

REFERENCES

- Deed Book 18091 Page 389
- Book of Maps 2022 Page 1381
- Book of Maps 2021 Page 2282

R-L ZONING SETBACK DATA :

- Front Yard: 22.5'
- Side Yard: 9'
- Corner Yard: 16.5'
- Rear Yard: 19'

R-40W ZONING SETBACK DATA :

- Front Yard: 38'
- Side Yard: 15'
- Corner Yard: 15'
- Rear Yard: 23'
- *This is a Conservation Subdivision*

SITE DATA

Owner:
DR Horton Terramor, LLC
Pablo Reiter
7208 FALLS OF NEUSE RD STE 201
RALEIGH NC 27615

PIN: 1769570216, 1769577888, 1769472486, 1769582542
REID: 0506272, 0014930, 0490724, 0506275
DB 18091, PG 389
BM 2022, PG 389
BM 2021, PG 2282
Zoning: R-40W (Wake), & RL (Rolesville)
Use: Vacant

Total Lots: 3
R/W Dedication: 0 sf / 0 ac
Net OS #8: 851,268 sf / 19.54 ac
Pump Sta Site: 9,622 sf / 0.22 ac
Gross OS #8: 860,890 sf / 19.76 ac
Exist OS #13: 2,479,567 sf / 56.92 ac
Total: 3,340,457 sf / 76.68 ac
New OS #8: 2,277,939 sf / 52.29 ac
New OS #13: 155,104 sf / 3.56 ac
New Lot 97: 907,414 sf / 20.83 ac

GENERAL NOTES

- This survey was prepared by Bateman Civil Survey Co., under the supervision of Jeffrey W. Baker, PLS.
- Property lines shown were taken from existing field evidence, existing deeds and/or plats of public record, and information supplied to the surveyor by the client.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence or any other facts that an accurate and current title search may disclose.
- No investigation into the existence of jurisdictional wetlands or riparian buffers performed by this firm.
- Utility structures and other features if shown on this plat are shown at the request of the jurisdictional municipality and are approximate locations. Only certified As-builts should be used for verification.
- All distances are horizontal ground distances and all bearings are North Carolina State Plane Coordinate System unless otherwise shown.
- No Grid Monuments found within 2000'.
- Areas are by coordinate computation.
- Bearings are based from BM 2022 Pg 1381
- This plat is considered preliminary unless signed & sealed by a Licensed Surveyor.
- Zoning and building setbacks to be verified by the appropriate authorities

"I, Jeffrey W. Baker, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book 18091, page 389); that the boundaries not surveyed are clearly indicated as drawn from information found in Book 2022, page 1381 & Book 2021, page 2282; that the rational precision or positional accuracy as calculated is 1:10000+; that this plat was prepared in accordance with G.S. 47-30 as amended. witness my original signature, book number and seal this ____th day of _____, A.D. 2024."

Professional Land Surveyor
License Number-4412

I, Jeffrey W. Baker, Professional Land Surveyor No. L-4412 certify that the survey is of another category such as the recombination of existing parcels, a court-ordered survey, or other exceptions to the definition of subdivision.

Jeffrey W. Baker, PLS L-4412 date

North Carolina, _____ County.

I, _____, a Notary Public of the County and State aforesaid, certify that _____, a registered land surveyor, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this _____ day of _____, 2024.

Notary Public

My commission expires _____

WAKE COUNTY CERTIFICATION

I, _____, Planning Director and Review Officer of Wake County, certify that this plat DOES NOT constitute a subdivision and that it meets all statutory requirements for recording. Because of its "exempt" status, the county has not reviewed this plat for compliance with applicable lot standards and other subdivision regulations (e.g., road standards). Prospective purchasers should be aware that plans for building and development may be denied for lots that DO NOT meet applicable county standards.

Date _____ Planning Director/Review Officer

Approval expires if not recorded on or before _____

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations of the Town of Rolesville, North Carolina and that this plat has been approved by the Subdivision Administrator of the Town of Rolesville for recording in the Office of the Register of Deeds of Wake County.

