANCE	⊞



WOODLEIF ELLEN  
SF HOLDING  
3.04-50-0618  
86 PG 1885  
111 PG 84

FEMA 1% ANNUAL FLOODPLAIN  
FEMA FUTURE 1% ANNUAL FLOODPLAIN

BASIN 5:  
TOP OF BASIN = 367  
WEIR ELEV = 367  
BOTTOM OF BASIN = 358

WETLANDS  
DO NOT DISTURB

SKIMMER (TYP.)  
DISSIPATER PAD (TYP.)

SILT BAG (TYP.)  
SEDIMENT BASIN 5

WEIR (TYP.)  
BAFFLES (TYP.)

SLOPE DRAINS W/  
DISSIPATER PAD (TYP.)

N/E EDITH HARRISON  
PIN 1768.04-60-7594  
D.B. 10834 PG. 1181  
B.M. 2007 PG 2364.

CLEAN WATER DIVERSION (TYP.)  
LIMITS OF DISTURBANCE (TYP.)

WETLANDS  
DO NOT DISTURB

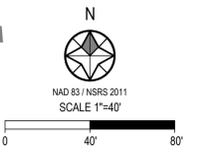
N/E DBJ FARM LLLP  
PIN 1767.02-79-5903  
D.B. 19124 PG. 2700  
B.M. 1999 PG 1983

N/E JANCE GAYLE W. STALLINGS/  
HARRELL STALLINGS  
PIN 1768.03-40-9261  
D.B. 14286 PG 1885  
B.M. 2011 PG. 84

WATTLE (TYP.)  
TEMPORARY DIVERSION  
DITCH (TYP.)

WATTLE (TYP.)  
TEMPORARY DIVERSION  
DITCH (TYP.)

N/E WALLACE G. JONES  
PIN 1767.02-79-1307  
BOOK 09-E PG. 2225  
B.M. 1991 PG 1328



PRELIMINARY  
NOT FOR CONSTRUCTION

**Bateman Civil Survey Company**  
Engineers • Surveyors • Planners  
2524 Reliance Avenue, Apex, North Carolina 27539  
Phone: 919.577.1080 Fax: 919.577.1081  
NCBELS FIRM No. C-2378



**ROLESVILLE ESTATES**  
PRELIMINARY SUBDIVISION PLAN  
PSP-22-XX  
TOWN OF ROLESVILLE | HAYES COUNTY | NORTH CAROLINA

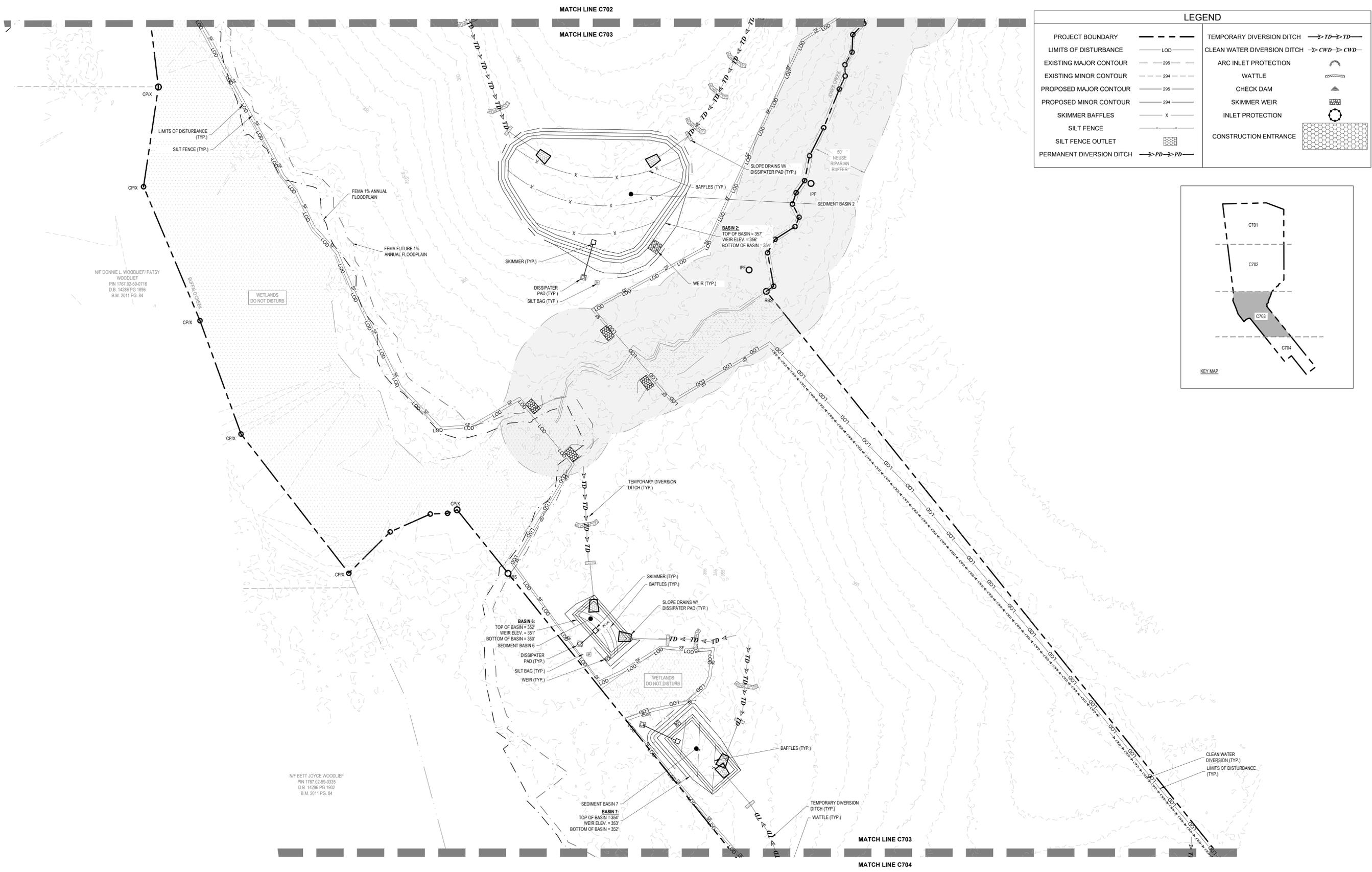
REV#	DATE	DESCRIPTION

**EROSION CONTROL STAGE 1**

Design By: SSD	SHEET
Date: 10.01.25	C702
Project #: P250897	

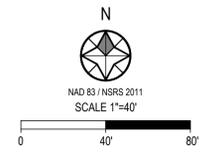
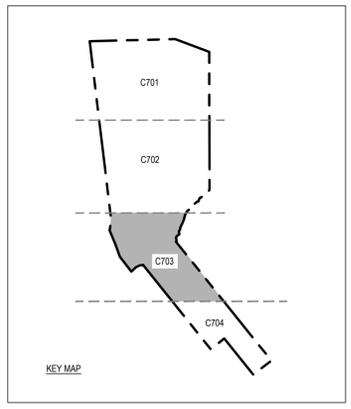


REV #	DATE	DESCRIPTION



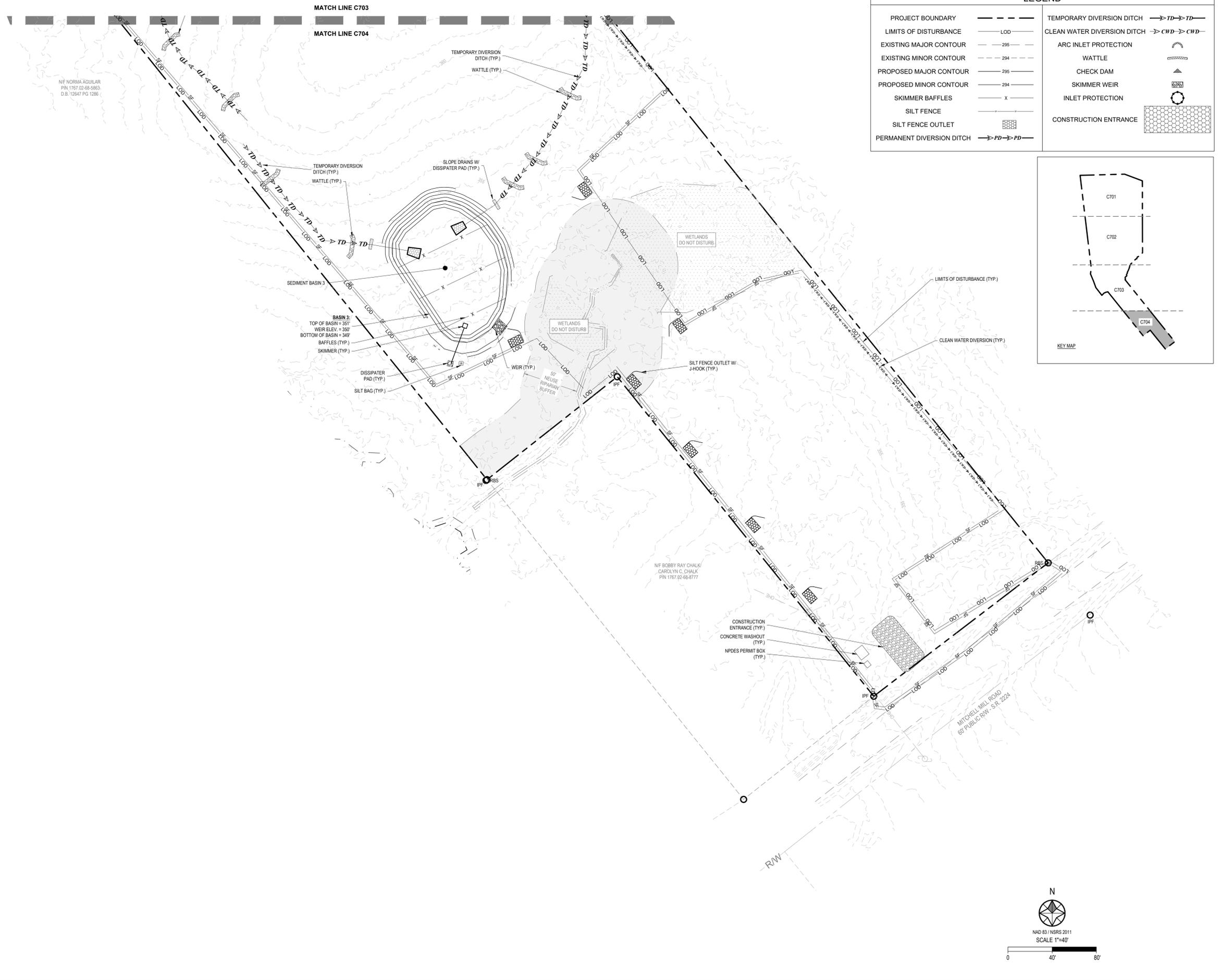
**LEGEND**

PROJECT BOUNDARY	---	TEMPORARY DIVERSION DITCH	→ TD → TD →
LIMITS OF DISTURBANCE	---	CLEAN WATER DIVERSION DITCH	→ CWD → CWD →
EXISTING MAJOR CONTOUR	---	ARC INLET PROTECTION	⌒
EXISTING MINOR CONTOUR	---	WATTLE	⌒
PROPOSED MAJOR CONTOUR	---	CHECK DAM	▲
PROPOSED MINOR CONTOUR	---	SKIMMER WEIR	⌒
SKIMMER BAFFLES	X	INLET PROTECTION	⊙
SILT FENCE	---	CONSTRUCTION ENTRANCE	⊙
SILT FENCE OUTLET	---		
PERMANENT DIVERSION DITCH	→ PD → PD →		



