

Comments on #SDP-26-0007 - Planning & Zoning: Site Development Plan

Application Number: #SDP-26-0007
Application Type: Site Development Plan
Date: July 24, 2026
Address: 408 E YOUNG ST, ROLESVILLE, NC 27571
Parcel: 1768098727



THIS DOCUMENT IS NOT AN APPROVAL.

The Town of Rolesville Technical Review Committee has reviewed your Site Development Plan Application and provided a set of comments requiring your attention. These comments must be addressed in full before approval is issued.

Reviewing this document on the GovWell, our online portal, will allow you to view interactive markups on the document. If you are viewing this as a PDF or offline, a list of all comments will be provided below in this cover sheet. These comments must be addressed before approval is granted.

After you have addressed all comments, please upload corrected versions of the plans by clicking [here](#) or by visiting <https://app.govwell.com/record/c2357957-b1de-4e55-ae14-8a08b6e1f422>.

Contacts

Austin Bain
City of Raleigh Engineer

(919) 996-3468
austin.bain@raleighnc.gov

Updates Requested

David Simmons
Police Chief

dsimmons@rolesvillenc.gov

Approved

Eddie Henderson
Parks & Recreation

ehenderson@rolesvillenc.gov

Approved

Elizabeth Powell
Wake County Watershed Mgmt

elizabeth.powell@wake.gov

No Comment

Jacob Butler
Interim Fire Chief

jbutler@rolesvillenc.gov

No Comment

Jacqueline Thompson
On-Call Civil Engineer

jacqueline.thompson@bolton-menk.com

Updates Requested

Meredith Gruber Senior Planner	mgruber@rolesvillenc.gov	Updates Requested
Michael Elabarger Assistant Planning Director	melabarger@rolesvillenc.gov	Updates Requested
Michele Raby Planner II	mraby@rolesvillenc.gov	Updates Requested
Scott Miles Town Engineer PE	smiles@rolesvillenc.gov	Approved
Stephen Wensman Planning Director	swensman@rolesvillenc.gov	Updates Requested
Stephen Wolf Wake County Deputy Fire Marshal	stephen.wolf@wake.gov	Repeat Comment(s)
Tanner Hayslette Planner I	thayslette@rolesvillenc.gov	Approved
Wyat Hamilton NCDOT	wrhamilton@ncdot.gov	Review complete *See comments

Comments on Plan

Reviewer feedback tied to specific locations on the plan. The number on each comment corresponds to a matching number marked on the plan page. Each comment must be resolved in GovWell.

- 1

ME

Michael Elabarger
Assistant Planning Director

Delete "100% Design development".

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • June 24, 2026, 11:59am
- 2

MR

Michele Raby
Planner II

CID-25-07_SDP-26-0007

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • June 24, 2026, 8:35am
- 3

ME

Michael Elabarger
Assistant Planning Director

Delete "CID" here

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • June 24, 2026, 11:58am

4



Wyat Hamilton
NCDOT

What is phasing for construction of the proposed connector road (already with DOT), the police station, and fire station? What is the timeline for the phasing?

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • June 25, 2026, 11:06am

5



Austin Bain
City of Raleigh Engineer

Submit to Energov for COR review. Include the COR review number on cover sheet. Include the Rolesville review in the details on Energov for cross reference.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • July 23, 2026, 9:28am

6



Michele Raby
Planner II

Lot 1? Is there an addressing plan? Has Wake County E-911 Addressing been contacted?

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • June 24, 2026, 8:39am

7



Stephen Wolf
Wake County Deputy Fire Marshal

**** Plans are preliminary and not for construction. The address listed is for the entire site. Please provide Wake County GIS approved address when building plans are submitted.**

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • July 8, 2026, 1:41pm

8



Elizabeth Powell
Wake County Watershed Mgmt

Please make erosion control and stormwater (SEC/SWF) submittals to Wake County to receive comments

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • June 24, 2026, 8:43am

9



Michael Elabarger
Assistant Planning Director

Plan to add Revision dates right under the original, we like the clear and obvious listing of the dates of the Plan versions like this, thank you.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • June 24, 2026, 12:00pm

10



Michele Raby
Planner II

Please remove "Permit Set"

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • June 24, 2026, 8:39am

11



Michele Raby
Planner II

Area shown has 4 addresses. Will a recombination map be recorded? Has addressing been confirmed/obtained with WC E-911 addressing?

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • June 24, 2026, 8:38am

12



Michele Raby
Planner II

The 'Lighting Plan Sheet(s)' section of the Site Plan Checklist is completely blank, and no lighting plan is included in the plan set's sheet index. Please provide the required lighting plan or mark the section as N/A if it does not apply.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 · June 24, 2026, 8:34am

13



Michael Elabarger
Assistant Planning Director

a Site Development Plan typically has a sheet called "site plan" as the central plan sheet -

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14



Meredith Gruber
Senior Planner

Let's schedule a meeting to go through any questions your team has about recently approved text amendments.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 · July 24, 2026, 9:41am

15



Michael Elabarger
Assistant Planning Director

This is a vicinity map of the entire Town own land aka "town campus". Police is only going on a Lot 1 - revise this so that it shows where Lot 1 and Police are going inside the overall project - it's ok to show the overall project, and eventually Police, Fire, Library, and Town hall will all fit into the jigsaw puzzle of the town campus subdivision.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 · June 24, 2026, 12:45pm

16



Michele Raby
Planner II

PIN1768098727 is for 408 E Young. Please add remaining 3 PINs if not recording a recombination.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 · June 24, 2026, 8:40am

17



Michael Elabarger
Assistant Planning Director

PIN ending in 8727 is the existing 13.39 ac tract of land - Plan to revise this to the newly generated PIN that will occur once you Record a Final Subdivision Plat to officially create this "Lot 1".

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 · June 24, 2026, 12:02pm

18



Michael Elabarger
Assistant Planning Director

See comment about PIN - this "Lot 1" is not 13.39 acres.

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19



Michael Elabarger
Assistant Planning Director

REvise Proposed Use to "Government Facility (Police Station)", to clarify the LDO Zoning use terminology but then also being transparent that this is a Police Station - thank you.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 · June 24, 2026, 12:04pm

20



Michele Raby
Planner II

Please add impervious calculations, open space calculations, and building height information.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • June 24, 2026, 8:42am

21



Michael Elabarger
Assistant Planning Director

What is "Proposed Fire", and why is it blank? Delete if erroneous.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • June 24, 2026, 12:03pm

22



Michael Elabarger
Assistant Planning Director

Complete Building Height - do not leave blank.

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23



Jacqueline Thompson
On-Call Civil Engineer

Please include ADA spaces

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • July 13, 2026, 10:59am

24



Meredith Gruber
Senior Planner

See LDO Section 6.2.2.1. Perimeter Buffers, and verify you are looking at the latest version of the LDO dated June 16, 2026. The latest version includes updates as per TA-26-0005 Omnibus Text Amendments--many of these amendments were made to support the Town Campus project. Type 3 Perimeter Buffers require a minimum opacity of 75% up to 6'. This may be achieved with plant material only or a combination of plant material and a wall. At least 50% of plant material shall be evergreen.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • July 8, 2026, 4:35pm

25



Michele Raby
Planner II

Please add previous entitlements information as shown on cover sheet example: <https://www.rolesvillenc.gov/sites/default/files/uploads/site-development-plans-sdp-non-res-cover-sheet-example.pdf>

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • June 24, 2026, 8:43am

26



Michael Elabarger
Assistant Planning Director

please try to arrange/align the 3 government approvals in proximity to each other - TOWn, County, Raleigh.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 • June 24, 2026, 12:07pm

27



Michael Elabarger
Assistant Planning Director

This information reads like it is more appropriate on a PSP or CID set of plans -- referencing Number of Lots as 6 for instance - and not this single-lot site development plan. If good reason for including this, please explain. thank you.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 1 · June 24, 2026, 12:06pm

28



Jacqueline Thompson
On-Call Civil Engineer

A detail for spill curb is included - please indicate on the plans where this will be used.

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29



Wyat Hamilton
NCDOT

Check NCDOT DW Manual for provisions on gates; must not allow queues into road and must provide sufficient space for vehicles to turn around if blocked.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 2 · June 25, 2026, 11:04am

30



Michele Raby
Planner II

Trash Enclosure? Please consult LDO:6.2.4.6. D.SCREENING OF SERVICE AREAS AND OUTDOOR DISPLAY/STORAGE TRASH CONTAINMENT AREAS

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 2 · June 24, 2026, 8:48am

31



Jacqueline Thompson
On-Call Civil Engineer

Please show and label a defined property line and the required setbacks and buffers.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 2 · July 14, 2026, 8:18am

32



Jacqueline Thompson
On-Call Civil Engineer

Please confirm if the intent is to provide no ADA spaces.

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33



Michele Raby
Planner II

Sign easement?

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 2 · June 24, 2026, 8:49am

34



Jacqueline Thompson
On-Call Civil Engineer

Please provide clarification on what the expected timeline is for this project compared to the surrounding projects. Only show items that are expected to be existing at the time of construction of this project.

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35



Jacqueline Thompson
On-Call Civil Engineer

Please confirm if this area has been cleared of all vegetation and confirm there are no removals expected in this location.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 3 · July 14, 2026, 8:17am

36



Michele Raby
Planner II

Utility (Power) easement?

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37



Jacqueline Thompson
On-Call Civil Engineer

Please confirm/label/show if there will be any reverse curb (gutter out) used on the site.

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38



Jacqueline Thompson
On-Call Civil Engineer

Modify grading and curb tie in - If curb isn't being replaced, a proposed grade won't be applicable here.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 4 · July 13, 2026, 10:50am

39



Jacqueline Thompson
On-Call Civil Engineer

Based on the provided elevations for top of pipe and a downstream invert elevation, please confirm your labels and elevations. Top of pipe is currently lower than invert.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 4 · July 13, 2026, 10:50am

40



Jacqueline Thompson
On-Call Civil Engineer

If the adjacent infrastructure will be existing, please show all existing features as existing on all sheets.

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41



Michael Elabarger
Assistant Planning Director

Is this referring to infrastructure improvements per CID-26-0003 (CID-25-07) ? If so let's go ahead and reference it as such. Reminder that subdivision improvements should be built and in the ground before Site development of a lot, typically - we understand that at this time of review of this SDP, the CID plans are not even approved and thus infrastructure not yet built. Such note references should thus be written according to the planned state of construction at the time of approval of this SDP.....this is the difficulty of performing land development steps that should be done in 1-2-3- order all over-lapping.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 6 · June 24, 2026, 12:19pm

42



Jacqueline Thompson
On-Call Civil Engineer

If this is existing storm sewer - is it public? Is there an easement?

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 6 • July 13, 2026, 10:54am

43



Jacqueline Thompson
On-Call Civil Engineer

Please duplicate 18" min. separation notes on this sheet.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 6 • July 13, 2026, 10:54am

44



Stephen Wolf
Wake County Deputy Fire Marshal

** Ped.

** Plans are preliminary and not for construction. Please include fire line, FDC, and all fire hydrant information on the next submittal. Also include a fire truck turning diagram to include a minimum inside turning radius of 28 feet.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 6 • July 8, 2026, 1:48pm

45



Stephen Wensman
Planning Director

Hypericum is a full sun plant and is being planted under canopy trees. It will do well in the first few years, then will be overcome by the shade of the trees. Please consider an alternate plant material.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 7 • June 30, 2026, 3:11pm

46



Stephen Wensman
Planning Director

Consider choosing a tree other than Tulip Poplar so close to residential properties. Tulip poplar trees are notorious for their brittle wood, high vulnerability to wind and ice damage, and messy debris. Because of their massive mature size and weak branch attachment, they pose a significant safety hazard if planted too close to houses or power lines.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 7 • June 30, 2026, 3:04pm

47



Stephen Wensman
Planning Director

The buffer planting shall meet the opacity standards in Section 6.2.2.1 of LDO. It is difficult to discern the shrub types and whether the layering and depth of the planting will meet the standard.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 7 • June 30, 2026, 3:23pm

48



Stephen Wensman
Planning Director

Add interior island tree per 6.2.4.4.E.3.

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49



Stephen Wensman
Planning Director

Add terminal island planting

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50



Stephen Wensman
Planning Director

Add terminal island shrub planting

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51



Stephen Wensman
Planning Director

Add terminal island planting

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52



Stephen Wensman
Planning Director

Terminal islands shall be landscaped with shrubs, accent plants, ornamental grasses, and ground cover, excluding sod, to provide 100% coverage within 2 years.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 7 • June 30, 2026, 3:47pm

53



Stephen Wensman
Planning Director

Add canopy trees to landscape islands to comply with Section 6.2.4.4.C & D.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 7 • June 30, 2026, 3:44pm

54



Stephen Wensman
Planning Director

Show locations of parking lot lights on landscape plan to demonstrate coordination of landscaping and lighting plans.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 7 • June 30, 2026, 3:45pm

55



Stephen Wensman
Planning Director

Provide Streetscape landscaping - the proposed Downtown Overlay ordinance may waive this requirement.

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56



Stephen Wensman
Planning Director

semi-opaque screen or barrier required in accordance with LDO, Section 6.2.2.2.D.6.

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57



Stephen Wensman
Planning Director

Add Parking Perimeter Plantings Section 6.2.4.4.G.

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58



Stephen Wensman
Planning Director

terminal island planting required

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59



Stephen Wensman
Planning Director

terminal island planting required

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 7 • June 30, 2026, 3:52pm

60



Stephen Wensman
Planning Director

terminal island planting required

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61



Michele Raby
Planner II

Add gross floor area

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62



Stephen Wensman
Planning Director

Street buffer required, but may be waived by the draft Downtown Overlay Ordinance.

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63



Stephen Wensman
Planning Director

What is this rectangle in the street island - recognizing its to be permitted separately?

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 7 • June 30, 2026, 4:50pm

64



Michael Elabarger
Assistant Planning Director

Please size these sheets to match the rest so it is a cohesive plan set.

V1_SDP_2026-06-22 Rolesville Police Station 1st Site Sub.pdf · Page 15 • June 24, 2026, 12:49pm

65



Meredith Gruber
Senior Planner

Public Safety uses included in Government Facility uses are exempt from the Transparency requirement as per LDO Section 6.8.2.D.2. (The LDO has been updated since the approval of TA-26-0005 that included multiple text amendments to support the Town Campus project. Please see the most recent version of the LDO, dated June 16, 2026, on Rolesville's website.)

PD Exterior Elevations_AR200-20260815.pdf · Page 1 · July 7, 2026, 1:45pm

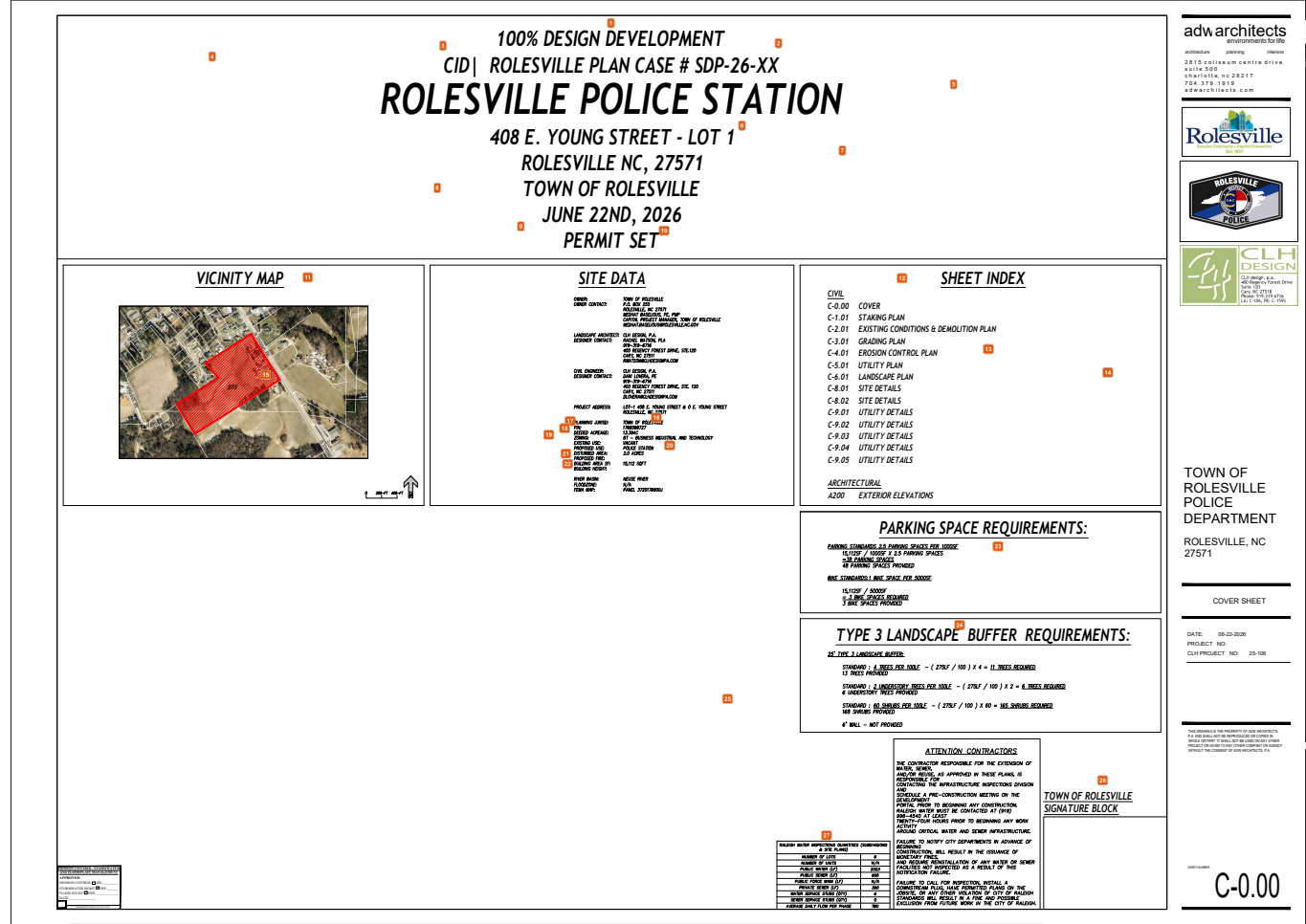
66



Meredith Gruber
Senior Planner

Signage will be approved through a sign permit. Please add a note stating sign is for illustrative purposes only. (Comment applies to all signs.)

PD Exterior Elevations_AR200-20260815.pdf · Page 1 · July 7, 2026, 1:54pm



V1_SDP_2026-06-22 Rousesville Police Station 1st Site Sub.pdf · Page 1

1 Michael Elabarger

Delete "100% Design development".

2 Michele Raby

CID-25-07_SDP-26-0007

3 Michael Elabarger

Delete "CID" here

4 Wyatt Hamilton

What is phasing for construction of the proposed connector road (already with DOT), the police station, and fire station? What is the timeline for the phasing?

5 Austin Bain

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6 Michele Raby

Lot 1? Is there an addressing plan? Has Wake County E-911 Addressing been contacted?

7 Stephen Wolf

** Plans are preliminary and not for construction. The address listed is for the entire site. Please provide Wake County GIS approved address when building plans are submitted.

8 Elizabeth Powell

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13 Michael Elabarger

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14 Meredith Gruber

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PIN1768098727 is for 408 E Young. Please add remaining 3 PINs if not recording a recombination.

17 Michael Elabarger

PIN ending in 8727 is the existing 13.39 ac tract of land - Plan to revise this to the newly generated PIN that will occur once you Record a Final Subdivision Plat to officially create this "Lot 1".

18 Michael Elabarger

See comment about PIN - this "Lot 1" is not 13.39 acres.

19 Michael Elabarger

Revise Proposed Use to "Government Facility (Police Station)", to clarify the LDO Zoning use terminology but then also being transparent that this is a Police Station - thank you.

20 Michele Raby

Please add impervious calculations, open space calculations, and building height information.

21 Michael Elabarger

What is "Proposed Fire", and why is it blank? Delete if erroneous.

22 Michael Elabarger

Complete Building Height - do not leave blank.

23 Jacqueline Thompson

Please include ADA spaces

24 Meredith Gruber

See LDO Section 6.2.2.1. Perimeter Buffers, and verify you are looking at the latest version of the LDO dated June 16, 2026. The latest version includes updates as per TA-26-0005 Omnibus Text Amendments--many of these amendments were made to support the Town Campus project. Type 3 Perimeter Buffers require a minimum opacity of 75% up to 6'. This may be achieved with plant material only or a combination of plant material and a wall. At least 50% of plant material shall be evergreen.