Subdivision Administrator, Town of Rolesville

Date: _____
Rolesville, North Carolina

OWNER'S CERTIFICATION

I hereby certify that I am the owner of the property shown and describe hereon, which is located in the subdivision jurisdiction of the Town of Rolesville / Wake County and that I hereby adopt this plan of Recombination with my free consent.

Owner: _____

Date: _____

Rolesville, North Carolina

I _____ Review Officer of the Town of Rolesville, Certify that the Map or Plat to which this Certification is affixed meets all statutory requirements for recording.

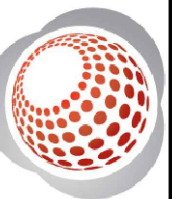
Date _____ Review Officer

Note:
This site is not in any special flood hazard areas or future conditions flood hazard areas, as shown on:
FIRM Panel(s): 3720076900K
Effective Date(s): July 19, 2022

Line Table			Line Table		
Line #	Direction	Length	Line #	Direction	Length
L1	S55°27'54"E	399.01	L61	S33°56'09"E	0.13
L2	N07°49'06"E	80.26	L62	S33°17'16"E	47.23
L3	N44°41'40"E	78.77	L63	S25°33'09"E	47.93
L4	N34°07'44"E	223.37	L64	S41°40'06"E	30.35
L5	N07°17'09"W	135.94	L65	S28°40'48"E	22.48
L6	N43°25'56"E	93.24	L66	S15°41'30"E	55.25
L7	N22°09'47"E	65.45	L67	S30°12'03"E	42.78
L8	N32°21'39"E	143.40	L68	S59°53'24"E	57.40
L9	N56°30'21"E	156.81	L69	S46°02'26"W	56.38
L10	N61°58'55"E	77.86	L70	S59°25'09"W	17.87
L11	N76°21'53"E	135.03	L71	N72°31'03"W	69.21
L12	S29°48'13"E	58.53	L72	N52°09'25"W	66.11
L13	S52°51'27"E	178.27	L73	N41°13'22"W	84.59
L14	S63°45'31"E	164.54	L74	N61°43'19"W	17.17
L15	S72°26'53"E	83.22	L75	S37°17'58"W	28.95
L16	N64°46'54"E	97.09	L76	S25°02'54"W	58.02
L17	S66°47'32"E	266.88	L77	S20°51'29"W	31.15
L18	S85°28'59"E	143.23	L78	N07°01'23"W	0.22
L19	N55°32'08"E	148.84	L79	N08°04'26"E	38.97
L20	N62°34'27"E	79.00	L80	N54°35'20"E	35.75
L21	S65°18'33"E	482.26	L81	N78°10'03"E	29.61
L22	S01°18'56"W	247.11	L82	S88°09'14"E	23.78
L23	S01°18'56"W	765.21	L83	S49°15'51"E	24.66
L24	S82°58'37"W	1031.78	L84	S87°25'41"E	26.96
L25	S82°58'37"W	732.16	L85	N43°35'23"W	38.79
L26	S82°58'37"W	117.18	L86	N54°41'17"W	46.02
L27	S36°29'19"E	126.12	L87	N03°47'50"W	33.33
L28	S35°23'49"E	106.85	L88	N41°48'18"W	29.90
L29	S07°59'11"E	18.28	L89	N25°24'05"E	41.97
L30	S59°12'50"E	9.62	L90	N42°04'03"W	29.54
L31	S21°13'06"E	44.58	L91	N12°11'55"E	43.90
L32	S47°34'32"E	13.67	L92	N55°53'34"E	20.22
L33	S20°28'22"E	39.79	L93	N53°58'03"W	41.26
L34	S24°41'28"E	64.65	L94	N72°29'00"W	22.35
L35	S15°44'48"W	20.71	L95	N05°43'27"E	31.93
L36	S38°52'21"E	56.77	L96	N37°44'17"W	14.74
L37	S76°43'12"W	145.34	L97	S57°59'16"W	338.28
L38	N13°14'29"W	237.43	L98	N57°59'16"E	434.25
L39	S77°25'56"W	118.23	L99	N37°39'39"E	82.24
L40	N12°34'04"W	114.32	L100	N31°58'59"E	132.42
L41	N12°34'04"W	116.98	L101	S76°36'46"E	872.79
L42	N12°34'04"W	83.22	L102	S04°50'42"E	66.34
L43	N11°32'27"W	127.31	L103	S08°41'20"W	163.16
L44	N32°00'44"W	60.00	L104	S15°51'30"W	59.37
L45	N10°43'41"W	138.97	L105	S28°29'43"W	178.99
L46	N44°30'33"W	76.00	L106	S02°10'45"W	202.41
L47	S63°04'45"W	108.96	L107	S08°10'26"W	68.51
L48	S63°04'45"W	49.21	L108	S18°19'19"W	123.03
L49	S79°36'19"W	98.12	L109	S35°20'41"E	124.91
L50	S57°14'52"W	69.45			
L51	S37°10'54"W	169.81			
L52	S19°34'07"W	170.44			
L53	S09°53'56"E	190.63			
L54	S80°06'04"W	130.16			
L55	N31°54'38"W	687.06			
L56	N86°48'10"E	392.99			
L57	N23°02'29"E	688.83			
L58	S20°51'08"W	151.22			
L59	S08°37'28"W	20.11			
L60	S18°27'21"W	9.71			