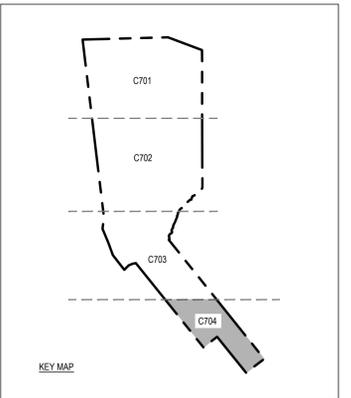
NF DONNIE L. WOODLIEF/PATSY WOODLIEF  
PIN 1787 02-69-0716  
D.B. 14286 PG. 1896  
B.M. 2011 PG. 84

NF BETT JOYCE WOODLIEF  
PIN 1787 02-69-0305  
D.B. 14286 PG. 1902  
B.M. 2011 PG. 84



**LEGEND**

PROJECT BOUNDARY	---	TEMPORARY DIVERSION DITCH	→ TD → TD →
LIMITS OF DISTURBANCE	--- LOD ---	CLEAN WATER DIVERSION DITCH	→ CWD → CWD →
EXISTING MAJOR CONTOUR	--- 295 ---	ARC INLET PROTECTION	⌢
EXISTING MINOR CONTOUR	--- 294 ---	WATTLE	⌢
PROPOSED MAJOR CONTOUR	--- 295 ---	CHECK DAM	⌢
PROPOSED MINOR CONTOUR	--- 294 ---	SKIMMER WEIR	⌢
SKIMMER BAFFLES	X	INLET PROTECTION	⌢
SILT FENCE	---	CONSTRUCTION ENTRANCE	⌢
SILT FENCE OUTLET	---		
PERMANENT DIVERSION DITCH	→ PD → PD →		



PRELIMINARY  
NOT FOR CONSTRUCTION

**Bateman Civil Survey Company**  
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2524 Reliance Avenue, Apex, North Carolina 27539  
Phone: 919.577.1080 Fax: 919.577.1081  
NCBELS FIRM No. C-2378

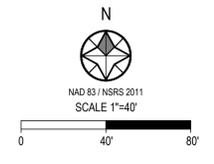
**ROLESVILLE ESTATES**  
PRELIMINARY SUBDIVISION PLAN  
PSP-22-XX  
TOWN OF ROLESVILLE | WAKE COUNTY | NORTH CAROLINA

REV #	DATE	DESCRIPTION

**EROSION CONTROL STAGE 1**

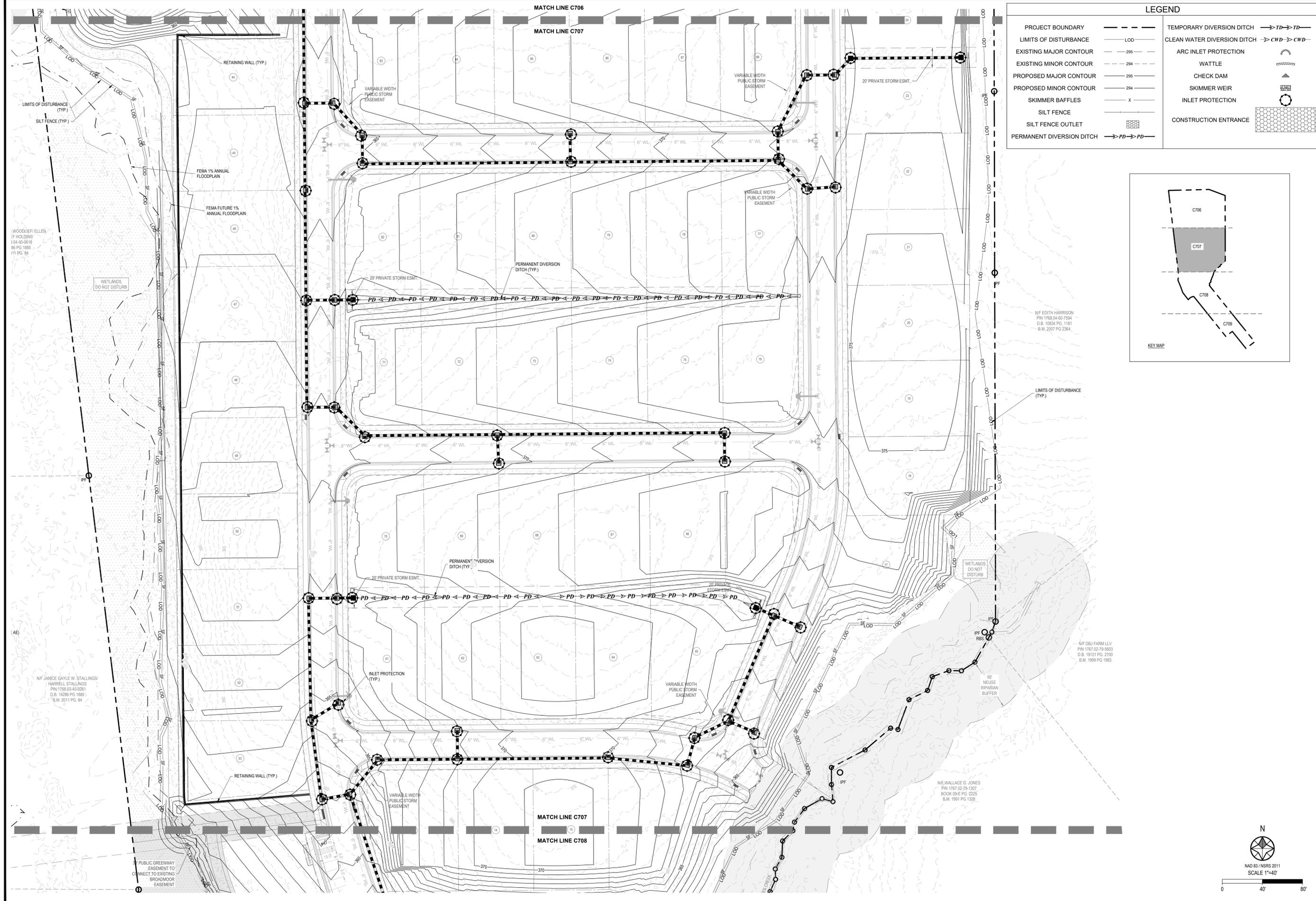
Design By: SSD  
Date: 10.01.25  
Project #: P250897

SHEET  
C704

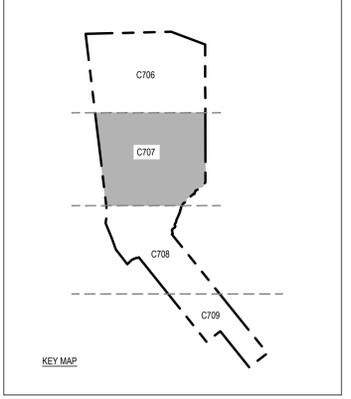








LEGEND	
PROJECT BOUNDARY	---
LIMITS OF DISTURBANCE	LOD
EXISTING MAJOR CONTOUR	--- 295 ---
EXISTING MINOR CONTOUR	--- 294 ---
PROPOSED MAJOR CONTOUR	--- 295 ---
PROPOSED MINOR CONTOUR	--- 294 ---
SKIMMER BAFFLES	X
SILT FENCE	---
SILT FENCE OUTLET	---
PERMANENT DIVERSION DITCH	PD → PD
TEMPORARY DIVERSION DITCH	TD → TD
CLEAN WATER DIVERSION DITCH	CWD → CWD
ARC INLET PROTECTION	---
WATTLE	---
CHECK DAM	---
SKIMMER WEIR	---
INLET PROTECTION	---
CONSTRUCTION ENTRANCE	---



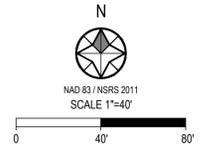
WOODLEY ELLEN  
SF HOLDING  
3.04-50-0618  
86 PG 1885  
1/1 PG 84

N/F JANICE GAYLE W. STALLINGS/  
HARRELL STALLINGS  
PIN 1768.03-40-0261  
D.B. 14286 PG 1885  
B.M. 2011 PG 84

N/F EDITH HARRISON  
PIN 1768.04-60-7594  
D.B. 10834 PG 1181  
B.M. 2007 PG 2364

N/F DBJ FARM LLLP  
PIN 1767.02-79-5903  
D.B. 19124 PG 3700  
B.M. 1999 PG 1983

N/F WALLACE G. JONES  
PIN 1767.02-79-1307  
BOOK 09-E PG. 2225  
B.M. 1991 PG 1328



PRELIMINARY  
NOT FOR CONSTRUCTION

**Bateman Civil Survey Company**  
Engineers • Surveyors • Planners  
2524 Reliance Avenue, Apex, North Carolina 27539  
Phone: 919.577.1000 Fax: 919.577.1081  
NCBELS FIRM No. C-2378



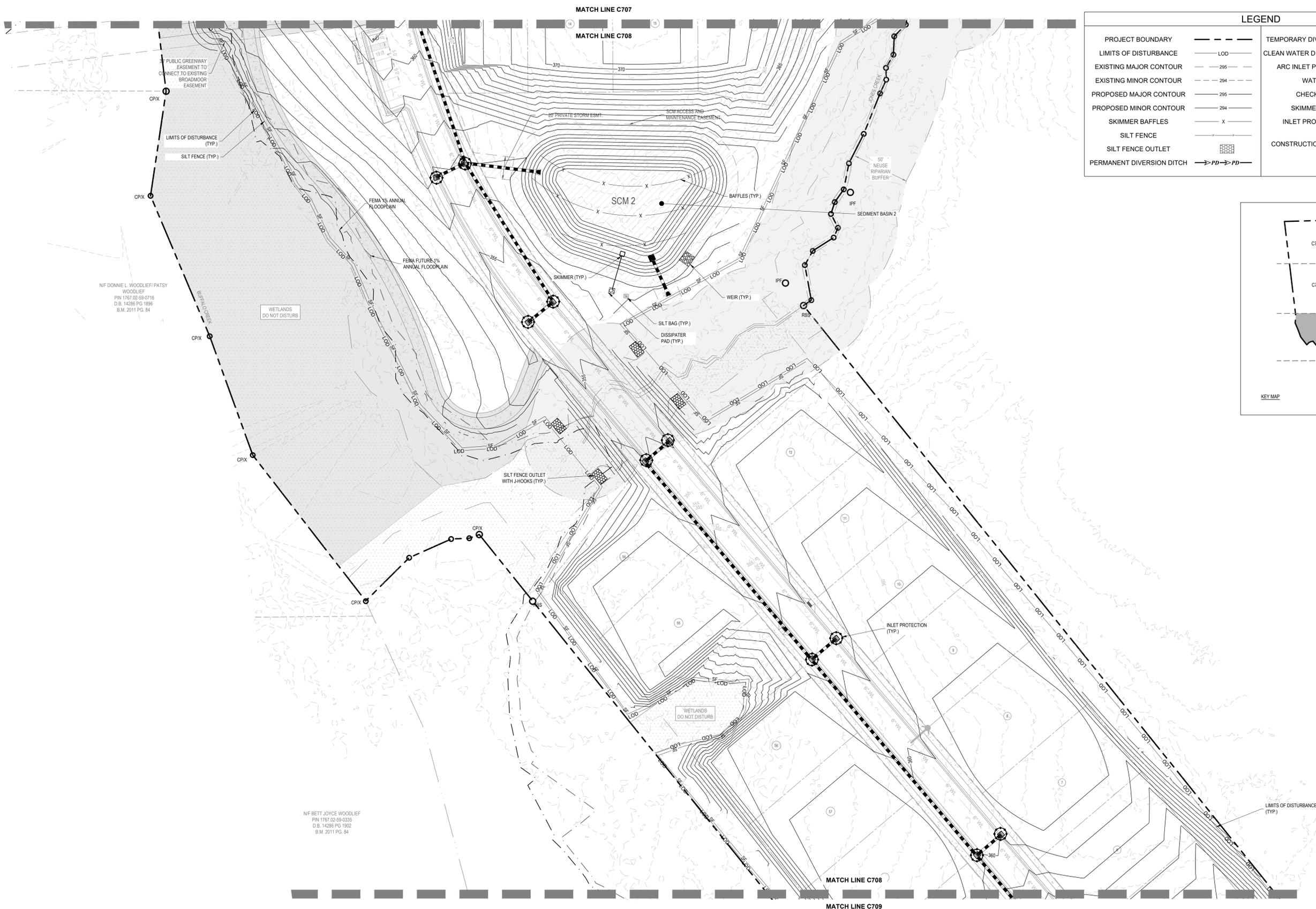
**ROLESVILLE ESTATES**  
PRELIMINARY SUBDIVISION PLAT  
PSP-22-XX  
TOWN OF ROLESVILLE | HAME COUNTY | NORTH CAROLINA