25 Michele Raby

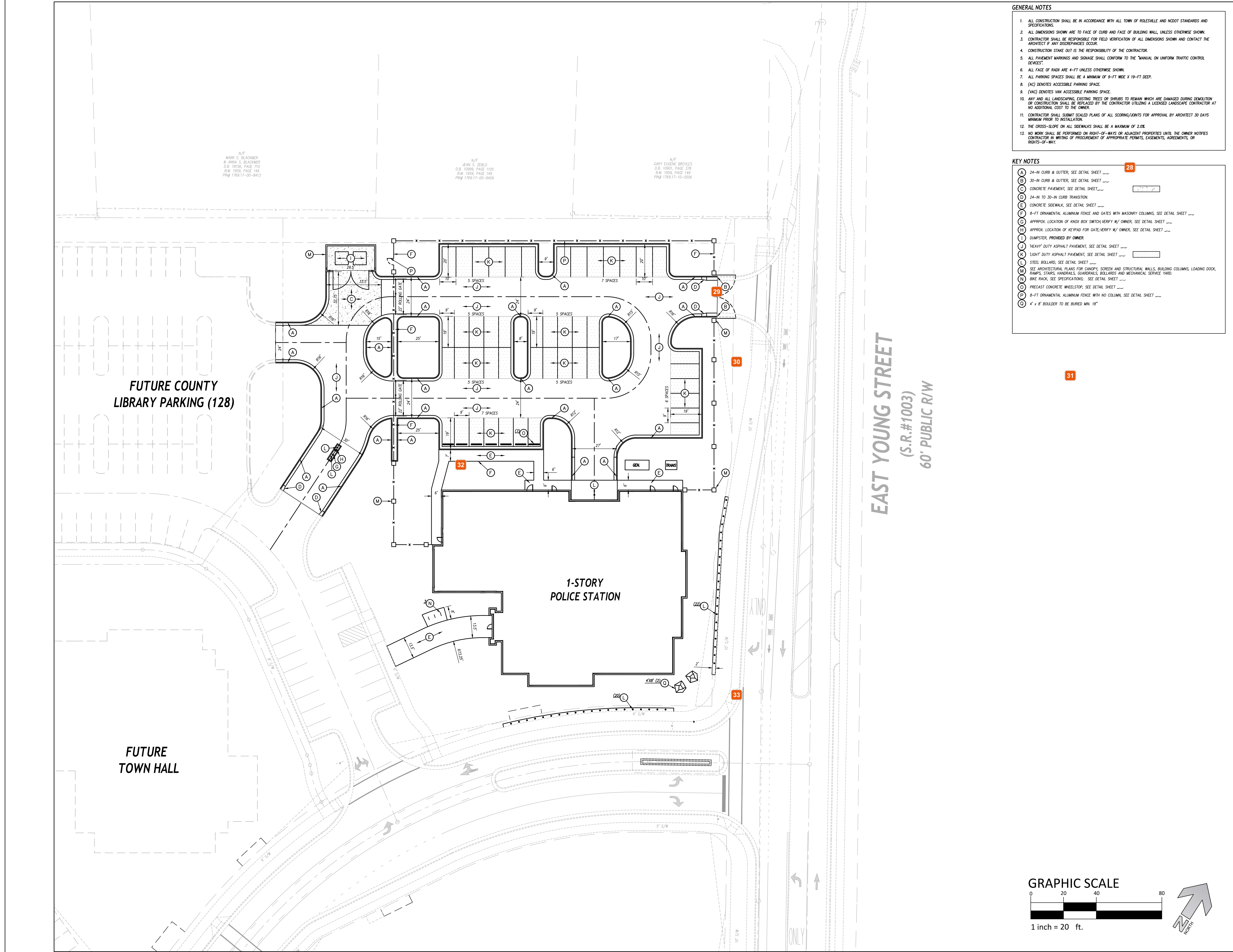
Please add previous entitlements information as shown on cover sheet example: <https://www.rolesvillenc.gov/sites/default/files/uploads/site-development-plans-sdp-non-res-cover-sheet-example.pdf>

26 Michael Elabarger

please try to arrange/align the 3 government approvals in proximity to each other - T'Own, County, Raleigh.

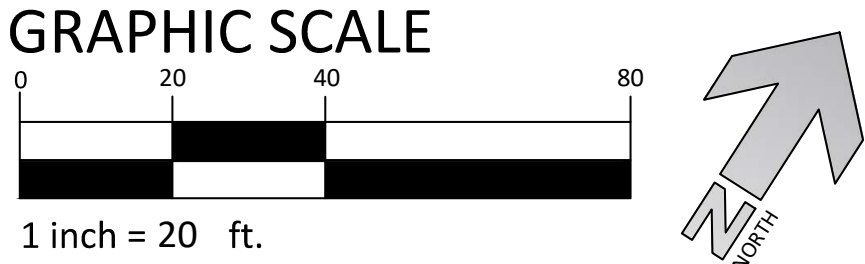
27 Michael Elabarger

This information reads like it is more appropriate on a PSP or CID set of plans -- referencing Number of Lots as 6 for instance - and not this single-lot site development plan. If good reason for including this, please explain. thank you.



- GENERAL NOTES
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE AND NCDOT STANDARDS AND SPECIFICATIONS.
 2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE SHOWN.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS SHOWN AND CONTACT THE ARCHITECT IF ANY DISCREPANCIES OCCUR.
 4. CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 6. ALL PAVE OF PAVE ARE 4-FT UNLESS OTHERWISE SHOWN.
 7. ALL PARKING SPACES SHALL BE A MINIMUM OF 9-FT WIDE X 18-FT DEEP.
 8. (AC) DENOTES ACCESSIBLE PARKING SPACE.
 9. (VAC) DENOTES VAN ACCESSIBLE PARKING SPACE.
 10. ANY AND ALL LANDSCAPING, EXISTING TREES OR SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 11. CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SCORING/CUTS FOR APPROVAL BY ARCHITECT 30 DAYS MINIMUM PRIOR TO INSTALLATION.
 12. THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0%.
 13. NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR NOTICES-OF-WORK.

- KEY NOTES
- (A) 24-IN CURB & GUTTER, SEE DETAIL SHEET ____
 - (B) 30-IN CURB & GUTTER, SEE DETAIL SHEET ____
 - (C) CONCRETE PAVEMENT, SEE DETAIL SHEET ____
 - (D) 24-IN TO 30-IN CURB TRANSITION
 - (E) CONCRETE SIDEWALK, SEE DETAIL SHEET ____
 - (F) 8-FT ORNAMENTAL ALUMINUM FENCE AND GATES WITH MASONRY COLUMNS, SEE DETAIL SHEET ____
 - (G) APPROX. LOCATION OF KEYPAD FOR GATE/ENTRY W/ OWNER, SEE DETAIL SHEET ____
 - (H) APPROX. LOCATION OF KEYPAD FOR GATE/ENTRY W/ OWNER, SEE DETAIL SHEET ____
 - (I) DUMPSTER, PROVIDED BY OWNER
 - (J) HEAVY DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET ____
 - (K) LIGHT DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET ____
 - (L) STEEL BOLLARD, SEE DETAIL SHEET ____
 - (M) SEE ARCHITECTURAL PLANS FOR CANOPY, SCREEN AND STRUCTURAL WALLS, BUILDING COLUMNS, LOADING DOCK, RAMP, STAIRS, HANDRAILS, GUARDRAILS, BOLLARDS AND MECHANICAL SERVICE YARD.
 - (N) BULK RACK, SEE SPECIFICATIONS, SEE DETAIL SHEET ____
 - (O) PRECAST CONCRETE WHEELSTOP, SEE DETAIL SHEET ____
 - (P) 8-FT ORNAMENTAL ALUMINUM FENCE WITH NO COLUMN, SEE DETAIL SHEET ____
 - (Q) 4" x 8" BOLLARD TO BE BURED MIN. 18"



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27571

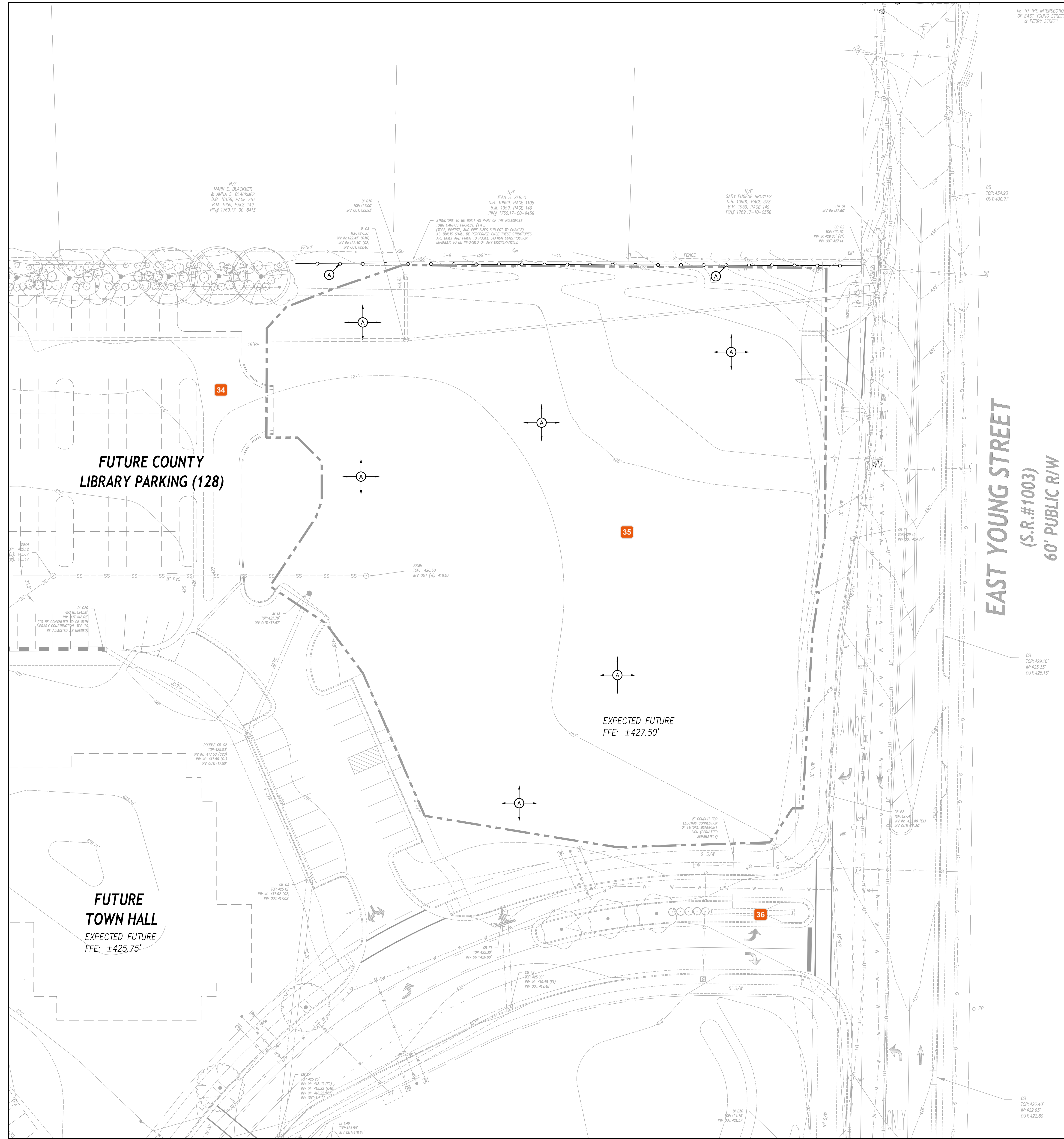
STAKING PLAN

DATE: 06-22-2026
PROJECT NO:
CLH PROJECT NO: 25-108

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SHEET NUMBER
C-1.01

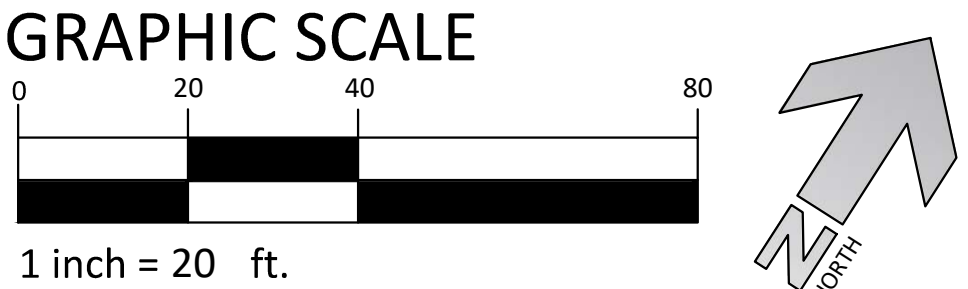
- 28** Jacqueline Thompson
A detail for spill curb is included - please indicate on the plans where this will be used.
- 29** Wyatt Hamilton
Check NCDOT DW Manual for provisions on gates; must not allow queues into road and must provide sufficient space for vehicles to turn around if blocked.
- 30** Michele Raby
Trash Enclosure? Please consult LDO:6.2.4.6. D.SCREENING OF SERVICE AREAS AND OUTDOOR DISPLAY/STORAGE TRASH CONTAINMENT AREAS
- 31** Jacqueline Thompson
Please show and label a defined property line and the required setbacks and buffers.
- 32** Jacqueline Thompson
Please confirm if the intent is to provide no ADA spaces.
- 33** Michele Raby
Sign easement?



LEGEND	
STRUCTURES/UTILITIES TO BE REMOVED	STRUCTURES/UTILITIES TO REMAIN
OVERHEAD ELECTRICAL	OVERHEAD ELECTRICAL
UNDERGROUND ELECTRICAL	UNDERGROUND ELECTRICAL
FIRE PROTECTION	FIRE PROTECTION
GAS	GAS
SANITARY SEWER	SANITARY SEWER
TELEPHONE	TELEPHONE
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
FIBER OPTIC	FIBER OPTIC
WATER	WATER
FORCE MAIN	FORCE MAIN
STORM DRAIN	STORM DRAIN
INDIVIDUAL TREE TO BE REMOVED	INDIVIDUAL TREE TO REMAIN
LIGHT POLE	LIGHT POLE
UTILITY POLE	UTILITY POLE
MANHOLE	MANHOLE
CLEAN OUT	CLEAN OUT
DROP INLET/CATCH BASIN	DROP INLET/CATCH BASIN
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
CONSTR./CLEARING LIMITS	
TEMPORARY CONSTRUCTION FENCING	

- GENERAL NOTES
- ALL EXISTING STRUCTURES AND UTILITIES SHALL BE REMOVED AS NEEDED TO ALLOW NEW CONSTRUCTION. IN GENERAL, FEATURES INDICATED IN BOLD ON THIS PLAN SHALL BE REMOVED.
 - ALL ASPHALT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT. SIDEWALK, CURB AND GUTTER, ETC. SIDEWALK TO BE REMOVED TO NEAREST EXISTING JOINT. ANY EXISTING PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OF TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED).
 - ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
 - ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
 - EXISTING SITE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM SURVEY BY CWP, PERFORMED 01/09/2021. THESE PLANS DO NOT ASSUME ANY LIABILITY FOR ANY EXISTING INFORMATION BOTH SHOWN AND NOT SHOWN ON THE SURVEY AND ANY CHANGES TO THE EXISTING CONDITIONS THAT MAY HAVE OCCURRED AFTER THE SURVEY WAS ISSUED. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
 - INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB ALL AREAS AS SHOWN AND REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS). ALL CONTRACTORS SHALL NOT THE SITE AND OBSERVE EXISTING CONDITIONS PRIOR TO BEGINNING.
 - TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF CLEARING LIMITS, THE CONTRACTOR SHALL CUT 2-FT DEEP TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT, RATHER THAN TEAR ROOTS.
 - PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT ARCHITECT IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL TANKS AND SEPTIC SYSTEMS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
 - VERIFY ALL ILLUSTRATED UNDERGROUND ELEMENTS/UTILITIES. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS/UTILITIES. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS/UTILITIES ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
 - CONTACT UTILITY LOCATING SERVICES AT LEAST 48-HRS PRIOR TO EXCAVATION.
 - PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ARCHITECT. AREAS TO BE PROTECTED, REPAIRED AND CLEARED SHALL ALSO INCLUDE ANY STAGING AREAS, ACCESS ROUTES AND OTHER EXISTING IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS THAT ARE TO REMAIN.
 - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE AND/OR NC DOT STANDARDS AND SPECIFICATIONS.
 - ALL EXISTING WALLS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE.
 - DEMOLITION AND PATCHING OF PAVEMENT, SIDEWALK, CURB AND GUTTER AND OTHER EXISTING PAVED SURFACES IN ADDITION TO THAT INDICATED ON THIS PLAN SHALL BE PERFORMED AS REQUIRED TO CONSTRUCT AND INSTALL NEW UTILITIES. ALL SUCH DEMOLITION AND PATCHING SHALL BE INCLUDED IN THE BASE BID SCOPE OF WORK. SEE SHEET C-2.01 FOR PAVEMENT REPAIR DETAILS.
 - THIS SITE IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS AS DETERMINED BY FEMA AND DEPICTED ON FLOOD MAP. STATIONED DATED AS BEING WITHIN ZONE "A" OTHER AREA.
 - NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTICES CONTRACTOR IN WRITING OF PROCUREMENTS OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

- KEY NOTES
- A CLEAR AND GRUB, STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
 - B TEMPORARY CONSTRUCTION FENCING, SEE DETAIL SHEET _____



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TOWN OF ROLESVILLE POLICE DEPARTMENT

ROLESVILLE, NC 27571

EXISTING CONDITIONS & DEMOLITION PLAN

DAT: 06-22-2026
PROJECT NO: 25-108
CLH PROJECT NO: 25-108

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SHEET NUMBER:
C-2.01

34 Jacqueline Thompson
Please provide clarification on what the expected timeline is for this project compared to the surrounding projects. Only show items that are expected to be existing at the time of construction of this project.

35 Jacqueline Thompson
Please confirm if this area has been cleared of all vegetation and confirm there are no removals expected in this location.

36 Michele Raby
Utility (Power) easement?

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27571

GRADING PLAN

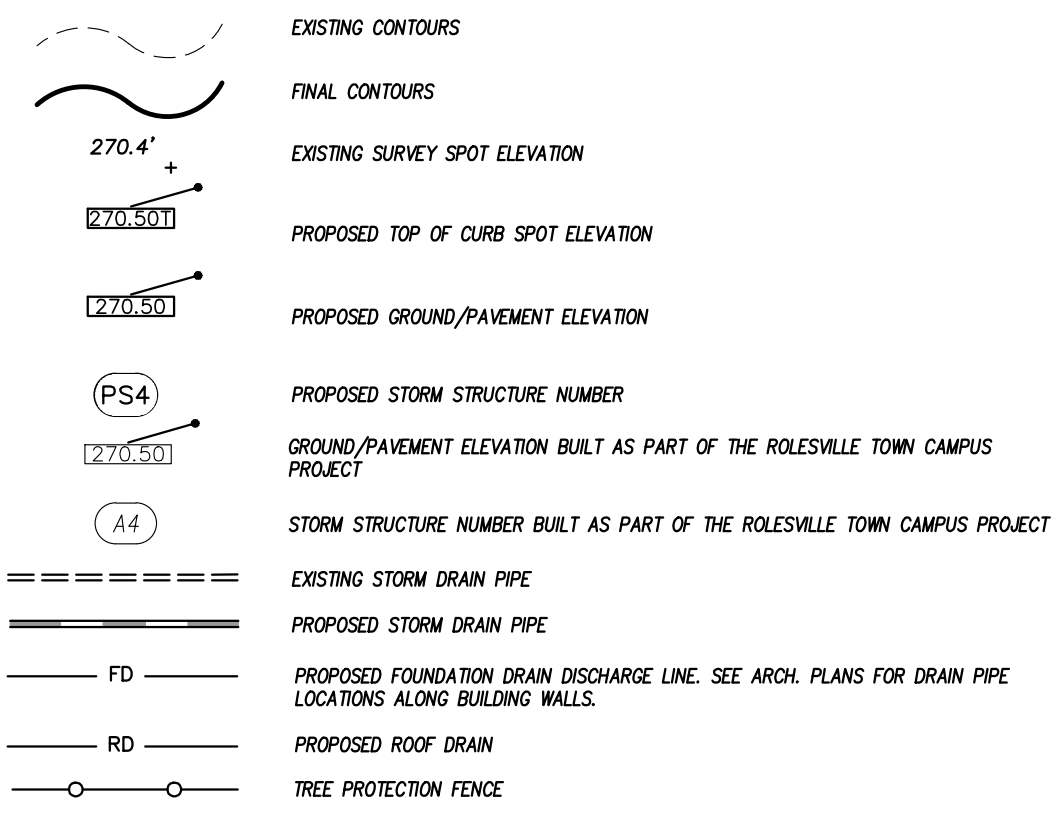
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SHEET NUMBER:

C-3.01

GRADING LEGEND



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, AND NC DOT STANDARDS AND SPECIFICATIONS.
2. ALL SPOT ELEVATIONS INDICATED AT CURB AND GUTTER AND ARE DENOTED TO TOP OF CURB, UNLESS OTHERWISE SHOWN.
3. TOTAL DEDICATED AREA = 2.0 AC.
4. CONTRACTOR SHALL ADJUST ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. AS NEEDED TO MATCH FINISH GRADE.
5. ALL BACKFILL, COMPACTOR, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNER'S INDEPENDENT TESTING LABORATORY. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
6. ALL STORM DRAIN PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER STOPPAGE OF WORK EACH DAY. SEE DETAIL ON SHEET C-3.01.
7. EXISTING VEGETATION WITHIN TREE PROTECTION AREAS SHALL REMAIN UNDISTURBED, UNLESS NOTED OTHERWISE.
8. ANY AND ALL LANDSCAPING AND EXISTING TREES & SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
9. THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE.
10. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY STATE AUTHORITIES OR THE ARCHITECT.
11. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEANING AND GRADING WASTE MATERIALS GENERATED DURING CONSTRUCTION AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
12. THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0%.
13. CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS WHERE NEW CONSTRUCTION JOIN OR CONNECT TO EXISTING PAVEMENT, CURB AND OTHER ROAD STRUCTURES. NOTIFY ARCHITECT IF DISCREPANCIES OCCUR.
14. SEE GEOTECHNICAL, STRUCTURAL AND ARCHITECTURAL PLANS/REPORTS FOR BUILDING FOOTINGS. COORDINATE WITH APPROPRIATE CONSULTANT.