Curve Table						
Curve #	Radius	Length	Delta	Direction	Chord	Tangent
C1	260.00	62.16	013°41'57"	S73°15'05"W	62.02	31.23
C2	25.00	35.64	081°41'16"	N72°45'15"W	32.70	21.61
C3	245.84	81.09	018°53'53"	N64°32'47"W	80.72	40.91
C4	308.55	176.18	032°42'55"	N71°27'18"W	173.80	90.56
C5	454.47	190.70	024°02'32"	S80°10'33"W	189.31	96.78
C6	197.07	135.07	039°16'09"	S87°47'55"W	132.44	70.31
C7	644.98	138.09	012°16'00"	N66°26'00"W	137.82	69.31
C8	1595.48	111.80	004°00'54"	N62°18'27"W	111.78	55.92
C9	265.44	232.77	050°14'41"	N89°26'15"W	225.39	124.47
C10	149.88	206.74	079°01'57"	S25°55'26"W	190.74	123.62
C11	109.20	104.58	054°52'24"	S13°50'40"W	100.63	56.69
C12	880.85	195.59	012°43'20"	S34°55'12"W	195.19	98.20
C13	178.82	179.74	057°35'33"	S00°14'15"E	172.27	98.29
C14	50.20	86.21	098°24'30"	S06°06'32"E	76.00	58.16
C15	50.00	27.82	031°53'06"	N88°27'36"W	27.47	14.28
C16	50.00	17.77	020°21'38"	N62°20'14"W	17.67	8.98
C17	50.00	9.54	010°56'03"	N46°41'24"W	9.53	4.79
C18	46.02	35.75	044°30'11"	S40°49'40"W	34.85	18.83
C19	85.93	158.79	105°52'32"	N23°05'13"W	137.14	113.78
C20	447.95	301.99	038°37'35"	N54°47'31"W	296.30	156.98
C21	138.82	155.15	064°02'15"	N03°27'36"W	147.20	86.81
C22	840.85	186.71	012°43'20"	N34°55'12"E	186.32	93.74

V1 - FSP-24-03

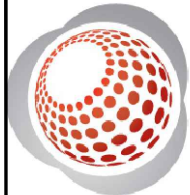


Bateman Civil Survey Company
Engineers • Surveyors • Planners
2524 Reliance Ave., Apex, NC 27539
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NCBELS FIRM No. C-2378

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Pablo Reiter
7208 Falls Of Neuse Rd Ste 201
Raleigh NC 27615

RECOMBINATION PLAT
CHANDLER'S RIDGE PHASE 1 & 2A
Wake Forest Township, Rolesville Wake County, North Carolina