REV.#	DATE	DESCRIPTION

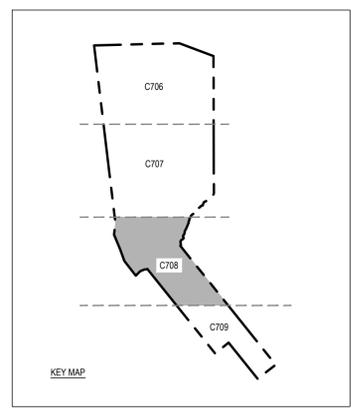
EROSION CONTROL STAGE 2

50

Design By: SSD SHEET  
Date: 10.01.2017  
Project #: P250897

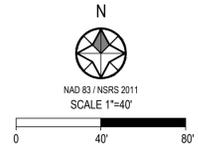


LEGEND	
PROJECT BOUNDARY	--- PD --- PD ---
LIMITS OF DISTURBANCE	--- LOD ---
EXISTING MAJOR CONTOUR	--- 295 ---
EXISTING MINOR CONTOUR	--- 294 ---
PROPOSED MAJOR CONTOUR	--- 295 ---
PROPOSED MINOR CONTOUR	--- 294 ---
SKIMMER BAFFLES	X
SILT FENCE	--- SF ---
SILT FENCE OUTLET	--- SF ---
PERMANENT DIVERSION DITCH	--- PD --- PD ---
TEMPORARY DIVERSION DITCH	--- TD --- TD ---
CLEAN WATER DIVERSION DITCH	--- CWD --- CWD ---
ARC INLET PROTECTION	--- Arc ---
WATTLE	--- Wattle ---
CHECK DAM	--- Check Dam ---
SKIMMER WEIR	--- Skimmer Weir ---
INLET PROTECTION	--- Inlet Protection ---
CONSTRUCTION ENTRANCE	--- Construction Entrance ---



NF DONNIE L. WOODLIEF/PATSY WOODLIEF  
PIN 1787 02-69-0716  
D.B. 14286 PG. 1896  
B.M. 2011 PG. 84

NF BETT JOWCE WOODLIEF  
PIN 1787 02-69-0305  
D.B. 14286 PG. 1902  
B.M. 2011 PG. 84



**Bateman Civil Survey Company**  
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2524 Reliance Avenue, Apex, North Carolina 27539  
Phone: 919.577.1080 Fax: 919.577.1081  
NCBELS FIRM No. C-2378

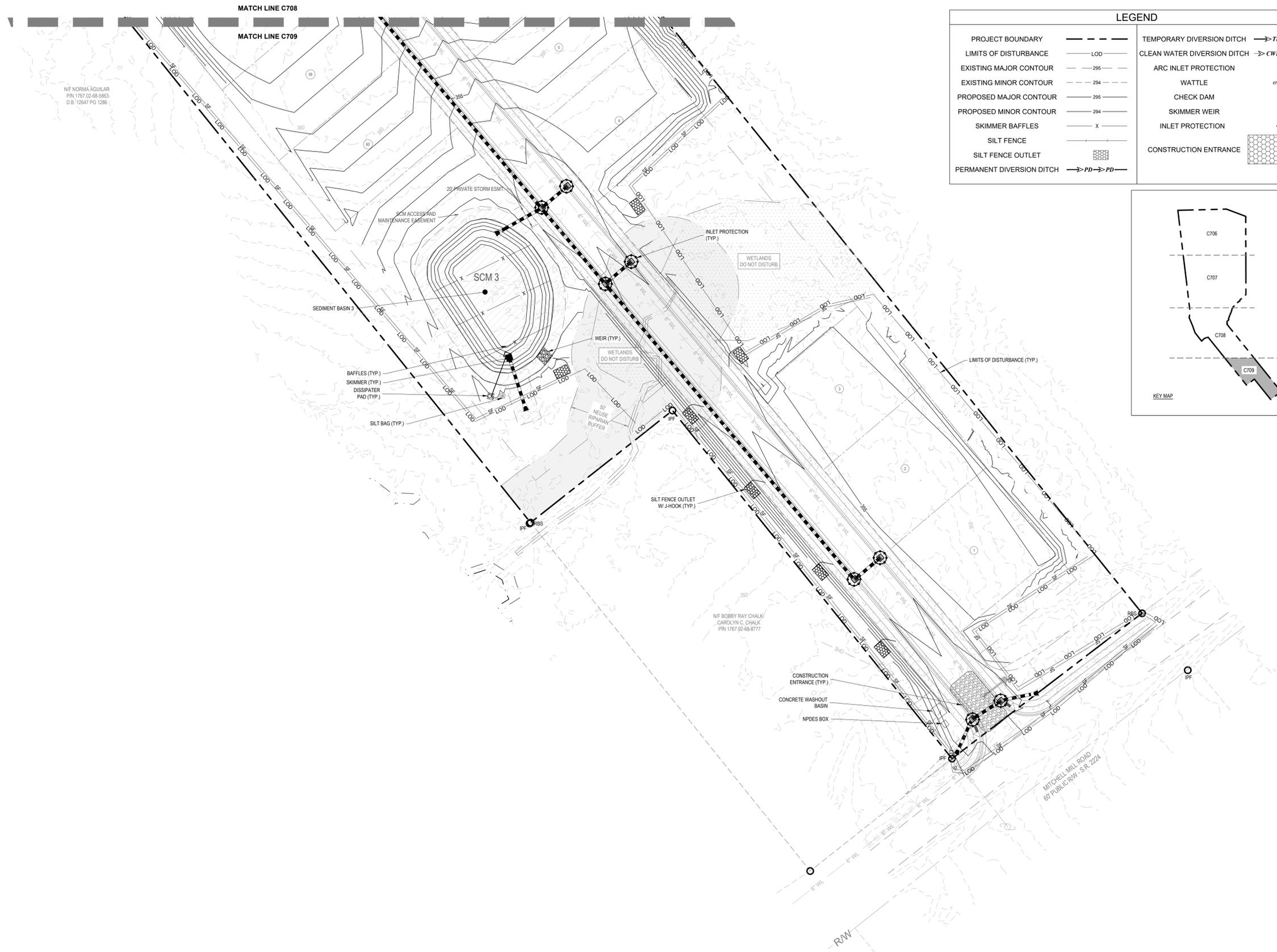


**ROLESVILLE ESTATES**  
PRELIMINARY SUBDIVISION PLAN  
PSP-22-XX  
TOWN OF ROLESVILLE | WAKE COUNTY | NORTH CAROLINA

REV #	DATE	DESCRIPTION

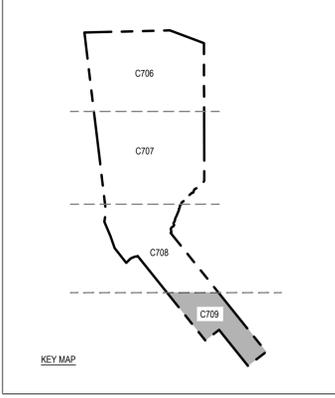
EROSION CONTROL STAGE 2

Design By: SSD	SHEET
Date: 10.01.08	
Project #: P250897	



**LEGEND**

PROJECT BOUNDARY	---	TEMPORARY DIVERSION DITCH	→ TD → TD →
LIMITS OF DISTURBANCE	---	CLEAN WATER DIVERSION DITCH	→ CWD → CWD →
EXISTING MAJOR CONTOUR	---	ARC INLET PROTECTION	⌒
EXISTING MINOR CONTOUR	---	WATTLE	⌒
PROPOSED MAJOR CONTOUR	---	CHECK DAM	▲
PROPOSED MINOR CONTOUR	---	SKIMMER WEIR	⌒
SKIMMER BAFFLES	X	INLET PROTECTION	⊙
SILT FENCE	---	CONSTRUCTION ENTRANCE	⊞
SILT FENCE OUTLET	⊞		
PERMANENT DIVERSION DITCH	→ PD → PD →		



PRELIMINARY  
NOT FOR CONSTRUCTION

**Bateman Civil Survey Company**  
Engineers • Surveyors • Planners  
2524 Reliance Avenue, Apex, North Carolina 27539  
Phone: 919.577.1000 Fax: 919.577.1081  
NCBELS FIRM No. C-2378



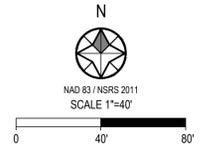
**ROLESVILLE ESTATES**  
PRELIMINARY SUBDIVISION PLAN  
PSP-22-XX  
TOWN OF ROLESVILLE | WAKE COUNTY | NORTH CAROLINA

REV #	DATE	DESCRIPTION

**EROSION CONTROL STAGE 2**

Design By: SSD  
Date: 10.01.09  
Project #: P250897

SHEET



**Consent is required from the property owner(s) or legal representative. Unless otherwise specified, consent is valid for one year from the date of application.**

Please provide a separate form for each parcel number. For properties with multiple owners, an individual form must be completed for each owner. (A husband and wife may both sign and submit one form.)

**Project/ Subdivision Name:** Rolesville Estates  
**Site Address:** 6520 Fowler Rd  
**Parcel ID:** 1768602816      **Deed Reference:** DB 001730 PG 00526

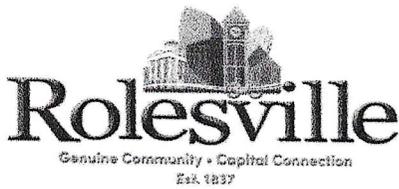
**Financially Responsible Party \*This field is required.**  
**Name:** Bill Harrell      **Signature:** \_\_\_\_\_  
(type or print clearly)  
**Company Name:** Hopper Communities      **Title:** Raleigh Development Partner  
**Mailing Address:** 2403 Medway Drive      **City/State/Zip:** Raleigh, NC 27608  
**Phone:** 919-618-9929      **Email:** bharrell@hoppercommunities.com

Applicant     Owner     P.O.A.     Agent     Legal Representative  
**Check all that apply.**

1). **Name:** Barbara Ann Jones Richards      **Signature:** Barbara J. Richards by  
(type or print clearly)      Ang R. Harrison  
**Mailing Address:** 7925 Stony Hill Rd      **City/State/Zip:** Wake Forest, NC 27587      AEF  
**Phone:** 919-815-8914      **Email:** WooChee93@gmail.com

2). **Name:** \_\_\_\_\_      **Signature:** \_\_\_\_\_  
(type or print clearly) (spouse if applicable)  
**Mailing Address:** \_\_\_\_\_      **City/State/Zip:** \_\_\_\_\_  
**Phone:** \_\_\_\_\_      **Email:** \_\_\_\_\_

**By signing the above, I swear and affirm that I am the owner(s) or authorized representative as shown in the records of Wake County, North Carolina, which is the subject of this application. I further affirm that I am fully aware of the Town's application, fees, and procedural requirements, and I consent to this Application. I authorize the person(s) listed below to submit this Application and serve as the representative and point of contact for this Application.**



Town of Rolesville Planning Department
Property Owner Consent & Authorization Form
planning@rolesvillenc.gov

Consent is required from the property owner(s) or legal representative. Unless otherwise specified, consent is valid for one year from the date of application.

Please provide a separate form for each parcel number. For properties with multiple owners, an individual form must be completed for each owner. (A husband and wife may both sign and submit one form.)