DRAINAGE STRUCTURE SCHEDULE

UPSTREAM	DOWNSTREAM	PIPE DIA.	PIPE LENGTH	PIPE MATERIAL	UPPER INV.	LOWER INV.	TOP ELEV.	DEPTH	TYPE	NOTES
(STATION)	(STATION)	(IN)	(FEET)		(FT.)	(FT.)	(FT.)	(FT.)		
PS1	PS2	0.60%	15	PP	422.86	422.18	426.30	3.34	CB	1.
PS2	PS3	0.60%	15	PP	422.18	421.47	426.30	3.60	CB	1.
PS3	PS4	0.59%	15	PP	421.47	421.15	426.30	4.83	CB	1.
PS4	PS5	0.59%	24	PP	421.15	420.89	426.30	4.35	CB	1.
PS5	C1	0.60%	24	PP	420.89	420.30	426.65	4.76	CB	1.

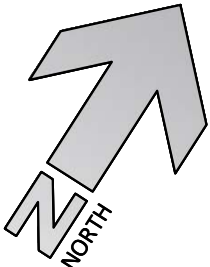
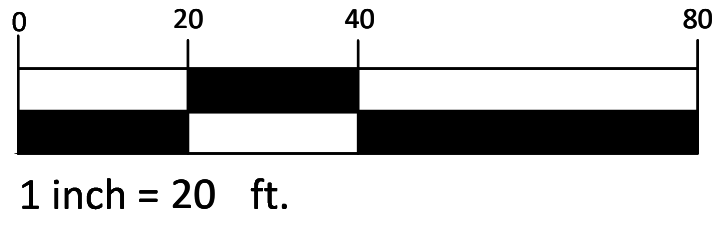
LEGEND

- CB CATCH BASIN (SEE DETAIL ON C-3.01)
- DI DROP INLET (SEE DETAIL ON C-3.01)
- PP POLYPROPYLENE PIPE
- (41) STRUCTURE NUMBER

NOTES

- 1. USE 0-RING

GRAPHIC SCALE



37 Jacqueline Thompson
Please confirm/show if there will be any reverse curb (gutter out) used on the site.

38 Jacqueline Thompson
Modify grading and curb tie in - If curb isn't being replaced, a proposed grade won't be applicable here.

39 Jacqueline Thompson
Based on the provided elevations for top of pipe and a downstream invert elevation, please confirm your labels and elevations. Top of pipe is currently lower than invert.

LEGEND			
	GRAVEL CONSTR. ENTRANCE, SEE DETAIL SHEET		TEMP. 30MMER SEDIMENT BASIN, SEE DETAIL SHEET
	TEMP. INLET PROTECTION DEVICE, SEE DETAIL SHEET		TEMP. BARRIER, SEE DETAIL SHEET
	TEMP. COMPOST SOCK INLET, SEE DETAIL SHEET		EXISTING CONTOUR
	TEMP. SILT BAG INLET PROTECTION, SEE DETAIL SHEET		TEMP. CONTOUR (TEMP. GRADES DURING CONSTR.)
	TEMP. DIVERSION DITCH / BERM, SEE DETAIL SHEET		TEMP. ROCK PIPE INLET PROTECTION, SEE DETAIL SHEET
	TEMP. SILT FENCE, SEE DETAIL SHEET		CHANNEL LINING, SEE DETAIL SHEET
	TEMP. REINFORCED SILT FENCE OUTLET, SEE DETAIL SHEET		TEMPORARY SLOPE MATTING SLOPES 6:1 OR STEEPER
	TEMP. J-HOOK PROTECTION, SEE DETAIL SHEET		TEMP. JOINTWATERING SILT BAG, SEE DETAIL SHEET
	PERMANENT OUTLET PROTECTION, SEE DETAIL SHEET		TREE PROTECTION FENCE, SEE DETAIL SHEET
	TEMP. CONCRETE WASHOUT AREA, SEE DETAIL SHEET		TEMP. COMPOST SOCK, SEE DETAIL SHEET
	TEMP. PLASTIC LINING, SEE TEMP. BASIN Baffles DETAIL SHEET		TEMP. COMPOST SOCK IN CHANNEL, SEE DETAIL SHEET
	TEMP. ROCK CHECK DAM, SEE DETAIL SHEET		TEMP. SLOPE DRAIN, SEE DETAIL SHEET
	TEMP. TIMBER/BRIDGE MAT, SEE DETAIL SHEET		PROPOSED STORM SEWER PIPES
	TEMP. TIMBER/BRIDGE MAT INLET, SEE DETAIL SHEET		EXISTING STORM SEWER PIPES
			CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED
			REINFORCED SILT FENCE OUTLET W/ STORMAGE, SEE DETAIL SHEET
			TRACK-OUT MAT CONSTRUCTION ENTRANCE, SEE DETAIL SHEET

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL WAKE COUNTY, NCDOE, AND NC DOT STANDARDS, SPECIFICATIONS, AND REGULATIONS.
 - THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF SITE. ALL OFF-SITE SOIL BORROW AND WASTE SITES SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITIES. CONTRACTOR SHALL PROVIDE WRITTEN DOCUMENTATION OF SEDIMENT & EROSION CONTROL PERMIT FOR ANY OFF-SITE SITES TO OWNER PRIOR TO RELOCATING ANY STOCKPILE MATERIALS.
 - THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY LOCAL AUTHORITIES OR ARCHITECT.
 - TOTAL DISTURBED AREA: 2.0 AC.
 - ALL OPEN STORM PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER WORK STOPPAGE EACH DAY. SEE DETAIL SHEET.
 - ALL STORM DRAINAGE PIPES SHALL BE THOROUGHLY FLUSHED OF ALL SEDIMENT FOLLOWING SITE STABILIZATION. INTERIOR FLUSHING OF SYSTEM SHALL BE PERFORMED AS NEEDED TO MAINTAIN PROPER FUNCTIONING OF THE DRAINAGE SYSTEM. CLEANING SHALL BE PERFORMED IN A MANNER WHICH PREVENTS SEDIMENT FROM BEING FLUSHED INTO THE EXISTING DRAINAGE SYSTEM.
 - THE INDICATED STAGING AREA IS INTENDED FOR VEHICLES AND NON-ERODIBLE MATERIALS ONLY. NO SOIL, SAND OR OTHER ERODIBLE, FINE GRAINED MATERIAL SHALL BE STORED OUTSIDE OF THE LIMITS OF THE SITE PROTECTED BY SEDIMENT AND EROSION CONTROL DEVICES AND MEASURES.
 - SOIL AND OTHER MATERIALS SHALL ONLY BE TEMPORARILY STOCKPILED WITHIN THE CONSTRUCTION LIMITS PROTECTED BY SEDIMENT AND EROSION CONTROL DEVICES AND MEASURES. STOCKPILES SHALL BE STABILIZED AS INDICATED AS INDICATED IN SUPPLEMENTAL STABILIZATION NOTES ON THIS PLAN.
 - THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS SCHEDULED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE SITE.
 - TREE PROTECTION FENCING SHALL NOT BE MOVED AND THERE SHALL BE NO ENCROACHMENT INTO SUCH PROTECTED AREAS. AUTHORITY OF THE COUNTY ZONING COMPLIANCE STAFF. ANY ACTIVITY (LANDSCAPING, FENCING, OR UTILITY INSTALLATION) SHOWN ON THE APPROVED PLANS IN A TREE PROTECTION AREA SHALL NOT BE DONE WITHOUT WRITTEN AUTHORIZATION FROM THE COUNTY ZONING COMPLIANCE STAFF. ANY UNAUTHORIZED ENCROACHMENT OR DISTURBANCE WITHIN THE BOUNDARIES OF A PROTECTED AREA SHALL BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED VEGETATION IN ACCORDANCE WITH THE LAND DEVELOPMENT ORDINANCE.
 - ROADSIDE DITCHES AND CHANNELS SHALL BE STABILIZED DAILY UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
 - INSTALL TEMPORARY MATTING TO TOP OF ALL SLOPES ON CHANNELS, DIVERSION DITCHES AND TEMPORARY SEDIMENT BASINS. SEE DETAIL SHEET. (PERMANENT CHANNELS) AND (TEMPORARY DIVERSION DITCH) FOR TYPE OF MATTING TO USE.
 - ANY REMOVAL OF SEDIMENT CONTAINMENT DEVICES FOR MAINTENANCE, REMOVAL OR CONVERSION PURPOSES IS TO BE DONE THROUGH A SILT BAG.
 - ANY REMOVAL OF STORM/UTILITY TRENCHES IS TO BE DONE THROUGH A SILT BAG.
 - GROUND COVER IS TO BE APPLIED PER CONDITIONS OF THE NPDES PERMIT OR AT THE END OF THE DAY IN CRITICAL AREAS.
 - CONTRACTOR SHALL USE TIRE WASH STATION TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROAD IF CONSTRUCTION ENTRANCE IS FOUND INSUFFICIENT AT NO ADDITIONAL COST TO OWNER.
 - CONTRACTOR SHALL UTILIZE PAM FLOCCULANTS TO REDUCE RUN-OFF TURBIDITY. SEE SPESCS.

- MAINTENANCE PLAN**
- DURING ALL PHASES OF CONSTRUCTION, GROUND COVER ON EXPOSED SLOPES SHALL BE PROVIDED ACCORDING TO GROUND STABILIZATION TABLE (SHEET) FOLLOWING COMPLETION OF ANY PHASE OF GRADING.
 - FINAL PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED ON ALL DISTURBED AREAS ACCORDING TO GROUND STABILIZATION TABLE (SHEET) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
 - THE ABOVE REQUIREMENTS ARE THE MINIMUM NECESSARY TO MEET EROSION AND SEDIMENT CONTROL REGULATIONS. THE CONTRACT DOCUMENTS INCLUDE ADDITIONAL SEEDING AND STABILIZATION REQUIREMENTS AND SCHEDULES WHICH MAY EXCEED THOSE ABOVE.
 - SLOPE EROSION CONTROL MATTING SHALL BE INSTALLED FOR TEMPORARY STABILIZATION DURING THE ESTABLISHMENT OF VEGETATIVE COVER ON ALL STEEP SLOPES (6:1 OR STEEPER). REFER TO MATERIAL SPECIFICATIONS. INSTALL MATTING PER MANUFACTURER'S INSTRUCTIONS.
 - ALL OTHER SEED AREAS SHALL BE MULCHED WITH STRAW AND TACKED WITH ASPHALT.

SELF-INSPECTION RULES

SEE SHEET FOR SELF-INSPECTION REQUIREMENTS.

THE CONTRACTOR (ACTING AS AN AGENT FOR THE FINANCIALLY RESPONSIBLE PERSON) SHALL PERFORM SELF INSPECTIONS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES USING NCDEM'S SELF INSPECTION REPORT (WORKSHEET) AND SHALL KEEP COPIES OF INSPECTION REPORTS ON-SITE.

SLOPE & SURFACE STABILIZATION

GROUND STABILIZATION SHALL BE PROVIDED ON ALL DISTURBED AREAS ACCORDING TO GROUND STABILIZATION NOTES. SEE SHEET.

EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE (SECTION 1.6(2) (b)).

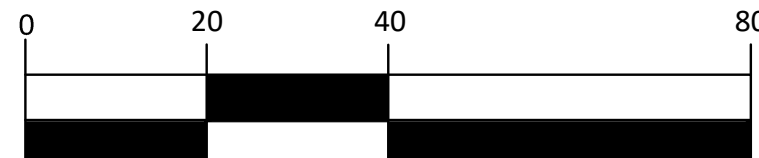
THE REQUIREMENTS ON SHEET ARE THE MINIMUM NECESSARY TO MEET EROSION AND SEDIMENT CONTROL REGULATIONS. THE CONTRACT DOCUMENTS INCLUDE ADDITIONAL SEEDING AND STABILIZATION REQUIREMENTS AND SCHEDULES WHICH MAY EXCEED MINIMUM REQUIREMENTS.

INSTALL TEMPORARY EXCLUSORY MATTING FOR STABILIZATION DURING THE ESTABLISHMENT OF VEGETATIVE COVER ON ALL STEEP SLOPES (6:1 OR STEEPER) AND AREAS OF CONCENTRATED FLOW (CHANNELS, DITCHES, SWALES, ETC.). UTILIZE TEMPORARY COCONUT MAT IN AREAS IDENTIFIED ON PLAN. REFER TO SPECIFICATION SECTION 312000 FOR MATERIAL SPECIFICATIONS. INSTALL MATTING PER MANUFACTURER'S INSTRUCTIONS.

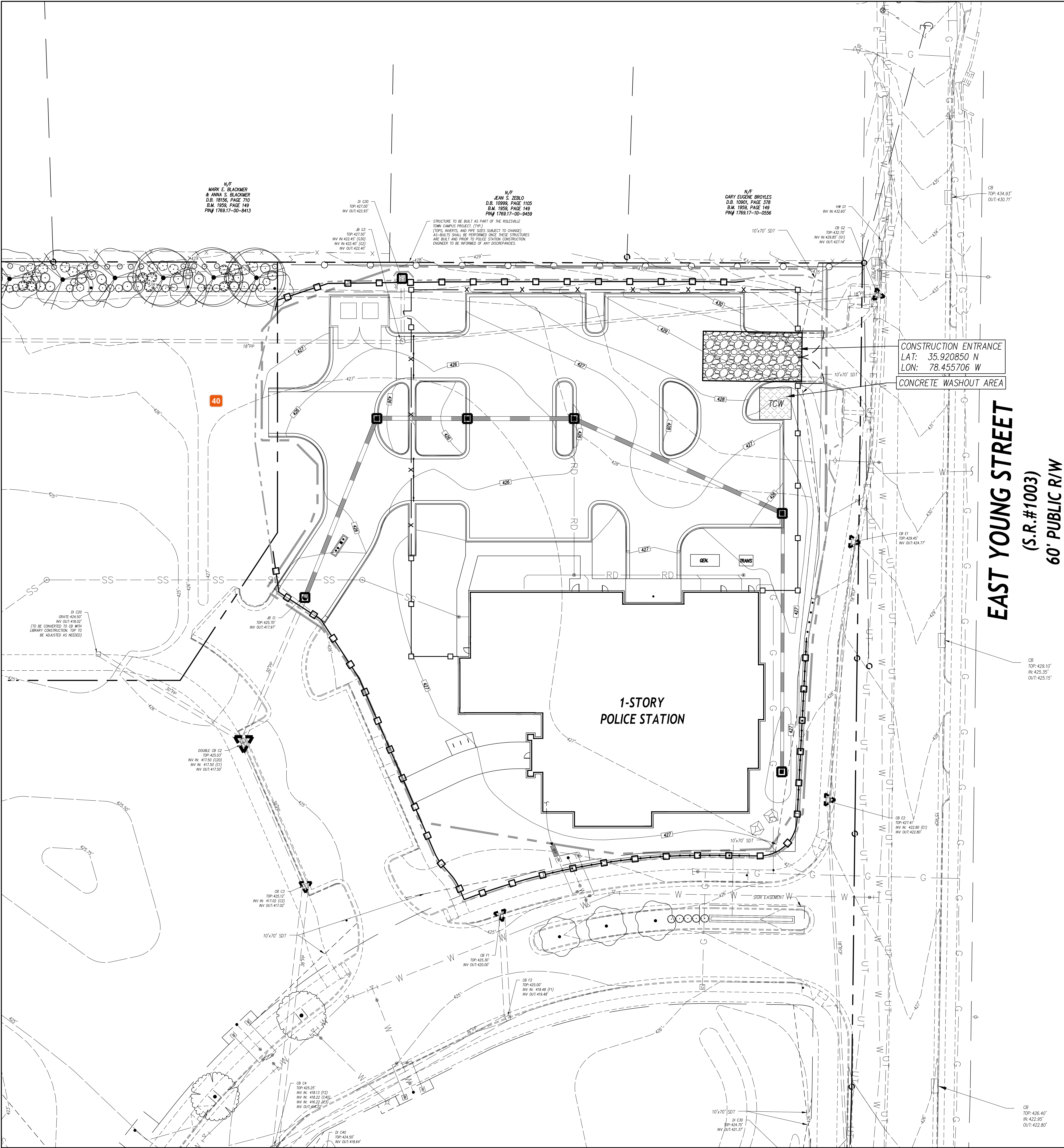
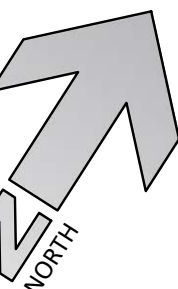
SEE SHEET EROSION CONTROL CONSTRUCTION SEQUENCE.

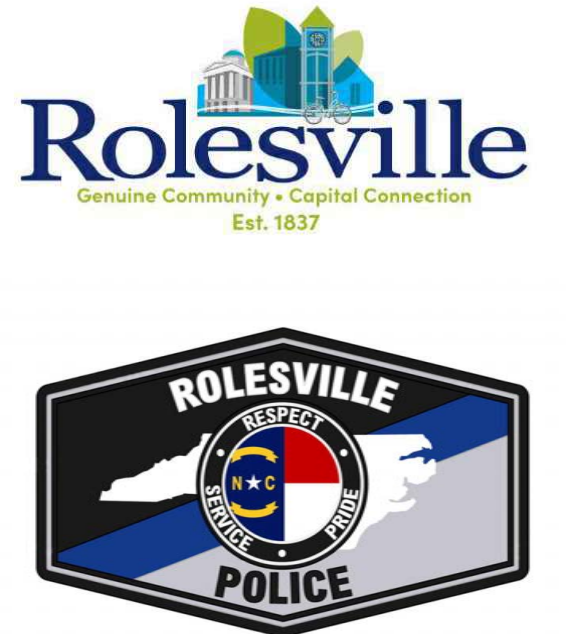
SEE SHEET EROSION CONTROL GROUND COVER PLAN FOR MORE INFORMATION.

GRAPHIC SCALE



1 inch = 20 ft.