Rev:
Drawn By: ABB
Checked By: JCH
Scale: N/A
Date: 1/19/2024
Project #: 200330



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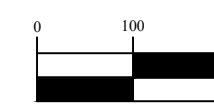
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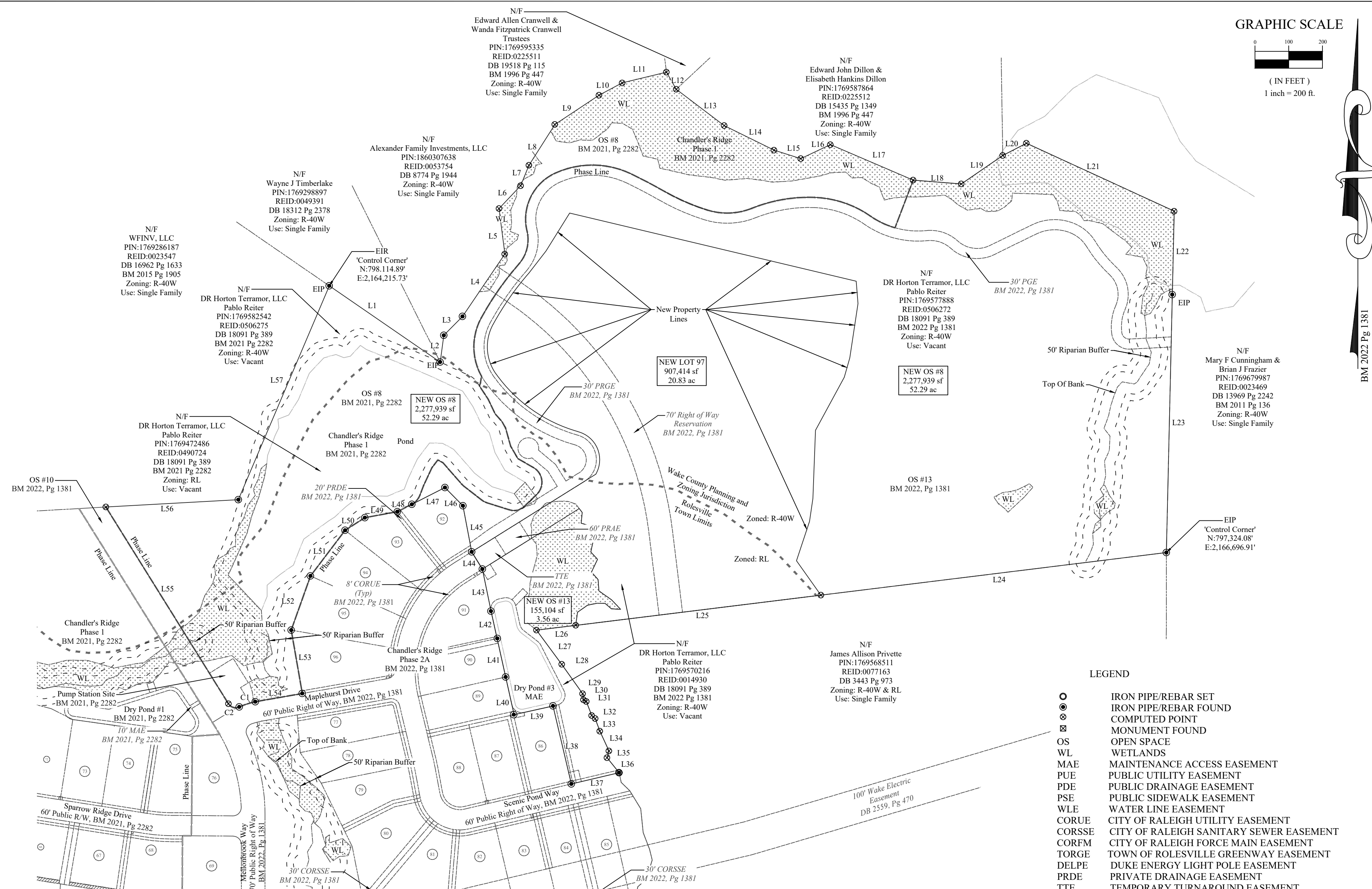
SHEET 2
OF 4

GRAPHIC SCALE



(IN FEET)
 1 inch = 200 ft.