Project/ Subdivision Name: Rolesville Estates
Site Address: 6521 Mitchell Mill Rd
Parcel ID: 1767696199 Deed Reference: DB 001386 PG 00356

Financially Responsible Party \*This field is required.
Name: Bill Harrell Signature:
Company Name: Hopper Communities Title: Raleigh Development Partner
Mailing Address: 2403 Medway Drive City/State/Zip: Raleigh, NC 27608
Phone: 919-618-9929 Email: bharrell@hoppercommunities.com

Applicant [x] Owner [ ] P.O.A. [ ] Agent [ ] Legal Representative [ ]
Check all that apply.
1). Name: Barbara Ann Jones Richards Signature: Barbara J. Richards
Mailing Address: 7925 Stony Hill Rd City/State/Zip: Wake Forest, NC 27587
Phone: 919-815-8914 Email: WooChee93@gmail.com
2). Name: Signature:
Mailing Address: City/State/Zip:
Phone: Email:

By signing the above, I swear and affirm that I am the owner(s) or authorized representative as shown in the records of Wake County, North Carolina, which is the subject of this application. I further affirm that I am fully aware of the Town's application, fees, and procedural requirements, and I consent to this Application. I authorize the person(s) listed below to submit this Application and serve as the representative and point of contact for this Application.

# Development Plan Review Application

Town of Rolesville Planning Department | PO Box 250 | Rolesville, NC 27571 | 919-554-6517 | [planning@rolesville.nc.gov](mailto:planning@rolesville.nc.gov)

Planning Department Home Page: [Official Town Webpage](#)

**PROJECT & PLAN INFORMATION:**

<input checked="" type="checkbox"/> Preliminary Subdivision Plat (PSP)		<input type="checkbox"/> Site Development Plan (SDP)	
<input type="checkbox"/> Construction Infrastructure Drawings (CID)		<input type="checkbox"/> Final Subdivision Plat (FSP)	
Submittal #: <input checked="" type="checkbox"/> Original <input type="checkbox"/> 2 <sup>nd</sup> <input type="checkbox"/> 3 <sup>rd</sup> <input type="checkbox"/> Other _____ OR <input type="checkbox"/> Revision to Previously Approved ( _____ ) If a resubmittal, revisions to the plan must be clouded and a comment response letter must be provided for the resubmittal to be complete.			
Legal Description (Book of Maps if platted, or Register of Deeds Bk/Pg if not): DB 001386 PG 00356 & DB 001730 PG 00526			
Proposed Project Name: Rolesville Estates		Site Address: 6520 Fowler Rd / 6521 Mitchell Mill Rd	
PIN(s) or REID(s): 1768602816/ 1767696199		Site Area (in acres): 46.11 AC	
Associated Previous Case Number(s): REZ-24-04		Current Use(s): Vacant	
Zoning District(s): RH-CZ		Zoning and/or Watershed Overlay(s): N/A	
Proposed # of New Lots (Residential or Nonresidential): 94		Proposed Residential Dwelling Units: 94 UNITS - 2.20 UNITS/ACRE Proposed Residential Density:	
Summary Description of Proposed Use / Project:			

**APPLICATION REQUIREMENTS** - the following documents by the submittal deadline to be considered complete and ready for review. Additional supporting documents may be requested by the TRC Staff case by case.

<input checked="" type="checkbox"/> Completed Application & Specific application checklist .	<input type="checkbox"/> Sketch/Pre-Submittal meeting notes (if applicable).
<input checked="" type="checkbox"/> PDF's (Flattened, < than 100MB) of any/all documents	<input checked="" type="checkbox"/> Any approved/recorded Special Use Permits, Variances, etc.
<input checked="" type="checkbox"/> FIRM panel, USGS, and Soil Survey Maps, as applicable.	<input checked="" type="checkbox"/> Traffic Impact Analysis, ITE Traffic Generation Letter, or Letter/Email from Planning staff confirming one is <u>not</u> required
Note: INVOICE issued for the Application fee payment during the completeness check or following application review.	

Financially Responsible Party Hopper Communities, Inc. - Bill Harrell

(\*that who receives and will pay Invoices for the Actual Cost Consultant Review Fees\*)

Mailing Address 2403 Medway Drive  
 Phone 919-618-9929

City/State/Zip Raleigh, NC 27608  
 Email bharrell@hoppercommunities.com

Property Owner (PRINT) Barbara Ann Jones Richards

(if more than 1 use separate sheet)

Property Owner (Signature) Barbara Jones Richards by: Amy F. Harrison AIF

Mailing Address 7925 Stony Hill Rd  
 Phone 919-815-8914

City/State/Zip Wake Forest, NC 27587  
 Email WooChee93@gmail.com

Applicant / Engineer / Architect / Attorney / Agents

Name: Bill Harrell Phone: 919-618-9929  
 Email: bharrell@hoppercommunities.com

Name: Eva King, PE Phone: 919-577-1080

Email: e.king@batemancivilsurvey.com

Name: Sean Hein, PE, PLS Phone: 919-577-1080

Email: s.hein@batemancivilsurvey.com

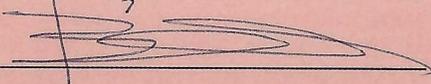


Town of Rolesville Planning Department  
 Property Owner Consent & Authorization Form  
 planning@rolesvillenc.gov

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Project/ Subdivision Name: Rolesville Estates  
 Site Address: 6520 Fowler Rd  
 Parcel ID: 1768602816 Deed Reference: DB 001730 PG 00526

Financially Responsible Party **\*This field is required**  
 Name: Bill Harrell Signature:   
 (type or print clearly)  
 Company Name: Hopper Communities Title: Raleigh Development Partner  
 Mailing Address: 2403 Medway Drive City/State/Zip: Raleigh, NC 27608  
 Phone: 919-618-9929 Email: bharrell@hoppercommunities.com

Applicant  Owner  P.O.A.  Agent  Legal Representative  
**Check all that apply.**

1). Name: Barbara Ann Jones Richards Signature: \_\_\_\_\_  
 (type or print clearly)  
 Mailing Address: 7925 Stony Hill Rd City/State/Zip: Wake Forest, NC 27587  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

2). Name: \_\_\_\_\_ Signature: \_\_\_\_\_  
 (type or print clearly) (spouse if applicable)  
 Mailing Address: \_\_\_\_\_ City/State/Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**By signing the above, I swear and affirm that I am the owner(s) or authorized representative as shown in the records of Wake County, North Carolina, which is the subject of this application. I further affirm that I am fully aware of the Town's application, fees, and procedural requirements, and I consent to this Application. I authorize the person(s) listed below to submit this Application and serve as the representative and point of contact for this Application.**

[https://rolesvillenc-my.sharepoint.com/personal/mraby\\_rolesvillenc\\_gov/Documents/Desktop/Master Forms/Property Owner Consent Form/Property Owner Consent Form.docx](https://rolesvillenc-my.sharepoint.com/personal/mraby_rolesvillenc_gov/Documents/Desktop/Master Forms/Property Owner Consent Form/Property Owner Consent Form.docx)



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Property Owner Consent & Authorization Form
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Project/ Subdivision Name: Rolesville Estates
Site Address: 6521 Mitchell Mill Rd
Parcel ID: 1767696199 Deed Reference: DB 001386 PG 00356

Financially Responsible Party \*This field is required
Name: Bill Harrell Signature: [Signature]
Company Name: Hopper Communities Title: Raleigh Development Partner
Mailing Address: 2403 Medway Drive City/State/Zip: Raleigh, NC 27608
Phone: 919-618-9929 Email: bharrell@hoppercommunities.com

Applicant [ ] Owner [x] P.O.A. [ ] Agent [ ] Legal Representative [ ]
Check all that apply.
1). Name: Barbara Ann Jones Richards Signature:
Mailing Address: 7925 Stony Hill Rd City/State/Zip: Wake Forest, NC 27587
Phone: Email:
2). Name: Signature:
Mailing Address: City/State/Zip:
Phone: Email:

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https://rolesvillenc-my.sharepoint.com/personal/mraby\_rolesvillenc\_gov/Documents/Desktop/Master Forms/Property Owner Consent Form/Property Owner Consent Form.docx

# ROLESVILLE ESTATES

## PRELIMINARY SUBDIVISION PLAT

PSP-25-XX

SUBMITTAL 1: 10.01.25

REZ 24-04

6520 FOWLER ROAD & 6521 MITCHELL MILL ROAD

TOWN OF ROLESVILLE

WAKE COUNTY, NORTH CAROLINA

PERMITS AND APPROVALS		
TYPE	PERMIT NUMBER	DATE
TOWN OF ROLESVILLE - REZONING	REZ-24-04	AUG 5, 2025
TOWN OF ROLESVILLE - PSP		
TOWN OF ROLESVILLE - STORMWATER		
TOWN OF ROLESVILLE - EROSION CONTROL		
CITY OF RALEIGH - SEWER		
CITY OF RALEIGH - WATER		
TOWN OF ROLESVILLE - CID		
NCDOT - DRIVEWAY		
NCDOT - ENCROACHMENT		
NCDEQ 401		
USACE 404		



VICINITY MAP

SCALE: 1" = 1,000'

**EXHIBIT B**

**Fowler Road Rezoning Conditions  
July 16, 2025**

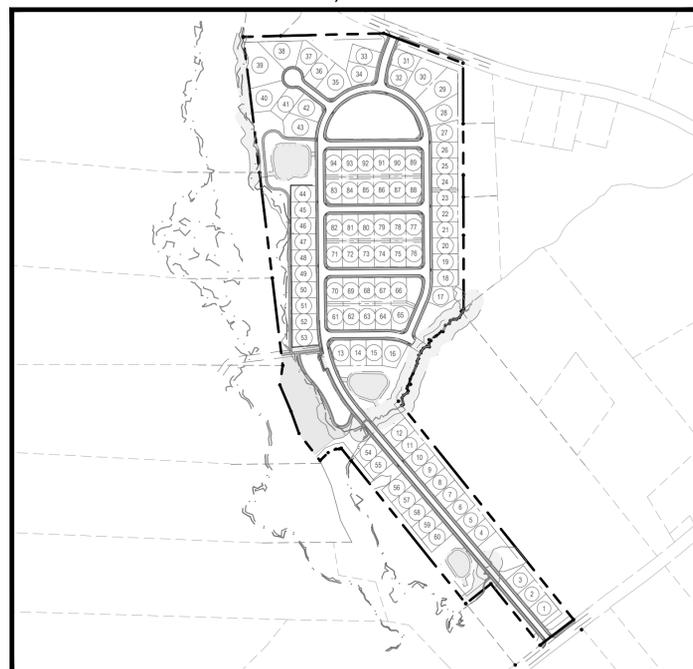
- The development of the property shall be in substantial conformance with the accompanying Concept Plan. Locations shown for committed elements including, but not limited to greenways, streets, and open areas shown on the Concept Plan, may be adjusted to conform to LDO requirements or as permitted as a minor adjustment by the Land Development Administrator.
- The following uses shall be prohibited:
  - Dwelling, single-family attached;
  - Dwelling, double family;
  - Dwelling, multiple family;
  - Boarding House/Dormitory;
  - Family Care Facility;
  - Live-work unit;
  - Residential Care; and
  - Telecommunications tower.
- There shall be a maximum of 100 single-family detached units.
- All single-family detached dwellings shall adhere to the following conditions:
  - Siding Material:**
    - If masonry (such as brick veneer or faux stone product) is not the predominant first floor finish (greater than 50%), then the front elevation shall have at least two (2) styles of fiber cement siding (i.e. lap, shake, or board and batten, etc.);
    - Vinyl material is prohibited except for soffits, fascia, and corner boards;
    - No dwelling unit shall be constructed with an exterior elevation or color palette that is identical to the dwelling unit on either side or directly across the street.
  - Garages:** A minimum 2-car side-by-side (not tandem) garage shall be provided;

**EXHIBIT B**

**Fowler Road Rezoning Conditions  
July 16, 2025**

- Roofs:** Roof materials shall be asphalt shingles, metal, copper, wood, or a combination of these materials.
- Building Foundations:**
  - Building foundations along the front facade shall have an exposed height above finished grade of at least 18" and must be finished with masonry product such as brick veneer or faux stone product.
  - Any foundation facing a public street must be finished with masonry product such as brick veneer or faux stone product.
- Rear Yard Amenity:** An unenclosed patio, deck, or screened-in porch of at least 64 square feet.
- Pollinator Garden:** The development shall include at least one pollinator garden. The pollinator garden shall be a landscaped garden in which at least seventy five percent (75%) of all plants, excluding grasses, are native milkweeds and other nectar-rich flowers. The final location(s) of pollinator garden shall be determined at subsequent stages of approval and will be identified on the landscape plan submitted with the construction drawings. The pollinator garden shall be constructed prior to the issuance of the 75<sup>th</sup> residential building permit.
- Community Amenities:** The development shall include one tot-lot and one dog park. Locations will be determined at subsequent stages of approval and will be identified on the construction drawings. The tot-lot and dog park shall be constructed prior to the issuance of the 75<sup>th</sup> residential building permit.
  - the area dedicated to the Town of Rolesville shall be credited to this project as active open space;
  - the area dedicated to the Town of Rolesville shall count toward the Town's recreation open space dedication requirements; and
  - the developer shall be relieved of the obligation to construct any improvements within the Dedicated Park Land that are shown on the Concept Plan.

