

SURVEYOR'S CERTIFICATE

I, JAY B. TAYLOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AND PAGE AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE AS SHOWN; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 67.872±; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE: G.S. 47-30 (F)(11)(D). THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS DAY OF _____, A.D., _____.



JAY B. TAYLOR, PROFESSIONAL LAND SURVEYOR L-5472

GENERAL NOTES

1. THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A RECOMBINATION PLAT.
2. BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83(2011).
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. ZONING: R & PUD
5. AREA BY COORDINATE GEOMETRY.
6. FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A F.I.R.M COMMUNITY PANEL #3720176800K DATED JULY 19, 2022.
7. REFERENCES: AS SHOWN.
8. THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.

PLEASE NOTE THAT "CLIENT" IS OWNER OF THE PROPERTY ON EACH SHEET PER: GS-47-30-c

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBE HEREON, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF THE TOWN OF ROLESVILLE AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT AND ESTABLISH MINIMUM BUILDING SETBACK LINES AS NOTED.

OWNER DATE

OWNER DATE

STATE OF _____
COUNTY OF _____

I, _____ A NOTARY PUBLIC OF THE COUNT AND AFORESAID, DO HEREBY CERTIFY THAT

_____ AND

PERSONALLY APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THE DUE EXECUTION OF THE FORGOING DOCUMENT. WITNESS MY HAND AND SEAL THIS THE ____ DAY OF _____ 20__.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

I, _____ HEREBY CERTIFY THAT ALL STREETS, UTILITIES AND OTHER REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO TOWN SPECIFICATIONS AND STANDARDS IN THE SUBDIVISION OR THAT GUARANTEES OF THE INSTALLATION OF THE REQUIRED IMPROVEMENTS IN AN AMOUNT AND MANNER SATISFACTORY TO THE TOWN OF ROLESVILLE HAS BEEN RECEIVED AND THAT THE FILING FEES FOR THIS PLOT, IN THE AMOUNT OF _____ HAVE BEEN PAID.

SUBDIVISION ADMINISTRATION DATE

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE TOWN OF ROLESVILLE, NORTH CAROLINA AND THAT THIS PLAT HAS BEEN APPROVED BY THE SUBDIVISION ADMINISTRATOR OF THE TOWN OF ROLESVILLE FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS OF WAKE COUNTY.

SUBDIVISION ADMINISTRATOR, TOWN OF ROLESVILLE DATE

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, _____ REVIEW OFFICER FOR THE TOWN OF ROLESVILLE, NC CERTIFY THAT THE PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER DATE



McAdams
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Durham, NC 27713

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license number: C-0293, C-187

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CLIENT

ASHTON RALEIGH RESIDENTIAL, LLC
5711 SIX FORKS ROAD, SUITE 300
RALEIGH, NC 27609
PHONE: 919.232.3695
CONTACT: BOB MISHLER

THE POINT
LOTS 157-162 & LOTS 145-150
RECOMBINATION PLAT
2884, 2886, 2888, 2892, 2896 QUARRY RD;
301, 305, 309, 313, 317, 321 MARVEL DRIVE
WAKE FOREST TOWNSHIP, WAKE COUNTY, NORTH CAROLINA

REVISIONS

NO.	DATE	
1	09.23.2024	TOWN COMMENTS
2	10.14.2024	TOWN COMMENTS

PLAN INFORMATION

PROJECT NO.	AWH20000
FILENAME	AWH20000-F10
CHECKED BY	JBT
DRAWN BY	KMM
SCALE	NTS
DATE	05.07.2025

SHEET

FINAL PLAT

1-3

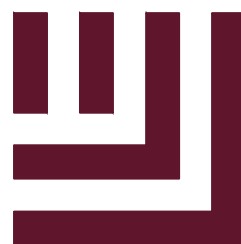
UPDATE OR REMOVE

FSP-

X:\Projects\AWH\AWH-20000\02_Geomatics\Survey\Plats\AWH20000-F10 Recombination.dwg, 5/28/2025 1:38:10 PM, Katie Martin

GENERAL NOTES

1. FOR GENERAL NOTES, SEE SHEET 1.



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PLAN INFORMATION

PROJECT NO. AWH20000
FILENAME AWH20000-F10
CHECKED BY JBT
DRAWN BY KMM
SCALE 1"=300'
DATE 05.07.2025

SHEET

FINAL PLAT

2-3

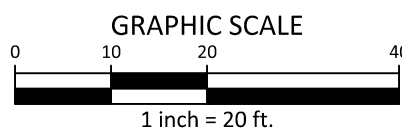
ADD STATE PLANE COORDINATES
GS-47-30-f-9

ADD CURVE TABLE
GS-47-30-f

ALL EASEMENT LOCATIONS SHOULD BE REPRODUCIBLE VIA
BEARING/DISTANCES AND/OR STATE PLANE COORDINATES; PLEASE
ADDRESS ACCORDINGLY.