BM 2022 Pg 1381



LEGEND

- IRON PIPE/REBAR SET
 - IRON PIPE/REBAR FOUND
 - ⊗ COMPUTED POINT
 - ⊠ MONUMENT FOUND
 - OPEN SPACE
 - WL WETLANDS
 - MAE MAINTENANCE ACCESS EASEMENT
 - PUE PUBLIC UTILITY EASEMENT
 - PDE PUBLIC DRAINAGE EASEMENT
 - PSE PUBLIC SIDEWALK EASEMENT
 - WLE WATER LINE EASEMENT
 - CORUE CITY OF RALEIGH UTILITY EASEMENT
 - CORSSE CITY OF RALEIGH SANITARY SEWER EASEMENT
 - CORFM CITY OF RALEIGH FORCE MAIN EASEMENT
 - TORGE TOWN OF ROLESVILLE GREENWAY EASEMENT
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 - PRAE PRIVATE ACCESS EASEMENT
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- BOUNDARY LINE
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 - - - TOP OF BANK/WETLANDS LINE
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 - - - PHASE LINE
 - - - MATCHLINE
 - # STREET ADDRESS

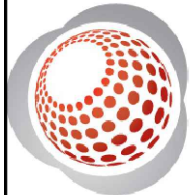
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 Corner Yard: 16.5'
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R-40W ZONING SETBACK DATA :
 Front Yard: 38'
 Side Yard: 15'
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 Rear Yard: 23'

This is a Conservation Subdivision

LOT	N/F	PIN	REID	DB/PG	BM/PG	ZONING	USE
86	David Michael & Susan Jeffrey Evans	1769468743	#0498487	19388/1688	2022/1381	RL	Single Family
89	Darrin Richard & Kristian Paige Crown	1769466827	#0498490	19461/844	2022/1381	RL	Single Family
90	David Lewis & Mikaela Dawn Hughes	1769465998	#0498491	19367/1987	2022/1381	RL	Single Family
91	Cameron & Ashley Washington	1769476102	#0498492	19360/1430	2022/1381	RL	Single Family
92	Solace Chirere & Nkwachiona Ugwuezi Nwosu	1769475440	#0498493	19462/2566	2022/1381	RL	Single Family
93	George & Robin McBride	1769474313	#0498494	19439/848	2022/1381	RL	Single Family
94	David T Cone & Lauren Louloudis	1769473225	#0498495	19497/697	2022/1381	RL	Single Family
95	Anthony Paul & Kim Scofield	1769472163	#0498496	19408/22	2022/1381	RL	Single Family
96	Kathleen & Victor Hairston	1769462949	#0498497	19441/2404	2022/1381	RL	Single Family





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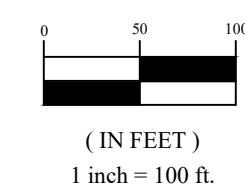
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RECOMBINATION PLAT
CHANDLER'S RIDGE PHASE 1 & 2A
 Wake Forest Township, Rolesville Wake County, North Carolina

Rev:
 Drawn By: ABB
 Checked By: JCH
 Scale: 1" = 100'
 Date: 1/19/2024
 Project #: 200330