[SIGNATURE PAGE FOLLOWS]



PROJECT PLAN

SCALE: 1" = 400'

**OWNER:**

BARBARA ANN JONES RICHARDS  
7925 STONY HILL ROAD  
WAKE FOREST, NC 17587

**DEVELOPER:**

HOPPER COMMUNITIES  
CONTACT: BILL HARRELL  
2403 MEDWAY DRIVE  
RALEIGH, NC 27608  
P: 919.618.9929

**ENGINEER:**

BATEMAN CIVIL SURVEY COMPANY  
EVA KING, PE  
2524 RELIANCE AVE.  
APEX, NC 27539  
P: 919.557.1080 #144

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE TOWN OF ROLESVILLE, NORTH CAROLINA AND THAT THIS PLAT HAS BEEN APPROVED BY THE SUBDIVISION ADMINISTRATION OF THE TOWN OF ROLESVILLE FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS OF WAKE COUNTY.

SUBDIVISION ADMINISTRATOR, TOWN OF ROLESVILLE

DATE \_\_\_\_\_

ROLESVILLE, NORTH CAROLINA

I, \_\_\_\_\_, REVIEW OFFICER OF THE TOWN OF ROLESVILLE, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

DATE \_\_\_\_\_ REVIEW OFFICER \_\_\_\_\_



**Bateman Civil Survey Company**

Engineers • Surveyors • Planners

2524 Reliance Avenue, Apex, North Carolina 27539  
Phone: 919.577.1080 Fax: 919.577.1081  
NCBELS FIRM No. C-2378

SITE DATA	
OWNER	RICHARDS, BARBARA ANN JONES
SITE ADDRESS	7925 STONY HILL RD
DEED BOOK / PAGE	WAKE FOREST NC 27587-7514
PIN	1730 / 526
REAL ID	1768602816
	37538
OWNER	RICHARDS, BARBARA ANN JONES
SITE ADDRESS	7925 STONY HILL RD
DEED BOOK / PAGE	WAKE FOREST NC 27587-7514
PIN	1386 / 356
REAL ID	1767696199
	59680
ACREAGE	46.11 AC
EXISTING USE	VACANT
ZONING	RH-CZ
JURISDICTION	TOWN OF ROLESVILLE ETJ
RIVER BASIN	NEUSE
FEMA MAP	MAP# 3720176800K, 3720176600K DATED 07/19/2022
DEVELOPMENT TYPE - RESIDENTIAL	
JURISDICTION	TOWN OF ROLESVILLE
PROPOSED USE	SINGLE FAMILY RESIDENTIAL
MAXIMUM DENSITY ALLOWED	6 DU/AC
PROPOSED MAXIMUM DENSITY	2.2 DU/AC
MAXIMUM NUMBER OF LOTS ALLOWED	100 UNITS
NUMBER OF LOTS PROPOSED	94 UNITS
MIN. LOT AREA REQUIRED	7,500 SF
MIN. SED LOT AREA PROPOSED	9,000 SF
PROPOSED LOT WIDTH	75'
BUILDING SETBACKS - TYPE OF USE	
PRIMARY STREET	15'
SIDE STREET	15'
SIDE LOT LINE	15'
REAR LOT LINE	10'
PARKING	
PARKING CALCS.	1 SPACE / 20 MAILBOXES
PARKING REQUIRED	XX SPACES
PARKING PROVIDED	7 SPACES
ADA PARKING CALCS.	1 TO 25 = 1
ADA PARKING REQUIRED	1 SPACE
ADA PARKING PROVIDED	1 SPACE
IMPERVIOUS	
NET TRACT AREA	46.11 AC (2,008,357 SF)
ROW DEDICATION	16,468 SF
NEW TRACT AREA	45.73 AC
EXISTING IMPERVIOUS	0.086 AC (3,765 SF)
TREE PROTECTION AREA	5.16 AC
OPEN SPACE	
OPEN SPACE REQUIRED	6.92 AC (15%)
OPEN SPACE PROPOSED	15.46 AC (35.87%)
ACTIVE OPEN SPACE	MINIMUM 3.46 AC (7.5%)

**SOURCES OF INFORMATION:**

- EXISTING SURVEY OF SITE PROVIDED BY ROBINSON & PLANTE, P.C., 970 TRINITY ROAD, RALEIGH, NC 27506, DATED 10/14/2024
- EXISTING LIDAR CONTOURS ONSITE AND OUTSIDE OF SITE FROM WAKE COUNTY IMPAS DATED 2025.
- PARCEL INFORMATION OUTSIDE OF SURVEYED BOUNDARY FROM WAKE COUNTY IMPAS DATED 2025
- PRELIMINARY WETLAND INFORMATION PROVIDED BY SOIL & ENVIRONMENTAL CONSULTANS, INC, 8412 FALLS OF NEUSE ROAD, SUITE 104, RALEIGH, NC 27615, DATED 8/9/2024

REV#	DATE	DESCRIPTION

Date:	10/01/2025
Project #:	P250897
SHEET	C000



KNOW WHAT IS BELOW  
CALL BEFORE YOU DIG

# Preliminary Subdivision Plat (PSP) Checklist

Town of Rolesville Planning Department | PO Box 250 | Rolesville, NC 27571 | 919-554-6517 | [planning@rolesvillenc.gov](mailto:planning@rolesvillenc.gov)

**Disclaimer: This checklist does not cover all codified requirements, but is intended to provide guidance based on best practices. Where applicable, requirements are referenced within the [Town of Rolesville Land Development Ordinance](#) and/or other State Ordinances. For items marked “YES”, instead of a “Check”, please place the sheet number where the requirement is shown.**

## APPLICATION REQUIREMENTS

The application shall include the following documents by the submittal deadline to be considered complete and ready for review. Additional supporting documents may be requested by the Case Planner or provided by the applicant.

<input type="checkbox"/> Completed Application & Specific application checklist.	<input type="checkbox"/> Completed Property Owner's Consent Form – 1 per Owner
<input type="checkbox"/> PDFs (Flattened, < than 100MB) of any/all documents	<input type="checkbox"/> Sketch/Pre-Submittal meeting notes (if applicable).
<input type="checkbox"/> FIRM panel, USGS, and Soil Survey Maps, as applicable.	<input type="checkbox"/> Any approved/recorded Special Use Permits, Variances, etc.
<input type="checkbox"/> Note: An invoice is issued for the application fee payment during the completeness check or following application review.	<input type="checkbox"/> Traffic Impact Analysis, ITE Traffic Generation Letter, or a Letter/Email from Planning staff confirming that one is not required.

#	TO BE COMPLETED BY APPLICANT	YES	N/A
<b>COVER SHEET</b>			
1.	Please confirm that the required items on the cover sheet example are demonstrated in the submission.		
2.	Project name / Title		
3.	Project number and submittal type ( <i>will be given at first review; place PSP-YR-XX as a placeholder on cover sheet</i> )		
4.	Date (original submittal and space for at least three re-submittals located in a table) – ideal location is the center of the sheet		
5.	Location (Address if available) and/or Vicinity map with north arrow and scale (min. 1"=1,000').		
6.	Sheet Index – include Column numerically numbering sheets (1,2,3...); spreads of like sheets permitted (ie, 5-12).		
7.	Overall development map (if part of larger project) with project area identified as a sub-part of (larger project)		
8.	Site Data Table including: Property Identification Numbers (PIN) for all properties, Book of Maps/Deed reference, Jurisdiction (Town limits or ETJ), Zoning/Overlay Districts, Watershed / River Basin, Current Use(s), Proposed Use (if known), Current Impervious, Proposed Impervious (if known), Tree Coverage Data; Open Space calculations Passive/Active; IF residential – lot density and unit data per housing type. Building Setbacks (min/max). Application references of previous approvals/entitlements; if Rezoning, Special Use Permit, or Variance conditions, etc., list them verbatim by reference in the title text box or superimpose on an additional sheet.		
9.	If located in a floodplain, provide the correct Flood Insurance Rate Map (FIRM) panel number and date.	X	
10.	Text Box of Contact information for the Owner, Applicant, and all consultants		
11.	Signature Block space – approx. 3"x4" for Town of Rolesville only		
<b>ALL OTHER SHEETS</b>			
1.	PSP-YR-XX reference in a common, visible spot, font size sufficient to be easily observed.		
2.	Include the numerical Sheet number per Cover Sheet Index (i.e., 5 of 80).		
3.	Title of project / Dimensions / Scale/north arrow		
4.	Professional seal		
5.	Revision Dates in an orderly Date table with side banner bar or other common location on all sheets.	X	
<b>EXISTING CONDITIONS AND/OR DEMOLITION PLAN SHEET(S) **RECENT SURVEY RECOMMENDED**</b>			
1.	Site size, metes & bounds of property boundary, Location Map (showing context of area of disturbance)		

2.	Site property information – Property Lines, Owner, PIN/REID, BM/, PG or Db/Pg, Zoning, acres, existing land use including recorded open space or common areas (including easements),		
3.	Adjacent property information – Owner, PIN/REID, BM/PG or Db/Pg, Zoning, acres, existing building footprints (within 20' of property boundary), existing land use.		
4.	Existing Site infrastructure: building footprints, loading areas, parking, driveways, alleys, streets (names & right-of-way widths), sidewalks, dumpsters, lighting, septic tanks, drain fields, wells, hydrants (within 500 feet of site), water meters, culverts (other subsurface features), utility or other easements (type, size, and whether public or private), railroads, cemeteries, etc. Include dimensions for all the above as applicable.		
5.	Topographic contours shall extend 100' past property limits.		
6.	Water features (name and location), stream buffers, drainage ways, wetlands, and other environmental features		
7.	Existing vegetation (with general description and location)		
8.	Demolition proposed (on this sheet or separate if existing conditions under demolition are illegible)		