TOWN OF
ROLESVILLE
POLICE
DEPARTMENT

ROLESVILLE, NC
27571

UTILITY PLAN

DATE: 06-22-2026
PROJECT NO:
CLH PROJECT NO: 25-108

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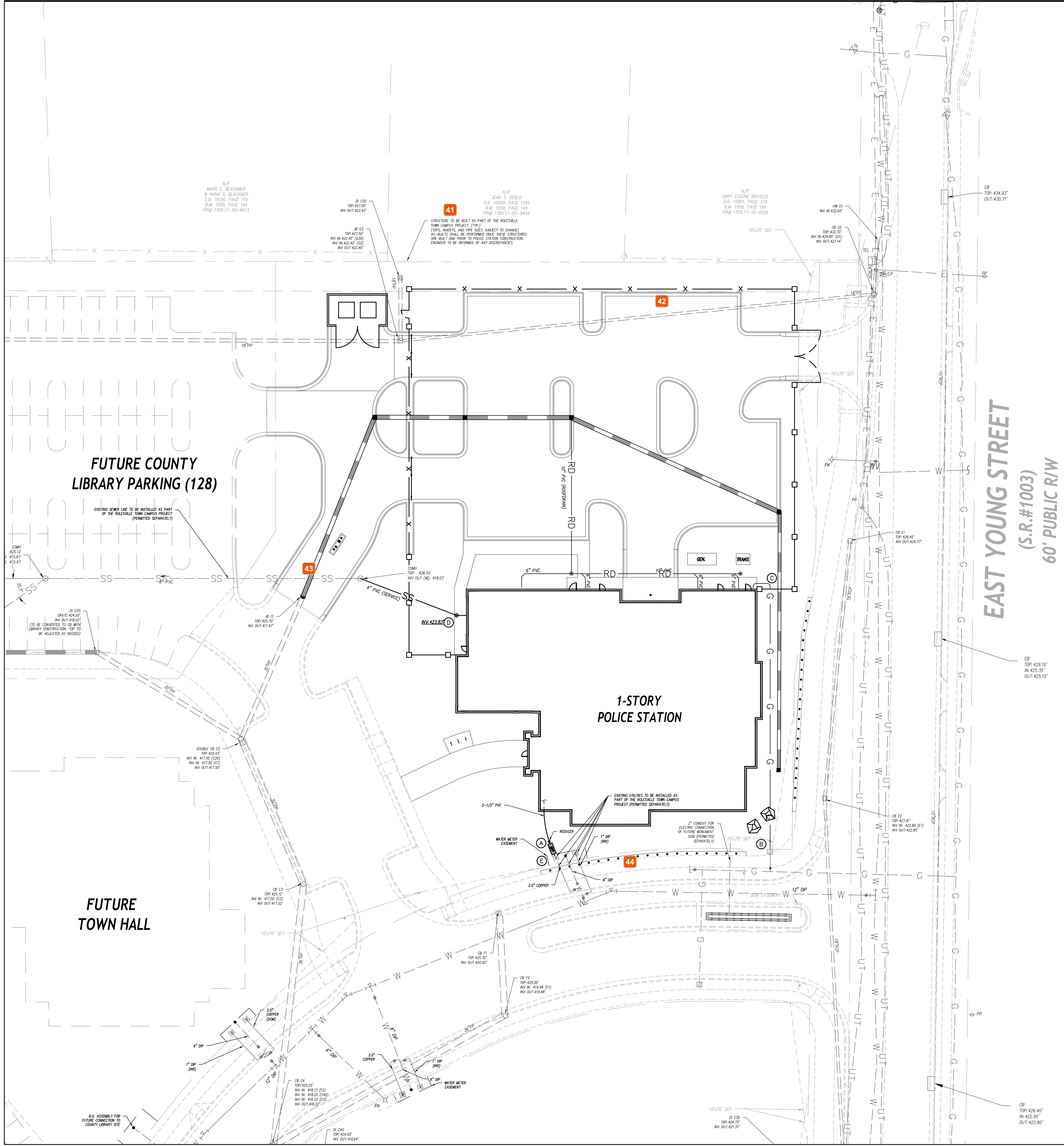
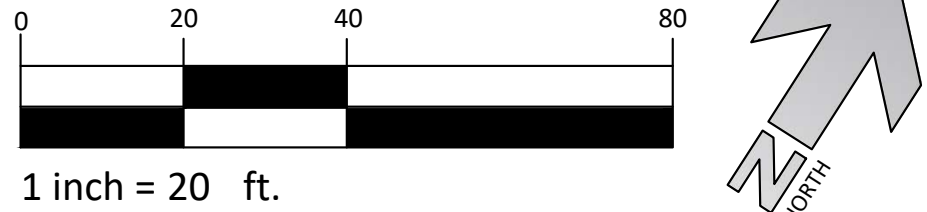
SHEET NUMBER:
C-5.01

UTILITY LEGEND	
EXISTING	PROPOSED
CHILLED WATER	— CW —
ELECTRICAL (OVERHEAD)	— E —
ELECTRICAL (UNDERGROUND)	— UE —
FOUNDATION DRAIN	— FD —
GAS	— G —
SANITARY SEWER	— SS —
TELEPHONE (OVERHEAD)	— T —
TELEPHONE (UNDERGROUND)	— UT —
WATER	— W —
ROOF DRAIN	— RD —
FIRE PROTECTION	— FP —
STORM DRAIN	— SD —
TREE PROTECTION FENCING, SEE EROSION CONTROL PLANS	—
LIGHT POLE	LP
UTILITY POLE	UP
MANHOLE	MH
CLEAN OUT	CO
DROP INLET/CATCH BASIN	DL, CB
FIRE HYDRANT	FH
WATER VALVE	WV
POST INDICATOR VALVE (PIV)	PIV
FIRE DEPARTMENT CONNECTION (FDC)	FDC
THURST BLOOMING	—
SANITARY SEWER STRUCTURE IDENTIFICATION	1

- GENERAL NOTES-UTILITY
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH, AND NCDDOT STANDARDS, SPECIFICATIONS AND DETAILS.
 - INSTALL WATERMANS WITH A COVER OF NO LESS THAN 3'-FT.
 - INSTALL SEWER MANS WITH A COVER OF NO LESS THAN 3'-FT TO FINISH GRADE IN NON-TRAFFIC AREAS, 4'-FT TO FINISH GRADE IN TRAFFIC AREAS.
 - INSTALL ALL UTILITIES TO PROVIDE REQUIRED CLEARANCES AS INDICATED IN THE SPECIFICATIONS.
 - WATERLINES AND SEWER MANS SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL CLEARANCE OF 10'-FT.
 - SEWER MANS SHALL BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24"-IN TO STORM DRAINAGE PIPES.
 - COORDINATE AND SCHEDULE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADES INCLUDING BUT NOT LIMITED TO: NATURAL GAS, ELECTRICITY, TELEPHONE AND CABLE.
 - VERIFY EXISTING CONDITIONS AND CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.
 - CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
 - ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE NCSDC AND OSDM REQUIREMENTS.
 - THE CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF ALL UTILITY AND STORM DRAINAGE IMPROVEMENTS FOLLOWING CONSTRUCTION. SEE SPECS FOR ALL AS-BUILT REQUIREMENTS.
 - CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY SERVICE TO ADJACENT FACILITIES. COORDINATE SHUT-DOWN, OFF-ROAD, TEMPORARY SHUT-DOWNS WITH THE OWNER.
 - SEE GENERAL NOTES ON EXISTING CONDITIONS AND DEMOLITION PLAN FOR REQUIREMENTS FOR REMOVAL AND PATCHING OF PAVEMENT FOR UTILITY INSTALLATION.
 - ALL ROOF DRAINS SHALL BE 6" PVC (SCH 40) @ 1:04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24"-IN.
 - ALL SANITARY SEWER SERVICES SHALL BE 4" PVC (SCH 40) @ 0.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24"-IN.
 - ALL COORDINATE LINES SHALL BE CONNECTED TO STORM DRAINAGE SYSTEM.
 - NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTICES CONTRACTOR IN WRITING OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.
 - SEE UTILITY DETAILS SHEETS FOR CITY OF RALEIGH STANDARD UTILITY NOTES AND DETAILS.

- KEY NOTES
- 2.0-IN ZURN-WILKINS MODEL 975SL2 OR APPROVED EQUIVALENT BACKFLOW PREVENTER (BFP) WITHIN HEATED ENCLOSURE. SEE DETAIL SHEET — SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - APPROXIMATE LOCATION GAS METER AND GAS SERVICE LINES. SEE MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
 - FOR MATERIAL GAS SERVICE LINE. SEE MEP PLANS FOR ADDITIONAL INFORMATION. GC TO COORDINATE WITH UTILITY PROVIDER.
 - NEW SANITARY SEWER CLEAFOUT, TYP. SEE DETAIL SHEET —
 - CONNECT TO EXISTING 2.0-IN WATER METER.

GRAPHIC SCALE



- 41 Michael Elabarger

Is this referring to infrastructure improvements per CID-26-0003 (CID-25-07) ? If so let's go ahead and reference it as such. Reminder that subdivision improvements should be built and in the ground before Site development of a lot, typically - we understand that at this time of review of this SDP, the CID plans are not even approved and thus infrastructure not yet built. Such note references should thus be written according to the planned state of construction at the time of approval of this SDP....this is the difficulty of performing land development steps that should be done in 1-2-3- order all over-lapping.
- 42 Jacqueline Thompson

If this is existing storm sewer - is it public? Is there an easement?
- 43 Jacqueline Thompson

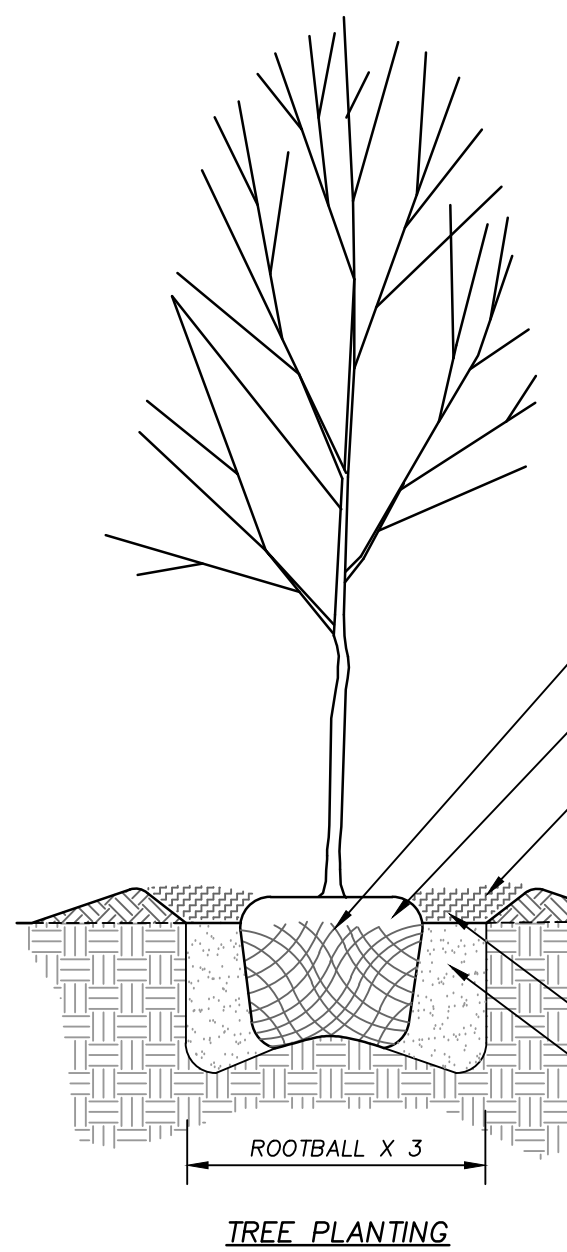
Please duplicate 18" min. separation notes on this sheet.
- 44 Stephen Wolf

** Ped.
** Plans are preliminary and not for construction. Please include fire line, FDC, and all fire hydrant information on the next submittal. Also include a fire truck turning diagram to include a minimum inside turning radius of 28 feet.

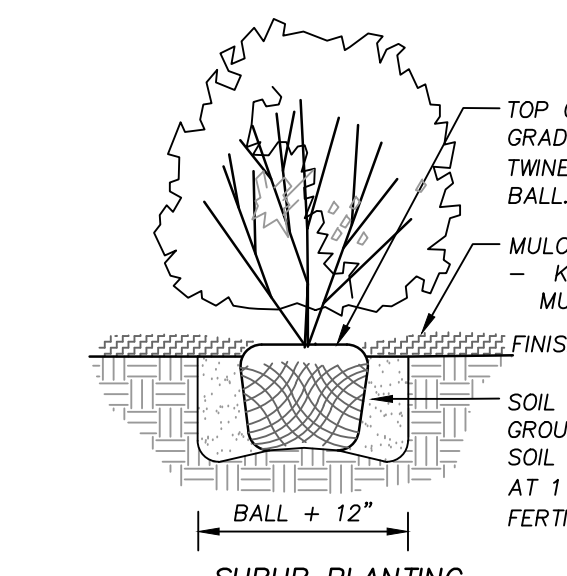


- 61 Michele Raby

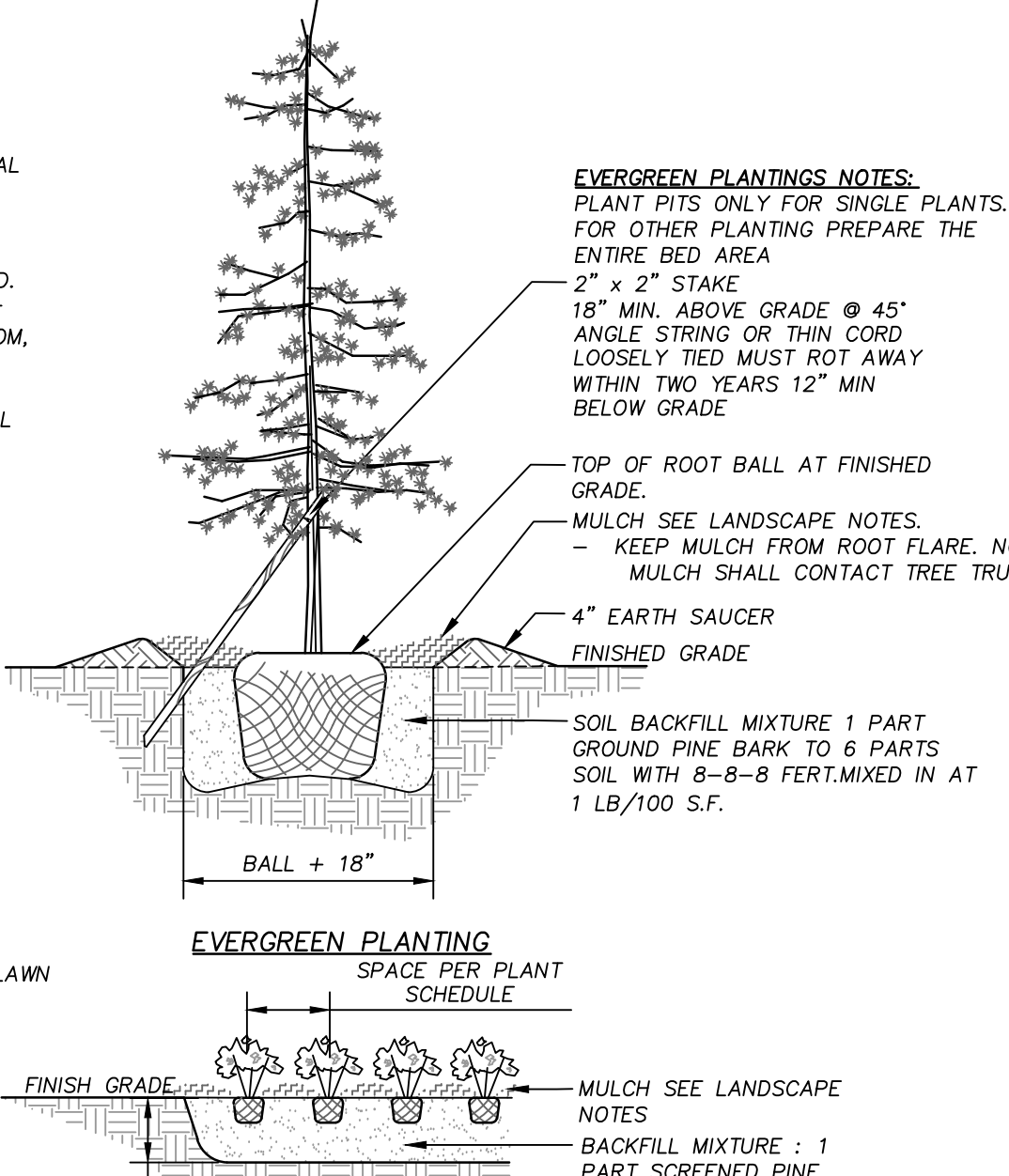
Add gross floor area



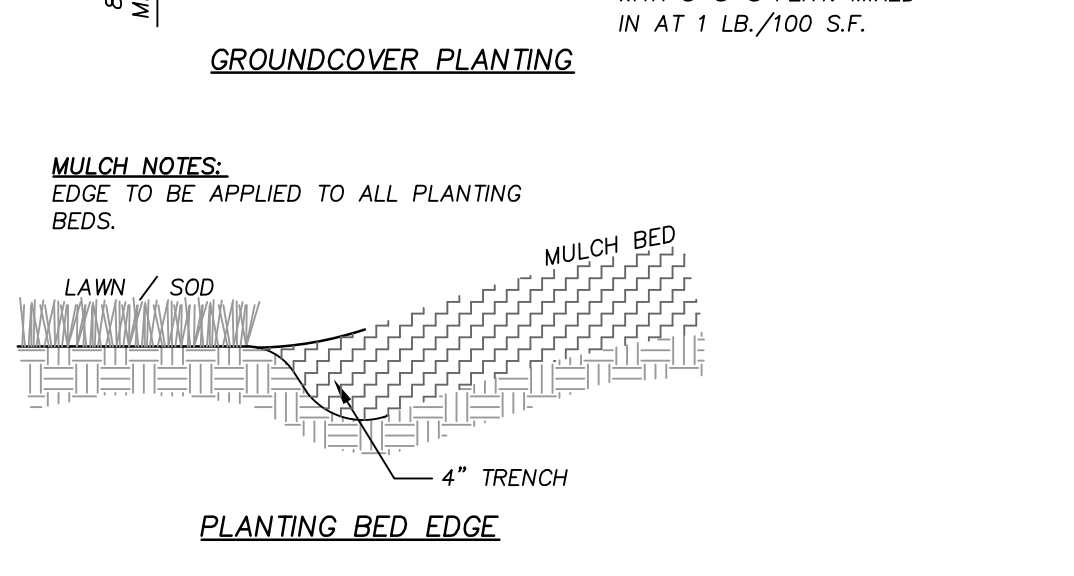
- TREE PLANTING NOTES:**
- SEE SPECIFICATION SECTION 329000 FOR ADDITIONAL INFORMATION NOTED ON DETAILS
 - TREE PLANTING TO MEET ALL LOCAL CODE/RULES.
 - MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND LOCATE TO THE NORTH IN THE FIELD.
 - IF TREE WRAPS ARE PROVIDED ENSURE TO START AT SECOND BRANCH. TIE SECURELY AT TOP, BOTTOM, AND AT 2' INTERVALS. ALL TREE WRAPS TO BE REMOVED UPON PROJECT FINAL COMPLETION.
 - PLEASE REFER TO SPEC 329000 SECTION FOR ALL WARRANTY REQUIREMENTS.
 - TREE STAKING TO BE PROVIDED ON 3:1 SLOPES AND/OR AREAS OF HIGH WINDS.
 - DO NOT PRUNE OR CUT LEADERS.
 - REMOVE TOP 1/3 OF WIRE BASKET TWINE FROM TOP 1/3 OF ROOT BALL.
 - TOP OF ROOT BALL AT FINISHED GRADE. REMOVE BURLAP AND TWINE FROM TOP 1/3 OF ROOT BALL.
 - MULCH SEE LANDSCAPE NOTES.
 - KEEP MULCH FROM ROOT FLARE. NO MULCH SHALL CONTACT TREE TRUNK.
 - 6" EARTH SAUCER.
 - FINISHED GRADE.
 - PREPARED & MULCHED PLANT BED OR PREPARED LAWN AREA.
 - SOIL BACKFILL MIXTURE 1 PART GROUND PINE BARK TO 6 PARTS SOIL WITH 8-8-8 FERT. MIXED IN AT 1 LB/100 S.F. (NO FERTILIZER ON BURFORD HOLLES).
 - ROOTBALL X 3



- SHRUB PLANTING**
- TOP OF ROOT BALL AT FINISHED GRADE. REMOVE BURLAP AND TWINE FROM TOP 1/3 OF ROOT BALL. REMOVE CONTAINER.
 - MULCH SEE LANDSCAPE NOTES.
 - KEEP MULCH FROM ROOT FLARE. NO MULCH SHALL CONTACT STEM.
 - FINISHED GRADE.
 - SOIL BACKFILL MIXTURE 1 PART GROUND PINE BARK TO 6 PARTS SOIL WITH 8-8-8 FERT. MIXED IN AT 1 LB/100 S.F. (NO FERTILIZER ON EVERGREENS).
 - BALL + 12"