SHEET 3
OF 4

GRAPHIC SCALE

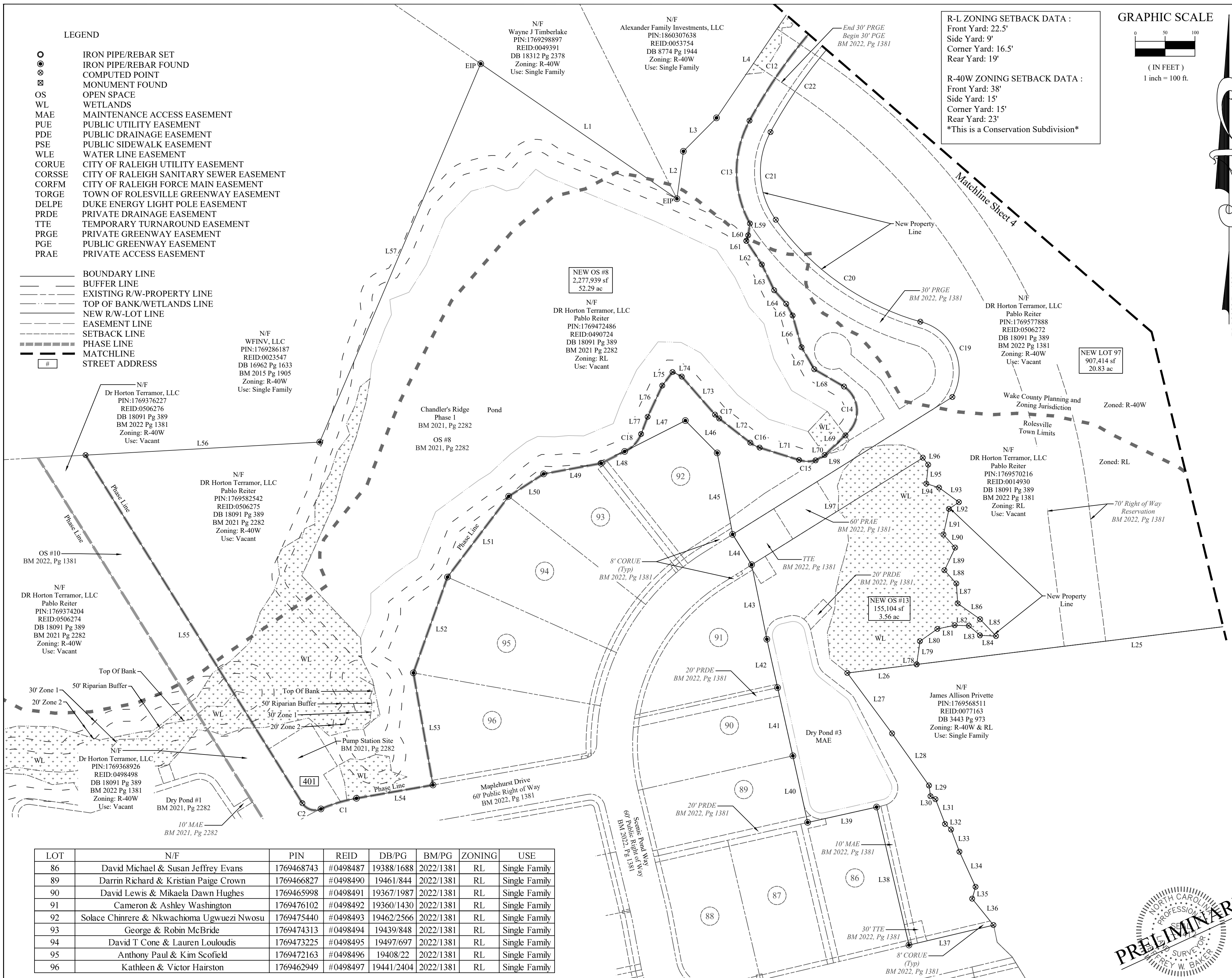


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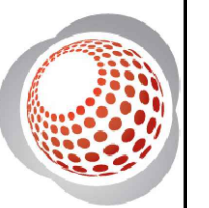
LEGEND