**SITE LAYOUT SHEET(S)**

1.	Title of project / Dimensions / Scale/north arrow		
2.	Existing information to remain (clearly distinguish between existing and proposed conditions)		
3.	Lot Numbers (1,2,3) for every buildable lot to be created.		
4.	Open Space lots shall be labeled 'OS #'; Passive/Active calculations shall be shown in the Site Data Table.		
5.	Residential Amenity Center locations shall be labeled, i.e., 'Amenity #'.		
6.	Building Setback minimum dimensions per the zoning district [LDO Section 3]		
7.	Flood protection zones (if applicable)		
8.	IF Single-family detached/attached - Provide lot typicals, including drive location		
9.	Building separation dimensions for Single-family Attached dwelling buildings [LDO Section 3]		N/A
10.	If Single-family Attached (townhomes) - Parking calculations (vehicle, handicapped, guests, and bicycle) – LDO Section 6.4. <i>All non-residential development will detail parking on later Site Development Plans.</i>		N/A
11.	On street and off-street parking locations (customer, visitor, guest, amenity parking, etc., as applicable)		
12.	If applicable - Handicap aisles, spaces, signage, and accessible routes to the main entrance - labeled and dimensioned		
13.	Sight distance triangles – LDO Section 9.2 (10' x70' on all Collector roads and NCDOT required driveway permits)		
14.	Greenway Easement - lines and dimension call-outs; if Sidepath or Sidewalks NOT within right-of-ways, detail Easements. [LDO Section 6.2, Standard Engineering Manual]		
15.	Site layout shall comply with the Fire Code for access, as applicable.		
16.	Utility Easements – lines and dimension call-outs; note as “existing” or “proposed”; note as public or private – LDO Section 9.2.4		
17.	Per CORPUD – Call out water and sewer line easements as “New XX’ [width] City of Raleigh Sanitary Sewer Easement and New City of Raleigh Water Line Easement”		N/A
18.	ROW and streets are labeled, dimensioned, public or private clearly defined – LDO Section 9.2		
19.	Public street centerlines should include bearing and distance information, including curve radii (minimum centerline radii are defined by terrain classifications per NCDOT Subdivision Roads Minimum Construction Standards) - LDO Sec. 9, Standard Engineering Manual		
20.	Radii labeled for all intersections, or a typical label included.		
21.	Stream buffers, drainage ways, wetlands, and wetland buffers with necessary setbacks – LDO Section 4.2.9		
22.	Perimeter Landscape buffers – lines and dimension call-outs – LDO Section 6.2.2.1		
23.	Street Buffers – lines and dimension call-outs – LDO Section 6.2.2.2		
24.	Location of Proposed Easement for future monument or ground signs – LDO Section 6.1.2		
25.	Other site features are unique to the proposed use and/or property.		N/A

#	TO BE COMPLETED BY APPLICANT	YES	N/A
<b># EROSION CONTROL PLAN SHEET(S)</b>			
1.	Title of project / Dimensions / Scale/north arrow		
2.	Limits of land disturbance		
3.	Grading (contours at 2-foot intervals w/in 100 feet of developed area). Clearly distinguish between existing & proposed contours; Label Contours regularly enough to follow drainage patterns.		
4.	Impervious surfaces (label and provide calculations)		

5.	Areas of existing vegetation (types and locations) – LDO Section 6.2.4.5		
6.	General locations of Retaining walls (full details at Construction Infrastructure Drawings)		
7.	General locations of Stormwater ponds, bioretention facilities, etc.		
8.	Preliminary storm drainage features / drainage easements		
9.	Erosion control features are defined by notes and/or a legend.		
11.	Label critical root zones – LDO Section 6.2.4		
12.	Erosion Control design shall meet Wake County standards. Please refer to the Wake County Sediment and Erosion Control Construction Checklist.		
<b>#</b>	<b>GRADING AND DRAINAGE PLAN SHEET(S)</b>		
1	Title of project / Dimensions / Scale/north arrow		
2.	Grading (contours at 2-foot intervals); Clearly distinguish between existing and proposed contours; Contours should be labeled regularly enough to follow drainage patterns		
3.	Proposed infrastructure including streets, sidewalks, greenways, retaining walls (labeled with top and bottom elevations), ponds, storm sewer, and utilities		
4.	Utility or other easements (type, size, and whether public or private); 20' PDE shall be required around the outfall from the ROW		
5.	Existing vegetation (types and locations) – LDO Section 6.2.4.5		
<b>#</b>	<b>UTILITY PLAN SHEET(S)</b>		
1.	Title of project / Dimensions / Scale/north arrow		
2.	All utilities (shown underground); Storm sewer should be clearly depicted separately from sewer and water – LDO Section 4.1.2		
3.	Above-ground utilities and equipment (screened and with details) – LDO Section 6.2.4 and 9.2.6		
4.	Tree protection fencing (TPF) location (reference detail location if on separate sheet)		
5.	Sewer and water design are to meet the City of Raleigh Public Utility Department standards.		
6.	Per CORPUD – Call out water and sewer line easements as “New XX’ [width] City of Raleigh Sanitary Sewer Easement and New City of Raleigh Water Line Easement”		N/A
7.	FYI – While Full and Complete Lighting Plan demonstrating compliance with LDO Section 6.6 is reviewed as part of Construction Infrastructure Drawings, it is helpful if the general location of Street Light Poles can be shown to at least allow Town Staff the opportunity to discuss location, spacing, and number before the energy company has committed to a layout.		

<b>#</b>	<b>TO BE COMPLETED BY APPLICANT</b>	<b>YES</b>	<b>N/A</b>
	<b>PRESERVATION PLAN SHEET(S)</b>		
1	Before a Vegetative Preservation Plan can be created, a tree and/or vegetative survey, as per LDO 6.2.4.2.A.12, must be performed to identify the areas and specific Trees that are to be preserved or retained. Vegetative Preservation (LDO 6.2.4.5) compliance shall be demonstrated on a Sheet(s). The Plan Sheet/drawing shall include and/or show/demonstrate at a minimum:		
2.	Title of project / Dimensions / Scale/north arrow		
3.	A (existing condition) tree and/or vegetative survey <b>preferred to be prepared by a Certified Arborist</b> (LDO 6.2.4.2.A.12).		
4.	Tree protection fencing (TPF) location via icon/key/legend (LDO 6.2.4.5.B.8.- 10.)		
5.	Critical Root Zones (CRZ) of all Preserved Trees are clearly noted (measured dashed circumference)		
6.	Graphics and Calculations of maximum 25% disturbance of any trees CRZ (LDO 6.2.4.5.B.11.)		
7.	Add note: “The CRZ shall remain free of all building materials, refuse, and debris” (LDO 6.2.4.5.B.12).		
8.	All vegetation preservation standards of LDO Section 6.2.4.5. C. (Preservation Plan) clearly identify where trees, vegetation, and soils are to be protected and preserved / to be removed or modified. (ie, Preserved area vs. Removed area). LDO 6.2.4.5.C.7.)		
9.	Tabular calculations/demonstration of Preserved and Removed/Disturbed areas in square feet, acres, and percentage. ( LDO 6.2.4.5.C.8.)		
10	Critical Root Zones (CRZ) of all Preserved Trees are clearly noted (measured dashed circumference)		
11	Graphic demonstration of CRZ protection from encroachment and damage; preferred method is to restrict access via a physical barrier; provide a typical example of such a barrier; on the drawing, indicate the intention of each CRZ Barrier via icon/key/legend. (LDO 6.2.4.5.C.2.)		
12	Barriers shall be accompanied by temporary Signs labeling the CRZ; provide a typical exhibit/example. (LDO 6.2.4.5.C.2.)		

## EXHIBIT B

### Fowler Road Rezoning Conditions July 16, 2025

1. The development of the property shall be in substantial conformance with the accompanying Concept Plan. Locations shown for committed elements including, but not limited to greenways, streets, and open areas shown on the Concept Plan, may be adjusted to conform to LDO requirements or as permitted as a minor adjustment by the Land Development Administrator.
2. The following uses shall be prohibited:
  - a. Dwelling, single-family attached;
  - b. Dwelling, double family;
  - c. Dwelling, multiple family;
  - d. Boarding House/Dormitory;
  - e. Family Care Facility;
  - f. Live-work unit;
  - g. Residential Care; and
  - h. Telecommunications tower.
3. There shall be a maximum of 100 single-family detached units.
4. All single-family detached dwellings shall adhere to the following conditions:
  - a. Siding Material:
    - i. If masonry (such as brick veneer or faux stone product) is not the predominant first floor finish (greater than 50%), then the front elevation shall have at least two (2) styles of fiber cement siding (i.e. lap, shake, or board and batten, etc.);
    - ii. Vinyl material is prohibited except for soffits, fascia, and corner boards;
    - iii. No dwelling unit shall be constructed with an exterior elevation or color palette that is identical to the dwelling unit on either side or directly across the street.
  - b. Garages: A minimum 2-car side-by-side (not tandem) garage shall be provided;

## EXHIBIT B

### Fowler Road Rezoning Conditions July 16, 2025

- c. Roofs: Roof materials shall be asphalt shingles, metal, copper, wood, or a combination of these materials.
  - d. Building Foundations:
    - i. Building foundations along the front façade shall have an exposed height above finished grade of at least 18” and must be finished with masonry product such as brick veneer or faux stone product.
    - ii. Any foundation facing a public street must be finished with masonry product such as brick veneer or faux stone product.
  - e. Rear Yard Amenity: An unenclosed patio, deck, or screened-in porch of at least 64 square feet.
5. Pollinator Garden: The development shall include at least one pollinator garden. The pollinator garden shall be a landscaped garden in which at least seventy five percent (75%) of all plants, excluding grasses, are native milkweeds and other nectar-rich flowers. The final location(s) of pollinator garden shall be determined at subsequent stages of approval and will be identified on the landscape plan submitted with the construction drawings. The pollinator garden shall be constructed prior to the issuance of the 75<sup>th</sup> residential building permit.
6. Community Amenities: The development shall include one tot-lot and one dog park. Locations will be determined at subsequent stages of approval and will be identified on the construction drawings. The tot-lot and dog park shall be constructed prior to the issuance of the 75<sup>th</sup> residential building permit.
7. During the preliminary subdivision stage, the developer shall offer to the Town of Rolesville approximately 0.8 acres generally located and oriented in the area labeled as “Dedicated Park Land” in the attached Exhibit 1, with the final location to be determined in the Construction Drawing process, for use as a public park. The Town of Rolesville may accept or reject the offer of dedication in its sole discretion. If the Town of Rolesville accepts dedication of the Dedicated Park Land:
- a. the area dedicated to the Town of Rolesville shall be credited to this project as active open space;
  - b. the area dedicated to the Town of Rolesville shall count toward the Town’s recreation open space dedication requirements; and
  - c. the developer shall be relieved of the obligation to construct any improvements within the Dedicated Park Land that are shown on the Concept Plan.

[SIGNATURE PAGE FOLLOWS]

**EXHIBIT B**

**Fowler Road Rezoning Conditions  
July 16, 2025**

**Property Owner Authorization**

Property Addresses: 6520 Fowler Road and 6521 Mitchell Mill Road

PINs: 1768-60-2816 and 1767-69-6199

*Barbara Richards*  
By *Samuel Albert Richards* AS AIF *8-12-2025*  
Barbara J. Richards Date  
By Samuel Albert Richards, as her attorney in fact

*Barbara J. Richards*  
By: *Amy R. Harrison*, AIF, *8-12-2025*  
Barbara J. Richards Date  
By Amy R. Harrison, as her attorney in fact

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July 16, 2025**

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Barbara J. Richards Date  
By Samuel Albert Richards, as her attorney in fact

*Barbara J. Richards*  
By: *Amy R. Harrison*, AIF, 8-12-2025  
Barbara J. Richards Date  
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This digital Flood Insurance Rate Map (FIRM) was produced through a unique cooperative partnership between the State of North Carolina and the Federal Emergency Management Agency (FEMA). The State of North Carolina has implemented a long term approach to floodplain management to decrease the costs associated with flooding. This is demonstrated by the State's commitment to map flood hazard areas at the local level. As a part of this effort, the State of North Carolina has joined in a Cooperative Technical State agreement with FEMA to produce and maintain this digital FIRM.