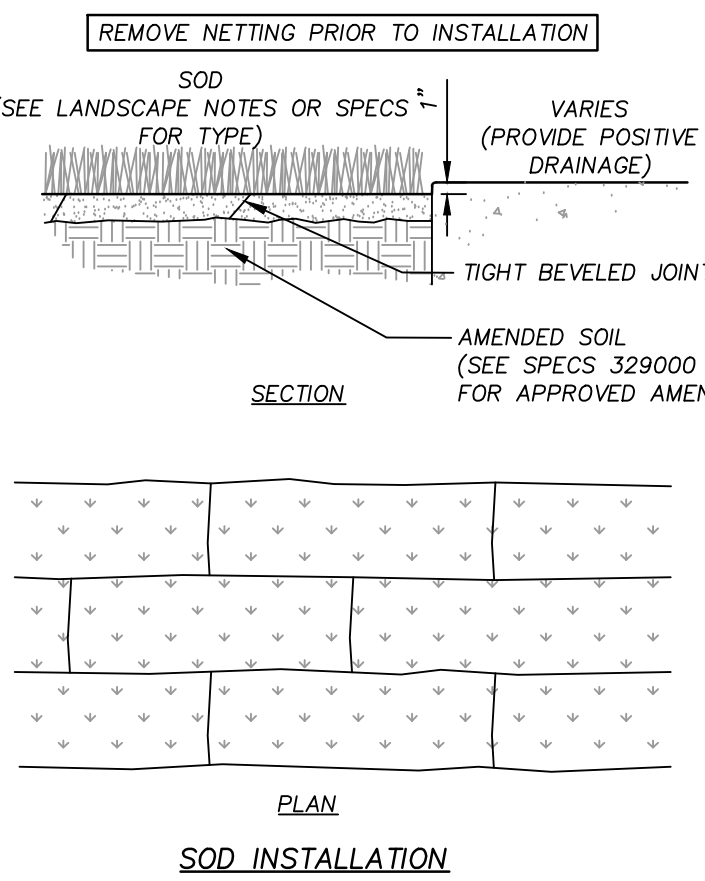


- EVERGREEN PLANTING NOTES:**
- PLANT FITS ONLY FOR SINGLE PLANTS. FOR OTHER PLANTING PREPARE THE ENTIRE BED AREA 2' x 2' STRIKE
- 18" MIN. ABOVE GRADE @ 45° ANGLE STRING OR THIN CORD LOOSELY TIED MUST NOT AWAY WITHIN TWO YEARS 12" MIN BELOW GRADE
 - TOP OF ROOT BALL AT FINISHED GRADE.
 - MULCH SEE LANDSCAPE NOTES.
 - KEEP MULCH FROM ROOT FLARE. NO MULCH SHALL CONTACT TREE TRUNK
 - 4" EARTH SAUCER
 - FINISHED GRADE
 - SOIL BACKFILL MIXTURE 1 PART GROUND PINE BARK TO 6 PARTS SOIL WITH 8-8-8 FERT. MIXED IN AT 1 LB/100 S.F.
 - BALL + 18"



- GROUNDCOVER PLANTING**
- MULCH NOTES: EDGE TO BE APPLIED TO ALL PLANTING BEDS.
 - LAWN / SOD
 - MULCH BED
 - 4" TRENCH
 - PLANTING BED EDGE

- SOD MAINTENANCE NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR SOD MAINTENANCE UNTIL FINAL COMPLETION.
 - PLEASE REFER TO SPEC 329000 FOR ALL SOD INSTALLATION REQUIREMENT, WARRANTIES AND MAINTENANCE TILL FINAL COMPLETION.
 - CONTRACTOR MUST MEET 95% SOD ESTABLISHMENT FOR FINAL COMPLETION. REFER TO SPEC 329000 SECTION 1.9 & 1.12 FOR ALL APPLICABLE REQUIREMENTS.
 - SOD INSTALLED OUTSIDE GROWING SEASON WILL NEED TO MEET THE FOLLOWING SECTION 329000 SECTIONS 1.9 & 1.12 FOR ALL WARRANTY REQUIREMENTS.
 - PLEASE REFER TO SPEC 329000 SECTION 1.10 FOR ALL WARRANTY REQUIREMENTS.
 - CONTRACTOR IS RESPONSIBLE FOR REGULAR MOWING AND FOR FURNISHING AND APPLYING ADEQUATE WATER TO THE INSTALLED SOD UNTIL PROJECT FINAL COMPLETION BUT NO LESS THAN 4 WEEKS FOLLOWING SOD INSTALLATION.
 - WATERING SHALL BE MONITORED TO ENSURE PROPER RATES ARE APPLIED. OVER-WATERING SHALL BE AVOIDED.
 - DEAD OR DYING SOD SHALL BE REPLACED PRIOR TO OWNER'S ACCEPTANCE.

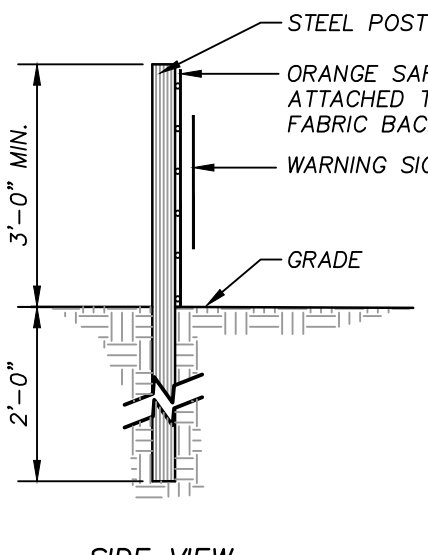


SOD INSTALLATION

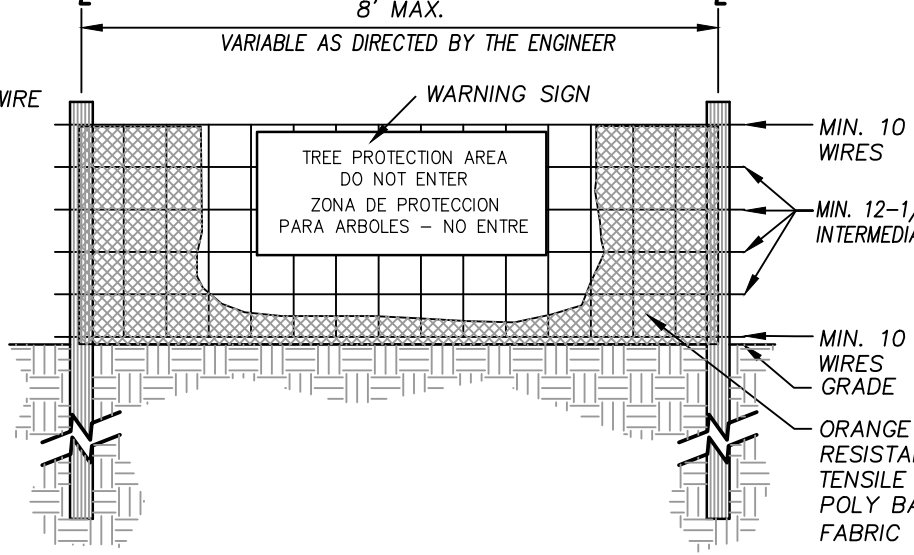
PLANTING / LANDSCAPING DETAIL

N.T.S.

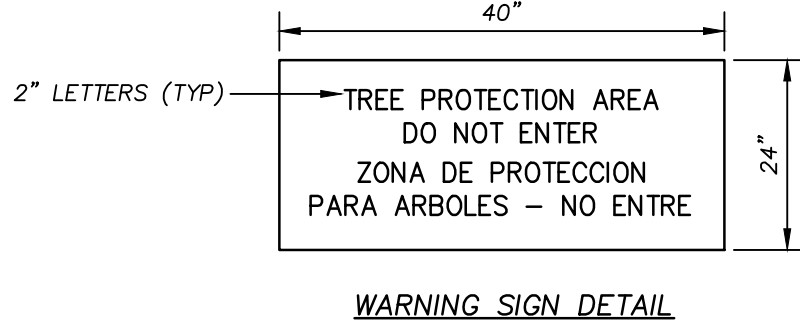
- NOTES:**
- INSTALL TREE PROTECTION FENCING PRIOR TO PERFORMING ANY CLEARING OF THE SITE.
 - WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
 - LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 - SIGNS SHALL BE PLACED AT 100' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 100' ON CENTER THEREAFTER.
 - FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 - MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.



SIDE VIEW



FRONT VIEW



WARNING SIGN DETAIL

TEMPORARY TREE PROTECTION FENCE

N.T.S.

TEMPORARY SEEDING SCHEDULE (JUNE 1ST TO FEBRUARY 28TH)

DATE	TYPE	SEEDING RATE
AUG 15 - APR 15	3-WAY TALL FESCUE BLEND AND CEREAL RYE (GRAIN)	10 LBS PER 1,000/SF 35 LBS/ACRE
APR 15 - AUG 15	3-WAY TALL FESCUE BLEND AND GERMAN RYE *** OR SUBGRASS (SMALL-STEMMED VAR) ***	10 LBS PER 1,000/SF 25 LBS/ACRE

CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENuded AREAS. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

*** TEMPORARY - RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING, OTHERWISE, FESCUE MAY BE SHADED OUT.

DATE	TYPE	SEEDING RATE
APR 15 - JULY 15 **	MULLED SUNSTAR OR RIVERA BERMUDA	150 LBS/ACRE *
JULY 15 - AUG 15 (WATERING AT CONTRACTOR'S EXPENSE)	SUNSTAR OR RIVERA BERMUDA	150 LBS/ACRE *

* OR AS REQUIRED TO ACHIEVE 95% COVERAGE AS DETERMINED ON A PER SQUARE YARD BASIS PRIOR TO SUBSTANTIAL COMPLETION.

** WHEN SEEDING MUST TAKE PLACE OUT-OF-SEASON FOR PERMANENT GRASS, APPROPRIATE TEMPORARY SEEDING SHALL BE DONE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERMANENT SEEDING AS SPECIFIED IN SEASON AT NO ADDITIONAL COST TO OWNER.

PLANTING / LANDSCAPING GENERAL NOTES

- LOCATE ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL. RESOLVE ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THOSE SHOWN ON THE PLAN.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLAN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE TOTAL QUANTITIES SHALL BE AS SHOWN ON THE PLAN.
- ALL PLANT MATERIAL SHALL CONFORM WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND THE WRITTEN SPECIFICATIONS.
- ALL PLANT MATERIAL (SHRUBS/TREES) SHALL BE A MINIMUM DISTANCE OF 4-1/2 FEET FROM BACK OF CURB, EXCEPT ALONG ANY NEW WALLS THROUGH NO FAULT OF THE OWNER. AREAS SHALL BE RE-GRADED AND RE-SEED IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL WATER AND MAINTAIN THOSE AREAS UNTIL THEY ARE AT 95% COVERAGE AT FINAL COMPLETION.
- SUBSTITUTIONS OF PLANT MATERIAL SHALL ONLY BE ACCEPTED 60 DAYS PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. SUBSTITUTION REQUESTS MUST BE IN WRITING AND WILL ONLY BE ACCEPTED FOR LACK OF AVAILABILITY REASONS WHICH CAN BE SUBSTANTIATED OR FOR SUPERIOR STOCK SUBSTITUTIONS.
- LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT TO REVIEW GRADING ONE WEEK PRIOR TO SEEDING, IF THE LANDSCAPE CONTRACTOR AND LANDSCAPE ARCHITECT FIND GRADING UNACCEPTABLE FOR FINAL SEEDING.
- LANDSCAPE CONTRACTOR SHALL BRING IT TO THE ATTENTION OF THE GENERAL CONTRACTOR. LANDSCAPE CONTRACTOR SHALL NOT PROCEED WITHOUT APPROVAL BY LANDSCAPE ARCHITECT.
- IF CONFLICTS OCCUR BETWEEN WRITTEN SPECIFICATIONS AND THE DRAWINGS, THE WRITTEN SPECIFICATIONS SHALL PREVAIL.
- GENERAL LAWN AREAS SHALL BE SEEDING WITH RIVERA OR SUNSTAR BERMUDA SEED. SOD AREAS SHALL BE TIF-TUF BERMUDA. 95% COVERAGE (BASED ON A PER SQUARE YARD SAMPLE) SHALL BE ATTAINED PRIOR TO FINAL INSPECTION. SEE DETAIL SHEET FOR RATES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- SEE PLANTING PLAN FOR LIMITS.
- ALL 3:1 SLOPES OR GREATER SHALL RECEIVE EROSION CONTROL MATTING. REFER TO PLANTING PLANS FOR STABILIZATION REQUIREMENTS.
- ALL FOUNDATION SHRUBS TO BE PLANTED A MINIMUM OF 5'-FT FROM BUILDING WALL. ALL SHADE TREES SHALL BE A MINIMUM DISTANCE OF 15'-FT FROM BUILDING ROOF EDGE TO CENTER OF TREE. NOTIFY LANDSCAPE ARCHITECT FOR ANY DISCREPANCIES.
- INSTALL PERMANENT SEEDING ALONG ALL ROADSIDE DITCHES AND CHANNELS WITHIN CONSTRUCTION LIMITS OF PROJECT. SEE EROSION CONTROL PLANS FOR ADDITIONAL INFORMATION.

LIME AND FERTILIZATION SCHEDULE:

- APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY A MINIMUM 3,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND A MINIMUM 500 LB/ACRE 10-10-10 FERTILIZER AS NEEDED TO ESTABLISH 95% COVERAGE (AS DETERMINED ON A PER SQUARE YARD BASIS) PRIOR TO SUBSTANTIAL COMPLETION.
- CONTRACTOR TO SUBMIT A COPY OF ALL SOIL REPORTS TO OWNER UPON RECEIPT.

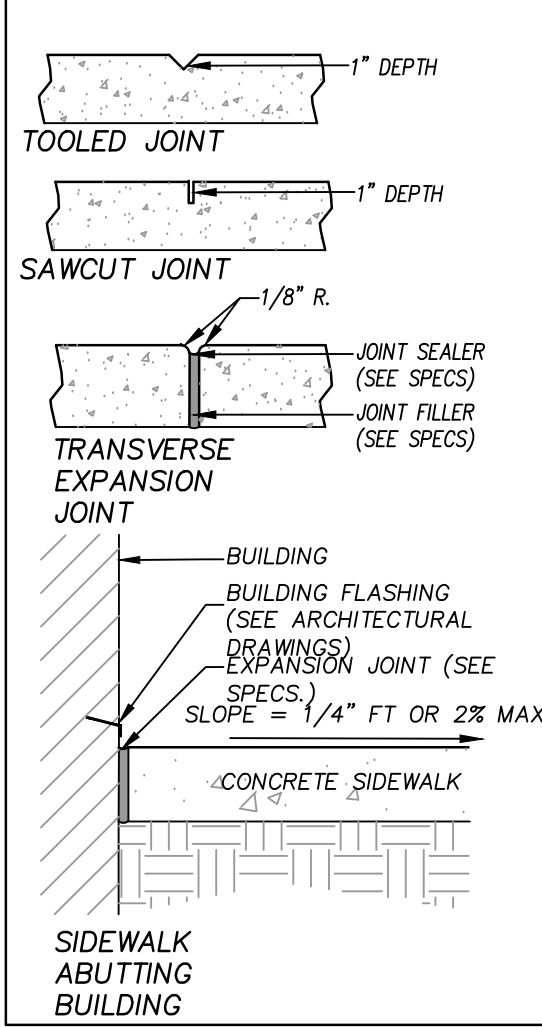
SURFACE STABILIZATION REQUIREMENTS:

- DURING ALL PHASES OF CONSTRUCTION, GROUNDCOVER ON EXPOSED SORES SHALL BE PROVIDED WITHIN 14 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING.
- FINAL PERMANENT GROUNDCOVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED ON ALL DISTURBED AREAS WITHIN 14 CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- USE EXCELISOR MATTING OR OTHER APPROVED CHANNEL LINING MATERIAL TO COVER THE BOTTOM OF CHANNELS.
- APPLY 4000 LB/ACRE (2 TONS LB/AC) GRAIN STRAW OVER SEEDS AREAS AND ANCHOR STRAW CRIMPING WITH HAND OR MECHANICAL CRIMPER 8" MAX. SEADING, ASPHALT TACKING OR OTHER APPROVED METHOD. ASPHALT TACKING SHALL BE 400 GAL/ACRE (8 GAL/1000 SF).
- MULCH AND ANCHORING MATERIALS MUST NOT BE ALLOWED TO WASH DOWN SLOPES AND CLOG DRAINAGE DEVICES.
- SEE NCEQ GROUND STABILIZATION REQUIREMENTS FOR ADDITIONAL INFORMATION.

PLANTING / LANDSCAPING DETAIL

N.T.S.

- GENERAL NOTES:**
- PROVIDE GROOVE CONTROL JOINT 1'-IN DEEP WITH 1/8"-IN RADIUS EDGING AT 10' INTERVALS UNLESS INDICATED OTHERWISE.
 - PROVIDE 1/2"-IN WIDE EXPANSION JOINT AT 50' INTERVALS AND WHERE EDGING ABUTS ANY ROAD PAVEMENT AND/OR STRUCTURE.
 - ALL CONCRETE SHALL BE 4,000 P.S.I.
 - SURFACE SHALL RECEIVE FINE BROOM FINISH.



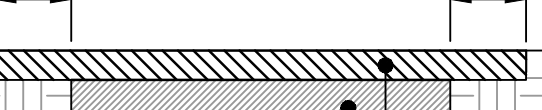
CONCRETE SIDEWALK

N.T.S.



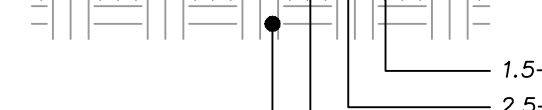
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CONCRETE SIDEWALK

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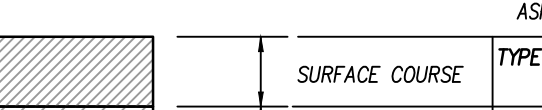
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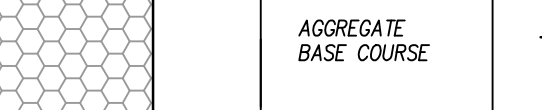
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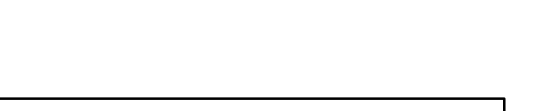
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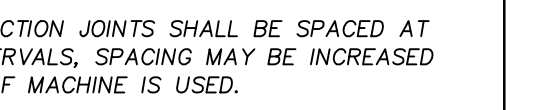
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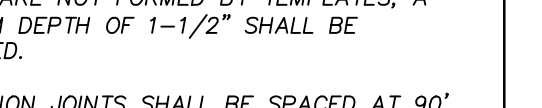
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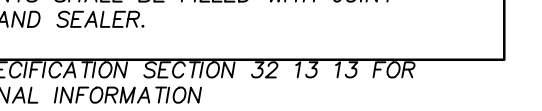
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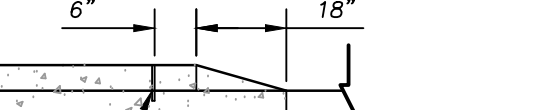
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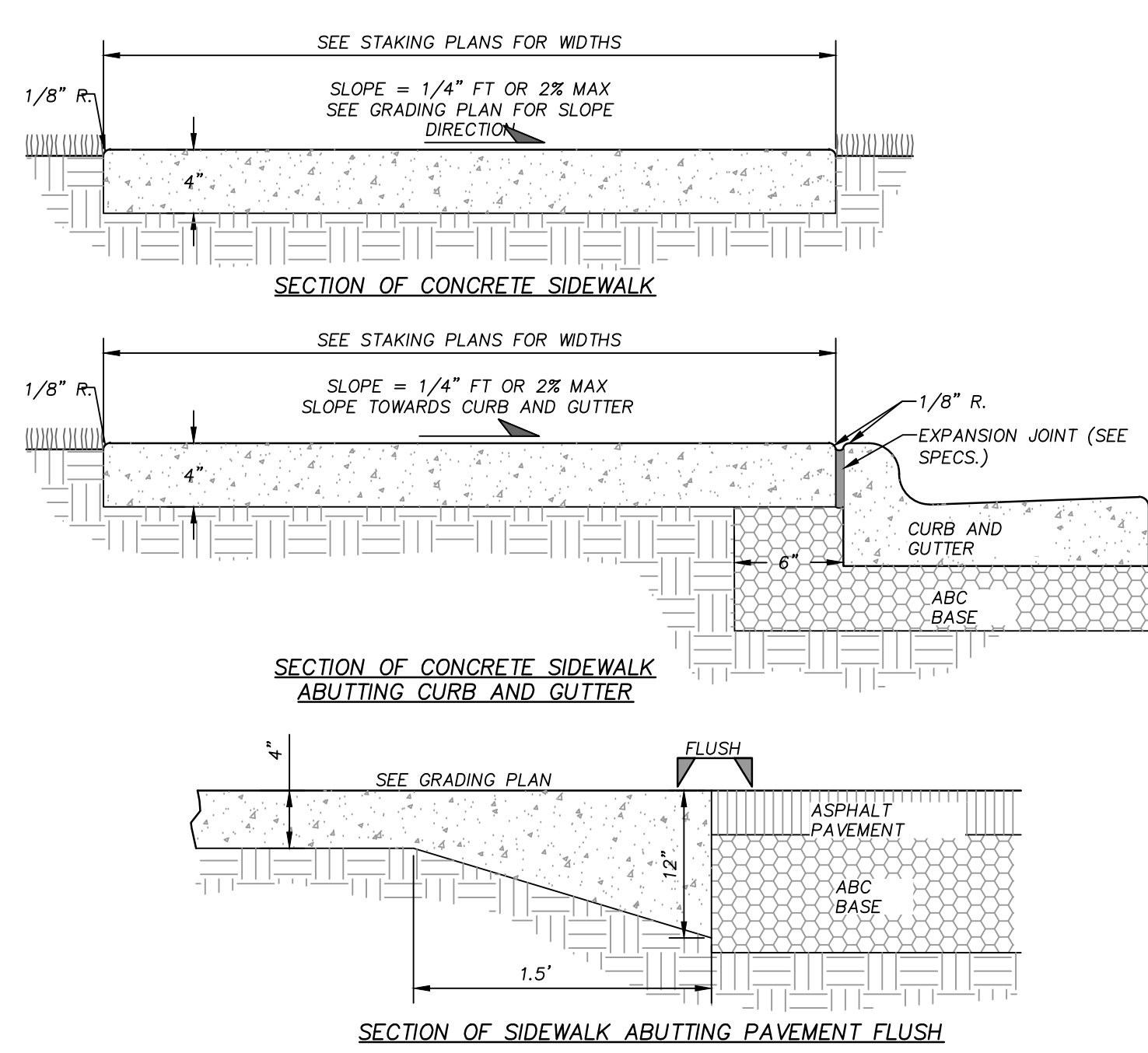
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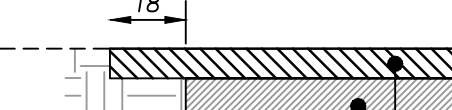
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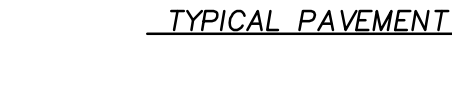
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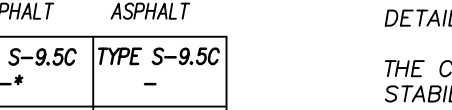
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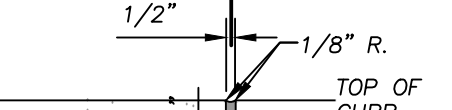
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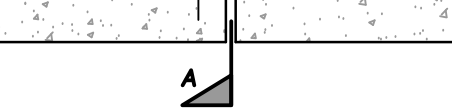
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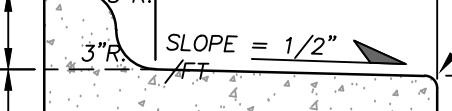
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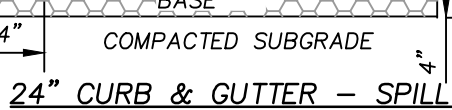
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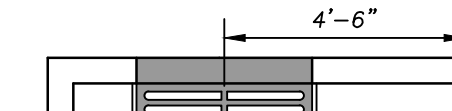
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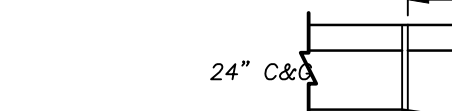
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CONCRETE SIDEWALK