LEGEND

- EXISTING IRON PIPE
- EXISTING CONCRETE MONUMENT
- ▲ EXISTING NAIL
- IRON PIPE SET
- CONCRETE MONUMENT SET
- ▲ CALCULATED POINT
- XXXX ADDRESS



UPDATE OR REMOVE
FSP-

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FILENAME AWH20000-F10
CHECKED BY JBT
DRAWN BY KMM
SCALE 1"=300'
DATE 05.07.2025

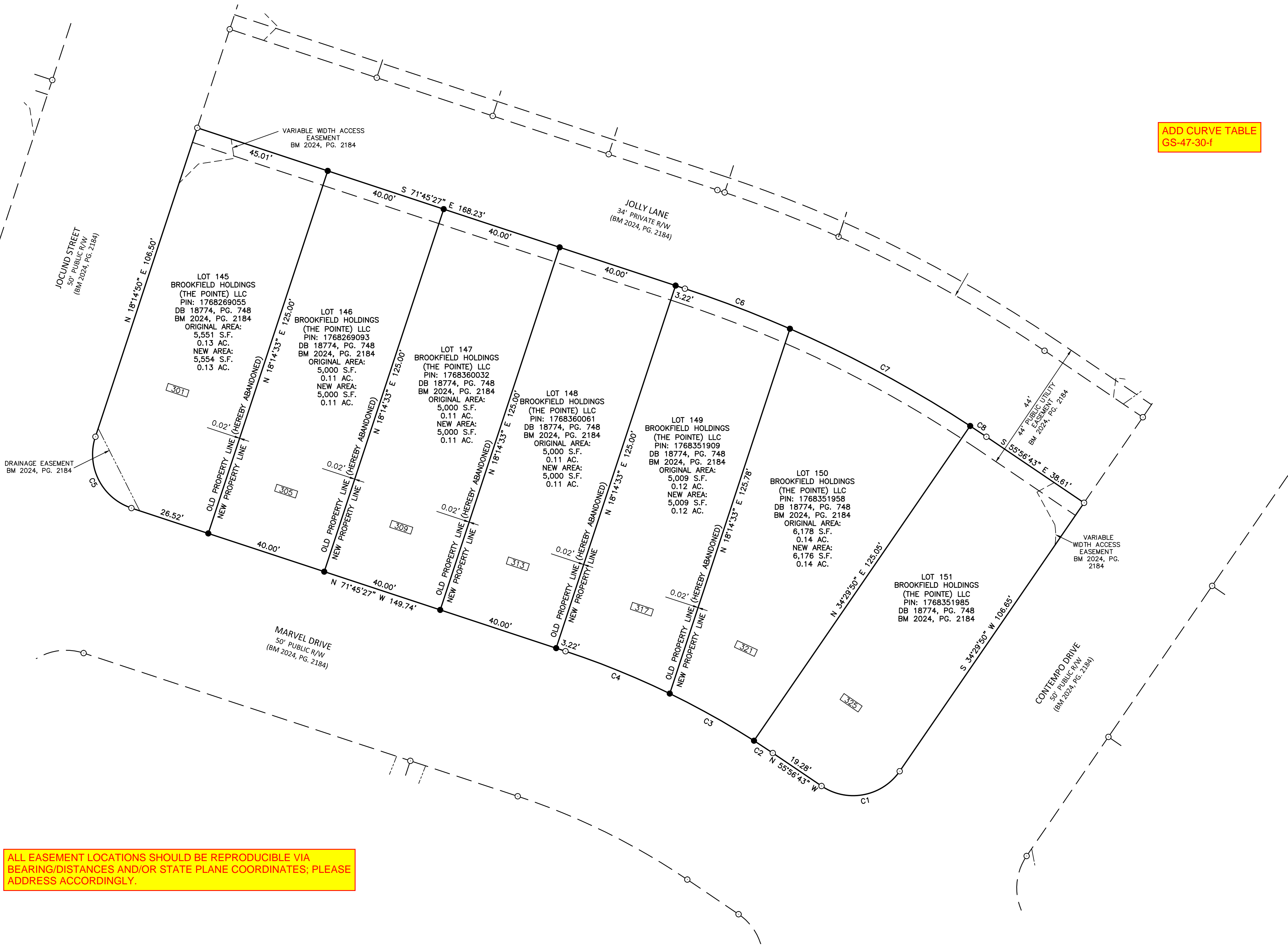
SHEET

FINAL PLAT

3-3

ADD STATE PLANE COORDINATES
GS-47-30-F-9

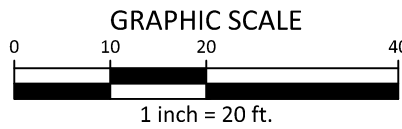
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GS-47-30-F



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- XXXXX ADDRESS



UPDATE OR REMOVE
FSP-