**FLOOD HAZARD INFORMATION**

SEE FIS REPORT FOR ZONE DESCRIPTIONS AND INDEX MAP FOR FIRM PANEL LAYOUT  
**THE INFORMATION DEPICTED ON THIS MAP AND SUPPORTING DOCUMENTATION ARE ALSO AVAILABLE IN DIGITAL FORMAT AT**  
[HTTPS://FRIS.NC.GOV/FRIS](https://fris.nc.gov/fris)  
[HTTPS://MSC.FEMA.GOV](https://msc.fema.gov)

<p><b>SPECIAL FLOOD HAZARD AREAS</b></p> <p><b>OTHER AREAS OF FLOOD HAZARD</b></p> <p><b>OTHER AREAS</b></p> <p><b>GENERAL STRUCTURES</b></p> <p><b>OTHER FEATURES</b></p>	<ul style="list-style-type: none"> <li> Without Base Flood Elevation (BFE) Zone A.V, A99</li> <li> With BFE or Depth Zone AE, AO, AH, VE, AR</li> <li> Regulatory Floodway</li> <li> 0.2% Annual Chance Flood Hazard, Areas of 1% Annual Chance Flood with Average Depth Less Than One Foot or With Drainage Areas of Less Than One Square Mile Zone X</li> <li> Future Conditions 1% Annual Chance Flood Hazard Zone X</li> <li> Area with Reduced Flood Risk due to Levee See Notes Zone X</li> <li> Areas Determined to be Outside the 0.2% Annual Chance Floodplain Zone X</li> <li> Channel, Culvert, or Storm Sewer</li> <li> Levee, Dike, or Floodwall</li> <li> Cross Sections with 1% Annual Chance Water Surface Elevation (BFE)</li> <li> Coastal Transect</li> <li> Coastal Transect Baseline</li> <li> Profile Baseline</li> <li> Hydrographic Feature</li> <li> Limit of Study</li> <li> Jurisdiction Boundary</li> </ul>
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**NOTES TO USERS**

For information and questions about this map, available products associated with this FIRM including historic versions of this FIRM, how to order products or the National Flood Insurance Program in general, please call the FEMA Map Information eXchange at 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA Map Service Center website at <https://msc.fema.gov>. An accompanying Flood Insurance Study report, Letter of Map Revision (LOMR) or Letter of Map Amendment (LOMA) revising portions of this panel, and digital versions of this FIRM may be available. Visit the North Carolina Floodplain Mapping Program website at <https://fris.nc.gov/fris>, or contact the FEMA Map Service Center.

Communities annexing land on adjacent FIRM panels must obtain a current copy of the adjacent panel as well as the current FIRM Index. These may be ordered directly from the Map Service Center at the number listed above.

For community and countywide map dates refer to the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in the community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

Flood Insurance Study (FIS) means an examination, evaluation, and determination of flood hazards, corresponding water surface elevations, flood hazard risk zones, and other flood data in a community issued by the North Carolina Floodplain Mapping Program (NCFMP). The Flood Insurance Study (FIS) is comprised of the following products used together: the Digital Flood Hazard Database, the Water Surface Elevation Raster, the digitally derived, autogenrated Flood Insurance Rate Map and the Flood Insurance Survey Report. A Flood Insurance Survey is a compilation and presentation of flood risk data for specific watercourses, lakes, and coastal flood hazard areas within a community. This report contains detailed flood elevation data, data tables and FIRM indices. When a flood study is completed for the NFIP, the digital information, reports and maps are assembled into an FIS. Information shown on this FIRM is provided in digital format by the NCFMP. Base map information shown on this FIRM was provided in digital format by the NCFMP. The source of this information can be determined from the metadata available in the digital FLOOD database and in the Technical Support Data Notebook (TSDN).

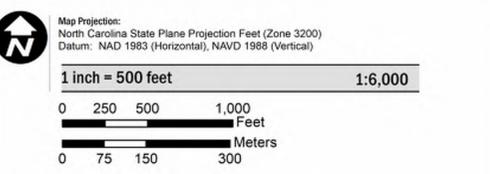
**ACCREDITED LEEVE NOTES TO USERS:** If an accredited levee note appears on this panel check with your local community to obtain more information, such as the estimated level of protection provided (which may exceed the 1-percent-annual-chance level) and Emergency Action Plan, on the levee system(s) shown as providing protection for areas on this panel. To maintain accreditation, the levee owner or community is required to submit the data and documentation necessary to comply with Section 65.10 of the NFIP regulations. If the community or owner does not provide the necessary data and documentation or if the data and documentation provided indicates the levee system does not comply with Section 65.10 requirements, FEMA will revise the flood hazard and risk information for this area to reflect de-accreditation of the levee system. To mitigate flood risk in residual risk areas, property owners and residents are encouraged to consider flood insurance and floodproofing or other protective measures. For more information on flood insurance, interested parties should visit the FEMA Website at <https://www.fema.gov/national-flood-insurance-program>.

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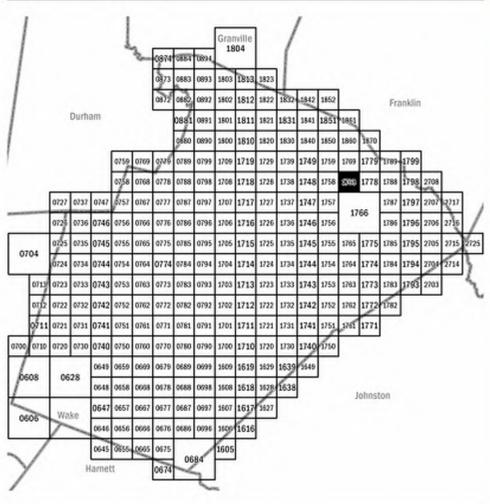
**LIMIT OF MODERATE WAVE ACTION NOTES TO USERS:** For some coastal flooding zones the AE Zone category has been divided by a Limit of Moderate Wave Action (LIMWA). The LIMWA represents the approximate landward limit of the 1.5-foot breaking wave. The effects of wave hazards between the VE Zone and the LIMWA (or between the shoreline and the LIMWA for areas where VE Zones are not identified) will be similar to, but less severe than those in the VE Zone.

Limit of Moderate Wave Action (LIMWA)

**SCALE**



**PANEL LOCATOR**



**FEDERAL EMERGENCY MANAGEMENT AGENCY**

**NATIONAL FLOOD INSURANCE PROGRAM**

**NORTH CAROLINA FLOODPLAIN MAPPING PROGRAM**

**NATIONAL FLOOD INSURANCE PROGRAM**

**FLOOD INSURANCE RATE MAP**

**NORTH CAROLINA**

PANEL 1768

Panel Contains:

COMMUNITY	CID	PANEL	SUFFIX
ROLESVILLE, TOWN OF	370468	1768	K
WAKE COUNTY	370368	1768	K

VERSION NUMBER 2.3.3.2  
 MAP NUMBER 3720176800K  
 MAP REVISED July 19, 2022

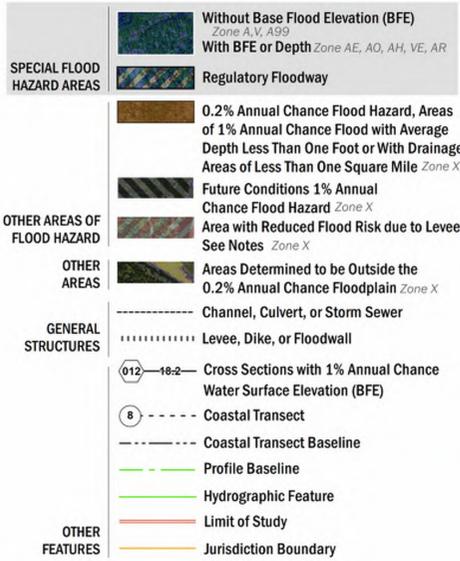


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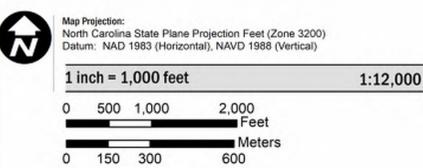
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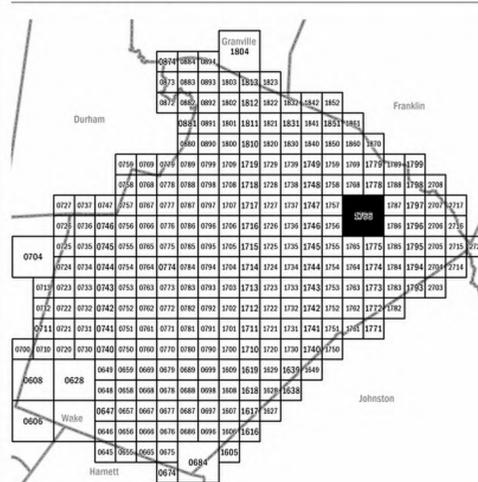
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Limit of Moderate Wave Action (LIMWA)

### SCALE



### PANEL LOCATOR



National Flood Insurance Program

NORTH CAROLINA FLOODPLAIN MAPPING PROGRAM  
NATIONAL FLOOD INSURANCE PROGRAM  
FLOOD INSURANCE RATE MAP

NORTH CAROLINA

PANEL 1766

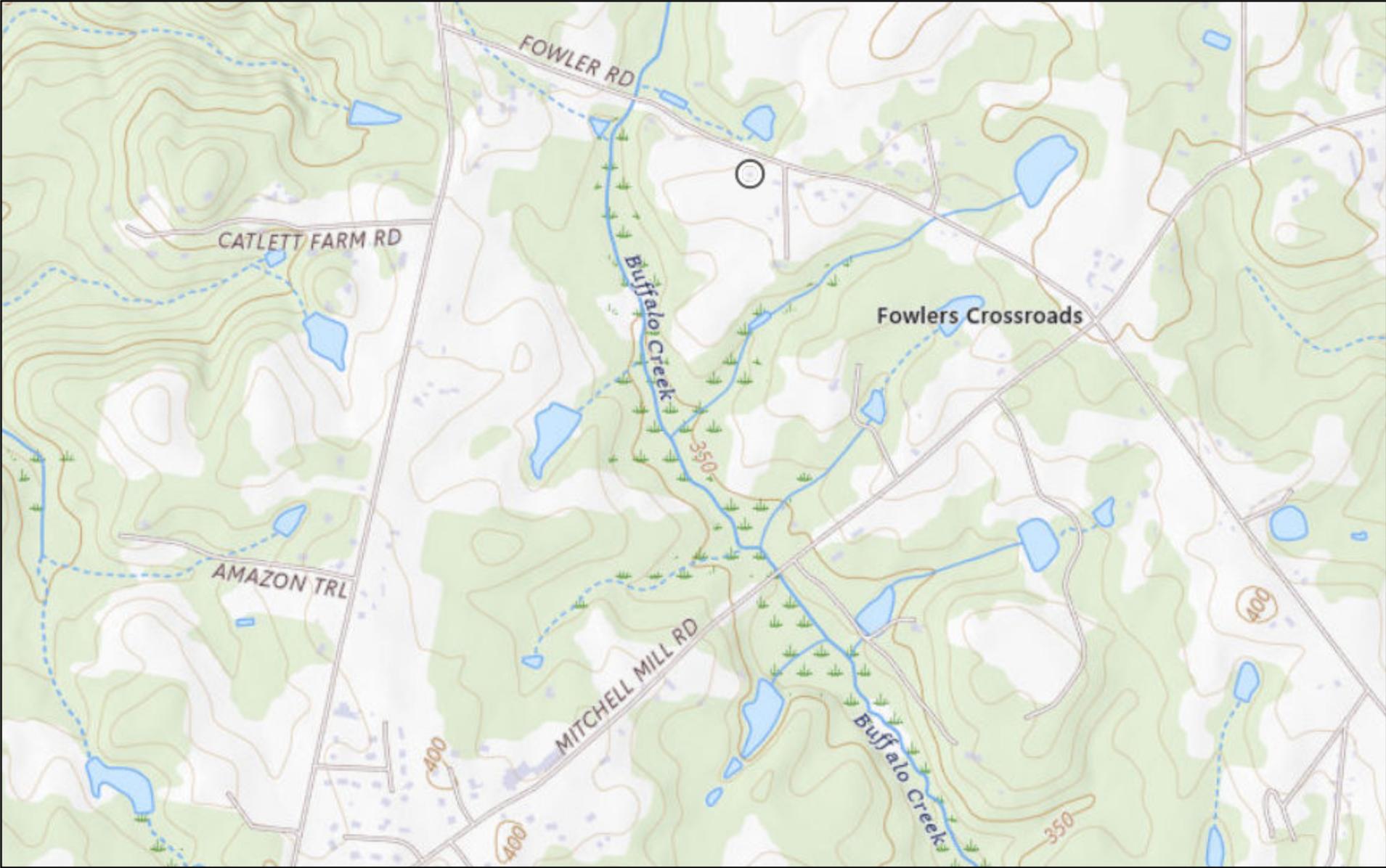
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CID PANEL SUFFIX