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CONCRETE SIDEWALK

N.T.S.

- NOTES:**
- ASPHALT PATCH SECTION SHALL BE INSTALLED WHERE PAVEMENT WIDTH IS LESS THAN 6'-FT.
 - SEE EARTH MOVING AND ASPHALT PAVEMENT SPECIFICATIONS FOR PROOF-ROLLING, COMPACTION & TESTING REQUIREMENTS.
 - THE CONTRACTOR MAY CHOOSE TO INSTALL INTERMEDIATE COURSES OF PAVEMENT TO STABILIZE THE SITE DURING CONSTRUCTION AT NO ADDITIONAL COST.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGES TO SUBGRADE, INSTALLED BASE COURSE AND/OR INTERMEDIATE PAVING PRIOR TO PLACING SUBSEQUENT PAVEMENT LIFTS AT NO ADDITIONAL COST.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAVEMENT DURING ALL PHASES OF WORK. THE FINAL SURFACE OF PAVEMENT SHALL BE FREE OF ALL DEFECTS OR DAMAGE.

ASPHALT PATCH

N.T.S.

SEE SPECIFICATIONS FOR PROOFROLLING, COMPACTION & TESTING REQUIREMENTS.

DETAIL IS FOR ON-SITE PAVING OPERATIONS ONLY.

THE CONTRACTOR MAY CHOOSE TO INSTALL INTERMEDIATE COURSES OF PAVEMENT TO STABILIZE THE SITE DURING CONSTRUCTION AT NO ADDITIONAL COST.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ADEQUATE THICKNESS REQUIRED FOR INTERMEDIATE PAVING. INCREASES IN THE DESIGN PAVING SECTION TO FACILITATE INTERMEDIATE PAVING SHALL BE PROVIDED AT NO ADDITIONAL COST.

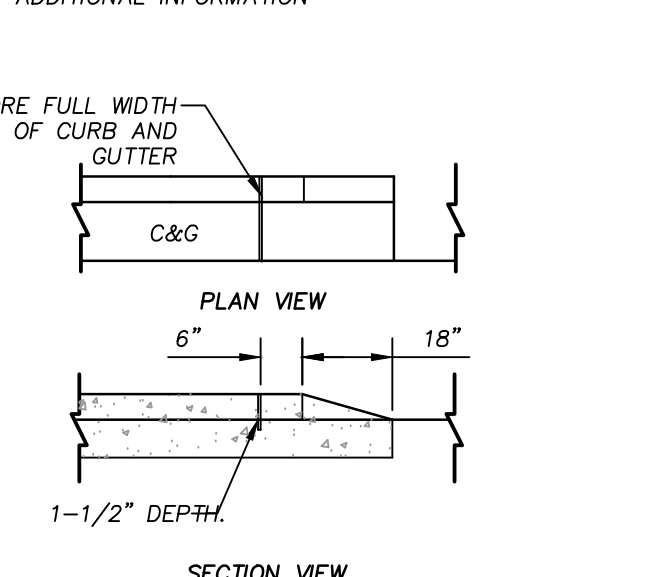
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THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAVEMENT DURING ALL PHASES OF WORK. THE FINAL SURFACE OF PAVEMENT SHALL BE FREE OF ALL DEFECTS OR DAMAGE.

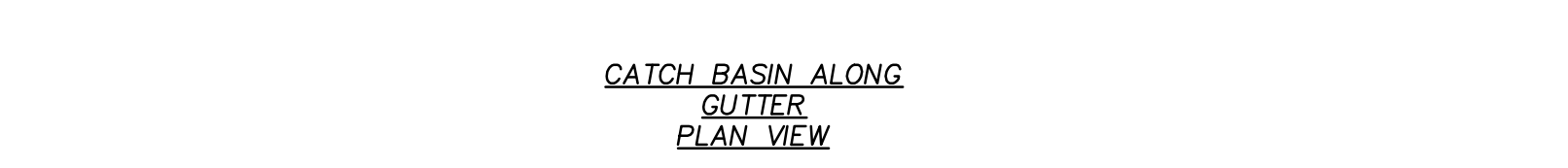
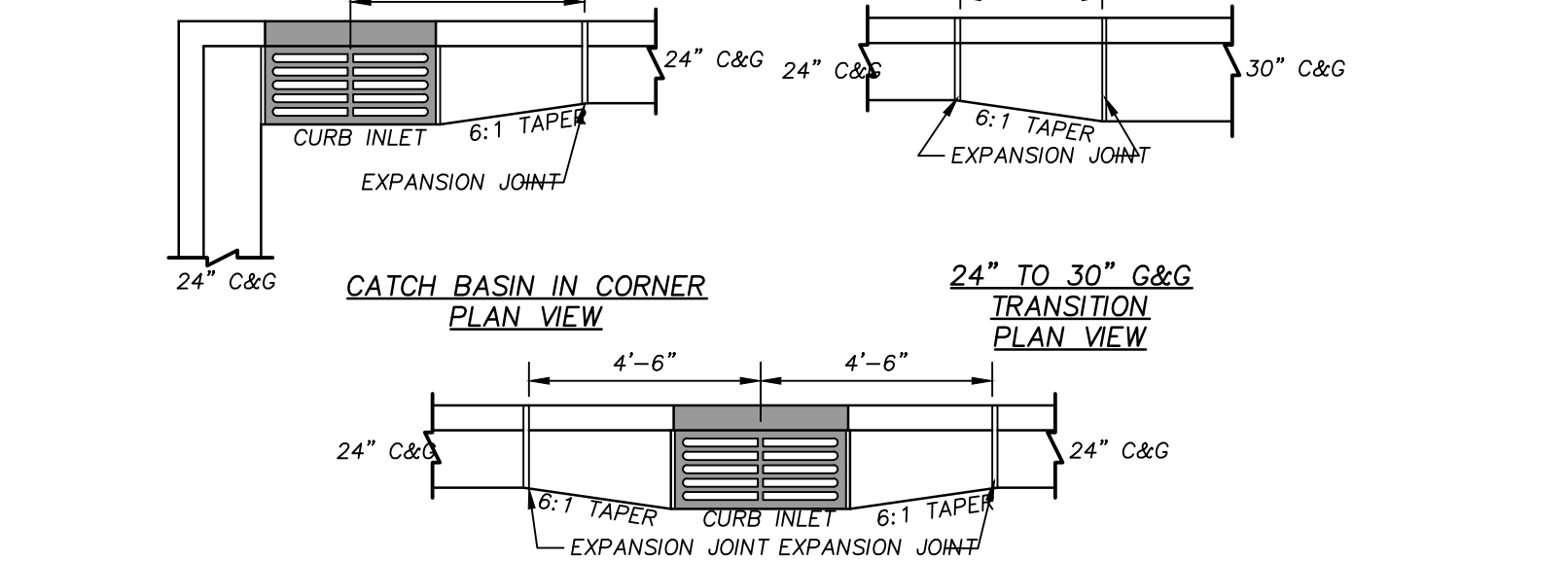
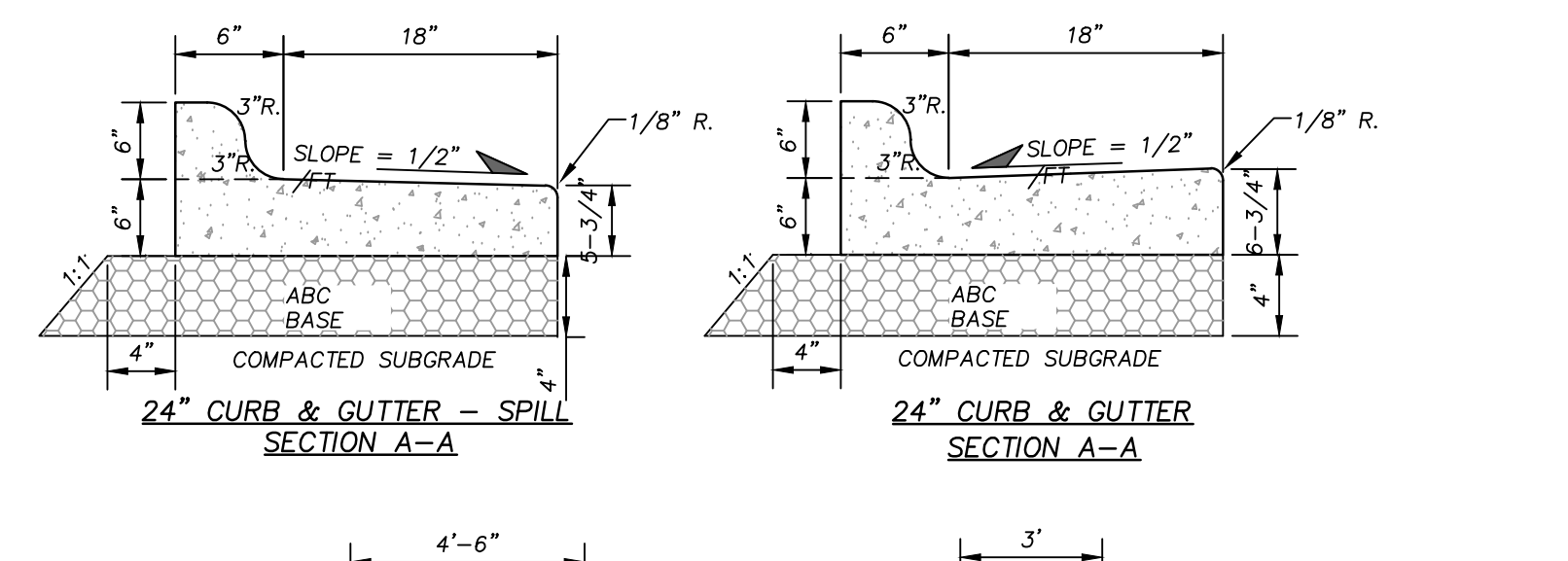
PAVEMENT SECTIONS

N.T.S.

	LIGHT DUTY ASPHALT	MEDIUM DUTY ASPHALT	HEAVY DUTY ASPHALT
SURFACE COURSE	TYPE S-9.5C	TYPE S-9.5C	TYPE S-9.5C
BINDER COURSE	-	-	TYPE 1-19.0C
AGGREGATE BASE COURSE	-	-	-
COMPACTED SUBGRADE	-	-	-
	*TWO LIFTS		



ENDING CURB AND GUTTER



CATCH BASIN IN CORNER

PLAN VIEW

24" C&G

24" C&G

24" C&G

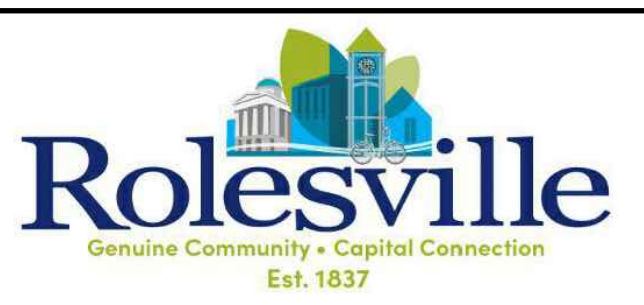
CURB AND GUTTER

N.T.S.

adwarchitects
environments for life

architecture planning interiors

2815 coliseum centre drive
suite 500
charlotte, nc 28217
704.379.1919
adwarchitects.com