- IRON PIPE/REBAR SET
 - ⊙ IRON PIPE/REBAR FOUND
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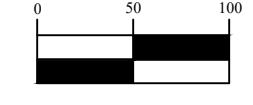
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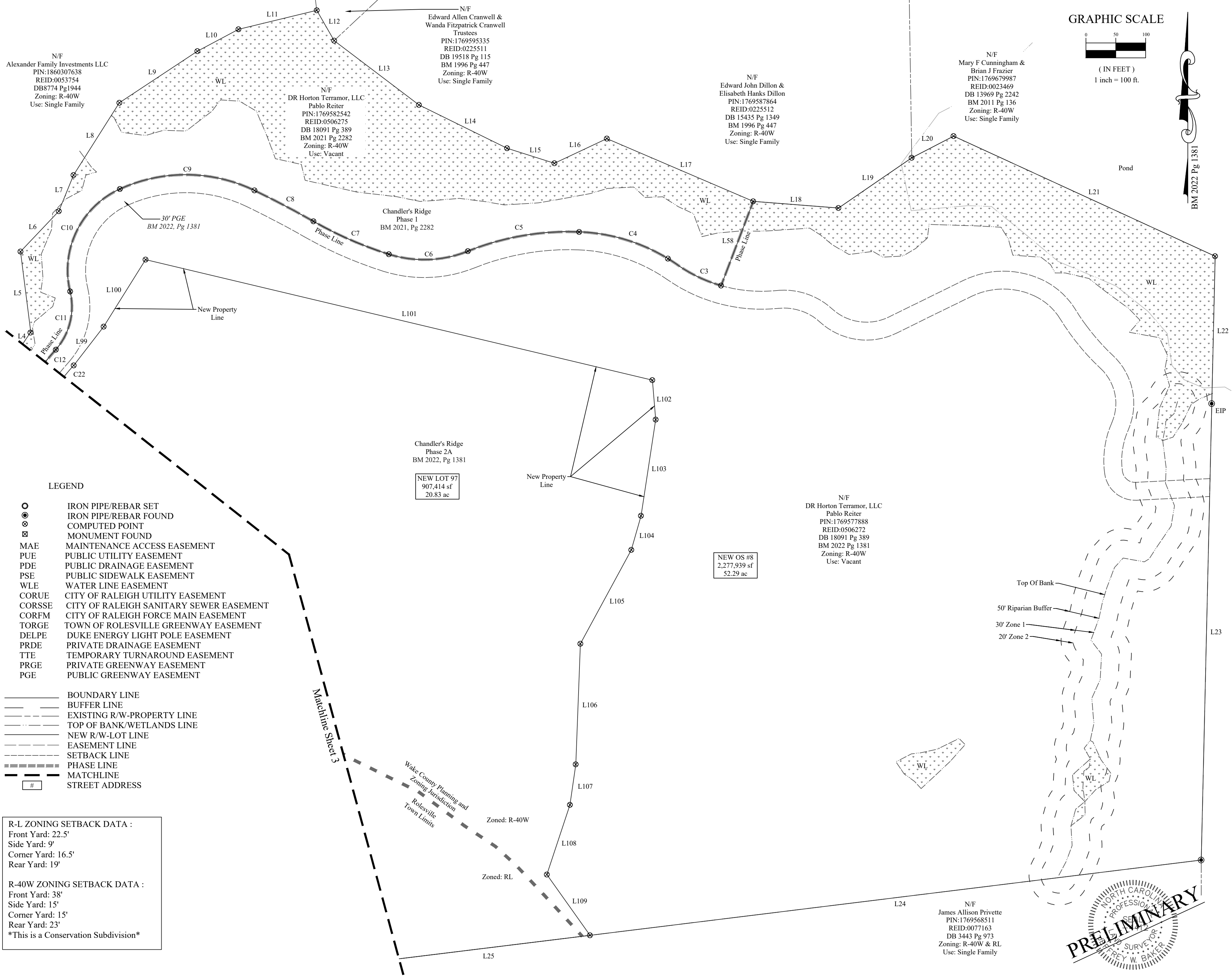
Rev:
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 Scale: 1" = 100'
 Date: 1/19/2024
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SHEET 4
OF 4

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(IN FEET)
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BM 2022 Pg 1381



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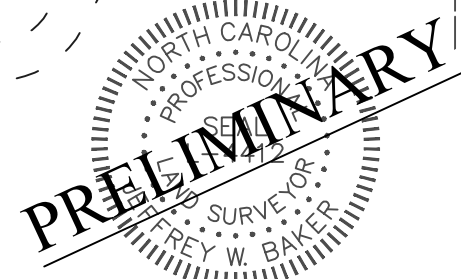
Chandler's Ridge
 Phase 2A
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 20.83 ac

NEW OS #8
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N/F
 James Allison Privette
 PIN:1769568511
 REID:0077163
 DB 3443 Pg 973
 Zoning: R-40W & RL
 Use: Single Family



Matchline Sheet 3

Wake County Planning and
 Zoning Jurisdiction
 Rolesville
 Town Limits

Zoned: R-40W

Zoned: RL

Top Of Bank
 50' Riparian Buffer
 30' Zone 1
 20' Zone 2