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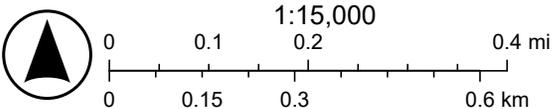
VERSION NUMBER  
2.3.3.2  
MAP NUMBER  
3720176600K  
MAP REVISED  
July 19, 2022

# Letter ANSI A Landscape



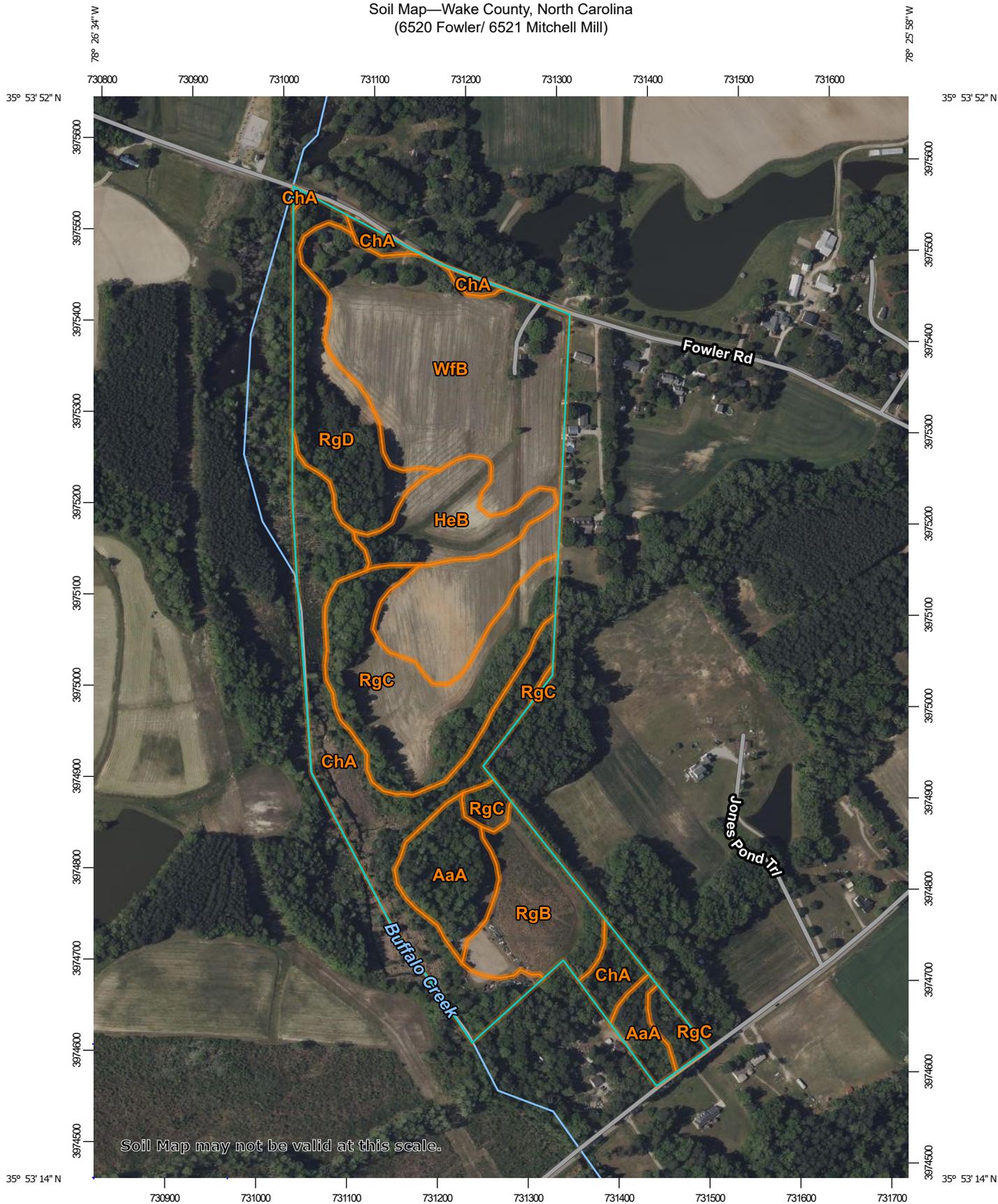
9/26/2025

- Layers
- Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3

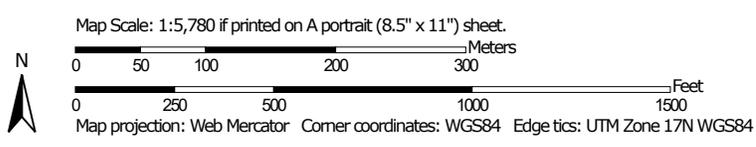


USGS The National Map: National Boundaries Dataset, 3DEP Elevation Program, Geographic Names Information System, National Hydrography

Soil Map—Wake County, North Carolina  
(6520 Fowler/ 6521 Mitchell Mill)



Soil Map may not be valid at this scale.



## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

### Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

### Water Features



Streams and Canals

### Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

### Background



Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Wake County, North Carolina  
Survey Area Data: Version 26, Sep 9, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 24, 2022—May 9, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
AaA	Altavista fine sandy loam, 0 to 4 percent slopes, rarely flooded	3.9	7.1%
ChA	Chewacla and Wehadkee soils, 0 to 2 percent slopes, frequently flooded	11.3	20.4%
HeB	Helena sandy loam, 2 to 6 percent slopes	3.5	6.3%
RgB	Rawlings-Rion complex, 2 to 6 percent slopes	4.3	7.8%
RgC	Rawlings-Rion complex, 6 to 10 percent slopes	9.2	16.7%
RgD	Rawlings-Rion complex, 10 to 15 percent slopes	5.2	9.4%
WfB	Wedowee-Saw complex, 2 to 6 percent slopes	17.9	32.4%
<b>Totals for Area of Interest</b>		<b>55.2</b>	<b>100.0%</b>

## 6.0 RECOMMENDATIONS

Based on the findings of this study, specific improvements have been identified and should be completed as part of the proposed development. Intersections where no improvements are recommended are locations that do meet the LOS Standards specified in the LDO<sup>8</sup>. These recommendations are shown in Figure 12.

### Averette Road, Young Street, and Rolesville Road Corridor Study

It is recommended that the applicant coordinate their improvements with the findings of the Averette Road, Young Street, and Rolesville Road Corridor Study to ensure consistency with future addendums to the Community Transportation Plan.

#### US 401 Bypass at Young Street

- No improvements are recommended at this intersection.

#### US 401 Bypass East U-Turn

- No improvements are recommended at this intersection.

#### US 401 Bypass West U-Turn

- No improvements are recommended at this intersection.

#### Young Street at Quarry Road

- No improvements are recommended at this intersection.

#### Young Street/Rolesville Road at Rolesville HS Driveway

- No improvements are recommended at this intersection.

#### Rolesville Road at Fowler Road

- No improvements are recommended at this intersection.

#### Rolesville Road at Mitchell Mill Road

- Construct an exclusive eastbound left-turn lane with 275 feet of full-width storage and appropriate taper.

#### Mitchell Mill Road at Fowler Road

- No improvements are recommended at this intersection.



Recommendations  
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### Fowler Road at Driveway A

- Construct Driveway A as a full-movement access point consisting of one ingress lane and one egress lane. The egress lane shall operate as a shared left / right-turn lane.
- Traffic control is recommended to be provided by a stop sign controlling traffic exiting the proposed development.

### Mitchell Mill Road at Driveway B

- Construct Driveway B as a full-movement access point consisting of one ingress lane and one egress lane. The egress lane shall operate as a shared left / right-turn lane.
- Traffic control is recommended to be provided by a stop sign controlling traffic exiting the proposed development.

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Figure 12: Recommended Improvements

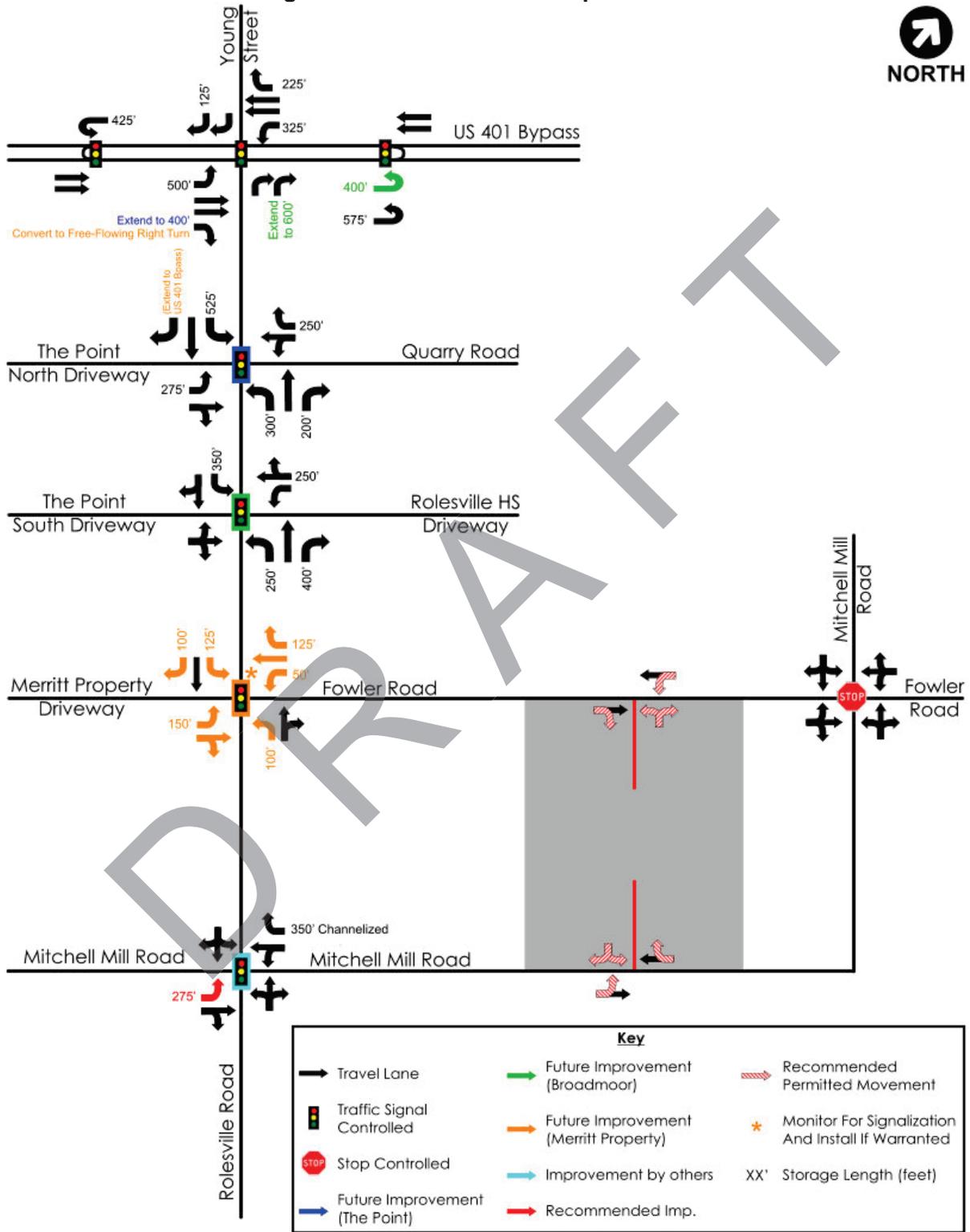


Figure is Not To Scale