**TOWN OF
ROLESVILLE
POLICE
DEPARTMENT**

**ROLESVILLE, NC
27571**

SITE DETAILS

DATE: 06-22-2026
PROJECT NO: CLH PROJECT NO: 25-108

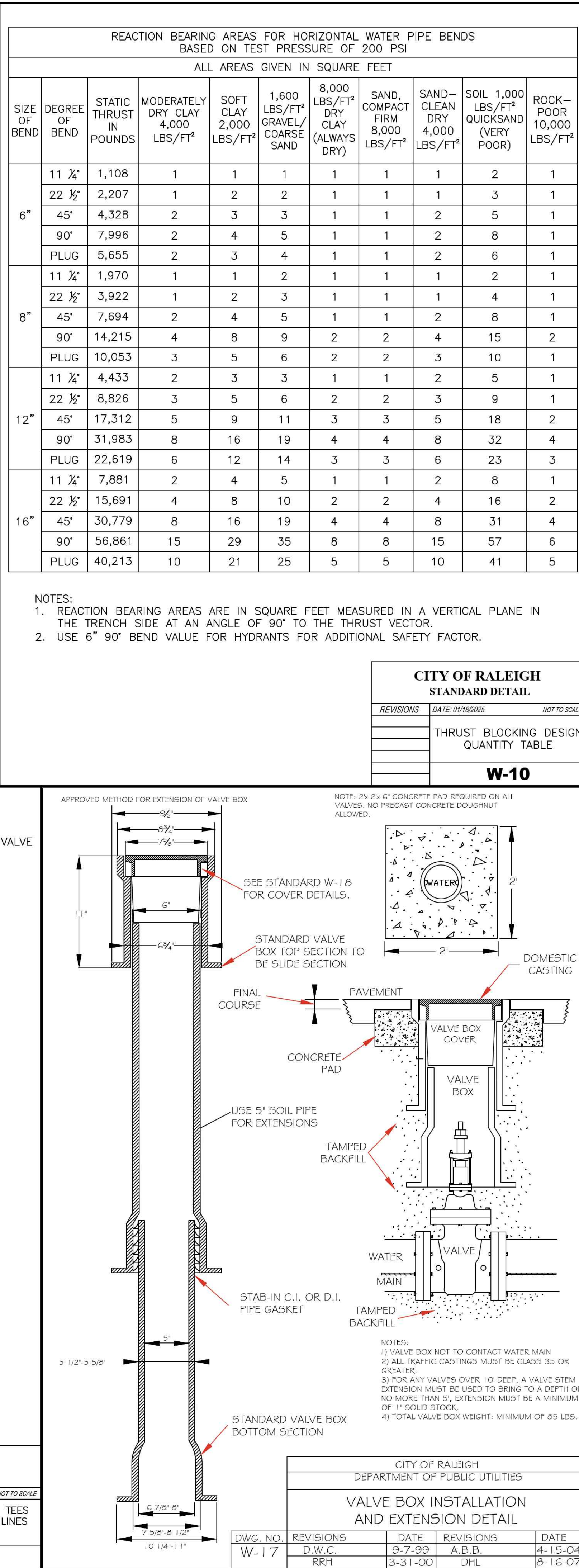
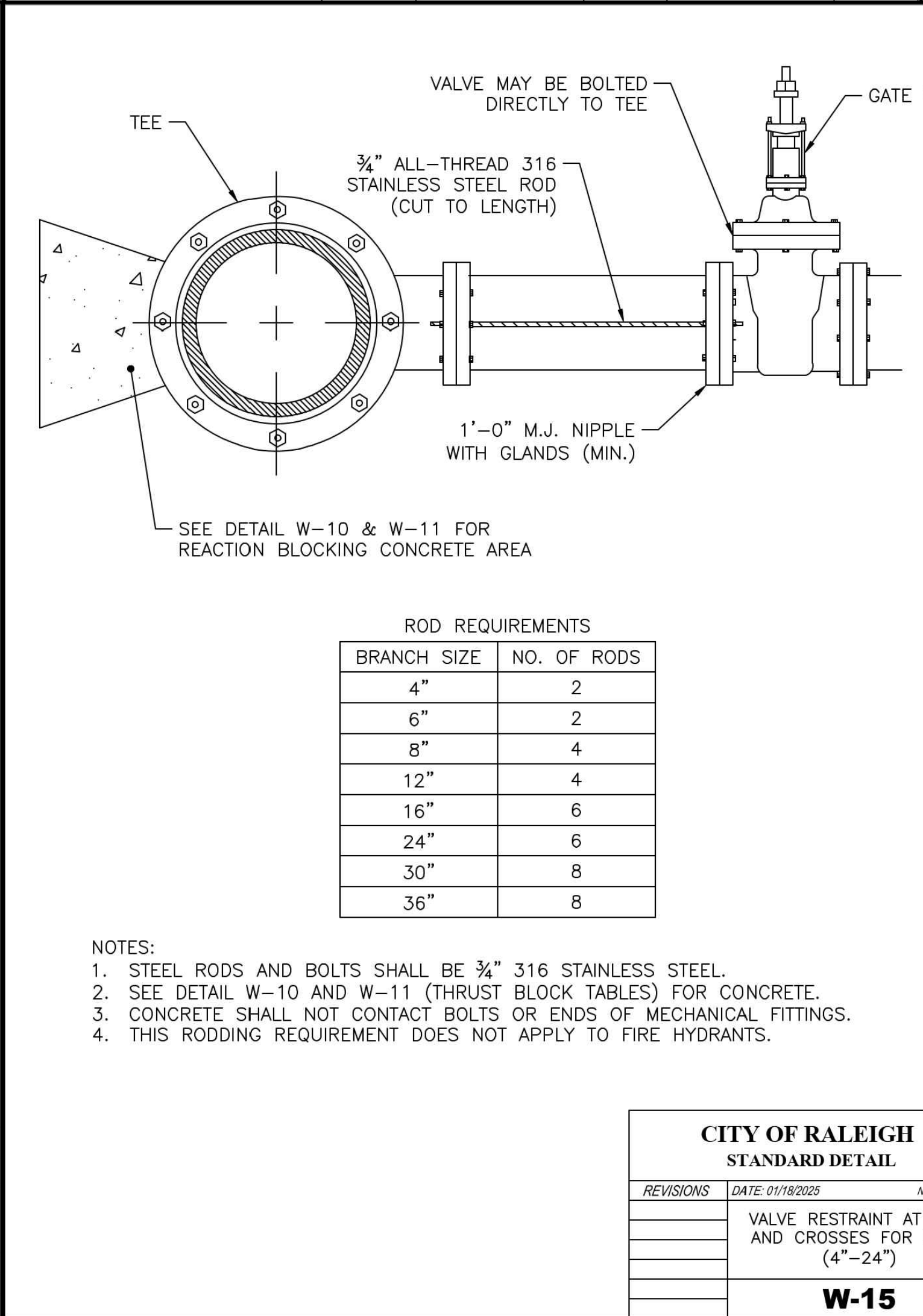
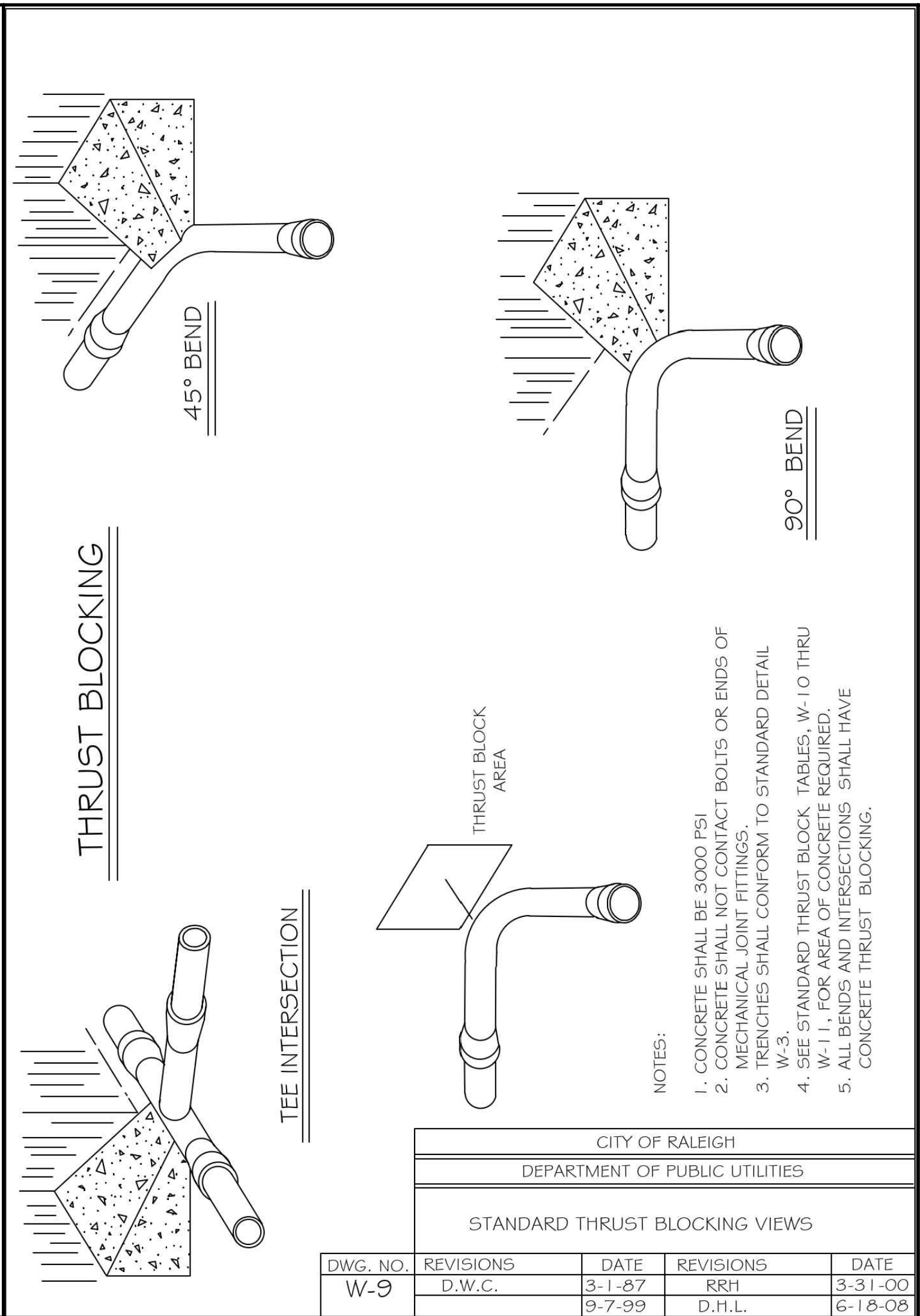
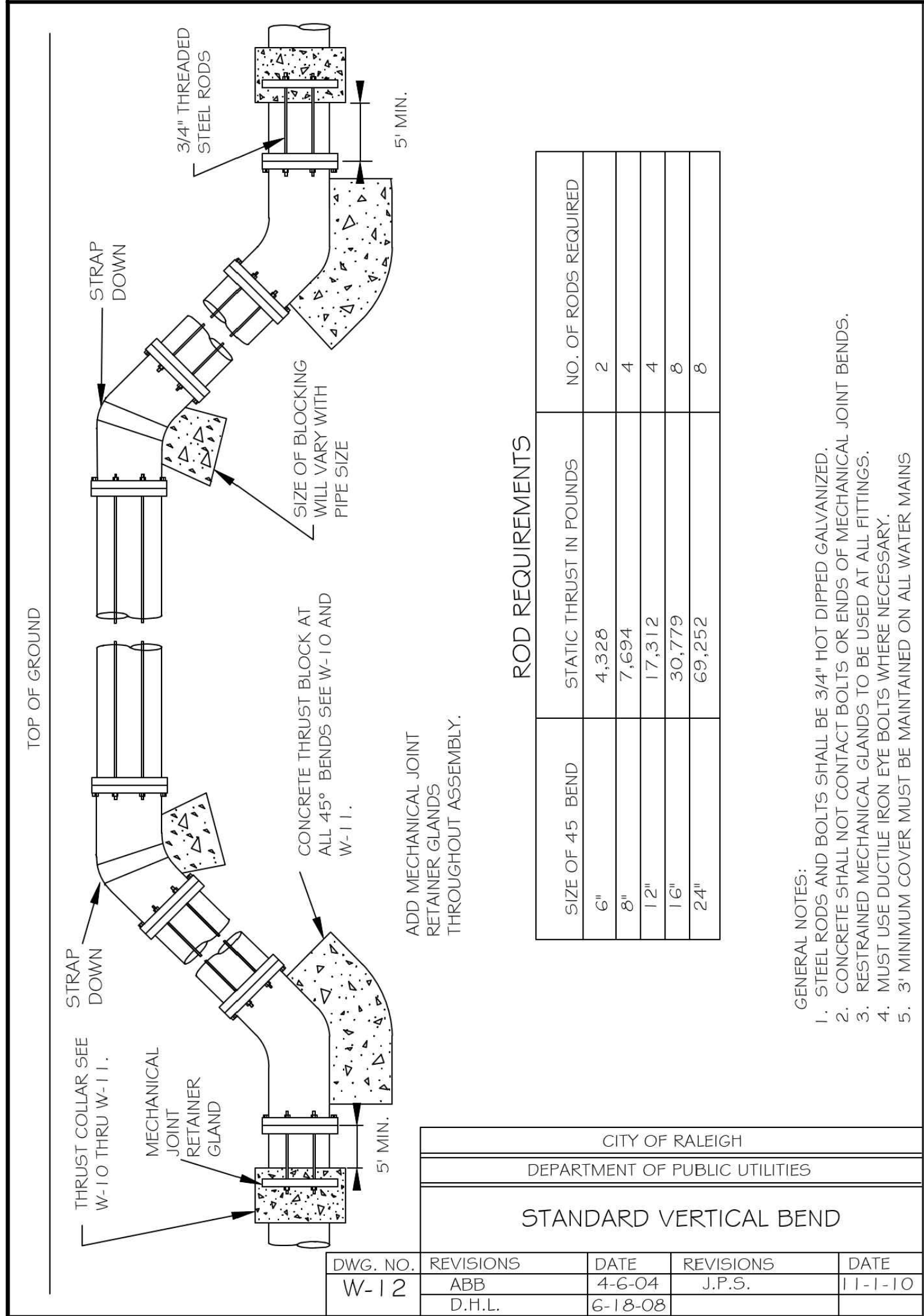
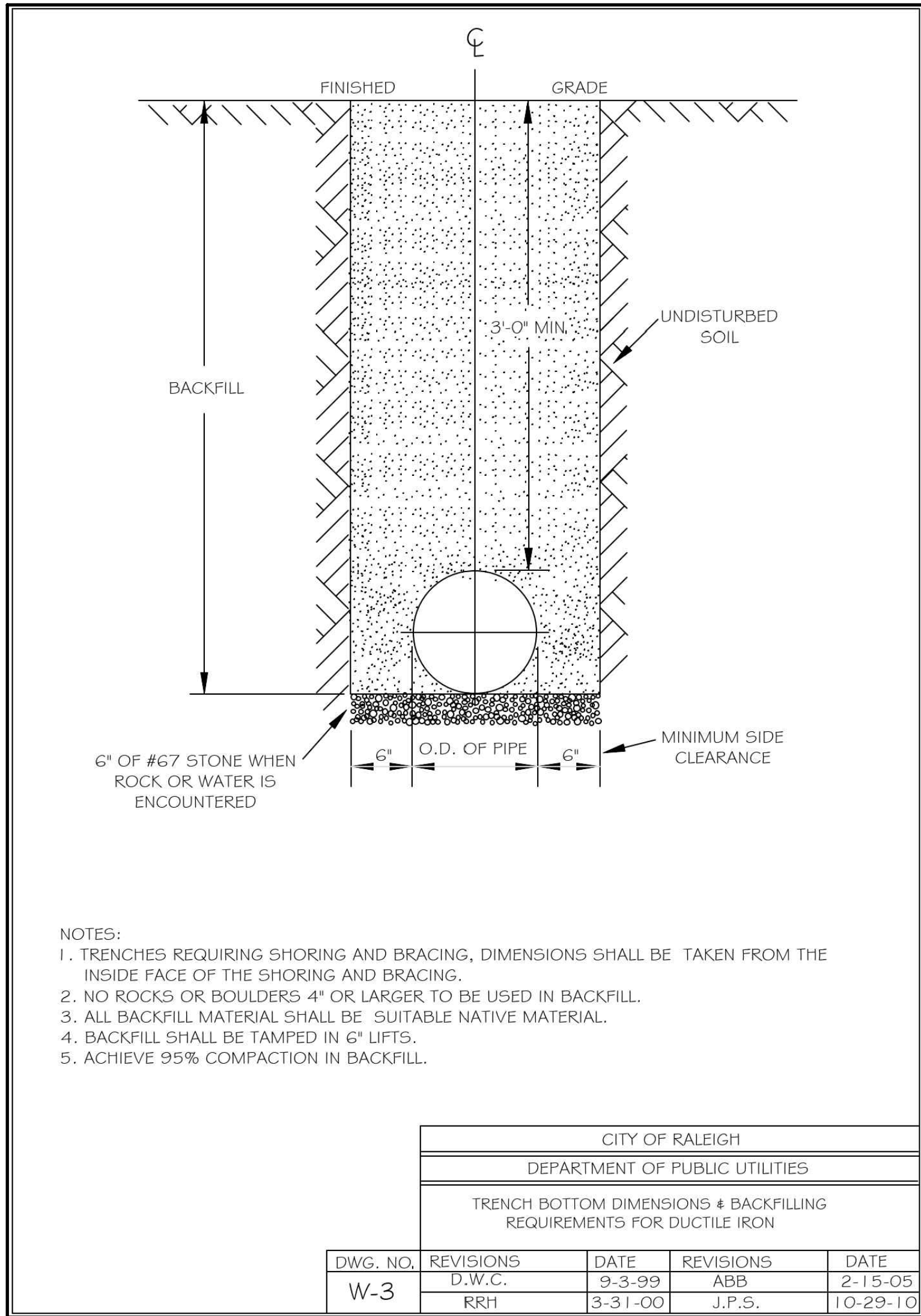
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SHEET NUMBER:

C-8.01

CITY OF RALEIGH - STANDARD UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORMDRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W- 41 & S-49).
 - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- SEWER BYPASS PUMPING – A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSPECTIONS OF 4" AND LARGER WATER MAINS OF THE PRIVATE DISTRIBUTION SYSTEM WILL BE INSPECTED AS PART OF THE INFRASTRUCTURE PERMIT.
- PRIVATE SEWER MAINS AS PART OF A COLLECTION SYSTEM ARE PERMITTED AND INSPECTED UNDER THE PRIVATE INFRASTRUCTURE PERMIT FOR SEWER.
- ANY WATER OR SEWER SERVICES ON PRIVATE PROPERTY THAT WILL BE INSTALLED UNDER CONSTRUCTION DRAWINGS MAY REQUIRE A PLUMBING UTILITY PERMIT IN THE CITY OF RALEIGH. CONSULT WITH THE ENGINEERING INSPECTION COORDINATOR DURING THE PRE-CONSTRUCTION MEETING ON THE NECESSARY PERMITS.
- INSTALL SEWER SERVICES WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED PER THE CURRENT NC PLUMBING CODE.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A – GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.
- PRIVATE SUB-METERING – NO RESALE OF WATER SHALL OCCUR WITHOUT APPROVAL OF THE NORTH CAROLINA UTILITY COMMISSION. SUB-METERING SHALL BE IN ACCORDANCE WITH SECTION 1400 OF THE "SAFE DRINKING WATER ACT".



TOWN OF
ROLESVILLE
POLICE
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ROLESVILLE, NC
27571

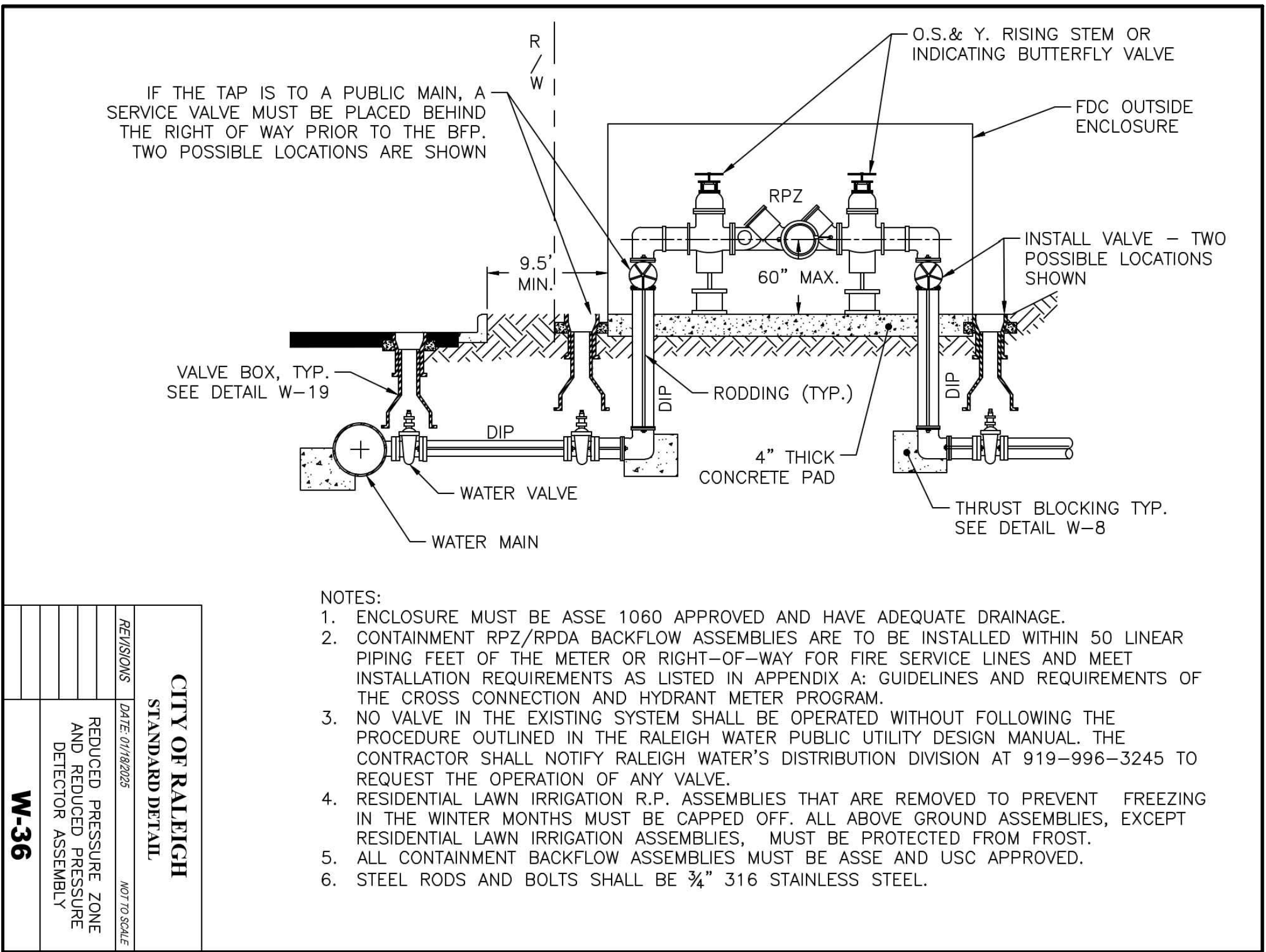
UTILITY DETAILS

DATE: 06-22-2026

PROJECT NO:

CLH PROJECT NO: 25-108

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TOWN OF
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27571

UTILITY DETAILS

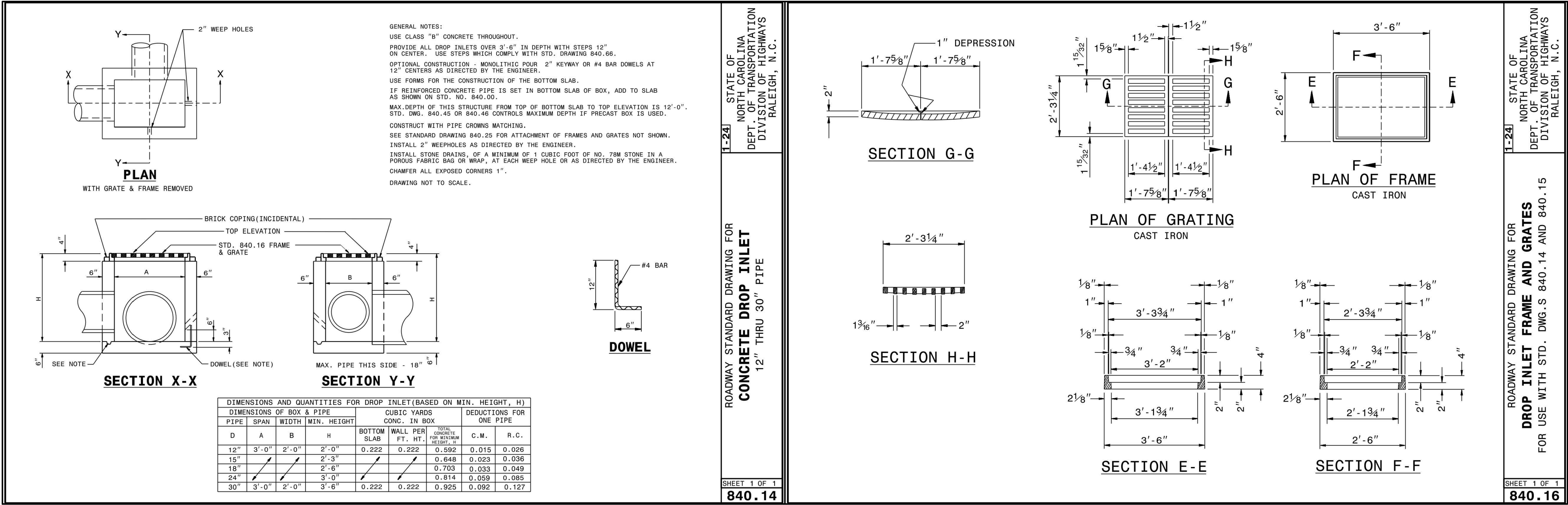
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SHEET NUMBER

C-9.02





**TOWN OF
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POLICE
DEPARTMENT**

ROLESVILLE, NC
27571

EXTERIOR ELEVATIONS

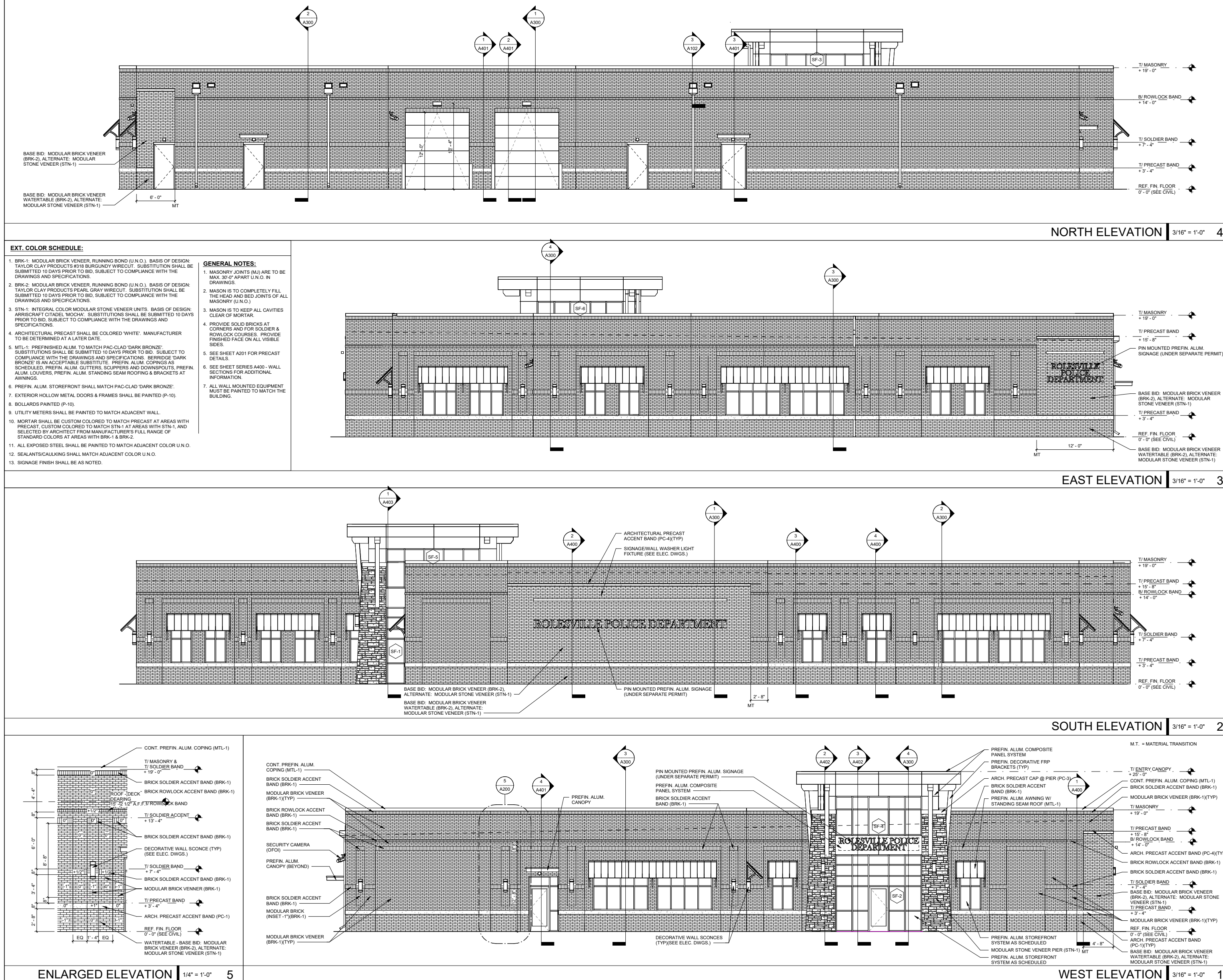
DATE: 04-20-26
PROJECT NO: 24008

REVISIONS
NO. DATE DESCRIPTION

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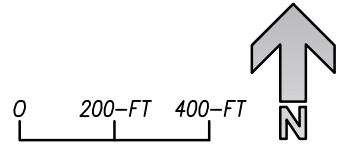
SHEET NUMBER

A200



100% DESIGN DEVELOPMENT
CID| ROLESVILLE PLAN CASE # SDP-26-XX
ROLESVILLE POLICE STATION
408 E. YOUNG STREET - LOT 1
ROLESVILLE NC, 27571
TOWN OF ROLESVILLE
JUNE 22ND, 2026
PERMIT SET

VICINITY MAP



SITE DATA

OWNER: TOWN OF ROLESVILLE
OWNER CONTACT: P.O. BOX 250
ROLESVILLE, NC 27571
MEDHAT BASELIOS, PE, PMP
CAPITAL PROJECT MANAGER, TOWN OF ROLESVILLE
MEDHAT.BASELIOS@ROLESVILLE.NC.GOV

LANDSCAPE ARCHITECT: CLH DESIGN, P.A.
DESIGNER CONTACT: RACHEL WATSON, PLA
919-319-6716
400 REGENCY FOREST DRIVE, STE.120
CARY, NC 27511
RWATSON@CLHDESIGNPA.COM

CIVIL ENGINEER: CLH DESIGN, P.A.
DESIGNER CONTACT: DAN LOVERA, PE
919-319-6716
400 REGENCY FOREST DRIVE, STE. 120
CARY, NC 27511
DLOVERA@CLHDESIGNPA.COM

PROJECT ADDRESS: LOT-1 408 E. YOUNG STREET & O.E. YOUNG STREET
ROLESVILLE, NC 27571

PLANNING JURISD: TOWN OF ROLESVILLE
PIN: 1768098727
DEEDED ACREAGE: 13.39AC
ZONING: BT - BUSINESS INDUSTRIAL AND TECHNOLOGY
EXISTING USE: VACANT
PROPOSED USE: POLICE STATION
DISTURBED AREA: 2.0 ACRES
PROPOSED FIRE: 15,112 SQFT
BUILDING HEIGHT: 15,112 SQFT

RIVER BASIN: NEUSE RIVER
FLOODZONE: N/A
FEMA MAP: PANEL 3720176900J

SHEET INDEX

- CIVIL
- C-0.00 COVER
 - C-1.01 STAKING PLAN
 - C-2.01 EXISTING CONDITIONS & DEMOLITION PLAN
 - C-3.01 GRADING PLAN
 - C-4.01 EROSION CONTROL PLAN
 - C-5.01 UTILITY PLAN
 - C-6.01 LANDSCAPE PLAN
 - C-8.01 SITE DETAILS
 - C-8.02 SITE DETAILS
 - C-9.01 UTILITY DETAILS
 - C-9.02 UTILITY DETAILS
 - C-9.03 UTILITY DETAILS
 - C-9.04 UTILITY DETAILS
 - C-9.05 UTILITY DETAILS

ARCHITECTURAL
A200 EXTERIOR ELEVATIONS

PARKING SPACE REQUIREMENTS:

PARKING STANDARDS: 2.5 PARKING SPACES PER 1000SF
15,112SF / 1000SF X 2.5 PARKING SPACES
= 38 PARKING SPACES
48 PARKING SPACES PROVIDED

BIKE STANDARDS: 1 BIKE SPACE PER 5000SF

15,112SF / 5000SF
= 3 BIKE SPACES REQUIRED
3 BIKE SPACES PROVIDED

TYPE 3 LANDSCAPE BUFFER REQUIREMENTS:

25' TYPE 3 LANDSCAPE BUFFER:

STANDARD : 4 TREES PER 100LF - (275LF / 100) X 4 = 11 TREES REQUIRED
13 TREES PROVIDED

STANDARD : 2 UNDERSTORY TREES PER 100LF - (275LF / 100) X 2 = 6 TREES REQUIRED
6 UNDERSTORY TREES PROVIDED

STANDARD : 60 SHRUBS PER 100LF - (275LF / 100) X 60 = 165 SHRUBS REQUIRED
168 SHRUBS PROVIDED

6' WALL - NOT PROVIDED

ATTENTION CONTRACTORS

THE CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE INFRASTRUCTURE INSPECTIONS DIVISION AND SCHEDULE A PRE-CONSTRUCTION MEETING ON THE DEVELOPMENT PORTAL PRIOR TO BEGINNING ANY CONSTRUCTION. RALEIGH WATER MUST BE CONTACTED AT (919) 996-4540 AT LEAST TWENTY-FOUR HOURS PRIOR TO BEGINNING ANY WORK AROUND CRITICAL WATER AND SEWER INFRASTRUCTURE.

FAILURE TO NOTIFY CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

TOWN OF ROLESVILLE
SIGNATURE BLOCK

EROSION CONTROL, STORMWATER
AND FLOODPLAIN MANAGEMENT

APPROVED

EROSION CONTROL ☐ SEC-
STORMWATER MGMT ☒ SWP-
FLOOD STUDY ☐ SWP-
DATE _____

RALEIGH WATER INSPECTIONS QUANTITIES (SUBDIVISIONS & SITE PLANS)	
NUMBER OF LOTS	6
NUMBER OF UNITS	N/A
PUBLIC WATER (LF)	2023
PUBLIC SEWER (LF)	950
PUBLIC FORCE MAIN (LF)	N/A
PRIVATE SEWER (LF)	360
WATER SERVICE STUBS (QTY)	6
SEWER SERVICE STUBS (QTY)	0
AVERAGE DAILY FLOW PER PHASE	TBD

adwarchitects
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2815 coliseum centre drive
suite 500
charlotte, nc 28217
704.379.1919
adwarchitects.com



TOWN OF
ROLESVILLE
POLICE
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ROLESVILLE, NC
27571

COVER SHEET

DATE: 06-22-2026
PROJECT NO:
CLH PROJECT NO: 25-108

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SHEET NUMBER:
C-0.00

TOWN OF
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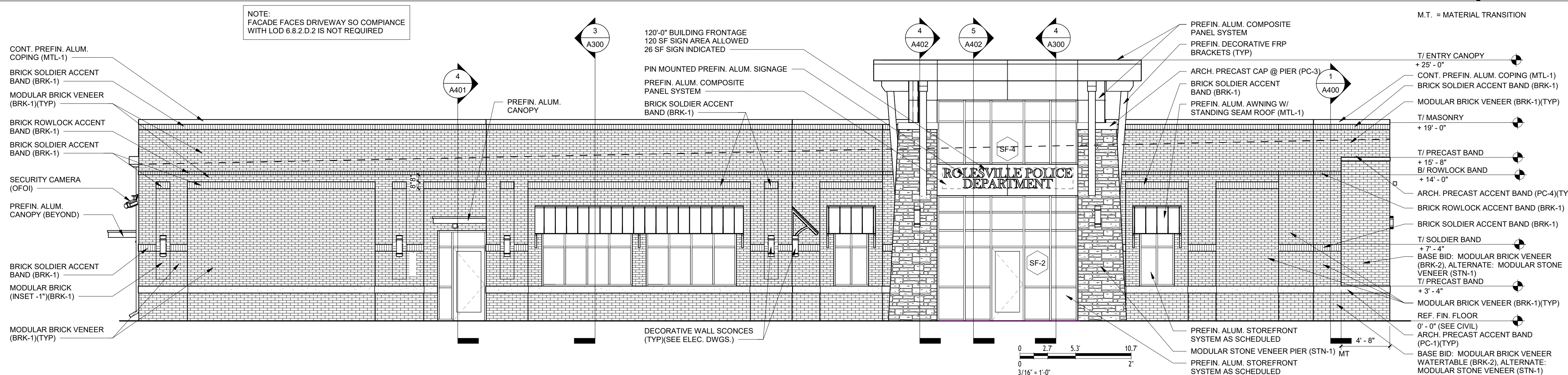
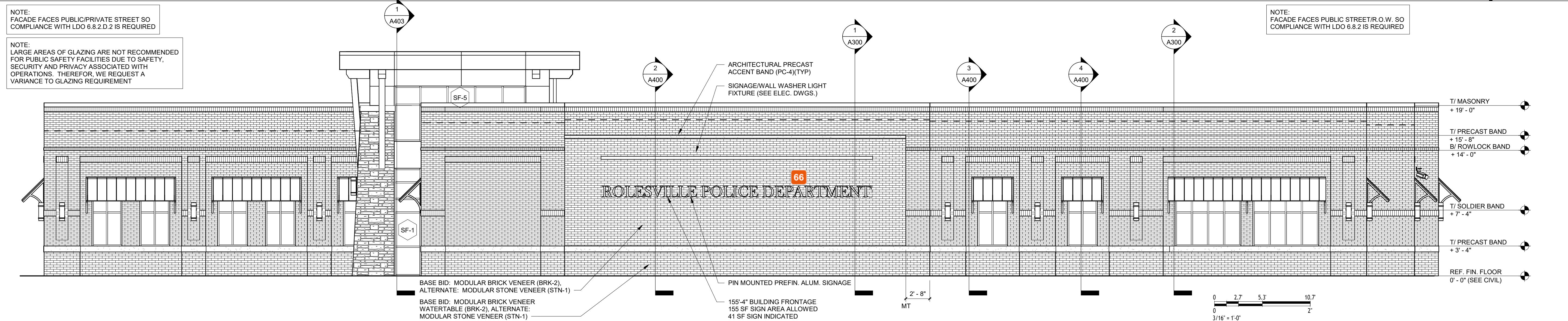
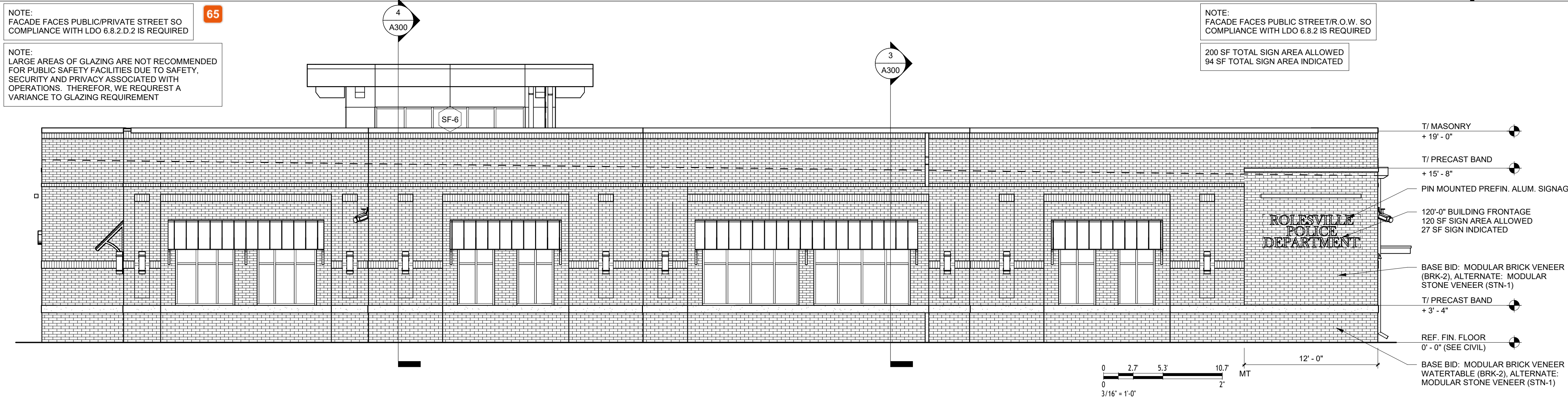
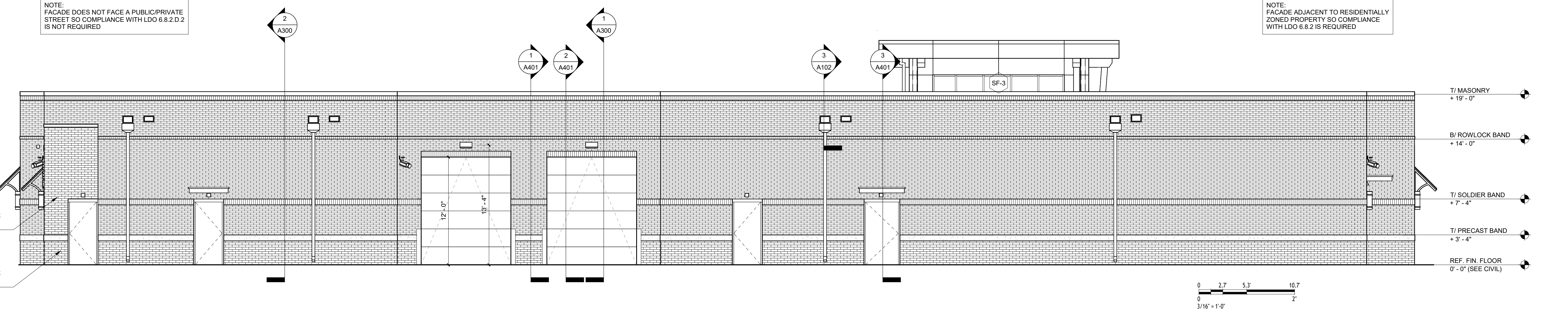
EXTERIOR ELEVATIONS

DATE: 04-20-26
PROJECT NO: 24008

REVISIONS
NO. DATE DESCRIPTION

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SHEET NUMBER:
AR200



NOTE:
FACADE DOES NOT FACE A PUBLIC/PRIVATE
STREET SO COMPLIANCE WITH LDO 6.8.2.D.2
IS NOT REQUIRED

NOTE:
FACADE ADJACENT TO RESIDENTIALLY
ZONED PROPERTY SO COMPLIANCE
WITH LDO 6.8.2 IS REQUIRED

BASE BID: MODULAR BRICK VENEER
(BRK-2); ALTERNATE: MODULAR
STONE VENEER (STN-1)

BASE BID: MODULAR BRICK VENEER
WATERTABLE (BRK-2); ALTERNATE:
MODULAR STONE VENEER (STN-1)

NOTE:
FACADE FACES PUBLIC/PRIVATE STREET SO
COMPLIANCE WITH LDO 6.8.2.D.2 IS REQUIRED

NOTE:
LARGE AREAS OF GLAZING ARE NOT RECOMMENDED
FOR PUBLIC SAFETY FACILITIES DUE TO SAFETY,
SECURITY AND PRIVACY ASSOCIATED WITH
OPERATIONS. THEREFORE, WE REQUEST A
VARIANCE TO GLAZING REQUIREMENT

NOTE:
FACADE FACES PUBLIC STREET/R.O.W. SO
COMPLIANCE WITH LDO 6.8.2 IS REQUIRED

200 SF TOTAL SIGN AREA ALLOWED
94 SF TOTAL SIGN AREA INDICATED

NORTH ELEVATION 3/16" = 1'-0" 4

NOTE:
FACADE FACES PUBLIC/PRIVATE STREET SO
COMPLIANCE WITH LDO 6.8.2.D.2 IS REQUIRED

NOTE:
LARGE AREAS OF GLAZING ARE NOT RECOMMENDED
FOR PUBLIC SAFETY FACILITIES DUE TO SAFETY,
SECURITY AND PRIVACY ASSOCIATED WITH
OPERATIONS. THEREFORE, WE REQUEST A
VARIANCE TO GLAZING REQUIREMENT

NOTE:
FACADE FACES PUBLIC STREET/R.O.W. SO
COMPLIANCE WITH LDO 6.8.2 IS REQUIRED

EAST ELEVATION 3/16" = 1'-0" 3

BASE BID: MODULAR BRICK VENEER (BRK-2);
ALTERNATE: MODULAR STONE VENEER (STN-1)

BASE BID: MODULAR BRICK VENEER
WATERTABLE (BRK-2); ALTERNATE:
MODULAR STONE VENEER (STN-1)

155'-4" BUILDING FRONTAGE
155 SF SIGN AREA ALLOWED
41 SF SIGN INDICATED

0 2.7 5.3 10.7
3/16" = 1'-0"

SOUTH ELEVATION 3/16" = 1'-0" 2

NOTE:
FACADE FACES DRIVEWAY SO COMPLIANCE
WITH LDO 6.8.2.D.2 IS NOT REQUIRED

CONT. PREFIN. ALUM.
COPING (MTL-1)

BRICK SOLDIER ACCENT
BAND (BRK-1)

MODULAR BRICK VENEER
(BRK-1)(TYP)

BRICK SOLDIER ACCENT
BAND (BRK-1)

BRICK SOLDIER ACCENT
BAND (BRK-1)

SECURITY CAMERA
(OFOI)

PREFIN. ALUM.
CANOPY (BEYOND)

BRICK SOLDIER ACCENT
BAND (BRK-1)

MODULAR BRICK
(INSET-1)(BRK-1)

MODULAR BRICK VENEER
(BRK-1)(TYP)

120'-0" BUILDING FRONTAGE
120 SF SIGN AREA ALLOWED
26 SF SIGN INDICATED

PIN MOUNTED PREFIN. ALUM. SIGNAGE
PREFIN. ALUM. COMPOSITE
PANEL SYSTEM
BRICK SOLDIER ACCENT
BAND (BRK-1)

DECORATIVE WALL SCONCES
(TYP)(SEE ELEC. DWGS.)

0 2.7 5.3 10.7
3/16" = 1'-0"

WEST ELEVATION 3/16" = 1'-0" 1

TOWN OF
ROLESVILLE
POLICE
DEPARTMENT

ROLESVILLE, NC
27571

EXTERIOR ELEVATIONS

DATE: 04-20-26
PROJECT NO: 24008

REVISIONS
NO. DATE DESCRIPTION

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